

Councillor Alto withdrew from the meeting at 4:44 p.m. due to a pecuniary conflict of interest as they own property near the next item.

Councillor Andrew withdrew from the meeting at 4:44 p.m. due to a pecuniary conflict of interest as they own property near the next item.

F.2 Bylaws for 3120 Washington Avenue: Rezoning Application No. 00735

Moved By Councillor Potts

Seconded By Councillor Isitt

That the following bylaw **be given first and second readings:**

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1246) No. 21-020

CARRIED UNANIMOUSLY

Moved By Councillor Dubow

Seconded By Councillor Thornton-Joe

That the following bylaw **be given first, second and third readings:**

1. Housing Agreement (3120 Washington Avenue) Bylaw (2021) No. 21-021

CARRIED UNANIMOUSLY



Council Report

For the Meeting of April 8, 2021

To: Council **Date:** March 25, 2021

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: **Update Report for Rezoning Application No. 00735 for 3120 Washington Avenue**

RECOMMENDATION

That Council give first and second reading of the Zoning Regulation Bylaw Amendment No. 21-020 (Amendment No. 1246) and give first, second and third readings to Housing Agreement (3120 Washington Avenue) Bylaw No. 21-021.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with an update regarding the Rezoning Application for the property located at 3120 Washington Avenue. The proposal is to rezone from the R1-B Zone, Single-Family Dwelling District, to a new zone in order to increase the density and construct a strata development consisting of eight, two-storey single-family dwelling units on a lot.

On January 7, 2021, Council passed the following resolution:

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00735 for 3120 Washington Avenue, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

- a. Preparation of legal agreements executed by the applicant to secure the following, with form satisfactory to the City Solicitor:*
 - i. a housing agreement to ensure that future Strata bylaws cannot prohibit the rental of dwelling units, to the satisfaction of the Director of Sustainable Planning and Community Development;*
 - ii. a statutory right-of-way of 1.00m on Washington Avenue for sidewalk improvements, to the satisfaction of the Director of Engineering and Public Works;*
 - iii. the design of the proposed eight single-family dwelling units and associated landscaping in accordance with the plans dated October 13, 2020, to the satisfaction of the Director of Sustainable Planning and Community Development.*
 - iv. Further consideration by the developer of options to increase the rear setback.*

COMMENTS

Rear Yard Setback

Council requested that the applicant consider options to increase the rear yard setback of single-family dwelling unit #2 (SFD 2), which is situated in the northwest corner of the site and with its front facade adjacent to a bylaw-protected Garry oak tree which is planned to be retained. The original rear yard setback of SFD 2 was 3.31m to minimize disturbances to the tree. However, in response to Council's motion, the applicant consulted with the Project Arborist and determined that SFD 2 could be shifted slightly to increase the setback from 3.31m to 4.84m and align with single family dwelling unit #1 (SFD 1). This has resulted in a small portion of the building to be located within the critical root zone of the existing Garry oak tree. To minimize the disturbance to the ground and tree roots in the area, the Certified Arborist has recommended an alternative construction method, which will result in the northeast corner of the building being constructed on a grade beam system. The applicant has also shifted the parking space for SFD 2, modified the patio and adjusted the landscape irrigation system to mitigate impacts to the tree.

Even though the applicant has revised the plans to address Council's motion and taken measures to mitigate impacts to the Garry oak tree, a situation may arise during construction where the applicant may have to shift SFD 2 slightly back to further protect the tree. To allow for this to occur and avoid a setback variance in the future, it is recommended that the rear yard setback in the new zone remain as 3.31m. However, the revised plans with the new rear yard setback of 4.84m are attached to the design covenant registered on title, which ensures that any proposed adjustments to the site layout in order to protect the tree would have to be to the satisfaction of the Director of Sustainable Planning and Community Development.

Public Hearing Conditions

With regard to the pre-conditions that Council set in relation to this application, the following legal agreements have been executed by the applicant:

- a Housing Agreement to ensure that future strata bylaws do not prohibit the rental of dwelling units
- a 1.00m statutory right-of-way (SRW) on Washington Avenue
- a Section 219 Covenant to secure the design of the proposed eight single-family dwelling units and associated landscaping, which references updated plans.

The recommendation provided for Council's consideration contains the appropriate language to advance this application to a Public Hearing.

Respectfully submitted,

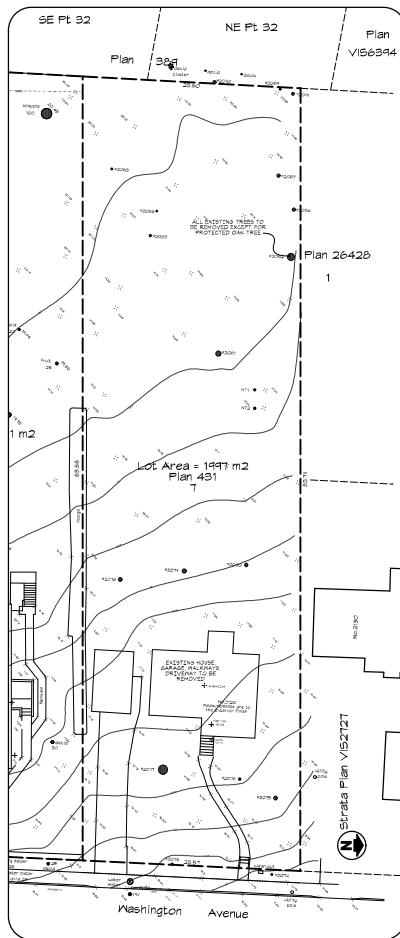
Leanne Taylor
Senior Planner
Development Services Division

Karen Hoese, Director
Sustainable Planning and Community
Development Department

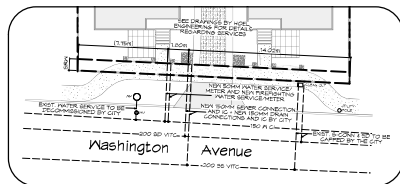
Report accepted and recommended by the City Manager.

List of Attachments

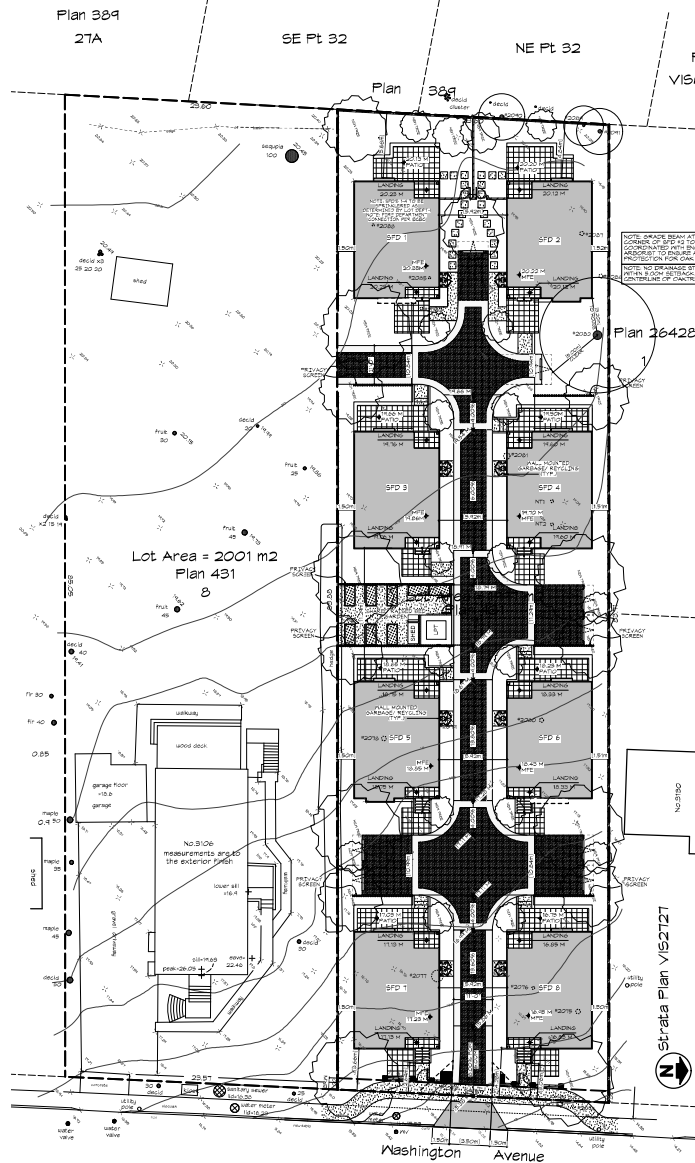
- Attachment A: Updated Plans date stamped March 2, 2021
- Attachment B: Updated Arborist Report dated January 21, 2021.



SITE PLAN - EXISTING
Scale: 1:250



SITE PLAN - SERVICES
Scale: 1:200

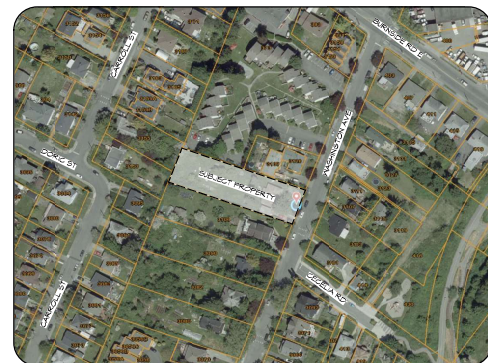


SITE PLAN - PROPOSED
Scale: 1:200

SITE DATA - 3120 WASHINGTON AVE, VICTORIA

LEGAL DESCRIPTION - Lot 7, Section 7A, Victoria District, Plan 431
EXISTING ZONING - R1-B
PROPOSED ZONING - SITE SPECIFIC

LOT AREA	PROPOSED - SITE	PROPOSED - SFD 1	PROPOSED - SFD 2	PROPOSED - SFD 3	PROPOSED - SFD 4
LOT AREA	1997.68 M2 (21502.33 FT2)	23.94 M (77.38')	23.94 M (77.38')	23.94 M (77.38')	23.94 M (77.38')
LOT DEPTH (AVG.)	84.80 M (278.20')	10.24 M (33.61')	10.24 M (33.61')	10.24 M (33.61')	10.24 M (33.61')
SETBACKS					
FRONT (F)	12.84 M (39.01')	12.84 M (39.01')	12.84 M (39.01')	12.84 M (39.01')	12.84 M (39.01')
REAR (R)	9.83 M (32.27')	9.83 M (32.27')	9.83 M (32.27')	9.83 M (32.27')	9.83 M (32.27')
SIDE (S)	1.50 M (4.92')	1.50 M (4.92')	1.50 M (4.92')	1.50 M (4.92')	1.50 M (4.92')
SIDE (N)	9.42 M (30.91')	9.42 M (30.91')	9.42 M (30.91')	9.42 M (30.91')	9.42 M (30.91')
SIDE (S)	1.51 M (4.93')	1.51 M (4.93')	1.51 M (4.93')	1.51 M (4.93')	1.51 M (4.93')
Avg. GRADE	14.95 M (49.05 FT)	14.95 M (49.05 FT)	14.95 M (49.05 FT)	14.95 M (49.05 FT)	14.95 M (49.05 FT)
BUILDING HEIGHT	6.66 M (21.85 FT)	6.66 M (21.85 FT)	6.66 M (21.85 FT)	6.66 M (21.85 FT)	6.66 M (21.85 FT)
STORIES	2 STOREYS	2 STOREYS	2 STOREYS	2 STOREYS	2 STOREYS
FLOOR AREA					
UPPER FLOOR	546.28 M2 (5860.24 FT2)	64.28 M2 (694.51 FT2)	64.28 M2 (694.51 FT2)	64.28 M2 (694.51 FT2)	64.28 M2 (694.51 FT2)
MAIN FLOOR	485.56 M2 (5244.54 FT2)	61.73 M2 (664.51 FT2)	61.73 M2 (664.51 FT2)	61.73 M2 (664.51 FT2)	61.73 M2 (664.51 FT2)
CRANKSPACE INCLUDED	434.16 M2 (4658.62 FT2) INCLUDED	55.02 M2 (593.75 FT2) INCLUDED	55.02 M2 (593.75 FT2) INCLUDED	55.02 M2 (593.75 FT2) INCLUDED	55.02 M2 (593.75 FT2) INCLUDED
TOTAL FLOOR AREA	1031.84 M2 (11118.78 FT2)	126.01 M2 (1358.06 FT2)	126.01 M2 (1358.06 FT2)	126.01 M2 (1358.06 FT2)	126.01 M2 (1358.06 FT2)
FLOOR AREA RATIO	0.523	0.523	0.523	0.523	0.523
SITE COVERAGE	30.32 % (605.66 M2)	3.80 % (75.41 M2)	3.80 % (75.41 M2)	3.80 % (75.41 M2)	3.80 % (75.41 M2)
OPEN SITE SPACE	45.26 % (905.26 M2)	1.19 % (23.94 M2)	1.19 % (23.94 M2)	1.19 % (23.94 M2)	1.19 % (23.94 M2)
PARKING	3 SPACES	1 SPACE	1 SPACE	1 SPACE	1 SPACE



