

TELUS OCEAN

ISSUED FOR REZONING AND DEVELOPMENT PERMIT APPLICATION - REVISED 2020.10.09



DRAWING LIST

ARCHITECTURAL

SHEET NUMBER	SHEET NAME	LAST REVISION DATE
A000	COVER SHEET	2020.11.09
A001	OPENING	2020.11.09
A010	DEE PLAN	2020.11.09
A011	DEE PLAN - GROUND FLOOR	2020.11.09
A012	PLAN - LEVEL 1 - REZONING	2020.11.09
A013	PLAN - LEVEL 2 - REZONING	2020.11.09
A014	PLAN - LEVEL 3 - REZONING	2020.11.09
A015	PLAN - LEVEL 4 - REZONING - REZONING	2020.11.09
A016	PLAN - LEVEL 5 - REZONING	2020.11.09
A017	PLAN - LEVEL 6 - REZONING	2020.11.09
A018	PLAN - LEVEL 7 - REZONING	2020.11.09
A019	PLAN - LEVEL 8 - REZONING	2020.11.09
A020	PLAN - LEVEL 9 - REZONING	2020.11.09
A021	PLAN - LEVEL 10 - REZONING	2020.11.09
A022	ELEVATION - WEST - REZONING	2020.11.09
A023	ELEVATION - SOUTH - REZONING	2020.11.09
A024	CONCRETE FLOORING - REZONING	2020.11.09
A025	SECTION A - REZONING	2020.11.09
A026	SECTION B - REZONING	2020.11.09

CONSULTANT LIST

- ARCHITECTURAL**
DAVID DOW, DIAMOND SCHMITT ARCHITECTS
384 ADELAIDE STREET WEST, SUITE 100, TORONTO, ON, M5V 1R7
(604) 852-8600 X269, DDOW@DSAL.CA
- LANDSCAPE**
KELTY MCKINNON, PFS STUDIO
1777 WEST 3RD AVENUE, VANCOUVER, BC, V6J 1K7
(604) 735-6168 X138, MCKINNON@PFS.BC.CA
- CML**
ROSS TUCK, J.E. ANDERSON & ASSOCIATES
4212 GLANFORD AVENUE, VICTORIA, BC, V8Z 4B7
(250) 727-2214, RTUCK@JEANDERSON.COM
- TRANSPORTATION**
JASON POTTER, BLUNT & ASSOCIATES ENGINEERING LTD.
SUITE 530, 645 FORT STREET, VICTORIA, BC, V8W 1G2
(250) 592-6122, JPOTTER@BLUNTENG.COM
- STRUCTURAL**
GUNT PLETT, READ JONES CHRISTOFFERSEN, LTD.
(778) 746-1125, CPLETT@RJJC.CA
- MECHANICAL**
ANDY CHONG, INTEGRAL GROUP
SUITE 101, 1019 WHARF STREET, VICTORIA, BC, V8W 2Y9
(250) 418-1288 X5001, ACHONG@INTEGRALGROUP.COM
- ELECTRICAL**
ANCA COJOCARU, INTEGRAL GROUP
SUITE 180, 200 GRANVILLE STREET, VANCOUVER, BC, V6C 1A4
(604) 687-1800 X2097, ACOJOCARU@INTEGRALGROUP.COM
- SUSTAINABILITY**
EMILY CODLIN, INTEGRAL GROUP
SUITE 180, 200 GRANVILLE STREET, VANCOUVER, BC, V6C 1A4
(604) 687-1800 X2040, ECODLIN@INTEGRALGROUP.COM
- CODE**
FRANK MATTLA, LMDG
4TH FLOOR, 730 BEATTY STREET, VANCOUVER, BC, V6B 2M1
(604) 682-7148 X419, FMATTLA@LMDG.COM

CIVIC ADDRESS:
749 DOUGLAS STREET, VICTORIA, BC

LEGAL DESCRIPTION:
LOT 1 OF LOTS 207, 209, 210, 228, AND 1270B
VICTORIA, PLAN 31886

PROJECT DETAILS

EXISTING ZONING: CA-4

EXISTING USE: CAR RENTAL & PARKING LOT

PROPOSED USE: OFFICE & COMMERCIAL

Project Information Table	
Zone (Existing)	C-4
Proposed zone or site specific zone (If applicable, include "over zone")	New zone
Site area (m ²)	2624.85
Lot floor area (m ²)	1413.62
Commercial floor area (m ²)	373.89
Floor space ratio	3.47
Site coverage (%)	43.2%
Open area (sqm/ft)	30.20%
Height of building (m)	54.23
Number of stories	12
Parking stalls (to include) on site	221
Number of parking stalls (to include) (Class 1 and Class 2)	162-400
Building setbacks (m)	
Front yard	2.00 (Douglas Street to overhang)
Rear yard	4.00 (Rear of lot)
Side yard (to include which side)	1.75 (Rear of lot)
Side yard (to include which side)	1.75 (Rear of lot)
Cornered side yards	N/A
Cornered side yards	N/A
Proposed Use Details	
Use	Office
Use type (e.g., 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100)	Office
Ground-covered stalls	162
Minimum stall floor area (m ²)	162
Lot maximum floor area (m ²)	162

Use	Floor Area (m ²)	Ratio (stall / m ²)	Stalls req'd	
			Office	Restaurant
Office	1413.62	1.00	1414	0
Restaurant	373.89	1.00	0	374
Total	1787.51	1.00	1414	374

Use	Floor Area (m ²)	Ratio (stall / m ²)	Stalls req'd	
			Long term	Short term
Office	1413.62	1.00	1414	374
Restaurant	373.89	1.00	0	374
Total	1787.51	1.00	1414	748

OPEN SITE SPACE		SITE COVERAGE	
Structure & Driveways		Main building Area footprint (m ²)	1561.97
Main Building Area footprint (m ²)	1561.97	Parking Entry Above 2nd Floor (m ²)	367.43
Parking Ramp (m ²)	165.43	Total (m²)	1764.4
Driveways (m ²)	46.03	Lot Area (m ²)	2583.95
Total (m²)	1764.43	Site Coverage = A/B * 100%	67.25%
Lot Area (m ²)	2583.95		
Open Area (m ²) = A-C	789.52		
Open Site Space = C/B * 100%	30.50%		

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ISSUED			
No.	Date	Description	
2	2020/11/13	Revising QCF Application	
3	2020/11/09	Revising QCF Application Revision	

Diamond Schmitt Architects
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Tel: 416 862 8800 Fax: 416 862 5008 info@dsal.ca www.dsal.ca

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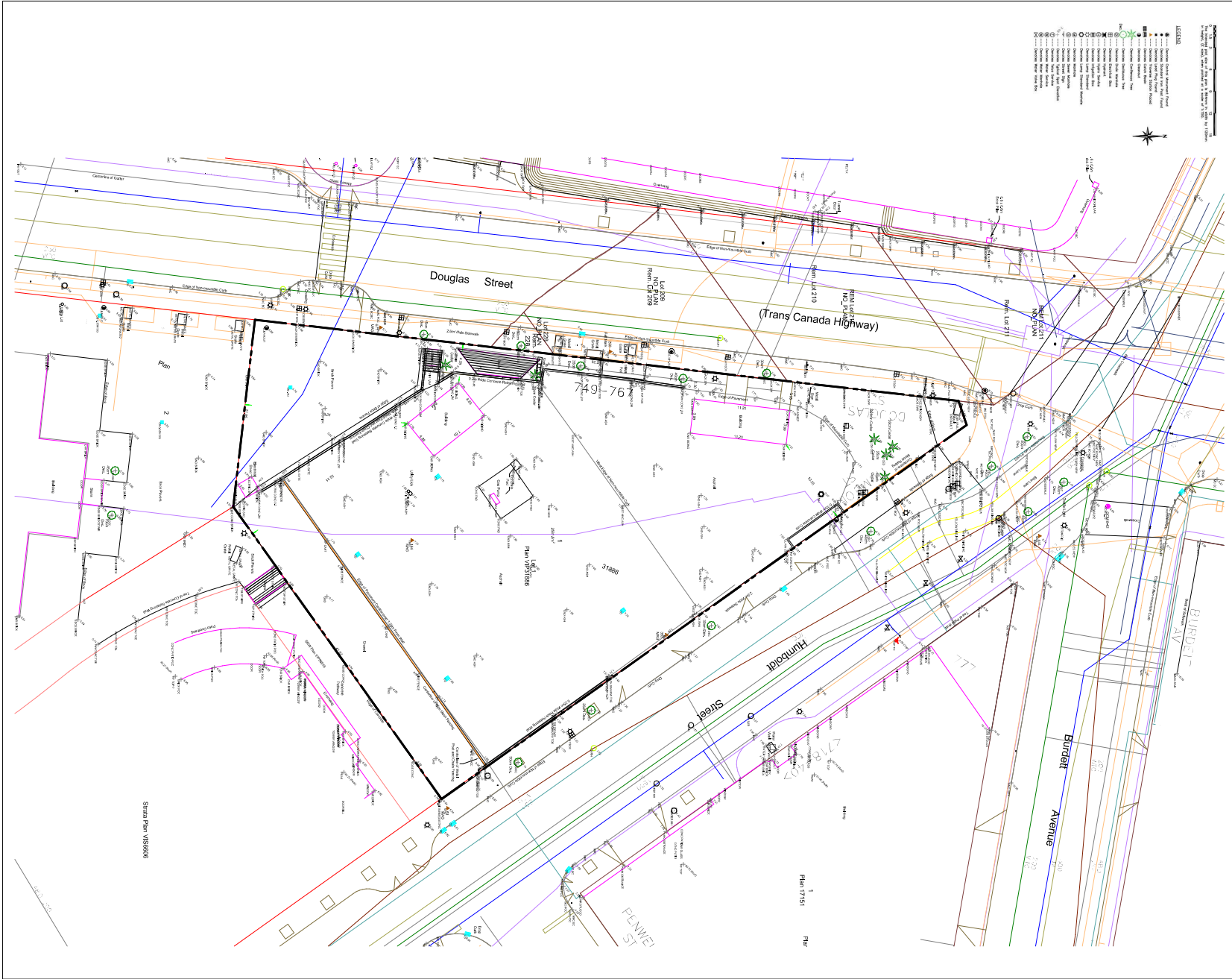
749 Douglas St, Victoria, BC

COVER SHEET

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Project No: 1811
Date: 2020/11/09

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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No.	Date	Description
1	2020.05.20	Issuance Phase 1/Revision
2	2020.07.15	Revised/Updated

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 Tel: 416 862 8860 Fax: 416 862 5108 info@diamondschmitt.com www.diamondschmitt.com

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749 Douglas St, Victoria, BC

SITE-EXISTING

Scale: 1:200
 Project No: 1511
 Date: 2020.10.26

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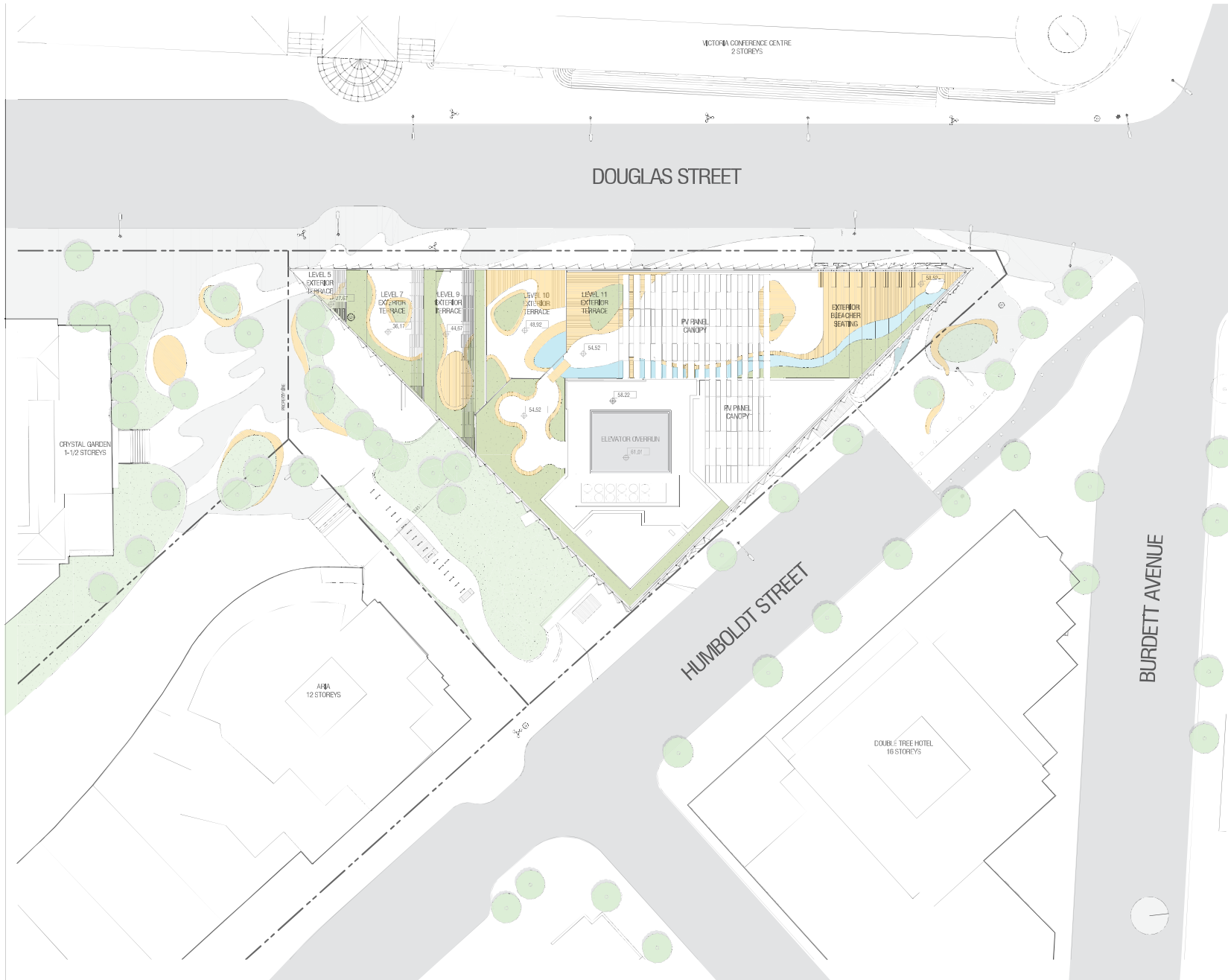
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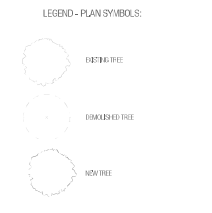


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No.	Date	Description
1	2010/05/20	Working Designation
2	2010/07/15	Working Designation
3	2010/11/09	Working Designation



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 100 Adelaide Street West, Suite 100, Toronto, Canada M5H 1P7
 Tel: 416 862 8500 Fax: 416 862 5108 Info@dsai.ca www.dsai.ca

TELUS OCEAN

719 Douglas St. Victoria, BC

SITE PLAN

Scale: 1:200
 Project No: 0311
 Date: 2010/11/09

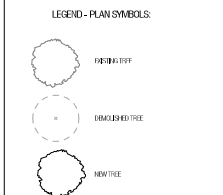
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No.	Date	Description
1	2020.02.20	Issuing Pre-application
2	2020.02.19	Issuing O7 Application
3	2020.11.29	Issuing O4 Application Revision



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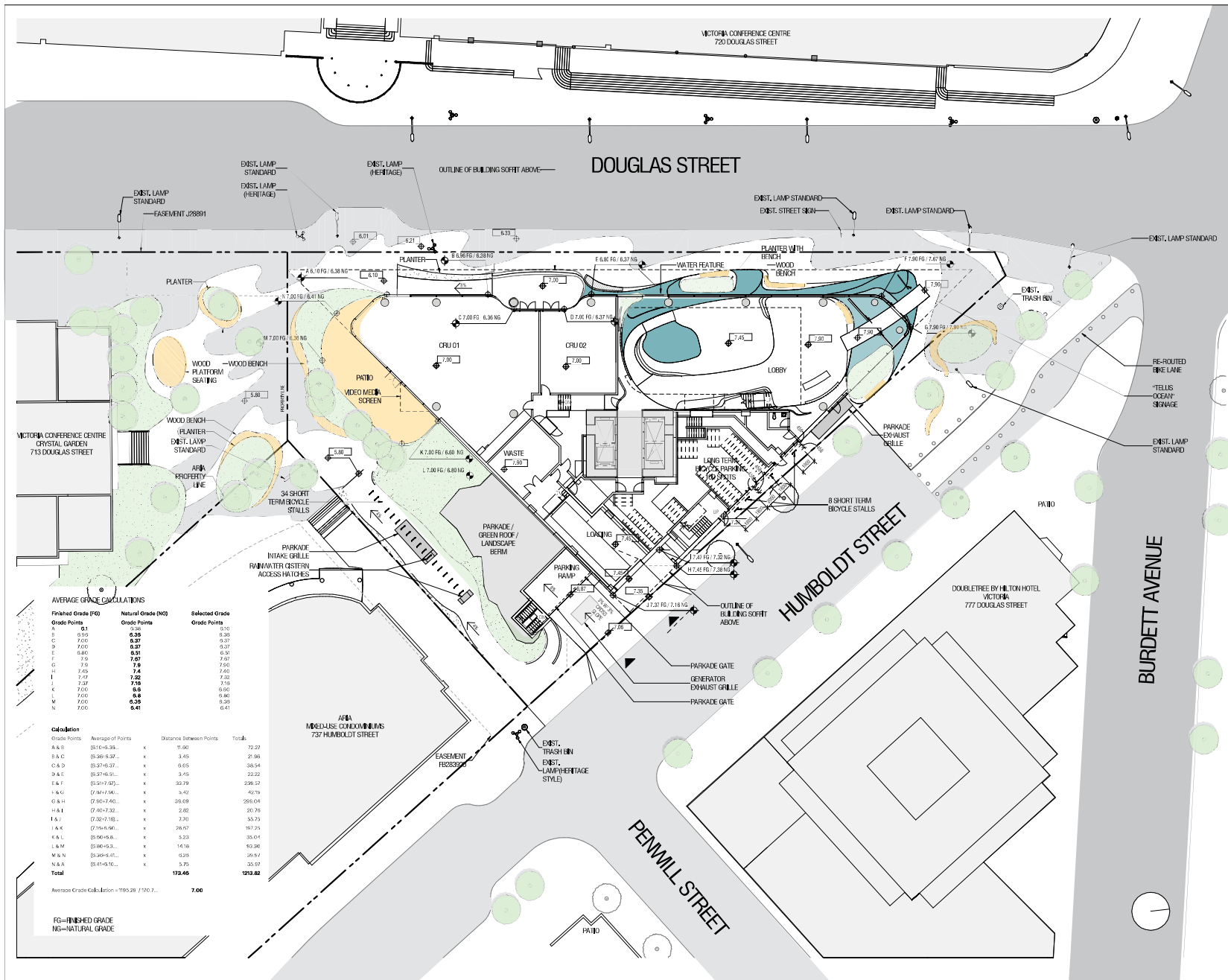
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749 Douglas St. Victoria, BC

SITE PLAN - GROUND PLANE

Scale: 1:200
 Project No: 1911
 Date: 2020.11.09

A.011



AVERAGE GRADE CALCULATIONS

Finished Grade (FG) Grade Points	Natural Grade (NG) Grade Points	Selected Grade Grade Points
A 9.31	9.26	9.28
B 9.55	9.39	9.35
C 7.00	6.37	6.37
D 7.00	6.37	6.37
E 6.80	6.37	6.37
F 7.5	7.57	7.57
G 7.8	7.8	7.8
H 7.05	7.4	7.4
I 7.07	7.52	7.52
J 7.27	7.19	7.19
K 7.00	6.8	6.8
L 7.00	6.8	6.8
M 7.00	6.39	6.39
N 7.00	6.41	6.41

Calculation

Grade Points	Average of Points	Distance Between Points	Total
A & B	0.14=6.35	x	1.90
B & C	0.36=6.37	x	3.45
C & D	0.37=6.37	x	38.94
D & E	0.57=6.37	x	3.18
E & F	0.57=7.00	x	33.78
F & G	0.78=7.56	x	40.18
G & H	0.78=7.40	x	38.09
H & I	0.40=7.32	x	2.82
I & J	0.20=7.19	x	3.70
J & K	0.15=6.96	x	38.67
K & L	0.00=6.8	x	3.23
L & M	0.00=6.8	x	14.28
M & N	0.39=6.41	x	12.28
N & A	0.41=6.41	x	3.75
Total		170.46	170.82

