Councillor Alto withdrew from the meeting at 4:44 p.m. due to a pecuniary conflict of interest as they own property near the next item.

Councillor Andrew withdrew from the meeting at 4:44 p.m. due to a pecuniary conflict of interest as they own property near the next item.

F.2 Bylaws for 3120 Washington Avenue: Rezoning Application No. 00735

Moved By Councillor Potts
Seconded By Councillor Isitt

That the following bylaw **be given first and second readings:**

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1246) No. 21-020

CARRIED UNANIMOUSLY

Moved By Councillor Dubow
Seconded By Councillor Thornton-Joe

That the following bylaw **be given first, second and third readings:**

1. Housing Agreement (3120 Washington Avenue) Bylaw (2021) No. 21-021

CARRIED UNANIMOUSLY

Council Report
For the Meeting of April 8, 2021

To:	Council	**Date:**	March 25, 2021
From:	Karen Hoese, Director, Sustainable Planning and Community Development		
Subject:	**Update Report for Rezoning Application No. 00735 for 3120 Washington Avenue**		

RECOMMENDATION

That Council give first and second reading of the Zoning Regulation Bylaw Amendment No. 21-020 (Amendment No. 1246) and give first, second and third readings to Housing Agreement (3120 Washington Avenue) Bylaw No. 21-021.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with an update regarding the Rezoning Application for the property located at 3120 Washington Avenue. The proposal is to rezone from the R1-B Zone, Single-Family Dwelling District, to a new zone in order to increase the density and construct a strata development consisting of eight, two-storey single-family dwelling units on a lot.

On January 7, 2021, Council passed the following resolution:

That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00735 for 3120 Washington Avenue, that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:

a. Preparation of legal agreements executed by the applicant to secure the following, with form satisfactory to the City Solicitor:

i. a housing agreement to ensure that future Strata bylaws cannot prohibit the rental of dwelling units, to the satisfaction of the Director of Sustainable Planning and Community Development;

ii. a statutory right-of-way of 1.00m on Washington Avenue for sidewalk improvements, to the satisfaction of the Director of Engineering and Public Works;

iii. the design of the proposed eight single-family dwelling units and associated landscaping in accordance with the plans dated October 13, 2020, to the satisfaction of the Director of Sustainable Planning and Community Development.

iv. Further consideration by the developer of options to increase the rear setback.

COMMENTS

Rear Yard Setback

Council requested that the applicant consider options to increase the rear yard setback of single-family dwelling unit #2 (SFD 2), which is situated in the northwest corner of the site and with its front facade adjacent to a bylaw-protected Garry oak tree which is planned to be retained. The original rear yard setback of SFD 2 was 3.31m to minimize disturbances to the tree. However, in response to Council's motion, the applicant consulted with the Project Arborist and determined that SFD 2 could be shifted slightly to increase the setback from 3.31m to 4.84m and align with single family dwelling unit #1 (SFD 1). This has resulted in a small portion of the building to be located within the critical root zone of the existing Garry oak tree. To minimize the disturbance to the ground and tree roots in the area, the Certified Arborist has recommended an alternative construction method, which will result in the northeast corner of the building being constructed on a grade beam system. The applicant has also shifted the parking space for SFD 2, modified the patio and adjusted the landscape irrigation system to mitigate impacts to the tree.

Even though the applicant has revised the plans to address Council's motion and taken measures to mitigate impacts to the Garry oak tree, a situation may arise during construction where the applicant may have to shift SFD 2 slightly back to further protect the tree. To allow for this to occur and avoid a setback variance in the future, it is recommended that the rear yard setback in the new zone remain as 3.31m. However, the revised plans with the new rear yard setback of 4.84m are attached to the design covenant registered on title, which ensures that any proposed adjustments to the site layout in order to protect the tree would have be to the satisfaction of the Director of Sustainable Planning and Community Development.

Public Hearing Conditions

With regard to the pre-conditions that Council set in relation to this application, the following legal agreements have been executed by the applicant:

- a Housing Agreement to ensure that future strata bylaws do not prohibit the rental of dwelling units
- a 1.00m statutory right-of-way (SRW) on Washington Avenue
- a Section 219 Covenant to secure the design of the proposed eight single-family dwelling units and associated landscaping, which references updated plans.

The recommendation provided for Council's consideration contains the appropriate language to advance this application to a Public Hearing.

Respectfully submitted,

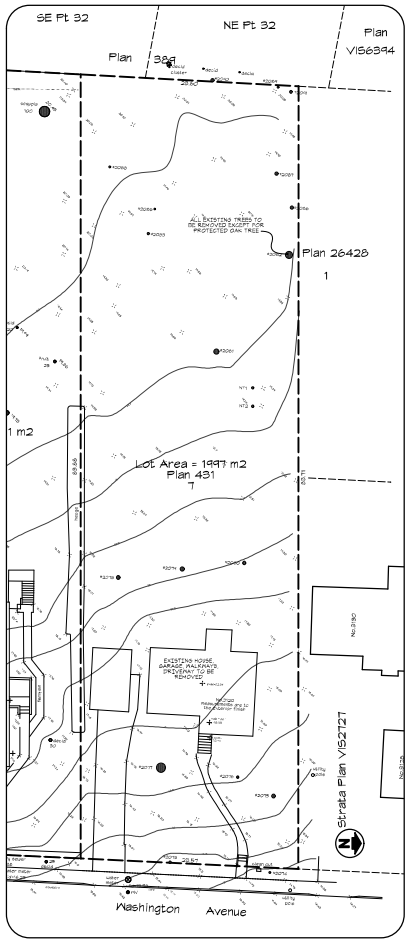
Leanne Taylor Senior Planner Development Services Division	Karen Hoese, Director Sustainable Planning and Community Development Department

Report accepted and recommended by the City Manager.

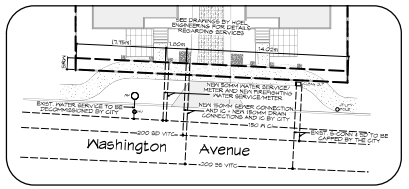
List of Attachments

- Attachment A: Updated Plans date stamped March 2, 2021
- Attachment B: Updated Arborist Report dated January 21, 2021.

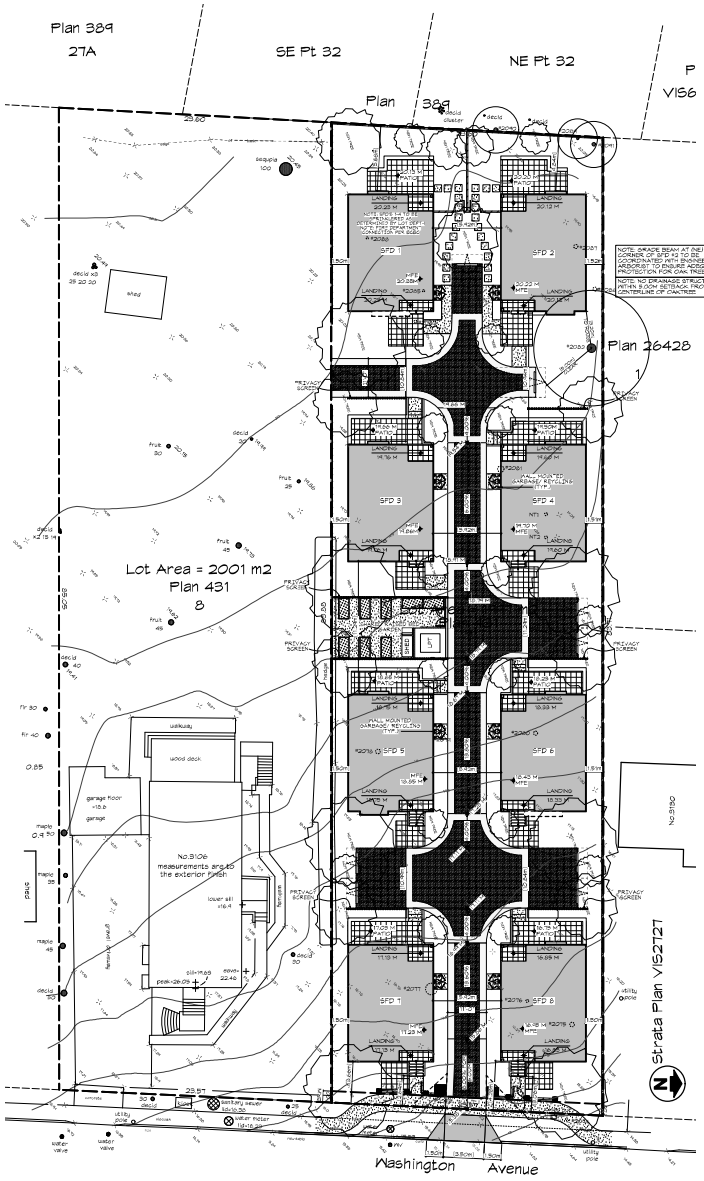
ATTACHMENT A



SITE PLAN - EXISTING
Scale: 1:250



SITE PLAN - SERVICES
Scale: 1:200



SITE PLAN - PROPOSED
Scale: 1:200

SITE DATA - 3120 WASHINGTON AVE, VICTORIA

LEGAL DESCRIPTION - Lot 7, Section 7A, Victoria District, Plan 431
EXISTING ZONING - R1-B
PROPOSED ZONING - SITE SPECIFIC

	PROPOSED - SITE	PROPOSED - SFD 1	PROPOSED - SFD 2	PROPOSED - SFD 3	PROPOSED - SFD 4
LOT AREA	1997.63 M2 (21502.33 FT2)				
LOT WIDTH	23.84 M (77.36')				
LOT DEPTH (AVG.)	84.80 M (278.20')				
SETBACKS					
FRONT (E)		10.84 M (35.56') TO SFD 9	10.94 M (35.84') TO SFD 4	11.29 M (37.04') TO SFD 5	11.29 M (37.04') TO SFD 6
REAR (N)		9.88 M (118.64')	4.84 M (15.87')	10.94 M (35.84') TO SFD 1	12.83 M (41.44') TO SFD 2
SIDE (S)		1.50 M (4.92')	5.42 M (19.42') TO SFD 1	1.50 M (4.92')	5.42 M (19.42') TO SFD 3
SIDE (N)		5.42 M (19.42') TO SFD 2	1.52 M (5.00')	5.42 M (19.42') TO SFD 4	1.51 M (4.95')
SIDE (COMBINED)		7.51 M (24.64')	7.44 M (24.41')	7.51 M (24.64')	7.43 M (24.38')
AVG. GRADE		14.86 M (65.55 FT)	14.81 M (64.99 FT)	14.45 M (65.81 FT)	14.13 M (62.76 FT)
BUILDING HEIGHT		6.66 M (21.85 FT)	6.64 M (21.78 FT)	6.70 M (21.98 FT)	6.86 M (22.51 FT)
STOREYS		2 STOREYS	2 STOREYS	2 STOREYS	2 STOREYS
FLOOR AREA	(COMBINED)				
UPPER FLOOR	546.24 M2 (5880.24 FT2)	64.24 M2 (745.86 FT2)	61.95 M2 (791.42 FT2)	61.95 M2 (791.42 FT2)	61.95 M2 (791.42 FT2)
MAIN FLOOR	495.55 M2 (5368.54 FT2)	61.73 M2 (664.51 FT2)	62.36 M2 (671.26 FT2)	61.73 M2 (664.51 FT2)	61.73 M2 (664.51 FT2)
CRAWLSPACE EXCLUDED	424.16 M2 (4565.62 FT2) EXCLUDED	59.02 M2 (570.75 FT2) EXCLUDED	10.96 M2 (118.00 FT2) EXCLUDED	59.02 M2 (570.75 FT2) EXCLUDED	59.02 M2 (570.75 FT2) EXCLUDED
TOTAL FLOOR AREA	1048.17 M2 (11280.12 FT2)	131.02 M2 (1410.28 FT2)	130.31 M2 (1402.64 FT2)	129.68 M2 (1395.86 FT2)	129.68 M2 (1395.86 FT2)
FLOOR AREA RATIO	0.523	0.066	0.066	0.065	0.065
SITE COVERAGE	30.32 % (605.86 M2)	3.80 % (75.93 M2)	3.76 % (75.11 M2)	3.74 % (74.76 M2)	3.75 % (75.01 M2)
OPEN SITE SPACE	48.26% (964.08 M2)				
PARKING	8 SPACES	1 SPACE	1 SPACE	1 SPACE	1 SPACE

	PROPOSED - SFD 5	PROPOSED - SFD 6	PROPOSED - SFD 7	PROPOSED - SFD 8
LOT AREA				
LOT WIDTH				
LOT DEPTH (AVG.)				
SETBACKS				
FRONT (E)	10.49 M (36.05') TO SFD 7	10.24 M (35.56') TO SFD 8	2.64 M (8.66')	3.06 M (10.03')
REAR (N)	11.29 M (37.04') TO SFD 3	11.29 M (37.04') TO SFD 4	10.49 M (36.05') TO SFD 5	10.84 M (35.56') TO SFD 6
SIDE (S)	1.50 M (4.92')	5.42 M (19.42') TO SFD 3	1.50 M (4.92')	5.42 M (19.42') TO SFD 7
SIDE (N)	5.42 M (19.42') TO SFD 6	1.51 M (5.00')	5.42 M (19.42') TO SFD 8	1.50 M (4.92')
SIDE (COMBINED)	7.51 M (24.64')	7.43 M (24.38')	7.51 M (24.64')	7.42 M (24.34')
AVG. GRADE	17.86 M (58.62 FT)	17.64 M (57.87 FT)	18.43 M (59.90 FT)	18.15 M (52.99 FT)
BUILDING HEIGHT	7.18 M (23.56 FT)	7.08 M (23.23 FT)	7.09 M (23.26 FT)	7.09 M (23.26 FT)
STOREYS	2 STOREYS	2 STOREYS	2 STOREYS	2 STOREYS
FLOOR AREA				
UPPER FLOOR	61.95 M2 (791.42 FT2)	64.24 M2 (745.86 FT2)	61.95 M2 (791.42 FT2)	61.95 M2 (791.42 FT2)
MAIN FLOOR	62.36 M2 (671.26 FT2)	61.73 M2 (664.51 FT2)	62.36 M2 (671.26 FT2)	61.73 M2 (664.51 FT2)
CRAWLSPACE EXCLUDED	59.02 M2 (570.75 FT2) EXCLUDED	59.02 M2 (570.75 FT2) EXCLUDED	59.02 M2 (570.75 FT2) EXCLUDED	59.02 M2 (570.75 FT2) EXCLUDED
TOTAL FLOOR AREA	130.31 M2 (1402.64 FT2)	131.02 M2 (1410.28 FT2)	129.68 M2 (1395.86 FT2)	129.68 M2 (1395.86 FT2)
FLOOR AREA RATIO	0.066	0.066	0.065	0.065
SITE COVERAGE	3.82 % (76.41 M2)	3.86 % (77.16 M2)	3.78 % (75.68 M2)	3.78 % (75.68 M2)
OPEN SITE SPACE				
PARKING	1 SPACE	1 SPACE	1 SPACE	1 SPACE

LOCATION MAP
Scale: 1/8" = 1'-0"

DRAWING LIST:

DP01	SITE PLAN & DATA	DP08	SFD-5
DP02	AVERAGE GRADE	DP09	SFD-6
DP03	AVERAGE GRADE	DP10	SFD-7
DP04	SFD-1	DP11	SFD-8
DP05	SFD-2	DP12	STREETSCAPE
DP06	SFD-3	DP13	COLOUR BOARD
DP07	SFD-4	L1-3	LANDSCAPE

Revisions
Received Date:
March 2, 2021

REV. NO.	DESCRIPTION	DATE
4	1. FIRE DEPARTMENT CONNECTION PER BCBC NOTE ADDED TO SITE PLAN 2. SFD #2 CRAWLSPACE AREA REVISED IN SITE DATA TABLE	MAR 2/21

RE-ISSUED FOR DP
MAR 02, 2021

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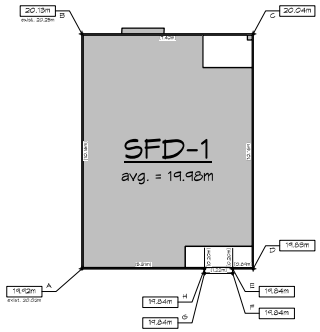
Drawn By: C.C.
Date: JUNE 24, 2020
Scale: AS NOTED
Project: 3120 WASHINGTON AVENUE - REZONING
Title: SITE PLAN & DATA

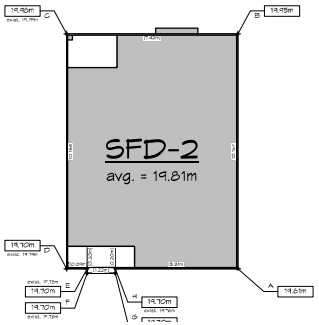
Revision:
Rev 1, MAY 29/20
Rev 2, OCT 19/20
Rev 3, JAN 13/21
Rev 4, MAR 02/21

Sheet: DP01
Proj.No. #####

SFD 1 - Average Grade Calculation

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	19.92	20.13	20.03	10.16	203.45	710.38	35.56	19.977
BC	20.13	20.04	20.09	7.42	149.03			
CD	20.04	19.83	19.94	10.16	202.54			
DE	19.83	19.84	19.84	0.89	17.65			
EF	19.84	19.84	19.84	0.20	3.97			
FG	19.84	19.84	19.84	1.22	24.20			
GH	19.84	19.84	19.84	0.20	3.97			
HA	19.84	19.92	19.88	5.31	105.56	**AVERAGE GRADE**		
			TOTAL	35.56	710.38		**19.98**	



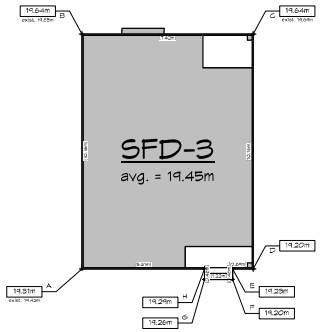


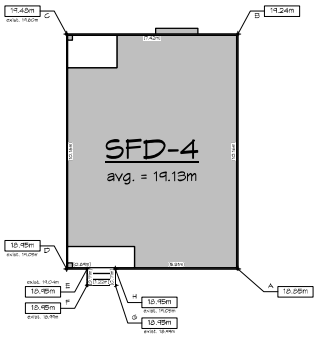
SFD 2 - Average Grade Calculation

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	19.61	19.95	19.78	10.16	200.96	704.49	35.56	19.811
BC	19.95	19.98	19.97	7.42	148.14			
CD	19.98	19.70	19.84	10.16	201.57			
DE	19.70	19.70	19.70	0.89	17.53			
EF	19.70	19.70	19.70	0.20	3.94			
FG	19.70	19.70	19.70	1.22	24.03			
GH	19.70	19.70	19.70	0.20	3.94			
HA	19.70	19.61	19.66	5.31	104.37	**AVERAGE GRADE**		
			TOTAL	35.56	704.49		**19.81**	

SFD 3 - Average Grade Calculation

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	19.31	19.64	19.48	10.16	197.87	701.65	36.08	19.447
BC	19.64	19.64	19.64	7.42	145.73			
CD	19.64	19.20	19.42	10.16	197.31			
DE	19.20	19.23	19.22	0.89	17.10			
EF	19.23	19.20	19.22	0.46	8.84			
FG	19.20	19.26	19.23	1.22	23.46			
GH	19.26	19.29	19.28	0.46	8.87			
HA	19.29	19.31	19.30	5.31	102.48	**AVERAGE GRADE**		
			TOTAL	36.08	701.65		**19.45**	





SFD 4 - Average Grade Calculation

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	18.85	19.24	19.05	10.16	193.50	699.85	36.58	19.132
BC	19.24	19.48	19.36	7.42	143.65			
CD	19.48	18.95	19.22	10.16	195.22			
DE	18.95	18.95	18.95	5.31	100.62			
EF	18.95	18.95	18.95	0.71	13.45			
FG	18.95	18.95	18.95	1.22	23.12			
GH	18.95	18.95	18.95	0.71	13.45			
HA	18.95	18.85	18.90	0.89	16.82	**AVERAGE GRADE**		
			TOTAL	36.58	699.85		**19.13**	

RE-ISSUED FOR DP
MAR 02, 2021

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Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
AVERAGE GRADE

REV. NO.	DESCRIPTION	DATE
4	NO CHANGES	MAR 2/21

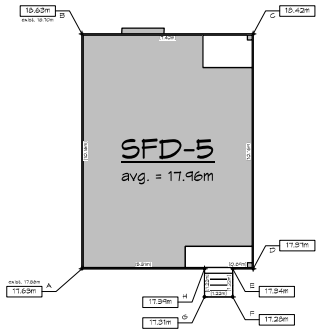
Revision:
Rev 1, MAY 24/20
Rev 2, OCT 19/20
Rev 3, JAN 13/21
Rev 4, MAR 02/21

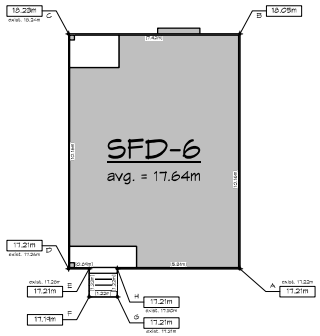
Sheet:
DP02

Proj.No. #####

SFD 5 - Average Grade Calculation

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	17.63	18.63	18.13	10.16	184.20	675.28	37.60	17.960
BC	18.63	18.42	18.53	7.42	137.46			
CD	18.42	17.37	17.90	10.16	181.81			
DE	17.37	17.34	17.36	0.89	15.45			
EF	17.34	17.28	17.31	1.22	21.12			
FG	17.28	17.31	17.30	1.22	21.10			
GH	17.31	17.39	17.35	1.22	21.17			
HA	17.39	17.63	17.51	5.31	92.98	**AVERAGE GRADE**		
			TOTAL	37.60	675.28		**17.96**	



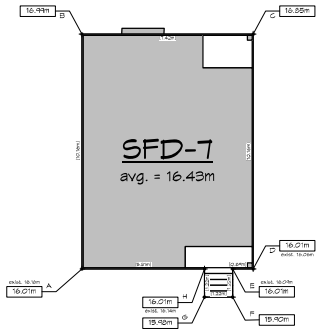


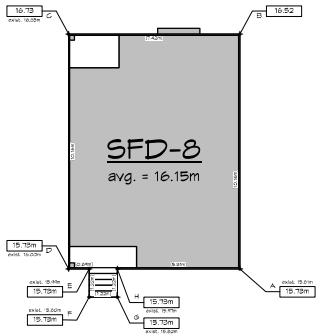
SFD 6 - Average Grade Calculation

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	17.21	18.05	17.63	10.16	179.12	663.42	37.60	17.644
BC	18.05	18.23	18.14	7.42	134.60			
CD	18.23	17.21	17.72	10.16	180.04			
DE	17.21	17.21	17.21	5.31	91.39			
EF	17.21	17.19	17.20	1.22	20.98			
FG	17.19	17.21	17.20	1.22	20.98			
GH	17.21	17.21	17.21	1.22	21.00			
HA	17.21	17.21	17.21	0.89	15.32	**AVERAGE GRADE**		
			TOTAL	37.60	663.42		**17.64**	

SFD 7 - Average Grade Calculation

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	16.01	16.99	16.50	10.16	167.64	617.80	37.60	16.431
BC	16.99	16.85	16.92	7.42	125.55			
CD	16.85	16.01	16.43	10.16	166.93			
DE	16.01	16.01	16.01	0.89	14.25			
EF	16.01	15.90	15.96	1.22	19.47			
FG	15.90	15.98	15.94	1.22	19.45			
GH	15.98	16.01	16.00	1.22	19.51			
HA	16.01	16.01	16.01	5.31	85.01	**AVERAGE GRADE**		
			TOTAL	37.60	617.80		**16.43**	





SFD 8 - Average Grade Calculation

SEGMENT	Start	Finish	Average	Distance	Factor	Total Factors	Perimeter	Average grade (total factors / perimeter)
AB	15.73	16.52	16.13	10.16	163.83	607.18	37.60	16.148
BC	16.52	16.73	16.63	7.42	123.36			
CD	16.73	15.73	16.23	10.16	164.90			
DE	15.73	15.73	15.73	0.89	14.00			
EF	15.73	15.73	15.73	1.22	19.19			
FG	15.73	15.73	15.73	1.22	19.19			
GH	15.73	15.73	15.73	1.22	19.19			
HA	15.73	15.73	15.73	5.31	83.53	**AVERAGE GRADE**		
			TOTAL	37.60	607.18		**16.15**	

REV. NO.	DESCRIPTION	DATE
4	NO CHANGES	MAR 2/21

RE-ISSUED FOR DP
MAR 02, 2021

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Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
AVERAGE GRADE

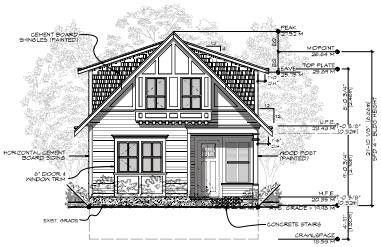
Revision:
Rev 1, MAY 29/20
Rev 2, OCT 19/20
Rev 3, JAN 13/21
Rev 4, MAR 02/21

Sheet:
DP03

Proj.No. #####

SFD 1

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.64 M (18.52')
EXPOSED BUILDING FACE AREA	44.59 M2 (480.00 SF)
GLAZING AREA	6.31 M2 (68.00 SF)
PERCENTAGE	14.15% (ALLOWED 51.78%)



FRONT (E) ELEVATION
Scale: 1:100

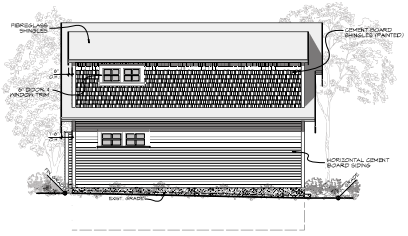
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	59.08 M2 (636.00 SF)
GLAZING AREA	3.34 M2 (36.00 SF)
PERCENTAGE	5.65% (ALLOWED 25.68%)

SIDE (N) ELEVATION
Scale: 1:100

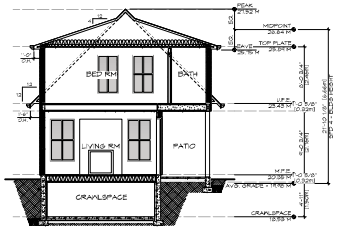
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.68 M (18.63')
EXPOSED BUILDING FACE AREA	42.17 M2 (454.00 SF)
GLAZING AREA	7.06 M2 (76.00 SF)
PERCENTAGE	16.74% (ALLOWED 52.36%)

REAR (W) ELEVATION
Scale: 1:100

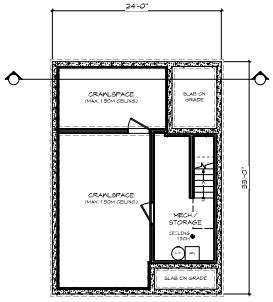
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	59.08 M2 (636.00 SF)
GLAZING AREA	1.39 M2 (15.00 SF)
PERCENTAGE	2.35% (ALLOWED 8.00%)



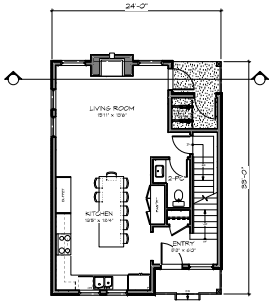
SIDE (S) ELEVATION
Scale: 1:100



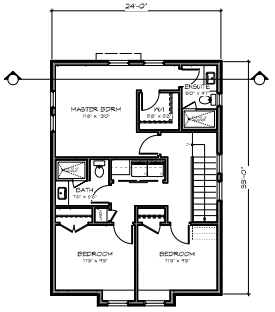
SECTION
Scale: 1:100



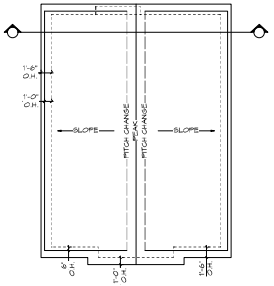
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

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Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
FLOOR PLANS & ELEVATIONS - SFD 1

Revision:
Rev 1, MAY 29/20
Rev 2, OCT 19/20
Rev 3, JAN 13/21
Rev 4, MAR 02/21

Sheet:
DP04

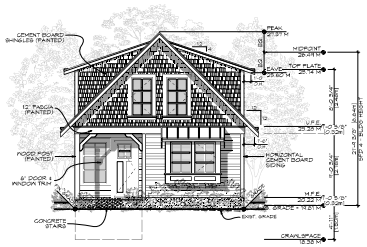
Proj.No. #####

REV. NO.	DESCRIPTION	DATE
4	3. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21

SFD 1

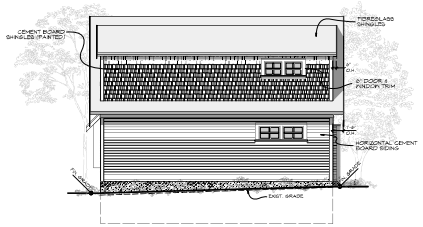
SFD 2

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.42 M (17.78')
EXPOSED BUILDING FACE AREA	44.22 M2 (476.00 SF)
GLAZING AREA	6.31 M2 (68.00 SF)
PERCENTAGE	14.26% (ALLOWED 48.54%)



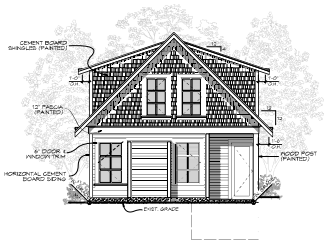
FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	59.36 M2 (639.00 SF)
GLAZING AREA	1.39 M2 (15.00 SF)
PERCENTAGE	2.34% (ALLOWED 8.00%)



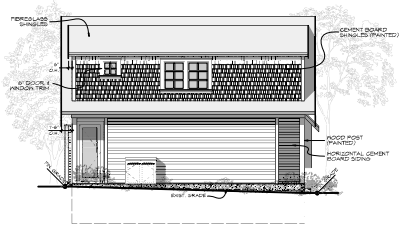
SIDE (N) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	4.84 M (15.87')
EXPOSED BUILDING FACE AREA	42.17 M2 (454.00 SF)
GLAZING AREA	5.66 M2 (61.00 SF)
PERCENTAGE	13.74% (ALLOWED 40.18%)