LOCATION MAP
Scale: 1/8" = 1'-0"

<u>DRAWING LIST:</u>			
DP01	SITE PLAN & DATA	DP08	SFD-5
DP02	AVERAGE GRADE	DP09	SFD-6
DP03	AVERAGE GRADE	DP10	SFD-7
DP04	SFD-1	DP11	SFD-8
DP05	SFD-2	DP12	STREETSCAPE
DP06	SFD-3	DP13	COLOUR BOARD
DP07	SFD-4	L1-3	LANDSCAPE

REV. NO.	DESCRIPTION	DATE
1	FIRE DEPARTMENT CONNECTION FOR SFD 10 CRANKSPACE AREA REVISED IN SITE DATA TABLE	MAR 2/21

RE-ISSUED FOR DP
MAR 02, 2021



1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: C.C.
Date: JUNE 24, 2020
Scale: AS NOTED
Project:
3120 WASHINGTON AVENUE - REZONING

Title:
SITE PLAN & DATA

Revision:
Rev 1: 2/2/20
Rev 2: 3/2/20
Rev 3: 3/2/20
Rev 4: 3/2/20
Rev 5: 3/2/20
Rev 6: 3/2/20
Rev 7: 3/2/20
Rev 8: 3/2/20
Rev 9: 3/2/20
Rev 10: 3/2/20
Rev 11: 3/2/20
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Rev 593: 3/2/20
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Rev

RE-ISSUED FOR DP
MAR 02, 2021



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Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON
AVENUE - REZONING

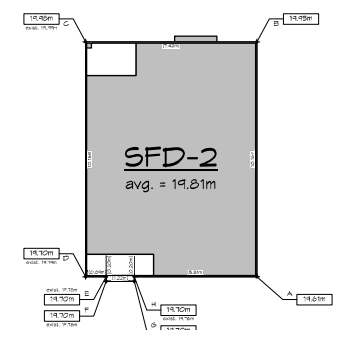
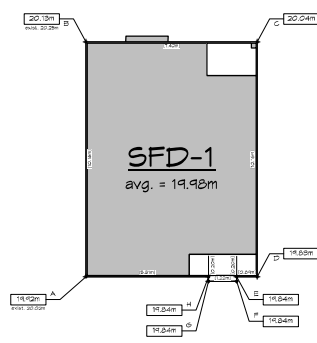
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AVERAGE GRADE

Revision:
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Rev 2:
JUN 15/20
Rev 3:
JUN 30/21
Rev 4:
MAR 02/21

Sheet:
DP02
Proj No. 8888

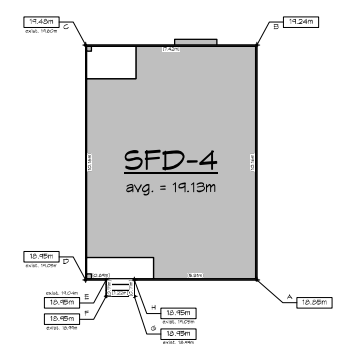
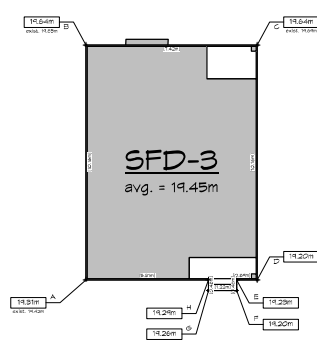
REV. NO. DESCRIPTION DATE
4 NO CHANGES MAR 2/21

SFD 1 - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	19.92	20.13	20.03	10.16	203.45	710.38	35.56	19.977	
BC	20.13	20.04	20.09	7.42	149.03				
CD	20.04	19.83	19.94	10.16	202.54				
DE	19.83	19.84	19.84	0.89	17.65				
EF	19.84	19.84	19.84	0.20	3.97				
FG	19.84	19.84	19.84	1.22	24.20				
GH	19.84	19.84	19.84	0.20	3.97				
HA	19.84	19.92	19.88	5.31	105.56			AVERAGE GRADE	
			TOTAL		35.56	710.38		19.98	



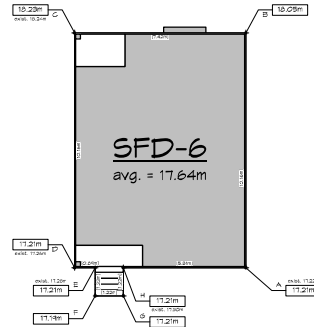
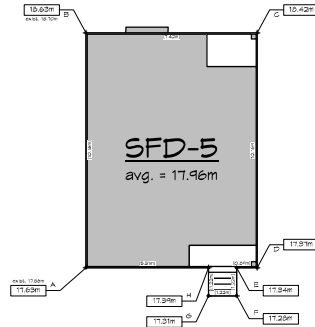
SFD 2 - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	19.61	19.95	19.78	10.16	200.96	704.49	35.56	19.811	
BC	19.95	19.98	19.97	7.42	148.14				
CD	19.98	19.70	19.84	10.16	201.57				
DE	19.70	19.70	19.70	0.89	17.53				
EF	19.70	19.70	19.70	0.20	3.94				
FG	19.70	19.70	19.70	1.22	24.03				
GH	19.70	19.70	19.70	0.20	3.94				
HA	19.70	19.61	19.66	5.31	104.37			AVERAGE GRADE	
			TOTAL		35.56	704.49		19.81	

SFD 3 - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	19.31	19.64	19.48	10.16	197.87	701.65	36.08	19.447	
BC	19.64	19.64	19.64	7.42	145.73				
CD	19.64	19.20	19.42	10.16	197.31				
DE	19.20	19.23	19.22	0.89	17.10				
EF	19.23	19.20	19.22	0.46	8.84				
FG	19.20	19.26	19.23	1.22	23.46				
GH	19.26	19.29	19.28	0.46	8.87				
HA	19.29	19.31	19.30	5.31	102.48			AVERAGE GRADE	
			TOTAL		36.08	701.65		19.45	



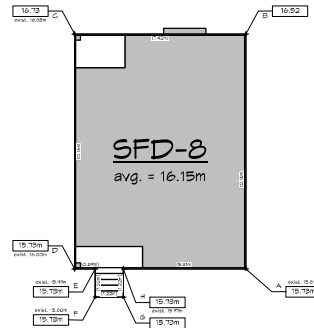
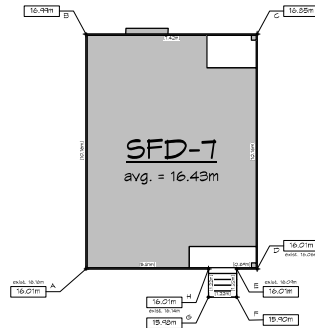
SFD 4 - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	18.85	19.24	19.05	10.16	193.50	699.85	36.58	19.132	
BC	19.24	19.48	19.36	7.42	143.65				
CD	19.48	18.95	19.22	10.16	195.22				
DE	18.95	18.95	18.95	5.31	100.62				
EF	18.95	18.95	18.95	0.71	13.45				
FG	18.95	18.95	18.95	1.22	23.12				
GH	18.95	18.95	18.95	0.71	13.45				
HA	18.95	18.85	18.90	0.89	16.82			AVERAGE GRADE	
			TOTAL		36.58	699.85		19.13	

SFD 5 - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	17.63	18.63	18.13	10.16	184.20	675.28	37.60	17.96	
BC	18.63	19.42	18.53	7.42	137.46				
CD	18.42	17.37	17.90	10.16	181.81				
DE	17.37	17.34	17.36	0.89	15.45				
EF	17.34	17.28	17.31	1.22	21.12				
FG	17.28	17.31	17.30	1.22	21.10				
GH	17.31	17.39	17.35	1.22	21.17				
HA	17.39	17.63	17.51	5.31	92.98			AVERAGE GRADE	
TOTAL					37.60	675.28		17.96	



SFD 6 - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	17.21	18.05	17.63	10.16	179.12	663.42	37.60	17.64	
BC	18.05	18.23	18.14	7.42	134.60				
CD	18.23	17.21	17.72	10.16	180.04				
DE	17.21	17.21	17.21	5.31	91.39				
EF	17.21	17.19	17.20	1.22	20.98				
FG	17.19	17.21	17.20	1.22	20.98				
GH	17.21	17.21	17.21	1.22	21.00				
HA	17.21	17.21	17.21	0.89	15.32			AVERAGE GRADE	
TOTAL					37.60	663.42		17.64	

SFD 7 - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	16.01	16.99	16.50	10.16	167.64	617.80	37.60	16.43	
BC	16.99	16.85	16.92	7.42	125.55				
CD	16.85	16.01	16.43	10.16	166.93				
DE	16.01	16.01	16.01	0.89	14.25				
EF	16.01	15.90	15.96	1.22	19.47				
FG	15.90	15.98	15.94	1.22	19.45				
GH	15.98	16.01	16.00	1.22	19.51				
HA	16.01	16.01	16.01	5.31	85.01			AVERAGE GRADE	
TOTAL					37.60	617.80		16.43	



SFD 8 - Average Grade Calculation									
SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)	
AB	15.73	16.52	16.15	10.16	163.83	607.18	37.60	16.15	
BC	16.52	16.73	16.63	7.42	123.36				
CD	16.73	15.73	16.23	10.16	164.90				
DE	15.73	15.73	15.73	0.89	14.00				
EF	15.73	15.73	15.73	1.22	19.19				
FG	15.73	15.73	15.73	1.22	19.19				
GH	15.73	15.73	15.73	1.22	19.19				
HA	15.73	15.73	15.73	5.31	83.53			AVERAGE GRADE	
TOTAL					37.60	607.18		16.15	

RE-ISSUED FOR DP
MAR 02, 2021



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Scale: AS NOTED

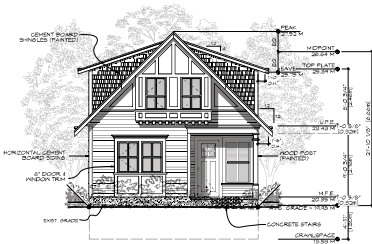
Project:
3120 WASHINGTON
AVENUE - REZONING

Title:
AVERAGE GRADE

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Rev 2: JUN 24/20
Rev 3: JUN 24/20
Rev 4: JUN 24/20
Rev 5: JUN 24/20
Rev 6: JUN 24/20
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Rev 472

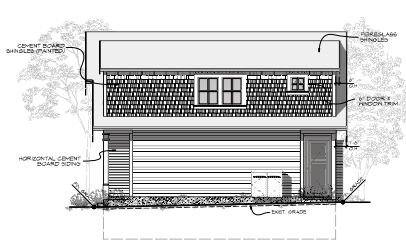
SFD 1

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.64 M (18.52')
EXPOSED BUILDING FACE AREA	44.54 M ² (480.00 SF)
GLAZING AREA	6.31 M ² (68.00 SF)
PERCENTAGE	14.19% (ALLOWED 51.78%)



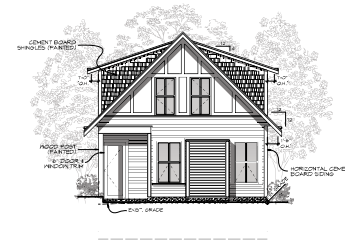
FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	54.08 M ² (586.00 SF)
GLAZING AREA	3.34 M ² (36.00 SF)
PERCENTAGE	5.65% (ALLOWED 25.68%)



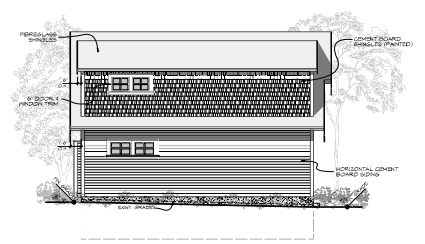
SIDE (N) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.65 M (18.69')
EXPOSED BUILDING FACE AREA	42.17 M ² (454.00 SF)
GLAZING AREA	7.06 M ² (76.00 SF)
PERCENTAGE	16.74% (ALLOWED 52.36%)