Average Grade Calculation = 170.28 / 7.00 = 24.47

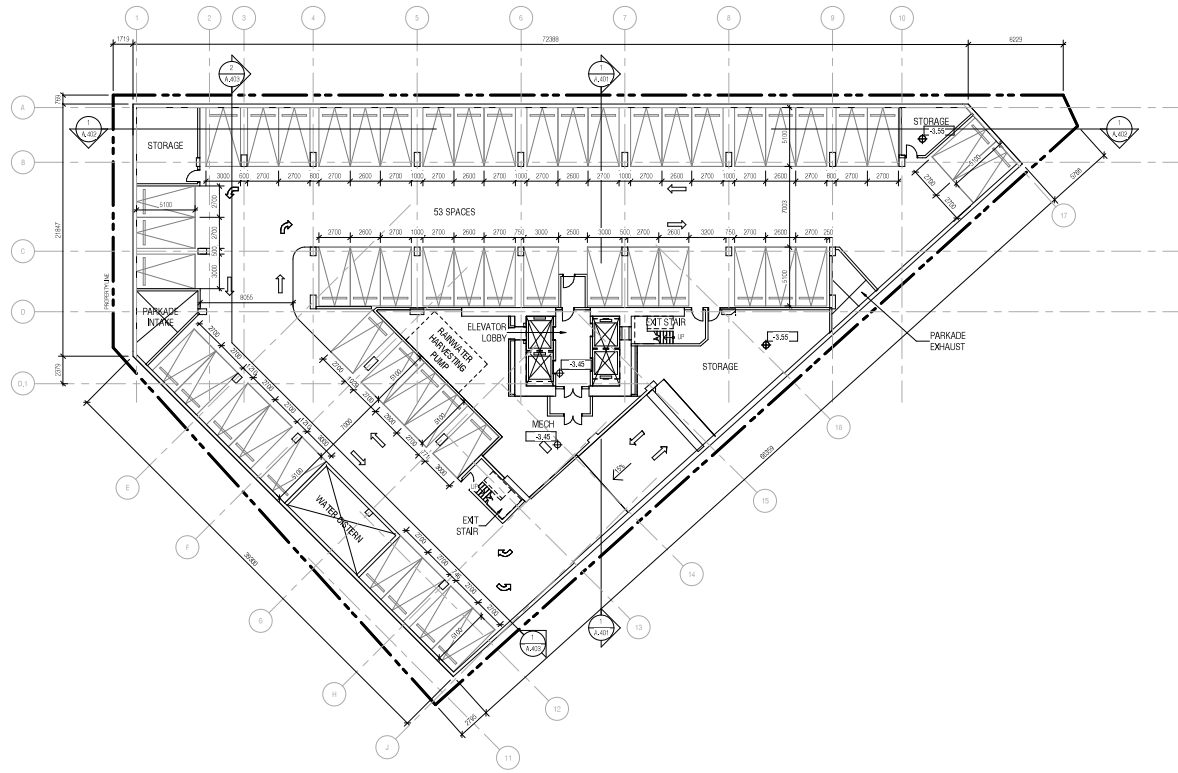
FG=FINISHED GRADE
 NG=NATURAL GRADE

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ISSUED

No.	Date	Description
1	2018/05/30	Receiving Phase 1 Revision
2	2018/07/15	Receiving Phase 1 Modification
3	2018/07/16/09	Receiving Phase 1 Application Revision

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Tel: 416 862 8800 Fax: 416 862 5308 info@dsai.ca www.dsai.ca

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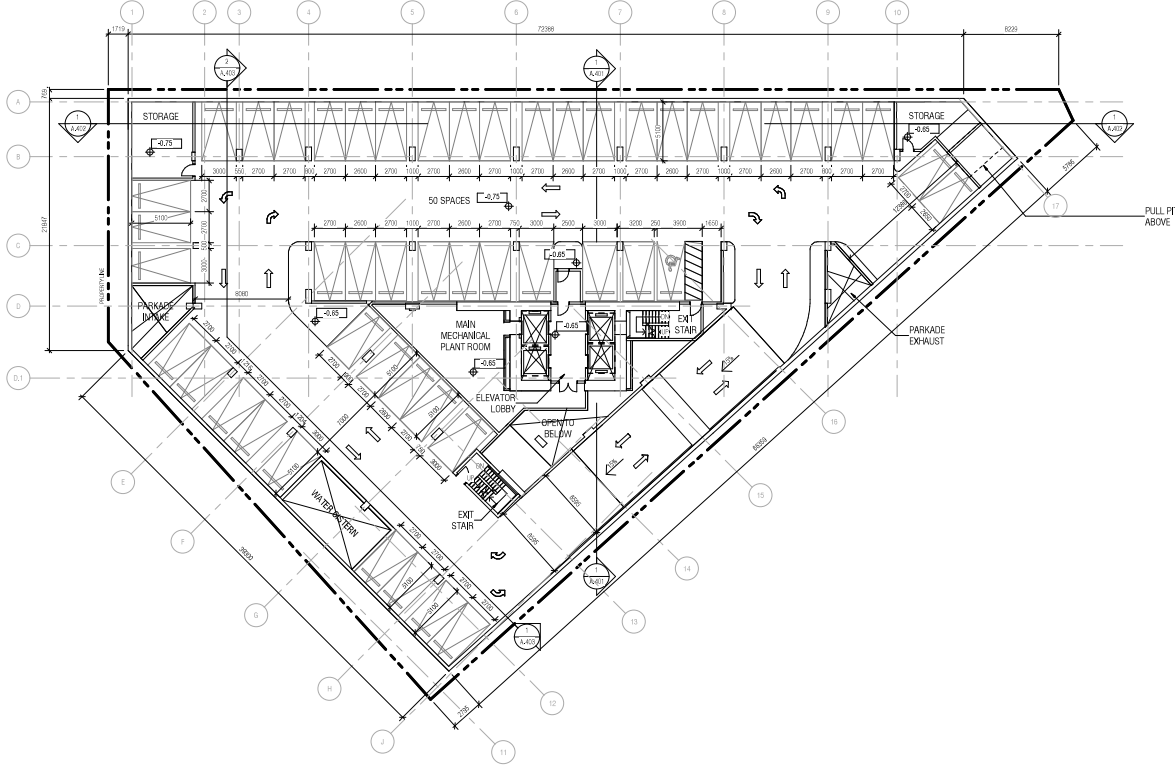
749 Douglas St. Victoria, BC

PLAN - LEVEL P3 - REZOMNG

Scale: 1:200
Project No: 12311
Date: 2020/11/09

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ISSUED

No.	Date	Description
1	2020/05/07	Revising Phase 1/Revision
2	2020/07/15	Revising QP/Modification
3	2020/11/09	Revising QP/Modification/Revision

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PLAN - LEVEL P2 - REZOMNG

Scale: 1:200
 Project No: 15311
 Date: 2020/11/09

A.102

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ISSUED

No.	Date	Description
1	2010/05/07	Revising Phase 0/1/2/3
2	2010/07/15	Revising/UP Application
3	2010/07/15/09	Revising/UP Application Revision

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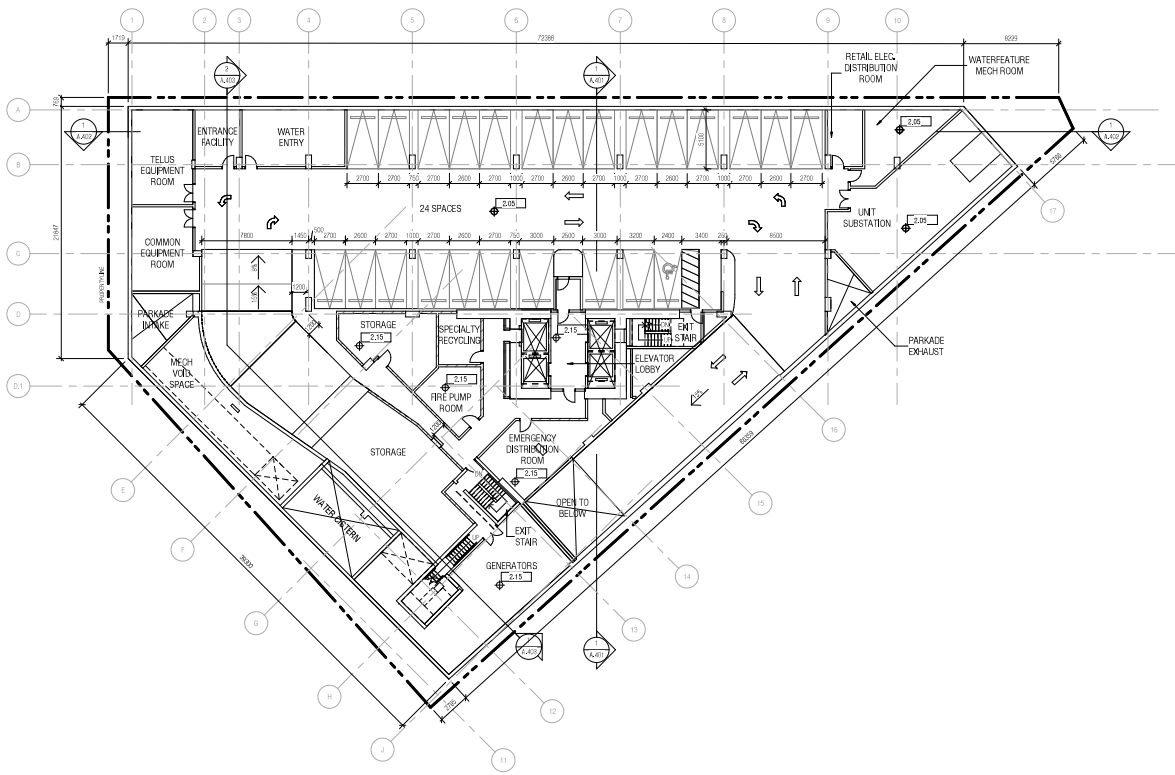
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PLAN - LEVEL P1 - REZOMNG

Scale 1:200
 Project No. 15311
 Date: 2010/11/09

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REVISED FROM CONSULTING FLOOR PLAN 2010_05_07

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Area Schedule (Green Building - Rezoning L1)		
Level	Name	Area
LEVEL 1	Plot Area	12625.00 SF
LEVEL 1	Plot Area (Realt 1)	8735.20 SF
LEVEL 1	Plot Area (Realt 2)	12020.00 SF
LEVEL 1	Plot Area (Realt 3)	1822.80 SF
Grand Total 4		11225.00 SF

NOT FOR CONSTRUCTION

ISSUED

No.	Date	Description
1	2019/05/07	Issued for Review
2	2019/05/15	Revised for Approval
3	2019/05/15	Revised for Application Review

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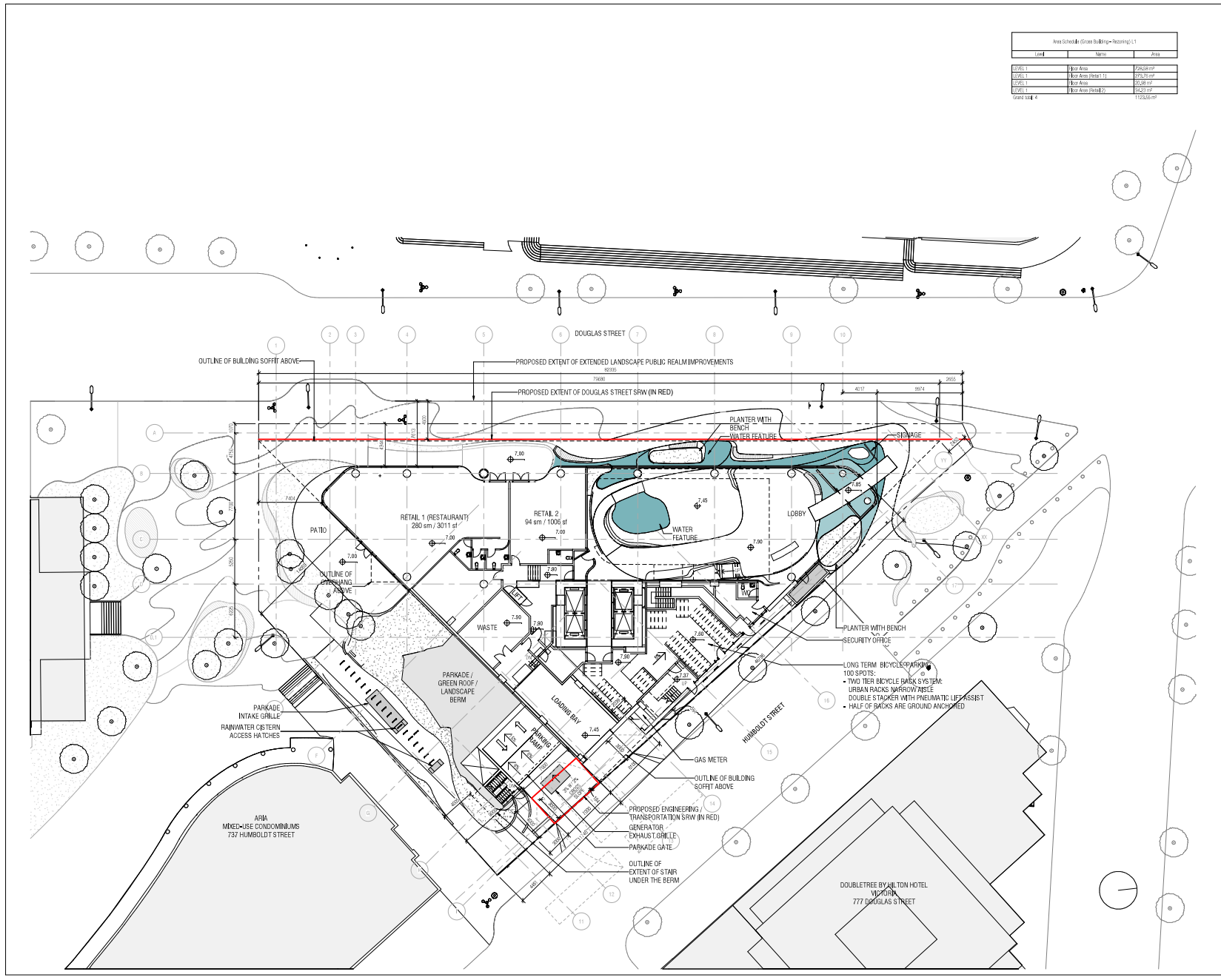
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PLAN - LEVEL 1 - REZONING

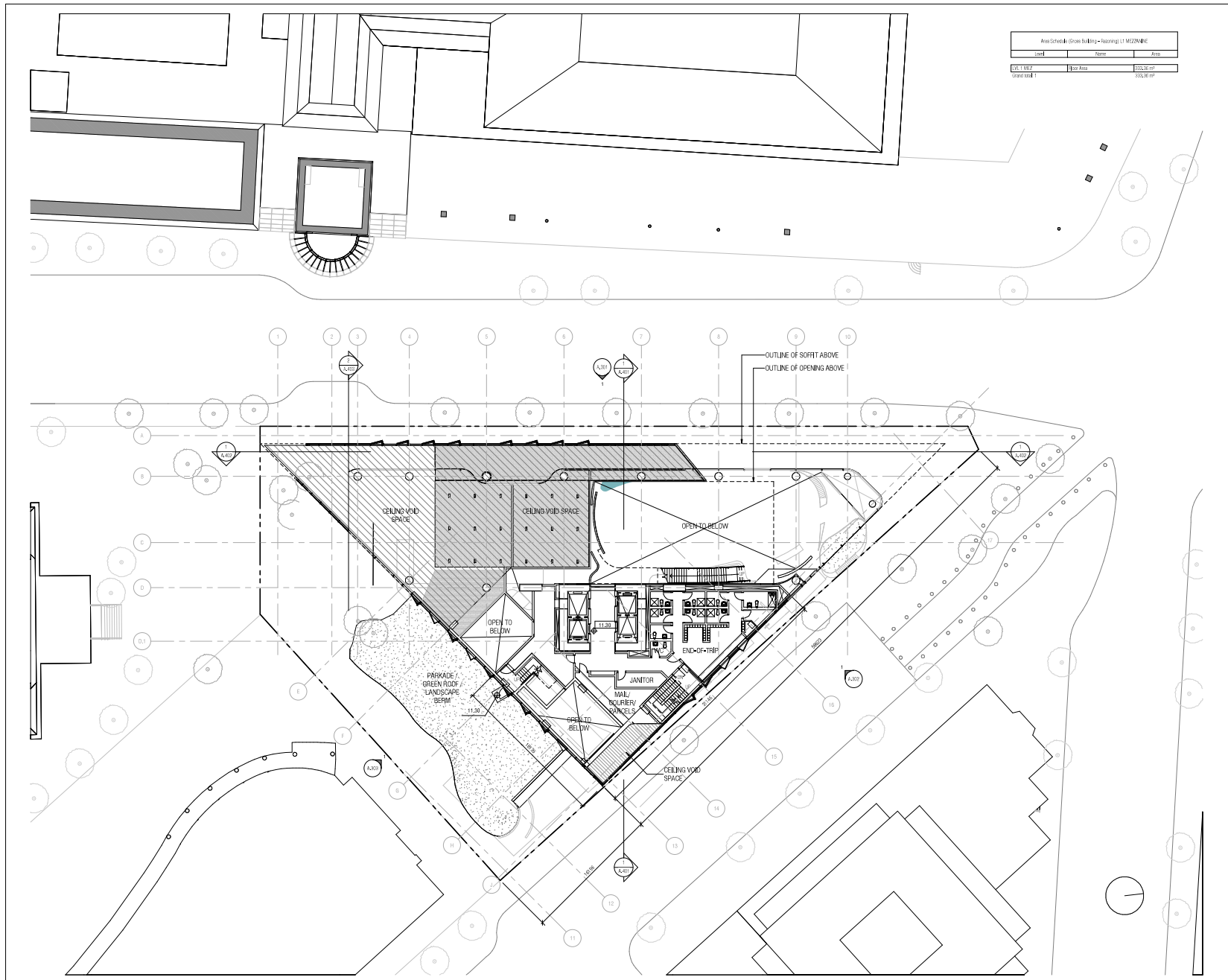
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Area School of Grace Building - Rezoning L1 MEZZANINE		
Level	Name	Area
EVE 1 MEZ	Rez Area	553.36 m ²
Ground Fl		553.36 m ²

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No.	Date	Description
1	2020/05/20	Revising Phase 1/Revision
2	2020/07/15	Revising Phase 1/Revision
3	2020/11/09	Revising Phase 1/Revision

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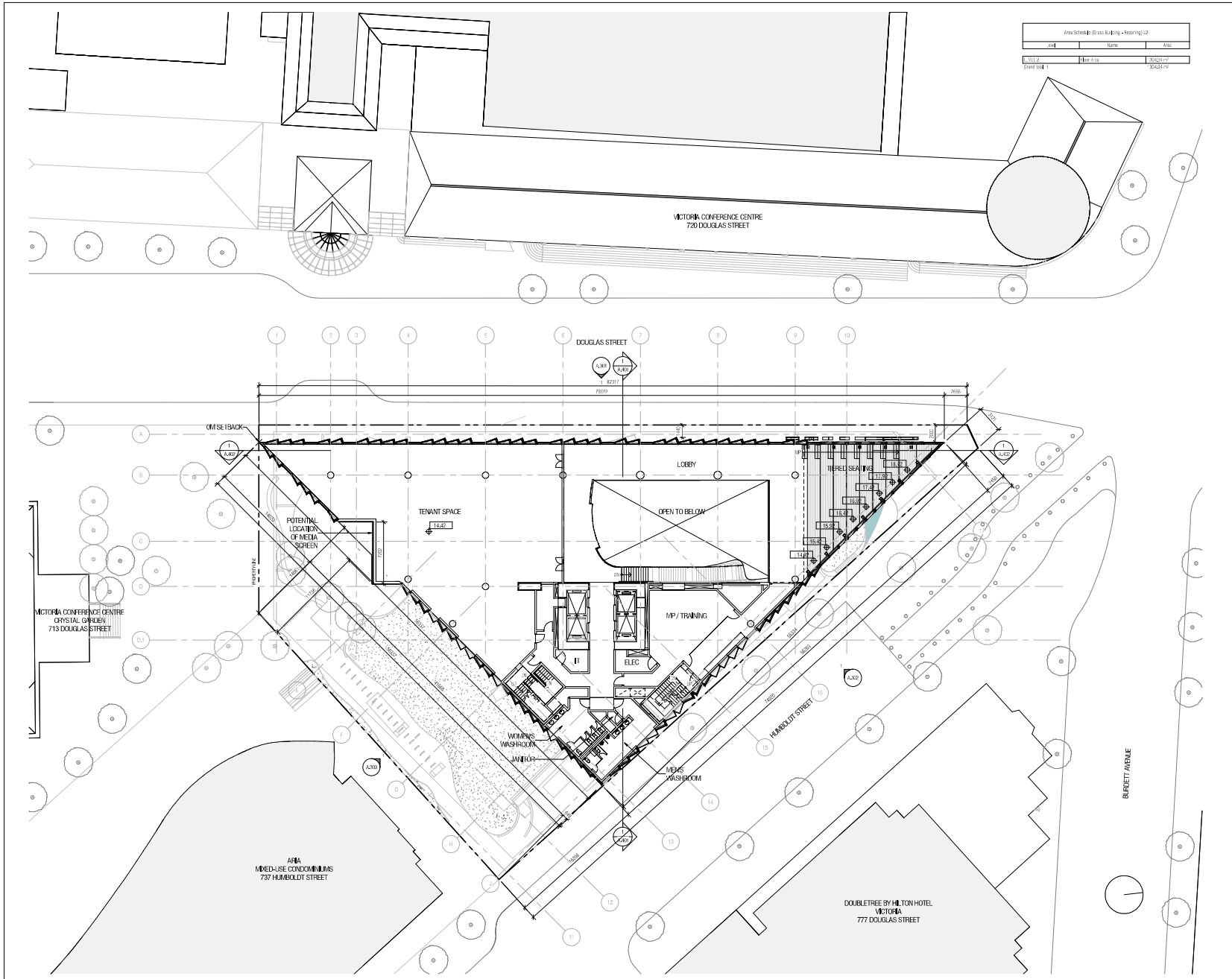
PLAN - LEVEL 1 - MEZZANINE - REZONING

