



MONTROSE APARTMENT

1114-1126 BLANSHARD STREET, VICTORIA, BC

OUTLINE HERITAGE CONSERVATION PLAN

MARCH 2021

DONALD LUXTON
AND ASSOCIATES INC





Figure 1: Cover page: Montrose Apartments, 1114-1126 Blanshard Street, southwest corner of Blanshard Street and View Street, 1918.
[Harry Upperton Knight, photographer. City of Victoria Archives M00874]

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1 - INTRODUCTION

The above cut gives an excellent representation of what will be the appearance of the new block under construction for Mr. Andrew Sheret, on the southwest corner of View and Blanchard street. The structure, which will be three stories in height, is from plans drawn by Mr. C.E. Watkins and will be of brick and stone. The site has a frontage of 120 feet on Blanchard street and 60 feet on View street. It will be ready for occupancy within four months. Mr. Sheret will occupy one store and the other five, all on Blanchard street, will afford ample showroom space for their occupants. The upper storeys will be utilized as a high class rooming house. Messrs. Murray and Aves are the contractors.
Victoria Daily Colonist, April 9, 1912, page 2.

Andrew Sheret was the head of the local plumbing company of the same name. This prominent apartment building was built in 1912 as an investment property; it was named after his ancestral birthplace in Scotland.

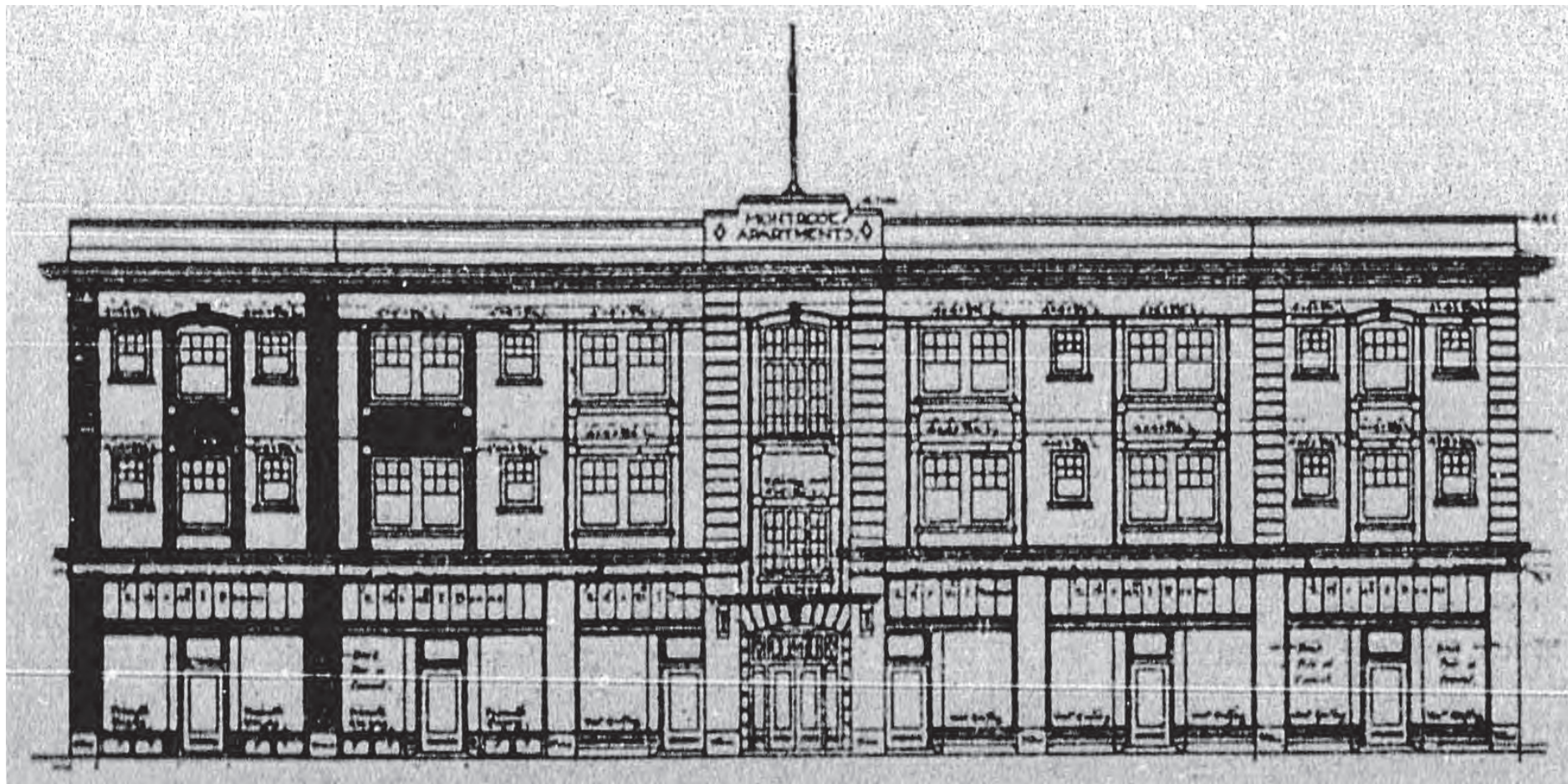


Figure 2: Victoria Daily Colonist, April 9, 1912, page 2.

2 - HISTORIC CONTEXT

ORIGINAL OWNER: Andrew Sheret
CIVIC ADDRESS: 1114-1126 Blanshard Street
HISTORIC NAME: Sheret Building / Montrose Apartments
ARCHITECT: C. Elwood Watkins
CONTRACTORS: Murray & Aves
DATE OF CONSTRUCTION: 1912

STORES AND HOTEL FOR VIEW STREET
BUILDING FOR ANDREW SHERET IS COMMENCED
\$45,000 Steel, stone and Pressed brick Block on Important City Corner.

Ground was broken at View and Blanchard streets on Saturday for the basement of Andrew Sheret's new and modern private hotel, and the contractor, Murray and Aves, are to work continuously until the building is complete. It will be three stories with stores on the ground floor and rooms above.

The hotels of Victoria will be augmented by one of the most modern and most completely equipped private hotels in the province

as Mr. Sheret has spared nothing in providing for the building all that is needed to complete it on the most modern lines.

Forty-eight rooms constructed in the best known methods will cover the two top floors of the lot, occupying ground 60 feet by 120 feet. The ground floor will have six stores of splendid depth and provide a spacious entrance for the hotel above.

Stone and steel construction, finished with pressed brick, hot and cold water for every room, with the best of fittings and hot water heating are provided for in the plans. The building when completed will cost \$45,000, and occupy a prominent site in the inside portion of the city. It will be in keeping with the general improvement of that part of Victoria and form a solid structure for an important corner on Blanchard street. Opposite corners are occupied by the Y.M.C.A. and the Roman Catholic cathedral.

