

# 125 Government St.

VICTORIA, BC

PROPOSED PARKING VARIANCE:

**PROJECT INFORMATION:**

**RESIDENTIAL DESIGNER:** LATITUDE 48 DESIGN LTD.  
ryan@latitude48design.com  
778,977,4848

**INTERIOR DESIGNER:** MAVRIKOS DESIGN LTD.  
250-652-9577

**GENERAL CONTRACTOR:** FLINTSTONES CONSTRUCTION LTD.  
250,880,1188

**STRUCTURAL ENGINEER:** HEROLD ENGINEERING LTD.  
250,590,4975

**SURVEYOR:** EXPLORER LAND SURVEYING INC.  
250,381,2257

**PROJECT ADDRESS:**

**SITE ADDRESS:** 125 GOVERNMENT STREET

**LEGAL DESCRIPTION:** LOT 12, PLAN V1P786, SECTION 2, LAND DISTRICT S7, BECKLEY FARM, EXC W 9 FT THEREOF

**PROJECT SCOPE OF WORK:**

PARKING VARIANCE - APPROVE THE EXISTING GRANDFATHERED PARKING STATUS IN A STRATA DUPEX

**SHEET INDEX:**

- A0.0 COVER SHEET
- A2.1 FOUNDATION & LOWER FLOOR PLAN
- A2.2 MAIN & UPPER FLOOR PLAN
- A3.1 SECTION & ROOF PLAN
- A4.1 ELEVATIONS
- A4.2 ELEVATIONS
- A6.1 PERSPECTIVES

| FLOOR AREA CALC. PER UNIT |         |
|---------------------------|---------|
| SECOND FLOOR:             | 903 SF  |
| MAIN FLOOR:               | 1100 SF |
| TOTAL UPPER UNIT:         | 2003 SF |
| LOWER FLOOR UNIT:         | 1404 SF |

**ZONING ANALYSIS:**

**ZONE:** R-2

**LOT AREA:** 653,6m<sup>2</sup>    **REQUIRED PARKING - 2 STALLS**

**AVG. GRADE:** 16,09m    **AVAILABLE PARKING - 1 STALL**

| ZONING REQUIREMENTS      | ALLOWABLE           | EXISTING            |
|--------------------------|---------------------|---------------------|
| FLOOR SPACE RATIO (FSR): | 0,50                | 0,49                |
| GROSS FLOOR AREA (GFA):  |                     |                     |
| MAIN FLOOR (UNIT #1)     | 280,0m <sup>2</sup> | 108,9m <sup>2</sup> |
| SECOND FLOOR (UNIT #1)   |                     | 83,9m <sup>2</sup>  |
| LOWER FLOOR (UNIT #2)    |                     | 130,5m <sup>2</sup> |
| TOTAL:                   | 326,8m <sup>2</sup> | 321,3m <sup>2</sup> |
| SHED:                    | 37,0m <sup>2</sup>  | 35,3m <sup>2</sup>  |

**LOT COVERAGE:**

|        |                     |
|--------|---------------------|
| HOUSE: | 157,1m <sup>2</sup> |
| SHED:  | 38,0m <sup>2</sup>  |
| TOTAL: | 195,1m <sup>2</sup> |

**HEIGHT:** 7,50m    8,61m

**SETBACKS:**

|             |              |        |
|-------------|--------------|--------|
| FRONT (NW): | 7,50m        | 3,42m  |
| BACK (SE):  | 15,01m (35%) | 18,74m |
| SIDE (NE):  | 1,52m        | 1,88m  |
| SIDE (SW):  | 3,00m        | 2,86m  |

