

MEMORANDUM

Date: March 17, 2020
To: File
From: John O'Reilly, Senior Planner- Heritage
Subject: 506 & 514 Government Street- Final Inspection

The following is a summary of a final inspection of completed heritage conservation work for 506 & 514 Government Street. Staff have reached two conclusions:

- 1. 506 Government Street- The work conforms to final approved plans under Delegated Heritage Alteration Permit No. 00082 and therefore fulfils the requirements of section 7.5 of Covenant CA3641378.**
- 2. 514 Government Street- The applicant has restored all exterior character-defining elements of the building in accordance with the Building Condition Assessment by John Dam and Associates, meeting the requirements of section 7.5 of Covenant CA3641378.**

Plans for 506 Government Street were prepared by John Dam, date stamped August 14, 2018 and stamped "Final Approved". When I inspected the building, it appeared to be in immaculate condition. The re-painting of the building was very detailed and technically complex, but it was done very well. All major conservation tasks identified on John Dam's Delegated Heritage Alteration Permit Plans were completed. Storm windows had also been installed in all windows and an enclosure constructed around HVAC equipment, which also prevents access to the basement areas. The enclosure was not shown on permit drawings, however is not attached to the building and therefore I conclude it did not require a heritage alteration permit. See attached

I photographed 514 Government Street, which appeared to be in excellent condition, however it was not the subject of a detailed review due to a lack of information about planned restoration measures.

Attachments

Attachment 1- Detailed Evaluation of 506 Government Street
Attachment 2- Photographs of 506 & 514 Government Street

Attachment 1

Results of Evaluation of 506 Government Street		
Elevation	Conservation Work	Evaluation
Front (East) Elevation	Reconstruct Upper Roof Balustrade	Completed
	Re-paint soffit, siding, foundation skirting and trim	Whole building re-painted in historically appropriate colours
	Reconstruct portico balustrade as detailed. New roof membrane to be installed to accommodate post base and flashing details	Portico balustrade reconstructed. Scroll cut balusters have accurate proportions. Did not confirm if roof membrane installed.
	Remove and reinstate belt course flashing as necessary to accommodate membrane and flashing transitions with wall assembly	Belt course present on all building elevations. It has been painted in a different colour than the siding to accentuate it.
	New portico doors	Completed and installed
	Restore siding to cover electrical boxes if possible	No electrical boxes observed.
West (side) Elevation	Reinstate dislocated trim	Surveyed trim, it was firmly installed.
	Repaint soffit, siding, foundation skirting and trim	All components repainted
	Existing flashing to be removed and reinstated see R201 for details.	Portico balustrade reconstructed. Scroll cut balusters have accurate proportions. Did not confirm if roof membrane installed.
	Fire escape staircase to be renewed	Fire escape staircase completely rebuilt
	Replace water table trim where necessary	Present on all elevations. Appears to be securely fastened
South (side) elevation	Repaint soffit, siding, foundation skirting and trim	All elements re-painted.

	Reconstruct south porch and upper balustrade based on the form and detailing of the existing front portico. Similar building details and historic photographs. All design work to be reviewed and approved by JDA	Completely rebuilt as new. Finished product uses over-the-post handrail, which differs slightly from drawing. This is an acceptable variance in design, however.
	Fire escape to be renewed	Done
North (side) elevation	Reconstruct upper roof balustrade	Done
	Reconstruct portico balustrade as detailed. New roof membrane to be installed to accommodate post base and flashing details	Portico balustrade reconstructed. Scroll cut balusters have accurate proportions. Did not confirm if roof membrane installed.
	Remove and reinstate belt course flashing as necessary to accommodate membrane and flashing transitions with wall assembly	Belt course present on all building elevations. It has been painted in a different colour than the siding to accentuate it.
	Existing flashing to be removed and reinstated	Reinstated and appears to be brand new.
	Re-paint soffit, siding, foundation skirting and trim	Whole building re-painted in historically appropriate colours.