Scale: 1:200
 Project No: 15211
 Date: 2020/11/09

A.105

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No.	Date	Description
1	2010/05/20	Revising Phase/Location
2	2010/07/15	Revising MEP Analysis
3	2010/11/09	Revising MEP Application Review

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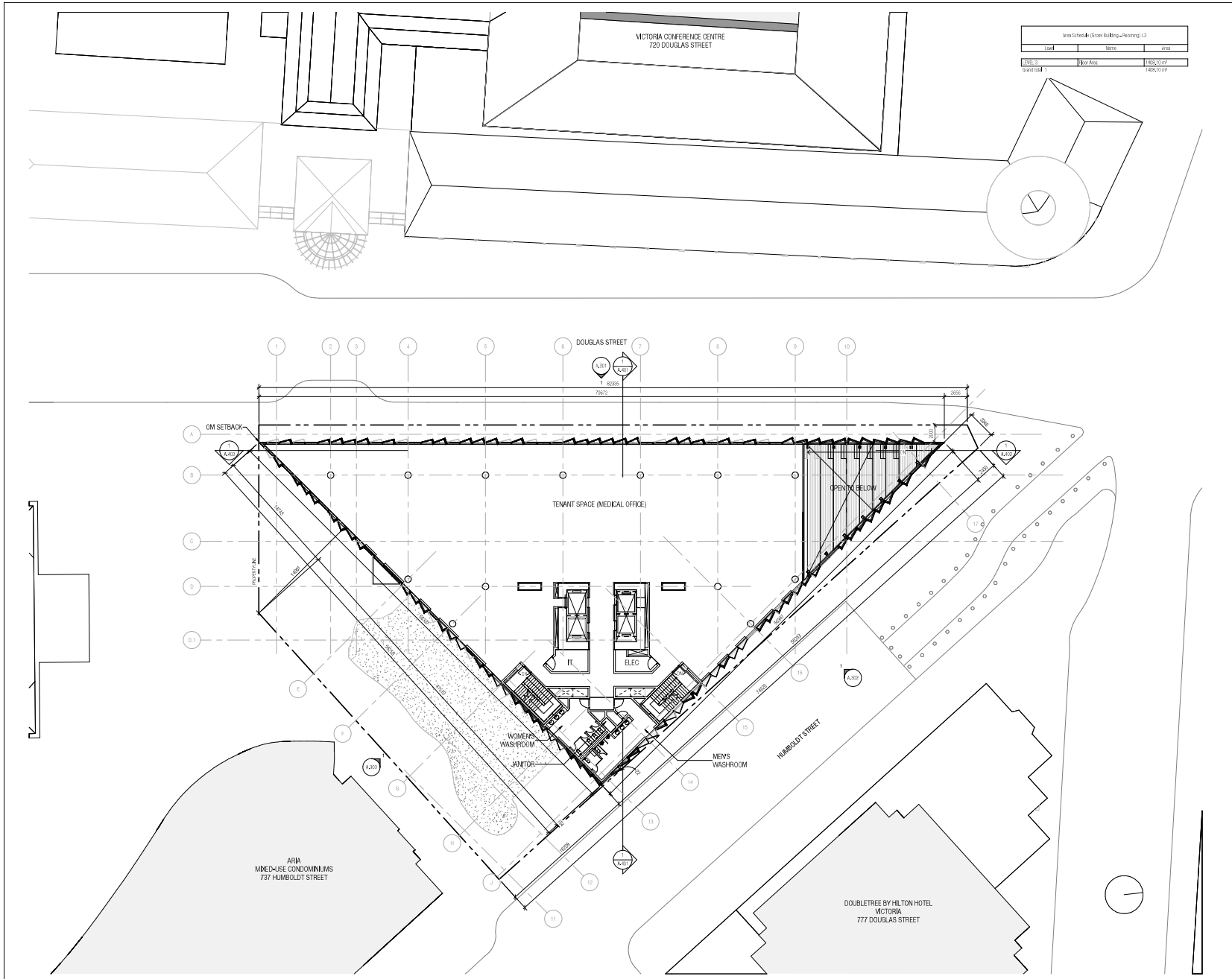
PLAN - LEVEL 2 - REZONING

Scale: 1:200
 Project No: 1011
 Date: 2010/11/09

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ISSUED

No.	Date	Description
1	2018/05/30	Rezoning Phase 1/Revision
2	2018/07/15	Rezoning/CP Application
3	2019/07/10/09	Rezoning/CP Application Revision

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TELUS OCEAN

749 Douglas St, Victoria, BC

PLAN - LEVEL 3 - REZONING

Scale: 1:200
 Project No: 1511
 Date: 2020/11/09

A.107

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Area Schedule (Street Building - Rezoning) of		
Level	Name	Area
LEVEL 4	Box Area	1550.02 m ²
Grand Total		1550.02 m ²

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No.	Date	Description
1	2020/05/07	Receiving Phase/Location
2	2020/07/15	Receiving/CP Modification
3	2020/11/09	Receiving/CP Application Revision

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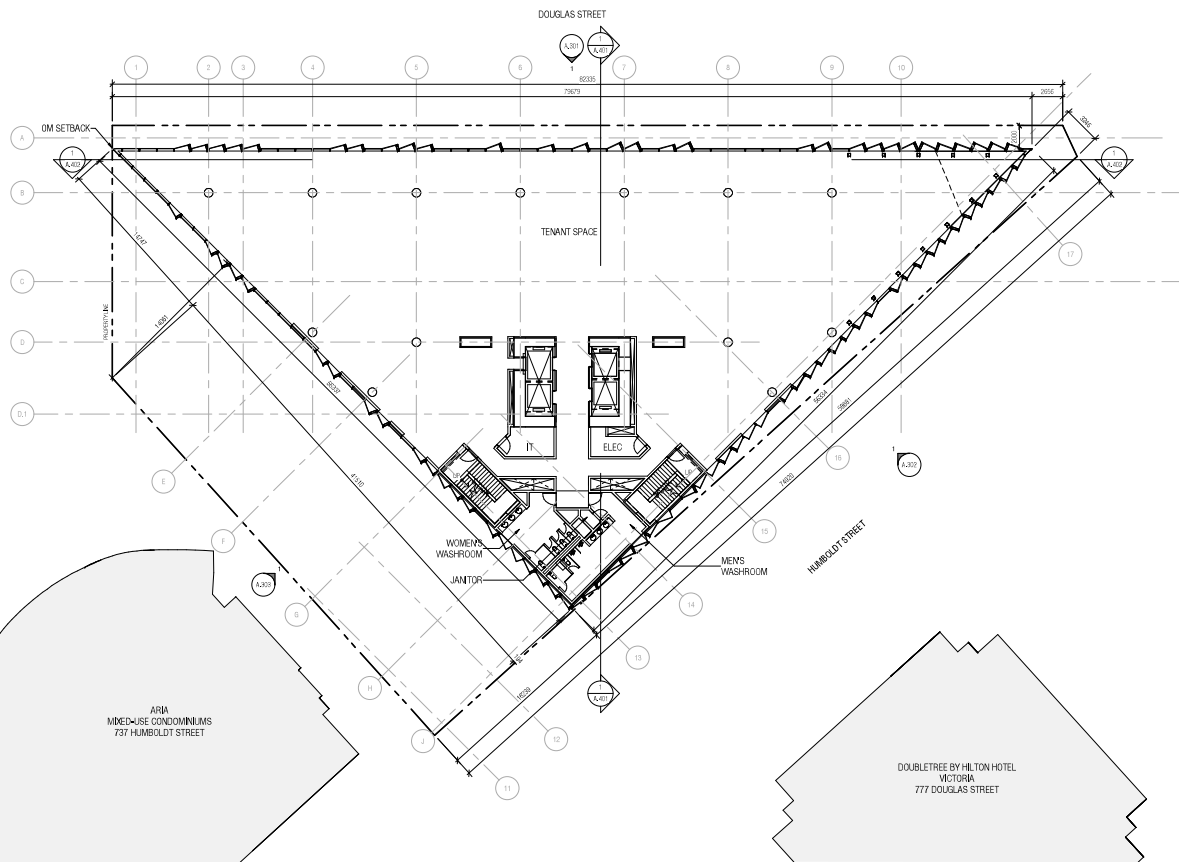
TELUS OCEAN

749 Douglas St, Victoria, BC

PLAN - LEVEL 4 - REZONING

Scale: 1:200
 Project No: 15311
 Date: 2020/11/09

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Area Schedule (Trench Building - Rezoning) (S)		
Level	Name	Area
LEVEL 5	Ten Area	1455.57M ²
GRADE 1		1455.57M ²

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ISSUED

No.	Date	Description
1	2020/05/07	Receiving Phase/Location
2	2020/07/15	Receiving QP Application
3	2020/07/15/09	Receiving QP Application Revision

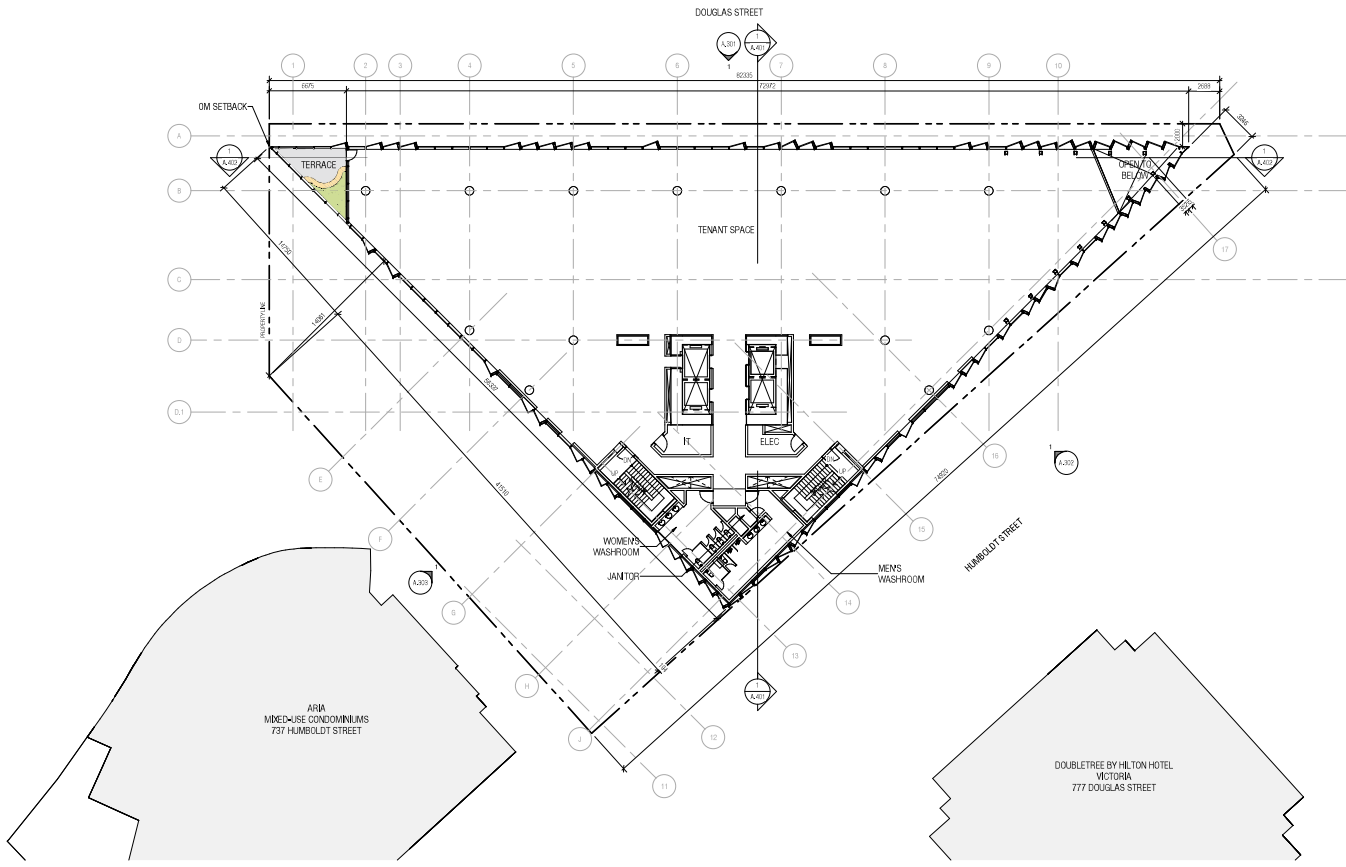
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 366 Adelaide Street West, Suite 100, Toronto, Canada M5H 1B7
 Tel: 416 662 8800 Fax: 416 962 5308 info@diamond.ca www.diamond.ca

TELUS OCEAN

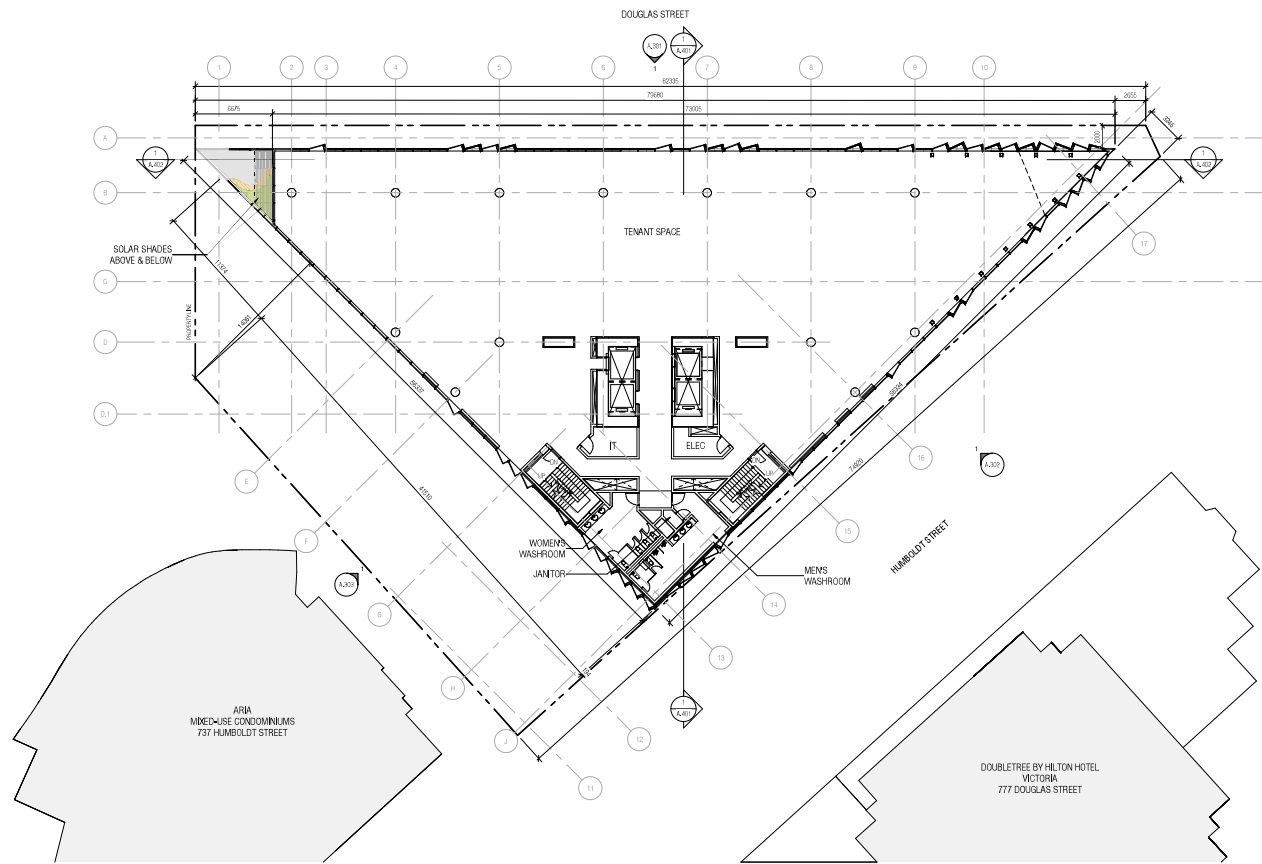
749 Douglas St, Victoria, BC

PLAN - LEVEL 5 - REZONING

Scale: 1:200
 Project No: 15311
 Date: 2020/11/09



Area Schedule (Cross-Building - Rezoning) 05		
Level	Floor Area	Area
LEVEL 6		1324.77 m ²
Grand total		1324.77 m ²



**NOT FOR
CONSTRUCTION**

ISSUED

No.	Date	Description
1	2010/05/07	Receiving Phase/Location
2	2010/07/15	Receiving/CP Modification
3	2010/07/16/09	Receiving/CP Application Revision

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749 Douglas St, Victoria, BC

PLAN - LEVEL 6 - REZONING

Scale: 1:200
 Project No: 1211
 Date: 2010/11/09

A.110

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2010-11-09 10:07:48 AM

Area School M (Green Building - Rezoning) L7		
Level	Name	Area
LEVEL 7	Open Area	1,536.71 SF
Grand total: 1		

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ISSUED

No.	Date	Description
1	2010/05/07	Receiving Phase/Location
2	2010/07/15	Receiving/CF Modification
3	2010/07/16/09	Receiving/CF Application Revision

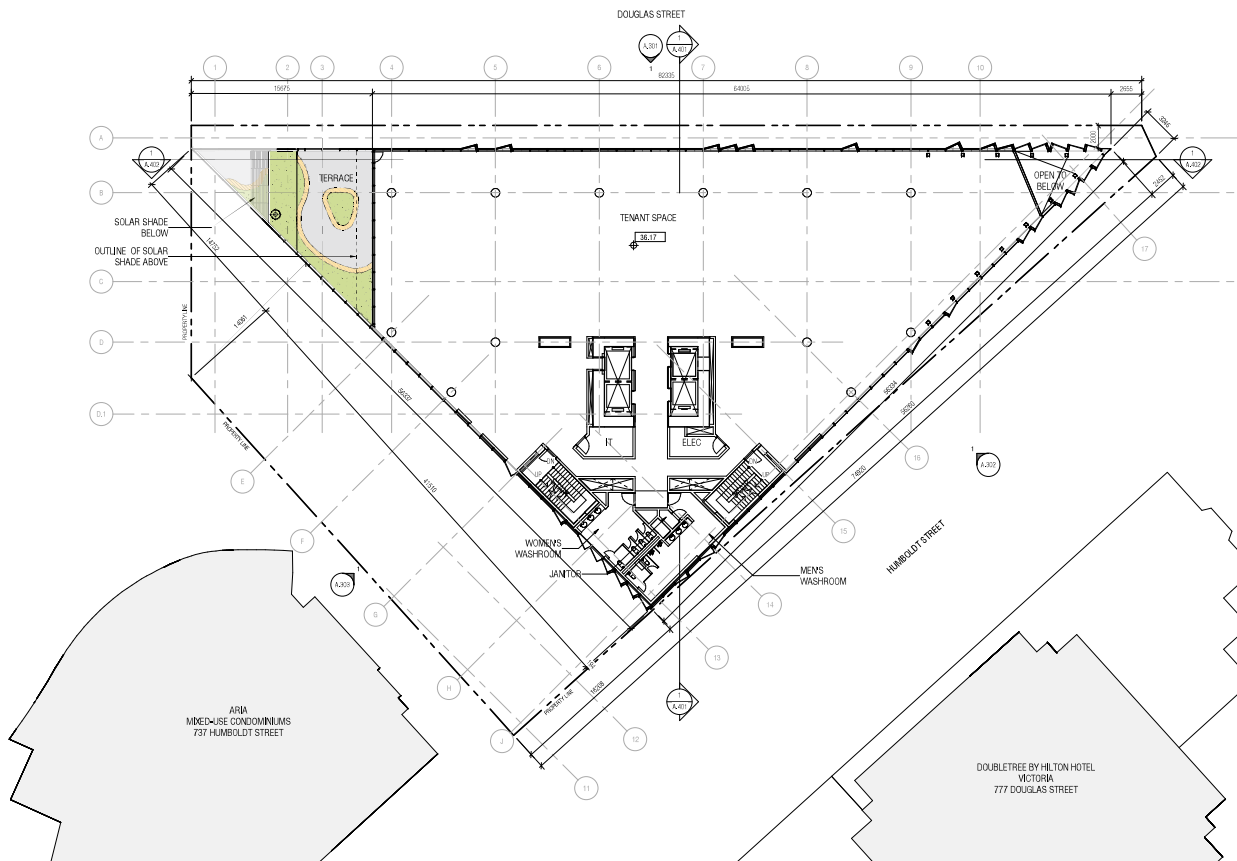
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749 Douglas St, Victoria, BC