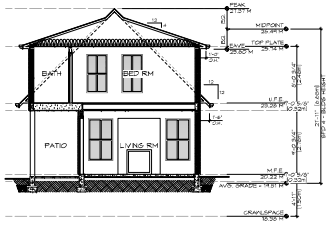


REAR (W) ELEVATION
Scale: 1:100

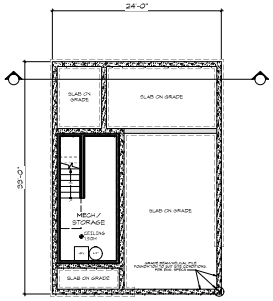
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	59.36 M2 (639.00 SF)
GLAZING AREA	3.34 M2 (36.00 SF)
PERCENTAGE	5.62% (ALLOWED 13.32%)



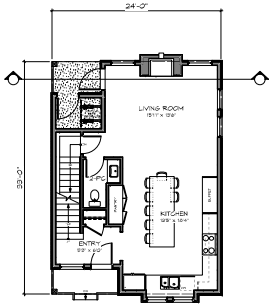
SIDE (S) ELEVATION
Scale: 1:100



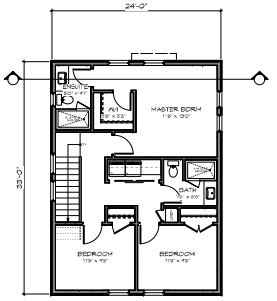
SECTION
Scale: 1:100



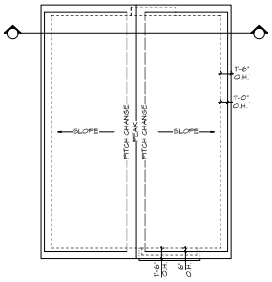
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

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Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
FLOOR PLANS & ELEVATIONS - SFD 2

REV. NO.	DESCRIPTION	DATE
4	4. GLAZING CALCULATION ADDED TO ELEVATIONS 5. CRAWLSPACE REVISED TO SUIT GRADE BEAM/ HELICAL PILE FOUNDATION 6. GRADE BEAM/ HELICAL PILE NOTE ADDED TO CRAWLSPACE PLAN	MAR 2/21

Revision:
Rev 1: MAY 29/20
Rev 2: OCT 19/20
Rev 3: JAN 13/21
Rev 4: MAR 02/21

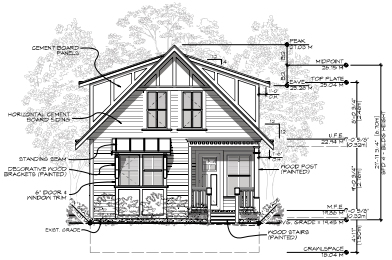
Sheet:
DP05

Proj.No. #####

SFD 2

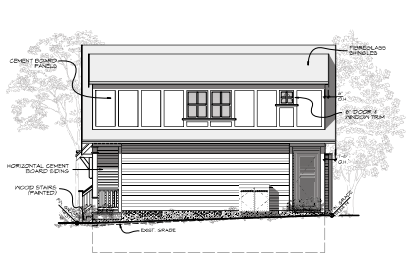
SFD 3

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.64 M (18.52')
EXPOSED BUILDING FACE AREA	44.59 M2 (480.00 SF)
GLAZING AREA	6.31 M2 (68.00 SF)
PERCENTAGE	14.15% (ALLOWED 51.78%)



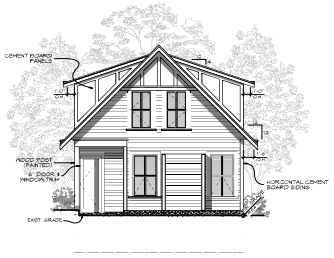
FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	59.64 M2 (642.00 SF)
GLAZING AREA	3.34 M2 (36.00 SF)
PERCENTAGE	5.60% (ALLOWED 25.68%)



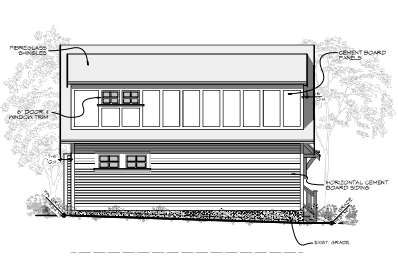
SIDE (N) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.42 M (17.78')
EXPOSED BUILDING FACE AREA	42.17 M2 (454.00 SF)
GLAZING AREA	7.06 M2 (76.00 SF)
PERCENTAGE	16.74% (ALLOWED 48.59%)

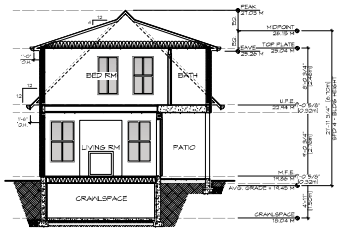


REAR (W) ELEVATION
Scale: 1:100

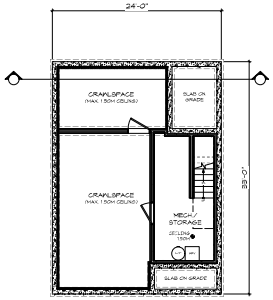
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	59.64 M2 (642.00 SF)
GLAZING AREA	1.39 M2 (15.00 SF)
PERCENTAGE	2.33% (ALLOWED 8.00%)



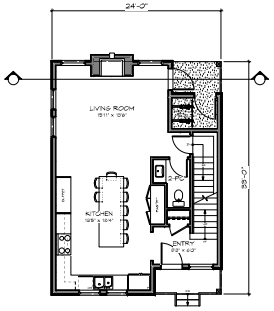
SIDE (S) ELEVATION
Scale: 1:100



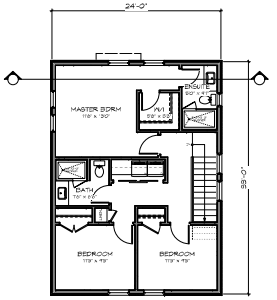
SECTION
Scale: 1:100



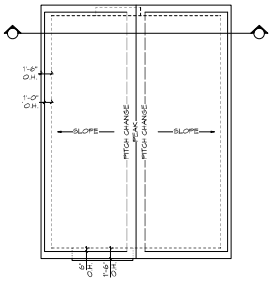
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
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Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
FLOOR PLANS & ELEVATIONS - SFD 3

REV. NO.	DESCRIPTION	DATE
4	7. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21

Revision:
Rev 1, MAY 29/20
Rev 2, OCT 19/20
Rev 3, JAN 13/21
Rev 4, MAR 02/21

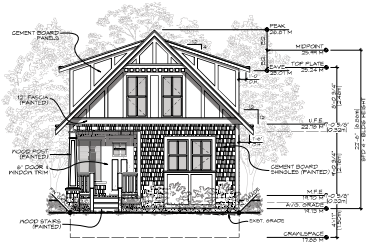
Sheet:
DP06

Proj.No. #####

SFD 3

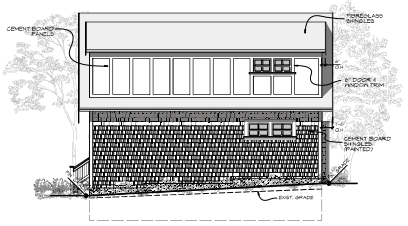
SFD 4

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.64 M (18.52')
EXPOSED BUILDING FACE AREA	45.98 M2 (495.00 SF)
GLAZING AREA	6.50 M2 (70.00 SF)
PERCENTAGE	14.13% (ALLOWED 51.78%)



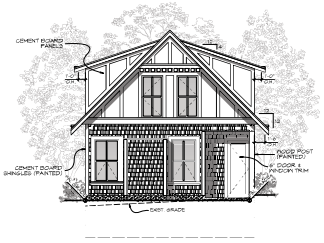
FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	60.57 M2 (652.00 SF)
GLAZING AREA	1.39 M2 (15.00 SF)
PERCENTAGE	2.29% (ALLOWED 8.00%)



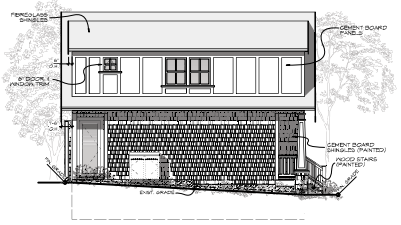
SIDE (N) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.47 M (17.94')
EXPOSED BUILDING FACE AREA	42.17 M2 (454.00 SF)
GLAZING AREA	5.94 M2 (64.00 SF)
PERCENTAGE	14.08% (ALLOWED 49.32%)

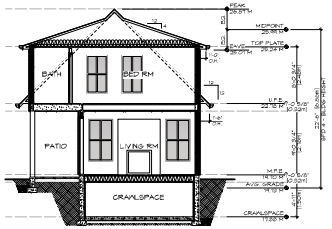


REAR (W) ELEVATION
Scale: 1:100

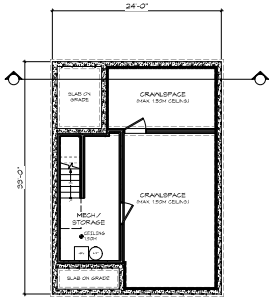
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	60.57 M2 (652.00 SF)
GLAZING AREA	3.34 M2 (36.00 SF)
PERCENTAGE	5.30% (ALLOWED 13.32%)



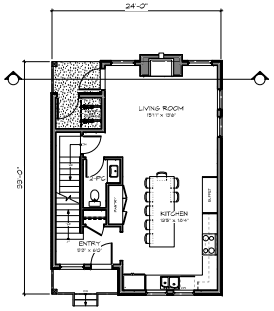
SIDE (S) ELEVATION
Scale: 1:100



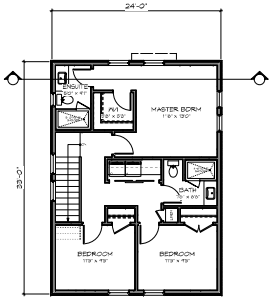
SECTION
Scale: 1:100



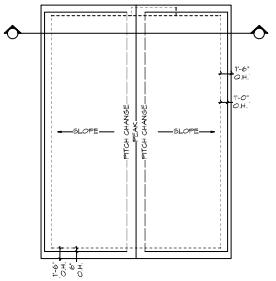
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

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Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
FLOOR PLANS & ELEVATIONS - SFD 4

REV. NO.	DESCRIPTION	DATE
4	3. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21

Revision:
Rev 1, MAY 29/20
Rev 2, OCT 19/20
Rev 3, JAN 13/21
Rev 4, MAR 02/21

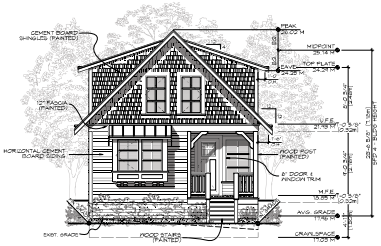
Sheet:
DP07

Proj.No. #####

SFD 4

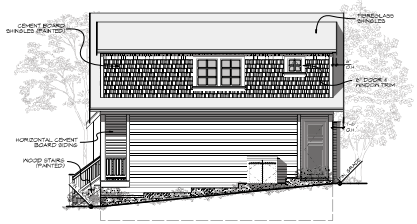
SFD 5

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.49 M (18.02')
EXPOSED BUILDING FACE AREA	49.42 M2 (532.00 SF)
GLAZING AREA	8.31 M2 (68.00 SF)
PERCENTAGE	12.76% (ALLOWED 49.61%)



FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	62.98 M2 (678.00 SF)
GLAZING AREA	3.34 M2 (36.00 SF)
PERCENTAGE	5.30% (ALLOWED 13.32%)

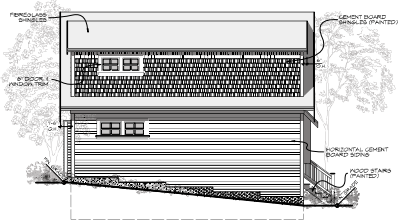


SIDE (N) ELEVATION
Scale: 1:100

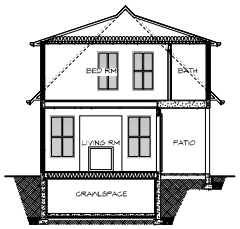
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.64 M (18.52')
EXPOSED BUILDING FACE AREA	42.17 M2 (454.00 SF)
GLAZING AREA	7.06 M2 (76.00 SF)
PERCENTAGE	16.74% (ALLOWED 51.78%)

REAR (W) ELEVATION
Scale: 1:100

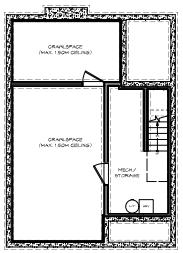
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	62.98 M2 (678.00 SF)
GLAZING AREA	1.39 M2 (15.00 SF)
PERCENTAGE	2.20% (ALLOWED 8.00%)



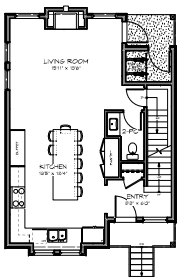
SIDE (S) ELEVATION
Scale: 1:100



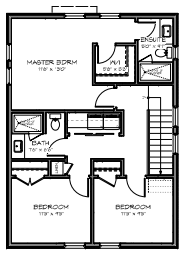
SECTION
Scale: 1:100



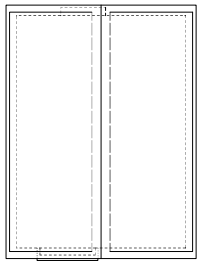
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

ZEBRADESIGN
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Phone: (250) 360-2144
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Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
FLOOR PLANS & ELEVATIONS - SFD 5

REV. NO.	DESCRIPTION	DATE
4	4. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21

Revision:
Rev 1, MAY 29/20
Rev 2, OCT 15/20
Rev 3, JAN 13/21
Rev 4, MAR 02/21

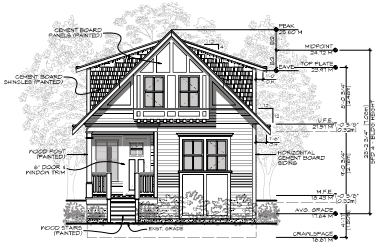
Sheet:
DP08

Proj.No. #####

SFD 5

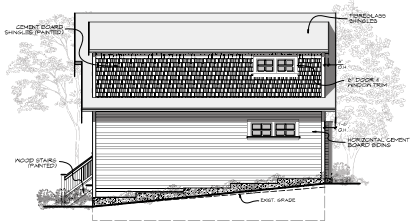
SFD 6

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.42 M (17.78')
EXPOSED BUILDING FACE AREA	49.47 M2 (532.50 SF)
GLAZING AREA	5.85 M2 (63.00 SF)
PERCENTAGE	11.82% (ALLOWED 48.54%)



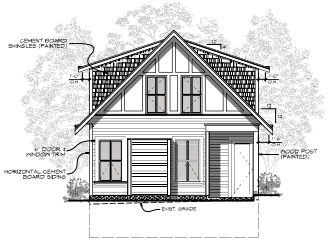
FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	62.98 M2 (678.00 SF)
GLAZING AREA	1.39 M2 (15.00 SF)
PERCENTAGE	2.20% (ALLOWED 8.00%)



