PROJECT TEAM

Mechanical/Electrical
INTEGRAL GROUP

101-1019 Wharf Street
Victoria BC
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Code Consultant
Murray Johnson
Engineering Ltd.

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T: (604) 526-3335

Geotechnical
Ryzuk

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Victoria, BC V8Z 1S3
T: (250) 475-3131

Transportation
Bunt and Associates
Engineering

421 - 645 Fort Street,
Victoria, BC V8W 1G2
T: (250) 592-6122

Civil
WSP

301-3600 Uptown Blvd.,
Victoria, BC V8Z 0B9
T: (250) 389-8015

Owner / Developer
Crosstown Properties
(Wharf St.) [Managed by
Reliance Properties Ltd.]
305 - 111 Water St.
Vancouver, BC V6B 1A7
T: (604) 694-8896
F: (604) 683-6719

Architect
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Architects

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T: (236) 521-6568

LandscapeArchitect
PWL Partnership

500 - 1201 West Pender St.
Vancouver, BC V6E 2V2
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F: (604) 688-6112

HeritageConsultant
Donald Luxton &
Associates

1030-470 Granville St.,
Vancouver, BC V6C 1V5
T: (604) 688-1216

Structural
DIALOG

406 - 611 Alexander St.
Vancouver, BC V6A 1E1
T: (604) 255-1169
F: (604) 255-1790

PROJECT NAME: NORTHERN JUNK
PROJECT ADDRESS: 1314 WHARF STREET
LEGAL DESCRIPTION: LOT 182F (001-005-723)
GOVERNING BUILDING CODE: BCBC 2018

REZONING/HERITAGE ALTERATION PERMIT APPLICATION R3

JANUARY 11, 2021

Boniface Oleksiuk Politano Architects

RELIANCE PROPERTIES

CROSSTOWN PROPERTIES LTD.

ISSUED FOR

A	2019-06-19	REZONING / HERITAGE ALTERATION PERMIT
B	2019-10-11	REZONING / HERITAGE ALTERATION PERMIT R1
C	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT R2
D	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT R3

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ARCHITECT

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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

Cover Sheet

DRAWN: AP
PLOT DATE:
CHECKED: AB

A-000

19004C

CITY OF VICTORIA

Revisions

Received Date: April 19, 2021

PROJECT DATA

PROJECT NAME:	NORTHERN JUNK
PROJECT ADDRESS:	1314 WHARF STREET
LEGAL DESCRIPTION:	LOT 182F (001-005-723)
GOVERNING BUILDING CODE:	BCBC 2018

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	INNER HARBOUR HERITAGE DISTRICT
NET SITE AREA (sqm) *Above Natural Boundary	1218 sm
GROSS SITE AREA (sqm)	1375 sm
TOTAL FLOOR AREA	4095 sm
COMMERCIAL FLOOR AREA	831.5 sm
FLOOR SPACE RATIO	3.36
SITE COVERAGE %	65.5%
OPEN SITE SPACE %	34.5 %
HEIGHT OF BUILDING FROM STREET GRADE (m)	19.1 (m)
NUMBER OF STOREYS	5 STOREYS FROM WHARF (6 FROM HARBOUR)
PARKING STALLS ON SITE	0
BICYCLE PARKING (long term)	56 res + 5 Commercial
BUILDING SETBACKS (SEE SITE PLAN)	
FRONT YARD (EAST)	0 m
REAR YARD (WEST)	15.83 m
SIDE YARD (NORTH)	0 m
SIDE YARD (SOUTH)	0 m
RESIDENTIAL USE DETAILS (SEE UNIT TYPE TABLE)	
TOTAL NUMBER OF UNITS	47
UNIT TYPE (SEE UNIT TYPE TABLE)	STUDIO, 1BD, 2BD, 3BD
GROUND ORIENTED UNITS	0
MINIMUM UNIT FLOOR AREA	37.5 sm
TOTAL RESIDENTIAL FLOOR AREA	2653 sm

DRAWING LIST

ARCHITECTURAL

A000	COVER SHEET
A001	PROJECT DATA
A002	SITE SURVEY
A010	AREA PLANS
A011	AREA PLANS
A012	AREA PLANS
A013	AREA PLANS
A014	AREA PLANS
A101	SITE PLAN
A201	PLAN - LEVEL 00
A202	PLAN - LEVEL 01
A203	PLAN - LEVEL 02
A204	PLAN - LEVEL 03-04
A205	PLAN - LEVEL 05
A206	PLAN - ROOF
A401	SOUTH ELEVATION
A402	WEST ELEVATION
A403	NORTH ELEVATION
A404	EAST ELEVATION
A405	CONTEXT ELEVATIONS
A501	SECTION - A
A502	SECTION - A2

LANDSCAPE

SEE LANDSCAPE SET

PROJECT DATA SUMMARY

AREA SUMMARY

ASSSUMPTIONS	SQ FT	m2
SITE AREA (ABOVE PRESENT NATURAL BOUNDARY)	13,108	1,218
MAX ALLOWABLE DENSITY (4.4)	57,673	5358
EXISTING FOOTPRINTS	5,175	481

AREAS BY USE		
CRU 2 - L01	226.7 sm	
CRU 1 - L01	243.2 sm	
CRU 1 - L00	204.5 sm	
CRU 2 - L00	157.0 sm	
TOTAL COMMERCIAL	831.5 sm	(8,949.5 sf)
Building Gross Area	4095.4 sm	(44,083 sf)
Total Commercial Area	831.5 sm	(8,950 sf)
TOTAL RESIDENTIAL	3,263.9 sm	(35,132.8 sf)
NET RESIDENTIAL	2652.8 sm	(28,555.3 sf)
NET RENTABLE (RES+COMM)	3,484.3 sm	(37,505.2 sf)

SITE AREAS (SEE AREA PLANS A-010)	
GROSS SITE AREA	1375 sm
NET SITE AREA	1218 sm
VOLUMETRIC SRW	253 sm
OPEN AREA	420 sm
BUILDING FOOTPRINT	797 sm
OPEN AREA %	34.5%
NET SITE AREA - DFW S.R.W. AREA	964.24 sm

BUILDING GROSS AREA	
L00 Gross	544 sm
L00 TOTAL	544 sm
L01 Gross	315 sm
L01 Gross	265 sm
L01 TOTAL	580 sm
L02 Gross	739 sm
L02 TOTAL	739 sm
L03 Gross	739 sm
L03 TOTAL	739 sm
L04 Gross	739 sm
L04 Total	739 sm
L05 Gross	739 sm
L05 Total	739 sm
Roof Gross	14 sm
L05 Total	14 sm
BUILDING GROSS	4,095 sm
SITE AREA FOR FSR	1,218 sm
FSR	3.36
NET RENTABLE (RES+COMM)	3,484 sm

UNIT SUMMARY

UNIT TYPE						
LEVEL	STUDIO	1BD	2BD	3BD	-	TOTAL UNITS
LEVEL P1	0	0	0	0	0	0
LEVEL 01	0	0	0	0	0	0
LEVEL 02	1	8	2	1	0	12
LEVEL 03	1	8	2	1	0	12
LEVEL 04	1	8	2	1	0	12
LEVEL 05	1	6	3	1	0	11
LEVEL 06	0	0	0	0	0	0
TOTAL	4	30	9	4	0	47
PERCENTAGE	9%	64%	19%	9%	0%	100%
FAMILY UNITS				28%		

AVERAGE UNIT SIZES					
	TOTAL AREA PER FLOOR BY TYPE				
LEVEL	STUDIO	1BD	2BD	3BD	TOTAL UNITS
LEVEL 00	0	0	0	0	0
LEVEL 01	0	0	0	0	0
LEVEL 02	38	390	152	83	663
LEVEL 03	38	390	152	83	663
LEVEL 04	38	390	152	83	663
LEVEL 05	38	289	253	83	663
TOTAL	152 sm	1,458 sm	710 sm	332 sm	2,653 sm
Unit Count	4	30	9	4	47
AVG SIZES	38 sm	49 sm	79 sm	83 sm	56 sm
AVG SIZES (SF)	409.8 sf	523.3 sf	849.3 sf	893.2 sf	607.6 sf

PARKING SUMMARY

NOTE: NO VEHICLE PARKING PROVIDED ON SITE. SEE TRAFFIC REPORT FOR TRAFFIC MANAGEMENT STRATEGY

BICYCLE PARKING			
Residential	Count	Req'mt	Provided
1 Cl / unit < 45m2	12	12	
1.25/ Unit > 45m2	35	43.75	
Total Residential	47	55.75	56
Commercial	Area	Req'mt	Provided
1 Cl/ 200 m2	9	4.2	
Total		5	5

Suite Storage			
Residential	Count	Req'mt	Provided
In-suite	22	0	
Bike/Locker combo	25	0	
Total Residential	47	0	47

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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

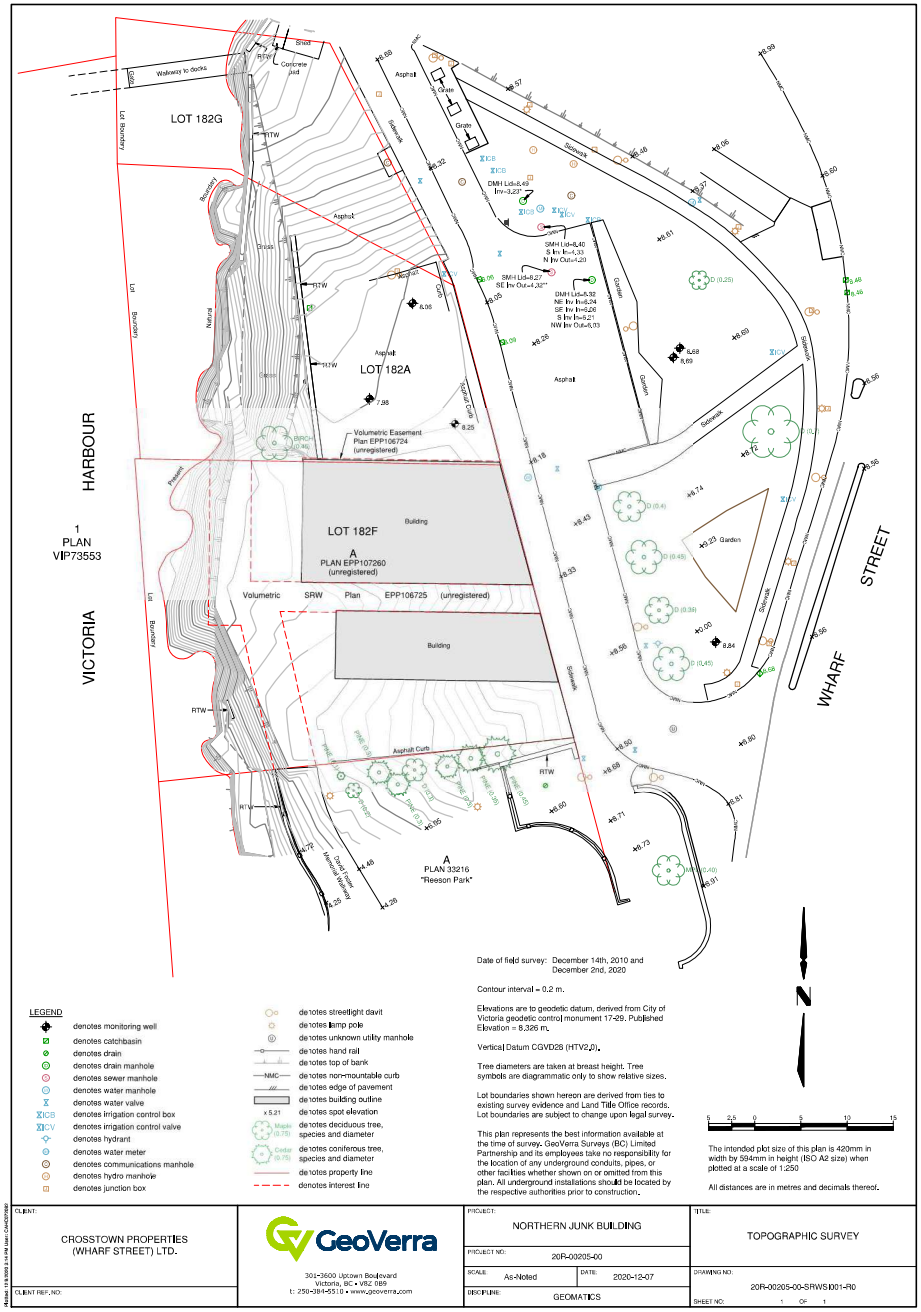
Project Data

DRAWN: AP
PLOT DATE:

CHECKED: AB

A-001

19004C



LEGEND

- denotes monitoring well
- denotes catchbasin
- denotes drain
- denotes drain manhole
- denotes sewer manhole
- denotes water manhole
- denotes water valve
- ICB denotes irrigation control box
- ICV denotes irrigation control valve
- denotes hydrant
- denotes water meter
- denotes communications manhole
- denotes hydro manhole
- denotes junction box
- denotes streetlight davit
- denotes lamp pole
- denotes unknown utility manhole
- denotes hand rail
- denotes top of bank
- NMC denotes non-mountable curb
- denotes edge of pavement
- denotes building outline
- x 5.21 denotes spot elevation
- Maple (0.75) denotes deciduous tree, species and diameter
- Cedar (0.75) denotes coniferous tree, species and diameter
- denotes property line
- denotes interest line

Date of field survey: December 14th, 2010 and December 2nd, 2020

Contour interval = 0.2 m.

Elevations are to geodetic datum, derived from City of Victoria geodetic control monument 17-29. Published Elevation = 8.326 m.

Vertical Datum CGVD28 (HTV2.0).

Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

This plan represents the best information available at the time of survey. GeoVerra Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

5 2.5 0 5 10 15

The intended plot size of this plan is 420mm in width by 594mm in height (ISO A2 size) when plotted at a scale of 1:250

All distances are in metres and decimals thereof.

CLIENT: CROSSTOWN PROPERTIES (WHARF STREET) LTD.	GeoVerra 301-3600 Uptown Boulevard Victoria, BC • V8Z 0B9 t: 250-384-5510 • www.geoverra.com	PROJECT: NORTHERN JUNK BUILDING	TITLE: TOPOGRAPHIC SURVEY
CLIENT REF. NO:		PROJECT NO: 20R-00205-00	DRAWING NO: 20R-00205-00-SRWS001-R0
		SCALE: As-Noted DATE: 2020-12-07	SHEET NO: 1 OF 1
		DISCIPLINE: GEOMATICS	

SURVEY INCLUDED FOR REFERENCE ONLY. NTS*

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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

Site Survey

DRAWN: AP CHECKED: AB
PLOT DATE:

A-002

19004C

SURVEYORS LETTER/RATIONALE

wsp

File No: 171-10644-00 **Date:** July 26th, 2017

To: Crosstown Properties (Wharf Street) Ltd.
305 - 111 Water Street
Vancouver, BC V6B 1A7

From: Mitch Laseur, BCLS
WSP Canada
301 – 3600 Uptown Boulevard
Victoria, BC V8Z 0B9
Phone 250.384.5510

Attention: Juan Pereira

RE: AREA CALCULATION – ABOVE AND BELOW PRESENT NATURAL BOUNDARY LOT 182F; LOT 182G, LOT 182A, and CLOSED ROAD PLAN EPP8684; BEING THE PROPOSED JOHNSON STREET GATEWAY SITE

This letter is written to verify the areas of the above noted properties. The properties in question contain land falling below the Present Natural Boundary. We confirm that our interpretation of the Present Natural Boundary is coincident with the definition of the Ordinary High Water Mark.

To clarify the allocation of these areas we have prepared the attached sketch detailing those areas above and below the Present Natural Boundary.

In summary:

The total area *above* the Present Natural Boundary for these properties is **4,152 square meters.**

The total area *below* the Present Natural Boundary for these properties is **646 square meters.**

Regards,

Mitch Laseur, BCLS
Branch Manager / Land Surveyor, Victoria Geomatics
Cc: Adrian Politano, Rory O'Connell, Sheila Middleton

WSP
301 – 3600 Uptown Boulevard
Victoria, BC V8Z 0B9
Phone 1 250-384-5510
www.wsp.com

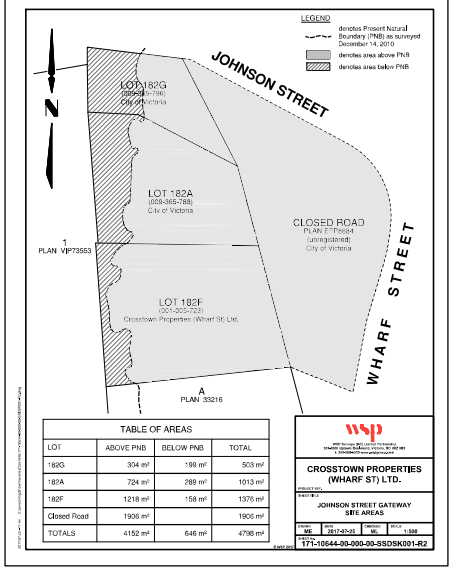


TABLE OF AREAS			
LOT	ABOVE PNB	BELOW PNB	TOTAL
182G	304 m²	199 m²	503 m²
182A	724 m²	288 m²	1013 m²
182F	1218 m²	158 m²	1376 m²
Closed Road	1906 m²		1906 m²
TOTALS	4152 m²	646 m²	4798 m²

wsp

CROSSTOWN PROPERTIES (WHARF ST) LTD.

JOHNSON STREET GATEWAY SITE AREAS

DRAWN: ME | DATE: 2017-07-25 | CHECKED: ML | SCALE: 1:500

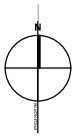
DRAWING No.: 171-10644-00-000-00-SSDSK091-R2

SITE AREAS

SITE AREAS (SEE AREA PLANS A-010)	
GROSS SITE AREA	1375 sm
NET SITE AREA	1218 sm
VOLUMETRIC SRW	253 sm
OPEN AREA	420 sm
BUILDING FOOTPRINT	797 sm
OPEN AREA %	34.5%
NET SITE AREA - DFW S.R.W. AREA	964.24 sm

*NET SITE AREA IS ABOVE PRESENT NATURAL BOUNDARY

SITE AREAS - AREA PLAN 1
SCALE: 1:100



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ARCHITECT

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info@abarchitecture.ca

SEAL

Northern Junk

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Area Plans

DRAWN: AP
PLOT DATE:
CHECKED: AB

A-010

19004C

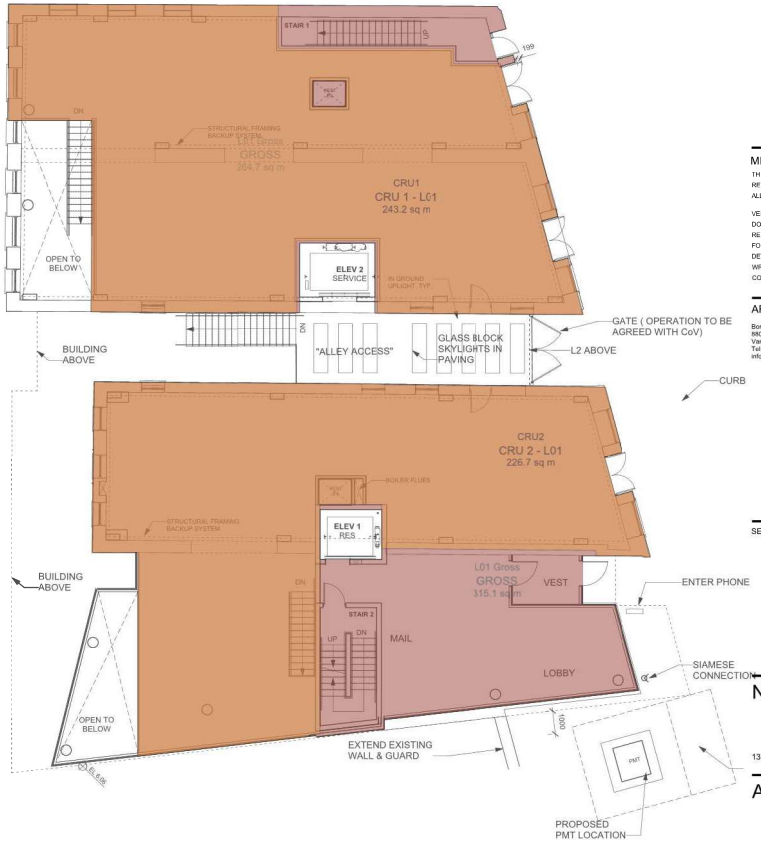
LEVEL 01 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
CRU1	CRU 1 - L00	204.5 sm
CRU2	CRU 2 - L00	157.0 sm
Total Suite Area	2	361.6 sm
	L00 GROSS	544.0 sm
Total Gross Area		544.0 sm
EFFIC		66%

AREA LEGEND

- RESIDENTIAL SUITE
- COMMERCIAL AREA
- GROSS FLOOR AREA

LEVEL 00 - FSR AREA PLAN (1)
SCALE: 1:100

LEVEL 01 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
CRU1	CRU 1 - L01	243.2 sm
CRU2	CRU 2 - L01	226.7 sm
Total Suite Area	2	469.9 sm
	L01 Gross	315.1 sm
	L01 Gross	264.7 sm
Total Gross Area		579.8 sm
EFFIC		81%



LEVEL 01 - FSR AREA PLAN (2)
SCALE: 1:100

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1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP
PLOT DATE:
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A-011

19004C

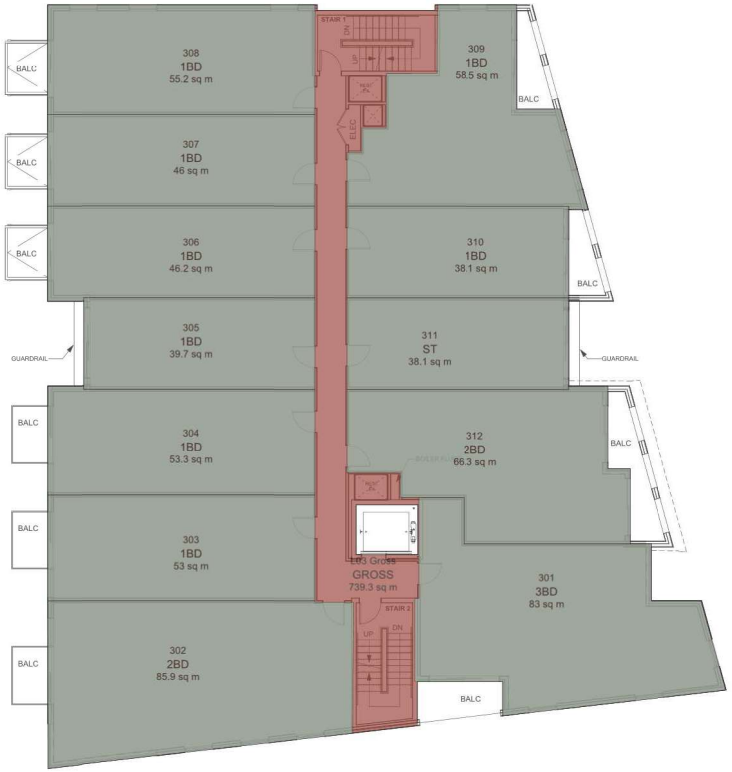
AREA LEGEND

- RESIDENTIAL SUITE
- COMMERCIAL AREA
- GROSS FLOOR AREA

LEVEL 02 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
201	3BD	83 sm
202	2BD	86 sm
203	1BD	53 sm
204	1BD	53 sm
205	1BD	40 sm
206	1BD	46 sm
207	1BD	46 sm
208	1BD	55 sm
209	1BD	58 sm
210	1BD	38 sm
211	ST	38 sm
212	2BD	66 sm
Total Suite Area	12	663 sm
	GROSS	739 sm
Total Gross Area		739 sm
EFFIC		90%