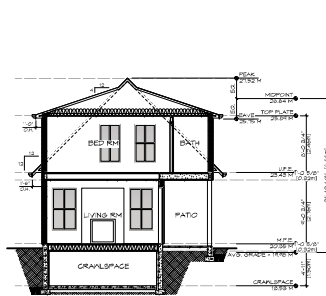


REAR (W) ELEVATION
Scale: 1:100

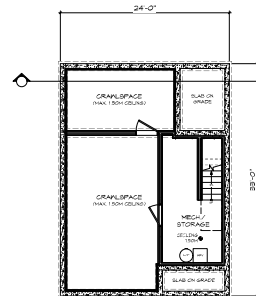
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	54.08 M ² (586.00 SF)
GLAZING AREA	1.34 M ² (15.00 SF)
PERCENTAGE	2.35% (ALLOWED 8.00%)



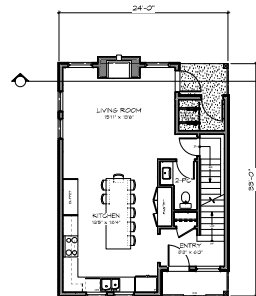
SIDE (S) ELEVATION
Scale: 1:100



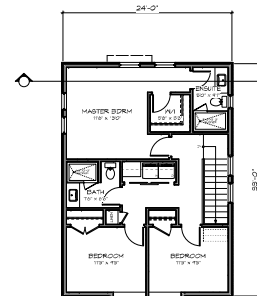
SECTION
Scale: 1:100



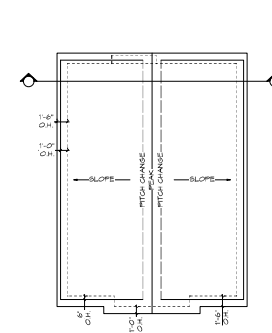
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

SFD 1

RE-ISSUED FOR DP
MAR 02, 2021

ZEBRADesign

1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON
AVENUE - REZONING

Title:
FLOOR PLANS &
ELEVATIONS -
SFD 1

Revision:
Rev 1:
MAY 24/20
Rev 2:
JUN 15/20
Rev 3:
JAN 31/21
Rev 4:
MAR 02/21

Sheet:

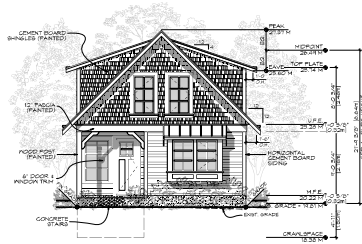
DP04

Proj No. 1888

REV. NO.	DESCRIPTION	DATE
4	3. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21

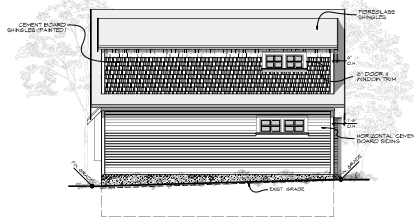
SFD 2

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.42 M (17.78')
EXPOSED BUILDING FACE AREA	44.22 M ² (476.00 SF)
GLAZING AREA	6.31 M ² (68.00 SF)
PERCENTAGE	14.26% (ALLOWED 40.59%)



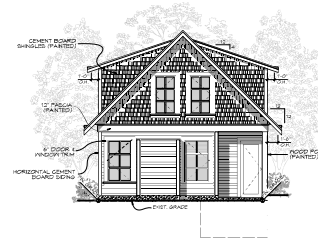
FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	59.36 M ² (639.00 SF)
GLAZING AREA	1.39 M ² (15.00 SF)
PERCENTAGE	2.34% (ALLOWED 8.00%)



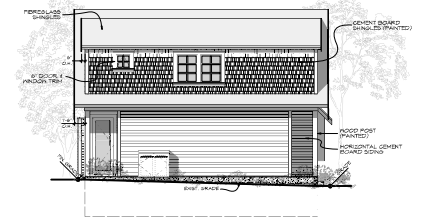
SIDE (N) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	4.84 M (15.87')
EXPOSED BUILDING FACE AREA	42.17 M ² (454.00 SF)
GLAZING AREA	5.66 M ² (61.00 SF)
PERCENTAGE	13.44% (ALLOWED 40.18%)

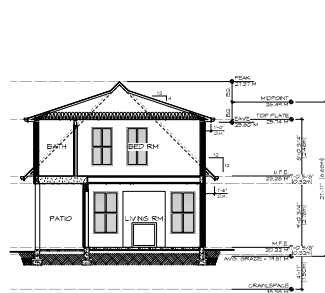


REAR (W) ELEVATION
Scale: 1:100

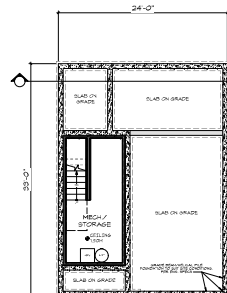
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	59.36 M ² (639.00 SF)
GLAZING AREA	3.34 M ² (36.00 SF)
PERCENTAGE	5.62% (ALLOWED 13.32%)



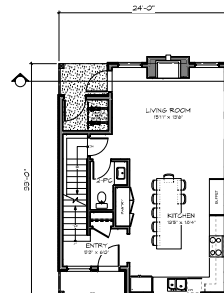
SIDE (S) ELEVATION
Scale: 1:100



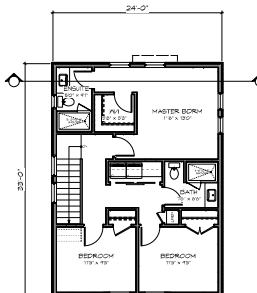
SECTION
Scale: 1:100



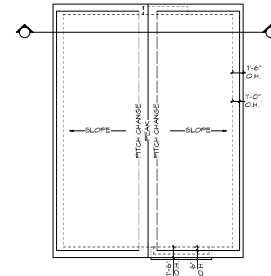
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

SFD 2

RE-ISSUED FOR DP
MAR 02, 2021

ZEBRADDESIGN

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Fax: (250) 360-2115

Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

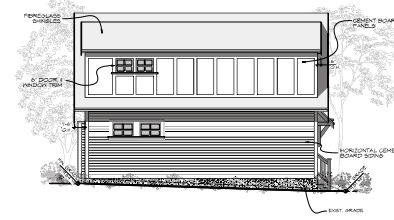
Project:
3120 WASHINGTON
AVENUE - REZONING


Title:
FLOOR PLANS &
ELEVATIONS -
SFD 2

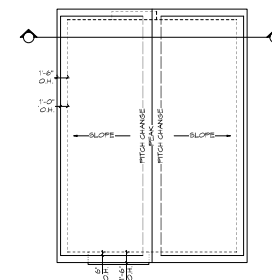
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Rev 2: Rev 2: 2/20
Rev 3: Rev 3: 2/20
Rev 4: Rev 4: 2/20
Rev 5: Rev 5: 2/20
Rev 6: Rev 6: 2/20
Rev 7: Rev 7: 2/20
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MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	59.64 M ² (642.00 SF)
GLAZING AREA	1.94 M ² (15.00 SF)
PERCENTAGE	2.39% (ALLOWED 8.00%)



 SIDE (S) ELEVATION
Scale: 1:100



ROOF PLAN
Scale: 1:100

Proj.No. #####

REV. NO.	DESCRIPTION	DATE
4	7. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 21

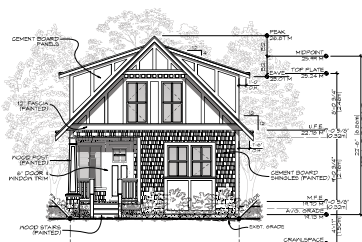
SFD 4

<u>MAXIMUM GLAZING CALCULATION</u>	
<u>DISTANCE TO PROPERTY LINE</u>	5.64 M (18.52')
<u>EXPOSED BUILDING FACE AREA</u>	45.98 M ² (495.00 SF)
<u>GLAZING AREA</u>	6.50 M ² (70.00 SF)
<u>PERCENTAGE</u>	14.13% (ALLOWED 51.78%)

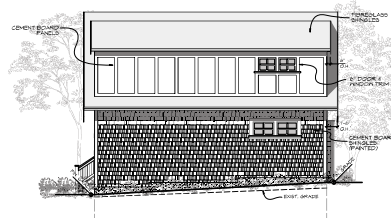
<u>MAXIMUM GLAZING CALCULATION</u>	
<u>DISTANCE TO PROPERTY LINE</u>	1.50 M (4.92')
<u>EXPOSED BUILDING FACE AREA</u>	60.57 M ² (652.00 SF)
<u>GLAZING AREA</u>	1.39 M ² (15.00 SF)
<u>PERCENTAGE</u>	2.29% (ALLOWED 8.00%)

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.47 M (17.94')
EXPOSED BUILDING FACE AREA	42.17 M ² (454.00 SF)
GLAZING AREA	5.94 M ² (64.00 SF)
PERCENTAGE	14.08% (ALLOWED 49.32%)

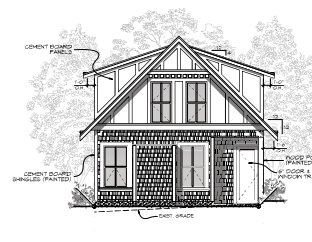
<u>MAXIMUM GLAZING CALCULATION</u>	
<u>DISTANCE TO PROPERTY LINE</u>	2.96 M (9.71')
<u>EXPOSED BUILDING FACE AREA</u>	60.57 M ² (652.00 SF)
<u>GLAZING AREA</u>	3.34 M ² (36.00 SF)
<u>PERCENTAGE</u>	5.30% (ALLOWED 13.32%)



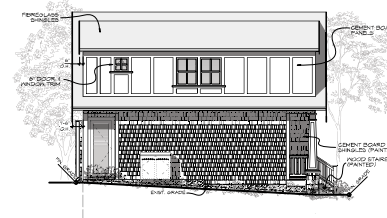
FRONT (E) ELEVATION
Scale: 1:100




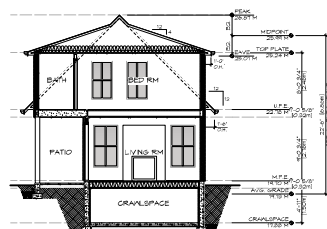
○ SIDE (N) ELEVATION
Scale: 1:100



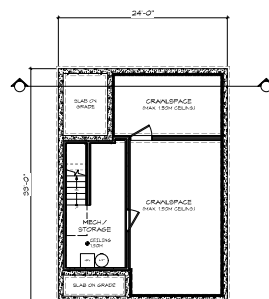
REAR (W) ELEVATION
Scale: 1:100



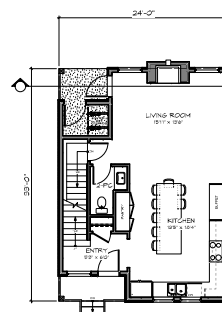
 SIDE (S) ELEVATION
Scale: 1:100



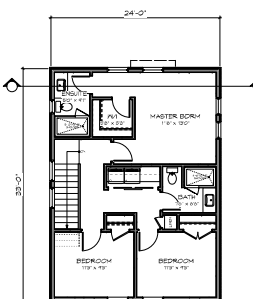
SECTION
Scale: 1:100



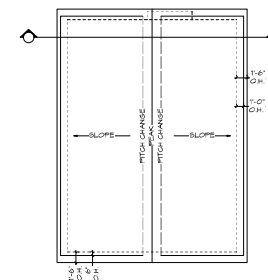
 CRAWLSPACE
Scale: 1:100



○ MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

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Date: JUNE 24,

Scale: AS NOTE

Project:
3120 WASHINGTON
AVENUE - REZONING

Title:
FLOOR PLANS &
ELEVATIONS -
SFD 4

Revision:

Rev 1:
MAY 29/20

Rev. 2:
OCT 19/20

REV 9:
JAN 19/21
REV 4:

REV 4:
MAR 02/21

Sheet:

REF07

DFC 1

REV. NO.	DESCRIPTION	DATE
4	S. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2

SFD 4

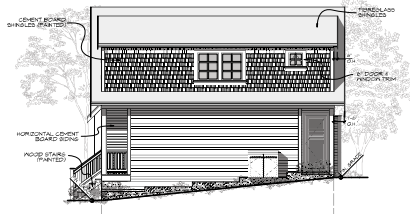
SFD 5

<u>MAXIMUM GLAZING CALCULATION</u>	
<u>DISTANCE TO PROPERTY LINE</u>	5.49 M (18.02')
<u>EXPOSED BUILDING FACE AREA</u>	49.42 M2 (532.00 SF)
<u>GLAZING AREA</u>	6.31 M2 (68.00 SF)
<u>PERCENTAGE</u>	12.76% (ALLOWED 49.61%)