SIDE (N) ELEVATION
Scale: 1:100

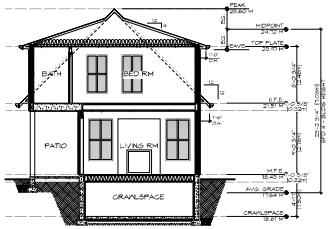
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.64 M (18.52')
EXPOSED BUILDING FACE AREA	42.17 M2 (454.00 SF)
GLAZING AREA	5.66 M2 (61.00 SF)
PERCENTAGE	13.42% (ALLOWED 51.78%)



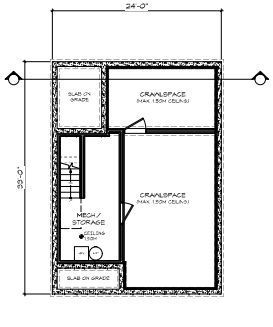
REAR (W) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	62.98 M2 (678.00 SF)
GLAZING AREA	3.34 M2 (36.00 SF)
PERCENTAGE	5.30% (ALLOWED 13.32%)

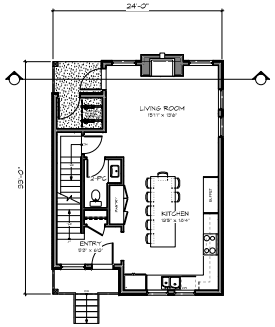
SIDE (S) ELEVATION
Scale: 1:100



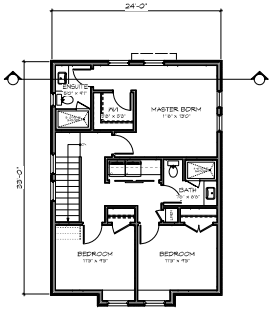
SECTION
Scale: 1:100



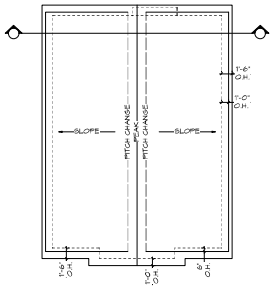
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

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Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
FLOOR PLANS & ELEVATIONS - SFD 6

REV. NO.	DESCRIPTION	DATE
4	10. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21

Revision:
Rev 1: MAY 29/20
Rev 2: OCT 19/20
Rev 3: JAN 13/21
Rev 4: MAR 02/21

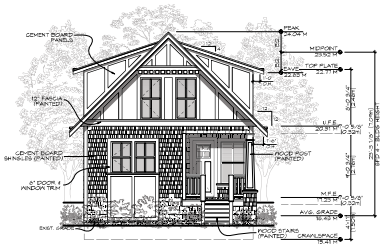
Sheet:
DP09

Proj.No. #####

SFD 6

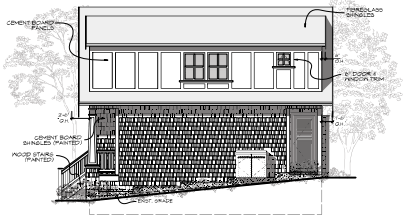
SFD 7

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	62.98 M2 (678.00 SF)
GLAZING AREA	9.34 M2 (96.00 SF)
PERCENTAGE	5.30% (ALLOWED 13.32%)



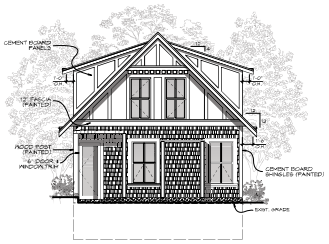
FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.42 M (17.78')
EXPOSED BUILDING FACE AREA	42.17 M2 (454.00 SF)
GLAZING AREA	5.94 M2 (64.00 SF)
PERCENTAGE	14.08% (ALLOWED 48.54%)

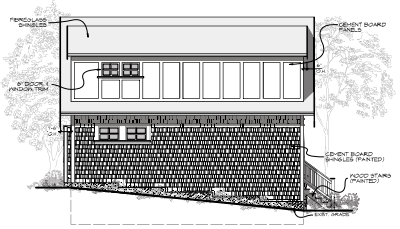


SIDE (N) ELEVATION
Scale: 1:100

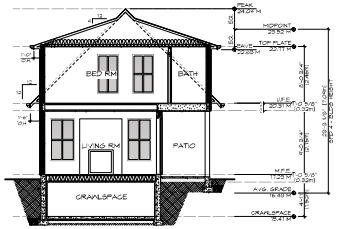
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	62.98 M2 (678.00 SF)
GLAZING AREA	1.39 M2 (15.00 SF)
PERCENTAGE	2.20% (ALLOWED 8.00%)



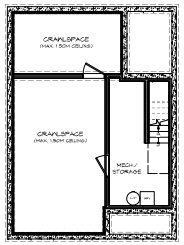
REAR (W) ELEVATION
Scale: 1:100



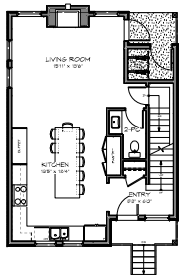
SIDE (S) ELEVATION
Scale: 1:100



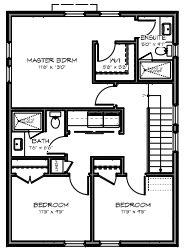
SECTION
Scale: 1:100



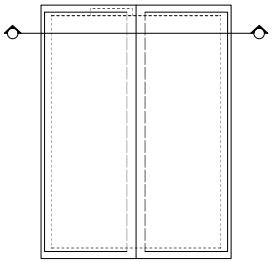
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

ZEBRADESIGN

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Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
FLOOR PLANS & ELEVATIONS - SFD 7

Revision:
Rev 1: MAY 29/20
Rev 2: OCT 19/20
Rev 3: JAN 13/21
Rev 4: MAR 02/21

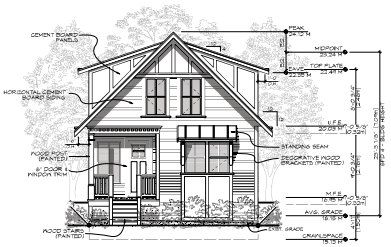
Sheet:
DP10

Proj.No. #####

REV. NO.	DESCRIPTION	DATE
4	11. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21

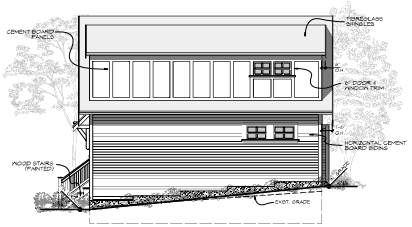
SFD 7

SFD 8



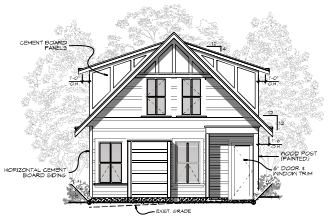
FRONT (E) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	1.50 M (4.92')
EXPOSED BUILDING FACE AREA	62.98 M2 (678.00 SF)
GLAZING AREA	1.39 M2 (15.00 SF)
PERCENTAGE	2.20% (ALLOWED 8.00%)



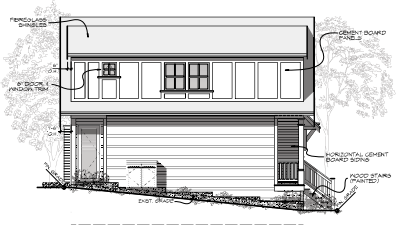
SIDE (N) ELEVATION
Scale: 1:100

MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	5.42 M (17.78')
EXPOSED BUILDING FACE AREA	42.17 M2 (454.00 SF)
GLAZING AREA	5.66 M2 (61.00 SF)
PERCENTAGE	13.42% (ALLOWED 48.59%)

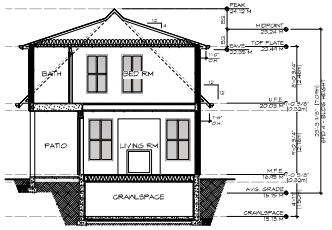


REAR (W) ELEVATION
Scale: 1:100

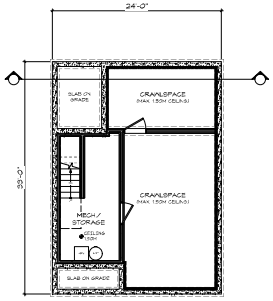
MAXIMUM GLAZING CALCULATION	
DISTANCE TO PROPERTY LINE	2.96 M (9.71')
EXPOSED BUILDING FACE AREA	62.98 M2 (678.00 SF)
GLAZING AREA	3.34 M2 (36.00 SF)
PERCENTAGE	5.30% (ALLOWED 13.32%)



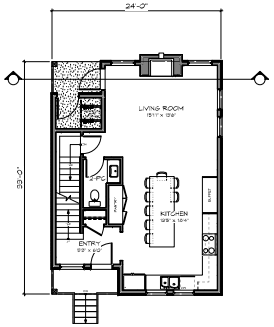
SIDE (S) ELEVATION
Scale: 1:100



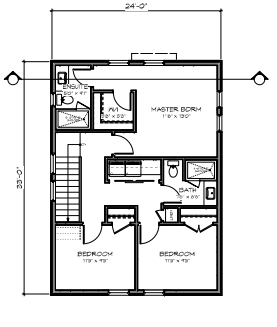
SECTION
Scale: 1:100



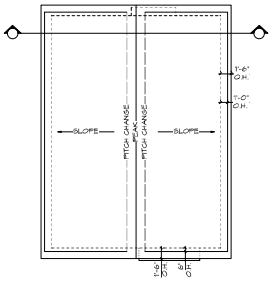
CRAWLSPACE
Scale: 1:100



MAIN FLOOR
Scale: 1:100



UPPER FLOOR
Scale: 1:100



ROOF PLAN
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

ZEBRADESIGN

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Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

Title:
FLOOR PLANS & ELEVATIONS - SFD 8

Revision:
Rev 1: MAY 29/20
Rev 2: OCT 19/20
Rev 3: JAN 13/21
Rev 4: MAR 02/21

Sheet:
DP11

Proj.No. #####

REV. NO.	DESCRIPTION	DATE
4	12. GLAZING CALCULATION ADDED TO ELEVATIONS	MAR 2/21

SFD 8

STREETSCAPE
Scale: 1:85

RE-ISSUED FOR DP
MAR 02, 2021

REV. NO.	DESCRIPTION	DATE
4	NO CHANGES	MAR 2/21

ZEBRADESIGN
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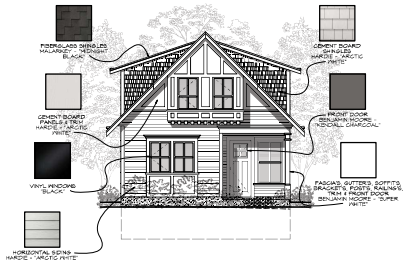
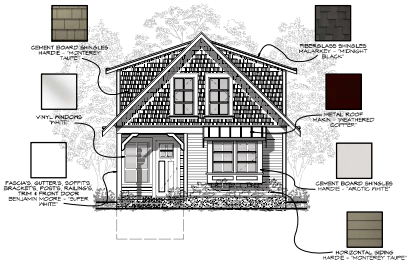
Drawn By: C.C.
Date: JUNE 24, 2020
Scale: AS NOTED
Project:
3120 WASHINGTON AVENUE - REZONING
Title:
STREETSCAPE
Revision:
Rev.1: MAY 29/20
Rev.2: OCT 19/20
Rev.3: JAN 13/21
Rev.4: MAR 02/21
Sheet:
DP12
Proj.No. #####



SFD-1 COLOURS
Scale: 1:100



SFD-2 COLOURS
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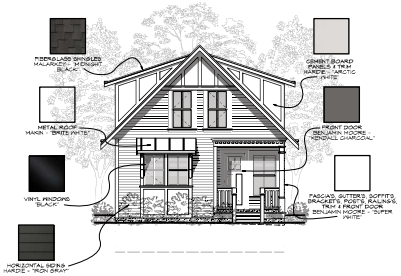
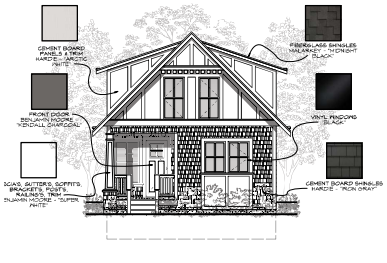
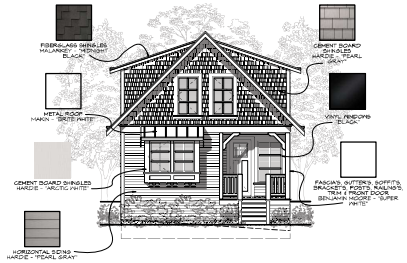


SFD-3 COLOURS
Scale: 1:100

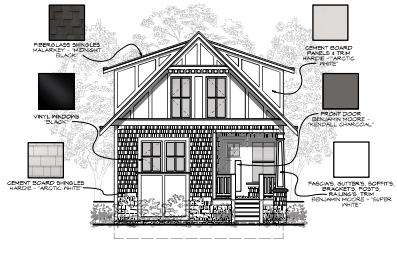


SFD-4 COLOURS
Scale: 1:100



SFD-5 COLOURS
Scale: 1:100

SFD-6 COLOURS
Scale: 1:100



SFD-7 COLOURS
Scale: 1:100

SFD-8 COLOURS
Scale: 1:100

RE-ISSUED FOR DP
MAR 02, 2021

ZEBRADESIGN

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Drawn By: C.C.