PLAN - LEVEL 7 - REZONING

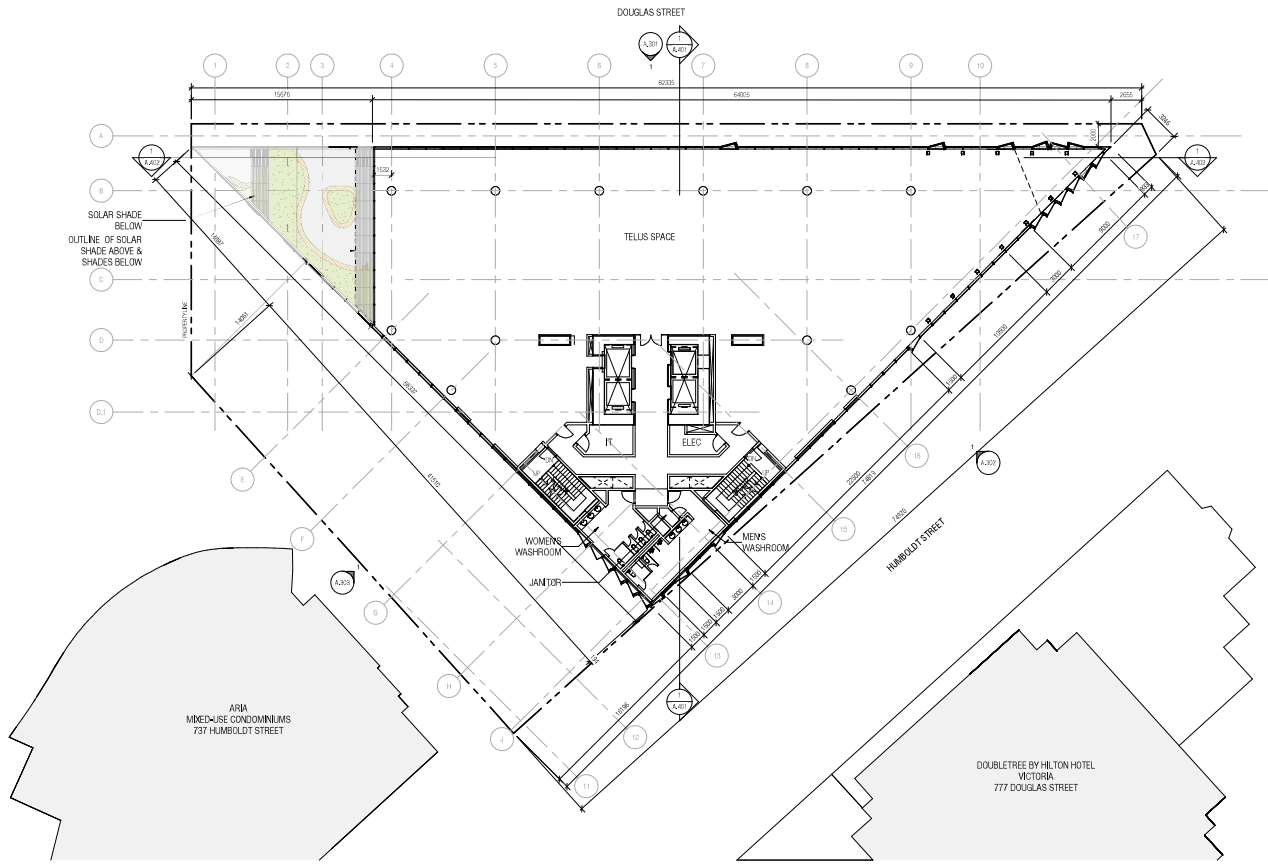
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 Project No: 1211
 Date: 2010/11/09



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Area Schedule (Green Building - Rezoning) US		
Level	Name	Date
LEVEL 8	Plan Area	14/10/2020
Sheet No. 1		14/10/2020



SOLAR SHADE
BELOW
OUTLINE OF SOLAR
SHADE ABOVE &
SHADES BELOW

AREA
MIXED-USE CONDOMINIUMS
737 HUMBOLDT STREET

DOUBLETREE BY HILTON HOTEL
VICTORIA
777 DOUGLAS STREET

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**NOT FOR
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ISSUED

No.	Date	Description
1	20/02/2020	Receiving Phase 1 Application
2	20/02/2020	Receiving Phase 2 Application
3	20/02/2020	Receiving Phase 3 Application

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PLAN - LEVEL 8 - REZONING

Scale: 1:200
Project No: 1211
Date: 2020/11/09

A.112

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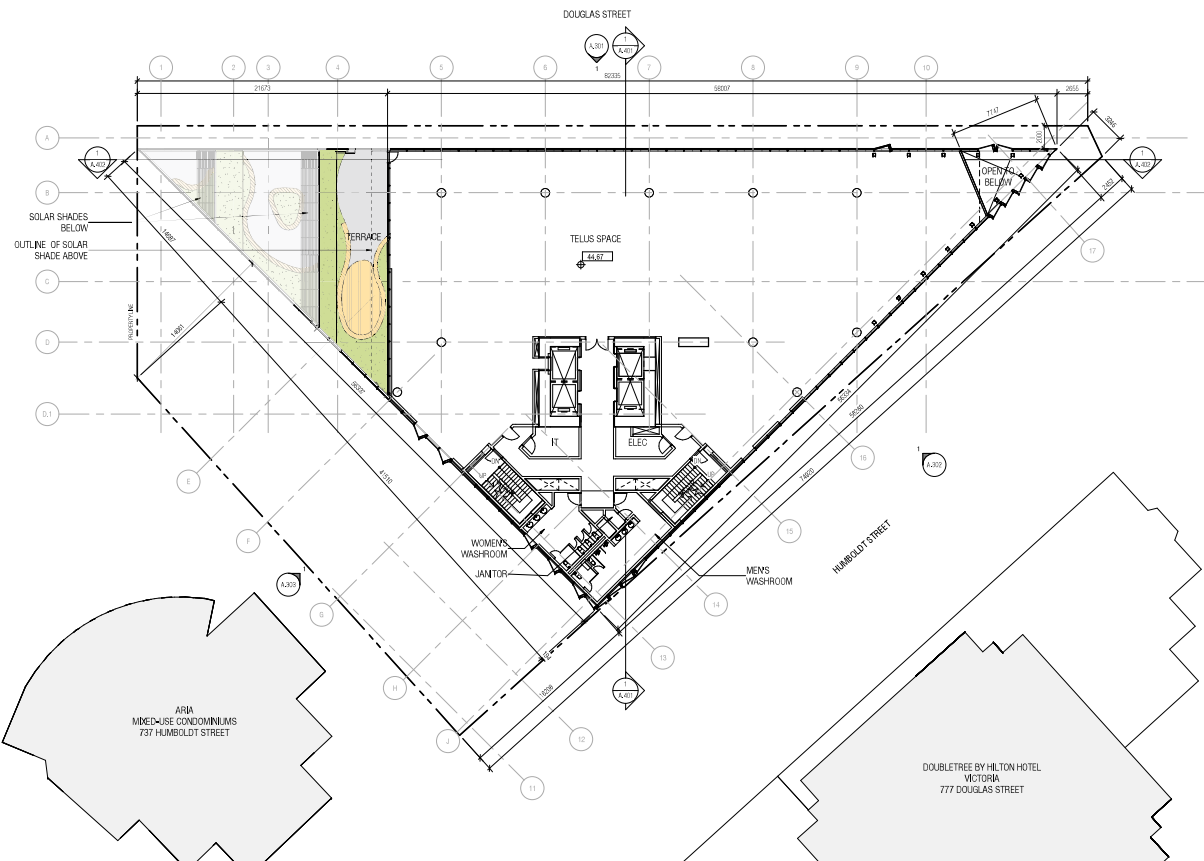
2020-11-09 10:20:30 AM

Area Schedule (Gravel) Building - Rezoning 10		
Level	Name	Area
LEVEL 9	Lot Area	1862.04 sq
Sheet 1 of 1		

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ISSUED		
No.	Date	Description
1	2019/10/30	Prevision Phase 1/Revision
2	2019/12/15	Revising/CI/Modification
3	2020/11/09	Revising/CI/Revision



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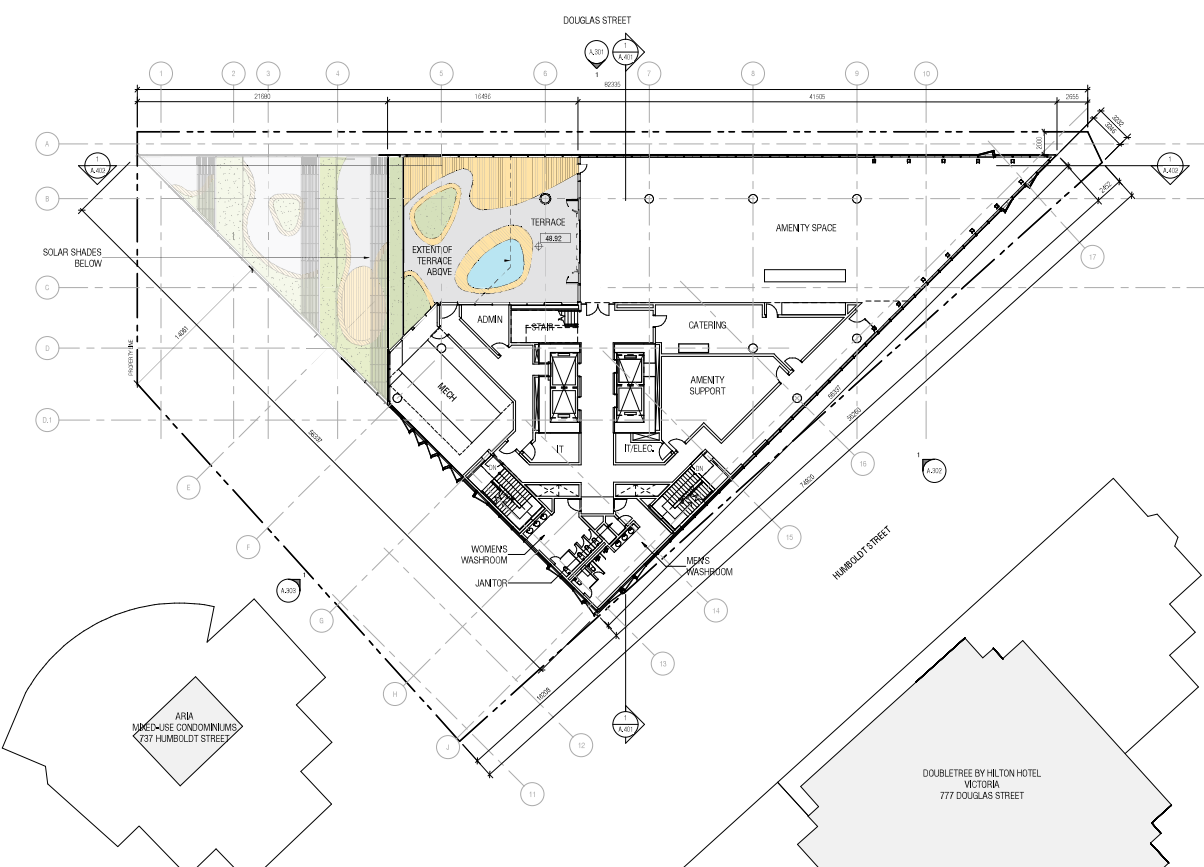
TELUS OCEAN

749 Douglas St, Victoria, BC

PLAN - LEVEL 9 - REZONING

Scale: 1/200
Project No: 1511
Date: 2020/11/09

Area Schmitt (Grass Building) - Rezoning L10		
Level	Name	Area
LEVEL 10	Box Area	1181.25 SQ FT
Grand Total:		1181.25 SQ FT



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No.	Date	Description
1	2019/12/10	Receiving Phase 1 Application
2	2020/02/12	Receiving Phase 2 Application
3	2020/11/03	Receiving Phase 3 Application Revision

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PLAN - LEVEL 10 - REZONING

Scale: 1:200
 Project No: 1211
 Date: 2020/11/09

A.114

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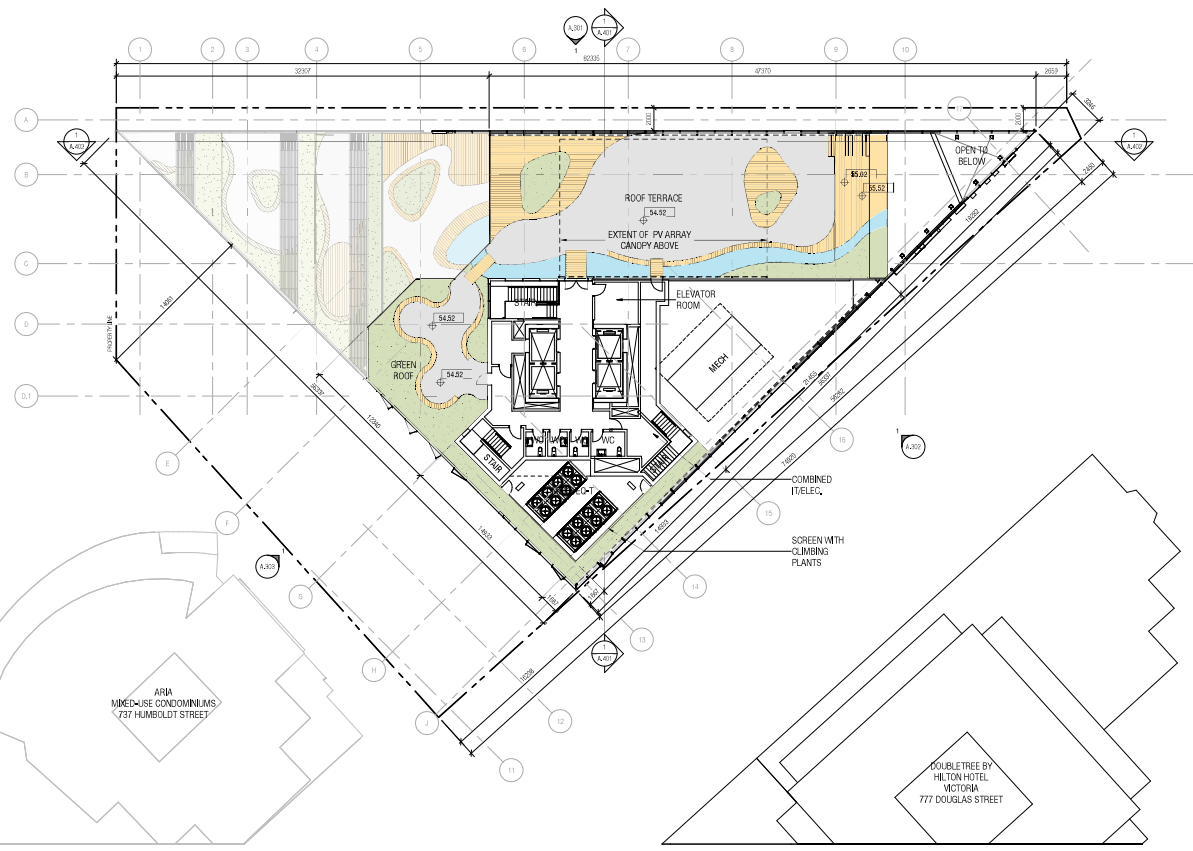
Area Schedule (Cross-Building - Rezoning) L11		
Level	Name	Area
LEVEL 11 - LOWER ROOF	Plan Area	2735.827
Grade	11.1	075.000'

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ISSUED

No.	Date	Description
1	2023/05/30	Rezoning Phase 1/Revision
2	2023/07/15	Rezoning-UP Application
3	2023/11/09	Rezoning-UP Application Revision



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749 Douglas St, Victoria, BC

PLAN - LEVEL 11 - REZONING

Scale: 1:200
 Project No: 12311
 Date: 2023/11/09

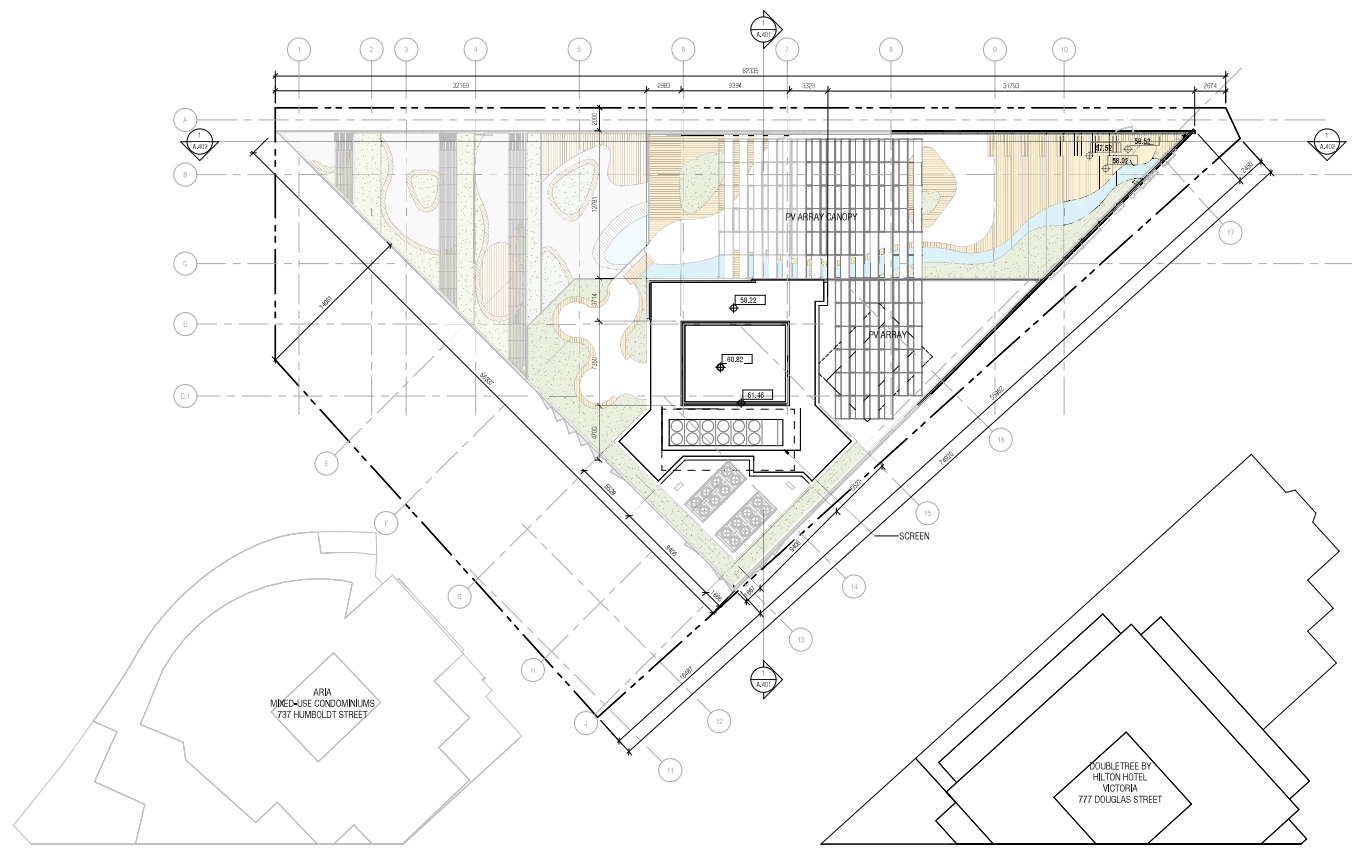
A.115

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

ISSUED

No.	Date	Description
1	2020/05/20	Permitting Phase/Location
2	2020/07/15	Permitting/UP Application
3	2020/07/15	Permitting/UP Application Revision