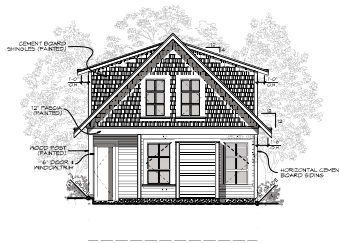
FRONT (E) ELEVATION
Scale: 1:100

<u>MAXIMUM GLAZING CALCULATION</u>	
<u>DISTANCE TO PROPERTY LINE</u>	2.96 M (9.71')
<u>EXPOSED BUILDING FACE AREA</u>	62.98 M ² (678.00 SF)
<u>GLAZING AREA</u>	3.34 M ² (36.00 SF)
<u>PERCENTAGE</u>	5.30% (ALLOWED 13.32%)



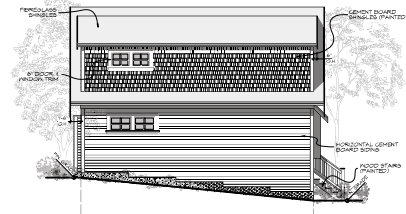
○ SIDE (N) ELEVATION
Scale: 1:100


<u>MAXIMUM GLAZING CALCULATION</u>	
<u>DISTANCE TO PROPERTY LINE</u>	5.64 M (18.52')
<u>EXPOSED BUILDING FACE AREA</u>	42.11 M ² (454.00 SF)
<u>GLAZING AREA</u>	7.06 M ² (76.00 SF)
<u>PERCENTAGE</u>	16.74% (ALLOWED 51.78%)

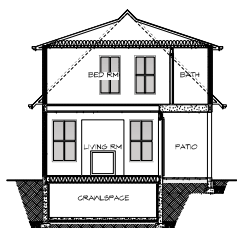


REAR (W) ELEVATION
Scale: 1:100

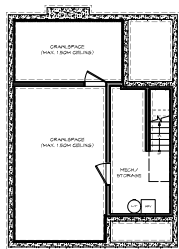
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	62.98 M ² (678.00 SF)
GLAZING AREA	1.39 M ² (15.00 SF)
PERCENTAGE	2.20% (ALLOWED 8.00%)



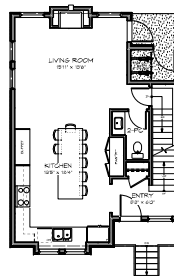
 SIDE (S) ELEVATION
Scale: 1:100



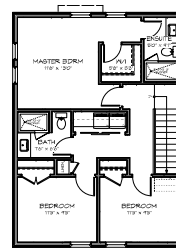
SECTION
Scale: 1:100



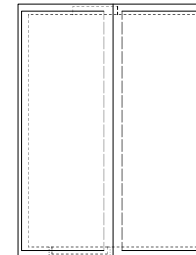
 CRAWLSPACE
Scale: 1:100



○ MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

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Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:

3120 WASHINGTON
AVENUE - REZONING

Title:
FLOOR PLANS &
ELEVATIONS -
SFD 5

Revision:
Rev 1:
MAY 24/20
Rev 2:
OCT 19/20
Rev 3:
JAN 19/21
Rev 4:
MAR 02/21

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DP08

Proj.No. #####

REV. NO.	DESCRIPTION	DATE
4	9. SLAZING CALCULATION ADDED TO ELEVATIONS	MAR 21

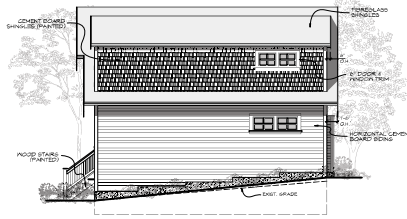
SFD 6

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.42 M (17.78')
EXPOSED BUILDING FACE AREA	44.41 M ² (532.50 SF)
GLAZING AREA	5.55 M ² (63.00 SF)
PERCENTAGE	11.82% (ALLOWED 48.54%)



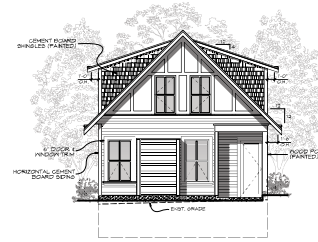
FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	62.48 M ² (676.00 SF)
GLAZING AREA	1.34 M ² (15.00 SF)
PERCENTAGE	2.20% (ALLOWED 8.00%)



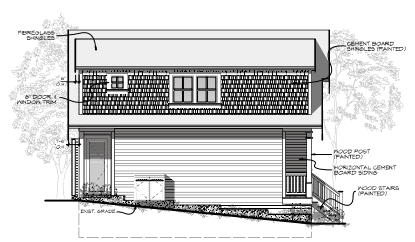
SIDE (N) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.64 M (18.52')
EXPOSED BUILDING FACE AREA	42.11 M ² (454.00 SF)
GLAZING AREA	5.66 M ² (61.00 SF)
PERCENTAGE	13.42% (ALLOWED 51.78%)

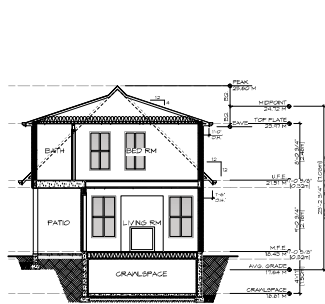


REAR (W) ELEVATION
Scale: 1:100

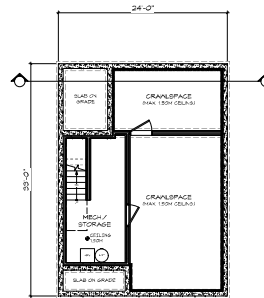
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.46 M (8.11')
EXPOSED BUILDING FACE AREA	62.48 M ² (676.00 SF)
GLAZING AREA	3.34 M ² (36.00 SF)
PERCENTAGE	5.30% (ALLOWED 19.32%)



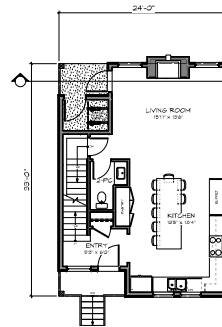
SIDE (S) ELEVATION
Scale: 1:100



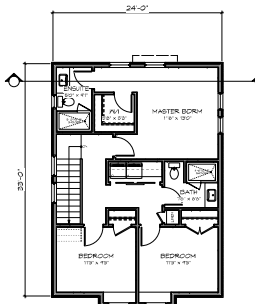
SECTION
Scale: 1:100



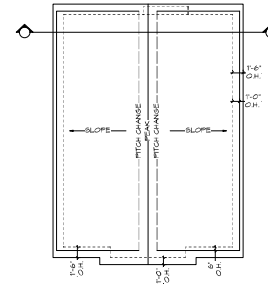
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

SFD 6

RE-ISSUED FOR DP
MAR 02, 2021

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Scale: AS NOTED

Project:
3120 WASHINGTON
AVENUE - REZONING

Title:
FLOOR PLANS &
ELEVATIONS -
SFD 6

Revision:
Rev 1:
MAY 27/20
Rev 2:
OCT 15/20
Rev 3:
JAN 31/21
Rev 4:
MAR 02/21

Sheet:

DP09

Proj No. 18888

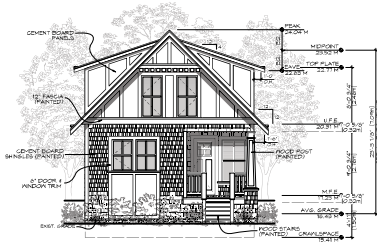
REV. NO.	DESCRIPTION	DATE
4	10. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21

SFD 7

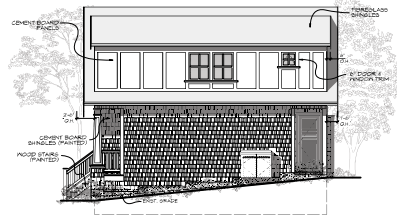
<u>MAXIMUM GLAZING CALCULATION</u>	
<u>DISTANCE TO PROPERTY LINE</u>	2.96 M (9.71')
<u>EXPOSED BUILDING FACE AREA</u>	62.95 M ² (678.00 SF)
<u>GLAZING AREA</u>	3.34 M ² (36.00 SF)
<u>PERCENTAGE</u>	5.30% (ALLOWED 13.32%)

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.42 M (17.78')
EXPOSED BUILDING FACE AREA	42.17 M ² (454.00 SF)
GLAZING AREA	5.94 M ² (64.00 SF)
PERCENTAGE	14.08% (ALLOWED 40.59%)

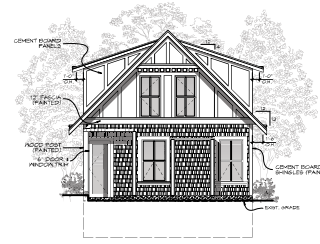
<u>MAXIMUM GLAZING CALCULATION</u>	
<u>DISTANCE TO PROPERTY LINE</u>	1.50 M (4.92')
<u>EXPOSED BUILDING FACE AREA</u>	62.98 M ² (678.00 SF)
<u>GLAZING AREA</u>	1.94 M ² (15.00 SF)
<u>PERCENTAGE</u>	2.20% (ALLOWED 8.00%)



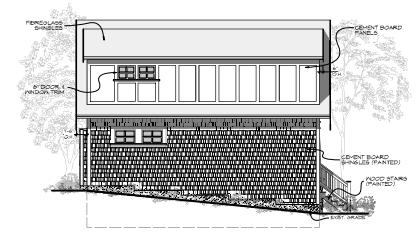
FRONT (E) ELEVATION
Scale: 1:100




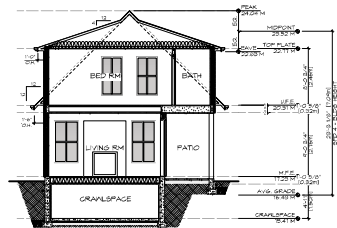
○ SIDE (N) ELEVATION
Scale: 1:100



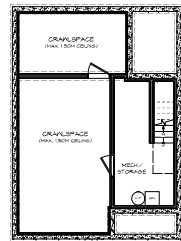
REAR (W) ELEVATION
Scale: 1:100



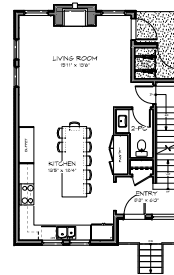
 SIDE (S) ELEVATION
Scale: 1:100



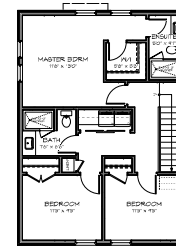
SECTION
Scale: 1:100



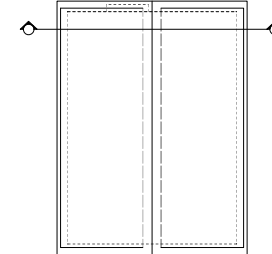
 CRAWLSPACE
Scale: 1:100



○ MAIN FLOOR
Scale: 1:100



○ UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

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3120 WASHINGTON
AVENUE - REZONING

Title:
FLOOR PLANS &
ELEVATIONS -
SFD 7

Revision:	Sheet:
Rev 1: MAY 24/20	DP10
Rev 2: OCT 19/20	
Rev 3: JAN 19/21	
Rev 4: MAR 02/21	


REV. NO.	DESCRIPTION	DATE	MAY 24/20 REV. 2 OCT 18/20 REV. 3 JAN 19/21 REV. 4 MAR 02/21	DP10 Proj. No. 0000
4	11. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21		

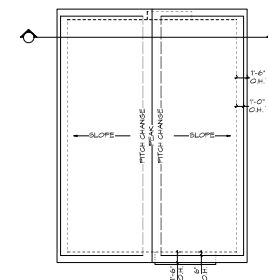
SFD 7

SFD 8

<u>MAXIMUM GLAZING CALCULATION</u>	
<u>DISTANCE TO PROPERTY LINE</u>	2.96 M (9.71')
<u>EXPOSED BUILDING FACE AREA</u>	62.98 M ² (678.00 SF)
<u>GLAZING AREA</u>	3.34 M ² (36.00 SF)
<u>PERCENTAGE</u>	5.30% (ALLOWED 13.92%)



 SIDE (S) ELEVATION
Scale: 1:100



ROOF PLAN
Scale: 1:100

Proj.No. #####

REV. NO.	DESCRIPTION	DATE
4	12. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2