LEVEL 03-04 AREAS sm		
SUITE NUMBER	SUITE TYPE	SUITE AREA
301 sm	3BD sm	83 sm
302 sm	2BD sm	86 sm
303 sm	1BD sm	53 sm
304 sm	1BD sm	53 sm
305 sm	1BD sm	40 sm
306 sm	1BD sm	46 sm
307 sm	1BD sm	46 sm
308 sm	1BD sm	55 sm
309 sm	1BD sm	58 sm
310 sm	1BD sm	38 sm
311 sm	ST sm	38 sm
312 sm	2BD sm	66 sm
Total Suite Area sm	12 sm	663 sm
	GROSS sm	739 sm
Total Gross Area sm		739 sm
EFFIC		90%

LEVEL 02 - FSR AREA PLAN (1)
SCALE: 1:100



LEVEL 03 - FSR AREA PLAN (2)
SCALE: 1:100

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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP
PLOT DATE:
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A-012

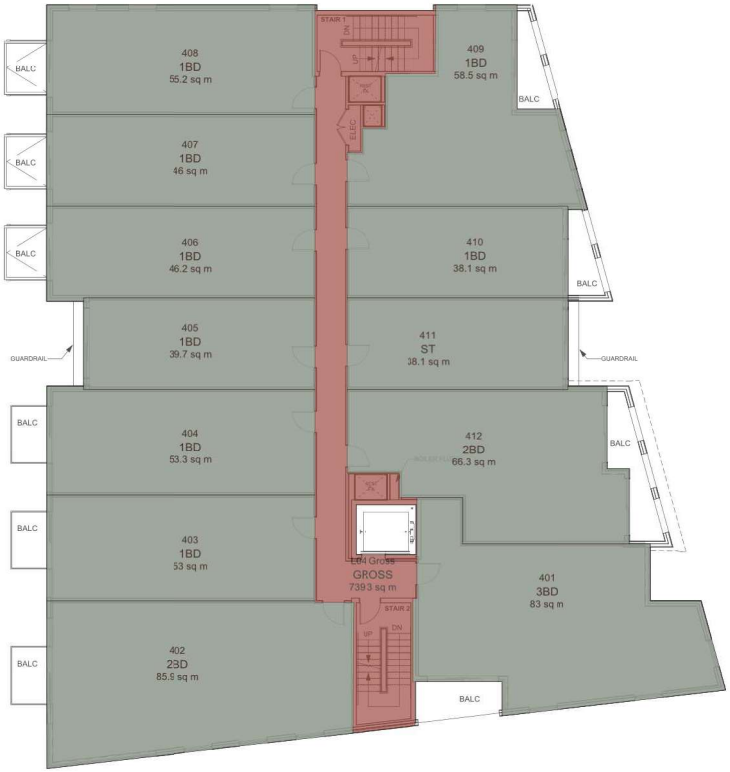
19004C

AREA LEGEND

- RESIDENTIAL SUITE
- COMMERCIAL AREA
- GROSS FLOOR AREA

LEVEL 03-04 AREAS sm		
SUITE NUMBER	SUITE TYPE	SUITE AREA
301 sm	3BD sm	83 sm
302 sm	2BD sm	86 sm
303 sm	1BD sm	53 sm
304 sm	1BD sm	53 sm
305 sm	1BD sm	40 sm
306 sm	1BD sm	46 sm
307 sm	1BD sm	46 sm
308 sm	1BD sm	55 sm
309 sm	1BD sm	58 sm
310 sm	1BD sm	38 sm
311 sm	ST sm	38 sm
312 sm	2BD sm	66 sm
Total Suite Area sm	12 sm	663 sm
	GROSS sm	739 sm
Total Gross Area sm		739 sm
EFFIC		90%

LEVEL 05 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
501	3BD	83 sm
502	2BD	86 sm
503	1BD	53 sm
504	1BD	53 sm
505	1BD	40 sm
506	1BD	46 sm
507	2BD	101 sm
508	1BD	58 sm
509	1BD	38 sm
510	ST	38 sm
511	2BD	66 sm
Total Suite Area	11	663 sm
	GROSS	739 sm
Total Gross Area		739 sm
EFFIC		90%



LEVEL 04 - FSR AREA PLAN (1)
SCALE: 1:100

LEVEL 05 - FSR AREA PLAN (2)
SCALE: 1:100

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D	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT R3

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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

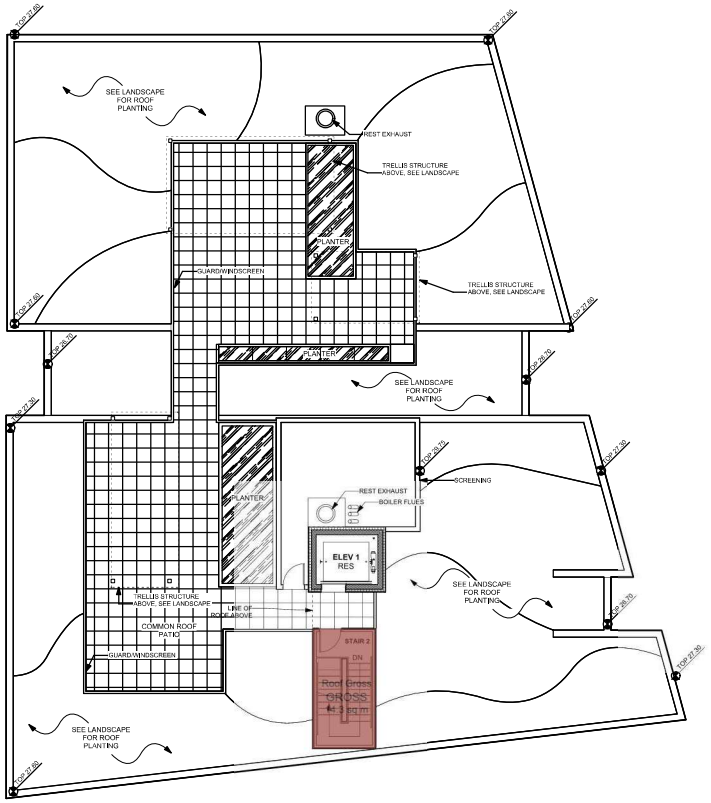
Area Plans

DRAWN: AP
PLOT DATE:
CHECKED: AB

A-013

19004C

ROOF AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
Total Suite Area	0	0 sm
	GROSS	14 sm
Total Gross Area		14 sm
EFFIC		0%



1 ROOF AREAS
Scale: 1:100

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SEAL

Northern Junk

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Area Plans

DRAWN: AP
PLOT DATE:

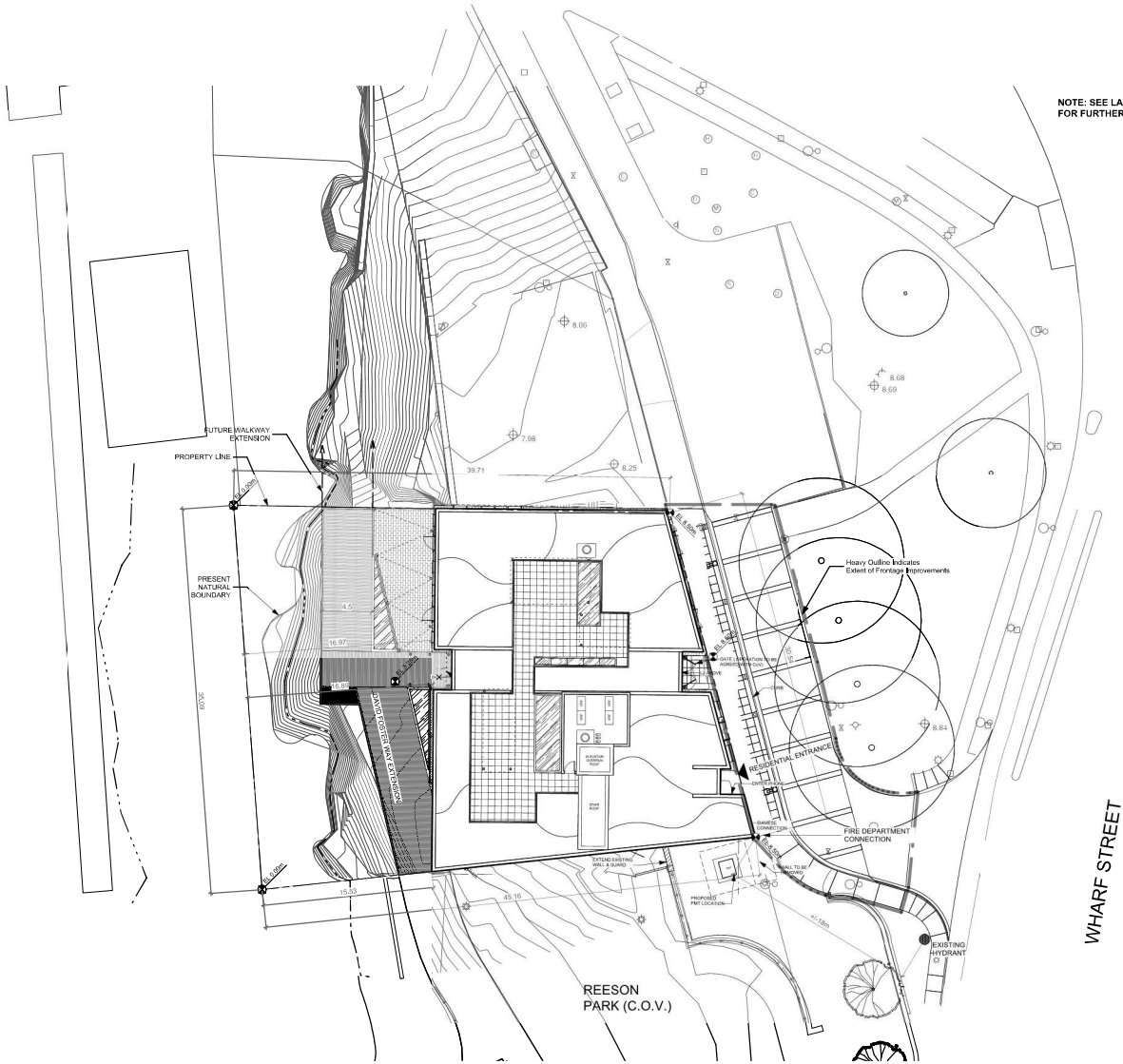
CHECKED: AB

A-014

19004C

Address: 1314 WHARF ST
PID: 001-005-723
Folio: 01074004
Legal Information: LOT 182-F, VICTORIA