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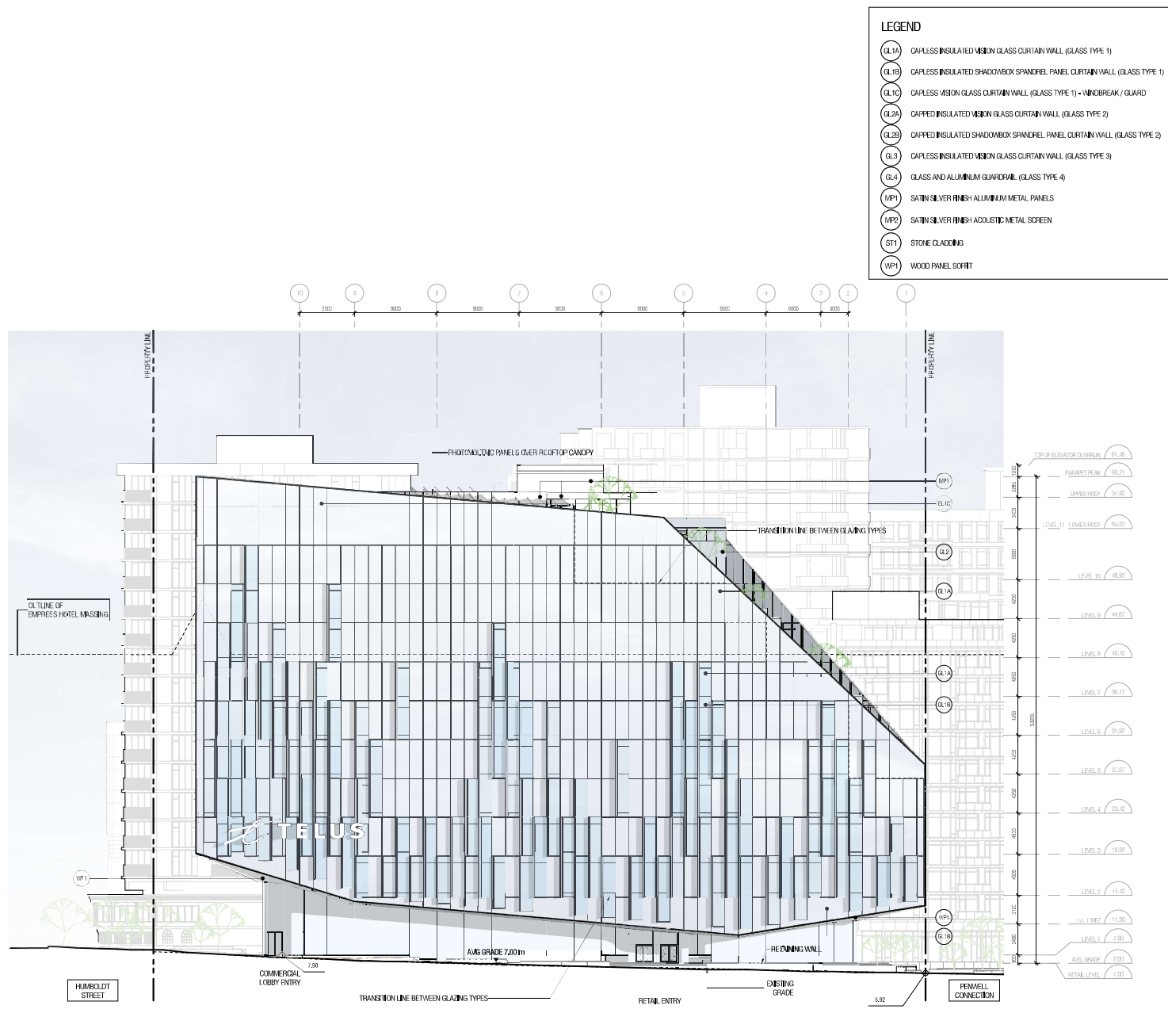
749 Douglas St, Victoria, BC

PLAN - UPPER ROOF - REZONING

Scale: 1:200
Project No: 12311
Date: 2020/11/09

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2020-11-09 10:06:14 AM



- LEGEND**
- (GL1A) CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 1)
 - (GL1B) CAPLESS INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 1)
 - (GL1C) CAPLESS VISION GLASS CURTAIN WALL (GLASS TYPE 1) - WINDBREAK / GUARD
 - (GL2A) CAPPED INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 2)
 - (GL2B) CAPPED INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 2)
 - (GL3) CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 3)
 - (GL4) GLASS AND ALUMINUM GUARDRAIL (GLASS TYPE 4)
 - (MP1) SATIN SILVER FINISH ALUMINUM METAL PANELS
 - (MP2) SATIN SILVER FINISH ACOUSTIC METAL SCREEN
 - (ST1) STONE CLADDING
 - (WP1) WOOD PANEL SORT

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THE SHOWN CURTAIN WALL SYSTEMS ARE SUBJECT TO CHANGE BY THE ARCHITECT.

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ISSUED

No.	Date	Description
1	20201020	Review Presentation
2	20201110	Review VOP Application

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TELUS OCEAN

749 Douglas St, Victoria, BC

ELEVATION - WEST - RE-ZONING

Scale: 1:200
 Project No: 1331
 Date: 2020-11-09

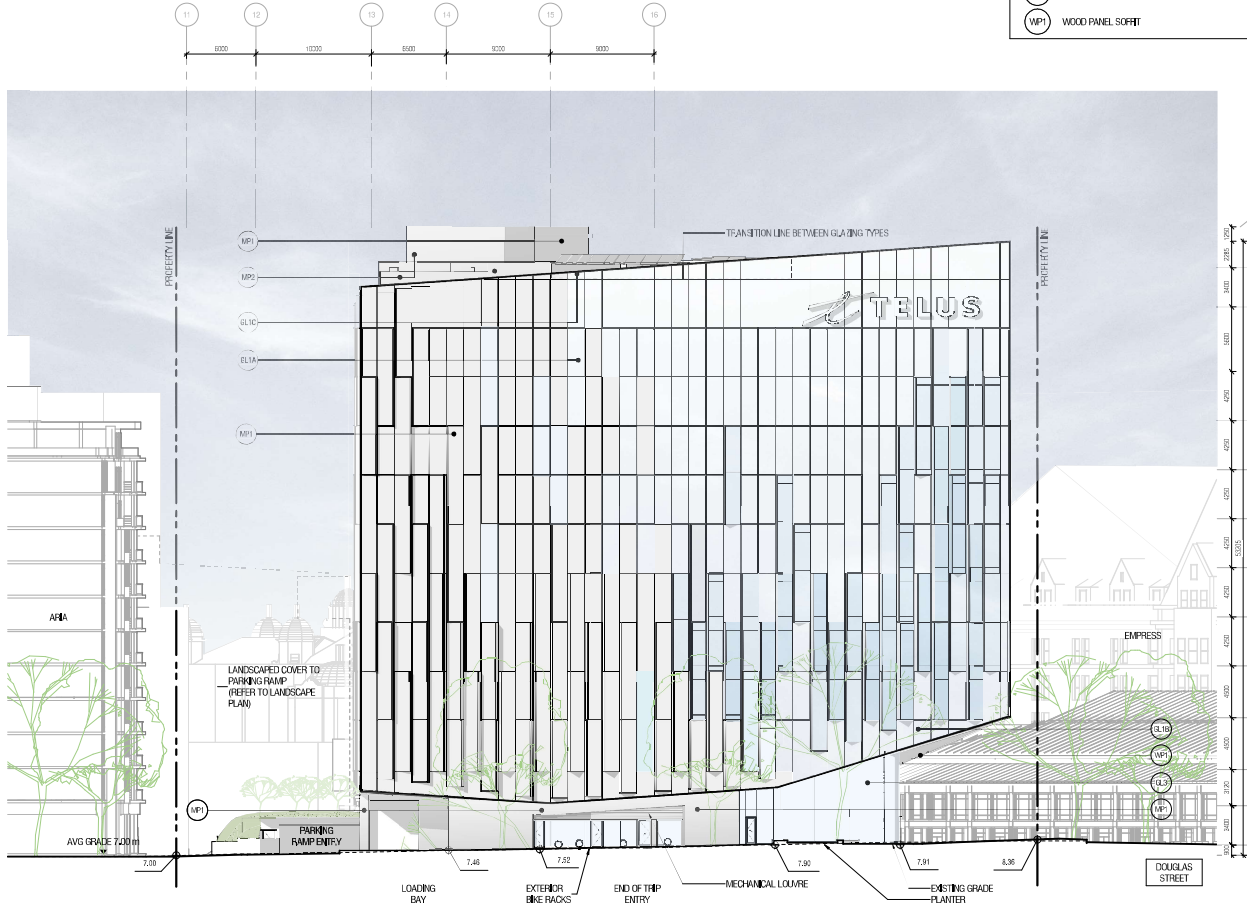
A.301

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2010.12.09 11:05:31 AM

LEGEND

- (GL1A) CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 1)
- (GL1B) CAPLESS INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 1)
- (GL1C) CAPLESS VISION GLASS CURTAIN WALL (GLASS TYPE 1) - WINDBREAK / GUARD
- (GL2A) CAPPED INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 2)
- (GL2B) CAPPED INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 2)
- (GL3) CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 3)
- (GL4) GLASS AND ALUMINUM CLAMP PANEL (GLASS TYPE 4)
- (MP1) SATIN SILVER FINISH ALUMINUM METAL PANELS
- (MP2) SATIN SILVER FINISH ACOUSTIC METAL SCREEN
- (ST1) STONE CLADDING
- (WP1) WOOD PANEL SOFFIT



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ISSUED

No.	Date	Issued For	Description
1	2/20/10	Planning	Pre-Validation
2	2/26/10	Revisions	QP Application

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TELUS OCEAN

749 Douglas St, Victoria, BC

ELEVATION - EAST - REZONING

Scale: 1:200
Project No: 1011
Date: 2010.11.09

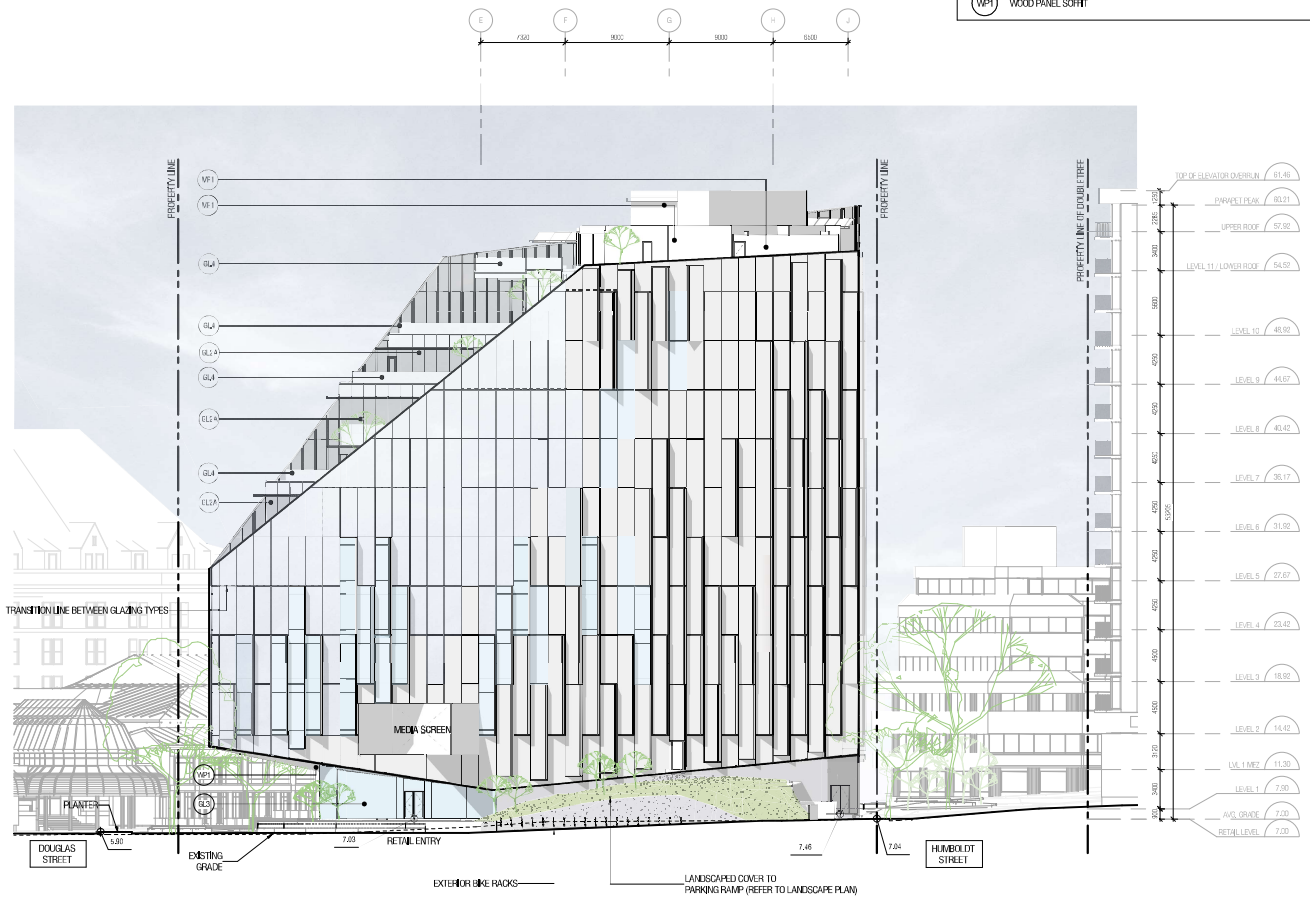
A.302

04-2023-11011-104m-0204-REV1711_1_ARCH_034_Building_0304.rvt

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LEGEND

- GL1A CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 1)
- GL1B CAPLESS INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 1)
- GL1C CAPLESS VISION GLASS CURTAIN WALL (GLASS TYPE 1) - WINDBREAK / GUARD
- GL2A CAPPED INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 2)
- GL2B CAPPED INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 2)
- GL3 CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 3)
- GL4 GLASS AND ALUMINUM GUARDRAIL (GLASS TYPE 4)
- MP1 SATIN SILVER FINISH ALUMINUM METAL PANELS
- MP2 SATIN SILVER FINISH ACOUSTIC METAL SCREEN
- ST1 STONE CLADDING
- WP1 WOOD PANEL SOFFIT



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No.	Date	Description
1	22/02/2020	Issued for Permit Application
2	22/02/2021	Issued for Construction

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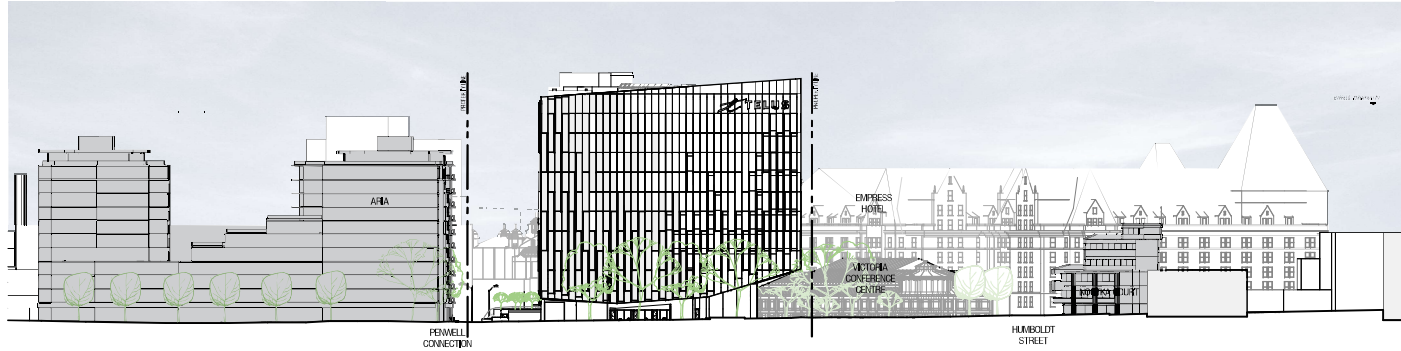
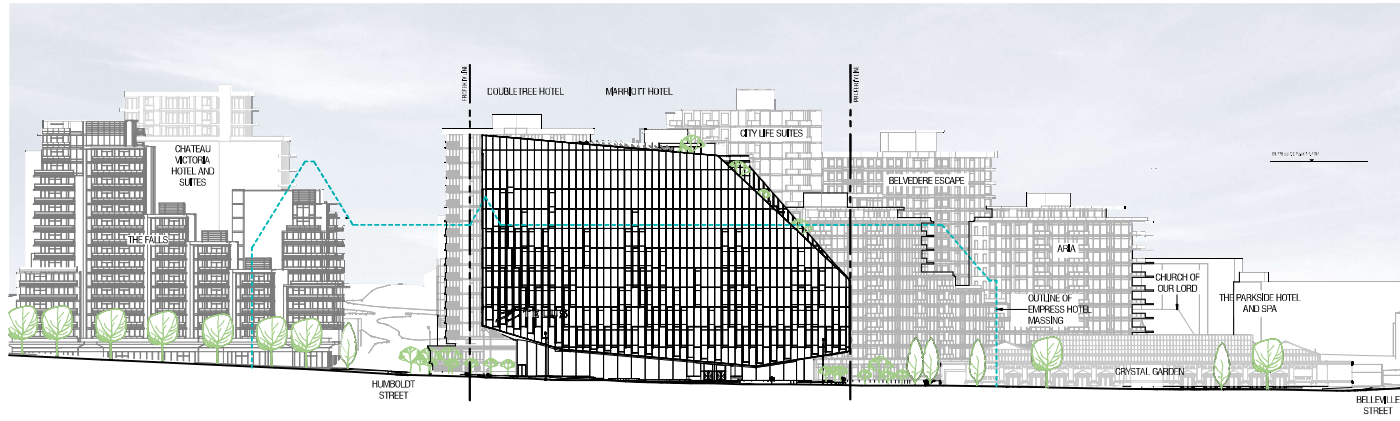
TELUS OCEAN

749 Douglas St, Victoria, BC

ELEVATION - SOUTH - RE-ZONING

Scale: 1:200
 Project No: 1571
 Date: 2020-11-09

A.303



NOT FOR CONSTRUCTION

ISSUED

No.	Date	Description
1	22/02/20	Issuing Phase 1/2/3
2	22/02/21	Revising QIP Application
3	22/02/23	Revising QIP Application Review

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749 Douglas St. Victoria, BC

CONTEXT ELEVATIONS - REZONING

Scale: 1:500
 Project No: 1911
 Date: 20/01/09

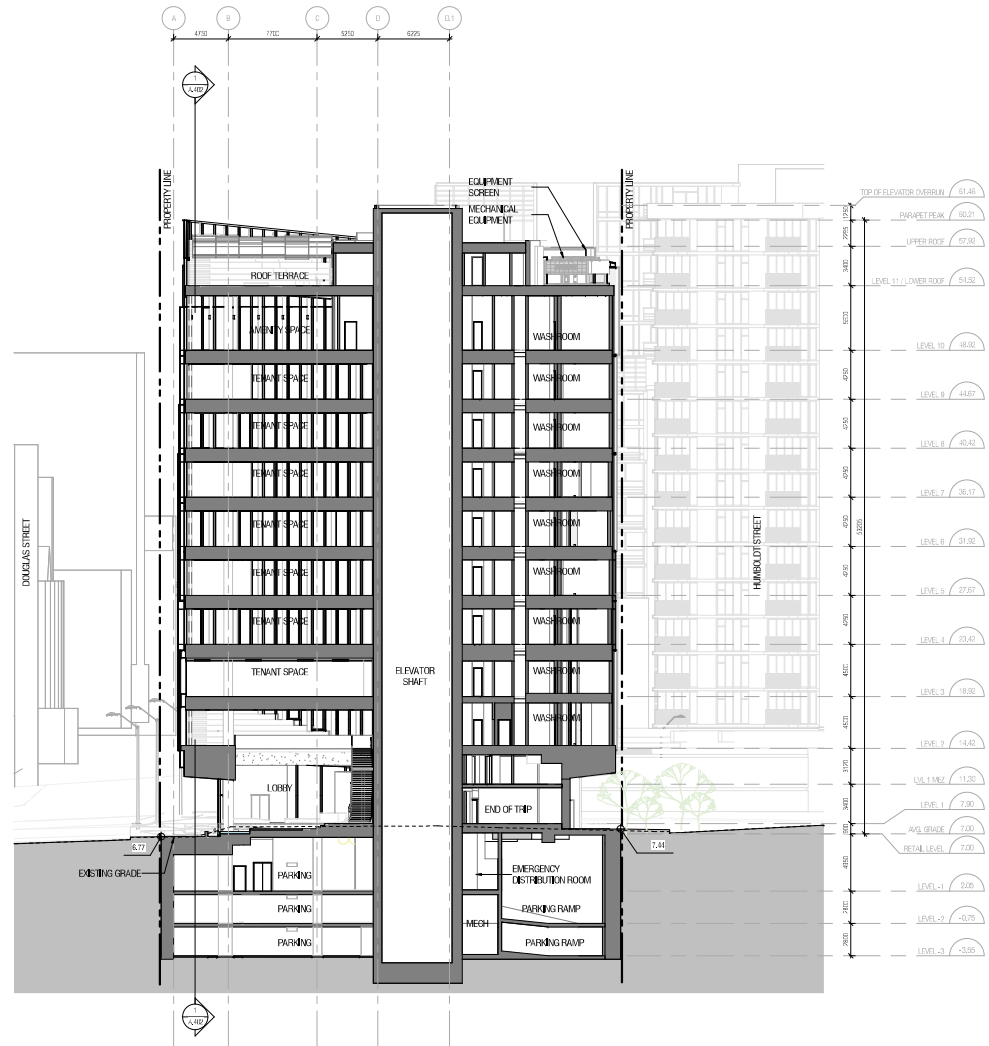
A.304

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 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NOT FOR
CONSTRUCTION