STREETSCAPE
Scale: 1:85

RE-ISSUED FOR DP
MAR 02, 2021

ZEBRADESIGN



1161 NEWPORT AVE
Victoria, B.C. V8S 5E6
Phone: (250) 360-2144
Fax: (250) 360-2115

Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON
AVENUE - REZONING

Title:
STREETSCAPE

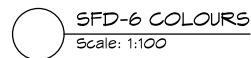
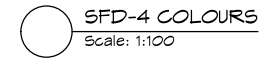
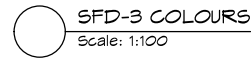
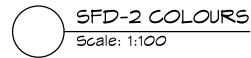
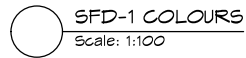
Revision:
Rev 1:
MAY 24/20
Rev 2:
OCT 15/20
Rev 3:
JAN 3/21
Rev 4:
MAR 02/21

Sheet:

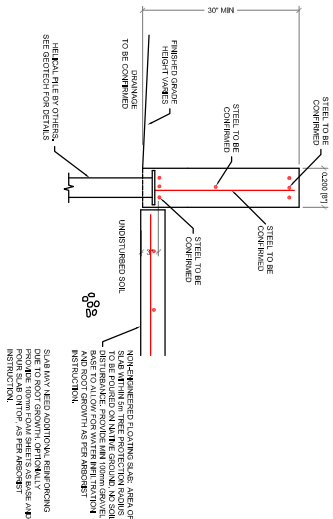
DP12

Proj No. 8888

REV. NO.	DESCRIPTION	DATE
4	NO CHANGES	MAR 2/21




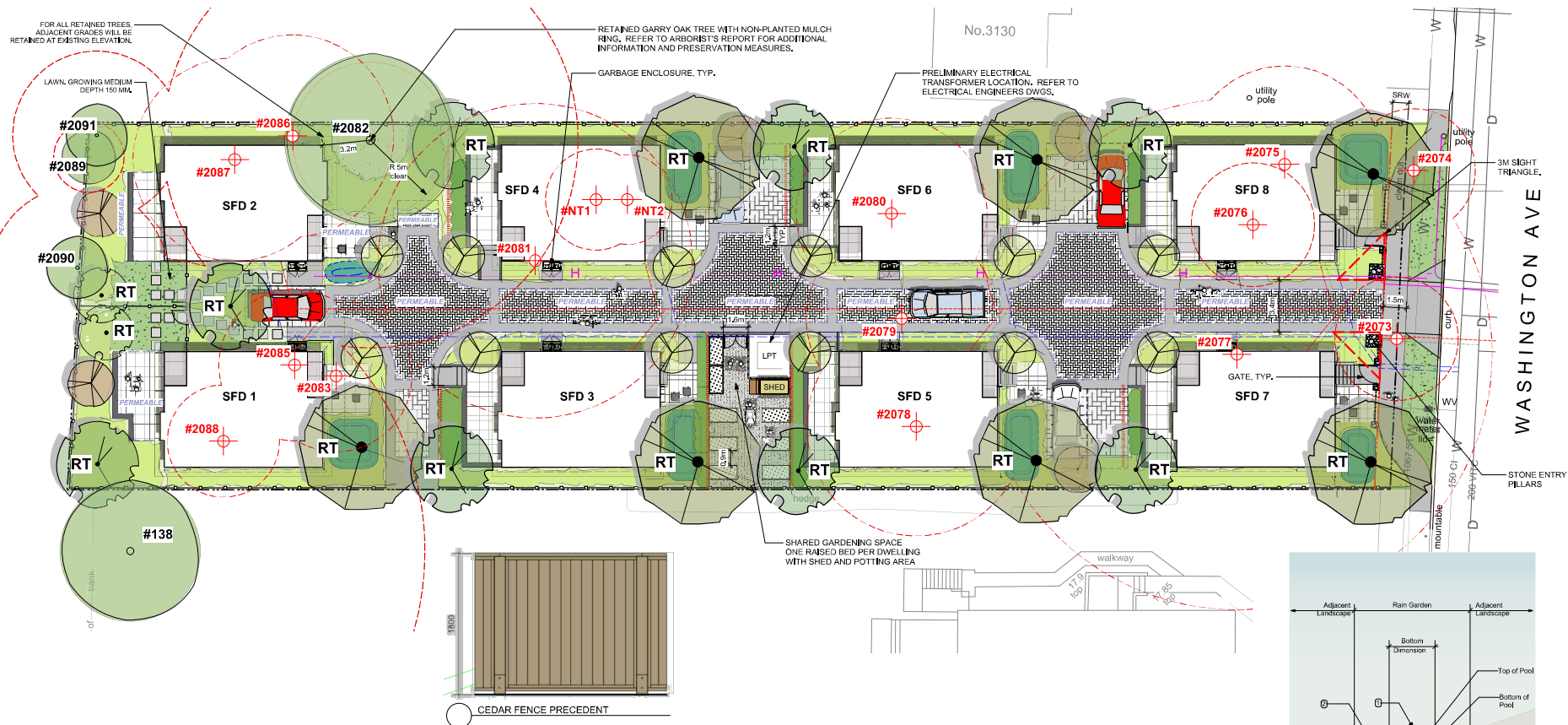
REV. NO.	DESCRIPTION	DATE
4	NO CHANGES	MAR 2/21



1
ST 1/2"=1'-0"

210216








01	21/02/16	DRAWING ALTERED	
TOC	DATE	REVISION	
			
HOEL ENGINEERING LTD 2B-40 CADILLAC AVE VICTORIA B.C. Phone (250) 475-6906 ehyle@hoelbcca			
CITY OF VICTORIA			
PROJECT TITLE 3120 WASHINGTON STREET Victoria, BC			
SHEET TITLE GENERAL Details			
Scale	drawn	check no.	
As shown	ESK		
DATE	PROJECT NO.		S-A
21/02/16	-		




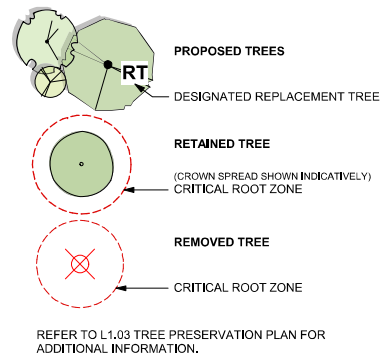
LEGEND

- PROPERTY LINE
- 25.20
EX
- 28.50
- REFER TO ARCH. DRAWINGS FOR GRADING INFO

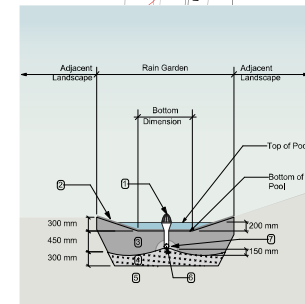
LANDSCAPE MATERIALS

-  CEDAR FENCE, 1,8M HIGH TO LOCAL BYLAWS.
-  PRIVACY SCREEN, 1,5M HIGH, MIXED MEMBER VERTICAL SLATS TO COMPLEMENT ARCHITECTURE.
-  WOOD PICKET FENCE, 1,2M HIGH.
-  PATIO UNIT PAVING
600x600 HYDAPRESSED SLAB, TEXADA, STACK BOND, CHARCOAL COLOUR.
-  regular | pavers
-  VEHICULAR UNIT PAVING
225x112 STANDARD PAVERS, 90°HERRINGBONE PATTERN C/W SOLDIER COURSE BORDER, MIX 40% NATURAL, 40% SHADOW, 20% CHARCOAL COLOURS.
-  CONCRETE DRIVEWAY BANDING AND PATHS, BROOM FINISH C/W TOOLED JOINTS.

- 
- GRANULAR PATH**
- LAWN AREA**
- SEATING WALL, MODULAR PRE-CAST UNITS C/W CAP STONE.**
- ENTRY FEATURE, STONE MASONRY OR SIMILAR. DESIGN T.B.D.**
- SEATING QUARTERS, NATURAL STONE.**
- STEPPING STONES THROUGH LANDSCAPE.**
- RAISED GARDEN BED, CEDAR CONSTRUCTION.**
- SHRUB PLANTING AREA**
- ORNAMENTAL AND AMENITY PLANTINGS, SPECIES TO INCLUDE NATIVE AND APPROPRIATE NON-NATIVE SPECIES THAT ARE ADAPTED TO SITE CONDITIONS, CLIMATE AND DESIGN INTENT.**
- PRIVACY HEDGE**
- RAIN GARDEN AREA**
- CAPTURES, SLOWS AND TREATS (CLEAN) STORMWATER RUNOFF FROM BUILDING ROOFS AND HARD SURFACES.**



REFER TO L1.03 TREE PRESERVATION PLAN FOR
ADDITIONAL INFORMATION.



- RAIN GARDEN MATERIALS**
1. Overflow drain, 200 mm domed grate + adapter
 2. Composted mulch, 50–70 mm depth
 3. Bio-retention growing medium, 450 mm depth
 4. Scarified/filled subgrade, 300 mm depth
 5. Existing subgrade/native material
 6. 100 mm diameter (min) perforated pipe
 7. 25 mm diameter drain rock, 100 mm depth

- 1 Typical Rain Garden
Scale: 1:50

DRAWING NOTES

- 1. **DESIGNING THE DRAINAGE:** Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- 2. All plan dimensions in metres and all decimal dimensions in millimetres.
- 3. Plan quantities on Plans shall take precedence over plan list quantities.
- 4. Contractor to confirm location and elevation of all existing services and structures at start of work.
- 5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- 6. Contractor to provide irrigation system for all plants to current IABC Standards and Contract Specifications.
- 7. Landscape installation to carry a 1 year warranty from date of completion.
- 8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- 9. General Contractor and/or Subcontractor responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- 10. Top protection fencing to be installed prior to the commencement of all site work.

4	DP REV.3	25 JAN, 2021
3	DP REV,2	13 OCT, 2020
2	DP REV.1	30 JUNE 2020
1	DP	20 FEB, 2020
rev no	description	date

209 • 524 Oakfield Road
Victoria, BC V8Z 1B1

client
CUBE DEVELOPMENTS
2272 MILLSTREAM ROAD
VICTORIA, BC

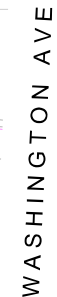
project
3120 WASHINGTON AVENUE
DEVELOPMENT
VICTORIA, BC

sheet title

**Landscape
Materials**

project no.	120.03
scale	1:125 @ 24"x36"
drawn by	MDI
checked by	SM/PdG
revision no.	sheet no.

L1.01



4	DP REV,3	25 JAN, 20
3	DP REV,2	13 OCT, 20
2	DP REV,1	30 JUNE 20
1	DP	20 FEB, 20
rev no	description	date

203 • 524 Collier Road
Mobile, AL 36621
Phone: 205/412-2099
Fax: 205/412-2099

client
CUBE DEVELOPMENTS
2272 MILLSTREAM ROAD
VICTORIA, BC

project
3120 WASHINGTON AVENUE
DEVELOPMENT
VICTORIA, BC

sheet title

Tree Preservation Plan

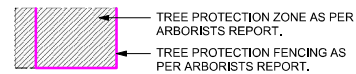
project no.		120,03
scale		1:125 @ 24"x36"
drawn by		MD
checked by		SM/PdC
revision no.	sheet no.	

4 L1.02

BYLAW PROTECTED TREES REMOVED:	8
REPLACEMENT TREES:	16
TOTAL NEW TREES PROPOSED ONSITE:	34
REPLACEMENT TREE RATIO = 2:1 AS PER CITY OF VICTORIA BYLAWS, REFER L3.01 PLANTING PLANS FOR ADDITIONAL INFORMATION.	

TREES WILL BE OF THE APPROPRIATE SCALE, SPECIES AND LOCATION TO MEET THE CITY OF VICTORIA REQUIREMENTS. FINAL SPECIES TO BE DETERMINED IN CONSULTATION WITH CITY OF VICTORIA PARKS STAFF.

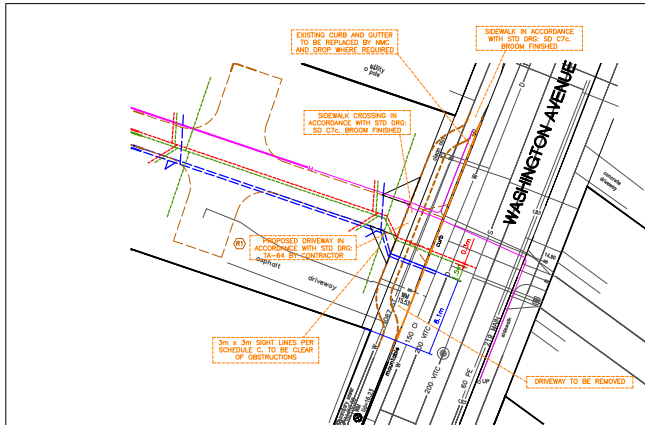
REFER TO ARBORIST'S REPORT & TREE INVENTORY
FOR ADDITIONAL INFORMATION.