Date: JUNE 24, 2020

Scale: AS NOTED

Project:
3120 WASHINGTON AVENUE - REZONING

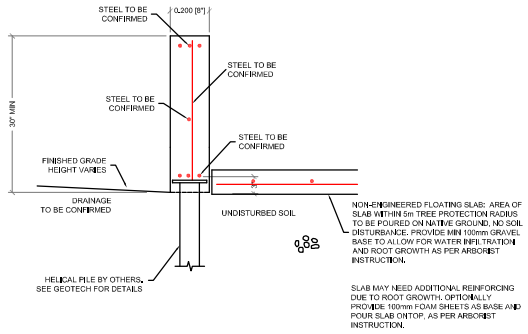
Title:
COLOUR BOARD

REV. NO.	DESCRIPTION	DATE
4	NO CHANGES	MAR 2/21

Revision:
Rev 1: MAY 29/20
Rev 2: OCT 19/20
Rev 3: JAN 13/21
Rev 4: MAR 02/21

Sheet:
DP13

Proj.No. #####



1/S1 GRADE BEAM & PILES
1/2"=1'-0"

210216

no.	date	revision
01	210216	DRAINAGE ALTERED

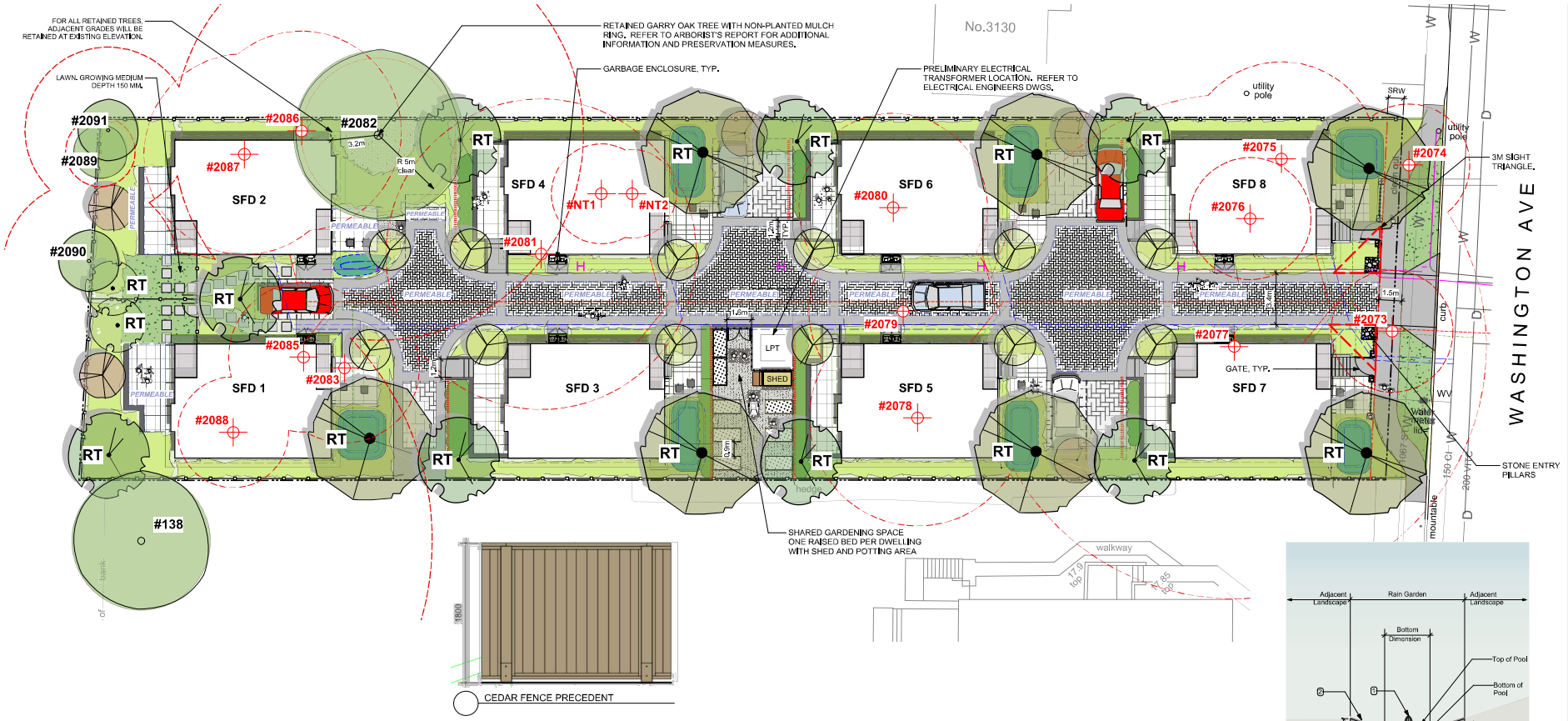
HOEL ENGINEERING LTD
2B-40 CADILAC AVE
VICTORIA B.C.
Phone (250) 475-6906
ekyle@hoel.bc.ca

CITY OF VICTORIA

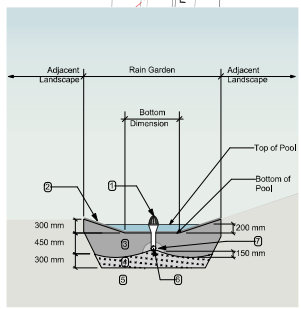
project title
3120 WASHINGTON STREET
Victoria, BC

sheet title
GENERAL
Details

scale	drawn	sheet no.
As shown	ESK	S-A
date	project no.	
210216	-	



CEDAR FENCE PRECEDENT



RAIN GARDEN MATERIALS
1. Overflow drain, 200 mm domed grate + adapter
2. Composted mulch, 50 -70 mm depth
3. Bio-retention growing medium, 450 mm depth
4. Scarified/tilled subgrade, 300 mm depth
5. Existing subgrade/native material
6. 100 mm diameter (min) perforated pipe
7. 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden
Scale: 1:50

LEGEND

PROPERTY LINE

25.20 EX — REFER TO ARCH. DRAWINGS FOR GRADING INFO

28.50

LANDSCAPE MATERIALS

CEDAR FENCE, 1.8M HIGH TO LOCAL BYLAWS.

PRIVACY SCREEN, 1.5M HIGH, MIXED MEMBER VERTICAL SLATS TO COMPLEMENT ARCHITECTURE.

WOOD PICKET FENCE, 1.2M HIGH.

PATIO UNIT PAVING
600x600 HYDRAPRESSED SLAB, TEXADA, STACK BOND, CHARCOAL COLOUR.
regular | pervious

VEHICULAR UNIT PAVING
225x112 STANDARD PAVERS, 90°HERRINGBONE PATTERN C/W SOLDIER COURSE BORDER. MIX 40% NATURAL, 40% SHADOW, 20% CHARCOAL COLOURS.
regular | pervious

CONCRETE DRIVEWAY BANDING AND PATHS, BROOM FINISH C/W TOOLED JOINTS.

GRANULAR PATH

LAWN AREA

SEATING WALL, MODULAR PRE-CAST UNITS C/W CAP STONE.

ENTRY FEATURE, STONE MASONRY OR SIMILAR. DESIGN T.B.D.

SEATING QUARTERS, NATURAL STONE.

STEPPING STONES THROUGH LANDSCAPE.

RAISED GARDEN BED, CEDAR CONSTRUCTION.

SHRUB PLANTING AREA
ORNAMENTAL AND AMENITY PLANTINGS. SPECIES TO INCLUDE NATIVE AND APPROPRIATE NON-NATIVE SPECIES THAT ARE ADAPTED TO SITE CONDITIONS, CLIMATE AND DESIGN INTENT.

PRIVACY HEDGE

RAIN GARDEN AREA
CAPTURES, SLOWS AND TREATS (CLEAN) STORMWATER RUNOFF FROM BUILDING ROOFS AND HARD SURFACES.

PROPOSED TREES

DESIGNATED REPLACEMENT TREE

RETAINED TREE

(CROWN SPREAD SHOWN INDICATIVELY)
CRITICAL ROOT ZONE

REMOVED TREE

CRITICAL ROOT ZONE

REFER TO L1.03 TREE PRESERVATION PLAN FOR ADDITIONAL INFORMATION.

DRAWING NOTES
1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

rev no	description	date
4	DP REV.3	25 JAN. 2021
3	DP REV.2	13 OCT. 2020
2	DP REV.1	30 JUNE 2020
1	DP	20 FEB. 2020

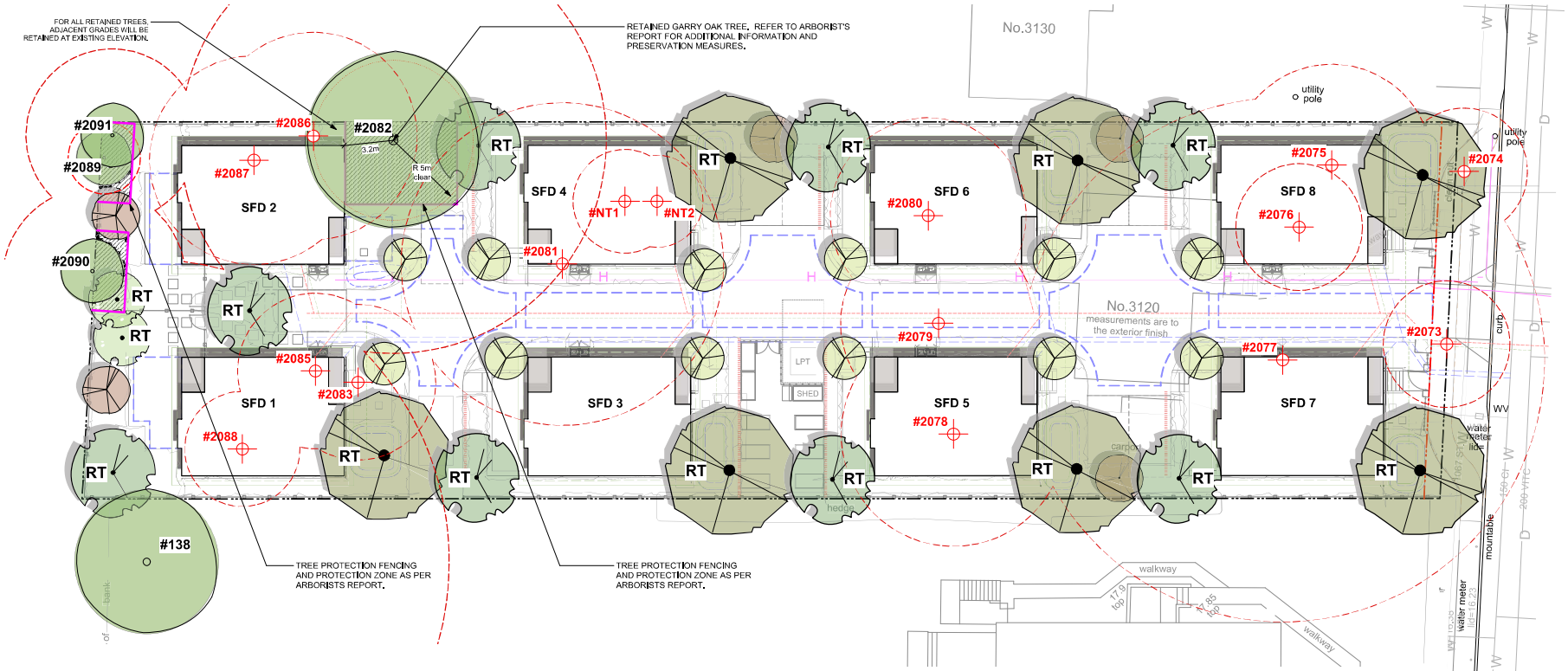
103 - 924 Caledonia Road
Victoria, BC V8Z 1G1
Phone: 250.412.2661
Fax: 250.412.2662

client
CUBE DEVELOPMENTS
2272 MILLSTREAM ROAD
VICTORIA, BC

project
3120 WASHINGTON AVENUE DEVELOPMENT
VICTORIA, BC

sheet title
Landscape Materials

project no.		120.03
scale	1:125	@ 24"x36"
drawn by		MDI
checked by		SM/PdG
revison no.	sheet no.	
4		L1.01



TREE SUMMARY

BYLAW PROTECTED TREES REMOVED:	8
REPLACEMENT TREES:	16
TOTAL NEW TREES PROPOSED ONSITE:	34

REPLACEMENT TREE RATIO = 2:1 AS PER CITY OF VICTORIA BYLAWS. REFER L3.01 PLANTING PLANS FOR ADDITIONAL INFORMATION.

TREES WILL BE OF THE APPROPRIATE SCALE, SPECIES AND LOCATION TO MEET THE CITY OF VICTORIA REQUIREMENTS. FINAL SPECIES TO BE DETERMINED IN CONSULTATION WITH CITY OF VICTORIA PARKS STAFF.

REFER TO ARBORIST'S REPORT & TREE INVENTORY FOR ADDITIONAL INFORMATION.

RT — **PROPOSED TREES**

DESIGNATED REPLACEMENT TREE

RETAINED TREE

(CROWN SPREAD SHOWN INDICATIVELY)
CRITICAL ROOT ZONE

REMOVED TREE

CRITICAL ROOT ZONE

TREE PROTECTION ZONE AS PER ARBORISTS REPORT.

TREE PROTECTION FENCING AS PER ARBORISTS REPORT.

REFER TO ARBORISTS REPORT FOR ADDITIONAL INFORMATION.

DRAWING NOTES

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0 5 10 m

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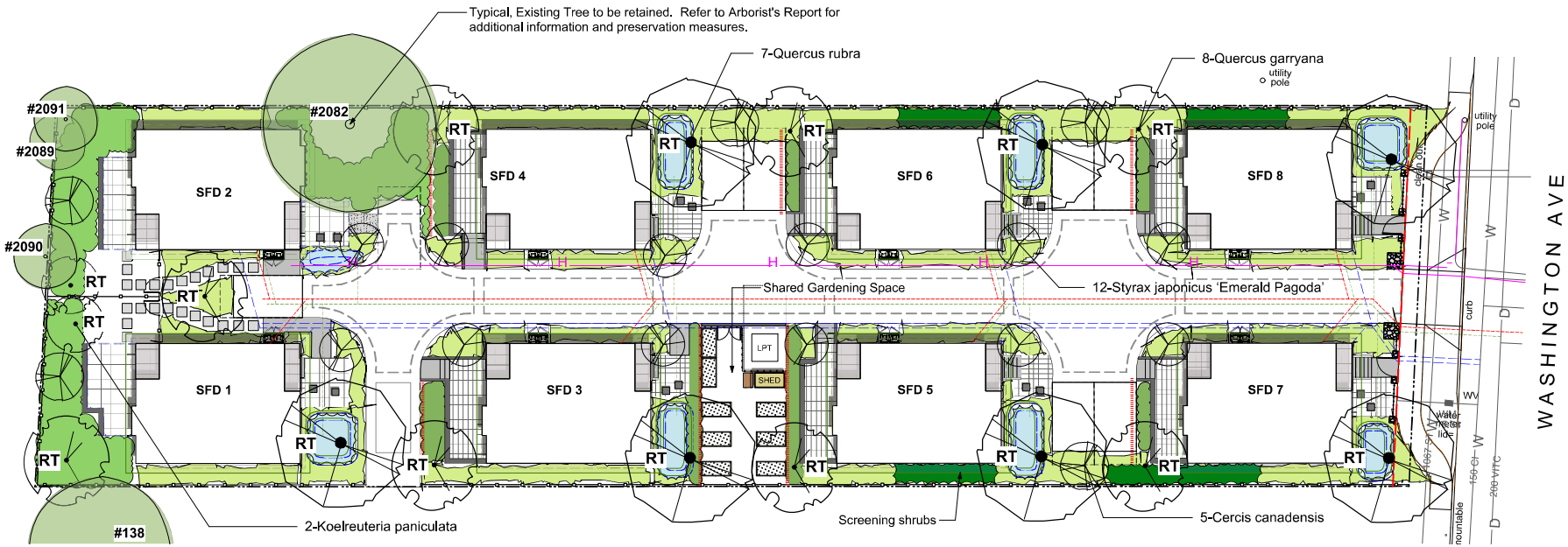
client
CUBE DEVELOPMENTS
2272 MILLSTREAM ROAD
VICTORIA, BC

project
3120 WASHINGTON AVENUE DEVELOPMENT
VICTORIA, BC

sheet title
Tree Preservation Plan

project no.		120.03
scale	1:125	@ 24"x36"
drawn by		MDI
checked by		SM/PdG
revison no.	sheet no.	
4		**L1.02**



LEGEND

Property line

PROPOSED VEGETATION

PLANT LIST

Sym	Qty	Botanical Name	Common Name	ichd. Size / Plant Spacing
TREES:				
	5	Cercis canadensis	Eastern Redbud	5.0cm cal, b&b
	2	Koelreuteria paniculata	Panicled Goldenraintree	5.0cm cal, b&b
	8	Quercus garryana	Garry Oak	5.0cm cal, b&b
	7	Quercus rubra	Red Oak	6.0cm cal, b&b
	12	Styrax japonicus 'Emerald Pagoda'	Japanese Snowbell	5.0cm cal, b&b
	0			

Hedge Plantings

Hybrid Yew (*Taxus x media)*
Boxwood (*Buxus microphylla)*

Rain Garden Plantings

Total area approx. 77 sq m. Planting areas planted @ 2 x #3 pots / sq. m.