ISSUED

No.	Date	Description
1	2020/10/20	Revised Permitted
2	2020/11/18	Revised for final
3	2020/11/24	Revised for final

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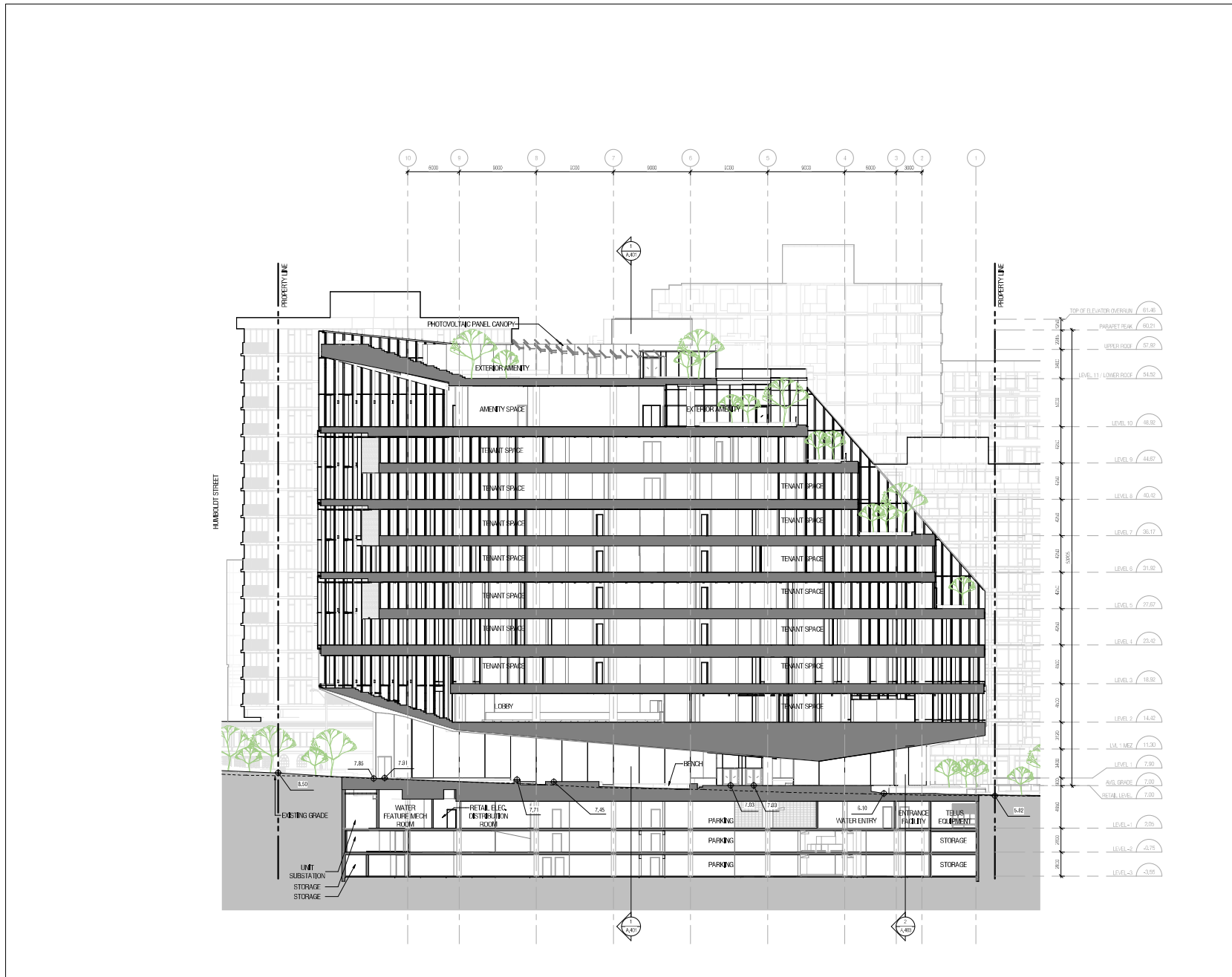
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 Project No: 1511
 Date: 2020-11-09

A.401

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2020.11.09.11.20.05.00



**NOT FOR
CONSTRUCTION**

ISSUED

No.	Date	Description
1	22/05/20	Revision Phase 01/04/20
2	22/07/21	Revision 02/01/21
3	22/09/20	Revision 03/01/20

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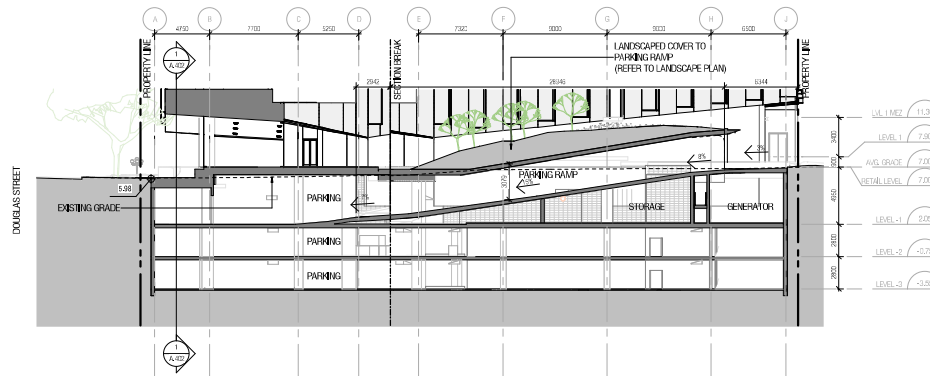
SECTION D - REZONING

Scale: 1:200
Project No: 1011
Date: 2020-11-09

A.402

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 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

**NOT FOR
CONSTRUCTION**

ISSUED

No.	Date	Description
1	2010.05.20	Issuing Phase 1/2
2	2010.07.15	Revisions for final plan
3	2010.11.09	Revisions for final plan

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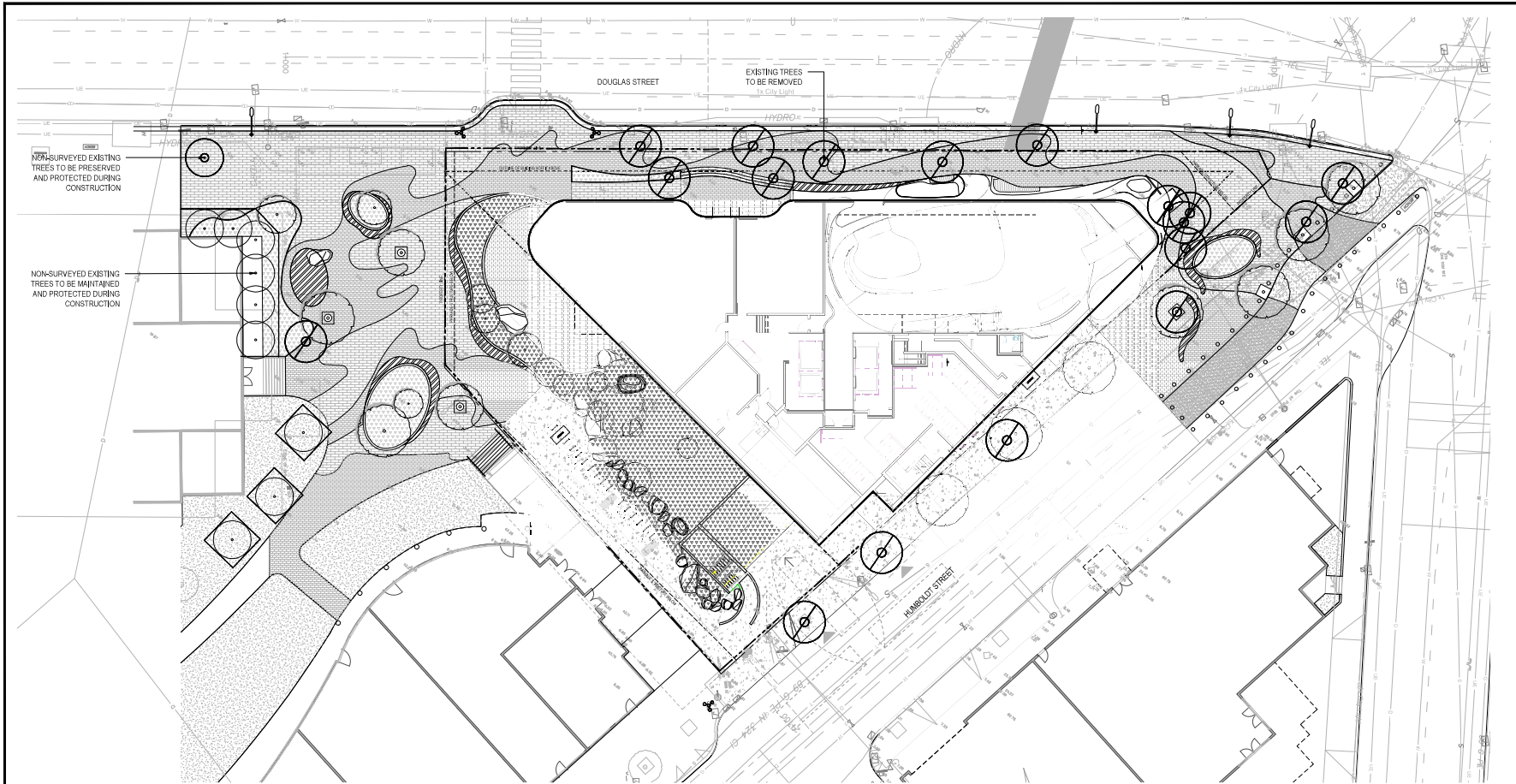
TELUS OCEAN

749 Douglas St. Victoria, BC

SECTION F - REZONING

Scale: 1:200
 Project No: 10-11
 Date: 2010-11-09

A.403



CLIENT:

PROJECT TEAM:
 LANDSCAPE ARCHITECT - LEAD CONSULTANT
 PFS Studio
 1777 West 3rd Avenue
 Vancouver, BC V6J 1K7
 ARCHITECT:
 DIAMOND SCHMITT ARCHITECTS
 384 Adelaide Street West, Suite 100
 Toronto, ON M5V 1R7

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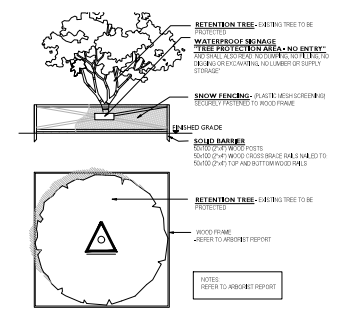
REVISIONS:

No.	Date	Details	By
1	05-20-2007	ISSUED FOR PERMITS/LOP	JW
2	10-09-2007	ISSUED FOR PRELIMINARY DEVELOPMENT	JW
3	10-09-2007	ISSUED FOR DEVELOPMENT PERMIT	JW

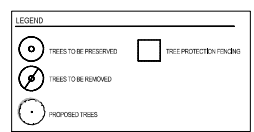


STAMP:

1 TREE MANAGEMENT PLAN
 SCALE: 1:200



- NOTES:
1. ALL CONSTRUCTION WORK CLOSE TO EXISTING TREES TO BE RETAINED SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST AND IN CONSULTATION WITH THE CITY OF VICTORIA. ARBORIST: SUCH WORK SHALL INCLUDE BUT NOT BE LIMITED TO ANY EXCAVATION NEAR OR WITHIN THE TREE PROTECTION ZONE, ALL WORK RELATED TO BE CARRIED OUT WITHIN THE TREE PROTECTION AREAS, ALL ROOT PRUNING, ANY REQUIRED BRANCH PRUNING, AND ANY OTHER NECESSARY ENCROACHMENT INTO THE TREE PROTECTION AREAS.
 2. NO STORAGE OF BUILDING CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
 3. PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS, VIBRATES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH.
 4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL AND/OR RELOCATION.
 5. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION FOR STREET TREES TO BE APPROVED BY CITY OF VICTORIA.



2 TREE PROTECTION FENCING
 SCALE: NTS

PROJECT NAME:
TELUS OCEAN

DRAWING TITLE:
TREE MANAGEMENT PLAN

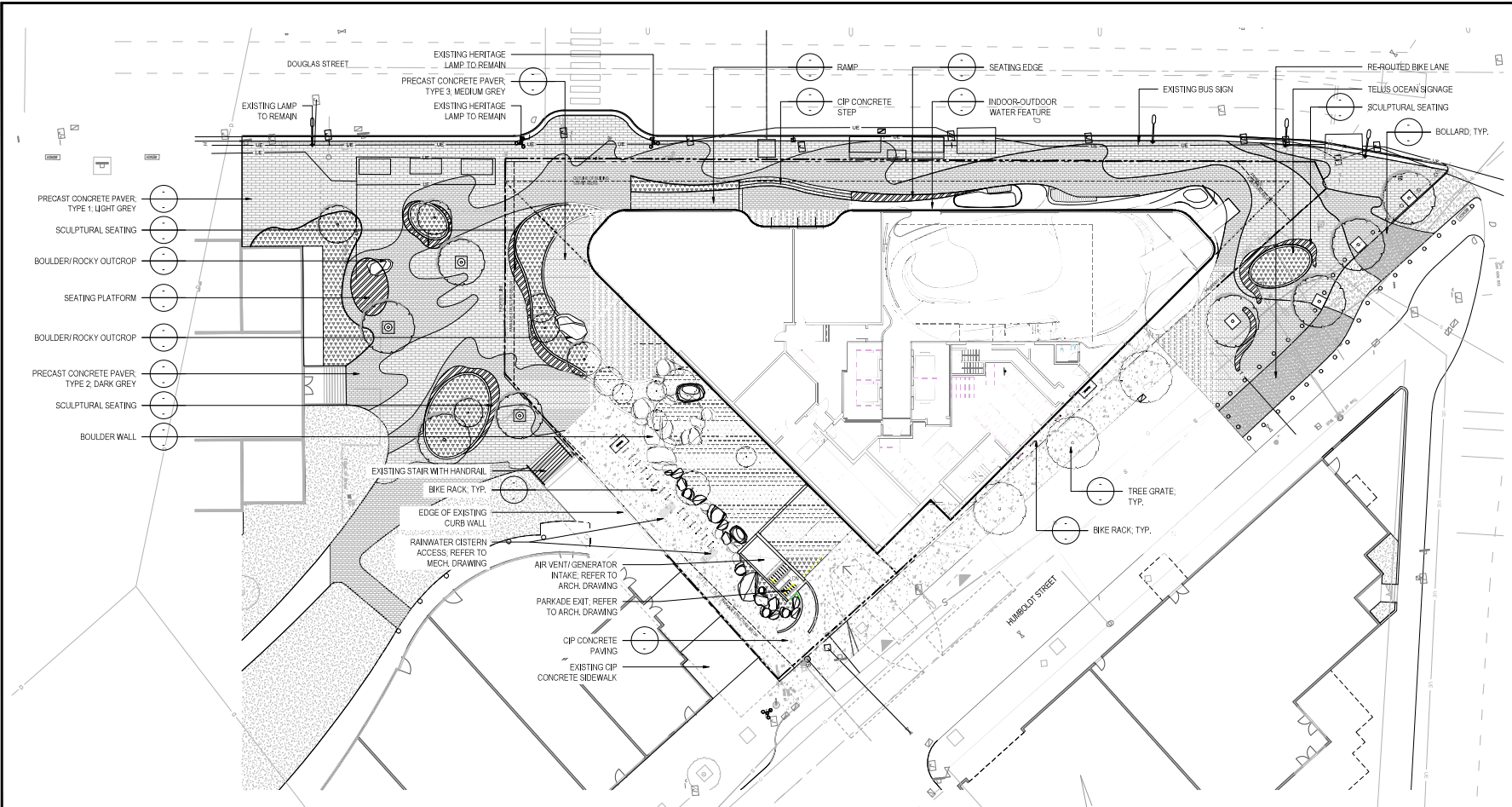
PFS PROJECT NUMBER: 20007 DATE: 07/15/2020

DRAWN BY: JW CHECKED BY: JMM

SCALE: 1:200

DWG. NO. **L2.01** OF: XX

DATE: 07/15/2020 11:40 AM USER: JMMV012020 TREE MANAGEMENT PLAN.rvt 30007.rvt



- PRECAST CONCRETE PAVER, TYPE 1, LIGHT GREY
- SCULPTURAL SEATING
- BOULDER/ROCKY OUTCROP
- SEATING PLATFORM
- BOULDER/ROCKY OUTCROP
- PRECAST CONCRETE PAVER, TYPE 2, DARK GREY
- SCULPTURAL SEATING
- BOULDER WALL

1 MATERIAL PLAN - GROUND LEVEL
SCALE: 1/200

LEGEND	
	PRECAST CONCRETE PAVER - TYPE 1
	PRECAST CONCRETE PAVER - TYPE 2
	PRECAST CONCRETE PAVER - ON PEDESTAL
	CIP CONCRETE
	WOOD DECK
	SCULPTURAL SEATING / SEATING PLATFORM
	WATER FEATURE
	PLANTING AREA

- GENERAL NOTES:**
- 1) Do not scale drawings. Use dimensional information as noted in drawings. Contact the Landscape Architect immediately if there is any ambiguity, lack of information or inconsistency. Disregard for this note and extra costs incurred will not be accepted.
 - 2) All lines and dimensions are parallel or perpendicular to the lines from which they are measured/ referenced unless noted otherwise.
 - 3) The Contractor shall verify dimensions shown on drawings and notify the Landscape Architect of any discrepancies or inconsistencies prior to construction.
 - 4) Contractor to provide a stakes-out location on site for review and approval by Landscape Architect prior to any excavation or installation.
 - 5) The Contractor shall be responsible for verifying the property line.

CLIENT:

PROJECT TEAM

LANDSCAPE ARCHITECT - LEAD CONSULTANT
PFS Studio
1777 West 3rd Avenue
Vancouver, BC V6J 1K7

ARCHITECT
DIAMOND SCHMITT ARCHITECTS
384 Adelaide Street West, Suite 100
Toronto, ON M5V 1R7

DATE: 07/15/2020

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NO.	DATE	DESCRIPTION	BY
1	07-15-2020	ISSUED FOR PERMITS / I/P	JW
2	10-03-2020	ISSUED FOR SPONSOR DEVELOPMENT	JW
3	11-06-2020	ISSUED FOR DEVELOPMENT PERMIT	JW

PFS STUDIO
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STAMP:

PROJECT NAME
TELUS OCEAN

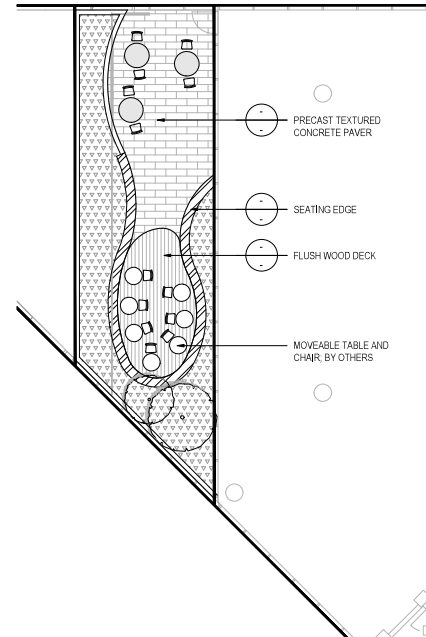
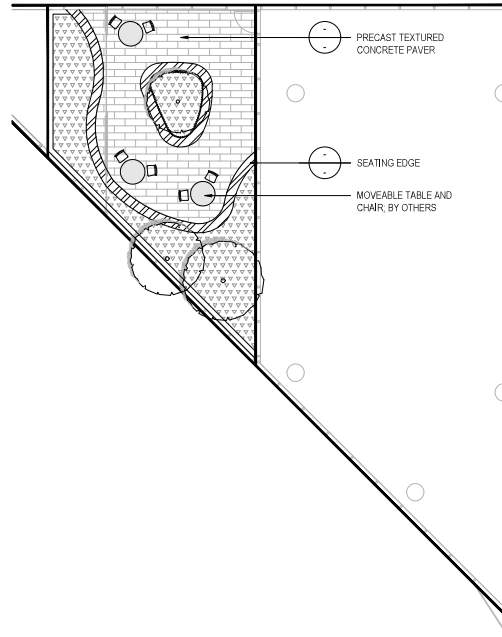
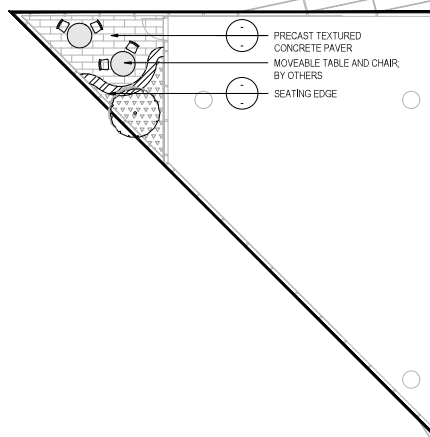
DRAWING TITLE
**MATERIAL PLAN
GROUND LEVEL**

PFS PROJECT NUMBER: 20007 DATE: 07/15/2020
DRAWN BY: JW CHECKED BY: NM

SCALE: 1:200

DWG. NO.: **L3.01** OF: XX

ALL SITE FURNITURE TO BE SPECIFIED BY OTHERS (TO BE DETERMINED)



1 MATERIAL PLAN - LEVEL 5
SCALE: 1:100

2 MATERIAL PLAN - LEVEL 7
SCALE: 1:100

3 MATERIAL PLAN - LEVEL 9
SCALE: 1:100

LEGEND				
P1		PRECAST CONCRETE PAVER - TYPE 1		SEATING EDGE
P2		PRECAST CONCRETE PAVER - TYPE 2		WATER FEATURE
P3		PRECAST CONCRETE PAVER - ON PEDESTAL		PLANTING AREA
P4		CIP CONCRETE		NON ACCESSIBLE GREEN ROOF PLANTING AREA
P5		FLUSH WOOD DECK - ON PEDESTAL		

- GENERAL NOTES:**
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 - Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation.
 - The Contractor shall be responsible for verifying the property line.