Victoria Daily Times, April 8, 1912, page 11.

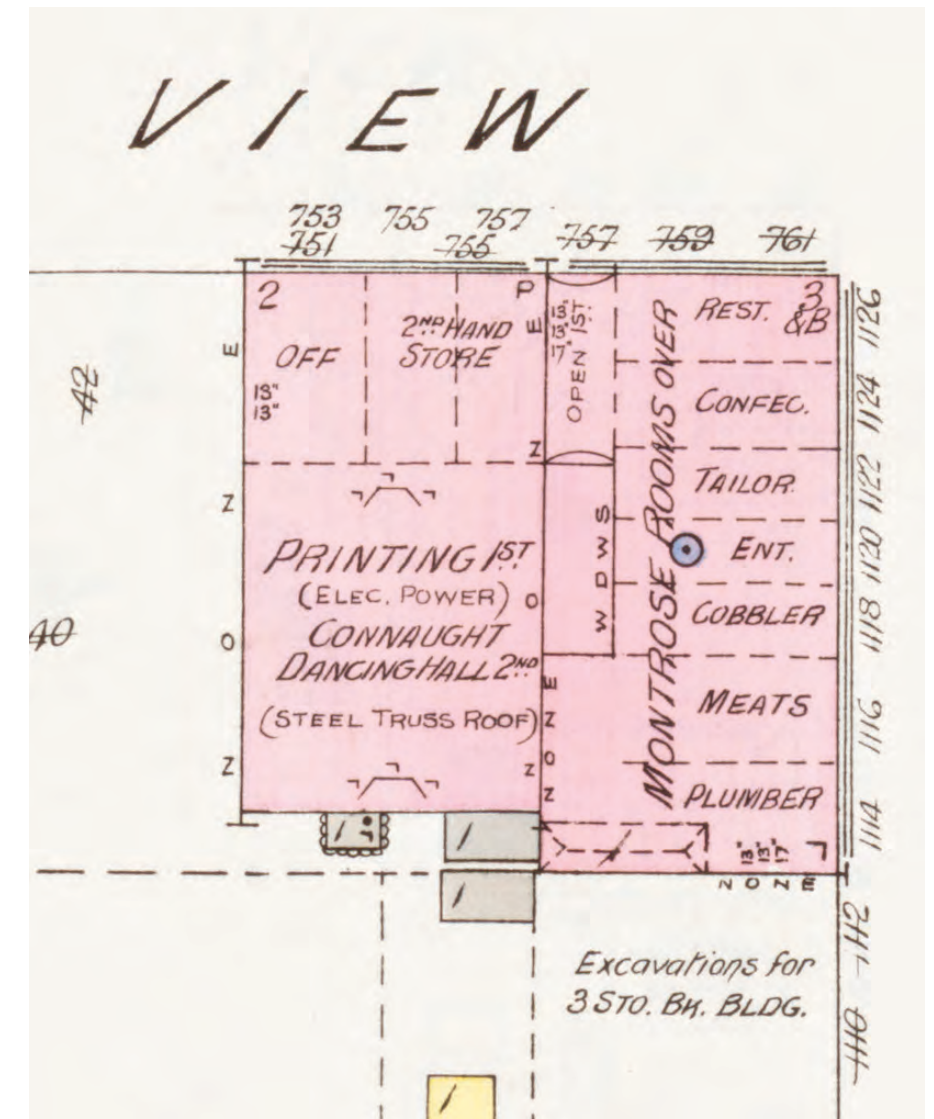


Figure 3: Goad's Fire Insurance Plan, 1911 [Revised 1913], Sheet 8.

2.1 ANDREW SHERET

Andrew Sheret was born in 1870 in Montrose, Scotland. After his schooling, he apprenticed as a plumbing and heating tradesman. On Victoria Day, May 24th, 1890, Andrew relocated to Victoria, BC. For a short time, he found work with McLennan and McFeely Hardware. In 1892, he went into business as a plumbing and heating contractor and opened a shop on lower Fort Street. In 1900, Andrew married 23-old Victoria native, Annie McDowell.

Over the next twenty years, Andrew built up a very successful business, supplying plumbing and heating supplies to Victoria customers. During the prosperous 1920's, Andrew gradually eased out of the retail business and into wholesale distribution. In 1921, he sold the retail side of the business to three former employees. Andrew Sheret stayed active in the business until his death in 1947, at the age of 76. Annie Sheret died in 1965, at the age of 88.

After Andrew Sheret's death, his eldest son, Andrew William Sheret (Will), stepped in as President of the company, a position he held until 1992. Under Will's leadership, Andrew Sheret Limited was the first in the industry to implement a pension plan, and one of the first businesses anywhere with a company funded medical plan. Will maintained an active role in the company until his death in 1998.

Will's son-in-law, Brian Findlay, became President of the company in 1992. Andrew Sheret Limited realized significant growth under Brian's leadership, including the expansion of eleven branches during his tenure, and the implementation of a share participation program for employees in 2001. Brian was also instrumental in establishing a national buying group to provide individual companies, like Andrew Sheret Limited, the ability to remain competitive with national companies. Brian retired from Andrew Sheret Limited in 2015, with his son, Eric Findlay, succeeding him as President, with the vision to advance the family business well into the future.



Figure 4: Andrew Sheret, circa 1925.



Figure 5: William Sheret, circa 1940.



Figure 6: Andrew Sheret Ltd. Warehouse on View Street, Victoria, 1947. [Duncan Macphail, photographer. British Columbia Archives I-01623]



Figure 8: Andrew Sheret Ltd., 1114 Blanshard Street, Victoria; South Side of Blanshard, between Fort and View Streets, 1947. [Duncan Macphail, photographer. British Columbia Archives I-01622]



Figure 7: The McDowell Sisters, Margaret Blair and Annie Dollie Sheret. [BC Archives D-09770]



Figure 9: Montrose Apartments, 1114-1126 Blanshard Street, southwest corner of Blanshard Street and View Street, February 1961 [City of Victoria Archives M01495]

2.2 C. ELWOOD WATKINS, ARCHITECT

By Jennifer Nell Barr and Donald Luxton
Retrieved from “Building the West: The Early Architects of British Columbia”

Although he spent the first half of his career in the shadow of his more famous partner, Thomas Hooper, native-born C. Elwood Watkins was a prolific and talented designer whose work deserves wider recognition. He was born on October 3, 1875 in Victoria, B.C., the eldest son of Charles Richard Watkins, of Abergavenny, Wales, and Mary Hannah McMillan, of Bowmanville, Ontario. In 1862 both his parents’ families moved to Victoria, where Charles and Mary were married on December 12, 1874. Elwood’s father died of typhoid in November 1884 at the age of forty-two. Mary and her five younger children went to live with her father, and Elwood was sent back to Ontario to attend high school. Before the age of fifteen he was back in Victoria and began his architectural apprenticeship in the office of Thomas Hooper. This was a busy and prolific time, and as Hooper travelled a great deal, it can be imagined that young Elwood was the backbone of the practice, handling many of the practical affairs. The office developed a steadily increasing reputation among numerous clients for solid, competent work. In recognition of his contributions, in 1902 he was made a full partner. Their output was prodigious: within a few short years they designed many of the buildings that still define the character of Victoria’s Old Town. The firm also produced a large volume of residential work, and a number of landmark projects around the province.