REFER TO ARBORISTS REPORT FOR ADDITIONAL INFORMATION.

- 5. **LANDSCAPE DRAINAGE:** Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - a. **Plant** all dimensions in metres and all detail dimensions in millimetres.
 - b. **Qualifications** on Plans shall take precedence over plant list quantities.
- 6. **Contractor** to confirm location and elevation of all existing services and utilities prior to start of work.
- 7. **Provide layout of all work for approval** by Landscape Architect prior to proceeding with work.
- 8. **Contractor** to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- 9. **Landscape installation** to carry a 1 year warranty from date of completion.
- 10. **Plant material, installation and maintenance** to conform to the current edition of the Canadian Landscape Standard.
- 11. **General contractor and sub-contractors** are responsible for all costs related to production and installation of all landscape assets including information indicating irrigation.
- 12. **Tree protection fencing**, for existing trees, to be installed prior to start of work.

NOT FOR CONSTRUCTION		
4	DP REV.3	25 JAN., 20
3	DP REV.2	13 OCT., 20
2	DP REV.1	30 JUNE, 20
1	DP	20 FEB., 20
rev no.	description	date
<small>D:\A-1\1-14-B-M-Road Victoria BC T1C 1B1</small>		<small>Project No. 2534/JARH</small>
client		
CUBE DEVELOPMENTS 2772 MILLSTREAM ROAD VICTORIA, BC		
project		
3120 WASHINGTON AVENUE DEVELOPMENT VICTORIA, BC		
sheet title		
<h2 style="margin: 0;">Planting Plan</h2>		
project no.		12601
scale	1:125	@ 24"x36"
drawn by		MD
checked by		SMP/GG
revision no.	sheet no.	
	L3.01	



SERVICES DIMENSIONS



UTILITY CHECK TABLE		
UTILITY	REPRESENTATIVE SIGNATURE	DATE
BC HYDRO		
TELUS		
SHAW		
FORTIS BC		
CITY OF VICT		

SPECIFIC NOTES

LANDSCAPE

Tree Permit
Refer to Municipal Bylaws for details on tree protection, removal and permits required.

- 1. Trees Protected
Trees shown bold solid line to be RETAINED, and protection fencing installed as per Arbutus Report, to be reviewed by Parks.
- 2. Trees Remove
Trees shown dotted red line to be removed.
- 3. New Trees New tree to be provided by City at applicant's expense. Location and tree specifications to be approved by City.

Tree Fences
All protected and new 'boulvard tree' protection areas to be provided with Tree Protection Fencing as specified and approved by the Arbutus and Parks.

New 'boulvard tree' protection fencing to be 2.5x2.5m centered upon the proposed 'tree' location.

Tree Other
Private boulevard and other protected trees that may or may not be shown are subject to municipal bylaws unless otherwise permitted by City Parks.

Arbutus Coordination
The Arbutus shall supervise all activities, excavation or disturbance that occur within the CRZ of any tree.

Pre-construction Meeting
A preconstruction meeting is to be conducted with City Parks, project coordinator, project architect, and engineers prior to any work being carried out.

Road Shoulder and Boulevard Restoration
All City boulevard areas to be fully restored as per the COV standards and development meeting by use no. 12-542.

HYDRO AND TELECOM
1. Coordinate with utilities for new utilities.

Gas
1. Confirm cover depth OK with Fortis before construction.

Contact BC One-Call 1-800-474-8886 for gas locate before excavation.

New gas line installation to be applied for by owner if as required. Show schematically.

ROAD

1. Driveway
Proposed DW location. Driveway Apron to be built in accordance with City of Victoria Standard Drawings TA-64 and profile, unless otherwise noted.

2. Sewer
Existing
Cap existing sewer connection by City at Applicant's expense.

3. New
Provide new 150mm sewer connection and IC by City at Applicant's expense.

4. Provide new 150mm sewer connection on site by contractor.

5. Existing
Cap existing drain connection by City at Applicant's expense.

6. New
Provide new 150mm drain connections and IC by City at Applicant's expense.

7. Provide new 150mm drain connections on site by contractor.

8. Existing
Existing water services to be DECOMMISSIONED.

9. New
Provide new 50mm water services/retailer AND new installing water services/retailer by City at Applicant's expense.

10. Provide new W-Conn on site by Contractor.

GENERAL NOTES

DRAWING INFORMATION

Dimensions are metric, millimetres on detail drawings, metres on 1:500 plan and profile, unless otherwise noted.

Information to be provided in our plan, section, or specification is intended to indicate the general arrangement of work to be carried out. At the project's completion, the degree of detail that is provided may require addition or deletion.

Existing service information within areas of construction may have been supplied by others and are approximate only. Additional service may be present but not indicated on these drawings.

CONCRETE REQUIREMENTS
Refer to the City Standard Drawings and Specifications for additional information as to the use of these documents and construction of the works.

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CONSTRUCTION REQUIREMENTS

Communication and Reporting
Contract BC One-Call prior to construction for services locate. 1-800-474-8886

The Contractor is to coordinate and communicate with the engineer, all utilities, and authorities having jurisdiction, well in advance (2-working days minimum) of the start of any excavation and commencement of work shown on construction drawings.

The Contractor shall coordinate and schedule all sub-contractors, contractors and trades required for the completion of the work.

The Contractor shall provide the required quality control and conforming testing results to the engineer at the completion of each phase of the work.

Permits
A Tree Removal Permit is to be obtained prior to any site activities.

A permit to construct works on a Municipal Road Allowance must be obtained before works commence.

A permit to cross or over any Fortis Gas pipeline is required. Contact 1-877-599-5996

Notification
A pre-construction meeting is required prior to the construction prior to inspect on site and conditions.

When giving advance notification, the contractor shall take into consideration the scheduling demand and prior commitments of all parties.

Failure to comply with these requirements may result in delays, rejection of the work, or expensive testing to prove compliance.

In the event that the contractor is not providing the in-situ construction layout, the Engineer is to be notified by email or otherwise in writing at least 5 days before any construction layout is required.

The contractor shall notify the Engineer immediately if any work is not in accordance with the achievement of the design and as otherwise required on these drawings.

Change Requests
Contractor requested construction changes must be submitted and approved by the Engineer prior to implementation.

Materials
All public roads are to be maintained and must be used during construction.

This document may not be used, copied or altered without the express written authority of the Engineering Ltd and if no time may be used or referenced in any form for any legal instrument.

Contractor at the Contractor's expense.

Contractor at the Contractor's expense.

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GENERAL CONSTRUCTION REQUIREMENTS

Public Access
Contractor to maintain vehicular access to existing routes.

Existing Services
Existing services must be exposed, located and elevations confirmed by the Contractor prior to work commencement.

Service conflicts are to be reported to the Engineer immediately.

All services to be relocated to buildings and structures shall be inspected by City and authorities having jurisdiction.

Contractor shall adjust all the services components to match finished grade.

Protection of Services
Contract BC One-Call prior to construction for services locate. 1-800-474-8886

Contractor shall ensure that all IC pipes, manholes, boxes and structures to be protected with traffic bearing covers when subject to vehicle traffic.

Excavation and/or structural modified trench, provide Class B bedding under all sewers and structures using free draining 15mm crush gravel.

Provision of full depth compacted gravel basefill under all structures through-out the full forecasted service life. Minimum of 150mm 10m of the edge of a road or driveway.

All trenches and road structures are to be provided with property controlled fill and compacted fill that no settlement occurs during the service life of the project.

Testing Requirements
Continuous testing is to be provided by the Engineer through-out the full forecasted service life. Minimum of 150mm 10m of the edge of a road or driveway.

Contractor at the Contractor's expense.

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Contractor at the Contractor's expense.

Contractor at the Contractor's expense.



KEY PLAN - NTS
Lot 7, Section 7A, Victoria District, Plan 431
3120 WASHINGTON AVENUE

FINAL DRAWING TO HAVE LIVE SIGNATURE

ISSUED IN SUPPORT OF REZONING
CHECK REVISION AND RELEASE NUMBER FOR CURRENT PLAN

210202

HOEL ENGINEERING LTD
26-40 Cadell Avenue, Victoria, BC
Canada V8Z 1T2

Rev	Date	Description	Signature
01	2019/11	LPT ADDED	ENR
02	2019/11	BUILDING PP ALTERING AND TREE REMOVAL ADDED	ENR
03	2020/02	DETAILED DESIGN	ENR

REVISIONS

City of Victoria

SERVICING PLAN
FOR

Lot 7, Section 7A, Victoria District, Plan 431

3120 WASHINGTON AVENUE

PROJECT FILE: CVD007

DATE: 2020/02

PROJECT NUMBER: 210202

DATE: 2020/02

PROJECT NUMBER: 210202

DATE: 2020/02

PROJECT NUMBER: 210202

DATE: 2020/02

PROJECT NUMBER: 210202

DATE: 2020/02

PROJECT NUMBER: 210202

DATE: 2020/02

PROJECT NUMBER: 210202

DATE: 2020/02

ON SITE STORMWATER MANAGEMENT (SWM) NOTES

CONTRACTOR OBLIGATION

Pre-Construction Meeting
The contractor must arrange with the engineer, a pre-construction meeting to review the SWM objectives to achieve satisfactory foundation or building perimeter drains.

Refer to GENERAL NOTES

Surface Water Control
Sources of surface water that drain onto disturbed areas shall be intercepted and conveyed to a suitable discharge point down slope of the disturbed areas.

Sediment Retention
During construction and re-establishment of vegetation and bare, exposed soil run-off from disturbed areas of the project, all any other pollutants laden water, shall not be routed through any stormwater management system. A sediment pond, tree, temporary retention, with de silt fences, or other engineer approved surface treatments shall be used.

Commissioning of SWM systems
Temporary erosion and silt control treatments shall remain in place until the entire site has been stabilized and vegetation re-established.

SWM OBJECTIVES

General
All lots shall be provided with stormwater management systems for roof and driveway surfaces.

This plan shows representative examples of typical SWM configurations for each lot.

The Owner and Contractor shall consult with the Engineer regarding the ultimate management and scale of required SWM components.

Building Foundation Perimeter Drains
The Foundation Perimeter Drains (PD) from buildings shall be directly connected to the common or municipal drain connection, as applicable, and not routed through the Roof or Driveway drain systems.

Foundation drains to be provided otherwise as required by the BC Building Code.

Building Roof Drains
The Roof Downspouts (RD) from dwellings are to be separate from the foundation perimeter area and route through the SWM systems prescribed herein.

On-Site Drainage
New driveway surface areas are to be permeable, clear drain gully or permeable pipes unless otherwise approved by City.

Provide driveway surface and subgrade drainage as required to meet objectives. Emergency storm overflows must be dispersed on-site.

SWM SYSTEM DESIGN NOTES

FOUNDATION PERIMETER DRAIN
Provide drains substantially in accordance with the BC Building Code unless otherwise approved by the engineer.

ROOF DRAINAGE
Provide roof water leaders and perimeter roof drains substantially in accordance with the BC Building Code as shown on the Approved Building Form unless otherwise approved by the engineer.

Drain 150mm roof water collection pipe to Rain Gardens as indicated.

Construction and Finishing
All building site perimeter are to be revegetated with vegetation or lawn over a maximum of 150mm of fine draining layer.