Recommended Species:
Privet honeysuckle (*Lonicera pileata*)
Carman's Grey Blue Rush(*Juncus patens 'Carman's Grey'*)
Black-Eyed Susan (*Rudbeckia fulgida*)
Tall Verbena (*Verbena bonariensis*)
Crimson Flag (*Schizostyiis coccinea 'Oregon Sunset'*)

Naturalized Shrub Plantings

Total area approx. 90 sq m. Planting areas planted @ 1 x #5 pot OR 2 x #3 pots OR 3 x #1 pots / sq. m.

Recommended Species:
Sword fern (*Polystichum munitum*)
Oregon Grape (*Mahonia aquifolium)*
Salal *(Gaultheria shallon)*
Red Flowering Current *(Ribes sanguineum)*
Nootka Rose (*Rosa nutkana*)
Snowberry *(Symphoricarpos albus)*
Evergreen huckleberry (*Vaccinium ovatum*)

Mixed Shrub and Perennial Plantings

Total area approx. 340 sq m. Planting areas planted @ 2 x #3 pots OR 3 x #1 pots / sq. m.

Recommended Species:
Rose Creek Abelia *(Abelia x chinensis 'Rose Creek')*
Glacier Azalea *(Azalea japonica 'Glacier')*
Beautyberry *(Callicarpa bodinieri var. giraldii Profusion')*
Sageleaf Rockrose *(Cistus salviifolius)*
Witchhazel (*Hamamelis mollis*)
Strawberry Tree (*Arbutus Unedo*)
Barrenwort *(Epimedium x rubrum)*
Newport Dwarf Escallonia *(Escallonia 'Newport Dwarf')*
Topiarist's hebe *(Hebe topiaria)*
Lily turf *(Liriope muscari)*
Sword Fern *(Polystichum munitum)*
Soft Shield Fern *(Polystichum setiferum)*

0 5 10 m

RAIN WATER MANAGEMENT NOTES

Water collected from building roofs flow to the rain gardens located throughout the site or to permeable pavment in drive aisle.

The rain gardens are sized such that the bottom of the rain garden is a minimum of 5% of the impervious area. Rain gardens will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system.

Permeable paving is used to manage onsite vehicular impervious surfaces. All paths and where possible, residential patios will be drained towards absorbent landscape areas or rain gardens.

PLANTING RATIONALE

The planting plan is designed to meet the City's Food-Bearing, Pollinator and Native Plant Landscape Design Guidelines and offers a variety of ornamental and amenity planting areas with native and appropriate non-native species that are adapted to site conditions, climate and design intent and provide pollinator habitat.

SHARED GARDENING SPACE

The site plan includes a shared gardening space that includes one raised gardening box per dwelling unit, a small shed and potting area.

IRRIGATION AND LIGHTING NOTES

1. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
2. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown on plan.
3. Arborist to review (prior to installation) sleeving of irrigation lines in protected root zone (PRZ) of existing trees.
4. Placement of electrical conduit through site to be coordinated with arborist.
5. Arborist to be onsite and supervise all excavation/trenching within PRZ of retained trees.

GENERAL PLANTING NOTE

1. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.

BOULEVARD NOTES

1. Grass boulevard shall be in accordance with the Subdivision and Development Servicing Bylaw.
2. Landscape within boulevard areas to be irrigated (unless otherwise indicated).
3. Boulevard irrigation point of connection to be 19 mm service, refer to Civil drawings for location. Water meter and timer/controller, that is separate from building, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
4. Design and installation of boulevard irrigation system to meet current IIABC and Municipal Specifications.
5. Design/build drawings for boulevard irrigation to be submitted to Landscape Architect in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
6. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.

ONSITE TREE PLANTING NOTES

1. Trees are placed to avoid existing and proposed infrastructure. Trees planted within 1m of an underground service will have a root barrier installed between the root ball and the infrastructure. Final coordination of trees in relation to site servicing to be completed at the BP phase.

NOT FOR CONSTRUCTION

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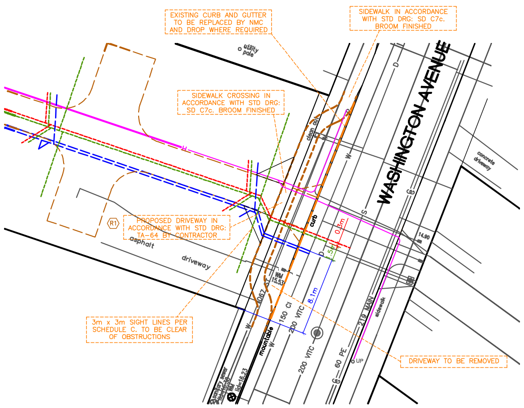
client
CUBE DEVELOPMENTS
2272 MILLSTREAM ROAD
VICTORIA, BC

project
3120 WASHINGTON AVENUE DEVELOPMENT
VICTORIA, BC

sheet title
Planting Plan

project no.		120.03
scale	1:125	@ 24"x36"
drawn by		MDI
checked by		SM/PdG
revison no.	sheet no.	
4		**L3.01**



SERVICES DIMENSIONS

SPECIFIC NOTES

LANDSCAPE

Trees Permit
Refer to Municipal Bylaws for details on tree protection, removal and permits required.

(L1) **Trees Protect**
Trees shown bold solid line to be RETAINED, and protection fencing installed as per Arborist Report, to be reviewed by Parks.

(L2) **Trees Remove**
Trees shown dotted red line to be removed

(L3) **New Trees** New tree to be provided by City at applicants expense. Location and tree specifications to be approved by City.

Trees Fence
All protected and new 'boulevard tree' protection areas to be provided with Tree Protection Fencing as specified and approved by the Arborist and Parks.

New 'boulevard tree' protection fencing to be 2.5x2.5m centered upon the proposed 'new' location

Trees Other
Private, boulevard and other protected trees that may or may not be shown are subject to municipal bylaw unless otherwise permitted by City Parks.

Arborist Coordination
The Arborist shall supervise all activities, excavation or disturbances that occur within the CRZ of any tree.

Pre-construction Meeting
A preconstruction meeting is to be conducted with City Parks, project constructors, project arborist, and engineers prior to any work being carried out.

Road Shoulder and Boulevard Restoration
All City boulevard areas to be fully restored as per the COV sudivision and development servicing by law no. 12-042

HYDRO AND TELECOM

(E1) **New**
Coordinate with Utilities for new utilities.

(G1) **GAS**
Caution: Gas services exist in the area.

Confirm cover depth OK with Fortis before construction

Contact BC One-Call **1-800-474-6886** for gas locate before excavation.

New gas line installation to be applied for by owner if so required, Shown schematically

ROAD

(R1) **Driveways**
Proposed DW location. Driveway Apron to be built in accordance with City of Victoria Standard Drawings TA-64

SEWER

(S1) **Existing**
Cap existing sewer connection by City at Applicants expense.

(S2) **New**
Provide new 150mm sewer connection and IC by City at Applicants expense.

(S3) Provide new 150mm sewer connection on site by contractor

DRAIN

(D1) **Existing**
Cap existing drain connection by City at Applicants expense.

(D2) **New**
Provide new 150mm drain connections and IC by City at Applicants expense.

(D3) Provide new 150mm drain connections on site by contractor

WATER

(W1) **Existing**
Existing water services to be DECOMISSIONED.

(W2) **New**
Provide new 50mm water services/meter AND new firefighting water service/meter by City at Applicants expense.

(W3) Provide new W-Conn on site by Contractor

GENERAL NOTES

DRAWING INFORMATION

Dimensions are metric; millimeters on Detail drawings; meters on 1:250 plan and profile, unless otherwise noted.

Information that is provided in our plans, designs, or specifications is intended to indicate the general arrangement of work to be carried out. As the project progresses, the degree of detail that is provided may require additions or deletions.

Existing service information within areas of construction may have been supplied by others and are approximate only, additional services may be present but not indicated on these drawings.

GENERAL REQUIREMENTS

Refer to Hoel Engineering's "Statement of Conditions" for additional information as to the use of these documents and construction of the works.

Refer to Architecture, Mechanical and Electrical drawings and specifications not covered on these drawings

Refer to City Standard Drawings and Specifications and permits, Master Municipal Construction Documents, latest edition, including Municipal Bylaws and addendums thereof, BC Hydro, Telus, Shaw and Fortis Gas drawings and specifications, and other agencies/ sub-consultants drawings and specifications for information not covered on these drawings.

All other construction, material and installation of services not covered specifically by the BC Building Code, BC Electrical Code, or by other bylaws or specifications shall be in general conformance with the Master MMCD specifications/standard detail drawings, and addendums.

Unless otherwise specified herein, all work within private property and easements to be installed in accordance with the BC Building Code and inspected by the Municipal Works Inspector.

COORDINATION REQUIREMENTS

Communication and Reporting
Contact BC One-Call prior to construction for for services locate. **1-800-474-6886**

The Contractor is to coordinate and communicate with the engineer, all utilities, and authorities having jurisdiction, well in advance (2-working days minimum) of the start of any excavation and commencement of each phase of construction.

The Contractor shall coordinate and schedule all sub-consultants, contractors and trades required for the completion of the works.

The Contractor shall provide the required quality control and conformance testing reports to the engineer at the completion of each phase of the work.

Permits
A Tree Bylaw Permit is to be obtained prior to any site activities.

A Permit to construct works on a Municipal Road Allowance must be obtained before works commence.

A permit to cross or work near Fortis Gas pipeline is required. Contact **1-877-599-0996**

Notification
A pre-construction meeting is required prior to the foundation pour to inspect on site soil conditions.

When giving advance notification, the contractor shall take into consideration the scheduling demand and prior commitments of all parties.

Failure to comply with these requirements may result in delays, rejection of the work, or expensive testing to prove compliance.

In the event that the contractor is not providing his own construction layout, the Engineer is to be notified by email or otherwise in writing at least 5 days before any construction layout is required.

The contractor shall notify the Engineer immediately if conditions are not favorable to the achievement of the design intent.

Change Requests
Contractor requested construction changes must be submitted and approved by the Engineer prior to implementation.

GENERAL CONSTRUCTION REQUIREMENTS

Public Access
Contractor to maintain vehicular access to existing houses.

Existing Services
Existing services must be exposed, locations and elevations confirmed by the Contractor prior to works commencement.

Services conflicts are to be reported to the Engineer immediately.

All services to be reinstated to buildings and infrastructure. Must be inspected by City and authorities having jurisdiction.

Contractor shall adjust all the services components to match finished grades.

Protection of Services
Contact BC One-Call prior to construction for for services locate. **1-800-474-6886**

Exposed service points such as IC pots, meters boxes and cleanouts to be provided with traffic bearing covers where subject to vehicle traffic.

Except where otherwise specified herein, provide Class B bedding under all sewers and drains using free draining 19mm crush gravel.

Provide full depth compacted gravel backfill in trenches through existing or foreseeable paved areas, footpaths or within 1m of the edge of a road or driveway.

All trenches and road structures are to be provided with properly compacted fills and backfills such that no settlement occurs during the service life of the project.

Testing Requirements
Conformance testing is to be provided by the contractors testing engineer for all road crossings, road base, concrete, and paving construction materials and as otherwise required by the City or the Engineer.

All testing is to be provided by the Contractor at the Contractors expense.

Miscellaneous
All public roads are to be maintained mud and dust free during construction.

KEY PLAN - NTS
Lot 7, Section 7A, Victoria District,Plan 431
PID 009-077-596
3120 WASHINGTON AVENUE

5 0 5 10 15 25

UTILITY CHECK TABLE

UTILITY	REPRESENTATIVE SIGNATURE	DATE
BC HYDRO		
TELUS		
SHAW		
FORTIS BC		
CITY OF VICT		

FINAL DRAWING TO HAVE LIVE SIGNATURE

ISSUED IN SUPPORT OF REZONING
CHECK REVISION AND RELEASE NUMBER FOR CURRENT PLAN

210202

PROFESSIONAL ENGINEER — PROVINCE OF BRITISH COLUMBIA — E. S. KYLE # 44451

SEAL

HOEL ENGINEERING LTD
2B-40 Cadillac Avenue, Victoria, BC
Canada V8Z 1T2

DESIGNED: ESK DATE: 210119	CHECKED: ESK 210119	DRAWN: ESK 210119	SCALE: 24X36 = H 1:250 V 1:50; 11X17 = H 1:500 V 1:100

Rev	Date	Description	Signature
01	201019	LPT ADDED	ESK
02	210119	BUILDING FP ALTERED AND TREE RADIUS ADDED	ESK
03	210202	DETAILED DESIGN	ESK
		R E V I S I O N S	

City of Victoria

SERVICING PLAN
FOR
Lot 7, Section 7A, Victoria District,Plan 431

3120 WASHINGTON AVENUE

PROJECT FILE	CITY FILE REFERENCE	DRAWING NUMBER
CV2007	NA	C1 of 3

DESTROY PRINTS BEARING EARLIER RELEASE No.

CIVIL - 3120 WASHINGTON AVE - ISSUED 210202

ON SITE STORMWATER MANAGEMENT (SWM) NOTES

CONTRACTORS OBLIGATION

Pre-Construction Meeting
The contractor must arrange with the engineer, a pre-construction meeting to review the SWM objectives before setting of ANY foundation or building perimeter drains.

Refer to GENERAL NOTES

Surface Water Control
Sources of upslope surface water that drain onto disturbed areas shall be intercepted and conveyed to a stabilized discharge point down slope of the disturbed areas.

Sediment Retention
During construction and establishment of vegetation and lawn, surface water run-off from disturbed areas of the project, OR any other source of sediment or pollutant laden water, shall not be routed through any stormwater management system. A sediment pond, trap, perimeter protection, such as silt fences, or other engineer approved surface treatments shall be used.

Commissioning of SWM systems
Temporary erosion and silt control treatments shall remain in place until the entire site has been stabilized and vegetation re-established.

SWM OBJECTIVES

General
All Lots shall be provided with stormwater management systems for roof and driveway surfaces.

This plan shows representative examples of typical SWM configurations for each lot.

The Owner and Contractor shall consult with the Engineer regarding the ultimate arrangement and scope of required SWM components.

Building Foundation Perimeter Drains
The Foundation Perimeter Drains (PD) from buildings shall be directly connected to the common or municipal drain connection as applicable, and not routed through the Roof or Driveway drain systems.

Foundation drains to be provided otherwise as required by the BC Building Code.

Building Roof Drains
The Roof Downspouts (RD) from dwellings are to be separate from the foundation perimeter drain and routed through the SWM systems prescribed herein.

On-Site Driveways
New driveway surface areas are to be permeable; clear crush gravel or permeable pavers unless otherwise approved by City.