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	INNER HARBOUR HERITAGE DISTRICT
NET SITE AREA (sqm) *Above Natural Boundary	1218 sm
GROSS SITE AREA (sqm)	1375 sm
TOTAL FLOOR AREA	4095 sm
COMMERCIAL FLOOR AREA	831.5 sm
FLOOR SPACE RATIO	3.36
SITE COVERAGE %	65.5%
OPEN SITE SPACE %	34.5 %
HEIGHT OF BUILDING FROM STREET GRADE (m)	19.1 (m)
NUMBER OF STOREYS	5 STOREYS FROM WHARF (6 FROM HARBOUR)
PARKING STALLS ON SITE	0
BICYCLE PARKING (long term)	56 res + 5 Commercial
BUILDING SETBACKS (SEE SITE PLAN)	
FRONT YARD (EAST)	0 m
REAR YARD (WEST)	15.83 m
SIDE YARD (NORTH)	0 m
SIDE YARD (SOUTH)	0 m
RESIDENTIAL USE DETAILS (SEE UNIT TYPE TABLE)	
TOTAL NUMBER OF UNITS	47
UNIT TYPE (SEE UNIT TYPE TABLE)	STUDIO, 1BD, 2BD, 3BD
GROUND ORIENTED UNITS	0
MINIMUM UNIT FLOOR AREA	37.6 sm
TOTAL RESIDENTIAL FLOOR AREA	2653 sm



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D	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT R3

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SEAL

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1314-1318 Wharf Street, Victoria BC

Site Plan

DRAWN: AP
PLOT DATE:
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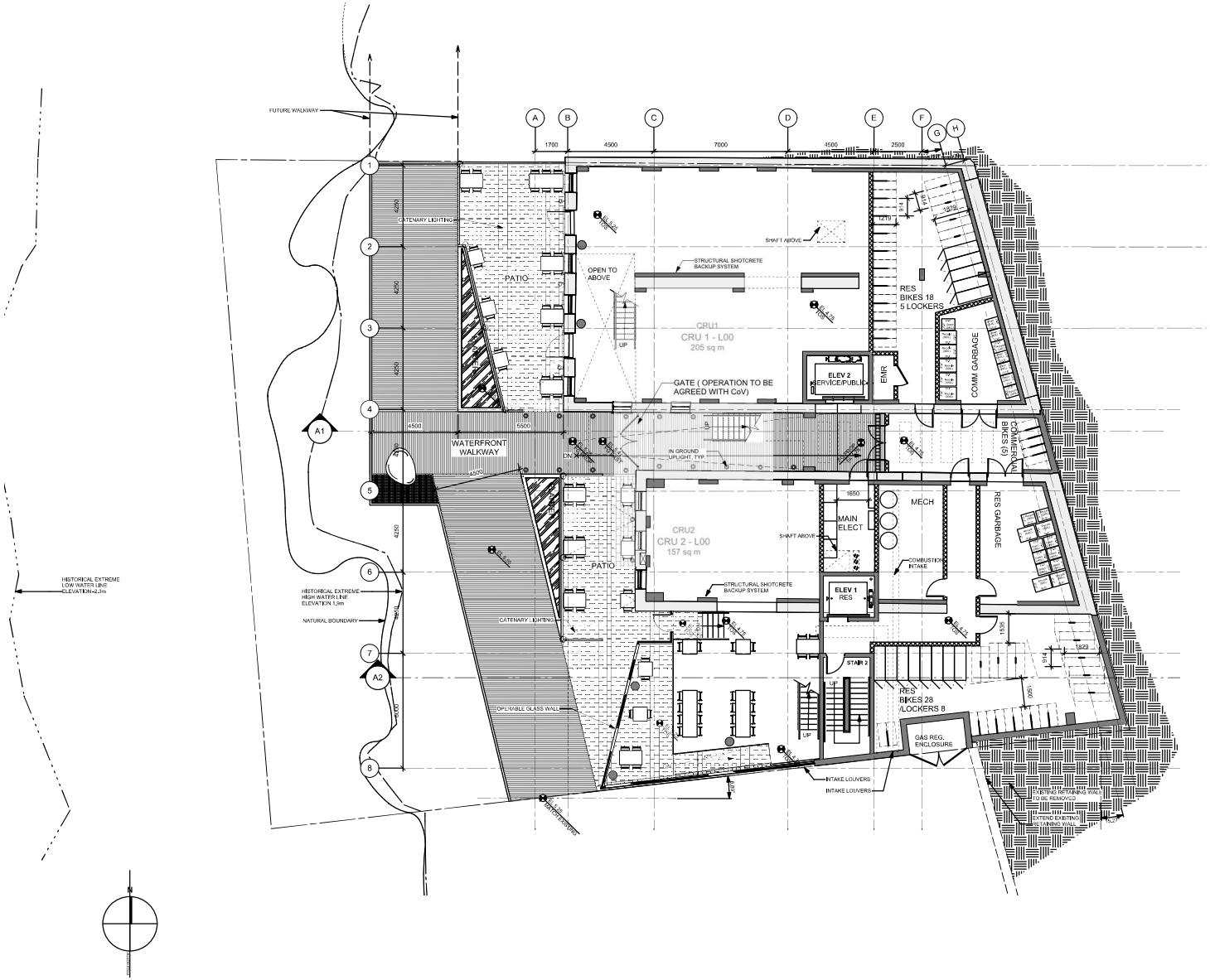
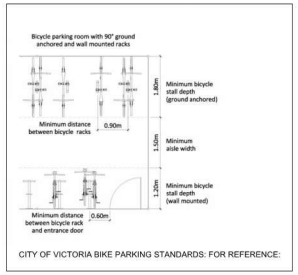
A-101

19004C

GENERAL PLAN NOTES:

- SEE AREA PLANS FOR FLOOR AND SUITE AREAS
- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS





CITY OF VICTORIA BIKE PARKING STANDARDS: FOR REFERENCE:

PLAN L00 (1)
SCALE: 1:100

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Northern Junk

1314-1318 Wharf Street, Victoria BC

Plans - L00

DRAWN: AP
PLOT DATE:
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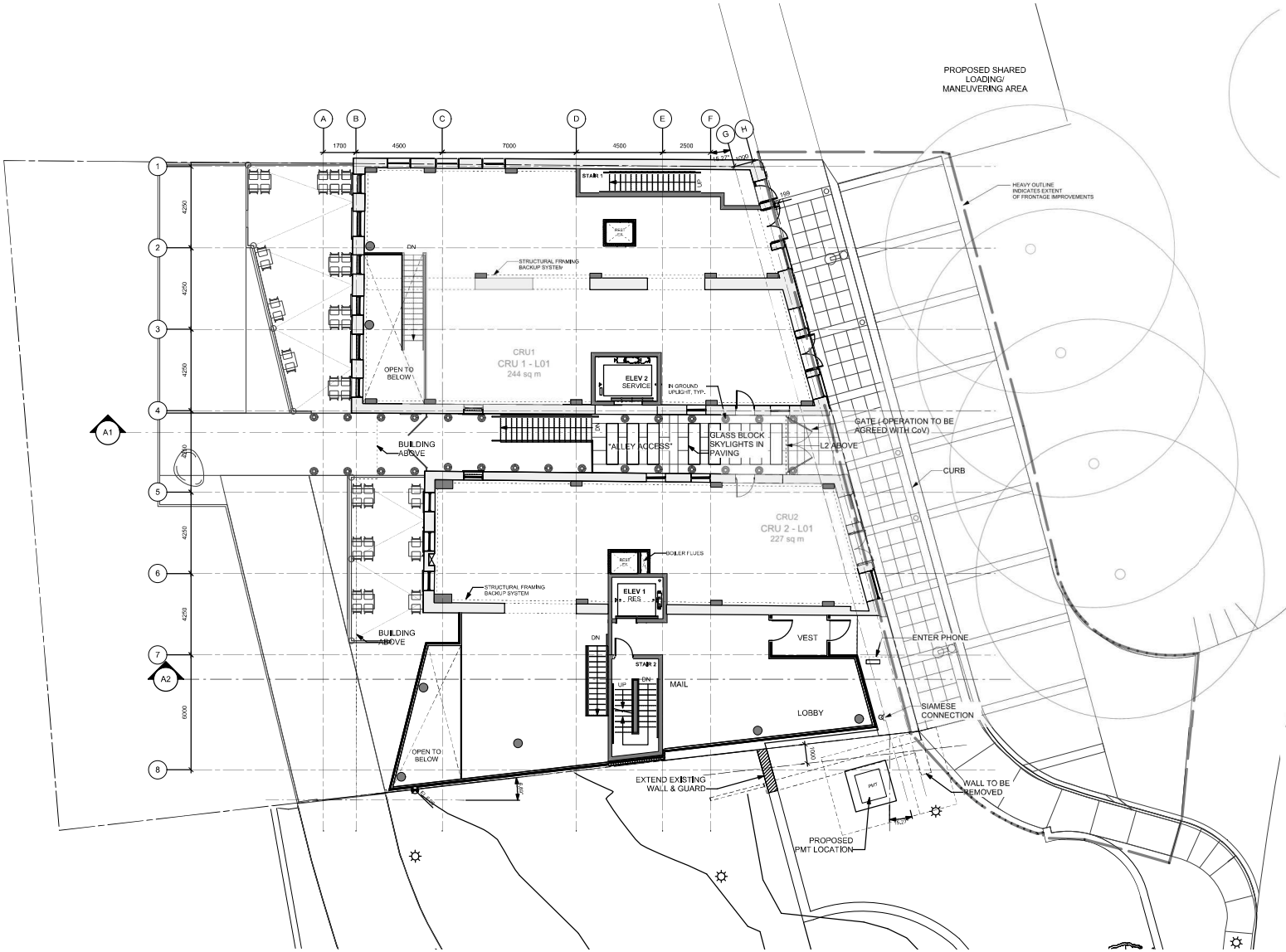
A-201

19004C

GENERAL PLAN NOTES:

- SEE AREA PLANS FOR FLOOR AND SUITE AREAS
- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS



PLAN L1
SCALE: 1:100

1

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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

Plan - Level 01

DRAWN: AP
PLOT DATE:

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A-202

19004C

GENERAL PLAN NOTES:

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SEAL

REGISTERED ARCHITECT
MICHAEL POLITANO
BRITISH COLUMBIA

Northern Junk

1314-1318 Wharf Street, Victoria BC

Plan - Level 02

DRAWN: AP
PLOT DATE:
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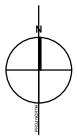
PLAN L2 (1)
SCALE: 1:100

A-203

19004C



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Plan - Level 03-04

DRAWN: AP
PLOT DATE:
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PLAN L3-4 (1)
SCALE: 1:100

A-204

19004C

GENERAL PLAN NOTES:

- SEE AREA PLANS FOR FLOOR AND SUITE AREAS
- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS

PLAN L5
SCALE: 1:100

1

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SEAL

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Plan - Level 05

DRAWN: AP
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GENERAL PLAN NOTES:

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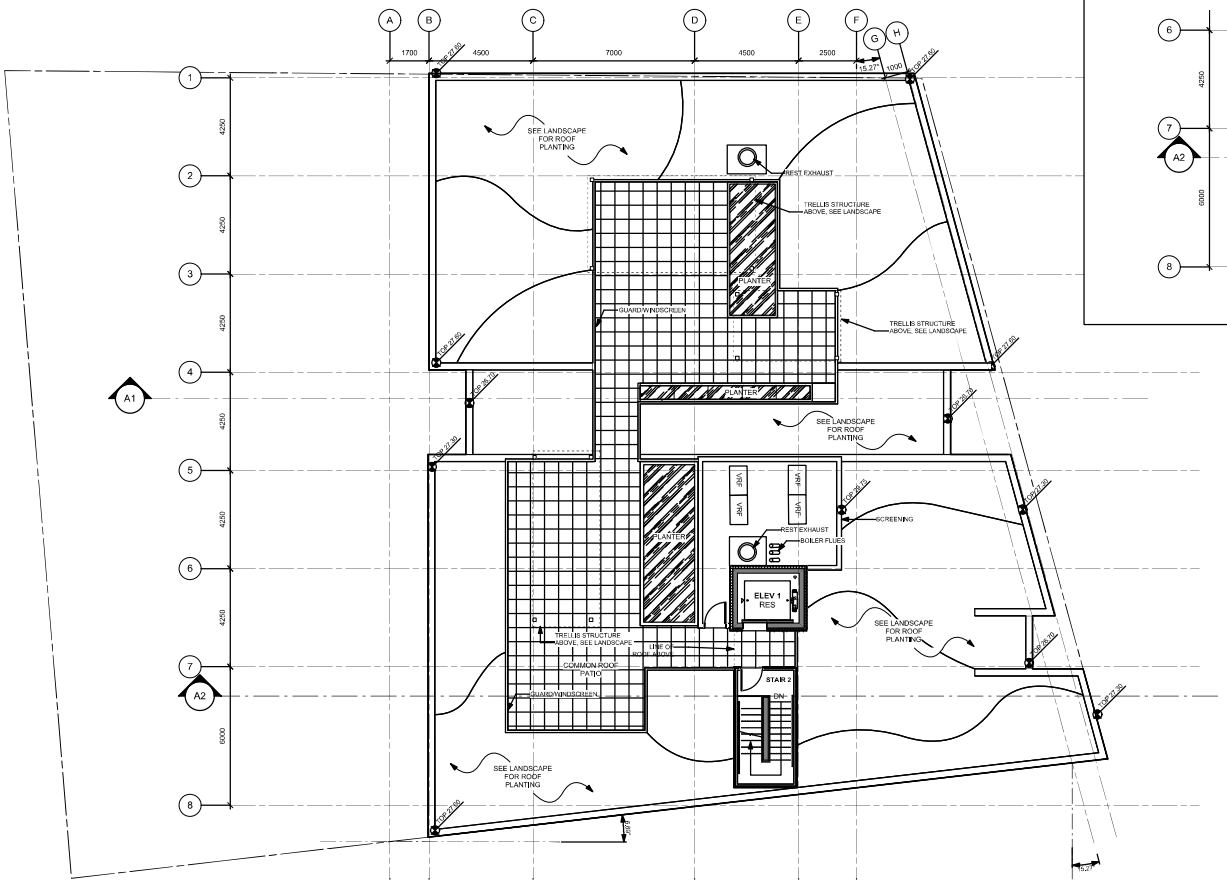
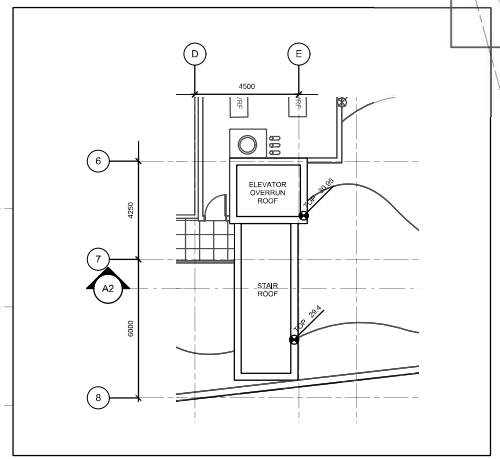


ROOF PLAN
SCALE: 1:100 (1)



UPPER ROOF PLAN
Scale: 1:100 (2)

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Plan - Roof

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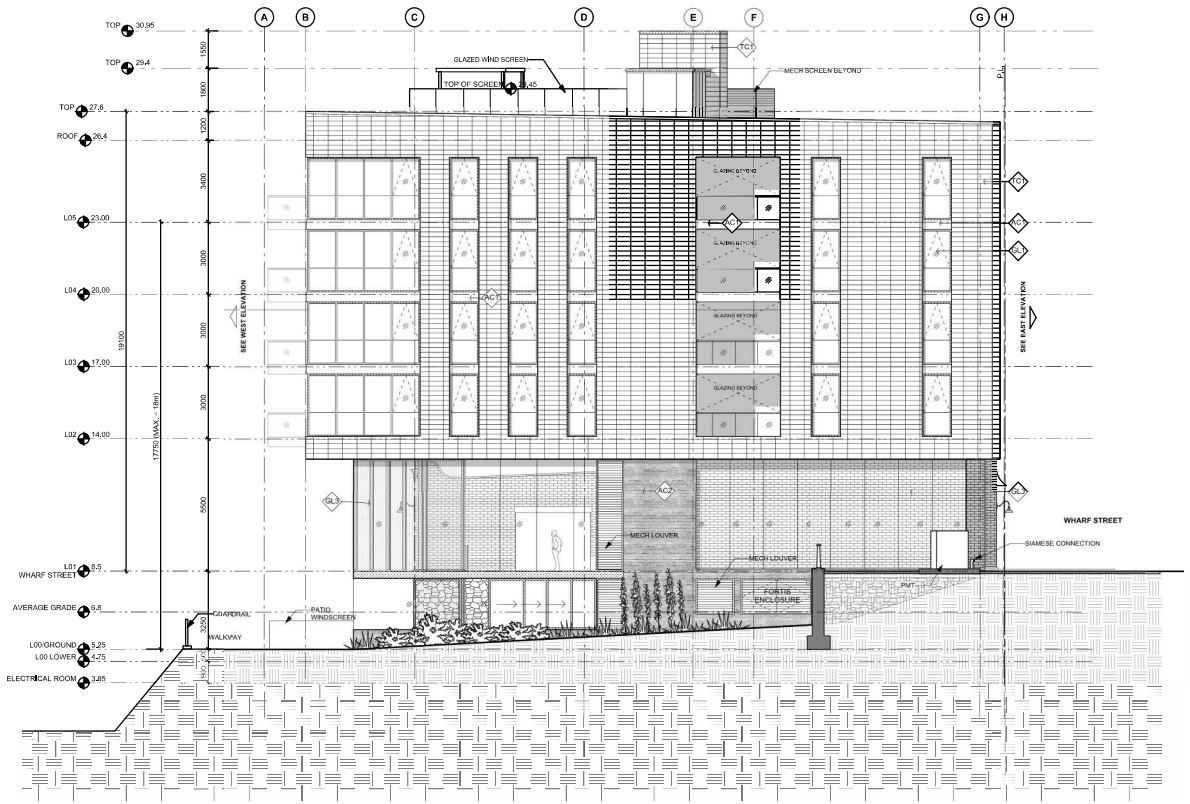

SOUTH ELEVATION 1
SCALE: 1:100

MATERIAL LEGEND
GL1 - NEW RESIDENTIAL GLAZING
GL2 - HERITAGE STYLE GLAZING
GL3 - COMMERCIAL GLAZING
CMP1 - METAL PANEL TYPE 1
AC1 - PRECAST ARCH CONCRETE
AC2 - BOARD FORM ARCH CONCRETE
BW1 - EXISTING BRICK MASONRY
BW2 - NEW BRICK MASONRY TYPE 1
TM1 - TERRACOTTA MASONRY
MS1 - STAMPED METAL SOFFIT
PM1 - DARK PAINTED METAL
PM2 - MEDIUM PAINTED METAL

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South Elevation

DRAWN: AP
PLOT DATE:
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A-401

19004C

WEST ELEVATION 1
SCALE: 1:100

MATERIAL LEGEND
GL1 - NEW RESIDENTIAL GLAZING
GL2 - HERITAGE STYLE GLAZING
GL3 - COMMERCIAL GLAZING
CMP1 - METAL PANEL TYPE 1
AC1 - PRECAST ARCH CONCRETE
AC2 - BOARD FORM ARCH CONCRETE
BM1 - EXISTING BRICK MASONRY
BM2 - NEW BRICK MASONRY TYPE 1
TM1 - TERRACOTTA MASONRY
MS1 - STAMPED METAL SOFFIT
PM1 - DARK PAINTED METAL
PM2 - MEDIUM PAINTED METAL

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West Elevation

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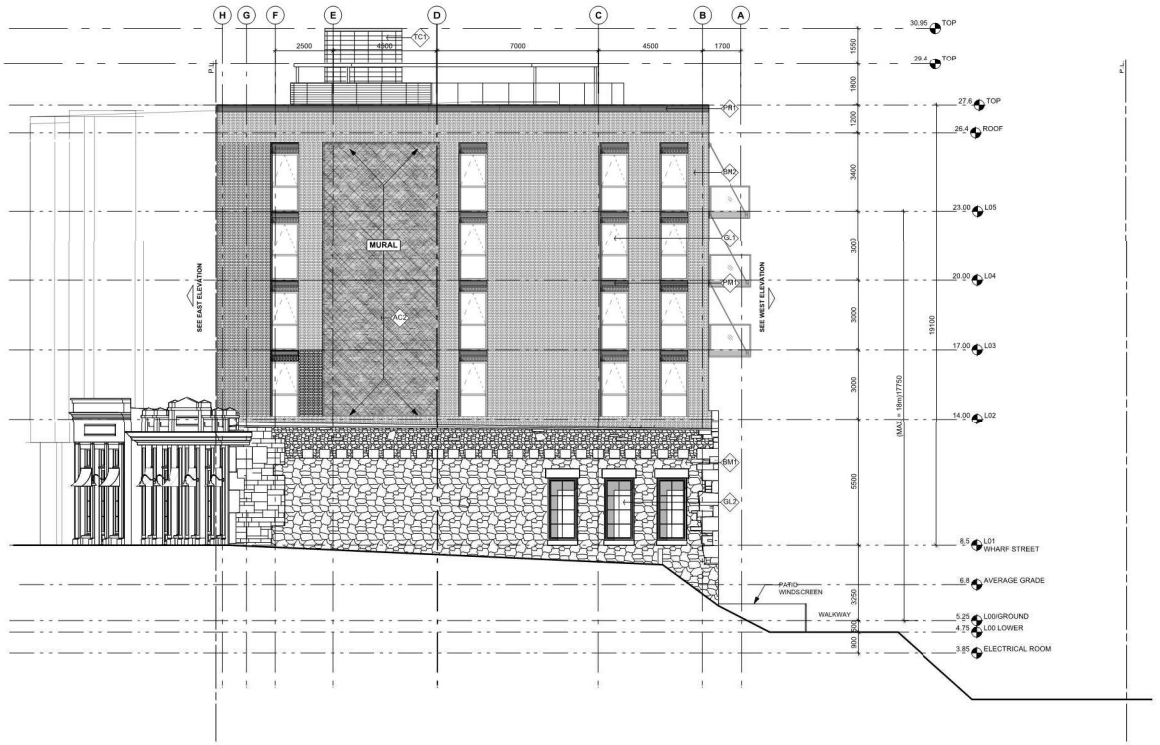
A-402

19004C



NORTH ELEVATION (1)
SCALE: 1:100

MATERIAL LEGEND

- GL2 - HERITAGE STYLE GLAZING
- GL3 - COMMERCIAL GLAZING
- CMP1 - METAL PANEL TYPE 1
- AC1 - PRECAST ARCH CONCRETE
- AC2 - BOARD FORM ARCH CONCRETE
- BM1 - EXISTING BRICK MASONRY
- BM2 - NEW BRICK MASONRY TYPE 1
- TM1 - TERRACOTTA MASONRY
- MS1 - STAMPED METAL SOFFIT
- PM1 - DARK PAINTED METAL
- PM2 - MEDIUM PAINTED METAL