**COMMUNITY MAP**

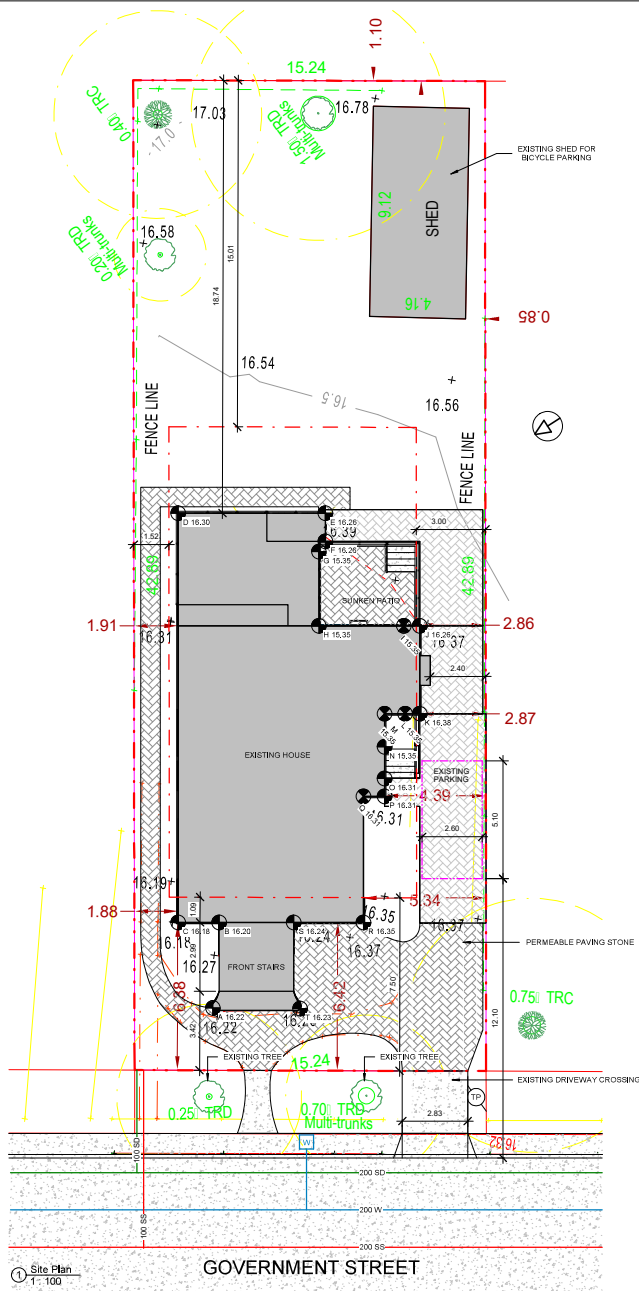


**Original Submission**

Received Date: October 2, 2020

**AVERAGE GRADE CALC.**

| POINT             | GRADE | AVG. OF POINTS            | DIST. BETWEEN    | TOTAL   |
|-------------------|-------|---------------------------|------------------|---------|
| A                 | 16,22 | A-B ((16,22 + 16,20) / 2) | 3,79m            | 61,43   |
| B                 | 16,20 | B-C ((16,20 + 16,18) / 2) | 1,78m            | 28,82   |
| C                 | 16,16 | C-D ((16,16 + 16,30) / 2) | 17,73m           | 287,94  |
| D                 | 16,30 | D-E ((16,30 + 16,26) / 2) | 6,40m            | 104,19  |
| E                 | 16,26 | E-F ((16,26 + 16,26) / 2) | 1,22m            | 18,84   |
| F                 | 16,26 |                           |                  |         |
| G                 | 15,35 | G-H ((15,35 + 15,35) / 2) | 3,45m            | 52,96   |
| H                 | 15,35 | H-I ((15,35 + 15,35) / 2) | 4,17m            | 64,01   |
| I                 | 15,35 |                           |                  |         |
| J                 | 16,26 | J-K ((16,26 + 16,26) / 2) | 3,81m            | 61,95   |
| K                 | 16,38 |                           |                  |         |
| L                 | 15,35 | L-M ((15,35 + 15,35) / 2) | 1,52m            | 23,33   |
| M                 | 15,35 | M-N ((15,35 + 15,35) / 2) | 2,79m            | 42,83   |
| N                 | 15,35 |                           |                  |         |
| O                 | 16,31 | O-P ((16,31 + 16,31) / 2) | 0,79m            | 12,88   |
| P                 | 16,31 | P-Q ((16,31 + 16,31) / 2) | 0,91m            | 14,84   |
| Q                 | 16,31 | Q-R ((16,31 + 16,39) / 2) | 5,46m            | 89,16   |
| R                 | 16,39 | R-S ((16,39 + 16,24) / 2) | 3,04m            | 49,54   |
| S                 | 16,24 | S-T ((16,24 + 16,23) / 2) | 3,79m            | 61,53   |
| T                 | 16,23 | T-U ((16,23 + 16,22) / 2) | 3,78m            | 61,33   |
| U                 |       |                           |                  |         |
| TOTAL             |       |                           | 64,43m           | 1036,58 |
| GRADE CALCULATION |       |                           | 1036,58 / 64,43m | 16,09m  |



- GENERAL NOTE:**
- It is the responsibility of the contractor or owner to verify all dimensions and elevations prior to the commencement of any work. The contractor shall verify the location of any trees and vegetation identified within the coverage plan to existing trees with the contractor of the project. Consideration of the existing site conditions, any trees dimensions and direction from trees which are responsible for.
  - All notes and details shown on the drawings are typical unless otherwise noted.
  - All designs, drawings and specifications prepared by the designer are subject to Design and Construction Agreement. Design and Construction Agreement shall be signed by the contractor or owner before any work is commenced or not and shall not be used for any other works or project.
  - All works to comply with the latest version of the BCBC, BCAM, and other applicable laws and regulations.
  - All changes or deviations are the responsibility of the owner or contractor and must be reviewed by the Designer for verification and review.
  - The Contractor shall obtain an ASBCS certified surveyor to confirm elevations, bearings and dimensions of the proposed building or structure prior to commencing work. The Contractor shall be responsible for any errors or omissions in regards to location, utility or placement of the building structure. Any changes to the work shall be reviewed and confirmed with the surveyor prior to starting the project.

| No.: | By: | Rev: | Description:     |
|------|-----|------|------------------|
|      | RWB | B    | Parking Variance |

Date: 20/Aug/20



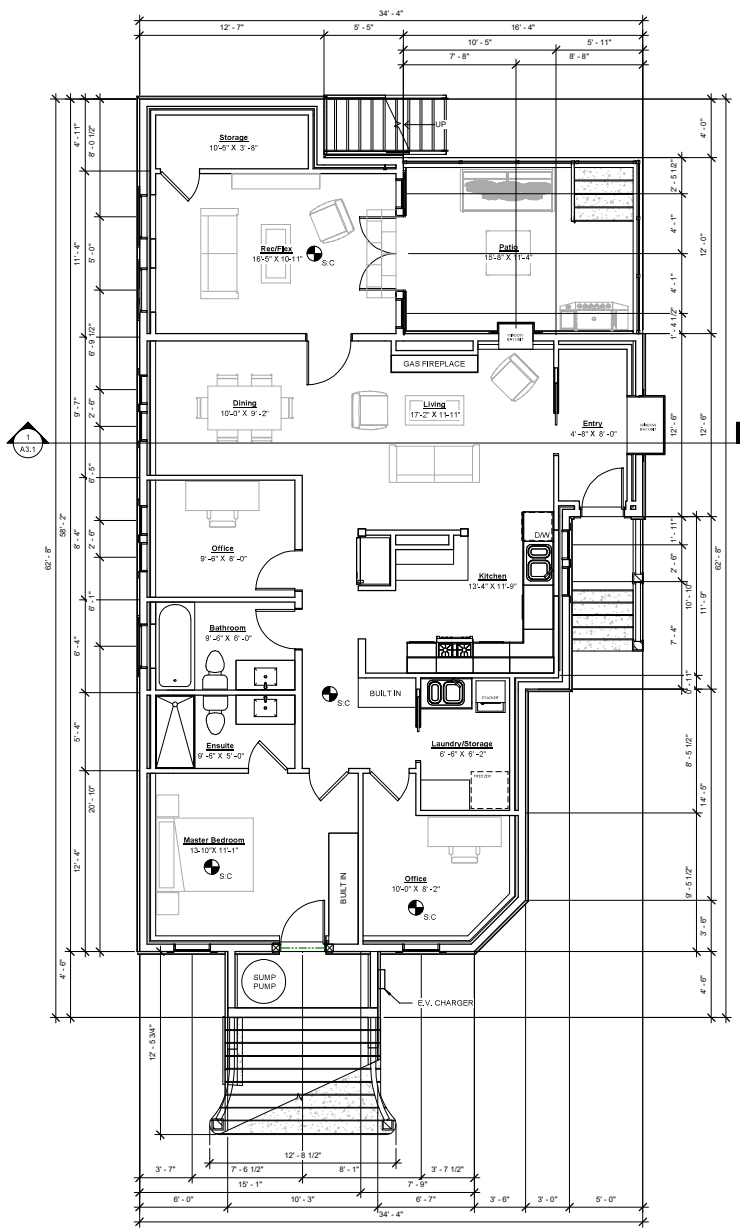
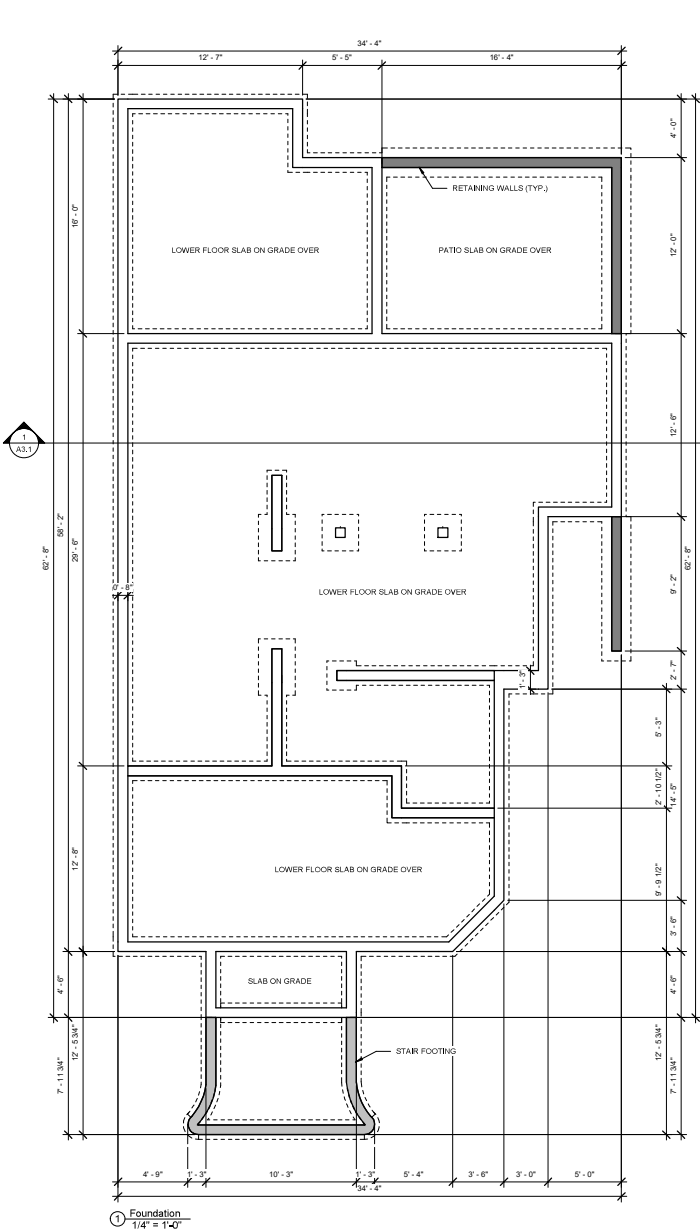
Project: 125 Government Street

