

GENERAL NOTES

GENERAL NOTES
ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE (BCBC), GOOD CONSTRUCTION PRACTICE, AS WELL AS ANY OTHER LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE

ALL MEASUREMENTS TO BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS/SITE CONDITIONS AND MEANS DIMENSIONS & ELEVATIONS HAVE BEEN VERIFIED & ARE ACCEPTABLE

IF ANY DISCREPANCIES ARISE, THEY SHOULD BE REPORTED TO THE DESIGNER

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE

FRAMING LUMBER SHALL BE GRADED #2 OR BETTER UNLESS OTHERWISE SPECIFIED

ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES AND MILLWORK TO OWNERS APPROVAL

STAIR TREADS TO BE PLYWOOD OR OTHER ENGINEERED PRODUCT AND SECURED WITH SCREWS AND SUB-FLOOR ADHESIVE

TEMPORARY HEAT REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN DRYING OF FRAMEWORK. MOISTURE CONTENT OF FRAMEWORK MUST NOT EXCEED 19%

SITE PLAN
LAYOUT TO BE CONFIRMED BY A CURRENTLY REGISTERED BRITISH COLUMBIA LEGAL LAND SURVEYOR

ALL SET BACKS TO BE CONFIRMED BY THE OWNER AND BUILDER

ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER AND BUILDER

VERIFY EXISTING AND PROPOSED GRADES PRIOR TO CONSTRUCTION

FOUNDATION
THE BUILDER IS RESPONSIBLE FOR LOCATING THE FOOT PRINT OF THE STRUCTURE IN THE PROPER PLACE AS PER PLANS

CONCRETE FOUNDATION WALLS NOT SUBJECT TO SURCHARGE SHALL BE INSTALLED ON COMPACTED, UNDISTURBED, INORGANIC STABLE SOILS BELOW THE DEPTH OF FROST PENETRATION WITH AN ALLOWABLE BEARING PRESSURE OF 75 kPa OR GREATER. IF SOFTER CONDITIONS APPLY, THE BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER

THE SILL PLATE IS TO BE FASTENED TO THE FOUNDATION WALL WITH NOT LESS THAN 12.7mm Ø ANCHOR BOLTS SPACED NOT MORE THAN 2.4m O.C. OR FOR BRACED WALL PANELS 2 15mm Ø ANCHOR BOLTS PER BRACED WALL PANEL 500mm FROM THE ENDS OF THE FOUNDATION AND SPACED 1.7m O.C. EMBEDDED 100mm DEEP

ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE TREATED OR PROTECTED BY A MOISTURE RESISTANT GASKET

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED AND ADVISE THE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE ENGINEERING

ALL FOUNDATION WALLS ARE 200mm THICK 20MPa CONCRETE UNLESS OTHERWISE SPECIFIED

FOUNDATION WALLS MAY BE A MAXIMUM OF 4' HIGH FROM GRADE TO UNDERSIDE OF FLOOR IF LATERALLY UNSUPPORTED AT TOP. ALL OTHER CONCRETE FOUNDATION WALLS TO BE ENGINEERED

FRAMING
ALL ENGINEERED COMPONENTS TO BE SIZED BY SUPPLIER

ALL SPANS AND LOADINGS SHALL CONFORM TO THE CURRENT VERSION OF THE BCBC. VERIFICATION OF ALL COMPONENTS IS THE RESPONSIBILITY OF THE OWNER/BUILDER. ANY COMPONENTS WHICH CANNOT BE DESIGNED WITH THE BCBC SHALL BE DESIGNED BY A QUALIFIED ENGINEER

TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS

IT IS ASSUMED THAT THE CONTRACTOR IS FAMILIAR WITH THE 2018 BCBC AND INDUSTRY STANDARDS FOR WOOD FRAME CONSTRUCTION. NOT EVERY DETAIL OF WOOD FRAMING IS SHOWN ON THESE DRAWINGS

ALL LINTELS DOUBLE 2X10 S.S. SPF FOR CLEAR SPANS UP TO 5' UNLESS OTHERWISE NOTED

EXTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF EXTERIOR SHEATHING TO INSIDE OF DRYWALL

INTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF DRYWALL TO OUTSIDE OF DRYWALL

ROOM MEASUREMENTS SHOWN ARE TO THE NEAREST INCH. DIMENSIONS SHOWN ARE TO THE NEAREST 1/2"

CONFIRM ALL VANITY'S, BATHTUBS, SHOWERS AND KITCHEN CUPBOARDS WITH OWNER PRIOR TO FRAMING AS THESE MAY REQUIRE MODIFICATIONS TO THE ROOM SIZES

ROOFING
ALL ROOFING SHALL BE APPLIED TO THE MANUFACTURERS SPECIFICATIONS AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMMING AND SNOW BUILD UP

PLUMBING AND ELECTRICAL
ANY PLUMBING AND ELECTRICAL SHOWN ON THESE PLANS IS FOR ILLUSTRATIONAL PURPOSES ONLY AND MUST BE DESIGNED AND INSTALLED BY A QUALIFIED PROFESSIONAL

FLASHING
ALL PENETRATIONS THROUGH THE ROOF WILL REQUIRE FLASHING.

ALL ROOFING TO INCLUDE STEP FLASHING.

ALL EXPOSED OPENINGS TO INCLUDE FLASHING

ALL FLASHING END DAMS TO BE 25mm (1") HIGH

DOORS
FRAME OPENING TO BE 1 1/4" WIDER THAN DOOR
FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS.
FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT IS 81.5"
ALL INTERIOR DOORS TO BE 30" WIDE UNLESS OTHERWISE SPECIFIED

FENESTRATION
ALL WINDOWS, DOORS & SKYLIGHTS TO CONFORM TO NAFS-08 AND THE CANADIAN SUPPLEMENT TO NAFS

FENESTRATION PERFORMANCE REQUIREMENTS:
CLASS R - PG 30 - +VE/-VE DP = 1440Pa/1440Pa - WATER PENETRATION RESISTANCE = 260Pa - CANADIAN AIR INFILTRATION/EXFILTRATION = A2

WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS AND MILLWORK TO OWNERS APPROVAL

ALL WINDOWS ADJACENT TO BATH TUBS TO BE SAFETY GLASS

GUARDS/HANDRAILS
INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" TO 38" ABOVE STAIR NOSING

INSTALL GUARDS AT ALL BALCONIES, DECKS AND PORCHES GREATER THAN 2' ABOVE GRADE . INSTALL GUARD AT 42" HEIGHT WHERE SURFACE IS GREATER THAN 6" ABOVE ADJACENT SURFACE, OTHERWISE 36" GUARDRAIL ALLOWABLE

TOPLESS GLASS GUARDS TO BE ENGINEERED WITH SEALED DRAWINGS

VENTILATION
PROVIDE ATTIC AND CRAWLSPACE ACCESS AND VENTILATION IN ACCORDANCE WITH BCBC

PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH BCBC AND LOCAL BYLAWS

MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FRAMING INSPECTION

MISC.
SMOKE/CARBON MONOXIDE ALARMS TO BE PROVIDED ON EVERY FLOOR AND ARE TO BE HARDWIRED AND WITHIN 5m OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. SMOKE ALARMS TO ALSO BE PROVIDED IN EVERY BEDROOM. ALL SMOKE ALARM LOCATIONS WILL HAVE BOTH PHOTOELECTRIC AND IONIC DETECTION SYSTEMS

BEDROOM WINDOWS FOR EGRESS SHALL HAVE OPENINGS WITH AREAS NOT LESS THAN 3.8ft² WITH NO DIMENSION LESS THAN 15"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO CHECK AND VERIFY ALL ASPECTS OF THESE PLANS PRIOR TO START OF CONSTRUCTION OR DEMOLITION.
ADAPT DESIGN DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE
-CONFORMITY OF PLANS TO SITE
-ERRORS AND/OR OMISSIONS
-ANY HOUSE BUILT FROM THESE PLANS
THESE PLANS REMAIN THE PROPERTY OF ADAPT DESIGN AND CAN BE RECLAIMED AT ANY TIME



Issued		
COVER SHEET & GENERAL INFO		
A-001	COVER SHEET	<input type="checkbox"/>
A-002	SITE PLAN	<input type="checkbox"/>
A-003	SITE SERVICING AND LANDSCAPE PLAN	<input type="checkbox"/>
PLANS		
A-102	PR. DUPLEX FLOOR PLANS	<input type="checkbox"/>
A-103	EX. FLOOR PLANS	<input type="checkbox"/>
ELEVATIONS		
A-201	PR. DUPLEX ELEVATIONS	<input type="checkbox"/>
A-202	EXISTING ELEVATIONS	<input type="checkbox"/>
A-203	EXISTING ELEVATIONS	<input type="checkbox"/>
A-204	EX. WORKSHOP ELEVATIONS	<input type="checkbox"/>
SECTIONS		
A-301	CROSS SECTION	<input type="checkbox"/>