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North Elevation

DRAWN: AP
PLOT DATE:
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A-403

19004C

EAST ELEVATION 1
SCALE: 1:100

MATERIAL LEGEND

- GL2 - HERITAGE STYLE GLAZING
- GL3 - COMMERCIAL GLAZING
- CMP1 - METAL PANEL TYPE 1
- AC1 - PRECAST ARCH CONCRETE
- AC2 - BOARD FORM ARCH CONCRETE
- BM1 - EXISTING BRICK MASONRY
- BM2 - NEW BRICK MASONRY TYPE 1
- TM1 - TERRACOTTA MASONRY
- MS1 - STAMPED METAL SOFFIT
- PM1 - DARK PAINTED METAL
- PM2 - MEDIUM PAINTED METAL

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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

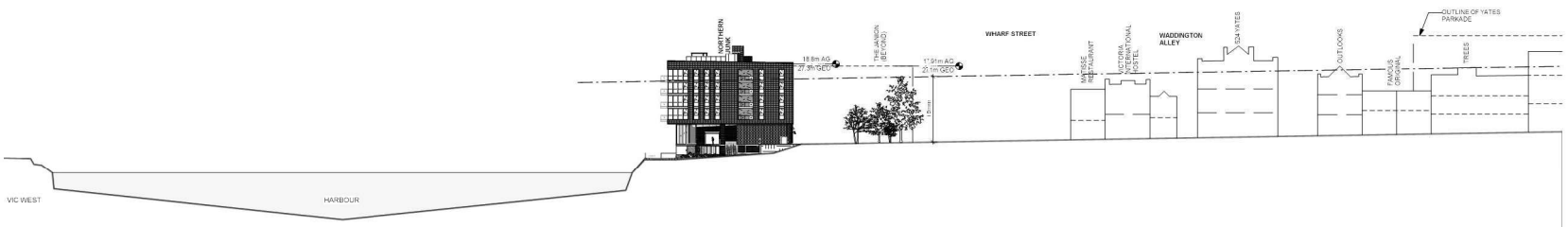
East Elevation

DRAWN: AP
PLOT DATE:

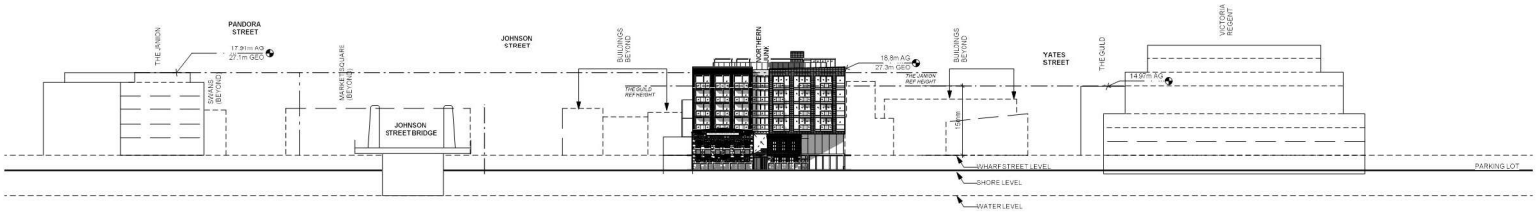
CHECKED: AB

A-404

19004C



1 CONTEXT ELEVATION SOUTH
1:500



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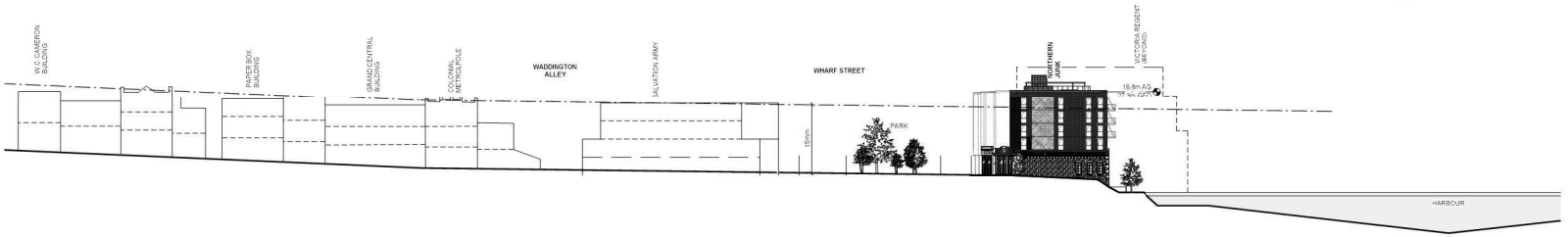

3 CONTEXT ELEVATION NORTH
1:500

4 CONTEXT ELEVATION EAST
1:500

NOTE: CONTEXT ELEVATIONS ARE *APPROXIMATE BASED ON BEST ESTIMATES* AND AVAILABLE INFORMATION.

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SEAL

Northern Junk

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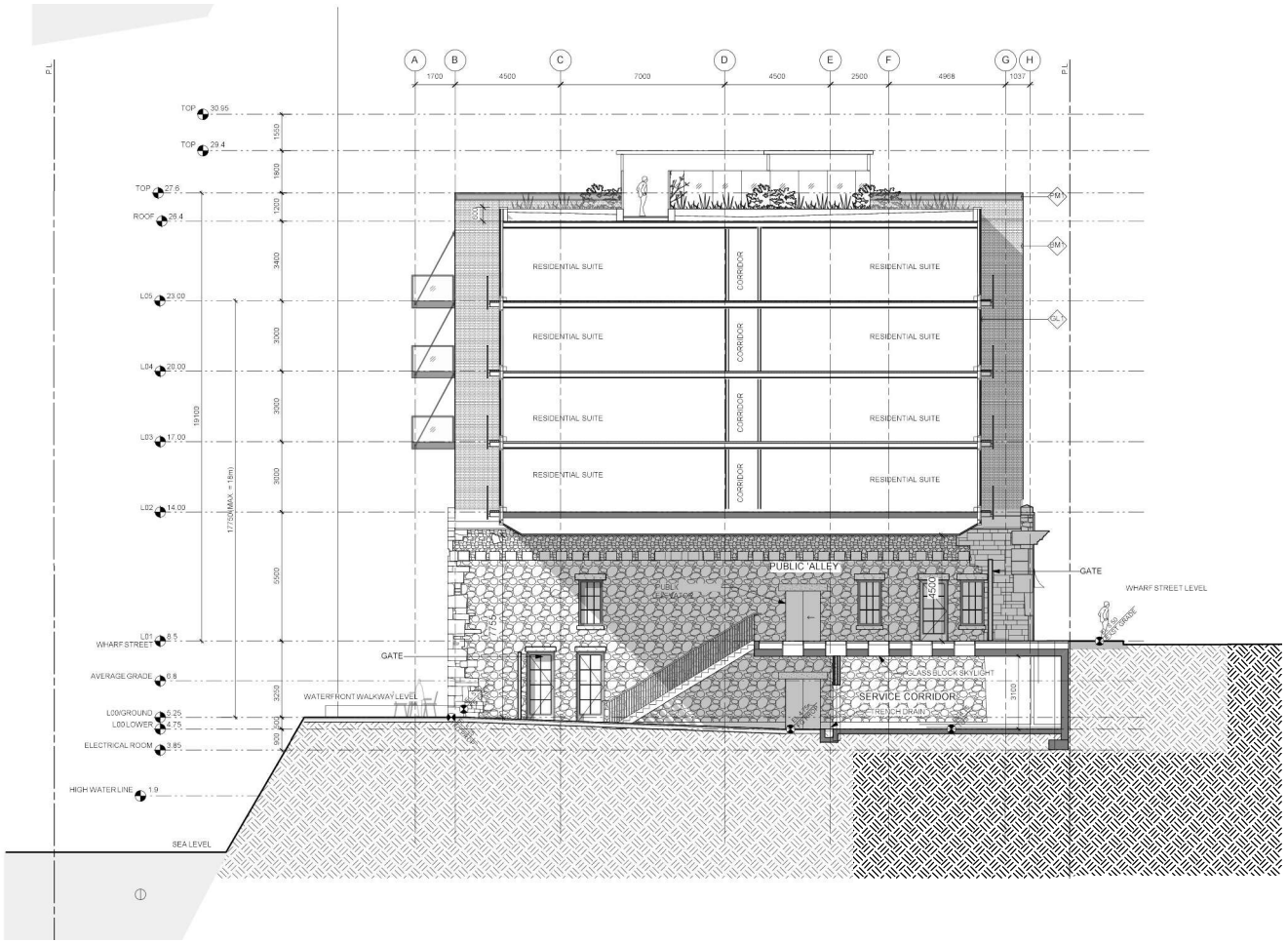
Context Elevations

DRAWN: SO
CHECKED: AB
PLOT DATE:

A-405

19004C



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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

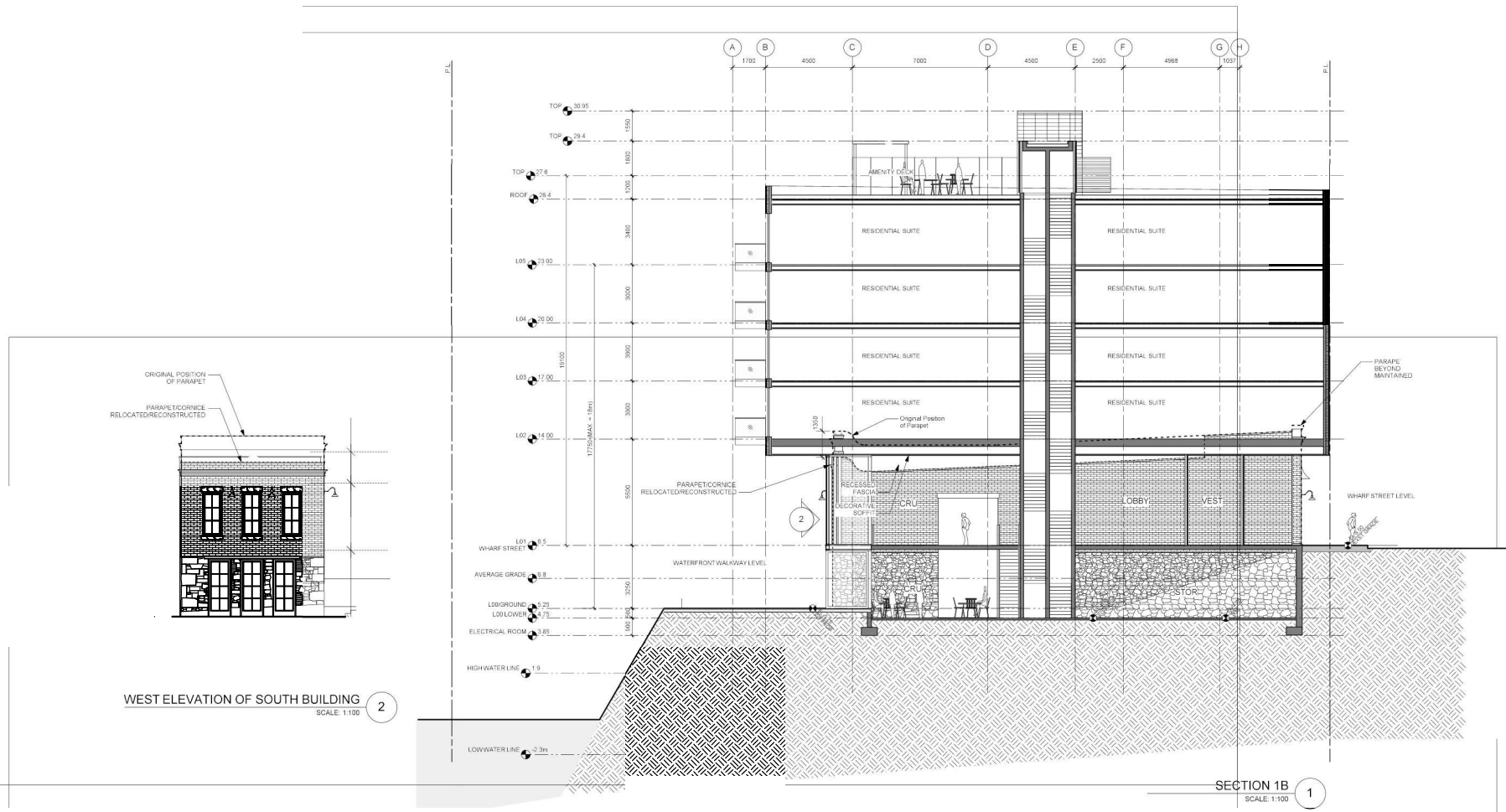
Section - A

DRAWN: AP
PLOT DATE:

CHECKED: AB

A-501

19004C



WEST ELEVATION OF SOUTH BUILDING
SCALE: 1:100
2

SECTION 1B
SCALE: 1:100
1

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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

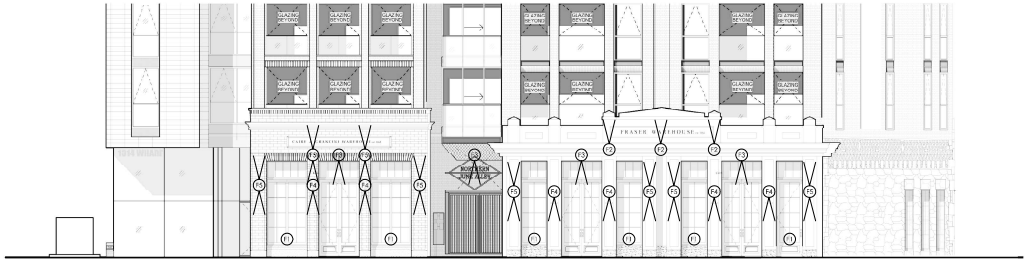
Section - A2

DRAWN: AP
PLOT DATE:

CHECKED: AB

A-502

19004C



1 EAST ELEVATION
SCALE - 1:100

3 FIXTURE TYPES
N.T.S.

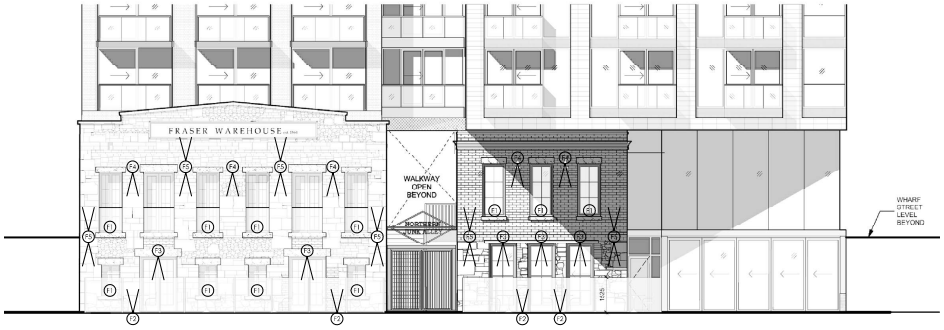
LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	PRODUCT	MOUNTING	LAMP					REMARKS
				WATTS (W)	TYPE	LED Lumens	COLOUR	V	
1	180 DEG WINDOW SILL MOUNTED LUMINAIRE C/W NARROW BEAM TO FRAME WINDOW	I GUZZINI TRICK LBU16-UNV-XX	SURFACE	3	LED	77	3000	120	SILVER COLOUR FIXTURE
2	IN GROUND STAINLESS STEEL HOUSING UPLIGHT 24DEG NARROW FLOOD	LITEHARBOR VOLTECH ROUND IN-GROUND MR16 LED BULB LV630-HHST	IN-GROUND	10	LED	600	3000	120	STAINLESS STEEL HOUSING
3	2.5"DIA IP44 24DEG RECESSED DOWNLIGHT WITH CLEAR GLASS LENS	HONTECH-HT-THD1DWAY C/W REMOTE DRIVER	RECESSED	10	LED	850	3000	120	ALUMINUM FINISH TRIM COLOUR
4	23"H X 18"W X 40"D SLOPING GOOSENECK SINGLE BULB FIXTURE	LONGSHORE TIDES - HALEIGH OUTDOOR BARN LIGHT	WALL SURFACE MOUNTED	8	LED	650	2700	120	GALVANIZED SILVER
5	IPE 65 ADJUSTABLE SQUARE NARROW BEAM UPLIGHT - DOWNLIGHT WITH BLENDING LENS	ERCO 34500.000 C/W MOUNTING PLATE	WALL	20	LED	1800	3000	120	ALUMINUM FINISH FIXTURE

NOTES

1. THESE LUMINAIRES ARE OPTIONAL. THESE SHALL BE NOT BE INCLUDED IN THE BASE BID AND SHALL BE SHOWN AS A BREAKOUT "ADD PRICE" PRICE. PRICE SHALL INCLUDE ALL COMPONENTS FOR LUMINAIRE TO BE OPERATIONAL INCLUDING TAXES, INSTALLATION, HANDLING, SHIPPING, WIRING
2. FINAL CALCULATIONS WITH STREET LIGHTING SHOULD BE ADVANCED TO AVOID LIGHT POLLUTION. PROCESS TO BE VERIFIED DURING CONSTRUCTION DRAWINGS PRIOR TO TENDER OR PROCUREMENT OF NOTED FIXTURES.

GENERAL NOTES

A. DUE TO CONSTANT CHANGES IN CATALOGUE NUMBERS, ALL NUMBERS INDICATED MUST BE VERIFIED WITH THE MANUFACTURER PRIOR TO ORDERING.
B. ALL LUMINAIRE FINISHES TO BE APPROVED BY ARCHITECT PRIOR TO ORDERING.
C. TYPE OF CONSTRUCTION FOR ALL CEILINGS TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS PRIOR TO ORDERING MOUNTING KITS. CONTRACTOR TO OBTAIN A SET OF IFC ARCHITECTURAL DRAWINGS AND COORDINATE MOUNTING WITH CEILING TYPES SHOWN. NO EXTRAS WILL BE ALLOWED FOR ROUGH IN.
D. CONTRACTOR TO ALLOW A MINIMUM 2 WEEKS FOR INITIAL REVIEW OF ENTIRE LIGHTING SHOP DRAWING PACKAGE. NO DELAY CLAIMS WILL BE ALLOWED FOR ANY SUBSEQUENT REVIEW TIME REQUIRED DUE TO INCORRECT SHOP DRAWINGS.
E. ALL CONTROLS INTEGRATED WITH LUMINAIRES TO BE COMMISSIONED ON SITE AFTER INSTALL. CONTRACTOR TO ENSURE THAT ALLOWANCE IS MADE FOR ADJUSTING AND COMMISSIONING OF ALL CONTROLS AS REQUIRED.
F. COORDINATE MOUNTING HEIGHT OF ALL WALL MOUNTED LUMINAIRES WITH ARCHITECT PRIOR TO ROUGH-IN.
G. ALL JUNCTION BOXES FOR SURFACE MOUNT LUMINAIRES SHALL NOT BE WIDER THAN THE LUMINAIRE MOUNTING PLATE.
H. ALL LED LUMINAIRES ARE BE INCLUDED WITH CONSTANT CURRENT DRIVERS UNLESS SPECIFIED.
I. ALL LUMINAIRES SHALL BE APPROVED AS DEFINED IN CURRENT CANADIAN ELECTRICAL CODE (CEC)



2 WEST ELEVATION
SCALE - 1:100

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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

Lighting Plan

DRAWN:
PLOT DATE:
CHECKED:

A-600

19004C

JOHNSON STREET
NORTHERN JUNK

REZONING /HERITAGE ALTERATION PERMIT_R3

DRAWING LIST:

L0.00 COVER
L0.01 DESIGN RATIONALE
L0.02 HIGH AND LOW TIDE DIAGRAM
L1.01 LAYOUT PLAN - SURFACE LOT LOADING OPTIONS
L1.02 LAYOUT AND MATERIALS PLAN - GROUND LEVEL
L1.03 LAYOUT AND MATERIALS PLAN - ROOF
L2.01 SECTIONS
L2.02 SECTIONS

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3

PROJECT
Johnson Street
Northern Junk
Site Layout

ADDRESS
1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE
COVER

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NORTH

SCALE

PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

DRAWING
L0.00

Northern Junk Design Rationale

The landscape design associated with the updated Northern Junk building creates a functional and vibrant urban waterfront space that celebrates City of Victoria's shoreline. The public will benefit from the extended connection of the David Foster Way, proximities to Reeson Park and Johnson Street Bridge Public Realm.

Wharf Street Connection

The cast in place concrete sidewalk follows the requirements outlined in the Downtown Public Realm Plan and Streetscape Standards for the district of Inner Harbour. While there isn't room to include street trees between the existing buildings and the curb line, by not shifting the curb to achieve the necessary space we are able to protect the mature trees opposite the building. The hardscape paving in the passage between the buildings uses the same rhythm as the jointing in the sidewalk to create unity of the two spaces. The passageway also benefits from the glass tiles that create a light well into the spaces below. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. A gate located in line with the building faces and designed with historical reference can be used to secure the passageway after business hours.

Reeson Park Interface

The building design promotes an eyes-on-the park relationship of the CRU, the lobby and the residential units above Reeson Park. This is not only a benefit to the residents but provides a significant CPTED improvement as the sunken park is not in view from the street.

David Foster Way

The public extension of David Foster Way matches and aligns with the existing 4.5-meter width. The walkway is constructed from heavy timber members that evoke the industrial historical significance of the site. Emphasizing this relationship between the built and natural environment is a large precast "stone" seating feature. It provides a place to rest, wait for a table at the restaurant or simply enjoy the view.

The two outdoor patios are surfaced with stone pavers that create significant visual distinction between private and public spaces and also carry the historical connotation. These patios will provide animation along the David Foster Way. The comfortable atmosphere of the outdoor dining patios is created by discrete glass enclosures and two planters defining the spaces and protecting from the ocean winds. It is further emphasized by catenary lighting that defines the space with open canopy and provides soft ambient light.

The lower level of the passageway between the historical buildings uses heavy timber paving to create visual unity between the passageway and David Foster Way. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. As at the top on Wharf Street, a gate In line with the buildings provides after business hour security.

Rooftop

The rooftop includes an extensive sedum grass and perennial green roof and patios for residents. The patios are paved with hydrapressed pavers to allow for ease of removal for replacement and access to the slab for maintenance. There are three large cast in place planters located on the roof, one of which will serve as urban agricultural plot for the residents. Three shade structures will be providing comfort for residents using the roof for gardening or for leisure. The plant palette includes small native trees and native adapted plants with a variety of bloom periods and textures to reduce the need for watering while delivering all season interest.

Sustainability

Locally sourced stone pavers, manufactured timber and paving slabs have been selected as the paving material for their durability. A high efficiency, fully automated drip irrigation system with rain sensor will ensure healthy plant growth while keeping water use to a minimum. The green roof improves air quality, provides significant areas of planted space which will contribute to the reduction of heat island effect, reduce the urban storm water runoff and increases the habitat area along the shoreline.