Sheet Title: Cover Page

Project No.: 18067

Sheet: A0.0

Site Plan 1:100



- GENERAL FRAMING NOTES:**
1. ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE
  2. ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE
  3. DOUBLE CRIPPLE STUDS TO BE USED ON ALL UNITS OVER 9' IN SPAN
  4. ALL WALL AND ROOF SHEATHING TO BE 1/2" PLYWOOD UNLESS NOTED OTHERWISE
  5. ALL UNITS TO BE MINIMUM 24" X 12" LUMBER UNLESS NOTED OTHERWISE
  6. ALL CONCRETE TO BE A MINIMUM 25MPA AT 28 DAYS
  7. ENG. DRAWINGS WILL SUPERSEDE ALL ARCHITECTURAL NOTES AND DETAILS
  8. TYPICAL WINDOW & DOOR HEIGHTS: LOWER FLOOR: 7'-0" VARIES SECOND FLOOR: 7'-0" VARIES
  9. ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE

**PLAN LEGEND:**

WALL  
 LINE OF ROOF OVER  
 LINE OF INTERIOR VAULT  
 LINE OF FLOOR OVER  
 LINE OF WALL BELOW  
 POST / COLUMN  
 GIRDER TRUSS  
 DROP BEAM  
 FLUSH BEAM  
 SMOKE/CARBON DETECTOR  
 DOOR SIZE TAG (READ AS 2'8"X7'0")  
 WINDOW SIZE TAG (READ AS 2'0"X6'0")  
 JOIST/RFTER SPAN DIRECTION

- GENERAL NOTES:**
1. It is the responsibility of the contractor or owner to verify all dimensions and elevations prior to the commencement of construction. The contractor shall verify the accuracy of any dimensions and elevations noted on the drawings prior to moving forward with the construction of the project.
  2. All dimensions and elevations are given in feet and inches unless otherwise noted.
  3. All design, drawings and specifications prepared by the engineer shall be the responsibility of the owner and contractor and shall be treated as such regardless of whether the work was completed or not and shall not be used on any other project or project.
  4. All changes or deviations are the responsibility of the owner and contractor and must be forwarded to the Engineer for verification and review.
  5. The Contractor shall work with an ISCC certified surveyor to verify elevations, utility and placement of the proposed building or structure prior to commencing any work. The Contractor shall be responsible for any measurements or reports to the Engineer, utility or placement of any building or structure. Any reports to the work shall be reviewed and confirmed with the surveyor prior to starting the project.

|                      |            |
|----------------------|------------|
| Date:                | 20/Aug/24  |
| By:                  | RWB        |
| Check:               |            |
| Drawing Description: | Foundation |
| Project No.:         | 18067      |
| Sheet No.:           | A2.1       |