Their success enabled Watkins to design and build his own home on prestigious Rockland Avenue, 1904-05. On April 19, 1905 he married Lillian Matilda ‘Lill’ Nisbet, the daughter of Philip and Catharine Nisbet. Elwood and Lill had two children, a daughter, Gwendolyn, and a son, Thomas Elwood, named after Hooper. After an acrimonious split with Hooper in 1909, Watkins opened his own office in the Green Block on Broad Street.



Figure 10: C. Elwood Watkins
[City of Victoria Archives M05363]

From 1908 to 1913 the population boom in Victoria, with the influx of new residents particularly from Britain, led to a major expansion programme for local schools. Watkins was one of the group of younger architects who developed more modern school designs, including advanced technology and the use of a wider range of building materials. In his austere design for George Jay School, started in 1908 while he was still in partnership with Hooper, he introduced the “Kahn System” of reinforced concrete construction, patented in the United States by the engineer brother of Detroit architect Albert Kahn. By 1912 Watkins had been appointed official architect of the Victoria School Board, and after H.J. Rous Cullin left for overseas service, he also became the architect for the Saanich School Board. His most imposing and lavish school design was the new Victoria High School, the highlight of his career. This glorious essay in Beaux-Arts Classicism is richly encrusted with terra cotta. Watkins had been selected as architect for the new building in 1910, and worked closely with Principal Samuel J. Willis, also his brother-in-law, in studying the latest elements of school design. Tenders closed in March 1912, but the school was not opened until April 20, 1914. The final cost of \$460,000 made it the most expensive school building in the province.

The years of the First World War were very slow for local architects. Watkins did some school work and private residences, but went one year without making any money at all. Apparently, Watkins and the Victoria Building Inspector, Herbert Shade, played cards together to pass the time. Watkins did secure the commissions for two large lavish Tudor Revival homes for the Luney Brothers, Walter and William, prominent local contractors. The brothers had won the contract for Provincial Normal School, which allowed them the funds to build their own homes in the middle of the war, at a time when few people could afford to build anything.

After the war, Watkins became very busy again, with a varied practice that included residential, commercial and institutional work. Following the trend towards period revival styles, he designed several Colonial Revival residences, a Spanish Colonial Revival funeral parlour, and an Art Deco crematorium chapel. He provided designs for a number of buildings at Victoria’s two major hospitals, and also donated a design for the Saanich Pioneer Society’s museum in Central Saanich, 1932-33. During the 1930s Watkins sometimes worked in informal association with other architects, including J. Graham Johnson. Watkins was a favourite architect of the local Chinese community, and provided designs for Hook Sin Tong, Lee’s Benevolent Association, the Lee Block, and several buildings on Fan Tan Alley.

Along with a number of other prominent families, the Watkinses owned one of the first summer homes on the cliff-top lots on Mileva Crescent in north Gordon Head, Saanich, which was developed in 1912. Neighbouring property-owners, the five Parfitt Brothers, were also business associates; as local contractors they constructed many of Watkins’s buildings. The families organized numerous tennis and lawn bowling parties. Musical events were often hosted by the Parfitts, who had a twelve-piece family orchestra, and built a concert hall on their property.

Watkins was known for his civic contributions, including membership on the Plumbing Board of Examiners, and the Building Board of Appeal for the City

of Victoria. As a prominent member of the Kiwanis Club, he was chairman of the tuberculosis rehabilitation committee and organized the TB Seal Drive at Christmas. For many years he was on the Board of Stewards and Trustees of the Metropolitan Methodist, one of the first buildings on which he had worked in Hooper’s office.

Active in the creation of the AIBC and first Vice-President of the organization, at the time of his death Watkins was the chair of the Victoria Chapter. Elwood died on August 14, 1942 at the age of sixty-six, and was buried in Royal Oak Burial Park in Saanich. He had worked at his profession until two days before his death. His wife, Lillian, died on November 26, 1959.

3 - STATEMENT OF SIGNIFICANCE

ORIGINAL OWNER: Andrew Sheret
CIVIC ADDRESS: 1114-1126 Blanshard Street
HISTORIC NAME: Sheret Building / Montrose Apartments
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Description of the Historic Place
The Montrose Apartments is a three-storey, brick apartment block, located at the corner of Blanshard and View Streets in Downtown Victoria. The two main façades are articulated with decorative Edwardian-era elements, including brick detailing in two colours. Six retail storefronts face Blanshard Street, with the two central ones having the narrowest frontage.

Heritage Value of the Historic Place
Constructed during the height of the pre-World War One real estate boom, the Montrose Apartments is valued as a reflection of the surge of development that characterized Victoria’s gateway economy. With its substantial size, brick construction and classically-influenced detailing, the Montrose was, and remains, a downtown landmark. It was built in 1912 as an investment property by Andrew S heret (1870-1947), who had arrived in Victoria in 1891. He established a local plumbing firm in 1893 that continues in business to the present day; a painted sign advertising Sheret’s Plumbing is still visible on the west façade. Sheret named this apartment building after Montrose, his birthplace in Scotland. Its scale reflects the optimism and rapid growth of the Edwardian era, prior to the collapse of the local economy in 1913 and the outbreak of World War One the following year. The Montrose illustrates the continuing redevelopment of the eastern edge of downtown, through the replacement of earlier buildings on prime sites during a time of great prosperity. At the time it was built, Blanshard Street was being established as a significant north-south commercial street that rivalled Douglas and Government Streets.

The Montrose Apartments is a superior example of the dense, cubic apartment blocks typical of the Edwardian era, which provided housing alternatives in a rapidly urbanizing environment. Originally an apartment-hotel, it provided a variety of accommodation in a location that provided convenient access to

downtown amenities. The city relied increasingly on trade and commerce and was growing swiftly with large numbers of immigrants. Apartment blocks suited people and families in transition who could not afford or did not want a single-family home. This was a familiar housing type to those from denser eastern cities and from Europe, who were fuelling coastal settlement.