ADAPTDESIGN

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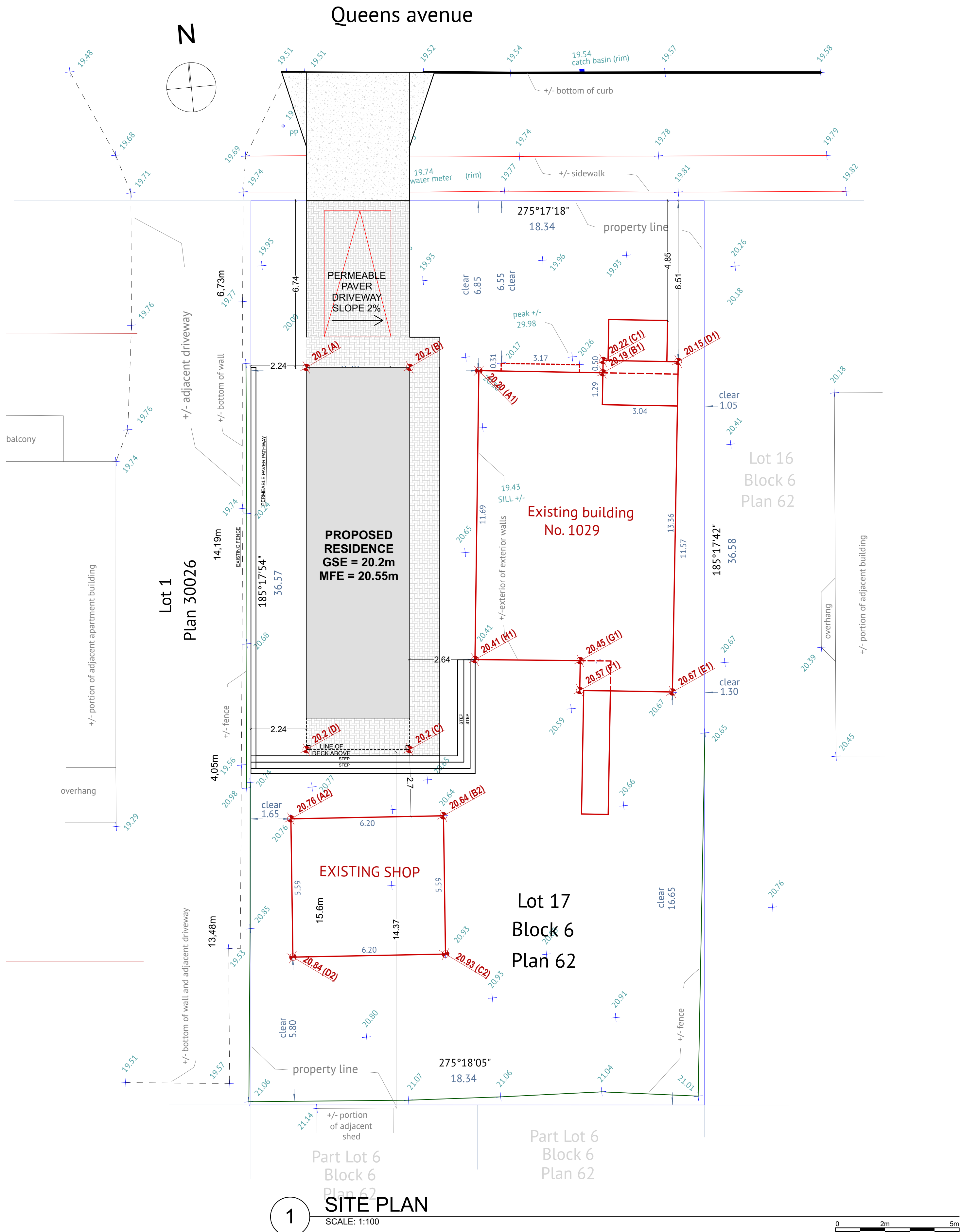
ISSUED:

PROJECT:

REZONE TO CREATE NEW CARRIAGE HOME (DUPLEX)

COVER SHEET

A-001



Proposed residence

GRADE POINTS
A = 20.47m
B = 20.54m
C = 21.10m
D = 21.08m

GRADE POINTS	AVERAGE OF POINTS		DISTANCE BETWEEN GRADE POINTS	TOTALS
Points A&B	((20.2+20.2) / 2)	x	4.2m	= 84.8
Points B&C	((20.2+20.2) / 2)	x	15.4m	= 311.1
Points C&D	((20.2+20.2) / 2)	x	4.2m	= 84.8
Points D&A	((20.2+20.2) / 2)	x	15.4m	= 311.1
PERIMETER OF BUILDING = 39.2m				791.8

GRADE CALCULATION
791.8 / 39.2 = 20.2m

Existing building No. 1029

GRADE POINTS
A1 = 20.20m E1 = 20.67m
B1 = 20.19m F1 = 20.57m
C1 = 20.22m G1 = 20.45m
D1 = 20.15m H1 = 20.41m

GRADE POINTS	AVERAGE OF POINTS		DISTANCE BETWEEN GRADE POINTS	TOTALS
Points A1&B1	((20.20+20.19) / 2)	x	4.97m	= 100.37
Points B1&C1	((20.19+20.22) / 2)	x	0.50m	= 10.10
Points C1&D1	((20.22+20.15) / 2)	x	3.04m	= 61.36
Points D1&E1	((20.15+20.67) / 2)	x	13.36m	= 272.68
Points E1&F1	((20.67+20.57) / 2)	x	2.51m	= 51.76
Points F1&G1	((20.57+20.45) / 2)	x	1.21m	= 24.82
Points G1&H1	((20.45+20.41) / 2)	x	5.50m	= 112.37
Points H1&A1	((20.41+20.20) / 2)	x	11.69m	= 237.37

PERIMETER OF BUILDING = 42.78m 870.83

GRADE CALCULATION
870.83 / 42.78 = 20.37

Existing Garage

GRADE POINTS
A2 = 20.76m
B2 = 20.64m
C2 = 20.93m
D2 = 20.84m

GRADE POINTS	AVERAGE OF POINTS		DISTANCE BETWEEN GRADE POINTS	TOTALS
Points A2&B2	((20.76+20.64) / 2)	x	6.20m	= 128.34
Points B2&C2	((20.64+20.93) / 2)	x	5.59m	= 116.19
Points C2&D2	((20.93+20.84) / 2)	x	6.20m	= 129.49
Points D2&A2	((20.84+20.76) / 2)	x	5.59m	= 116.27

PERIMETER OF BUILDING = 23.58m 490.29

GRADE CALCULATION
490.29 / 23.58 = 20.79

Property Information

Project Type: New Carriage House
Owners: Jenny Farkas
Address: 1029 Queens Avenue
Legal Description: Lot 17, Block 6, Section 3, Victoria District, Plan 62

Zoning: Site Specific

Setbacks:

Proposed Duplex:	
Rear	14.37m
Side	2.24m
Front	6.74m
Height	6.18m
Ex. House	2.64m
Ex. Garage	2.70m

Existing Duplex	
Rear	6.5m
Side	1.05m
Front	16.7m
Existing Garage	
Rear	5.8m
Side	1.65m

Floor Area

Proposed Duplex	
Main Floor	567 SF (52.7 SM)
Upper Floor	567 SF (52.7 SM)
Total	1134 SF (105.4 SM)
Existing Duplex	
Lower Floor	1003 SF (93.2 SM)
Main Floor	1029 SF (95.6 SM)
Upper Floor	472 SF (43.9 SM)
Existing Workshop	328 SF (30.5 SM)

Lot Area:	7219 SF (670.7 SM)
Combined Bld. Footprint	2143 SF (199.0 SM)
Site Coverage	29.7%
Rear Yard Open Site Space	86.9%

Applicable Codes

-BC Building Code Current Edition (2018)

Energy

Compliance path: BCBC Step Code
Requirements applicable to this project: Level 1
See compliance report