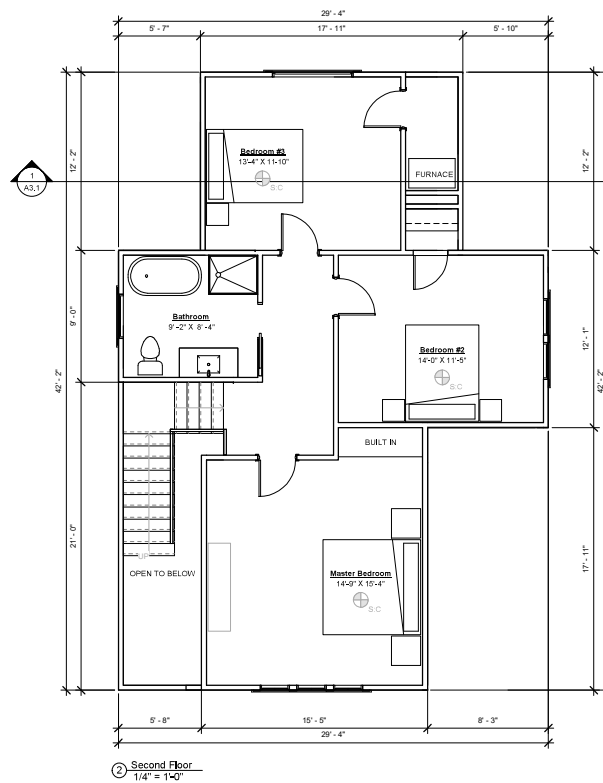
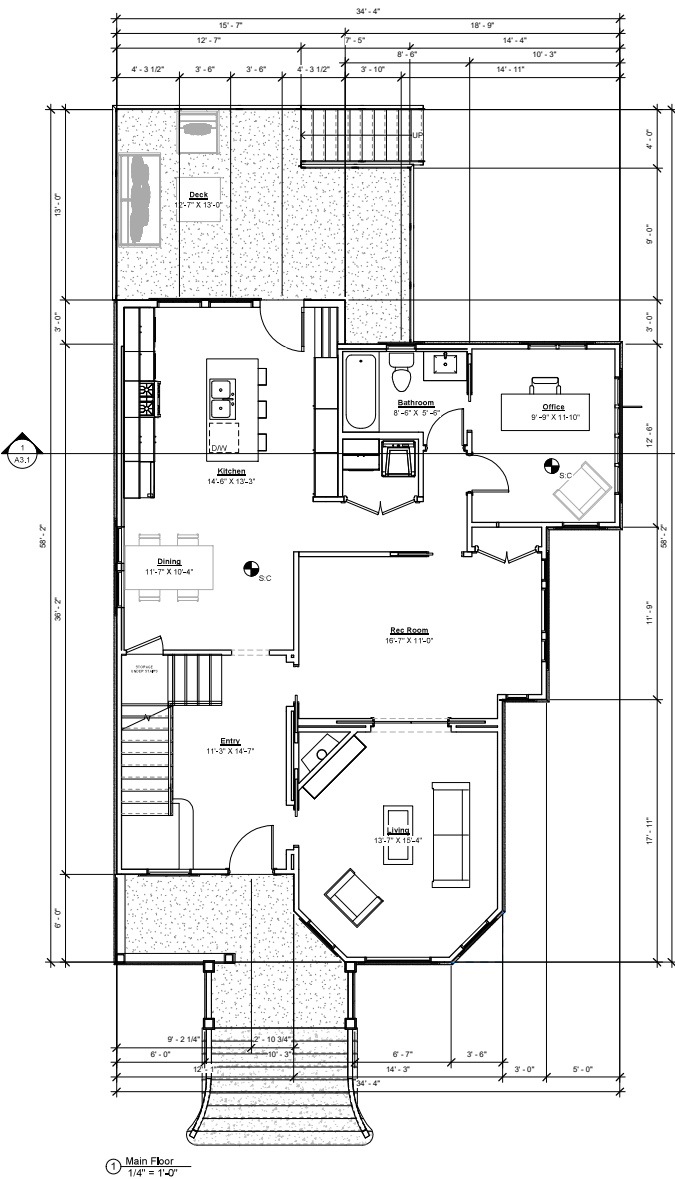
Project:  
125 Government Street

Sheet Title:  
Foundation & Lower Floor Plan

Project No.:  
18067

Sheet:  
A2.1

| FLOOR AREA CALC. PER UNIT |         |
|---------------------------|---------|
| SECOND FLOOR:             | 903 SF  |
| MAIN FLOOR:               | 1150 SF |
| TOTAL UPPER UNIT:         | 2053 SF |
| LOWER FLOOR UNIT:         | 1404 SF |



- GENERAL FRAMING NOTES**
- 1 ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE
  - 2 ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE
  - 3 DOUBLE CRIPPLE STUDS TO BE USED ON ALL UNITS OVER 5' IN SPAN
  - 4 ALL WALL AND ROOF SHEATHING TO BE 1/2" PLYWOOD UNLESS NOTED OTHERWISE
  - 5 ALL UNITS TO BE MINIMUM 2x12 JOIST LUMBER UNLESS NOTED OTHERWISE
  - 6 ALL CONCRETE TO BE A MINIMUM 25MPa AT 28 DAYS
  - 7 END DRAWINGS WILL SUPERSEDE ALL ARCHITECTURAL NOTES AND DETAILS
  - 8 TYPICAL WINDOW & DOOR HEIGHTS:  
LOWER FLOOR: 7'0"  
MAIN FLOOR: 7'-6"  
SECOND FLOOR: 7'-0"  
ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE

**PLAN LEGEND**

- WALL
- LINE OF ROOF OVER
- LINE OF INTERIOR VAULT
- LINE OF FLOOR OVER
- LINE OF WALL BELOW
- POST / COLUMN
- CHIMNEY TRUSS
- DRIP BEAM
- FLASH BEAM
- SMOKE/CARBON DETECTOR
- DOOR SEE TAG (REGAS 26'x10')
- WINDOW SEE TAG (WINDOWS 50'x50')
- JOIST/RAFTER SPAN DIRECTION

- GENERAL NOTES:**
1. It is the responsibility of the contractor or owner to verify all dimensions and elevations prior to the commencement of construction. The contractor shall verify the location of any lines and regulations established within the drawings prior to moving forward with the construction of the project.
  2. The contractor shall verify the construction conditions and details of the drawings, including any dimensions and elevations, and shall be responsible for any errors or omissions that may occur during the project.
  3. All design, drawings and specifications are the property of the designer. All design work shall be the property of the designer. All design work shall be the property of the designer. All design work shall be the property of the designer.
  4. All changes or deviations are the responsibility of the owner or contractor and must be approved by the designer for verification and record.
  5. The contractor shall verify all dimensions and elevations prior to the commencement of construction. The contractor shall verify the location of any lines and regulations established within the drawings prior to moving forward with the construction of the project.

|                      |                      |
|----------------------|----------------------|
| Date:                | 20Aug24              |
| By:                  | RWB                  |
| Drawing Description: | Planning / Variances |
| No.:                 |                      |
| B:                   |                      |