SPECIFIC NOTES

DRAN

- Existing
City existing drain connection by City at Applicants expense.
- New
Provide new 150mm drain connection and IC by City at Applicants expense.
- Provide new 150mm drain connections on site by contractor





- SPECIFIC NOTES
- SDMR
 - Existing
 - Cap existing sewer connection by City at Applicant's expense.
 - New
 - Provide new 150mm sewer connection and IC by City at Applicant's expense.
 - Provide new 150mm sewer connection on site by contractor

UTILITY CHECK TABLE		
UTILITY	REPRESENTATIVE SIGNATURE	DATE
BC HYDRO		
TELUS		
SHAW		
FORTIS BC		
CITY OF VICT		

FINAL DRAWING
TO HAVE LIVE
SIGNATURE

ISSUED IN
SUPPORT OF
REZONING
CHECK SECTION AND RELEASE
NUMBER FOR CURRENT PLAN

210202

PROFESSIONAL
ENGINEER
E.S. KYLE
44517
P.E. (B.C.)
REGISTERED

HOEL ENGINEERING LTD
28-40 Cadellac Avenue, Victoria, BC
Canada V8Z 1T2

SCALE: 2000 X = 1 METER
1:1000

Rev	Date	Description	Author	Checker
01	2019	ISSUED	DKH	
02	2019	BUILDING FP ALTERED AND TREE RADIIUS ADDED	DKH	
03	2020	DETAILED DESIGN	DKH	

REVISIONS

City of Victoria

SERVICING PLAN
FOR
Lot 7, Section 7A, Victoria District/Plan 431

3120 WASHINGTON AVENUE

PROJECT FILE: C:\9007 CITY FILE REFERENCE: NA DRAWING NUMBER: C3 of 3
ENTRY POINT DURING DRAINAGE INSPECTION

DUNSTER & ASSOCIATES

Environmental Consultants Ltd.

January 21, 2021

Scott Davies,
Cube Project Management Ltd.,
1605 - 728 Yates St., Victoria BC
V8W 0C8

Dear Mr. Davies.

As requested I have visited the site and reviewed the trees on site. Figure 1 is a survey plan of the trees. Table 1 provides details about each tree.

There are 11 bylaw sized trees on site. One tree (# 2074) is on City property. There is also a bylaw sized sequoia tree on the adjacent property in the south west corner. Two trees straddle the property line. One of those (# 2073) is between the site and City land. The other (# 2090) is at the west end of the site. The proposed works will require removal of all but four of the trees on site. That means removal of 16 trees, of which 8 are not protected trees, and 8 are protected trees. The four trees to be retained are one Garry Oak (# 2082), and 3 hawthorns ((#2089, #2090, #2091).

Table 1 provides details about the trees located. Specific actions for the trees to be retained are described below.

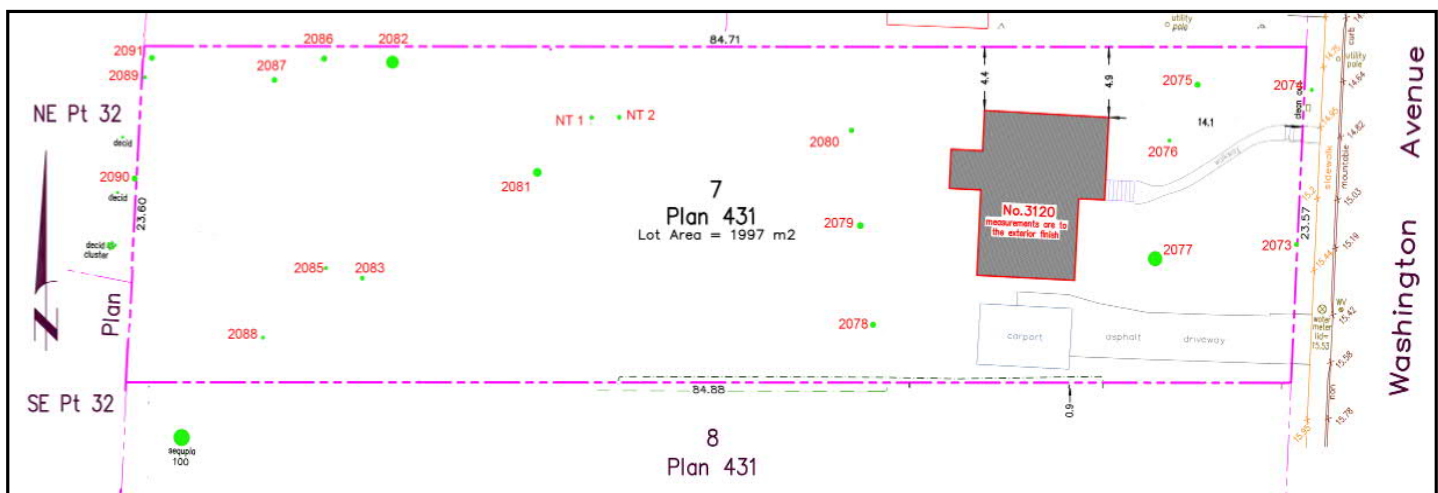


Figure 1. Location of trees on site.

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Table 1. Details of the trees on site.

Tag #	Species	Trunk Diameter (cm)	TPZ radius (m)	Protected Tree (PT) / Unprotected (UP)	Retain Y / N	Reason for removal	Comments
2073	Purple Leaf Plum	22	3.96	UP	N	Engineering upgrades	Street Tree. Poor condition
2074	Purple Leaf Plum	22	3.96	UP	N	Engineering upgrades	Straddles property line. Fair condition
2075	Blue spruce	35	6.30	PT	N	Within footprint of new design	Good condition
2076	Pine	22	3.96	UP	N	Within footprint of new design	
2077	Douglas-fir	67/40	16.38	PT	N	Within footprint of new design	Twin stems joined at 70 cm
2078	Pine	39	7.02	PT	N	Within footprint of new design	
2079	Pine	34	6.12	PT	N	Within footprint of new design	
2080	Pine	34	6.12	PT	N	Within footprint of new design	
2081	Pear	56	10.08	PT	N	Within footprint of new design	
NT 1	Apple	18	3.24	UP	N	Within footprint of new design	Poor condition
NT 2	Apple	16	2.88	UP	N	Within footprint of new design	Poor condition
2082	Garry Oak	74	13.32	PT	Y		
2083	Apple	27	4.86	UP	N	Within footprint of new design	
2085	Apple	18	4.86	UP	N	Within footprint of new design	
2086	Western Redcedar	36	6.48	PT	N	Within footprint of new design	
2087	Pear	29 / 12	6.52	PT	N	Within footprint of new design	
2088	Apple	20	3.60	UP	N	Within footprint of new design	
2089	Hawthorn	22/14	2.26	PT	Y		Multiple stems
2090	Hawthorn	18/14/9	5.72	PT	Y		Multiple stems - straddles property line
2091	Hawthorn	30	5.40	PT	Y		
138	Sequoia	105	18.90	PT	Y		Off site - considered for development impact

The Development Proposed

Figure 2 shows the footprints of the eight units planned. I have also included the tree protection zones for the trees to be retained. The three hawthorn trees along the west boundary (#2089, #2090, #2091) are all small and are also being retained. There may be a need to prune back some parts of them to clean them up after many years of bramble growth. Since that part of the site is a rear yard there will not be a major disturbance affecting them.

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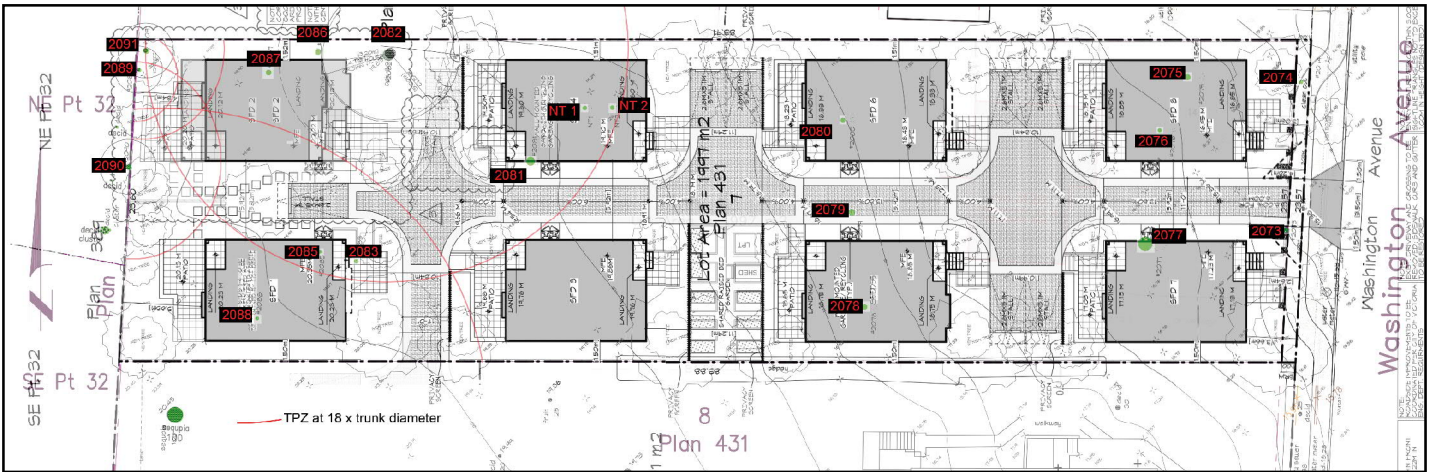


Figure 2. Proposed design with building footprints.

ACTION - install tree protection fencing

Before any other site work commences the hawthorn trees to be retained shall be fenced off at a distance of 1.0 metres from the base of trees # 2091. This fence shall extend to a distance of 1.5 metres to the south of tree # 2090. See Figure 3.

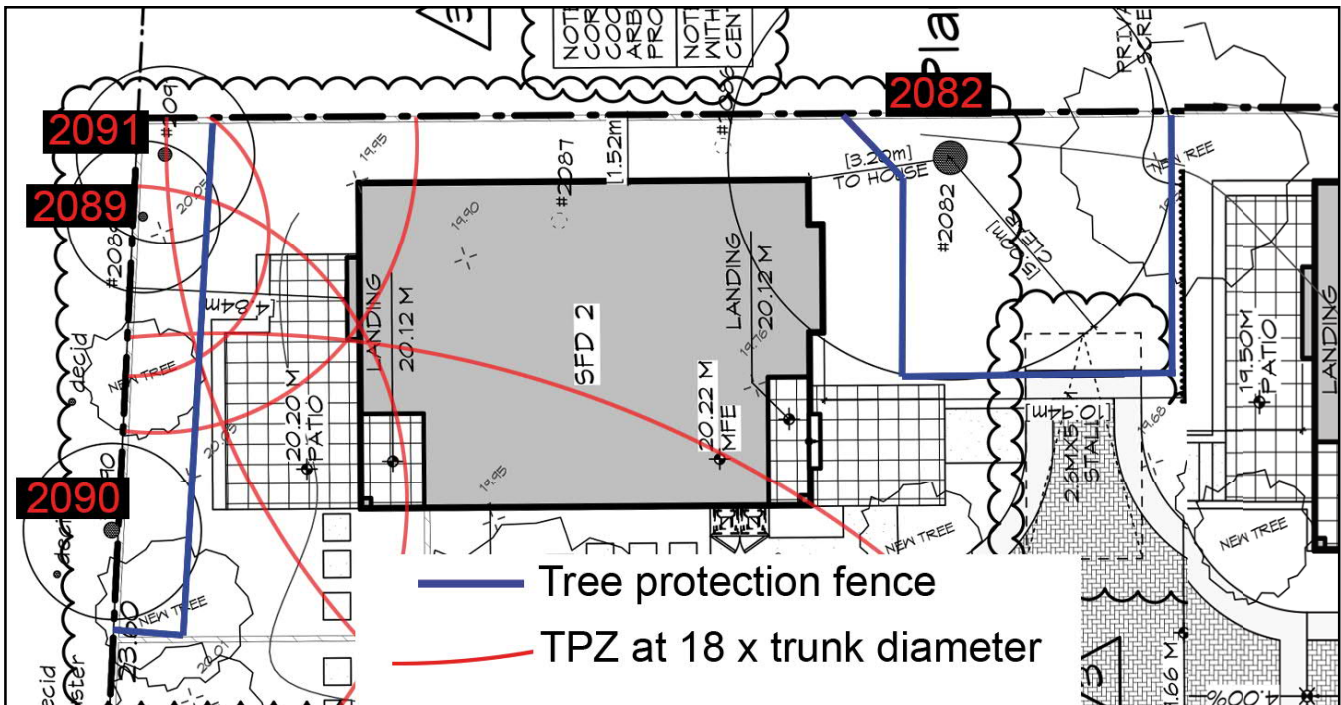


Figure 3. Fencing Plan.

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The oak tree (# 2082) shall be fenced off as shown in figure 4 below.