Ventilation

BCBC 9.32



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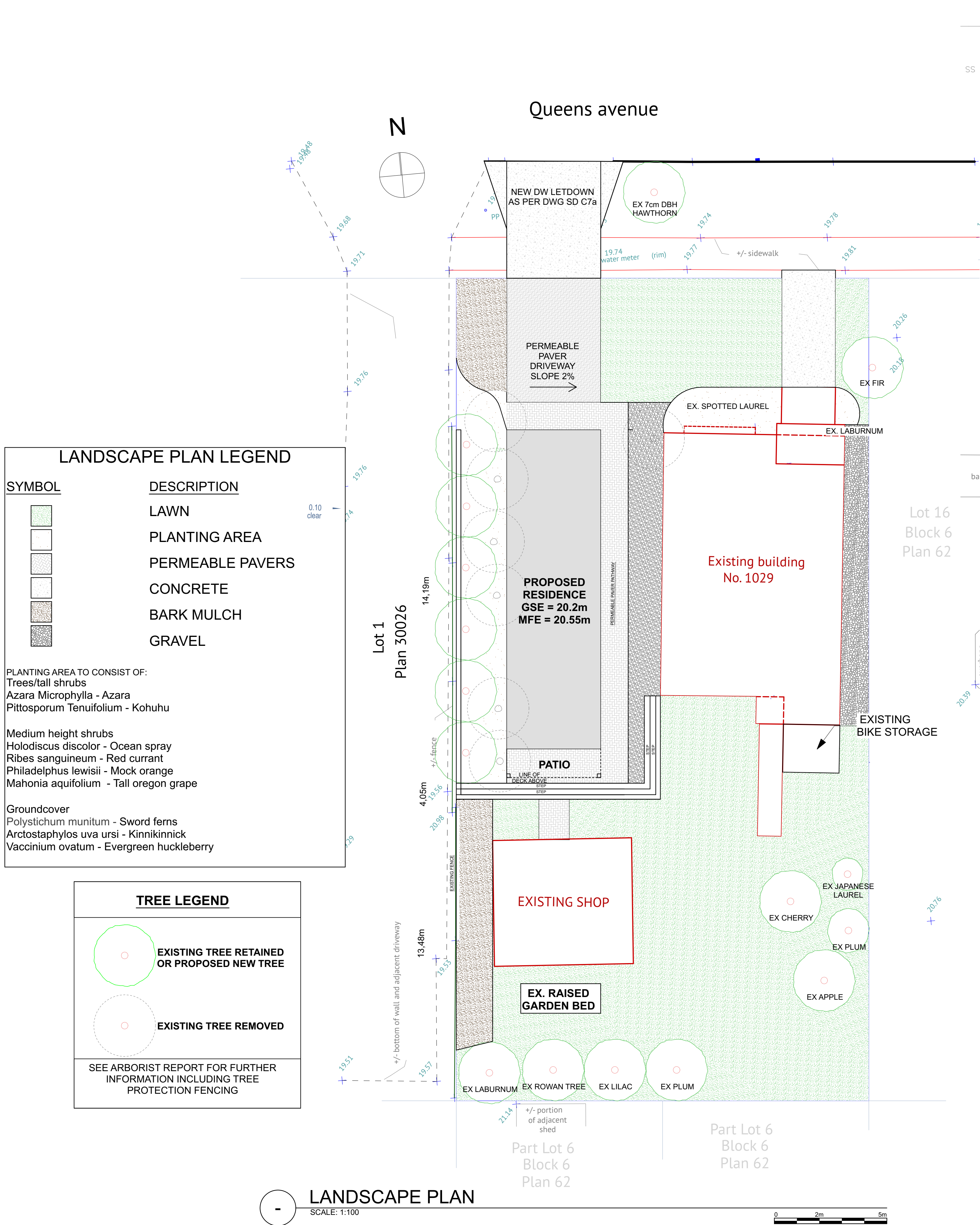
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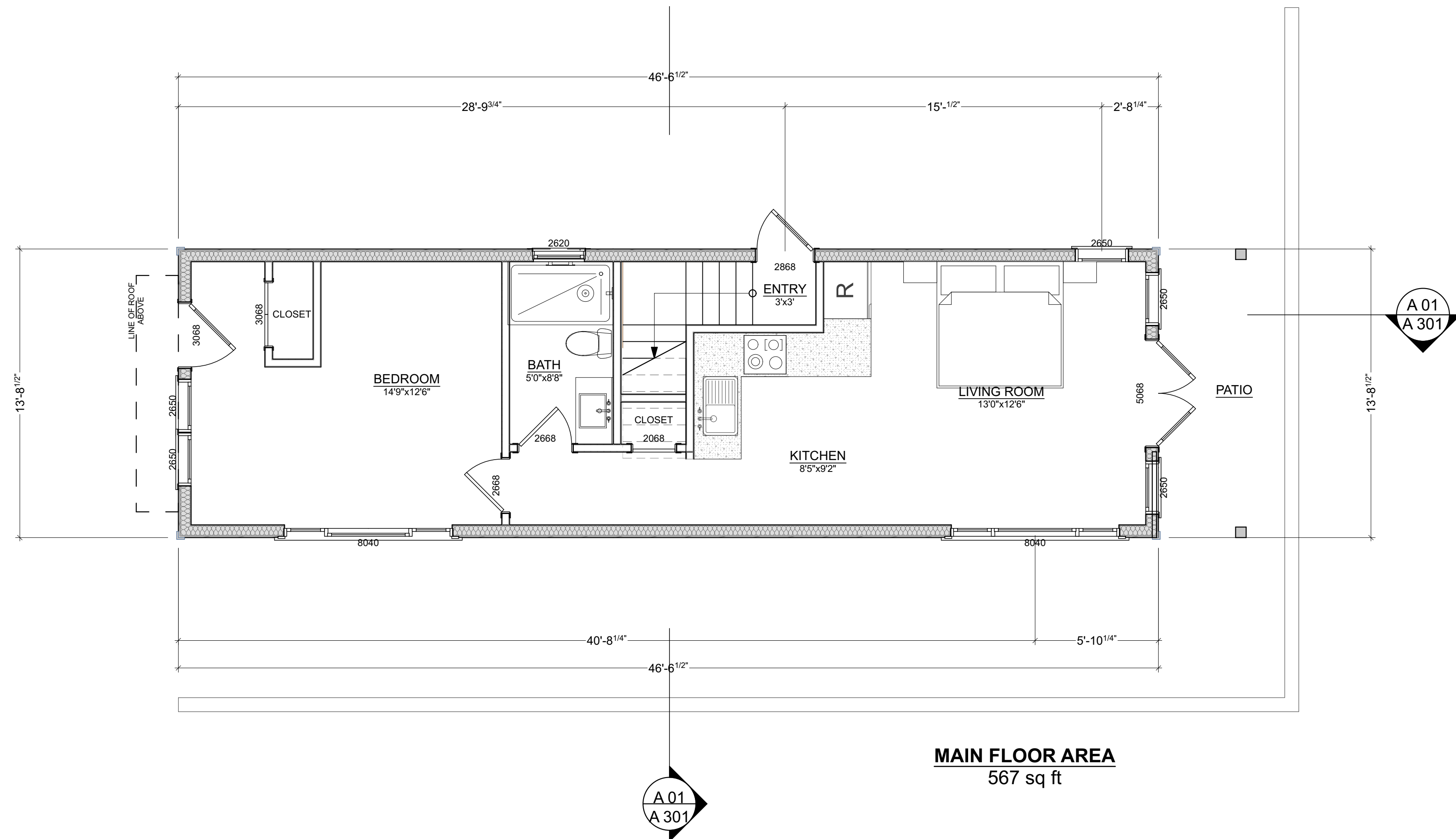
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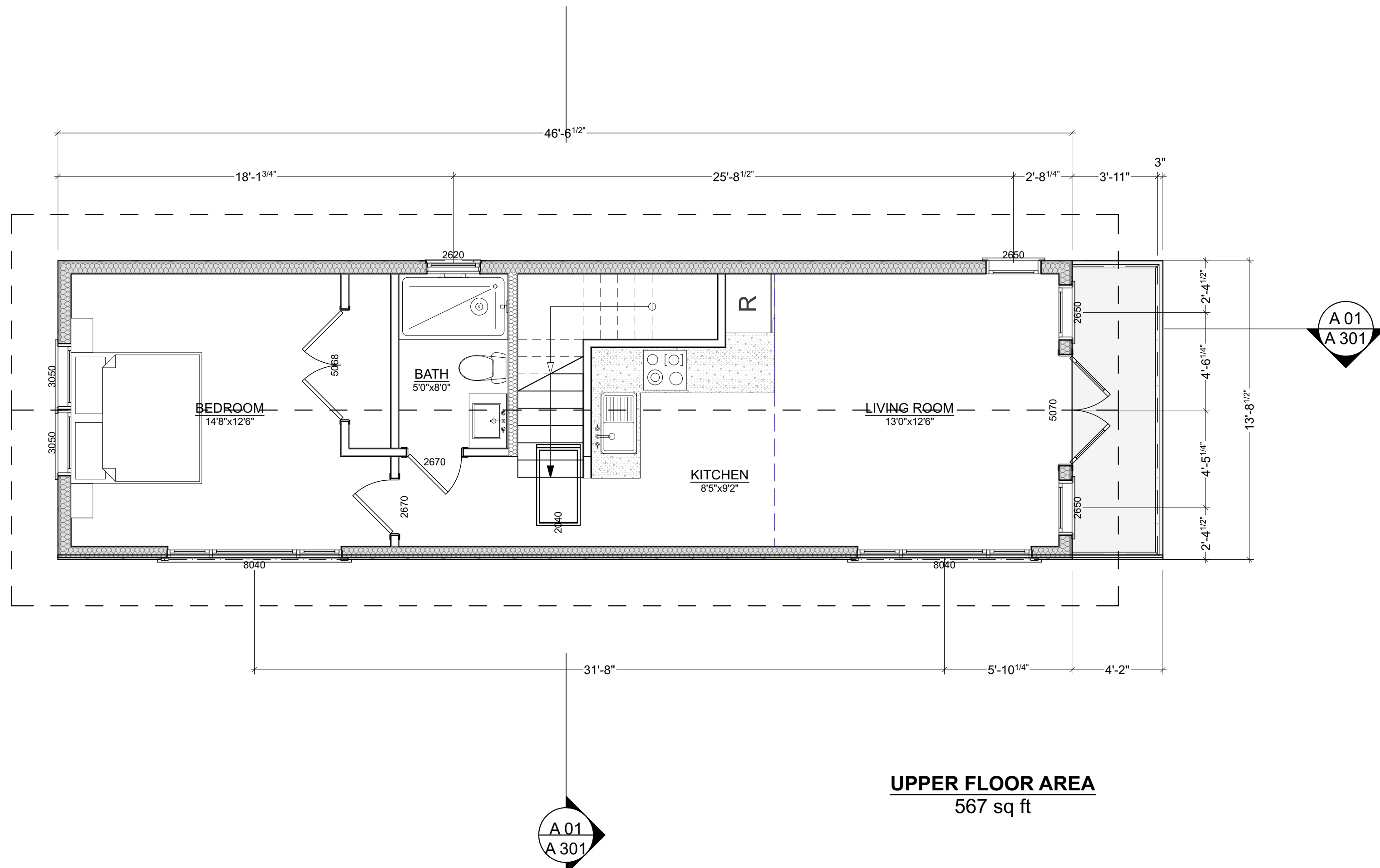
SITE PLAN