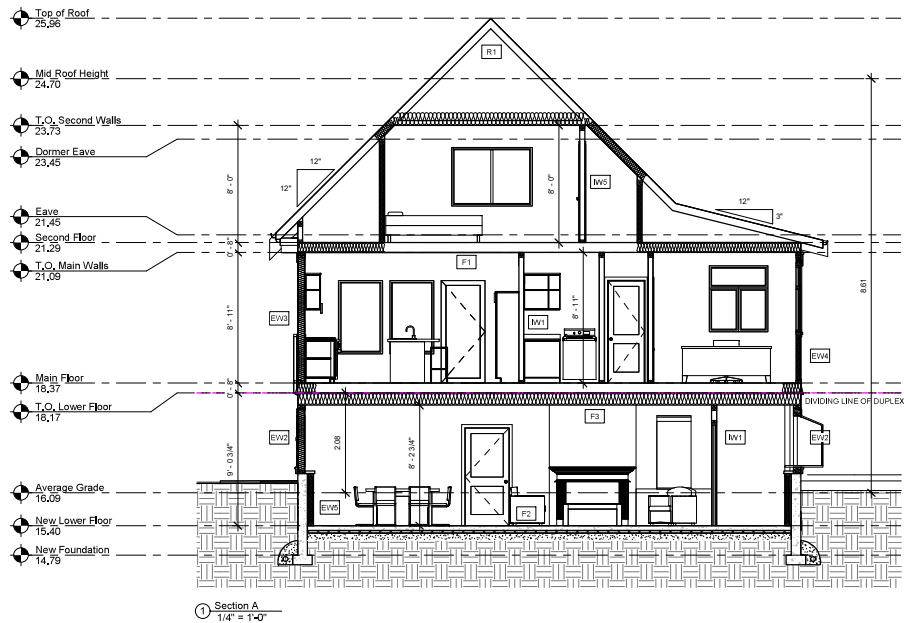
Project:  
125 Government Street

Sheet Title:  
Main & Upper Floor Plan

Project No.:  
18067

Sheet:  
A2.2

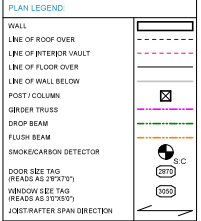
| FLOOR AREA CALC. PER UNIT |         |
|---------------------------|---------|
| SECOND FLOOR:             | 963 SF  |
| MAIN FLOOR:               | 1150 SF |
| TOTAL UPPER UNIT:         | 2053 SF |
| LOWER FLOOR UNIT:         | 1404 SF |



1  
ALL

2 Roof Plan  
3/4" = 1'-0"

- GENERAL FRAMING NOTES**
- ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE
  - ALL LUMBER TO BE SPP #2 OR BETTER UNLESS NOTED OTHERWISE
  - DOUBLE CHIMBLE STUDS TO BE USED ON ALL LINES OVER 8'0" SPAN
  - ALL WALL AND ROOF SHEATHING TO BE 1/2" PLYWOOD UNLESS NOTED OTHERWISE
  - ALL INTERIORS TO BE MINIMUM 2x10 LUMBER UNLESS NOTED OTHERWISE
  - ALL CONCRETE TO BE A MINIMUM 25MPa AT 28 DAYS
  - ENR DRAWINGS WILL SUPERSEDE ALL ARCHITECTURAL NOTES AND DETAILS
  - TYPICAL WINDOW & DOOR HEIGHTS:  
LOWER FLOOR: 7'-0"  
MAIN FLOOR: 7'-4" MINUS  
SECOND FLOOR: 7'-0" MINUS
  - ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE



**GENERAL NOTES:**

- It is the responsibility of the contractor to verify all dimensions and elevations prior to the commencement of any work. The contractor shall verify and note any discrepancies with the drawings prior to commencing work. The contractor shall be responsible for obtaining all necessary permits and approvals for the project.
- All design, drawings and specifications shall be in accordance with the current BC Building Code and all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals for the project.
- All work in connection with this contract shall be done in accordance with the current BC Building Code and all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals for the project.
- All changes or deviations from the drawings shall be in writing and approved by the Designer prior to implementation.
- The Contractor shall obtain all necessary permits and approvals for the project.
- The Contractor shall be responsible for obtaining all necessary permits and approvals for the project.