This is also notable as a superior example of the work of Victoria-born C. Elwood Watkins (1875-1942). Watkins began his architectural apprenticeship in 1890 in the office of Thomas Hooper, and by 1902 had become a full partner. He opened his own office in 1909, and in addition to his many commercial, institutional and residential projects, Watkins was the official architect of the Victoria and Saanich School Boards. Reflective of the architectural expression of the Classical Revival styles that were popular during the Edwardian era, the Montrose is articulated in a tripartite division of base, shaft and capital. The richly-detailed main façades are clad in two tones of brick, with sophisticated detailing that demonstrates a high quality of design and craftsmanship.

Character-Defining Elements

Key elements that define the heritage character of the Montrose Apartments include its:

- prominent location at the corner of Blanshard and View Streets, in Victoria’s historic downtown core;
- continuous use as an apartment building with retail storefronts at ground level;
- form, scale and massing as expressed in its three-storey height, full basement, rectangular plan, flat roof and central entry with raised parapet above, built to the property lines with no setbacks;
- Edwardian-era decorative features including: symmetrical design that demonstrates a Classical Revival influence; pressed metal cornice above the storefronts; arched window hoods with keystones; herringbone brick nogging in spandrels; decorative sandstone insets; and central arched entry with inset oak door assembly;
- masonry construction, including pressed tan brick for two main façades, high-fire iron-spot brown brick for quoins and piers, concrete window sills, and common red brick for side and rear façades;
- original fenestration, including: variety of 6-over-1 and 8-over-1 double-hung wooden sash windows in single and double assembly; 1-over-1 double-hung wooden sash windows in lightwell on south side; and multi-paned casement window assemblies with transoms in central stairwell;
- surviving early storefront elements including transoms, and mosaic tile insets at the entries;
- flagpole above main entry;
- early painted wall sign on west façade;
- areaways that extend under the sidewalk, with purple glass prism lights; and,
- interior features including original room configuration, central staircase with cut-out flat balusters, lath-and-plaster walls and wooden trim

4 - CONSERVATION GUIDELINES

4.1 STANDARDS & GUIDELINES

The Montrose Apartments are listed on the City of Victoria Heritage Register and are considered a significant historical resource. The Parks Canada’s *Standards & Guidelines for the Conservation of Historic Places in Canada* is the source used to assess the appropriate level of conservation and intervention. Under the *Standards & Guidelines*, the work proposed for the Montrose Apartments includes aspects of preservation, rehabilitation and restoration.

Preservation: the action or process of protecting, maintaining, and/or stabilizing the existing materials, form, and integrity of a historic place or of an individual component, while protecting its heritage value.

Restoration: the action or process of accurately revealing, recovering or representing the state of a historic place or of an individual component, as it appeared at a particular period in its history, while protecting its heritage value.

Rehabilitation: the action or process of making possible a continuing or compatible contemporary use of a historic place or an individual component, through repair, alterations, and/or additions, while protecting its heritage value.

The following document should be referenced when carrying out any work to an historic property: [Standards and Guidelines for the Conservation of Historic Places in Canada](#), Parks Canada, 2010.

4.2 OTHER CONSERVATION REFERENCES

The following additional conservation resources should also be referred to, as necessary:

[Building Resilience - Practical Guidelines for the Sustainable Rehabilitation of Existing Buildings in Canada](#), MTBA & Associates Inc., 2016.

National Park Service, [Technical Preservation Services. Preservation Briefs:](#) *Preservation Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings.* *Preservation Brief 2: Repointing Mortar Joints in Historic Masonry Buildings.* *Preservation Brief 3: Improving Energy Efficiency in Historic Buildings.* *Preservation Brief 6: Dangers of Abrasive Cleaning to Historic Buildings.* *Preservation Brief 9: The Repair of Historic Wooden Windows.* *Preservation Brief 10: Exterior Paint Problems on Historic Woodwork.* *Preservation Brief 11: Rehabilitating Historic Storefronts.* *Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns.* *Preservation Brief 18: Rehabilitating Interiors in Historic Buildings – Identifying Character-Defining Elements.* *Preservation Brief 25: The Preservation of Historic Signs.* *Preservation Brief 32: Making Historic Properties Accessible.* *Preservation Brief 38: Removing Graffiti from Historic Masonry.* *Preservation Brief 39: Holding the Line: Controlling Unwanted Moisture in Historic Buildings.* *Preservation Brief 41: The Seismic Retrofit of Historic Buildings: Keeping Preservation in the Forefront.*



Figure 11: Standards & Guidelines: Conservation Decision Making Process

4.3 GENERAL CONSERVATION STRATEGY

The primary intent is to preserve components of the existing historic structure, while undertaking an overall rehabilitation, with the restoration of key missing elements. The historic building is part of a larger proposed mixed-use development that will result in a new building to the south, located at the corner of Fort and Blanshard Street. As part of this development, the Montrose Apartments will receive heritage designation.

Proposed Redevelopment Scheme

The redevelopment scheme for this property has been prepared by D’Ambrosio Architecture + Urbanism, and includes the conservation and designation of the Montrose Apartments, with a new building constructed to the south.

The proposed conservation interventions include:

- preservation of the Montrose Apartments in its current form;
- rehabilitation of masonry;
- restoration of sheet metal cornices;
- structural bracing of the parapets;
- preservation of storefront cornices on historic street façades;
- rehabilitation of fenestration;
- phased rehabilitation of the storefronts;
- restoration of missing metalwork;
- rehabilitation of existing windows; and
- restoration colour scheme.

Interventions to the Montrose Apartments should be based upon the Standards outlined in the *Standards & Guidelines*, which are conservation principles of best practice.

4.4 SUSTAINABILITY STRATEGY

Heritage conservation and sustainable development can go hand in hand with the mutual effort of all stakeholders. In a practical context, the conservation and re-use of historic and existing structures contributes to environmental sustainability by reducing solid waste disposal, saving embodied energy, and conserving historic materials that are often less consumptive of energy than many new replacement materials.

In 2016, the Federal Provincial Territorial Ministers of Culture & Heritage in Canada (FPTMCHC) published a document entitled, [***Building Resilience - Practical Guidelines for the Sustainable Rehabilitation of Existing Buildings in Canada***](#), that is “intended to establish a common pan-Canadian ‘how-to’ approach for practitioners, professionals, building owners, and operators alike.”

The following is an excerpt from the introduction of the document:

[Building Resilience] is intended to serve as a “sustainable building toolkit” that will enhance understanding of the environmental benefits of heritage conservation and of the strong interrelationship between natural and built heritage conservation. Intended as a useful set of best practices, the guidelines in Building Resilience can be applied to existing and traditionally constructed buildings as well as formally recognized heritage places.

These guidelines are primarily aimed at assisting designers, owners, and builders in providing existing buildings with increased levels of sustainability while protecting character-defining elements and, thus, their heritage value. The guidelines are also intended for a broader audience of architects, building developers, owners, custodians and managers, contractors, crafts and trades people, energy advisers and sustainability specialists, engineers, heritage professionals, and officials responsible for built heritage and the existing built environment at all jurisdictional levels.