A-002

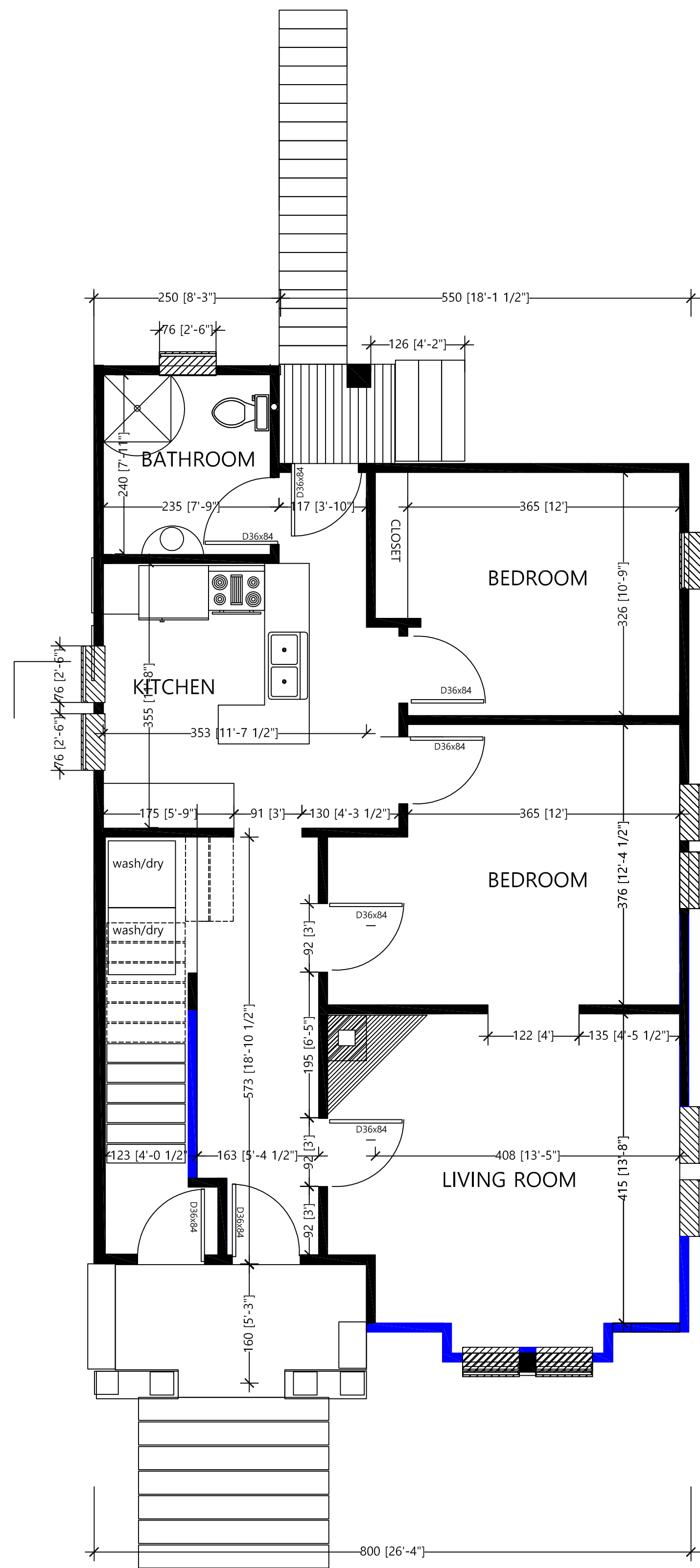




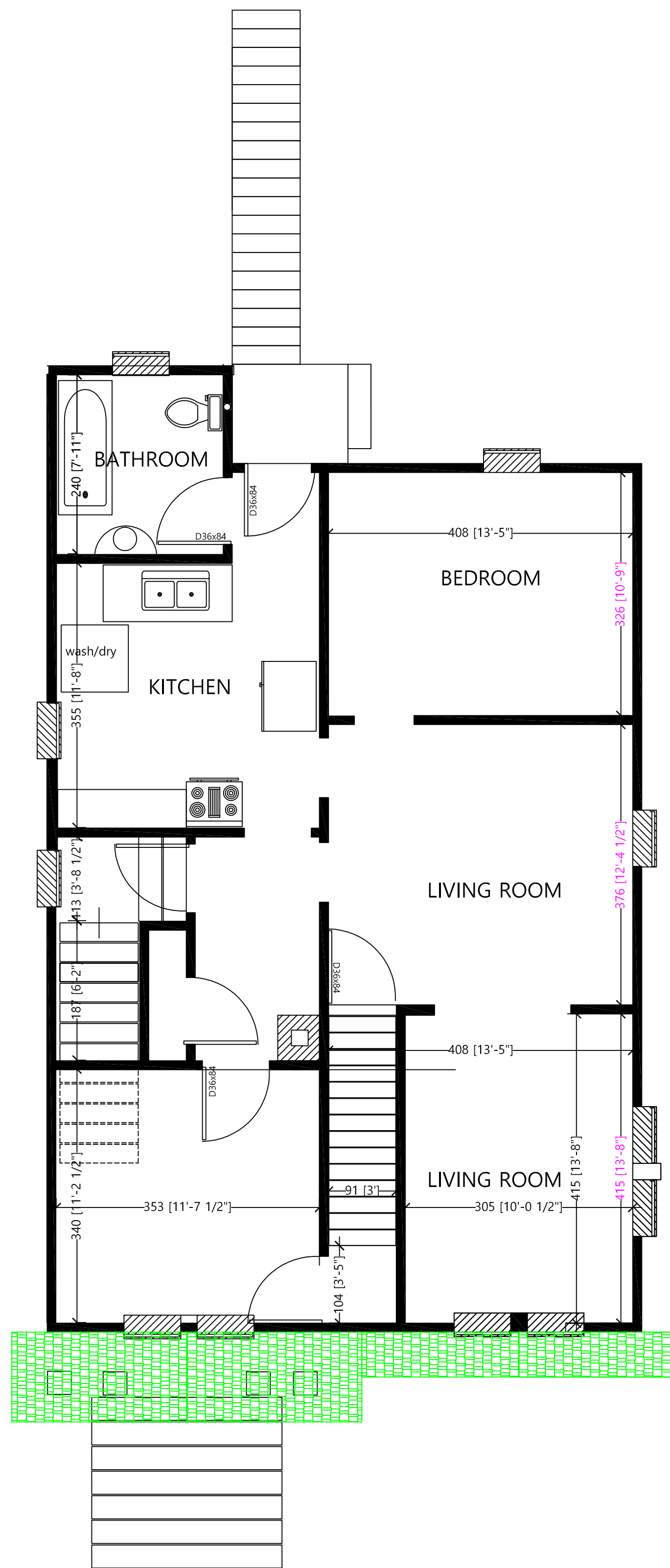
1 MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"



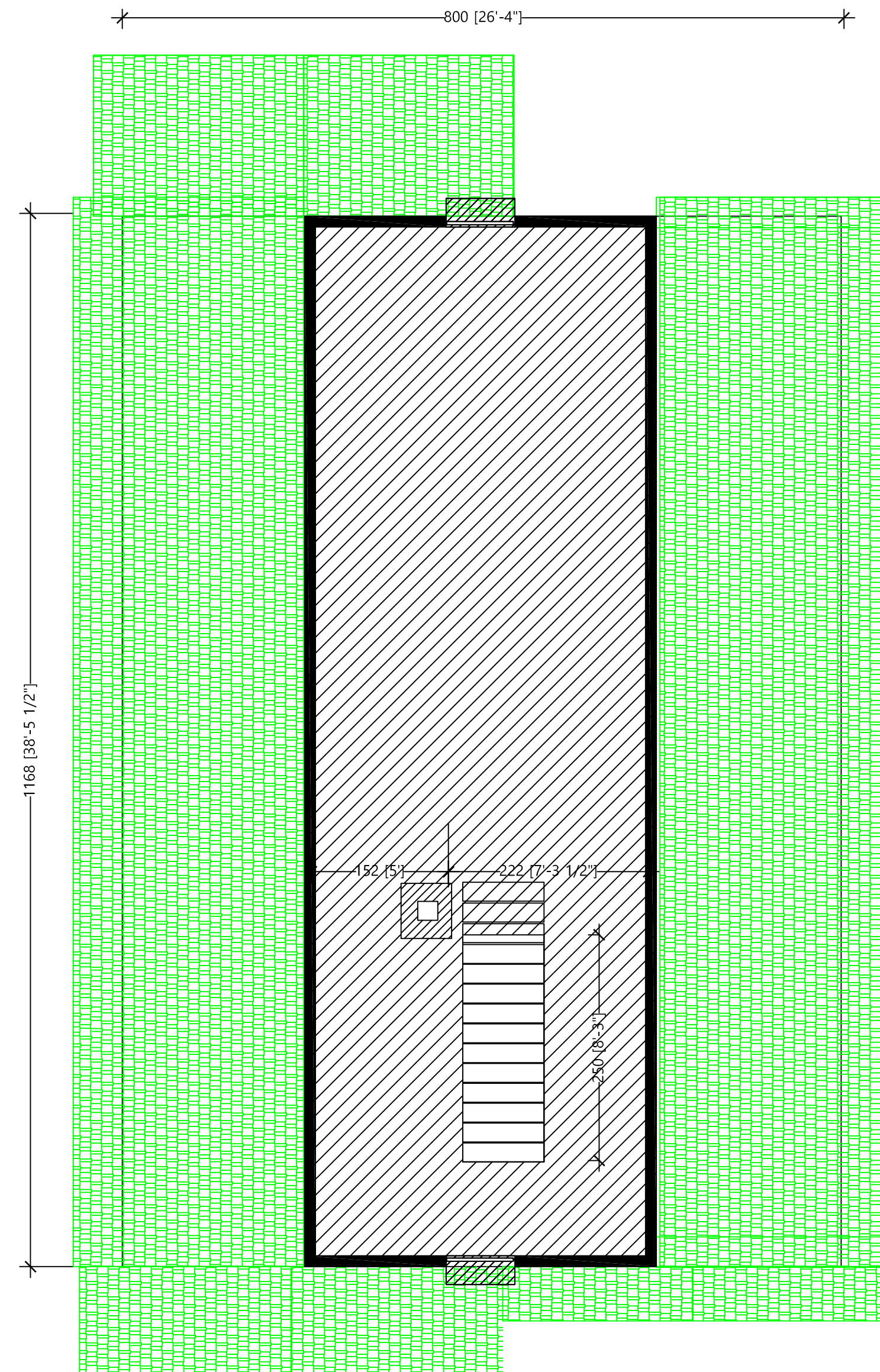
2 UPPER FLOOR PLAN
SCALE: 1/4" = 1'-0"



FLOOR 1 PLAN



FLOOR 2 PLAN



ATTIC FL 3 PLAN



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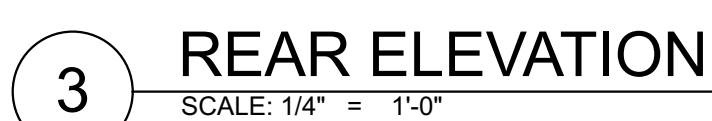
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ISSUED:

PR. DUPLEX
ELEVATIONS

A-201

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EXTERIOR CLADDING LEGEND

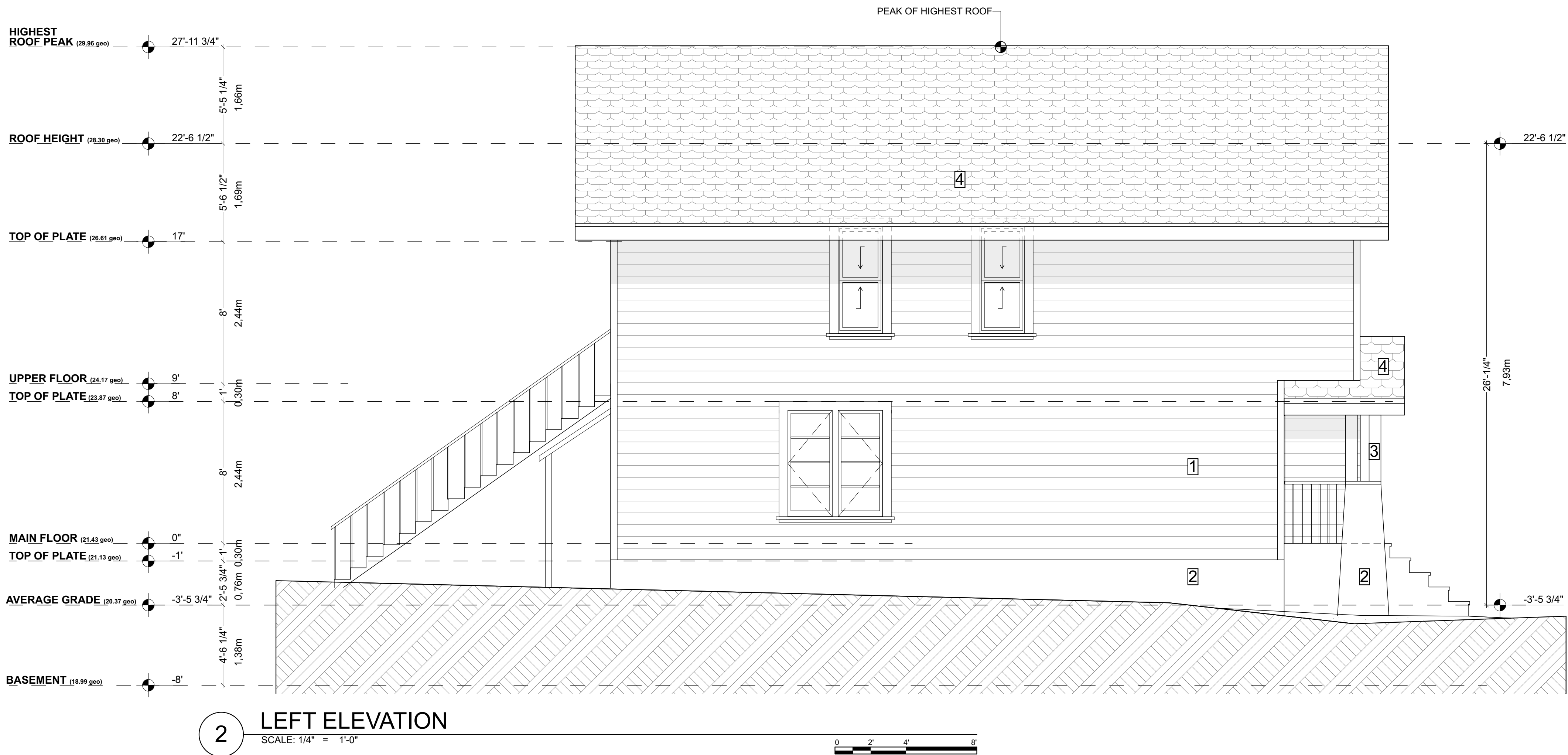
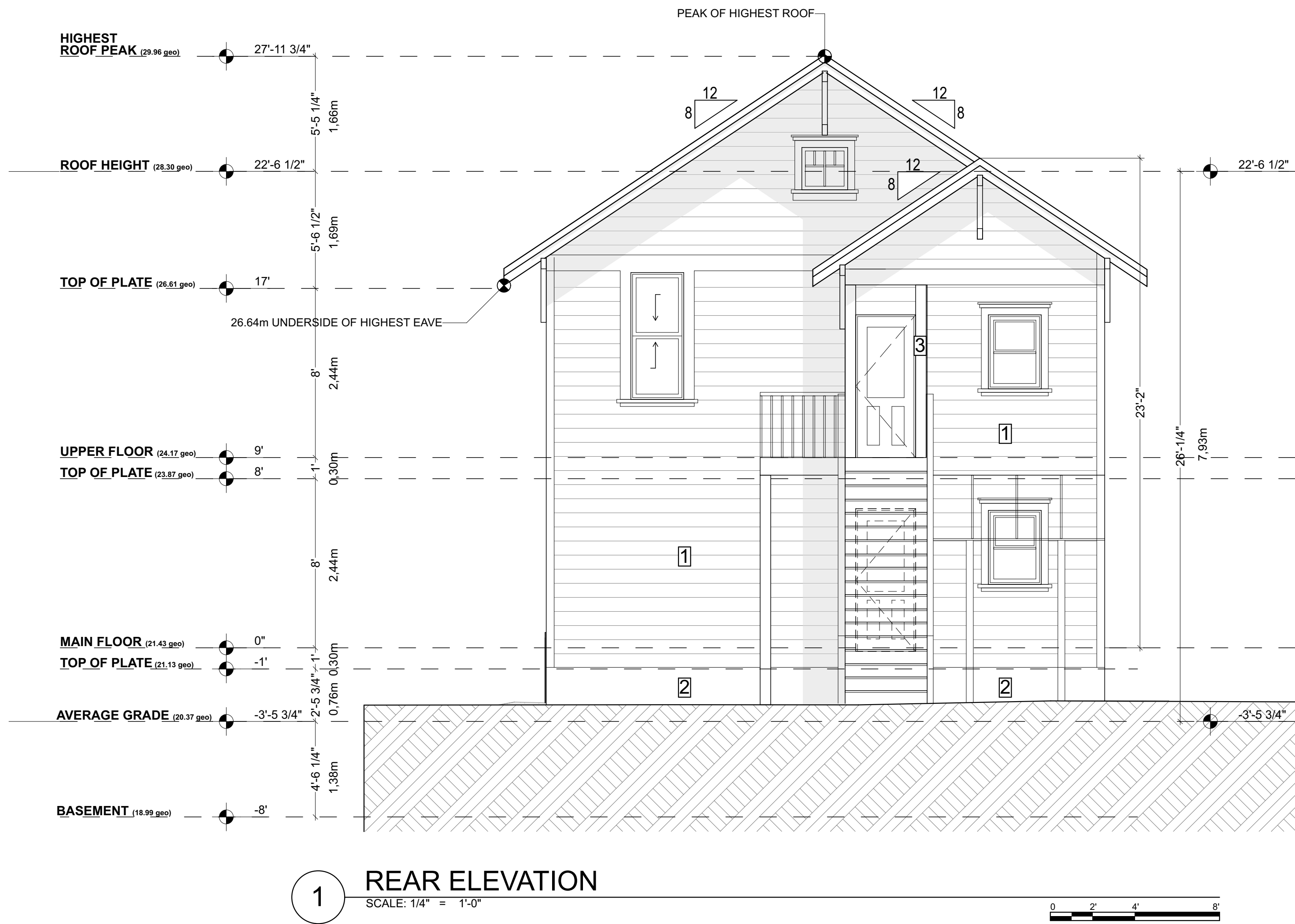
- 1 CEMENT BOARD LAP SIDING
- 2 FINISHED CONCRETE PARGE
- 3 COMB FACED SPRUCE PAINTED
- 4 ASPHALT ROOFING SHINGLES

ADDITIONAL EXTERIOR FINISHINGS

GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED)
SOFFIT	C/W 4"x3" ALUMINUM DOWNSPOUT (PREFINISHED)
FASCIA	1X4 T&G HEMLOCK (STAINED)
BELLY BAND	2X12 COMB FACED SPF (PAINTED)
WINDOW TRIM	2X10 COMB FACED SPF (PAINTED)
	2X4 COMB FACED SPF TOP/SIDES C/W 2X4 SLOPE SILL & 2X4 SUBSILL (PAINTED)
DOOR TRIM	2X4 COMB FACED SPF (PAINTED)
CORNER TRIM	1X3 COMB FACED SPF (PAINTED)

NOTE:
WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND
CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY
ALL R.O. PRIOR TO ORDERING WDW'S
FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS
ALL COLOURS AS PER OWNER

EXISTING HOUSE ELEVATIONS



EXTERIOR CLADDING LEGEND	
1	CEMENT BOARD LAP SIDING
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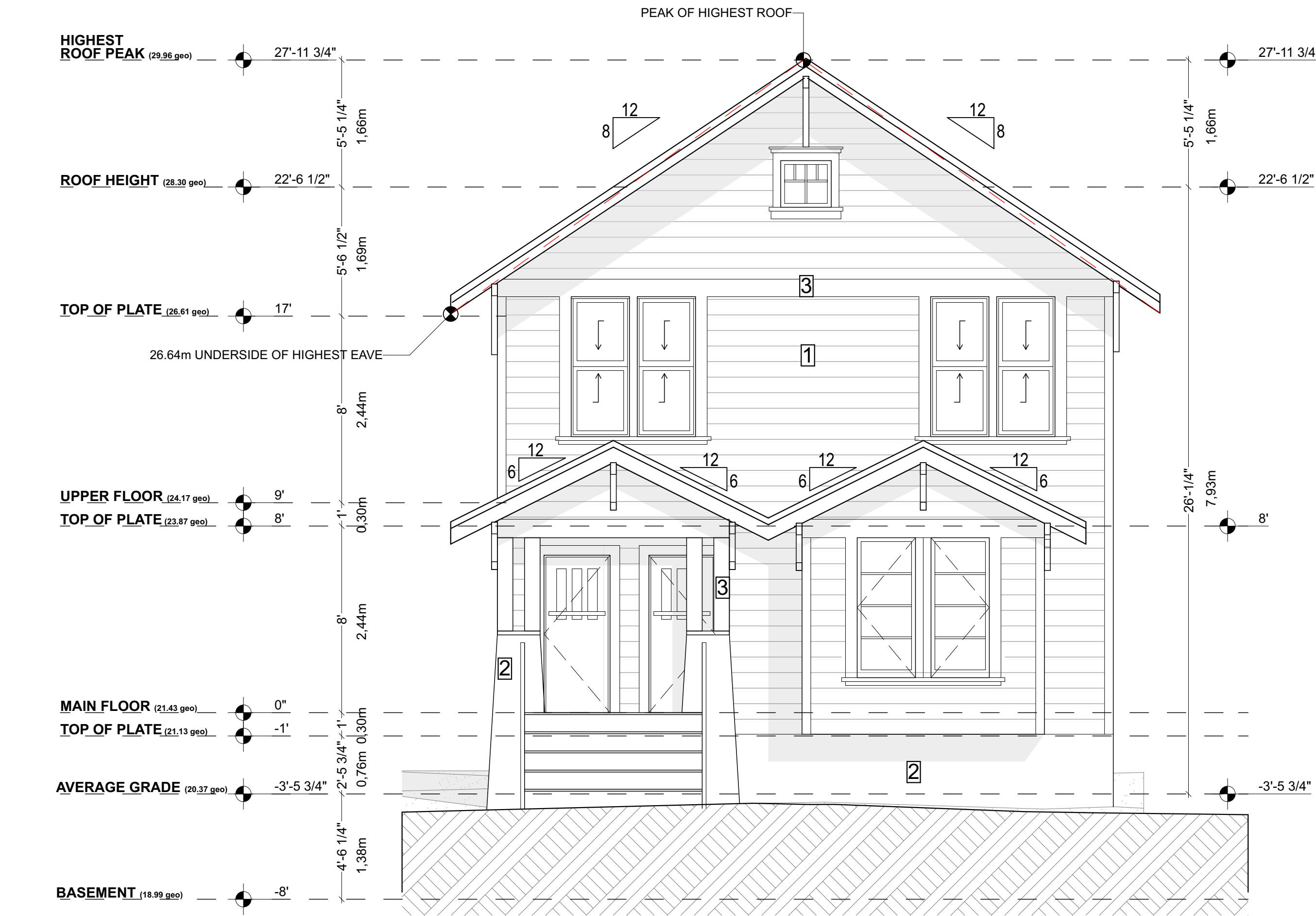
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EXISTING ELEVATIONS

A-202

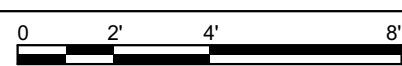
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EXISTING HOUSE ELEVATIONS