| PROJECT ASSEMBLY DESCRIPTIONS (CALCULATED USING THE PARALLEL PATH METHOD) |  |           |                          |                                    |           |                  |  |           |                 |   |           |
|---|--|-----------|--------------------------|------------------------------------|-----------|------------------|--|-----------|-----------------|---|-----------|
| EXTERIOR WALL ASSEMBLIES  |  |           | INTERIOR WALL ASSEMBLIES |                                    |           | FLOOR ASSEMBLIES |  |           | ROOF ASSEMBLIES |   |           |
| <b>EW1</b>  | EXTERIOR WALL - SHINGLE CLADDING       | R81 R     | <b>EW1</b>               | EXTERIOR WALL - SHINGLE CLADDING   | R81 R     | <b>F1</b>        | FLOOR - MAIN FLOOR ASSEMBLY (EXISTING) | R81 R     | <b>R1</b>       | ROOF - TYPICAL TRUSSED ROOF (EXISTING)    | R81 R     |
| 1   | EXTERIOR AIR FILM                      | 0.03 0.17 | 1                        | EXTERIOR AIR FILM                  | 0.03 0.17 | 1                | FLOOR FINISH TO OWNERS SPEC            | 0.00 0.00 | 1               | ASPHALT SHINGLE (EXISTING)                | 0.00 0.00 |
| 2   | CONCRETE BRICKS                        | 0.01 0.00 | 2                        | CONCRETE BRICKS                    | 0.01 0.00 | 2                | 1/2" GYP/WALL BOARD                    | 0.00 0.00 | 2               | MANUFACTURER APPROVED UNDERLAY (EXISTING) | 0.00 0.00 |
| 3   | 3/4" AIR SPACE (BRANDSCREEN ALLOWANCE) | 0.18 1.00 | 3                        | MOISTURE BARRIER (EXISTING)        | 0.00 0.00 | 3                | 2x4 WALL STUDS @ 16" OC                | 0.00 0.00 | 3               | FLOOR JOISTS (EXISTING)                   | 0.00 0.00 |
| 4   | 3/4" CONCRETE BRICKS                   | 0.00 0.00 | 4                        | SHIELDING (EXISTING)               | 0.00 0.00 | 4                | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 4               | EXTERIOR AIR FILM                         | 0.03 0.17 |
| 5   | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 5                        | INSULATION (EXISTING)              | 1.82 9.20 | 5                | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 5               | ROOF FINISH TO OWNERS SPEC                | 0.00 0.00 |
| 6   | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 6                        | 2x4 WALL STUDS @ 16" OC (EXISTING) | 0.00 0.00 | 6                | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 6               | INSULATION (EXISTING)                     | 0.00 0.00 |
| 7   | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 7                        | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 7                | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 7               | AV BARRIER (EXISTING)                     | 0.00 0.00 |
| 8   | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 8                        | AV BARRIER (EXISTING)              | 0.00 0.00 | 8                | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 8               | INTERIOR AIR FILM                         | 0.03 0.17 |
| 9   | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 9                        | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 9                | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 9               | INTERIOR AIR FILM                         | 0.03 0.17 |
| 10  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 10                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 10               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 10              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 11  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 11                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 11               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 11              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 12  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 12                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 12               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 12              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 13  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 13                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 13               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 13              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 14  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 14                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 14               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 14              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 15  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 15                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 15               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 15              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 16  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 16                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 16               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 16              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 17  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 17                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 17               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 17              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 18  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 18                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 18               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 18              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 19  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 19                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 19               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 19              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 20  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 20                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 20               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 20              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 21  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 21                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 21               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 21              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 22  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 22                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 22               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 22              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 23  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 23                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 23               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 23              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 24  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 24                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 24               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 24              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 25  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 25                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 25               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 25              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 26  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 26                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 26               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 26              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 27  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 27                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 27               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 27              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 28  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 28                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 28               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 28              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 29  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 29                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 29               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 29              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 30  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 30                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 30               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 30              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 31  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 31                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 31               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 31              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 32  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 32                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 32               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 32              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 33  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 33                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 33               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 33              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 34  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 34                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 34               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 34              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 35  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 35                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 35               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 35              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 36  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 36                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 36               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 36              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 37  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 37                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 37               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 37              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 38  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 38                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 38               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 38              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 39  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 39                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 39               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 39              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 40  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 40                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 40               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 40              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 41  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 41                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 41               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 41              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 42  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 42                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 42               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 42              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 43  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 43                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 43               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 43              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 44  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 44                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 44               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 44              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 45  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 45                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 45               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 45              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 46  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 46                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 46               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 46              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 47  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 47                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 47               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 47              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 48  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 48                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 48               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 48              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 49  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 49                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 49               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 49              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 50  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 50                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 50               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 50              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 51  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 51                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 51               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 51              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 52  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 52                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 52               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 52              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 53  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 53                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 53               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 53              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 54  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 54                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 54               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 54              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 55  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 55                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 55               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 55              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 56  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 56                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 56               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 56              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 57  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 57                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 57               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 57              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 58  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 58                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 58               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 58              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 59  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 59                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 59               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 59              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 60  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 60                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 60               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 60              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 61  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 61                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 61               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 61              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 62  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 62                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 62               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 62              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 63  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 63                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 63               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 63              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 64  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 64                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 64               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 64              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 65  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 65                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 65               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 65              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 66  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 66                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 66               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 66              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 67  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 67                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 67               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 67              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 68  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 68                       | 1/2" GYP/WALL BOARD (EXISTING)     | 0.00 0.00 | 68               | 1/2" GYP/WALL BOARD (EXISTING)         | 0.00 0.00 | 68              | INTERIOR AIR FILM                         | 0.03 0.17 |
| 69  | 1/2" CONCRETE BRICKS                   | 0.00 0.00 | 69                       | 1/                                 |           |                  |  |           |                 |   |           |



**SPATIAL SEPARATION CALCULATION NORTH WEST - ELEVATION**

|  |                    |
|--|--------------------|
| AREA OF BUILDING FACE (ABF)                          | 73.8m <sup>2</sup> |
| LIMITING DISTANCE                                    | 6.0m               |
| ALLOWABLE GLAZED AREA (AGA)                          | 34.0%              |
| (ABF) X (AGA) = ALLOWABLE GLAZED AREA m <sup>2</sup> | 25.1m <sup>2</sup> |
| (73.8m <sup>2</sup> X 34%)                           |                    |
| AREA OF GLAZED OPENINGS PROPOSED                     | 13.9m <sup>2</sup> |
| PERCENTAGE OF GLAZED AREA PROPOSED                   | 18.8%              |

**2 North West 1/4" = 1'-0"**

**ELEVATION NOTES**

|   |                         |
|---|-------------------------|
| 1 | ASPHALT SHINGLE ROOFING |
| 2 | 2-PLY MOD. BIT. ROOFING |
| 3 | SHINGLE SIDING          |
| 4 | STONE VENEER            |
| 5 | GUARD RAILING           |
| 6 | PAINTED KNEE BRACE      |

**EXTERIOR FINISH**

|                    |   |
|--------------------|---|
| WINDOW TRIM        | 2X6 PAINTED WOOD TRIM CW SLOPED TAPER CUT 2X4 SILL & 2X4 SUB SILL |
| DOOR TRIM          | 2X6 PAINTED WOOD TRIM   |
| SOFFIT             | CONTINUOUS VENTED WOOD SOFFIT                                     |
| GUTTER             | 5" ALUMINUM GUTTER  |
| BARGE BOARD        | 2X10 PAINTED WOOD TRIM BOARD CW 1X4 SUB TRIM                      |
| FASCIA BOARD       | 2X8 PAINTED WOOD TRIM BOARD                                       |
| BELLY BAND         | 2X8 PAINTED WOOD TRIM   |
| GABLE SOFFIT BANDS | 2X10 PAINTED WOOD TRIM BOARD                                      |

**SPATIAL SEPARATION CALCULATION SOUTH WEST - ELEVATION - AREA 1**

|  |                    |
|--|--------------------|
| AREA OF BUILDING FACE (ABF)                          | 18.4m <sup>2</sup> |
| LIMITING DISTANCE                                    | 2.8m               |
| ALLOWABLE GLAZED AREA (AGA)                          | 22.0%              |
| (ABF) X (AGA) = ALLOWABLE GLAZED AREA m <sup>2</sup> | 4.0m <sup>2</sup>  |
| (18.4m <sup>2</sup> X 22%)                           |                    |
| AREA OF GLAZED OPENINGS PROPOSED                     | 4.3m <sup>2</sup>  |
| PERCENTAGE OF GLAZED AREA PROPOSED                   | 22.0%              |