Building Resilience is not meant to provide case-specific advice. It is intended to provide guidance with some measure of flexibility, acknowledging the difficulty of evaluating the impact of every scenario and the realities of projects where buildings may contain inherently sustainable elements but limited or no heritage value. All interventions must be evaluated based on their unique context, on a case-by-case basis, by experts equipped with the necessary knowledge and experience to ensure a balanced consideration of heritage value and sustainable rehabilitation measures.

Building Resilience can be read as a stand-alone document, but it may also further illustrate and build on the sustainability considerations in the Standards and Guidelines for the Conservation of Historic Places in Canada.

4.5 ALTERNATE COMPLIANCE

As a listed building on the Municipal Heritage Register, the Montrose Apartments may be eligible for heritage variances that will enable a higher degree of heritage conservation and retention of original material, including considerations available under the following municipal legislation.

- British Columbia Building Code
- Energy Efficiency Act

4.6 SITE PROTECTION & STABILIZATION

It is the responsibility of the owner to ensure the heritage resource is protected from damage at all times. At any time that the building is left vacant, it should be secured against unauthorized access or damage through the use of appropriate fencing and security measures. Additional measures to be taken include:

- Are smoke and fire detectors in working order?
- Are wall openings boarded up and exterior doors securely fastened once the building is vacant?
- Have the following been removed from the interior: trash, hazardous materials such as inflammable liquids, poisons, and paints and canned goods that could freeze and burst?

The façade should be protected from movement and other damage at all times during demolition, excavation and construction work. Install monitoring devices to document and assess cracks and possible settlement of the masonry façade.

5 - PRELIMINARY CONDITION ASSESSMENT & OUTLINE RECOMMENDATIONS

The aforementioned items will assist in protecting the listed heritage resource that is currently unoccupied during the planning process until actual site work commences.

A condition review of the Montrose Apartments was carried out during a number of site visits in November 2019 and June 2020. The extent of preliminary condition assessment was limited to visual review of the exterior of the building from the ground level, as well as other accessible areas at the time the review was conducted. The recommendations for the overall preservation of the historic façades are based on the site review and archival documents that provide valuable information about the original appearance of the historic building.

The following chapter describes the materials, physical condition and recommended conservation strategy for the Montrose Apartments based on Parks Canada *Standards & Guidelines for the Conservation of Historic Places in Canada*.

TABLE 5A - PRELIMINARY CONDITION ASSESSMENT & OUTLINE RECOMMENDATIONS

	EXISTING ELEMENTS (CDE = CHARACTER DEFINING ELEMENT)	PRELIMINARY CONDITION ASSESSMENT	CONSERVATION TREATMENT	OUTLINE CONSERVATION RECOMMENDATION
5.1	SITE (CDE) <ul style="list-style-type: none"><i>prominent location at the corner of Blanshard and View Streets, in Victoria's historic downtown core;</i><i>continuous use as an apartment building with retail storefronts at ground level;</i><i>areaways that extend under the sidewalk, with purple glass prism lights;</i>	INTACT (GOOD) <ul style="list-style-type: none">The exterior masonry walls are built to the front, side and rear property lines with no setback. The upper floor levels are characterized by exterior masonry walls that are setback to the side (south) and rear (west) to accommodate window openings.Original mixed-use occupancy is extant, characterized by residential apartment on the upper floor levels, and commercial storefronts at ground level.Basement level retains its original areaways that extend under the sidewalk, with purple glass prism lights.	Preservation	<ol style="list-style-type: none">Prior to construction, all heritage elements within the site should be protected from any damage or destruction at all times. Reference Section 4.6: Site Protection for further information.Preserve the original location of the building.Retain the main frontage on east elevation along Blanshard Street.Design a new infill structure to the south that is “physically and visually compatible with, subordinate to, and distinguishable from the historic place” as recommended in Standard 11.
5.2	FORM, SCALE & MASSING (CDE) <ul style="list-style-type: none"><i>form, scale and massing as expressed in its three-storey height, full basement, rectangular plan, flat roof and central entry with raised parapet above, built to the property lines with no setbacks;</i><i>Edwardian-era decorative features including: symmetrical design that demonstrates a Classical Revival influence; pressed metal cornice above the storefronts; arched window hoods with keystones; herringbone brick nogging in spandrels; decorative cast-stone insets; and central arched entry with inset oak door assembly;</i>	INTACT (GOOD) <ul style="list-style-type: none">Generally intact, with no major alterations to the overall form, scale, and massing of the historic structure.Symmetrical facade, with articulation of corner and central bays through quoining pilasters above storefront cornice are intact.Raised parapet walls conceal the low-slope roof with two central lightwells and roof access with side gable roof directly behind the raised pediment on the central bay.The original projecting metal cornice at parapet level is missing, and enclosed by unsympathetic panelling that diminishes the historic character of the building and should be removed.	Preservation	<ol style="list-style-type: none">Preserve the overall form, scale and massing of the building.
5.3	MASONRY (CDE) <ul style="list-style-type: none"><i>Edwardian-era decorative features including: symmetrical design that demonstrates a Classical Revival influence; pressed metal cornice above the storefronts; arched window hoods with keystones; herringbone brick nogging in spandrels; decorative cast-stone insets; and central arched entry with inset oak door assembly;</i><i>masonry construction, including pressed tan brick for two main façades, high-fire iron-spot brown brick for quoins and piers, concrete window sills, and common red brick for side and rear façades;</i>	INTACT (GOOD) <ul style="list-style-type: none">The Montrose Apartments retains its original masonry construction, including: pressed tan brick for two main façades, high-fire iron-spot brown brick for quoins and piers, concrete window sills, and common red brick for side and rear façades.In general, the brick masonry units appear to be in good condition, with some discolouration and efflorescence noted in localized areas, which can be attributed to water saturation.Some brick masonry units have been finished with unsympathetic paint. Further investigation is required to determine the condition of fireskin surfaces and mortar joints underneath the paint layers.Architectural detailing includes: arched window hoods with keystones, herringbone brick nogging in spandrels and decorative cast-stone insets.Historic street facades along Blanchard Street (east) and View Street (north) feature surviving original decorative sandstone insets; some appear to be in good condition, while others show natural weathering and signs of accelerated degree of deterioration, as evidenced by blistering and delamination.	Preservation	<ol style="list-style-type: none">Preserve existing original masonry construction. Repair in-kind brickwork that are in poor condition, or replace like-for-like if heavily deteriorated and structurally unsound.Determine if paint removal is feasible using non-abrasive methods to confirm the condition of brick masonry units underneath, and to determine extent of necessary brickwork repair.Undertake complete condition survey of condition of all masonry elements.Cleaning, repair and repointing specifications to be reviewed and recommended by Heritage Consultant. Work should only be undertaken by skilled masons.All redundant metal inserts and services mounted on the exterior walls should be removed or reconfigured.Any holes in the brick should be filled or replaced to match existing.Overall cleaning of all brick masonry walls, particularly on the historic street façades, should be carried out.Sandblasting or any abrasive methods that may damage the fireskin surfaces are not permitted. Chemical restoration cleaners should be reviewed and recommended by Heritage Consultant.Repoint the brickwork as required. It should match original in consistency, composition, strength, colour and pointing profile; note the finely tooled profile of the original mortar joints.Retain sound exterior masonry or deteriorated exterior masonry that can be repaired or reused elsewhere.