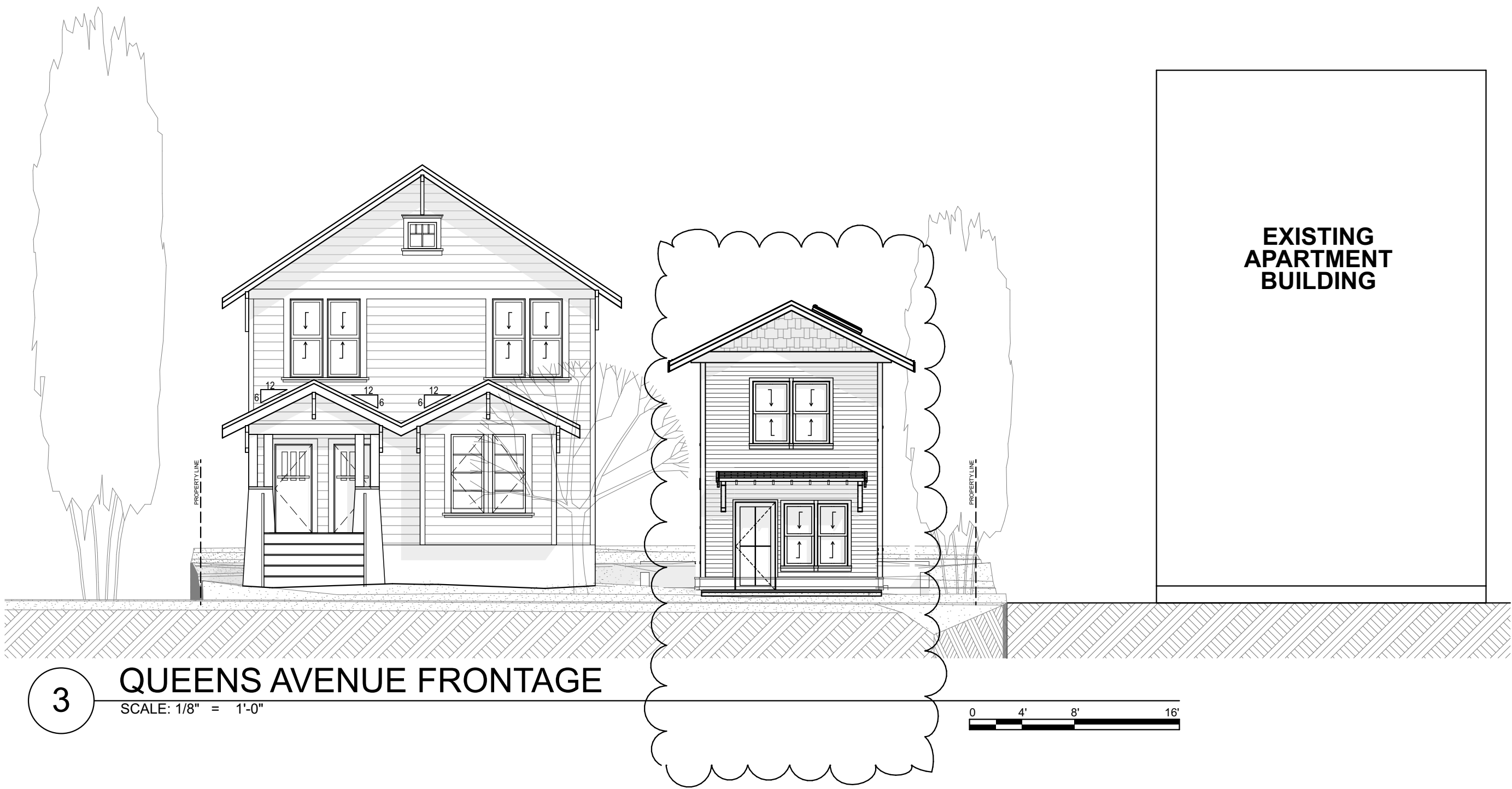
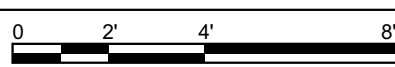
1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



EXTERIOR CLADDING LEGEND

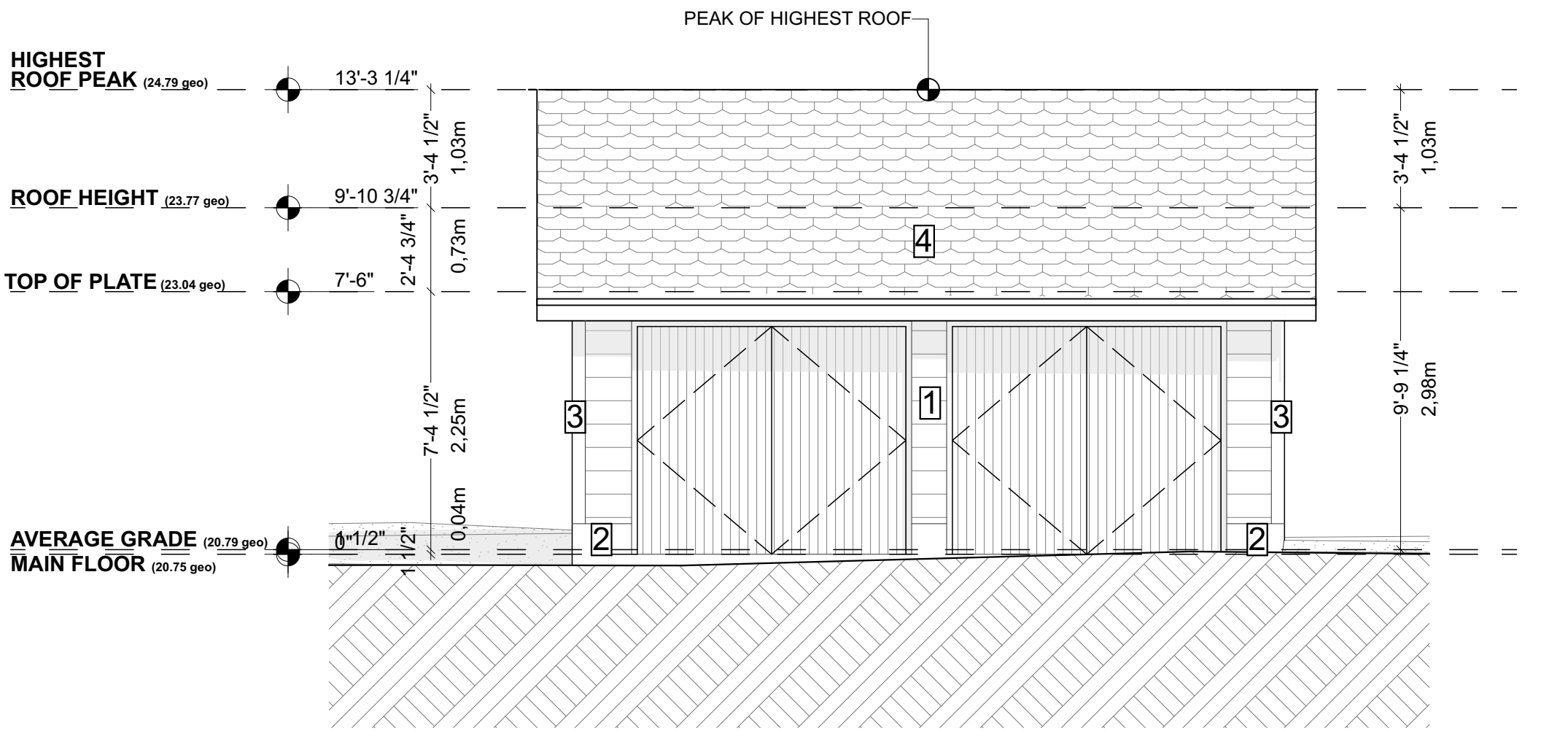
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- 2 FINISHED CONCRETE PARGED
- 3 COMB FACED SPRUCE PAINTED
- 4 ASPHALT ROOFING SHINGLES

ADDITIONAL EXTERIOR FINISHINGS

GUTTERS 5" CONTINUOUS ALUMINUM (PREFINISHED)
SOFFIT C/W 1"x3" ALUMINUM DOWNSPOUT (PREFINISHED)
FASCIA 1"x4" TAG HEALOCK (STAINED)
BELLY BAND 2"x12 COMB FACED SPF (PAINTED)
WINDOW TRIM 2"x10 COMB FACED SPF (PAINTED)
DOOR TRIM 2"x4 COMB FACED SPF (PAINTED)
CORNER TRIM 1"x3 COMB FACED SPF (PAINTED)

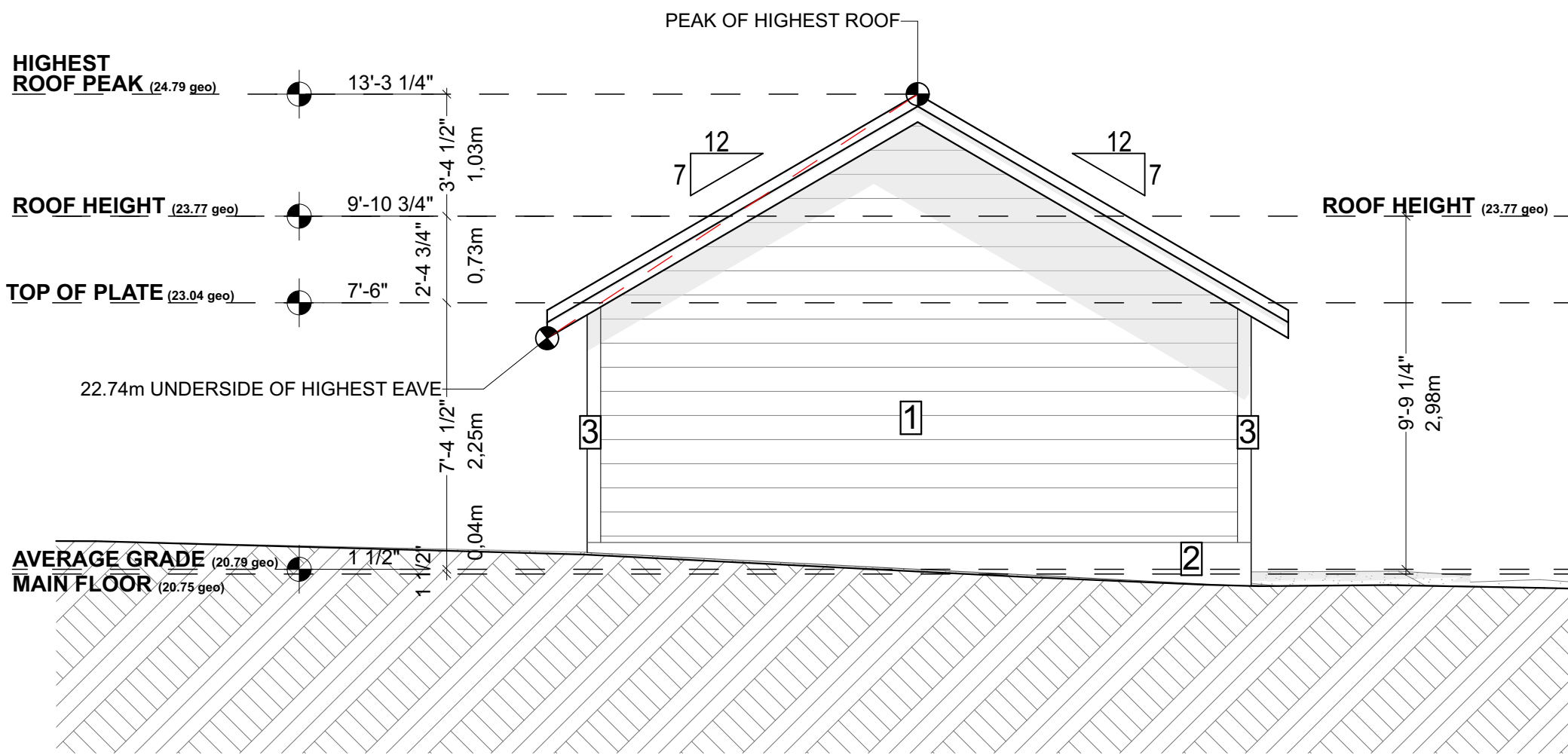
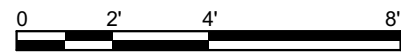
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ALL COLOURS AS PER OWNER