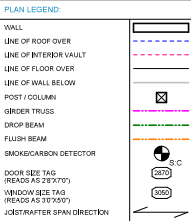
**SPATIAL SEPARATION CALCULATION SOUTH WEST - ELEVATION - AREA 2**

|  |                    |
|--|--------------------|
| AREA OF BUILDING FACE (ABF)                          | 25.8m <sup>2</sup> |
| LIMITING DISTANCE                                    | 4.0m               |
| ALLOWABLE GLAZED AREA (AGA)                          | 39.0%              |
| (ABF) X (AGA) = ALLOWABLE GLAZED AREA m <sup>2</sup> | 10.1m <sup>2</sup> |
| (25.8m <sup>2</sup> X 39.0%)                         |                    |
| AREA OF GLAZED OPENINGS PROPOSED                     | 6.5m <sup>2</sup>  |
| PERCENTAGE OF GLAZED AREA PROPOSED                   | 25.1%              |

**SPATIAL SEPARATION CALCULATION SOUTH WEST - ELEVATION - AREA 3**

|  |                    |
|--|--------------------|
| AREA OF BUILDING FACE (ABF)                          | 39.8m <sup>2</sup> |
| LIMITING DISTANCE                                    | 5.0m               |
| ALLOWABLE GLAZED AREA (AGA)                          | 50.9%              |
| (ABF) X (AGA) = ALLOWABLE GLAZED AREA m <sup>2</sup> | 20.2m <sup>2</sup> |
| (39.8m <sup>2</sup> X 50.9%)                         |                    |
| AREA OF GLAZED OPENINGS PROPOSED                     | 6.7m <sup>2</sup>  |
| PERCENTAGE OF GLAZED AREA PROPOSED                   | 16.8%              |

- GENERAL FRAMING NOTES:**
1. ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE.
  2. ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE.
  3. DOUBLE ENDPLATE STUDS TO BE USED ON ALL WALLS OVER 2 1/2 SPN.
  4. ALL WALL AND ROOF SHEATHING TO BE 1/2" PLYWOOD UNLESS NOTED OTHERWISE.
  5. ALL UNITS TO BE MINIMUM 5/16" X 2X10 LUMBER UNLESS NOTED OTHERWISE.
  6. ALL CONCRETE TO BE A MINIMUM 20MPa AT 28 DAYS.
  7. ENG. DRAWINGS WILL SUPERSEDE ALL ARCHITECTURAL NOTES AND DETAILS.
  8. TYPICAL WINDOW & DOOR HEIGHTS:  
LOWER FLOOR: 7'-0" VARIES  
MAIN FLOOR: 7'-6" VARIES  
SECOND FLOOR: 7'-0" VARIES
  9. ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE.



- GENERAL NOTES:**
1. It is the responsibility of the contractor to verify all dimensions and elevations prior to the commencement of any work. The contractor is to ensure that the height of any area and any other dimension is within the tolerance of the drawings. The contractor is to ensure that the drawings are in accordance with the current BC Building Code. Any discrepancy between the drawings and the actual work shall be the responsibility of the contractor.
  2. All design, drawings and specifications shall be in accordance with the current BC Building Code. All design, drawings and specifications shall be in accordance with the current BC Building Code. All design, drawings and specifications shall be in accordance with the current BC Building Code.
  3. All design, drawings and specifications shall be in accordance with the current BC Building Code. All design, drawings and specifications shall be in accordance with the current BC Building Code. All design, drawings and specifications shall be in accordance with the current BC Building Code.
  4. All work to comply with the current BC Building Code. All work to comply with the current BC Building Code. All work to comply with the current BC Building Code.

The Contractor shall work with an ASBC certified surveyor to confirm elevations, site and placement of the proposed building or structure prior to commencing any work. The Contractor shall be responsible for any errors or omissions in regard to elevations, site or placement of the building or structure. Any discrepancy between the drawings and the actual work shall be the responsibility of the contractor. The contractor shall be responsible for obtaining the necessary permits for the proposed building or structure.

|                      |                |
|----------------------|----------------|
| Date:                | 20/Aug/24      |
| By:                  | RWB            |
| Drawing Description: | Plan/Variances |
| No.:                 |                |
| Rev:                 |                |



Project:  
125 Government Street

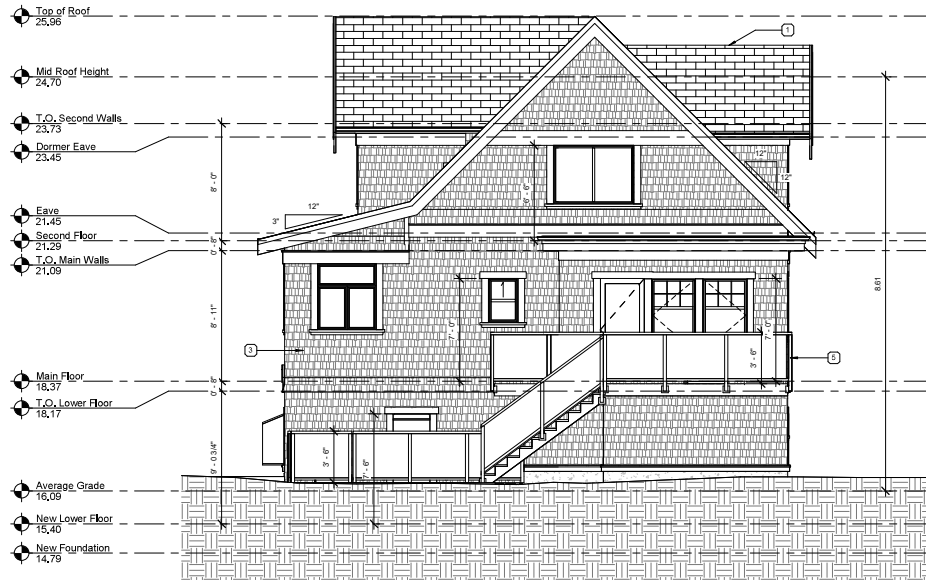
Sheet Title:  
Elevations

Project No.:  
18067

Sheet:  
A4.1



1 South West 1/4" = 1'-0"



1 South East  
1/4" = 1'-0"

| SPATIAL SEPARATION CALCULATION<br>SOUTH EAST - ELEVATION |                    |
|--|--------------------|
| AREA OF BUILDING FACE (ABF):                             | 75.4m <sup>2</sup> |
| LIMITING DISTANCE:                                       | 22.0m              |
| ALLOWABLE GLAZED AREA (AGA):                             | 100.0%             |
| (ABF) X (AGA) = ALLOWABLE GLAZED AREA m <sup>2</sup>     | 75.4m <sup>2</sup> |
| (75.4m <sup>2</sup> X 1.00) =                            |                    |
| AREA OF GLAZED OPENINGS PROPOSED:                        | 10.2m <sup>2</sup> |
| PERCENTAGE OF GLAZED AREA PROPOSED:                      | 13.5%              |