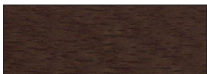
	EXISTING ELEMENTS (CDE = CHARACTER DEFINING ELEMENT)	PRELIMINARY CONDITION ASSESSMENT	CONSERVATION TREATMENT	OUTLINE CONSERVATION RECOMMENDATION
5.4	ARCHITECTURAL METALWORK (CDE) <ul style="list-style-type: none"><i>Edwardian-era decorative features including: symmetrical design that demonstrates a Classical Revival influence; pressed metal cornice above the storefronts; arched window hoods with keystones; herringbone brick nogging in spandrels; decorative cast-stone insets; and central arched entry with inset oak door assembly;</i>	INTACT (FAIR); DISTURBED <ul style="list-style-type: none">The Montrose Apartments originally had an ornate projecting galvanized sheet metal cornice that ran the length of the parapet level at the east and north elevations.There was also a small projecting sheet metal cornice located above the central ground floor entry.The parapet and entry sheet metal cornices were completely removed prior to 1961.The original storefront sheet metal cornice and fascias are intact. Some are showing accelerated degree of deterioration, as evidenced by paint loss, discolouration, corrosion, and material loss.	Preservation and/or Restoration	<div>16. Reinststate historically appropriate ornate metal cornice along the entire length of the parapet level at the east and north elevations.</div> <div>17. Investigate condition of brickwork where the metal cornice will be reinstated, and repair in-kind as required.</div> <div>18. Repair in-kind existing storefront metal cornice, as required.</div> <div>19. Structurally brace the parapets to improve seismic performance.</div>
5.5	FENESTRATION (CDE) <ul style="list-style-type: none"><i>Edwardian-era decorative features including: symmetrical design that demonstrates a Classical Revival influence; pressed metal cornice above the storefronts; arched window hoods with keystones; herringbone brick nogging in spandrels; decorative cast-stone insets; and central arched entry with inset oak door assembly;</i><i>original fenestration, including: variety of 6-over-1 and 8-over-1 double-hung wooden sash windows in single and double assembly; 1-over-1 double-hung wooden sash windows in lightwell on south side; and multi-paned casement window assemblies with transoms in central stairwell;</i><i>surviving early storefront elements including transoms, and mosaic tile insets at the entries;</i>	<div>5.5.1 WOOD WINDOW ASSEMBLIES INTACT (GOOD); DISTURBED<ul style="list-style-type: none">The second and third floor windows are intact including a variety of 6-over-1 and 8-over-1 double-hung wooden sash windows in single and double assembly, 1-over-1 double-hung wooden sash windows in the lightwell on south side, and multi-paned casement window assemblies with transoms in central stairwell.Four small bathroom windows on the Blanshard Street facade have been changed from double-hung configuration to casement window sash.In general, most of the wood window frames are in good condition, with signs of natural weathering as evidenced by paint failure.There is an ongoing program of progressive rehabilitation and maintenance of the original windows that is underway, that will ensure the continued viability of the original windows.</div> <div>5.5.2 PRIMARY ENTRANCE WOOD DOOR ASSEMBLY INTACT (GOOD); DISTURBED<ul style="list-style-type: none">The primary entrance to the apartments along Blanshard Street is characterized by an inset oak door assembly that includes paired sidelights and transoms with true-divided lights.The existing entrance double door sashes do not appear to be original; existing narrow stile metal doors with glass inset do not contribute to the historic character of the Montrose apartments, and should be replaced with historically appropriate wood door sashes.</div> <div>5.5.3 STOREFRONTS INTACT (FAIR); DISTURBED<ul style="list-style-type: none">The storefronts of the Montrose Apartments include many early storefront elements including a variety of transoms, inset doors, and mosaic tile insets at the entries.Some storefront elements have been altered over time, relating to individual tenant improvements.The most intrusive elements, however, are the disparate signs and awnings that disrupt the original character.</div>	Preservation and/or Rehabilitation	<div>5.5.1 WOOD WINDOWS & TRIMS</div> <div>20. Inspect for condition and complete detailed inventory to determine extent of recommended repair or replacement.</div> <div>21. Preserve existing window frames and sashes. Repair as required, using in-kind repair techniques.</div> <div>22. Each window should be made weather tight by re-puttying and weather-stripping as necessary.</div> <div>23. If existing wood sashes are deteriorated beyond repair, replace with new wood-sash assemblies to match original.</div> <div>24. New windows to be solid wood sash with through mortise-and-tenon joints, and true rope and pulley double-hung system.</div> <div>25. Prime and repaint as required in appropriate colour, based on colour schedule devised by Heritage Consultant.</div> <div>5.5.2 PRIMARY ENTRANCE DOOR ASSEMBLY</div> <div>26. Inspect for condition to determine extent of recommended repair or replacement.</div> <div>27. Preserve surviving, original elements of the entrance door assembly. Repair in-kind as required.</div> <div>28. Replace existing narrow-stile metal door sashes with historically appropriate wood door sashes.</div> <div>5.5.3 STOREFRONTS (SEE FIGURE 12 ON THE FOLLOWING PAGE)</div> <div>29. The storefronts will be rehabilitated to the original 1912 configuration.</div> <div>30. The transoms and storefront elements, and the mosaic tile entries will be retained when original to 1912, and rehabilitated as required.</div> <div>31. The storefront bulkheads will be restored according to their historic appearance, of wood profiles.</div> <div>32. The storefront rehabilitation will be phased in over time, tied to the issuance of a building permit related to tenant improvements.</div> <div>33. Restoration of the original transom windows, except in the case where mezzanine spaces have been added within two of the commercial retail units, in which case the transoms will be restored if the mezzanines are removed.</div> <div>34. Preserve any surviving original storefront elements. Repair in-kind as required.</div> <div>35. Any new storefront elements should be visually compatible with the historic character of the building, and reflect original based on extant elements, or evidence from archival photos.</div> <div>36. Prime and repaint as required in appropriate colour, based on colour schedule devised by Heritage Consultant.</div>