Provide driveway surface and subgrade drainage as required to meet objectives.

Emergency storm overflows must be dispersed on-site.

SWM SYSTEM DESIGN NOTES

(40) FOUNDATION PERIMETER DRAINS
Provide drains substantially in accordance with the BC Plumbing Code unless otherwise approved by the engineer.

(41) ROOF DRAINS
Provide roof water leaders and perimeter roof drains substantially in accordance with the BC Building Code as shown on the Approved Building Plans unless otherwise approved by the engineer.

Direct 100mm roof water collection pipe to Rain Gardens as indicated.

Construction and Finishing
All building site perimeters are to be remediated with vegetation or lawn over a minimum of 150mm of free draining topsoil.

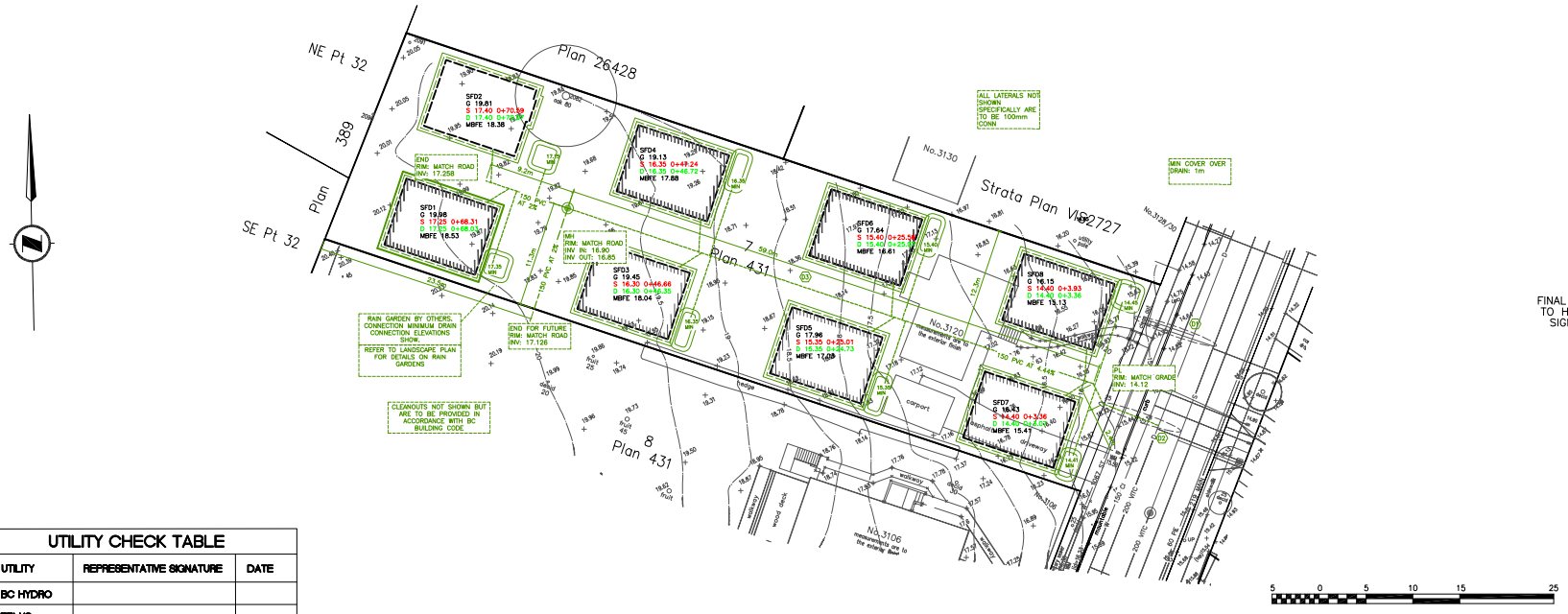
SPECIFIC NOTES

DRAIN

(01) Existing
Cap existing drain connection by City at Applicants expense.

(02) New
Provide new 150mm drain connection and IC by City at Applicants expense.

(03) Provide new 150mm drain connections on site by contractor



FINAL DRAWING TO HAVE LIVE SIGNATURE

ISSUED IN SUPPORT OF REZONING
CHECK REVISION AND RELEASE NUMBER FOR CURRENT PLAN

210202

PROFESSIONAL ENGINEER PROVINCE OF BRITISH COLUMBIA E. S. KYLE # 44451
SEAL

50 YEARS HOEL

HOEL ENGINEERING LTD
2B-40 Cadillac Avenue, Victoria, BC
Canada V8Z 1T2

DESIGNED: ESK DATE: 210119	CHECKED: ESK 210119	DRAWN: ESK 210119	SCALE: 24X36 = H 1:250 V 1:50 11X17 = H 1:500 V 1:100

Rev	Date	Description	Signature
01	201019	LPT ADDED	ESK
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REVISIONS

UTILITY CHECK TABLE

UTILITY	REPRESENTATIVE SIGNATURE	DATE
BC HYDRO		
TELUS		
SHAW		
FORTIS BC		
CITY OF VICT		

City of Victoria

SERVICING PLAN FOR
Lot 7, Section 7A, Victoria District, Plan 431

3120 WASHINGTON AVENUE

PROJECT FILE	CITY FILE REFERENCE	DRAWING NUMBER
CV2007	NA	C2 of 3

DESTROY PRINTS BEARING EARLIER RELEASE No.

CIVIL - 3120 WASHINGTON AVE - ISSUED 210202

SPECIFIC NOTES

SEWER

S1 Existing
Cap existing sewer connection by City at Applicants expense.

S2 New
Provide new 150mm sewer connection and IC by City at Applicants expense.

S3 Provide new 150mm sewer connection on site by contractor

FINAL DRAWING TO HAVE LIVE SIGNATURE

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CITY OF VICT		

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Rev	Date	Description	Signature
01	200319	LPT ADDED	ESK
02	210119	BUILDING FP ALTERED AND TREE RADIUS ADDED	ESK
03	210202	DETAILED DESIGN	ESK
		REVISIONS	

City of Victoria

SERVICING PLAN
FOR
Lot 7, Section 7A, Victoria District, Plan 431

3120 WASHINGTON AVENUE

PROJECT FILE	CITY FILE REFERENCE	DRAWING NUMBER
CV2007	NA	C3 of 3

DESTROY PRINTS BEARING EARLIER RELEASE No.

CIVIL – 3120 WASHINGTON AVE – ISSUED 210202

DUNSTER & ASSOCIATES
Environmental Consultants Ltd.

January 21, 2021

Scott Davies,
Cube Project Management Ltd.,
1605 - 728 Yates St., Victoria BC
V8W 0C8

Dear Mr. Davies.

As requested I have visited the site and reviewed the trees on site. Figure 1 is a survey plan of the trees. Table 1 provides details about each tree.

There are 11 bylaw sized trees on site. One tree (# 2074) is on City property. There is also a bylaw sized sequoia tree on the adjacent property in the south west corner. Two trees straddle the property line. One of those (# 2073) is between the site and City land. The other (# 2090) is at the west end of the site. The proposed works will require removal of all but four of the trees on site. That means removal of 16 trees, of which 8 are not protected trees, and 8 are protected trees. The four trees to be retained are one Garry Oak (# 2082), and 3 hawthorns ((#2089, #2090, #2091).

Table 1 provides details about the trees located. Specific actions for the trees to be retained are described below.

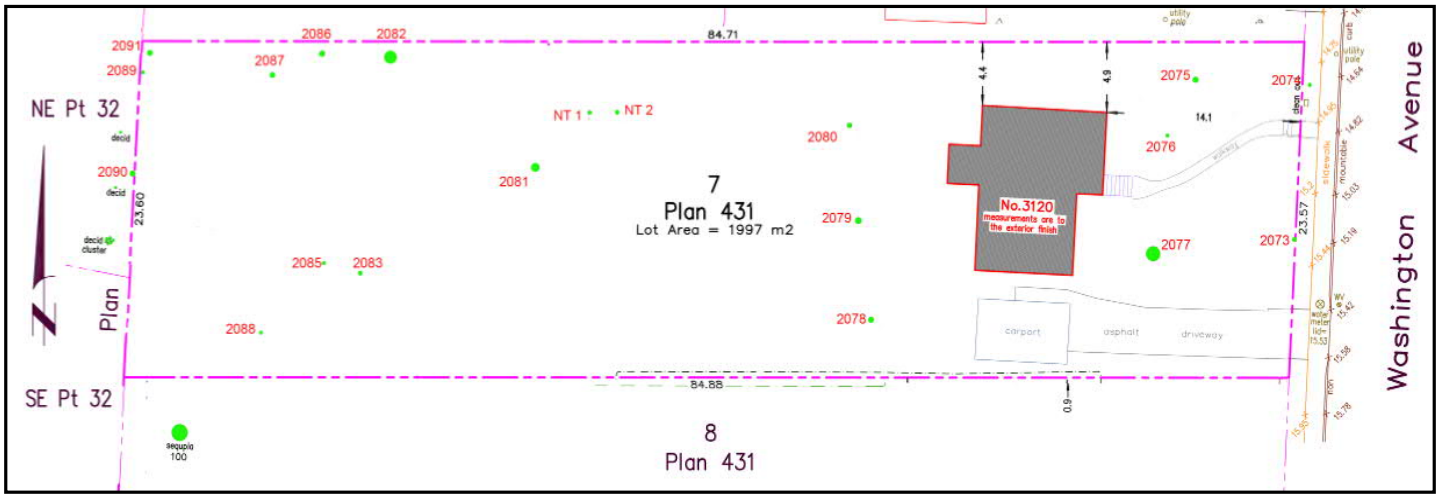

Figure 1. Location of trees on site.

Table 1. Details of the trees on site.

Tag #	Species	Trunk Diameter (cm)	TPZ radius (m)	Protected Tree (PT) Unprotected (UP)	Retain Y / N	Reason for removal	Comments
2073	Purple Leaf Plum	22	3.96	UP	N	Engineering upgrades	Street Tree. Poor condition
2074	Purple Leaf Plum	22	3.96	UP	N	Engineering upgrades	Straddles property line. Fair condition
2075	Blue spruce	35	6.30	PT	N	Within footprint of new design	Good condition
2076	Pine	22	3.96	UP	N	Within footprint of new design	
2077	Douglas-fir	67/40	16.38	PT	N	Within footprint of new design	Twin stems joined at 70 cm
2078	Pine	39	7.02	PT	N	Within footprint of new design	
2079	Pine	34	6.12	PT	N	Within footprint of new design	
2080	Pine	34	6.12	PT	N	Within footprint of new design	
2081	Pear	56	10.08	PT	N	Within footprint of new design	
NT 1	Apple	18	3.24	UP	N	Within footprint of new design	Poor condition
NT 2	Apple	16	2.88	UP	N	Within footprint of new design	Poor condition
2082	Garry Oak	74	13.32	PT	Y		
2083	Apple	27	4.86	UP	N	Within footprint of new design	
2085	Apple	18	4.86	UP	N	Within footprint of new design	
2086	Western Redcedar	36	6.48	PT	N	Within footprint of new design	
2087	Pear	29 / 12	6.52	PT	N	Within footprint of new design	
2088	Apple	20	3.60	UP	N	Within footprint of new design	
2089	Hawthorn	22/14	2.26	PT	Y		Multiple stems
2090	Hawthorn	18/14/9	5.72	PT	Y		Multiple stems - straddles property line
2091	Hawthorn	30	5.40	PT	Y		
138	Sequoia	105	18.90	PT	Y		Off site - considered for development impact

The Development Proposed

Figure 2 shows the footprints of the eight units planned. I have also included the tree protection zones for the trees to be retained. The three hawthorn trees along the west boundary (#2089, #2090, #2091) are all small and are also being retained. There may be a need to prune back some parts of them to clean them up after many years of bramble growth. Since that part of the site is a rear yard there will not be a major disturbance affecting them.

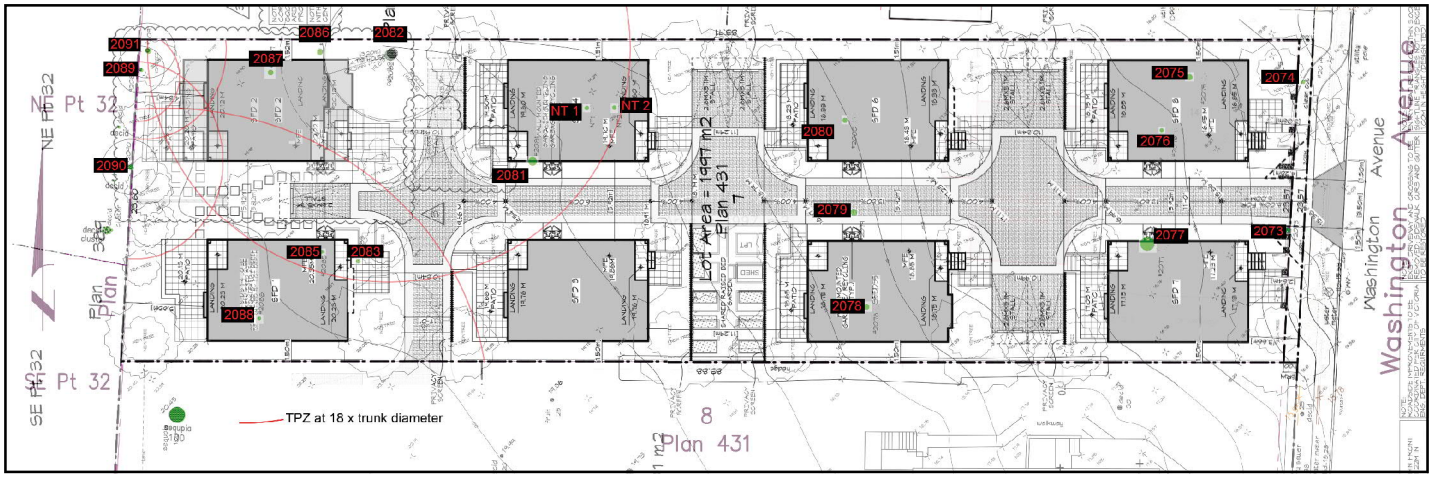

Figure 2. Proposed design with building footprints.

ACTION - install tree protection fencing

Before any other site work commences the hawthorn trees to be retained shall be fenced off at a distance of 1.0 metres from the base of trees # 2091. This fence shall extend to a distance of 1.5 metres to the south of tree # 2090. See Figure 3.