CLIENT:

PROJECT TEAM

LANDSCAPE ARCHITECT - LEAD CONSULTANT
PFS Studio
1777 West 3rd Avenue
Vancouver, BC V6J 1K7

ARCHITECT
DIAMOND SCHMITT ARCHITECTS
384 Adelaide Street West, Suite 100
Toronto, ON M5V 1R7

DATE: 07/15/2020

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REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	05-15-2020	ISSUED FOR PERMITTING / DP	JW
2	10-05-2020	ISSUED FOR PREDESIGN DEVELOPMENT	JW
3	11-05-2020	ISSUED FOR DEVELOPMENT PERMIT	JW

PFS STUDIO
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

STAMP:

PROJECT NAME

TELUS OCEAN

DRAWING TITLE:

MATERIAL PLAN
LEVEL 5, LEVEL 7, LEVEL 9

PFS PROJECT NUMBER: 22007 DATE: 07/15/2020

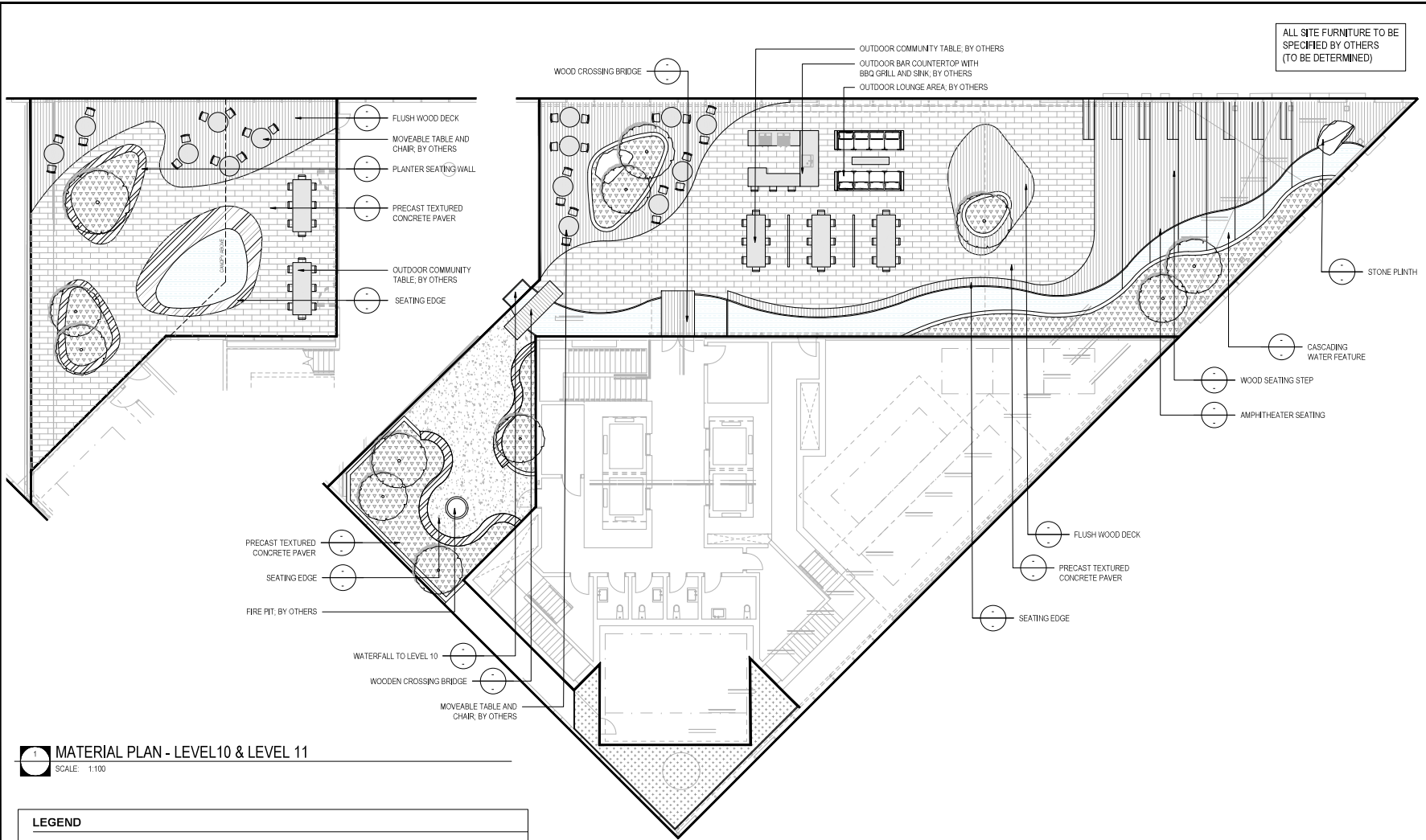
DRAWN BY: JW CHECKED BY: NM

SCALE:
1:100

DWG. NO.:

L3.02

OF: XX



ALL SITE FURNITURE TO BE SPECIFIED BY OTHERS (TO BE DETERMINED)

CLIENT:

PROJECT TEAM
LANDSCAPE ARCHITECT - LEAD CONSULTANT
PFS Studio
1777 West 3rd Avenue
Vancouver, BC V6J 1K7
ARCHITECT
DIAMOND SCHMITT ARCHITECTS
384 Adelaide Street West, Suite 100
Toronto, ON M5V 1R7

DATE: 07/15/2020
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REVISIONS

NO.	DATE	DESCRIPTION	BY
1	07-15-2020	ISSUED FOR PERMITS / DP	JW
2	10-20-2020	ISSUED FOR PERMITS DEVELOPMENT	JW
3	11-05-2020	ISSUED FOR DEVELOPMENT PERMIT	JW

1 MATERIAL PLAN - LEVEL 10 & LEVEL 11
SCALE: 1:100

LEGEND

P1	PRECAST CONCRETE PAVER - TYPE 1	SEATING EDGE
P2	PRECAST CONCRETE PAVER - TYPE 2	WATER FEATURE
P3	PRECAST CONCRETE PAVER - ON PEDESTAL	PLANTING AREA
P4	CIP CONCRETE	NON ACCESSIBLE GREEN ROOF PLANTING AREA
P5	FLUSH WOOD DECK - ON PEDESTAL	

- GENERAL NOTES:**
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 - 4) Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation.
 - 5) The Contractor shall be responsible for verifying the property line.

PFS STUDIO
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

STAMP:

PROJECT NAME
TELUS OCEAN

DRAWING TITLE
**MATERIAL PLAN
LEVEL 10 - LEVEL 11**

PFS PROJECT NUMBER: 22007 DATE: 07/15/2020

DRAWN BY: JW CHECKED BY: NM

SCALE: 1:100

DWG. NO.: **L3.03** OF: XX

CLIENT:

PROJECT TEAM:

LANDSCAPE ARCHITECT - LEAD CONSULTANT
PFS Studio
1777 West 8th Avenue
Vancouver, BC V6J 1K7

ARCHITECT
DIAMOND-SCHMITT ARCHITECTS
384 Adelaide Street West, Suite 1100
Toronto, ON M5V 1R7

CONTRACT HISTORY:

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ISSUES:

No.	Date	Drawn	By
1	17-15-2020	ISSUED FOR REVISION/DP	JW
2	19-09-2020	ISSUED FOR SITE DESIGN DEVELOPMENT	JW
3	11-06-2020	ISSUED FOR DEVELOPMENT PERMIT	JW



STAMP:

PROJECT NAME:

TELUS OCEAN

DRAWING TITLE:

PLANTING PLAN
GROUND LEVEL

PFS PROJECT NUMBER:

2007

DATE:

07/15/2020

DRAWN BY:

JW

CHECKED BY:

NM

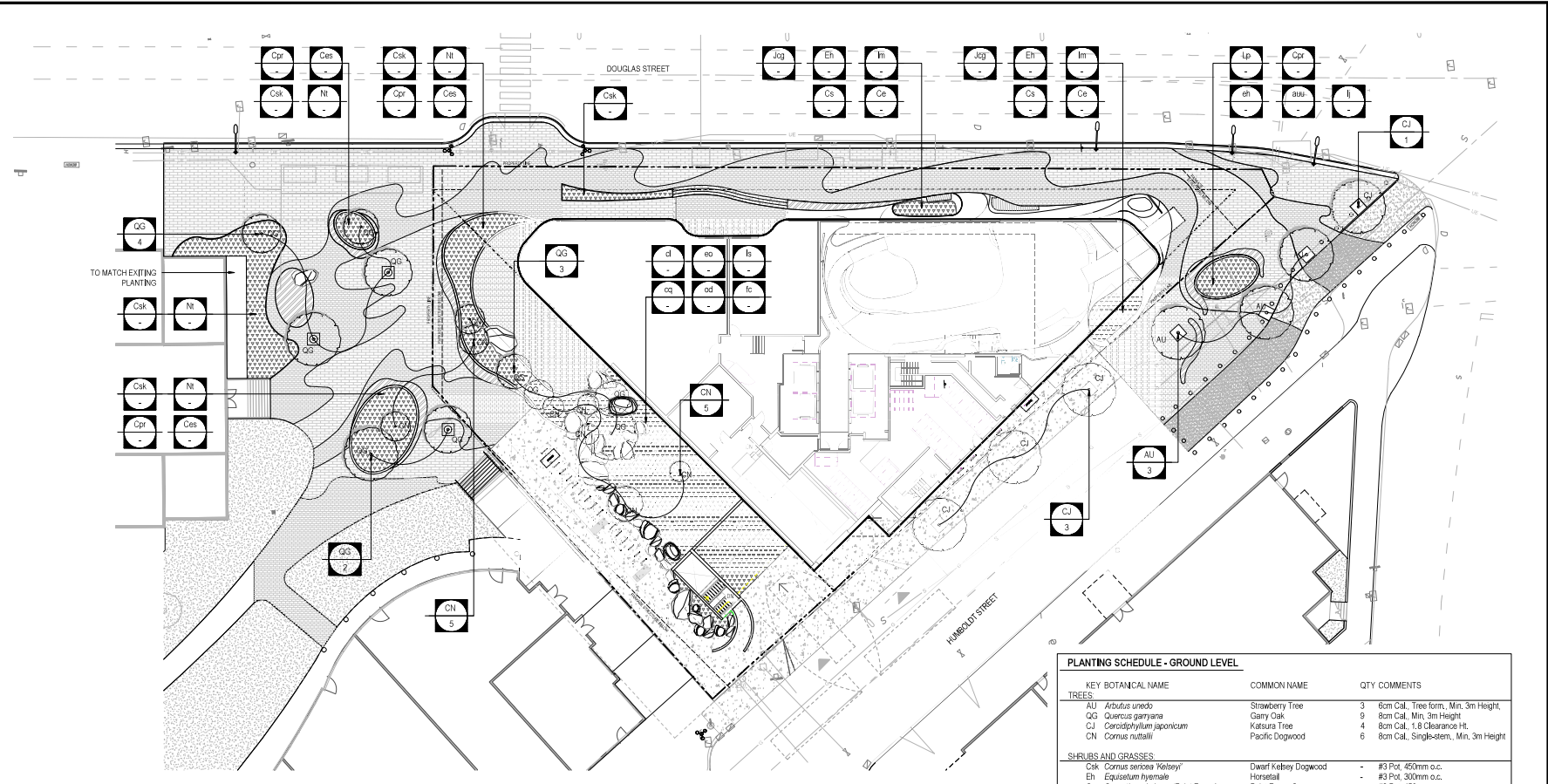
SCALE:

1:200

DWG. NO.:

L6.01

OF: XX



1 PLANTING PLAN - GROUND LEVEL

SCALE: 1:200

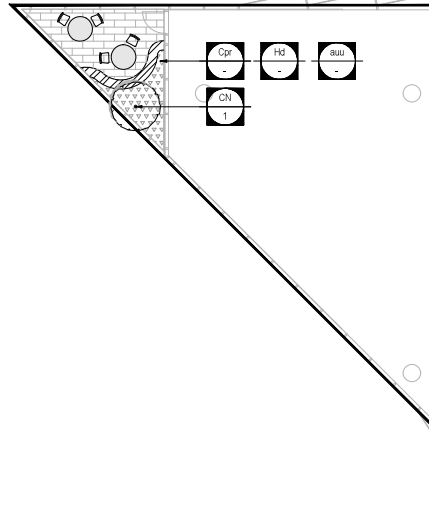
PLANTING NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO CANADIAN LANDSCAPE STANDARDS. NURSERIES SHALL BE S.O.D. CERTIFIED.
- ALL PRUNING OF EXISTING TREES & SHRUBS TO BE UNDERTAKEN WITH APPROVAL OF THE PROJECT ARBORIST.
- ALL PRUNING DURING THE MAINTENANCE PERIOD MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
- FINAL LOCATION OF ALL PLANTING MATERIAL TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT ON SITE.
- ALL PLANT MATERIAL MUST BE SUPPLIED AT THE SIZES INDICATED AND CONFORMS WITH THE SPECIFICATION.
- ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALLOW 750-800 DIA. NO PLANTING ZONE/CLEAR OPENING AROUND ALL TREE BASES.
- ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND QUANTITY OF PLANT MATERIAL SPECIFIED. ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANTS SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT WILL BE REJECTED.
- ALL ELM MUST BE SOURCED FROM A CERTIFIED DED FREE SOURCE.
- THE CONTRACTOR MUST MAKE AN ALLOWANCE FOR A 20% OVER SUPPLY OF PLANT MATERIAL TO ALLOW FOR FAILED STOCK DURING THE MAINTENANCE PHASE.

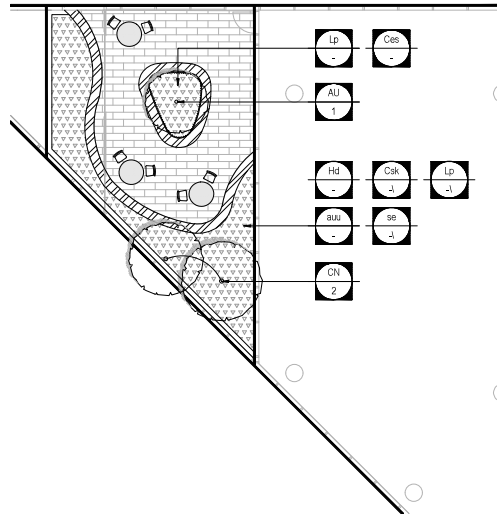
NOTE:
FINAL SPECIES OF SOUTH PLAZA TREE AND PLANT SELECTION TO BE COORDINATED WITH CITY OF VICTORIA AND PARKS DEPARTMENT

PLANTING SCHEDULE - GROUND LEVEL

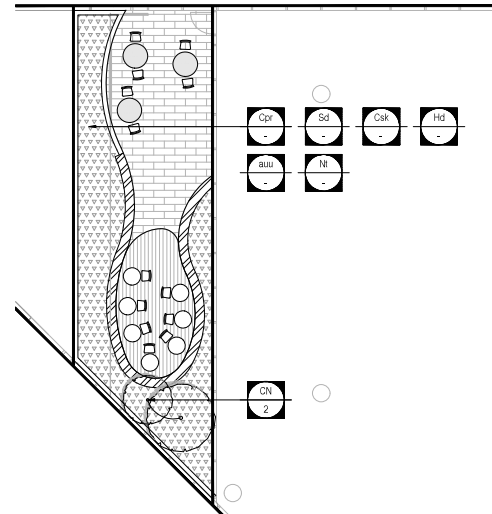
KEY BOTANICAL NAME	COMMON NAME	QTY	COMMENTS
TREES			
AU <i>Arbutus unedo</i>	Strawberry Tree	3	6m Cal., Tree form, Min. 3m Height.
Gc <i>Quercus garryana</i>	Garry Oak	9	8m Cal., Min. 5m Height
Cj <i>Cercidiphyllum japonicum</i>	Katsura Tree	4	8m Cal., 1.8 Clearance Ht.
CN <i>Cornus nuttallii</i>	Pacific Dogwood	6	8m Cal., Single-stem, Min. 3m Height
SHRUBS AND GRASSES			
Csk <i>Cornus sericea 'Kelsey'</i>	Dwarf Kelsey Dogwood	-	#3 Pot, 450mm o.c.
Eh <i>Equisetum hyemale</i>	Horsetail	-	#3 Pot, 300mm o.c.
Cpr <i>Oenothera glauca 'Paint Reyes'</i>	Paint Reyes Creeper	-	#3 Pot, 450mm o.c.
Jog <i>Juncus 'Carmen's Grey'</i>	Carmen's Grey Rush	-	#3 Pot, 300mm o.c.
Ni <i>Nassella tenuissima</i>	Mexican feathergrass	-	#3 Pot, 450mm o.c.
Hm <i>Hydrangea macrophylla 'Wedding Gown'</i>	Wedding Gown Hydrangea	-	#3 Pot, 450mm o.c.
Ce <i>Carex elata 'Aurea'</i>	Golden Sedge	-	#3 Pot, 450mm o.c.
Cs <i>Carex stipata</i>	Awl Fringed Sedge	-	#3 Pot, 450mm o.c.
Csc <i>Cornus sanguinea 'Cato'</i>	Yellow Twig Dogwood	-	#3 Pot, 450mm o.c.
Ct <i>Carex testacea 'Prairie Fire'</i>	Prairie Fire Sedge	-	#3 Pot, 450mm o.c.
GROUNDCOVERS AND PERENNIALS			
Im <i>Liriope muscari</i>	Lily Turf	-	#1 Pot, 300mm o.c.
auu <i>Antrodiaedon viviparus</i>	Kirinkinick	-	#1 Pot, 300mm o.c.
li <i>Lathyrus japonicus</i>	Beach Pea	-	#1 Pot, 300mm o.c.
is <i>Iris setosa</i>	Dwarf Arctic Iris	-	#1 Pot, 300mm o.c.
es <i>Erija spp.</i>	Heather Variety	-	#1 Pot, 300mm o.c.
od <i>Oxynym douglasii</i>	Satin Flower	-	#1 Pot, 300mm o.c.
cq <i>Camassia quamash</i>	Blue Camas	-	#1 Pot, 300mm o.c.
dl <i>Castilleja levisecta</i>	Golden Paintbrush	-	#1 Pot, 300mm o.c.
ro <i>Erythronium oregonum</i>	White Fawn Lilies	-	#1 Pot, 300mm o.c.
fc <i>Fritillaria cuneata/orensis</i>	Cheerilee Lilies	-	#1 Pot, 300mm o.c.
aps <i>Allium purple sensation</i>	Purple Sensation Allium	-	#1 Pot, 300mm o.c.
as <i>Allium schubertii</i>	Schuberti Allium	-	#1 Pot, 300mm o.c.
asp <i>Allium sphaerocephalon</i>	Drumstick Allium	-	#1 Pot, 300mm o.c.
ac <i>Allium cernuum</i>	Nodding Onion	-	#1 Pot, 300mm o.c.
am <i>Allium 'Millenium'</i>	Ornamental Allium	-	#1 Pot, 300mm o.c.
oc <i>Plectritis congesta</i>	Sea Blush	-	#1 Pot, 300mm o.c.
eg <i>Eryogon glauca 'Sea Breeze'</i>	Seaside Daisy	-	#1 Pot, 300mm o.c.
ek <i>Eryogon karwinskianus</i>	Santa Barbara Daisy	-	#1 Pot, 300mm o.c.
sbst <i>Sedum spectabile 'Brilliant'</i>	Showy Stonecrop	-	#1 Pot, 300mm o.c.
st <i>Sedum telephium 'Glossberry Foot'</i>	Box-leave Honeysuckle	-	#1 Pot, 300mm o.c.
ss <i>Sedum elaeagnifolium</i>	Hardy Sedum	-	#1 Pot, 300mm o.c.
ss <i>Sedum spumnum fulvifolium</i>	Sedum Falls Glow	-	#1 Pot, 300mm o.c.
ssf <i>Sedum spectabile 'Autumn Fire'</i>	Autumn Fire Sedum	-	#1 Pot, 300mm o.c.
so <i>Sedum oregonum</i>	Oregon Stonecrop	-	#1 Pot, 300mm o.c.
ssf <i>Sedum spathulifolium</i>	Cape Blanco Stonecrop	-	#1 Pot, 300mm o.c.
sr <i>Sedum rupestre 'Angelina'</i>	Angelina Stonecrop	-	#1 Pot, 300mm o.c.