	EXISTING ELEMENTS (CDE = CHARACTER DEFINING ELEMENT)	PRELIMINARY CONDITION ASSESSMENT	CONSERVATION TREATMENT	OUTLINE CONSERVATION RECOMMENDATION
5.6	FLAGPOLE (CDE) <ul style="list-style-type: none"><i>flagpole above main entry;</i>	INTACT (FAIR); DISTURBED <ul style="list-style-type: none">Existing flagpole located at the rooftop level is centrally placed above the main entry.The roof was inaccessible during site visit, and further investigation is required to determine its condition and confirm what is appropriate conservation approach.	Preservation	37. Preserve the existing flagpole in its current configuration. Repair in-kind only as required. 38. If deteriorated beyond repair, carefully document before dismantling, and salvage original as reference. New replacement material should match original like-for-like.
5.7	HISTORIC SIGNAGE (CDE) <ul style="list-style-type: none"><i>early painted wall sign on west façade;</i>	INTACT (DISTURBED) <ul style="list-style-type: none">An early painted wall sign “ANDREW SHERET LTD.” remains intact on the west facade below the northwest corner of the parapet wall.The paintwork has weathered over time, and some areas of the early painted wall sign have been tagged.	Preservation	39. Preserve early painted wall sign on west elevation.
5.8	EXTERIOR COLOUR SCHEDULE	INTACT; DISTURBED <ul style="list-style-type: none">The original applied colour on the windows have been matched to a dark green colour. Based on the appearance of archival images, the cornices likely were painted the same colour.	Restoration	40. Reinstate historical colour scheme for exterior painted finishes; refer to Table 5B .
5.9	INTERIOR FEATURES (CDE) <ul style="list-style-type: none"><i>interior features including original room configuration, central staircase with cut-out flat balusters, lath-and-plaster walls and wooden trim</i>	INTACT <ul style="list-style-type: none">The interior of the Montrose Apartments are significantly intact, including the original room configuration, central staircase with cut-out flat balusters, lath-and-plaster walls and wooden trim.There is no intention of changing the interior layout or elements at this time.	Preservation	41. Preserve existing original interior layouts or elements.



Figure 12: (Above) View of original storefronts

TABLE 5B - HISTORICAL COLOUR SCHEME:
MONTROSE APARTMENTS, 1114-1126 BLANSHARD STREET, VICTORIA BC

	ELEMENT	COLOUR	CODE*	SAMPLE	FINISH
A	Wood Window Frames, Brick Moulds, Storefront Profiles & Wood Window Sashes (at side and rear elevations)	Rookwood Shutter Green	SW-2809		Gloss
B	Wood Window Sashes** (at street elevations)	TBD	-	-	Gloss
C	Sheet Metal Cornices	Rookwood Shutter Green	SW-2809		Semi-Gloss
D	Primary Entrance Wood Door Assembly	Stained & Varnished (Preserve existing colour and finish)	-		-

*SW - Paint colours matched from Sherwin Williams’ *Historic Colors Collection*

** Colour of street facades wood window sashes to be confirmed once access is available.



Figure 13: (Left) Primary Entrance Wood Door Assembly

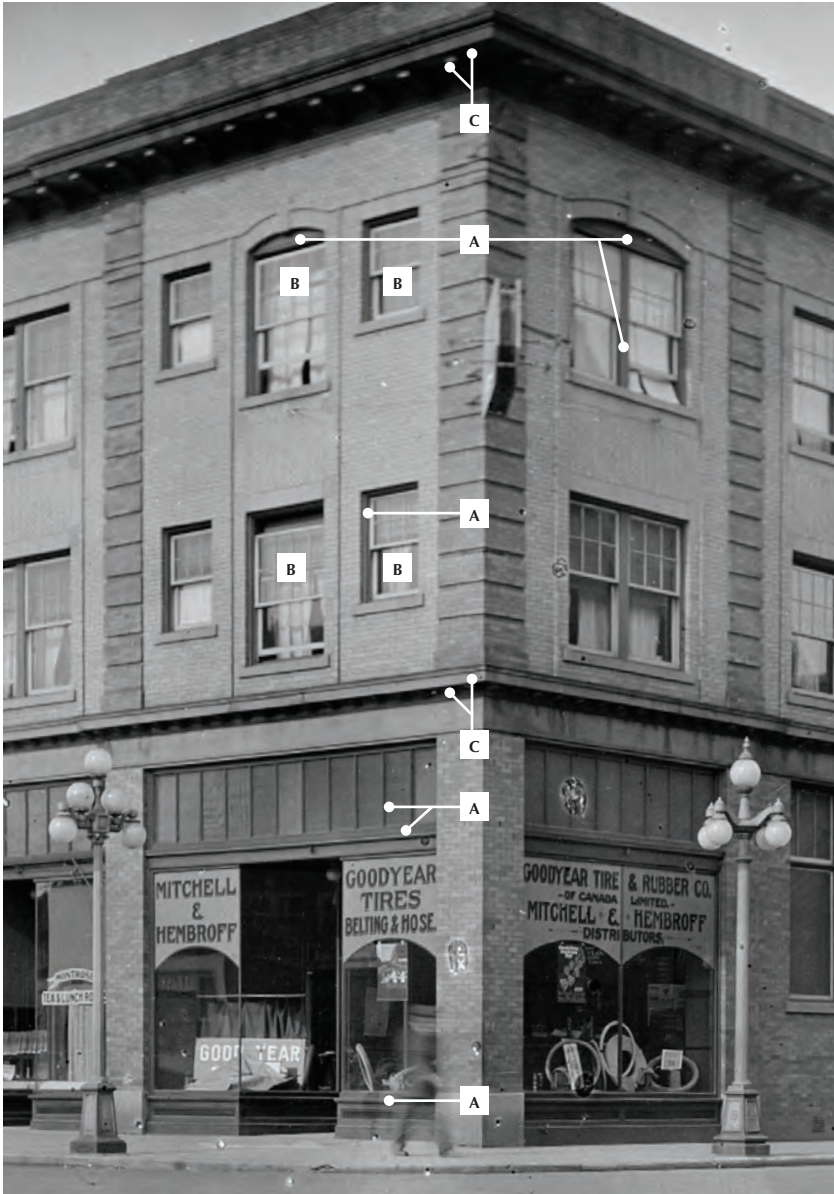


Figure 14: (Right) Montrose Apartments, 1114-1126 Blanshard Street, southwest corner of Blanshard Street and View Street, 1918. [Harry Upperton Knight, photographer. City of Victoria Archives M00874]

APPENDIX A - REFERENCE PHOTOS



Figure 15: Partial South (side) and East (front) Elevation, as viewed from along Blanshard Street.



Figure 17: South (side) Elevation, as viewed from adjacent parking lot.



Figure 16: East (front) Elevation, as viewed from along Blanshard Street.



Figure 18: North (secondary historic street facade) Elevation, as viewed from View Street.