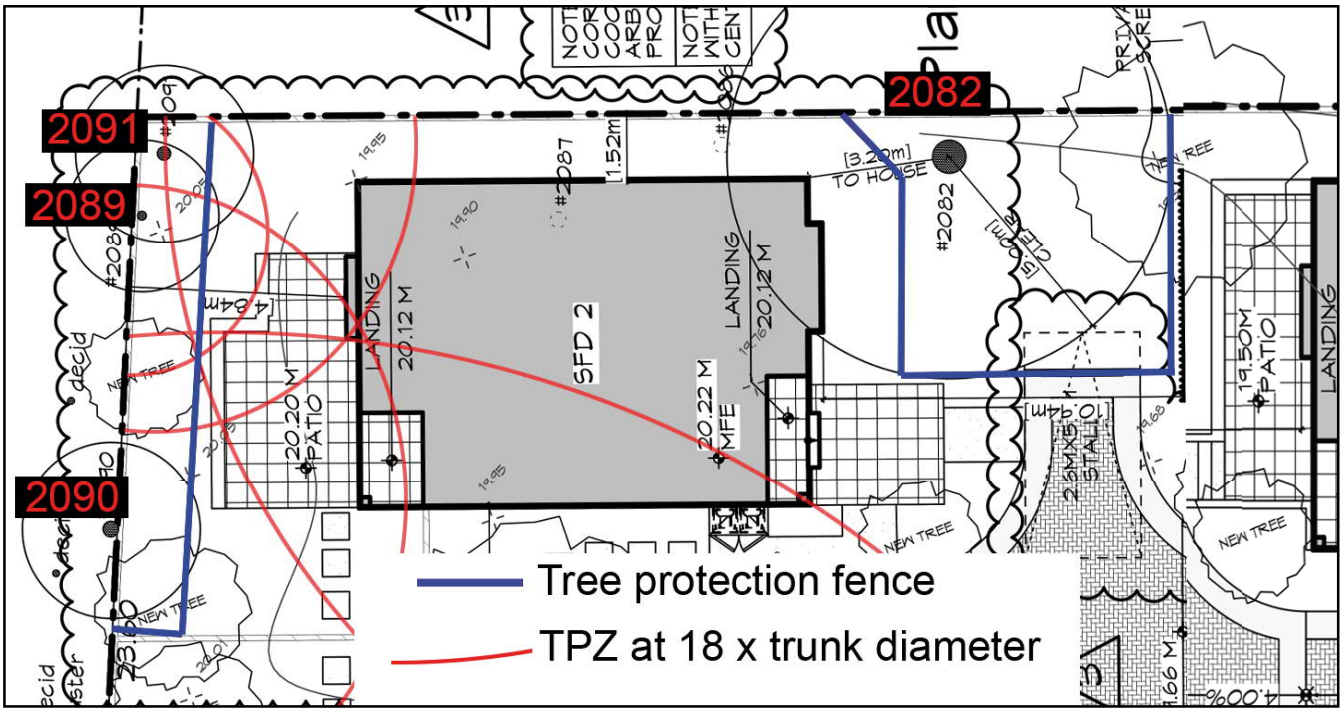

Figure 3. Fencing Plan.

The oak tree (# 2082) shall be fenced off as shown in figure 4 below.

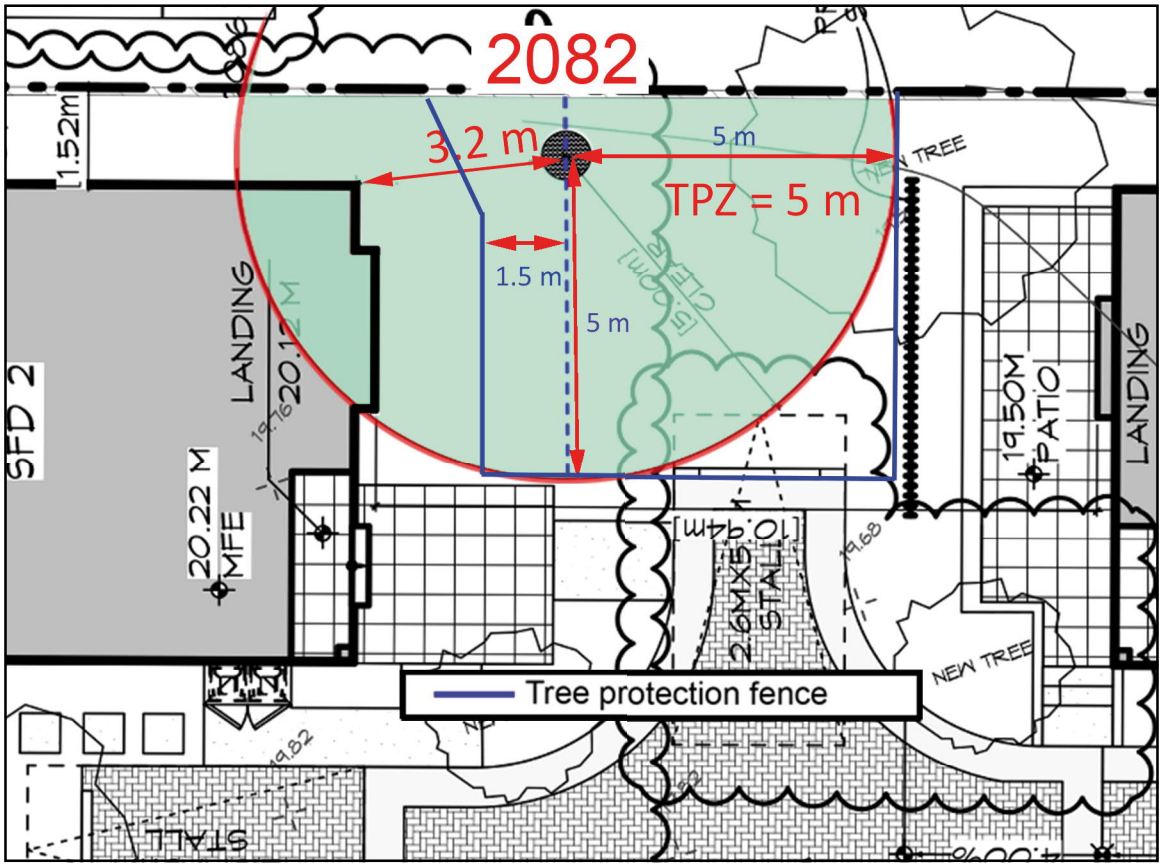

Figure 4. Fencing detail by tree # 2082.

The tree protection zone (TPZ) is set at a radial distance of 5 metres from the centre of the tree (the green area in figure 4). The fence shall extend 5 metres to the east and 5 metres to the south. Using a north - south line from the centre of the tree (dashed blue line in figure 4), set the west side of the fence 1.5 metres to the west of that centreline. Closer to the tree, angle the fence over towards the boundary.

The original design had this unit set further back to offer more protection for the tree. Council rejected that design on the basis that the rear yard would be too small, so the unit is now located in line with the other unit in the south west corner. In the new design the corner of new house is 3.2 metres from the centre of the oak tree. In order to try and ensure effective retention of the Garry oak tree I have worked with the design team to come up with a way to minimise the disturbance to the ground and roots in this area. The new design will see the north east corner of the house built on a grade beam installed on helical piles. The base of the beam is designed to be above ground, and the slab beyond it is poured on top of a gravel base so that there is no disturbance of the existing soils within the 5 metre TPZ. The parking space for the unit to the east has been modified to get it away from the TPZ, the patio for the unit in the north west corner has been modified, and the landscape irrigation will be surface drip lines or spray heads installed outside of the TPZ.

In order to make this approach work the following actions shall be implemented under the supervision of the project arborist.

1 **Prior to any other site preparation,** the oak tree shall be fenced off at as shown in detail in Figure 4.

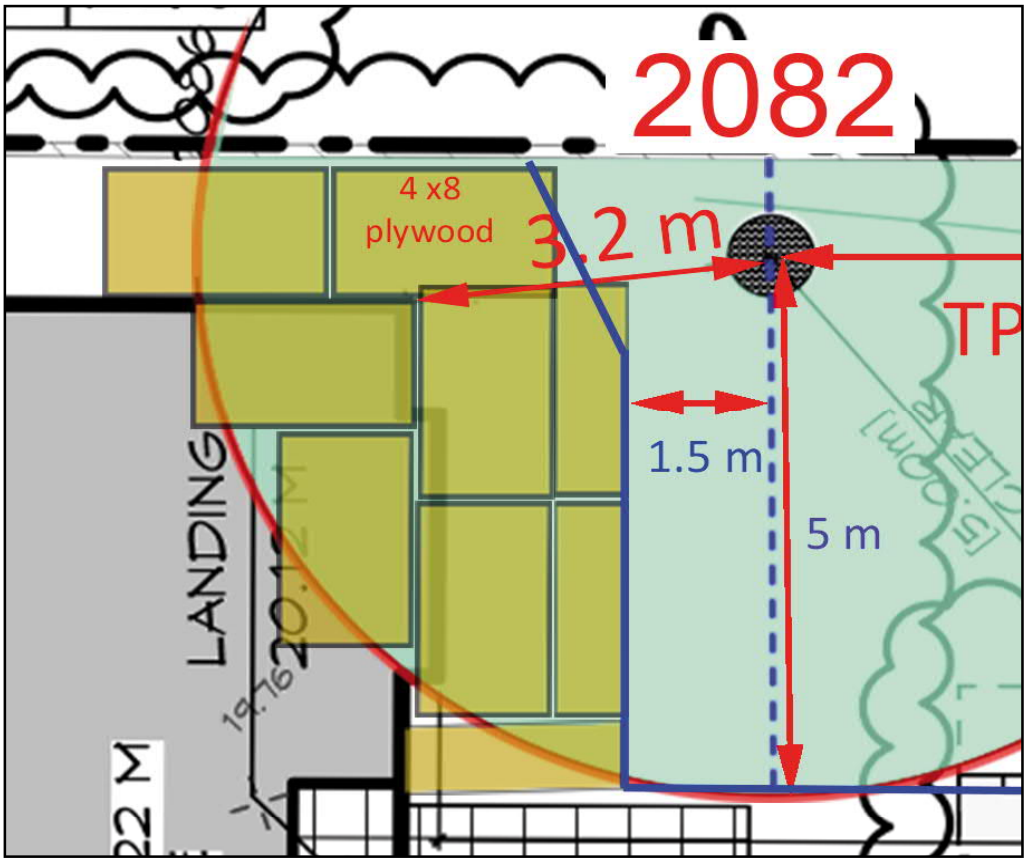

Figure 5. Conceptual layout of plywood beyond fence, and under grade beam and slab.

2 Once the protection fence is in place around the oak tree, sheets of 5/8" plywood shall be laid down on the ground as shown in figure 5. The sheets should be screwed together with wood strips or plywood overlaps.

The intent of this plywood is to protect the ground below from any further compaction, and root damage. The area beyond the wall will create a working space of 6 feet or about 1.83 metres (1 and half sheets of plywood wide). The rest of the plywood protects the ground that will be under the grade beam and slab.

The grade beam will be placed onto a series of helical piles. The machine used to drive these piles shall operate from the west side and shall approach the location by driving on the plywood area that will be inside the planned building footprint. If necessary, double the plywood within the footprint area to sustain the machine load. Once the piles are installed, the formwork for the grade beam can be created. That will need a base layer for the bottom of the form, so that can be created with plywood on the native soil. Minor flattening of the existing soil will be fine in order to create the formwork, but no excavation is permitted without first checking with the project arborist. NOTE. The base of the grade beam is above ground not recessed into the ground. It may be wise to place that base layer of the beam form on wood spacers. These can then be knocked out after curing so that the plywood can be stripped off from the beam.

Once the grade beam is poured and cured the slab can be created. Within the TPZ area the plywood can be removed and a layer of gravel placed right onto the native soil grade, to a minimum depth of 100 mm or whatever depth beyond that is required to create a flat surface. The gravel is to be placed but not packed. The slab can be poured straight onto the gravel. Beyond the TPZ area a standard foundation and slab can be installed and native soils stripped as necessary.

Figure 6 shows a detail of the grade beam and slab. NOTE: within the TPZ there shall be no drainage along the two walls affected.

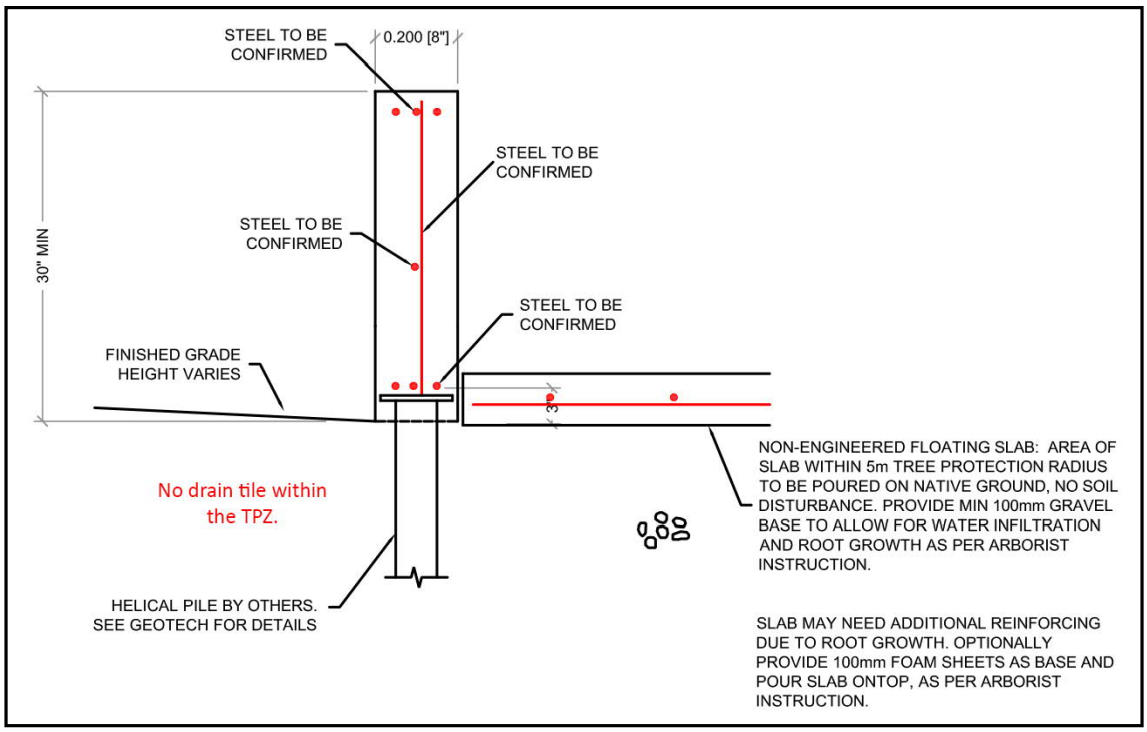

Figure 6. Detail of the grade beam and slab within the TPZ.

The plywood between the fence and the new house shall be retained in place until all construction work is completed, and the site is ready for final landscaping.

It is possible that once the new building's location is laid out on site, there may be a need for some pruning of the oak tree canopy to create a minimum distance of 2 metres between the walls or roof and the oak tree. The exact extent of pruning required will not be known until the project is underway. Preliminary investigations suggest that it will not be extensive. Any such work is to be reviewed on site by the project arborist and conducted under that person's supervision.

Finally, it is noted that there is a large sequoia tree on the property to the south. It is located about five metres from the property line. The construction of the new unit in that area will not cause damage to this tree at this distance.
This report shall form part of the materials to be read and implemented by the contractor, and said contractor shall be solely responsible for ensuring that the items listed above are implemented as specified.

In summary, I have revised the plans to accommodate the new location of the unit in the northwest corner. To retain the oak tree # 2082 will require care. It will be possible if the specifications provided above are followed carefully. If there are any questions please let me know.

Yours truly,
On Behalf of Dunster & Associates Environmental Consultants Ltd.

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