1 PLANTING PLAN - LEVEL 5
SCALE: 1:100



2 PLANTING PLAN - LEVEL 7
SCALE: 1:100



3 PLANTING PLAN - LEVEL 9
SCALE: 1:100

PLANTING SCHEDULE - LEVEL 5, 7, 9

KEY	BOTANICAL NAME	COMMON NAME	QTY	COMMENTS
TREES				
CN	<i>Cornus nuttallii</i>	Pacific Dogwood	5	#8m Cal., Multi-Stem., Min. 3m HT
AU	<i>Arbutus urens</i>	Strawberry Tree	1	#8m Cal., Tree Form., Min. 3m HT
SHRUBS AND GRASSES				
Sd	<i>Spiraea douglasii</i>	Red Spirea	-	#5 Pot, 750mm o.c.
Hd	<i>Hedera helix</i>	Ocean Spray	-	#5 Pot, 750mm o.c.
Ces	<i>Cenchrus setaceus</i>	Fountain grass	-	#3 Pot, 450mm o.c.
Csk	<i>Cornus sericea</i> 'Kelsey'	Dwarf Kelsey Dogwood	-	#3 Pot, 450mm o.c.
Lp	<i>Lonicera jibbaldii</i>	Box-leaved Honeysuckle	-	#3 Pot, 450mm o.c.
Cpr	<i>Oenothera gloriosus</i> 'Point Reyes'	Point Reyes Creeper	-	#3 Pot, 450mm o.c.
Nt	<i>Nassella tenuissima</i>	Mexican Feathergrass	-	#3 Pot, 450mm o.c.
GROUNDCOVERS AND PERENNIALS				
Bau	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	-	#1 Pot, 300mm o.c.
se	<i>Sedum elaeagnanum</i>	Hardy Sedum	-	#1 Pot, 300mm o.c.

PLANTING NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO CANADIAN LANDSCAPE STANDARDS. NURSERIES SHALL BE S.O.D. CERTIFIED.
- ALL PRUNING OF EXISTING TREES & SHRUBS TO BE UNDERTAKEN WITH APPROVAL OF THE PROJECT ARBORIST.
- ALL PRUNING DURING THE MAINTENANCE PERIOD MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
- FINAL LOCATION OF ALL PLANTING MATERIAL TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT ON SITE.
- ALL PLANT MATERIAL MUST BE SUPPLIED AT THE SIZES INDICATED AND CONFORMS WITH THE SPECIFICATION.
- ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALLOW 750-900 DIA. NO PLANTING ZONE/CLEAR OPENING AROUND ALL TREE BASES.
- ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND QUANTITY OF PLANT MATERIAL SPECIFIED. ALLOWINGS FOR ANY AND ALL REQUIRED APPROVALS, PLANTS SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT WILL BE REJECTED.
- ALL ELM MUST BE SOURCED FROM A CERTIFIED DED FREE SOURCE.
- THE CONTRACTOR MUST MAKE AN ALLOWANCE FOR A 20% OVER SUPPLY OF PLANT MATERIAL TO ALLOW FOR FAILED STOCK DURING THE MAINTENANCE PHASE.

CLIENT:

PROJECT TEAM

LANDSCAPE ARCHITECT - LEAD CONSULTANT
PFS Studio
1777 West 3rd Avenue
Vancouver, BC V6J 1K7

ARCHITECT
DIAMOND SCHMITT ARCHITECTS
384 Adelaide Street West, Suite 100
Toronto, ON M5V 1R7

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REVISED

NO.	DATE	BY	REVISION
1	20-05-2020	JW	ISSUED FOR REZONING / DP
2	16-04-2020	JW	ISSUED FOR PERMITS DEVELOPMENT
3	11-05-2020	JW	ISSUED FOR DEVELOPMENT PERMIT

PFS STUDIO
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

STAMP:

PROJECT NAME

TELUS OCEAN

DRAWING TITLE

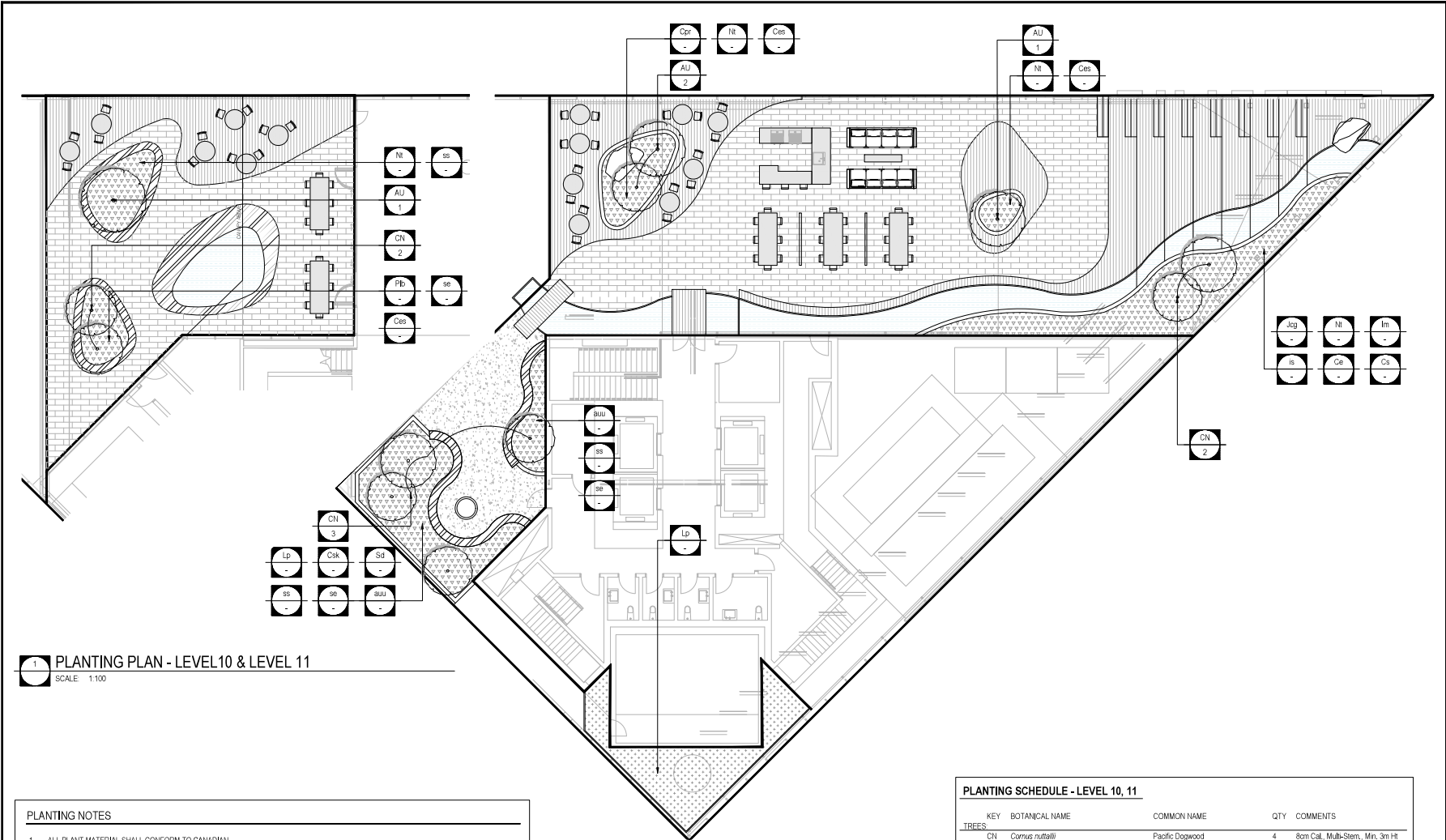
**PLANTING PLAN
LEVEL 5, LEVEL 7, LEVEL 9**

PFS PROJECT NUMBER: 22007 DATE: 07/15/2020

DRAWN BY: JW CHECKED BY: NM

SCALE: 1:100

DWG. NO.: **L6.02** OF: XX



1 PLANTING PLAN - LEVEL 10 & LEVEL 11
SCALE: 1:100

PLANTING NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO CANADIAN LANDSCAPE STANDARDS. NURSERIES SHALL BE S.O.D. CERTIFIED.
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3. ALL PRUNING DURING THE MAINTENANCE PERIOD MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
4. FINAL LOCATION OF ALL PLANTING MATERIAL TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT ON SITE.
5. ALL PLANT MATERIAL MUST BE SUPPLIED AT THE SIZES INDICATED AND CONFORMS WITH THE SPECIFICATION.
6. ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.
7. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
8. ALLOW 750-800 DIA. NO PLANTING ZONE/CLEAR OPENING AROUND ALL TREE BASES.
9. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
10. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND QUANTITY OF PLANT MATERIAL SPECIFIED, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANT'S SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT WILL BE REJECTED.
11. ALL ELEM MUST BE SOURCED FROM A CERTIFIED DED FREE SOURCE.
12. THE CONTRACTOR MUST MAKE AN ALLOWANCE FOR A 20% OVER SUPPLY OF PLANT MATERIAL TO ALLOW FOR FAILED STOCK DURING THE MAINTENANCE PHASE.

PLANTING SCHEDULE - LEVEL 10, 11

KEY	BOTANICAL NAME	COMMON NAME	QTY	COMMENTS
TREES				
CN	<i>Cornus nuttallii</i>	Pacific Dogwood	4	#8 Pot, Multi-Stem, Min. 3m Ht
AU	<i>Arbutus unedo</i>	Strawberry Tree	7	6m-Cal., Tree Form, Min. 3m Ht
SHRUBS AND GRASSES				
Sd	<i>Spiraea douglasii</i>	Red Spirea	-	#6 Pot, 750mm o.c.
Pfb	<i>Philadelphus Lewisii 'Blizzard'</i>	Blizzard Dwarf Mock Orange	-	#3 Pot, 450mm o.c.
Csk	<i>Cornus sericea 'Kelsey'</i>	Dwarf Kelsey Dogwood	-	#3 Pot, 450mm o.c.
Lp	<i>Lonicera pileifolia</i>	Box-leaved Honeysuckle	-	#3 Pot, 450mm o.c.
Cpr	<i>Ceanothus glaucus 'Point Reyes'</i>	Point Reyes Creeper	-	#3 Pot, 450mm o.c.
Nt	<i>Nassella tenuissima</i>	Mexican Feathergrass	-	#3 Pot, 450mm o.c.
Ces	<i>Cenchrus setaceus</i>	Fountain grass	-	#3 Pot, 450mm o.c.
Ce	<i>Carex elata 'Aurea'</i>	Golden Sedge	-	#3 Pot, 450mm o.c.
Cs	<i>Carex stipitata</i>	Awl Fruited Sedge	-	#3 Pot, 450mm o.c.
Jg	<i>Juncus 'Carmen's Grey'</i>	Carmen's Grey Rush	-	#3 Pot, 300mm o.c.
GROUNDCOVERS AND PERENNIALS				
auu	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	-	#1 Pot, 300mm o.c.
cq	<i>Camassia quamash</i>	Blue Camas	-	#1 Pot, 300mm o.c.
aps	<i>Allium purple sensation</i>	Purple Sensation Allium	-	#1 Pot, 300mm o.c.
lm	<i>Lilium muscarif</i>	Lily Turf	-	#1 Pot, 300mm o.c.
is	<i>Iris setosa</i>	Dwarf Arctic Iris	-	#1 Pot, 300mm o.c.
ss	<i>Sedum spurium fulvifolium</i>	Sedum Fulda Glow	-	#1 Pot, 300mm o.c.
se	<i>Sedum elaeagnanum</i>	Hardy Sedum	-	#1 Pot, 300mm o.c.

CLIENT:

PROJECT TEAM
 PFS Studio
 LANDSCAPE ARCHITECT - LEAD CONSULTANT
 1777 West 3rd Avenue
 Vancouver, BC V6J 1K7
 ARCHITECT
 DIAMOND SCHMITT ARCHITECTS
 384 Adelaide Street West, Suite 100
 Toronto, ON M5V 1R7

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REVISIONS

No.	Date	Drawn	By
1	15-10-2020	ISSUED FOR RECORDING / O/P	JW
2	19-10-2020	ISSUED FOR SYNOPSIS DEVELOPMENT	JW
3	1-10-2020	ISSUED FOR DEVELOPMENT PERMIT	JW

PFS STUDIO
 PLANNING • DESIGN • LANDSCAPE ARCHITECTURE

STAMP:

PROJECT NAME
TELUS OCEAN

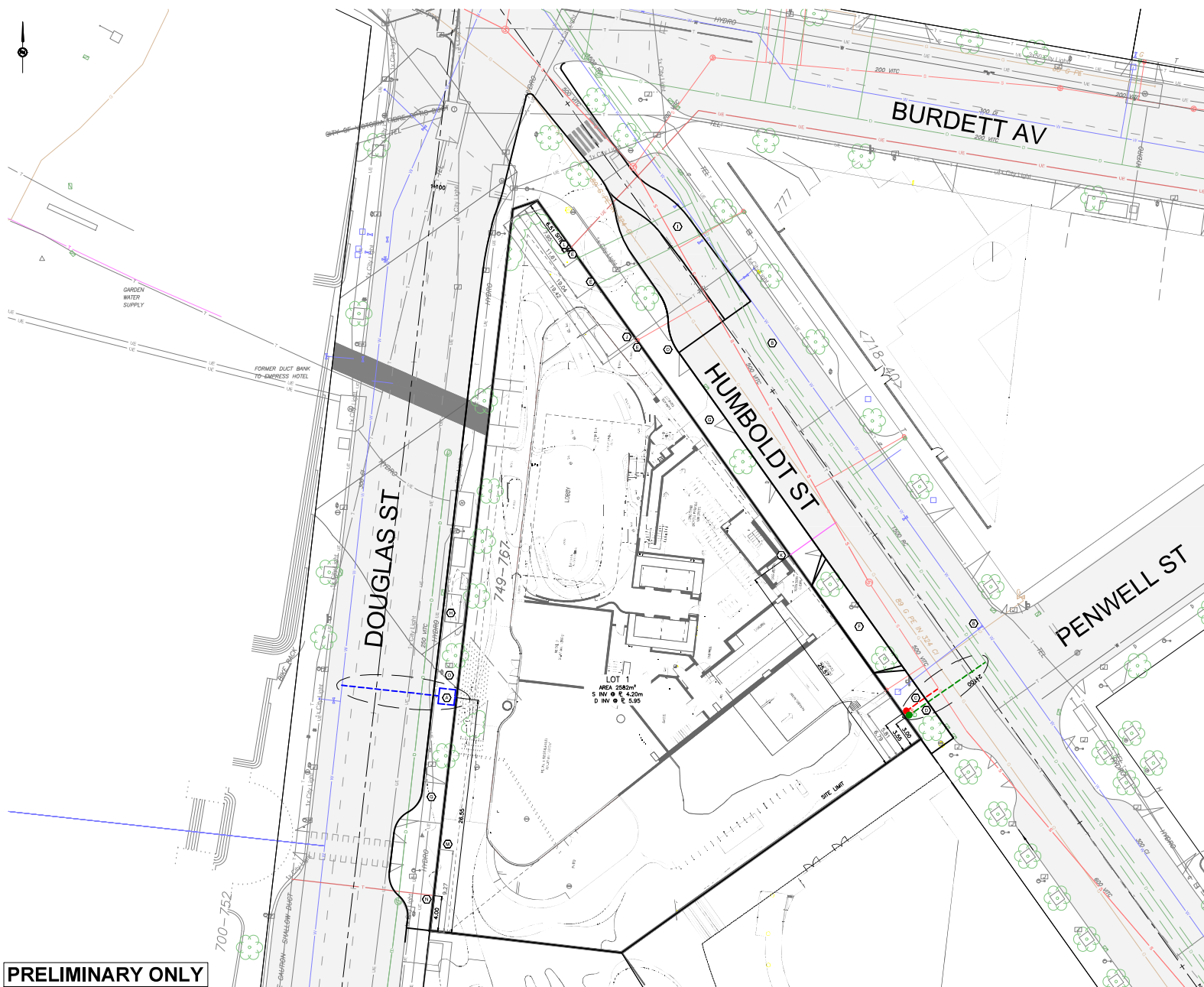
DRAWING TITLE
**PLANTING PLAN
 LEVEL 10 - LEVEL 11**

PFS PROJECT NUMBER: 22007
 DATE: 07/15/2020

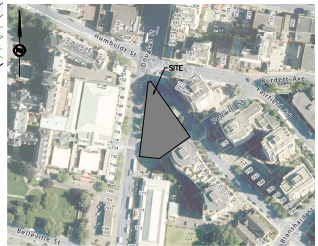
DRAWN BY: JW
 CHECKED BY: NM

SCALE:
 1:100

DWG. NO.: **L6.03**
 OF: XX



- SHEET NOTES:**
- 1 CITY OF VICTORIA TO INSTALL NEW FIRE AND DOMESTIC SERVICE AND VAULT TO PROPERTY LINE AT DEVELOPERS EXPENSE.
 - 2 CITY OF VICTORIA TO CAP EXISTING WATER SERVICE AT DEVELOPERS EXPENSE.
 - 3 CITY OF VICTORIA TO INSTALL NEW SANITARY SERVICE AT DEVELOPERS EXPENSE.
 - 4 CITY OF VICTORIA TO INSTALL NEW STORM SERVICE AT DEVELOPERS EXPENSE.
 - 5 CONTRACTOR TO GAP EXISTING SERVICES AT PROPERTY LINE DURING DEMOLITION STAGE.
 - 6 CONTRACTOR TO INSTALL NEW DRIVEWAY AS PER MUNICIPAL STANDARDS.
 - 7 CONTRACTOR TO INSTALL NEW CURB AND SIDEWALK, REFER TO LANDSCAPE PLANS FOR FINISH DETAILS.
 - 8 CONTRACTOR TO INSTALL NEW BUS STOP AS PER BC TRANSIT STANDARDS.
 - 9 PROPOSED RELOCATED BIKE LANE.
 - 10 EXISTING TELUS SERVICING LOCATION.
 - 11 PROPOSED GAS SERVICE LOCATION.
 - 12 PRELIMINARY HYDRO SERVICE ROUTING, DETAILED DESIGN TO BE PROVIDED BY BC HYDRO.
 - 13 UNCONFIRMED EXISTING WATER SERVICE AND COMMUNICATION SERVICE TO BE EXPOSED AND LOCATION CONFIRMED ON-SITE DURING DEMOLITION STAGE.
 - 14 PRELIMINARY TELUS SERVICE LOCATION.
 - 15 CONTRACTOR TO INSTALL NEW PEDESTRIAN STREET LIGHTS AND CONDUITS AS PER CITY OF VICTORIA STANDARDS, ELECTRICAL ENGINEER TO PROVIDE DESIGN FOR BUILDING PERMIT APPROVAL.



LEGAL DESCRIPTION: LOT 1 OF LOTS 207, 209, 210, 228 AND 12708, VICTORIA, PLAN 31886
 BENCHMARK: MONUMENT 812
 ELEV. 8437m

**TELUS OCEAN
 PRELIMINARY SITE
 SERVICING CONCEPT**

Scale
 horiz. 1:200
 Sheet 1 of 1
 Eng. Project No. 32472

JEA J E ANDERSON & ASSOCIATES
 SURVEYORS • ENGINEERS
 VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
 PHONE: 250-725-2214 info@jeanderson.com

PRELIMINARY ONLY

VL_Project\32472 - TELUS Ocean - Douglas Street\02 - Engineering\02 - Drawings & Sketches (Exp)\32472_Bsm.dwg Plot Date: November 9, 2020