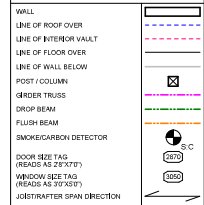
| ELEVATION NOTES |                             |
|-----------------|-----------------------------|
| 1               | ASPHALT SHINGLE ROOFING     |
| 2               | 1/2" PLY WOOD, B.F. ROOFING |
| 3               | SHINGLE SIDING              |
| 4               | STONE VENEER                |
| 5               | GUARD RAILING               |
| 6               | PAINTED KNEE BRACE          |

| EXTERIOR FINISH    |   |
|--------------------|---|
| WINDOW TRIM        | 2X6 PAINTED WOOD TRIM CW SLOPED TAPER CUT 2X4 SILL & 2X4 SUB SILL |
| DOOR TRIM          | 2X6 PAINTED WOOD TRIM   |
| SOFFIT             | CONTINUOUS VENTED WOOD SOFFIT                                     |
| GUTTER             | 5" ALUMINUM GUTTER  |
| BAROE BOARD        | 2X10 PAINTED WOOD TRIM BOARD CW 1X4 SUB TRIM                      |
| FASCIA BOARD       | 2X6 PAINTED WOOD TRIM BOARD                                       |
| BELLY BAND         | 2X6 PAINTED WOOD TRIM   |
| GABLE SOFFIT BANDS | 2X10 PAINTED WOOD TRIM BOARD                                      |

| SPATIAL SEPARATION CALCULATION<br>NORTH EAST - ELEVATION |                    |
|--|--------------------|
| AREA OF BUILDING FACE (ABF):                             | 88.4m <sup>2</sup> |
| LIMITING DISTANCE:                                       | 1.8m               |
| ALLOWABLE GLAZED AREA (AGA):                             | 7.0%               |
| (ABF) X (AGA) = ALLOWABLE GLAZED AREA m <sup>2</sup>     | 6.2m <sup>2</sup>  |
| (88.4m <sup>2</sup> X 0.07) =                            |                    |
| AREA OF GLAZED OPENINGS PROPOSED:                        | 6.0m <sup>2</sup>  |
| PERCENTAGE OF GLAZED AREA PROPOSED:                      | 6.8%               |

- GENERAL FRAMING NOTES**
1. ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE
  2. ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE
  3. DOUBLE CRIPPLE STUDS TO BE USED ON ALL LINES OVER 9' IN SPAN
  4. ALL WALL AND ROOF SHEATHING TO BE 1/2" PLYWOOD UNLESS NOTED OTHERWISE
  5. ALL LINTELS TO BE MINIMUM 2X12 UNLESS NOTED OTHERWISE
  6. ALL CONCRETE TO BE A MINIMUM 25MPa AT 28 DAYS
  7. ENCL. DRAWINGS WILL SUPERSEDE ALL ARCHITECTURAL NOTES AND DETAILS
  8. TYPICAL WINDOW & DOOR HEIGHTS:  
LOWER FLOOR: 7'0" VARIAB.  
SECOND FLOOR: 7'0" VARIAB.
  9. ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE

**PLAN LEGEND**



- GENERAL NOTE:**
1. It is the responsibility of the contractor or owner to verify all dimensions and elevations prior to the commencement of construction. The contractor shall verify the height of any areas and irregularities identified within the drawings prior to issuing permits with the construction of the project. The contractor shall be responsible for any construction variations of the drawings, including any necessary dimensions and elevations, and shall be responsible for any errors or omissions.
  2. All design, drawings and specifications shall be reviewed by the engineer prior to construction. Design shall be the responsibility of the engineer and shall be reviewed by the contractor. The contractor shall be responsible for any errors or omissions of the drawings and specifications. The contractor shall be responsible for any errors or omissions of the drawings and specifications.
  3. All design, drawings and specifications shall be reviewed by the engineer prior to construction. Design shall be the responsibility of the engineer and shall be reviewed by the contractor. The contractor shall be responsible for any errors or omissions of the drawings and specifications. The contractor shall be responsible for any errors or omissions of the drawings and specifications.
  4. All design, drawings and specifications shall be reviewed by the engineer prior to construction. Design shall be the responsibility of the engineer and shall be reviewed by the contractor. The contractor shall be responsible for any errors or omissions of the drawings and specifications. The contractor shall be responsible for any errors or omissions of the drawings and specifications.



2 North East  
1/4" = 1'-0"

|                      |                   |
|----------------------|-------------------|
| Date:                | 20/Aug/24         |
| By:                  | RWB               |
| Drawing Description: | Plotting Variance |
| No.:                 |                   |
| By:                  |                   |
| Drawing Description: |                   |
| No.:                 |                   |
| By:                  |                   |
| Drawing Description: |                   |
| No.:                 |                   |
| By:                  |                   |
| Drawing Description: |                   |



Project:  
125 Government Street

Sheet Title:  
Elevations

Project No.:  
18067

Sheet:  
A4.2



**GENERAL NOTES:**

1. It is the responsibility of the contractor to verify all dimensions and elevations prior to the commencement of construction. The contractor shall not rely on the drawings as a guide and shall be responsible for any errors and omissions. The contractor shall be responsible for any errors and omissions. The contractor shall be responsible for any errors and omissions. The contractor shall be responsible for any errors and omissions.
2. All notes and details shown on the drawings are typical unless otherwise noted.
3. All designs, drawings and specifications are subject to change without notice. The Designer shall not be responsible for any errors and omissions. The Designer shall not be responsible for any errors and omissions. The Designer shall not be responsible for any errors and omissions.
4. All work to comply with the latest version of the CBC, local municipal bylaws and provincial standards and regulations.
5. All changes or decisions are the responsibility of the owner or contractor and must be reviewed by the Designer for verification and review.
6. The Contractor shall obtain an SBCS certified surveyor to confirm elevations, slope and placement of the proposed building or structure prior to commencing any work. The Contractor shall be responsible for any errors and omissions. The Contractor shall be responsible for any errors and omissions. The Contractor shall be responsible for any errors and omissions.

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|-------|---------|----------------------|-------------------|-----|----|---|------|---|
| Date: | 20Aug24 | Drawing Description: | Parking, Variance | By: | RW | B | No.: | B |
|       |         |                      |                   |     |    |   |      |   |



Project:  
125 Government Street

Sheet Title:  
Proposed Perspectives

Project No.:  
18067

Sheet:  
A6.1