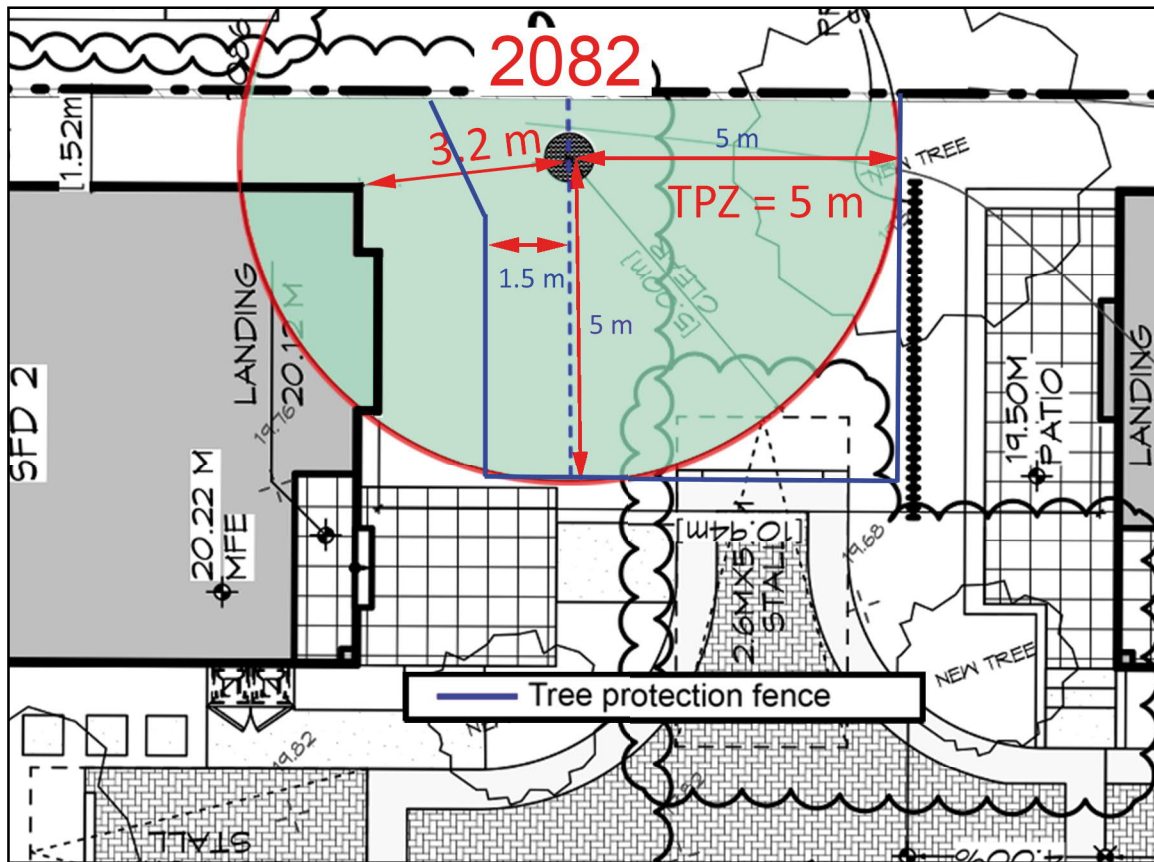


Figure 4. Fencing detail by tree # 2082.

The tree protection zone (TPZ) is set at a radial distance of 5 metres from the centre of the tree (the green area in figure 4). The fence shall extend 5 metres to the east and 5 metres to the south. Using a north - south line from the centre of the tree (dashed blue line in figure 4), set the west side of the fence 1.5 metres to the west of that centreline. Closer to the tree, angle the fence over towards the boundary.

The original design had this unit set further back to offer more protection for the tree. Council rejected that design on the basis that the rear yard would be too small, so the unit is now located in line with the other unit in the south west corner. In the new design the corner of new house is 3.2 metres from the centre of the oak tree. In order to try and ensure effective retention of the Garry oak tree I have worked with the design team to come up with a way to minimise the disturbance to the ground and roots in this area. The new design will see the north east corner of the house built on a grade beam installed on helical piles. The base of the beam is designed to be above ground, and the slab beyond it is poured on top of a gravel base so that there is no disturbance of the existing soils within the 5 metre TPZ. The parking space for the unit to the east has been modified to get it away from the TPZ, the patio for the unit in the north west corner has been modified, and the landscape irrigation will be surface drip lines or spray heads installed outside of the TPZ.

In order to make this approach work the following actions shall be implemented under the supervision of the project arborist.

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- 1 **Prior to any other site preparation**, the oak tree shall be fenced off at as shown in detail in Figure 4.

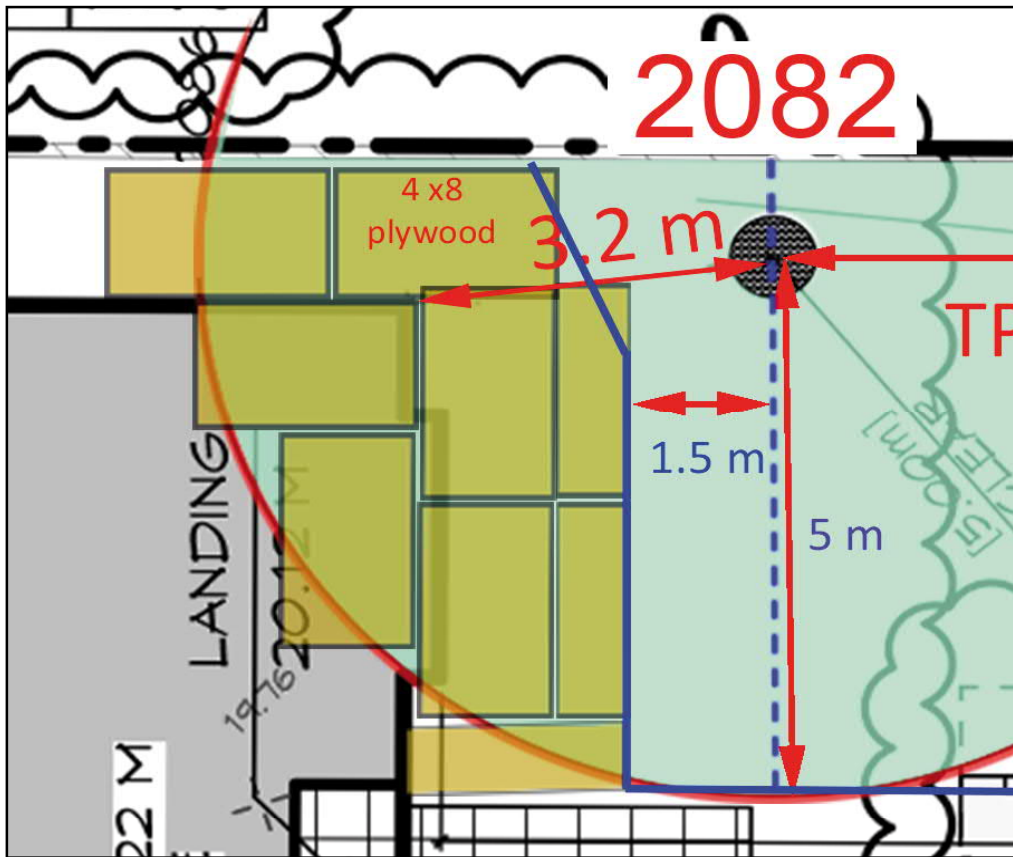


Figure 5. Conceptual layout of plywood beyond fence, and under grade beam and slab.

- 2 Once the protection fence is in place around the oak tree, sheets of 5/8" plywood shall be laid down on the ground as shown in figure 5. The sheets should be screwed together with wood strips or plywood overlaps.

The intent of this plywood is to protect the ground below from any further compaction, and root damage. The area beyond the wall will create a working space of 6 feet or about 1.83 metres (1 and half sheets of plywood wide). The rest of the plywood protects the ground that will be under the grade beam and slab.

The grade beam will be placed onto a series of helical piles. The machine used to drive these piles shall operate from the west side and shall approach the location by driving on the plywood area that will be inside the planned building footprint. If necessary, double the plywood within the footprint area to sustain the machine load. Once the piles are installed, the formwork for the grade beam can be created. That will need a base layer for the bottom of the form, so that can be created with plywood on the native soil. Minor flattening of the existing soil will be fine in order to create the formwork, but no excavation is permitted without first checking with the project arborist. NOTE. The base of the grade beam is above ground not recessed into the ground. It may be wise to place that base layer of the beam form on wood spacers. These can then be knocked out after curing so that the plywood can be stripped off from the beam.

Once the grade beam is poured and cured the slab can be created. Within the TPZ area the plywood can be removed and a layer of gravel placed right onto the native soil grade, to a minimum depth of 100 mm or whatever depth beyond that is required to create a flat surface. The gravel is to be placed but not packed. The slab can be poured straight onto the gravel. Beyond the TPZ area a standard foundation and slab can be installed and native soils stripped as necessary.

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Figure 6 shows a detail of the grade beam and slab. NOTE: within the TPZ there shall be no drainage along the two walls affected.

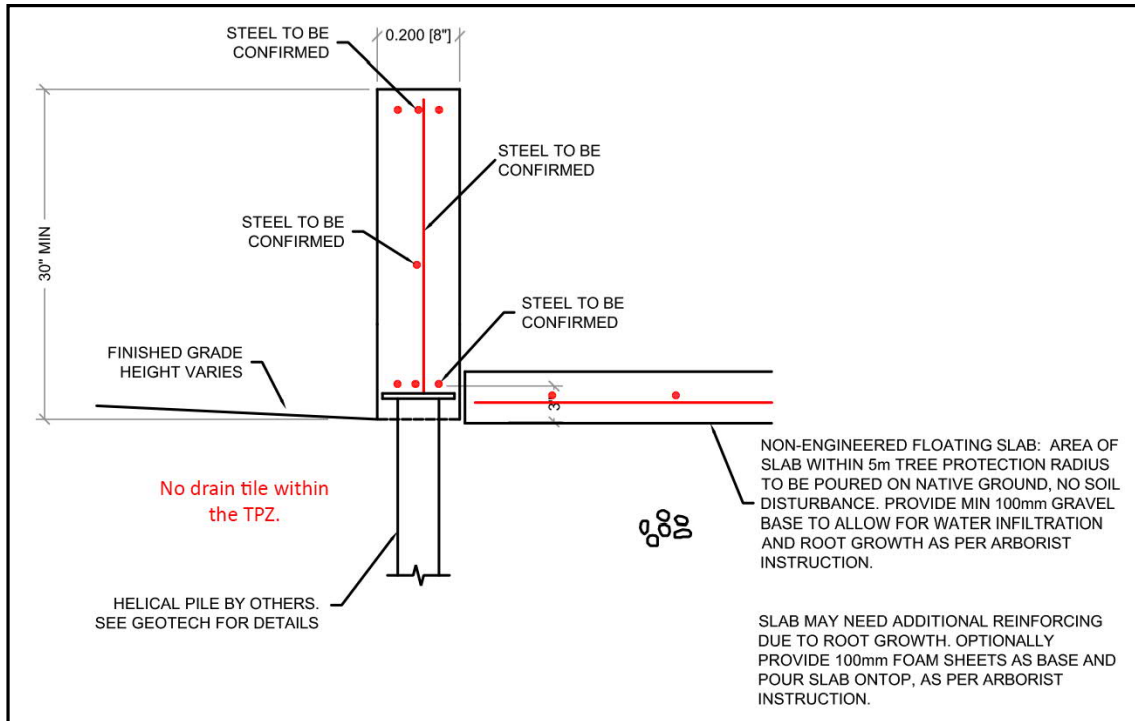


Figure 6. Detail of the grade beam and slab within the TPZ.

The plywood between the fence and the new house shall be retained in place until all construction work is completed, and the site is ready for final landscaping.

It is possible that once the new building's location is laid out on site, there may be a need for some pruning of the oak tree canopy to create a minimum distance of 2 metres between the walls or roof and the oak tree. The exact extent of pruning required will not be known until the project is underway. Preliminary investigations suggest that it will not be extensive. Any such work is to be reviewed on site by the project arborist and conducted under that person's supervision.

Finally, it is noted that there is a large sequoia tree on the property to the south. It is located about five metres from the property line. The construction of the new unit in that area will not cause damage to this tree at this distance. This report shall form part of the materials to be read and implemented by the contractor, and said contractor shall be solely responsible for ensuring that the items listed above are implemented as specified.

In summary, I have revised the plans to accommodate the new location of the unit in the northwest corner. To retain the oak tree # 2082 will require care. It will be possible if the specifications provided above are followed carefully. If there are any questions please let me know.

DUNSTER & ASSOCIATES Environmental Consultants Ltd.

Yours truly,
On Behalf of Dunster & Associates Environmental Consultants Ltd.



Dr. Julian A. Dunster, R.P.F., R.P.P., ISA Certified Arborist
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Honourary Life Member ISA + PNWISA