Attachment 2- Photographs

506 Government Street

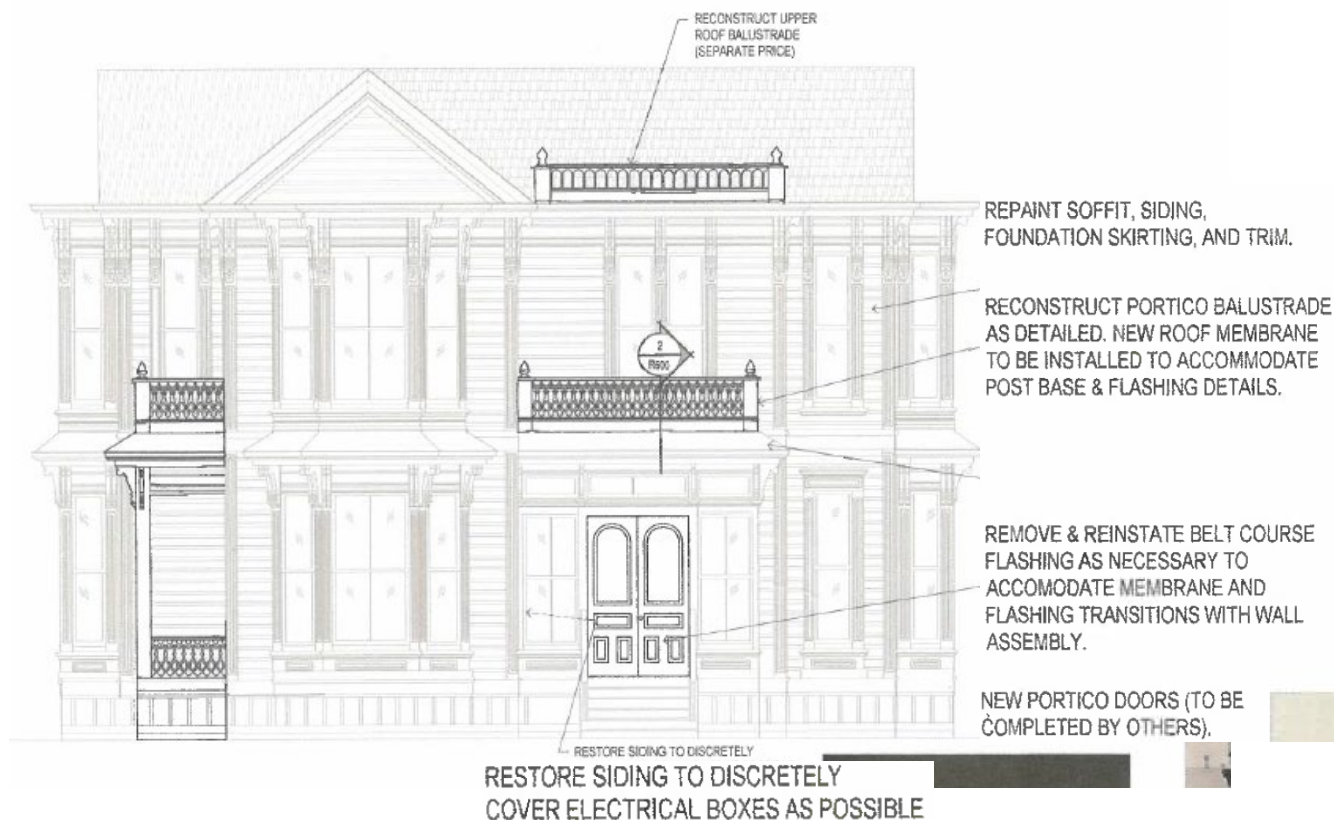


Cresting reinstalled at roof and balcony levels, lead abatement and re-painting

506 Government Street- Front (East) Elevation



Photo: March 12, 2020



East Elevation R303 from 506 Government Street Conservation Plans dated August 14, 2020 and stamped "Final Approved"

506 Government Street- West (side) Elevation



Photo: March 12, 2020



West Elevation R301 from 506 Government Street Conservation Plans dated August 14, 2020 and stamped "Final Approved"

506 Government Street- West (side) Elevation

Photo: March 12, 2020



West Elevation R301 from 506 Government Street Conservation Plans dated August 14, 2020 and stamped "Final Approved"

506 Government Street- Side (South) Elevation



Photo: March 12, 2020



South Elevation R300 from 506 Government Street Conservation Plans dated August 14, 2020 and stamped "Final Approved"

506 Government Street- North (side) elevation



Photo: March 12, 2020 RECONSTRUCT UPPER ROOF BALUSTRADE (SEPARATE PRICE)



North Elevation R302 from 506 Government Street Conservation Plans dated August 14, 2020 and stamped "Final Approved"

514 Government Street- March 12, 2020 Site Visit



Front (east) elevation



Side (south) elevation

514 Government Street- March 12, 2020 Site Visit

Side (south) elevation



Rear (west) elevation



514 Government Street- North- March 12, 2020 Site Visit

Side (north) elevation