Figure 19: Detail photo showing central bay above entrance alcove. Note typical deterioration of window sills, sandstone insets, and wood window frames.



Figure 20: Detail photo showing typical paired wood window assembly with double-hung sashes. Note typical deterioration of brick masonry units below missing parapet cornice.



Figure 21: Detail photo showing arched window openings with double-hung wood window sashes at south elevation. Note deteriorated parging of wood window sills, exposing brick masonry units in rowlock coursing underneath.



Figure 22: Detail photo showing recessed primary entrance portico at central bay of front facade along Blanshard street. Note existing replacement door sashes (paired narrow-stile metal doors with glass inset) that are not historically appropriate.



Figure 23: Detail photo showing existing typical deteriorated condition of column bases.



Figure 24: Detail photo showing existing typical deteriorated condition of storefront metal cornice.



Figure 25: Detail photo showing existing typical deteriorated condition of pediment above the central bay of the historic front facade along Blanshard Street. Note existing flagpole partially shown in the background.



Figure 26: Detail photo showing existing typical condition of storefronts along Blanshard Street. Note ribbon of transom windows above “The Cookie Guy” does not reflect original configuration as shown above “Better Choice Staffing”.



Figure 27: Partial secondary front (north) facade, and surviving early painted signage along west (rear) elevation.



Figure 28: Detail photo showing partial North Elevation (along View Street) showing typical deterioration of exterior character-defining elements caused by water ingress and saturation.



Figure 29: Detail photo showing typical deterioration of window sill. Note discolouration and biological growth, and paint failure.



Figure 30: Detail photo showing typical deterioration of architectural metal cornice. Note discolouration and biological growth; paint failure; and, corrosion of metal elements.

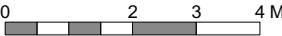


Figure 31: Detail photos showing unsympathetic paint finish over brick masonry units. Note discolouration and biological growth; further investigation is required to determine if face brick are spalling underneath.

APPENDIX B - PROPOSED BLANSHARD STREET FACADE



Montrose Building - Proposed Restored Elevation



Montrose Wintergarden Hotel
Feb. 25 2021 | DAU #1908

Figure 32: Elevation drawing showing the proposed overall treatment of the Blanshard Street facade.

APPENDIX C: RESEARCH SUMMARY

ORIGINAL OWNER: Andrew Sheret
CIVIC ADDRESS: 1114-1126 Blanshard Street
HISTORIC NAME: Sheret Building / Montrose Apartments
ARCHITECT: C. Elwood Watkins
CONTRACTORS: Murray & Aves
DATE OF CONSTRUCTION: 1912

- VICTORIA CITY HALL PLANS:**
- C. Elwood Watkins for Andrew Sheret; February 1912; 8 sheets.

- CITY OF VICTORIA BUILDING PERMIT:**
- City of Victoria Building Permit #3822; April 3, 1912; owner Andrew Sheret; Blanshard and View; 1 brick bldg; 3 stories, 48 rooms; stores + apartments; \$43,000.

- CITY OF VICTORIA PLUMBING PERMITS:**
- CoV-CR-0181-00096: September 16, 1893. Consists of application by George Kennell to connect building at 1114-1126 Blanshard Street to sewer. Name of architect on plan: John Teague. Related plan numbers: 5582; 10503. Demolished.
 - Plumbing Permit #5582; April 26, 1912 [Issued May 2, 1912]; 1114 Blanshard Street; for Andrew Sheret; stores and rooming house.
 - Water Permit #4788: August 12, 1911; A. Sheret; Blanshard & View; 3”; \$50; Corner.

- BC VITAL EVENTS:**
- Groom: Andrew Sheret; Bride: Annie McDowell; Event Type: Marriage; Registration Number: 1900-09-009708; Event Date: 1900-01-01; Event Place: Victoria.
 - Person: Andrew Sheret; Event Type: Death; Registration Number: 1947-09-007958; Event Date: 1947-09-12; Event Place: Victoria; Age at Death: 76.
 - Person: Annie Sheret; Event Type: Death; Registration Number: 1965-09-005927; Event Date: 1965-05-04; Event Place: Victoria; Age at Death: 88.
 -

- REFERENCES:**
- Luxton, Donald, Ed. *Building the West: The Early Architects of British Columbia*. Vancouver, Talonbooks, 2nd ed., 2007.

- NEWSPAPER REFERENCES:**
- Victoria Daily Times*, March 4, 1912, page 11: NOTICE TO CONTRACTORS. Tenders will be received on or before Monday, March 11th at 5 o’clock p.m., for the erection and completion of a three storey brick building with basement on the corner of View and Blanchard streets, for Andrew Sheret, Esq. Drawings and specifications may be seen at the office of the undersigned. Lowest or any tender not necessarily accepted. C. Elwood Watkins, Architect.
 - Victoria Daily Colonist*, April 4, 1912, page 5: Another Business Block. The clearing away of the old shacks on the corner of Blanchard and View streets is preparatory to the erection there for Andrew Sheret of a three-storey brick block for stores and rooms, of which there are to be 48, by Murray and lwes [sic], from the designs of C.E. Watkins. The cost will be \$43,000.
 - Victoria Daily Colonist*, April 8, 1912, page 11: Stores and Hotel for View Street.
 - Victoria Daily Times*, April 9, 1912, page 2: Elevation and caption.

- Victoria Daily Times*, April 27, 1912, page 3: In addition to the Belmont, the Union Bank, The Central, and Empress blocks are all important commercial additions to the city, while in hotel and rooming accommodation may be mentioned the St. James hotel, the Challoner & Mitchell building, the Sheret building on the corner of View and Blanchard street, and the ninety-room addition to the Empress hotel.
- Victoria Daily Times*, December 23. 1912, page 5: Rochon’s Now Open. – Try us for your Xmas candies and chocolates. We make all our own. 1124 Blanchard Street in Sheret Building.

- DIRECTORIES:**
- 1910-11 *Henderson’s Greater Victoria City Directory*, page 76:
Blanchard Street
Fort intersects
1110 Sam Chong Chinese laundry
1114 Alexander John carp
View intersects
 - 1912 *Henderson’s Greater Victoria City Directory*, page 84:
Blanchard Street
Fort intersects
1110 Sam Chong Chinese laundry
1114 Occupied
1120 Gilders Restaurant
View intersects
 - 1912 *Henderson’s Greater Victoria City Directory*, page 512:
Murray & Aves Ltd (A J Murray, E O Aves and M Menkus) bldrs 222 Pemberton Bldg
 - 1913 *Henderson’s Greater Victoria City Directory*, page 240:
Blanchard Street
Fort intersects
1114 Sheret Andrew plumber
1116 Vacant
1118 Progressive Shoe Repairing Depot
1120 Montrose Apartments
1122 Vacant
1124 Rochon Bros confrs
1126 Palm Cafe
View intersects