EXISTING WORKSHOP/STORAGE ELEVATIONS



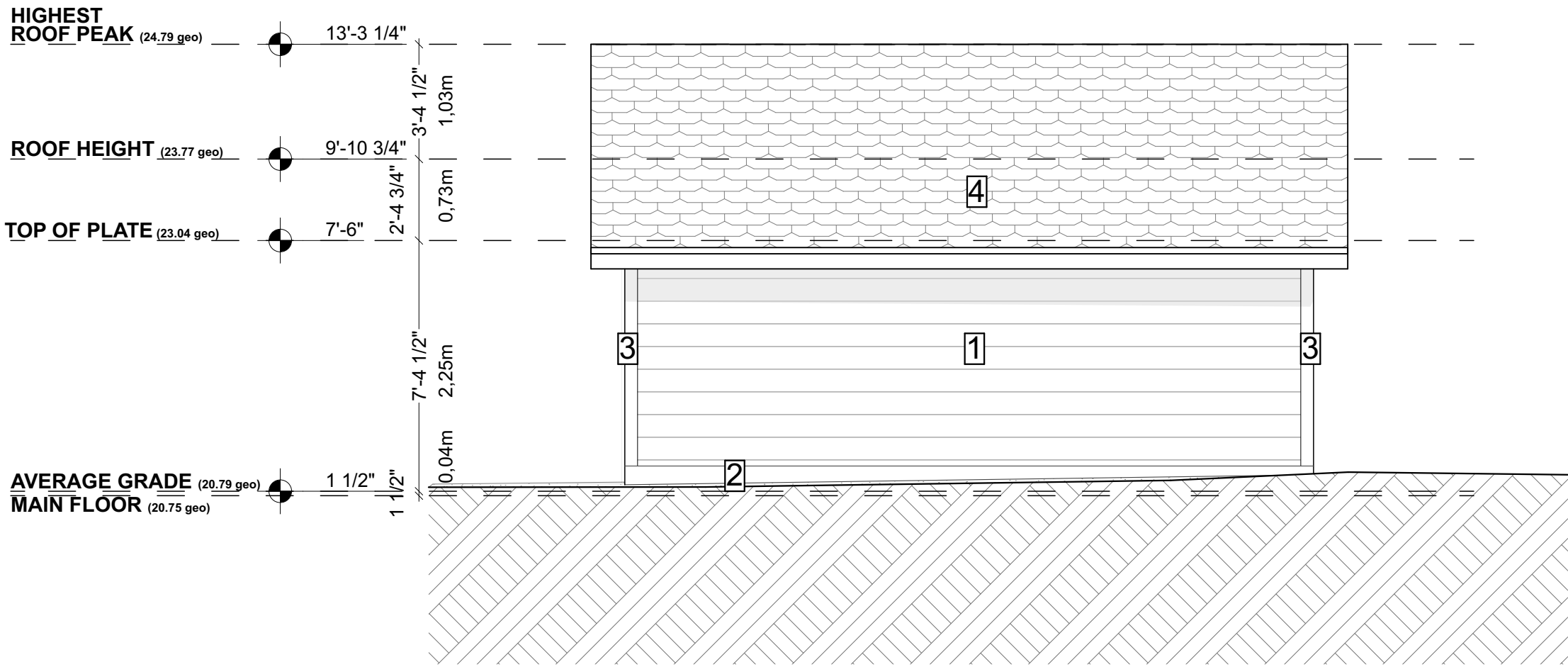
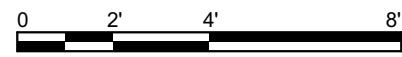
1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



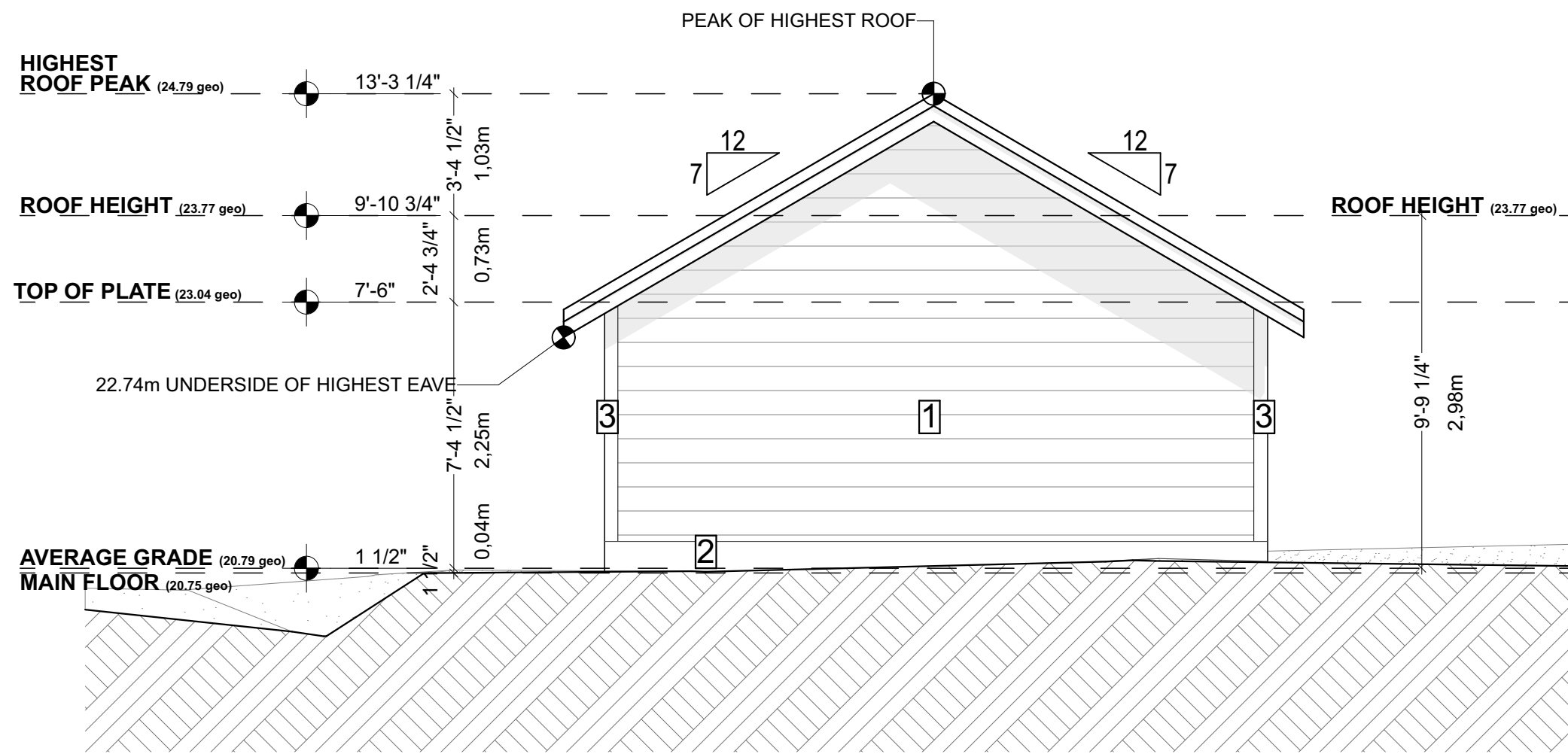
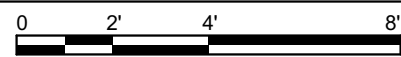
2 LEFT ELEVATION

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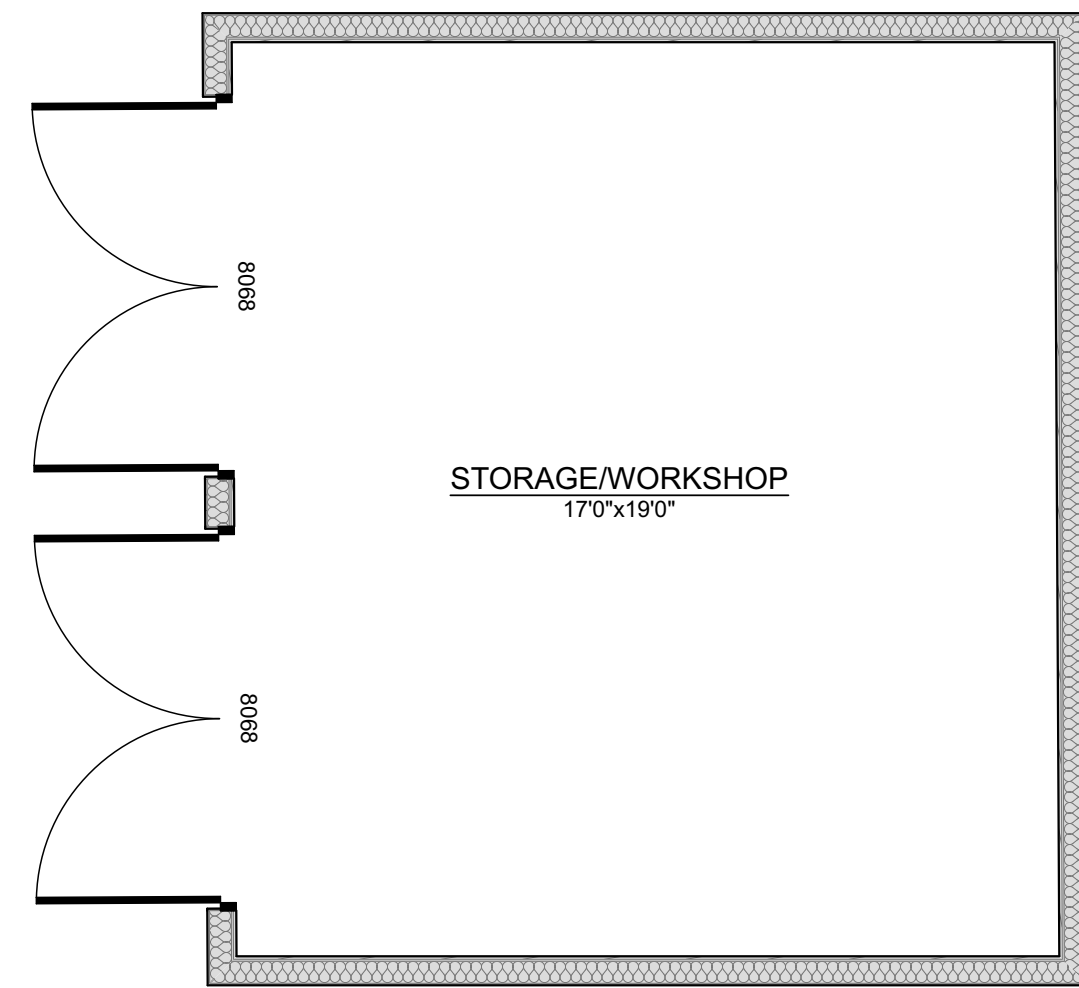
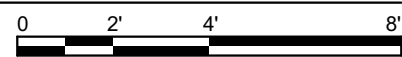
3 REAR ELEVATION

SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION

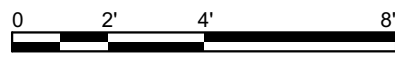
SCALE: 1/4" = 1'-0"



FLOOR AREA
328 sq ft

EXISTING WORKSHOP FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXTERIOR CLADDING LEGEND

- 1 CEMENT BOARD LAP SIDING
- 2 FINISHED CONCRETE PARGED
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COW 1/2"X1" ALUMINUM DOWNSPOUT (PREFINISHED)
SOFFIT 1X4 TAG HEMLOCK (STAINED)
FASCIA 2X12 COMB FACED SPF (PAINTED)
BELLY BAND 2X10 COMB FACED SPF (PAINTED)
WINDOW TRIM 2X4 COMB FACED SPF (PAINTED)
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CORNER TRIM 1X3 COMB FACED SPF (PAINTED)

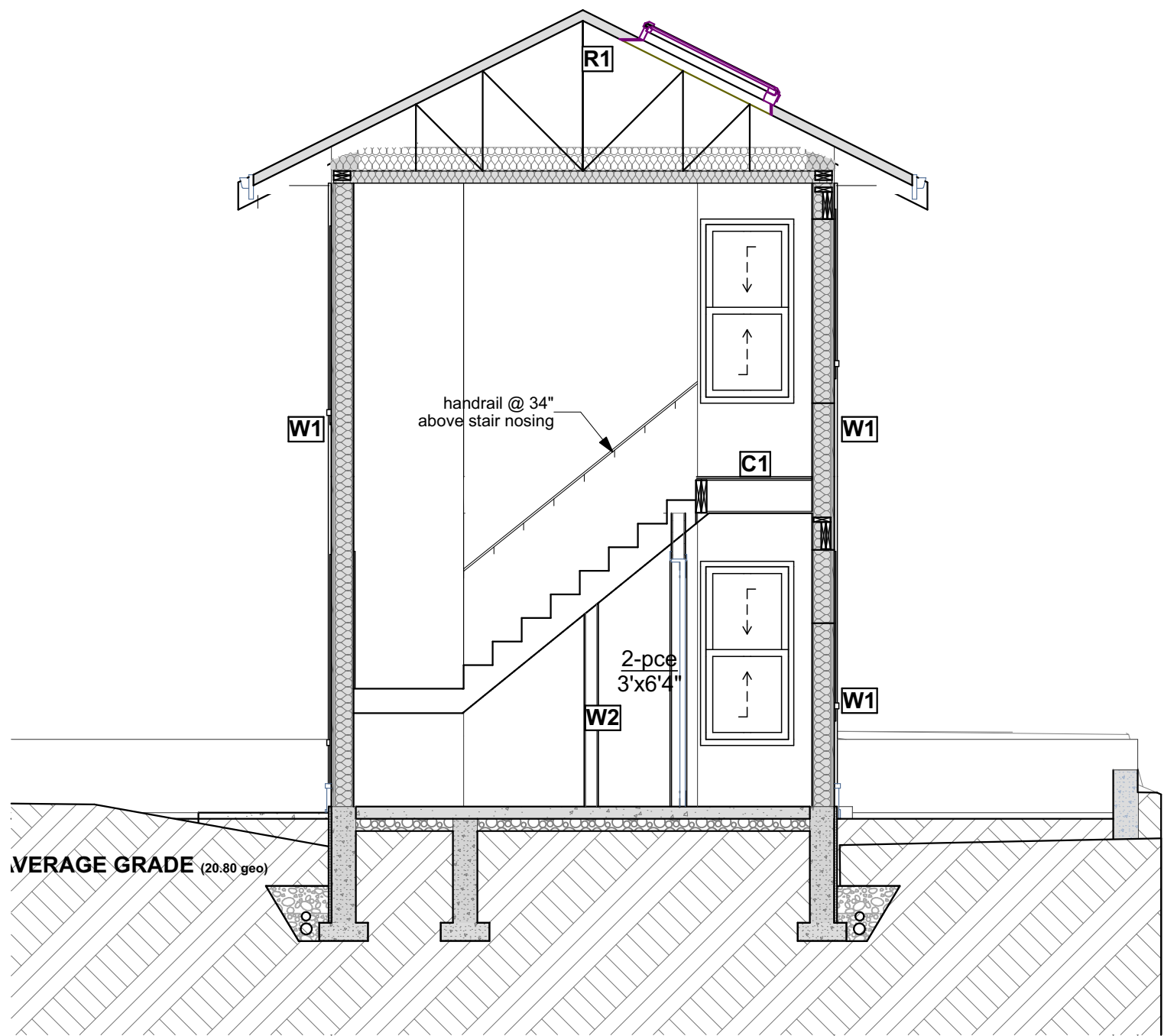
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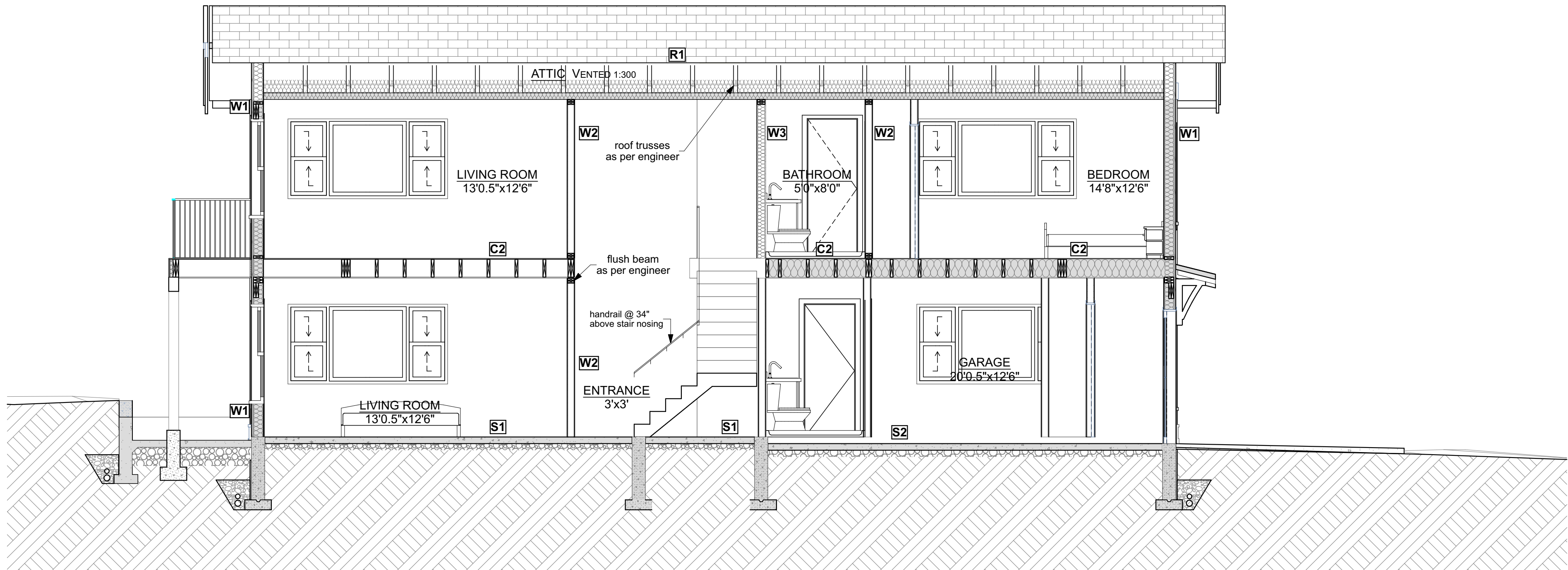
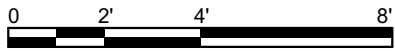
ISSUED:

EX. WORKSHOP
ELEVATIONS

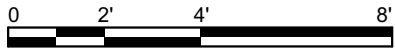
A-204



1 CROSS SECTION 01
SCALE: 1/4" = 1'-0"



2 CROSS SECTION 02
SCALE: 1/4" = 1'-0"



SECTION LEGEND

CEILING TYPES

C1 - INTERIOR FLOOR

FINISHED FLOORING
1/2" T&G PLYWOOD
FLOOR JOISTS AS PER ENGINEER
CROSS BRIDGING
5/8" GYPSUM BOARD PAINTED

C2 - CEILING 1 HR FRR

FINISHED FLOORING
1/2" T&G PLYWOOD
FLOOR JOISTS AS PER ENGINEER
CROSS BRIDGING
R28 BATT INSULATION
2 LAYERS 5/8" TYPE X GYPSUM BOARD PAINTED

ROOF TYPES

R1 - TRUSS ROOF

LAMINATED FIBERGLASS SHINGLES
ROOFING FELT
ROOF VENTS 1/300
1/2" ROOF SHEATING
ENGINEERED TRUSSES @ 24" O.C. AS PER SUPPLIER
R40 BATT INSULATION
6 MIL. POLY (AB/VB)
1/2" GYPSUM BOARD PAINTED
ROOF VENTED 1:300

SLAB TYPES

S1 - GROUND SLAB

1/2" FINISHED FLOORING
4" THICK CONCRETE SLAB (AB)
1.0mm (10mil) POLY
2" 1/2" STYROFOAM INSULATION
6" CRUSHED STONE
BACKFILL
UNDISTURBED SOIL

S2 - GARAGE SLAB

4" THICK CONCRETE SLAB 32 MPa
6 MIL. POLY
COMPACTED 3/4" MINUS
UNDISTURBED SOIL

WALL TYPES

W1 - EXTERIOR WALL

CLADDING AS PER ELEVATIONS
VERTICAL 3/8" x 2 1/2" P.T. WOOD STRAPPING
2 LAYERS 30 MIN. BUILDING PAPER
1/2" PLYWOOD W/ 2mm GAP ALL AROUND
2"x6" NOMINAL WOOD STUDS @ 16" O.C.
R-20 FIBERGLASS BATT INSULATION
6 MIL. POLY (AB/VB)
1/2" GYPSUM BOARD PAINTED

W2 - INTERIOR WALL

1/2" GYPSUM BOARD PAINTED
2X4 STUDS @ 16" OC
R12 BATT INSULATION (OPTIONAL)
1/2" GYPSUM BOARD PAINTED

W3 - DEMISING WALL 1 HR FRR

5/8" TYPE X GYPSUM BOARD PAINTED
2X4 STUDS @ 16" OC
R12 BATT INSULATION
5/8" TYPE X GYPSUM BOARD PAINTED