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PROJECT

Johnson Street
Northern Junk
Site Layout

ADDRESS

1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE

DESIGN RATIONALE

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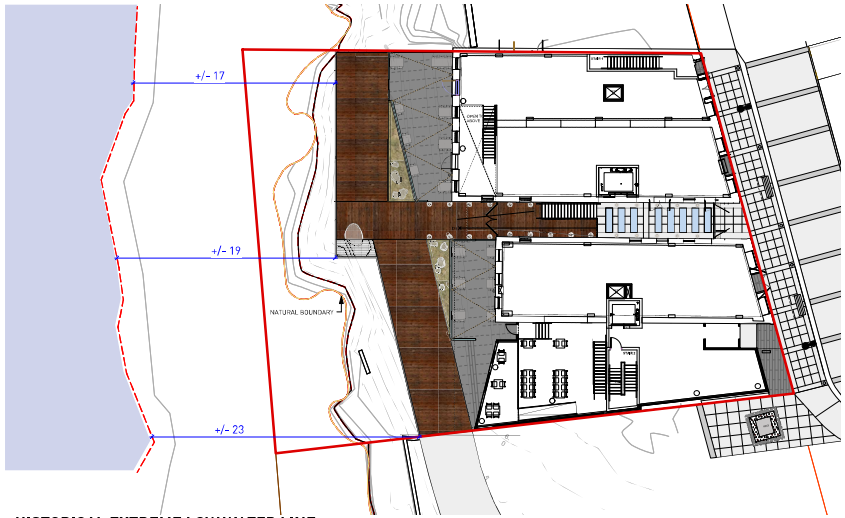
NORTH

SCALE

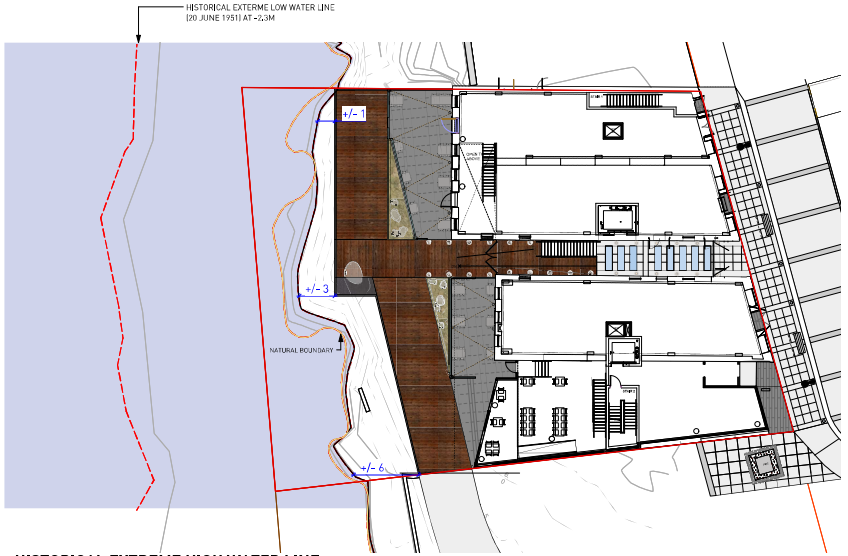
PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

DRAWING

L0.01



HISTORICAL EXTREME LOW WATER LINE
(20 JUNE 1951) AT -2.3M



HISTORICAL EXTREME HIGH WATER LINE
(02 JAN 2003) AT 1.9M GEODETIC

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PROJECT

Johnson Street
Northern Junk
Site Layout

ADDRESS

1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE

HIGH AND LOW TIDE DIAGRAM

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NORTH

SCALE 1:200

PROJECT NO.	15030
DATE	October 2019
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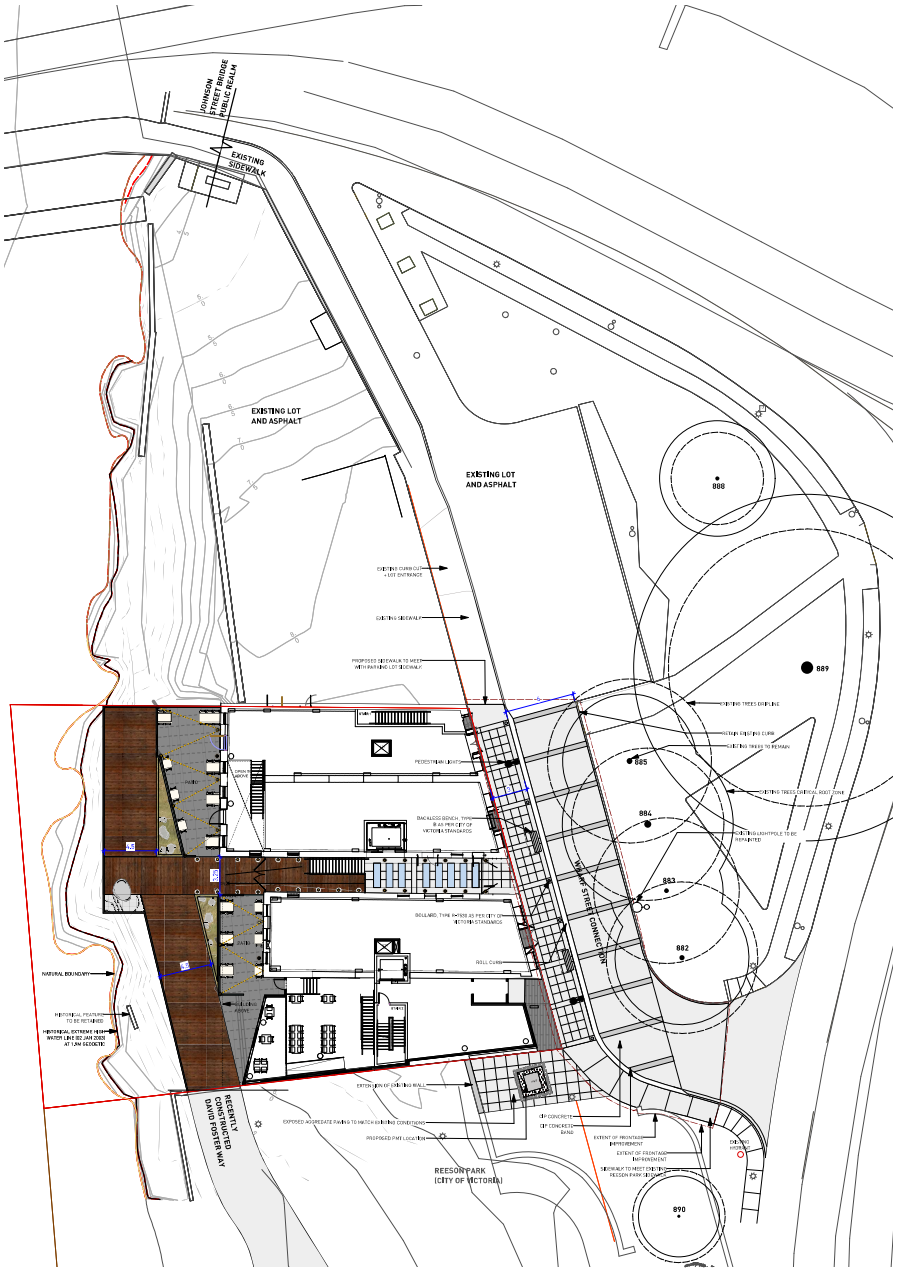
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

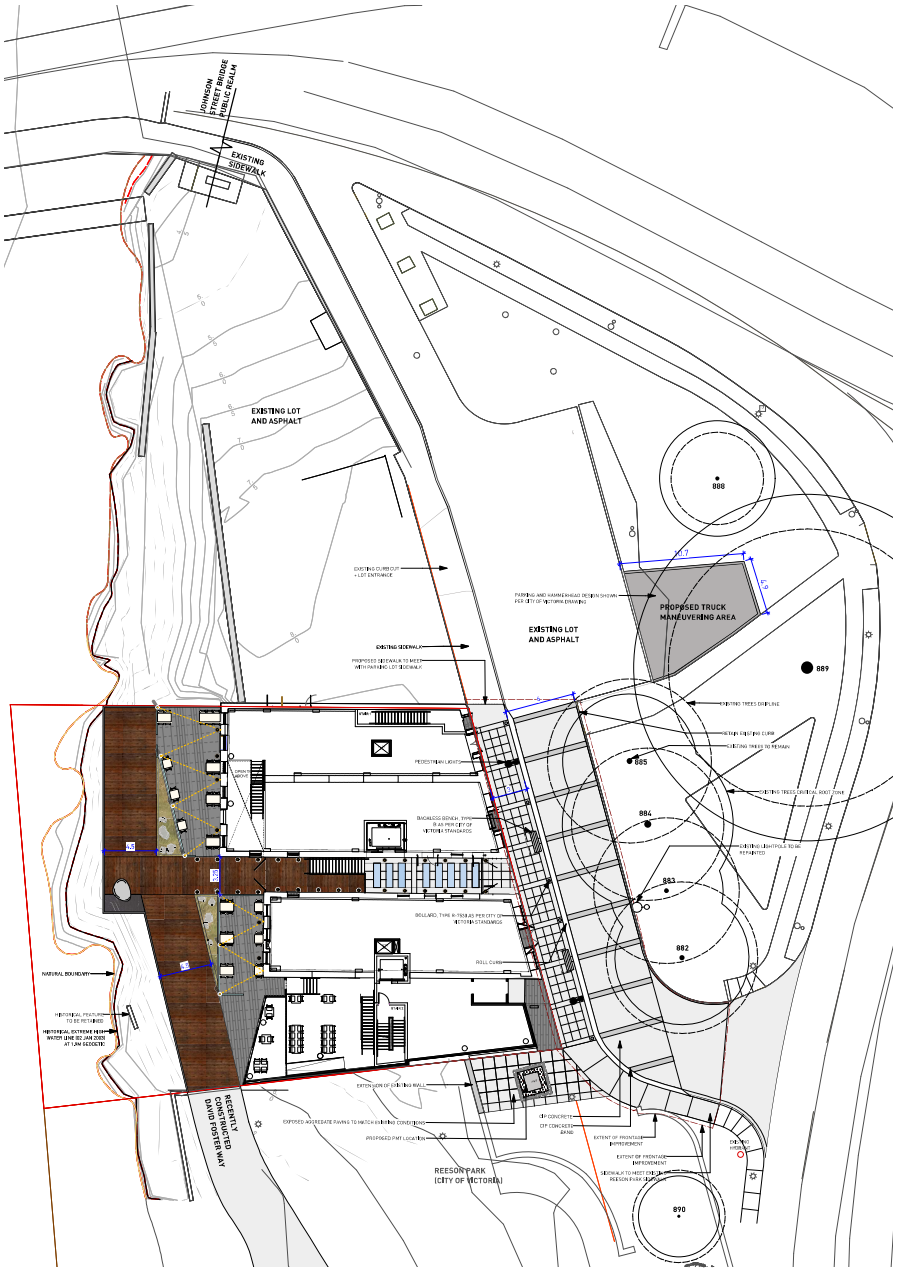
DRAWING

L0.02

INTERIM PROPOSED CONDITION: MAINTAIN THE PARKING LOT



ULTIMATE PROPOSED CONDITION: ADJACENT SITE REDEVELOPED



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4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3

PROJECT

Johnson Street Northern Junk Site Layout

ADDRESS

1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE

LAYOUT - SURFACE LOT LOADING OPTION

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SCALE 1:200

PROJECT NO.	15030
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FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

DRAWING

L1.01

LAYOUT AND MATERIALS GENERAL NOTES

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2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
6. REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.
7. FOR TREE MANAGEMENT PLAN, REFER TO ARBORIST REPORT

HARDSCAPE MATERIALS LEGEND

KEY	DESCRIPTION
H1	Metal Guard Rail As per City of Victoria Standards for David Foster Way
H2	Parapet Wall Refer to Architecture

PAVING MATERIALS LEGEND

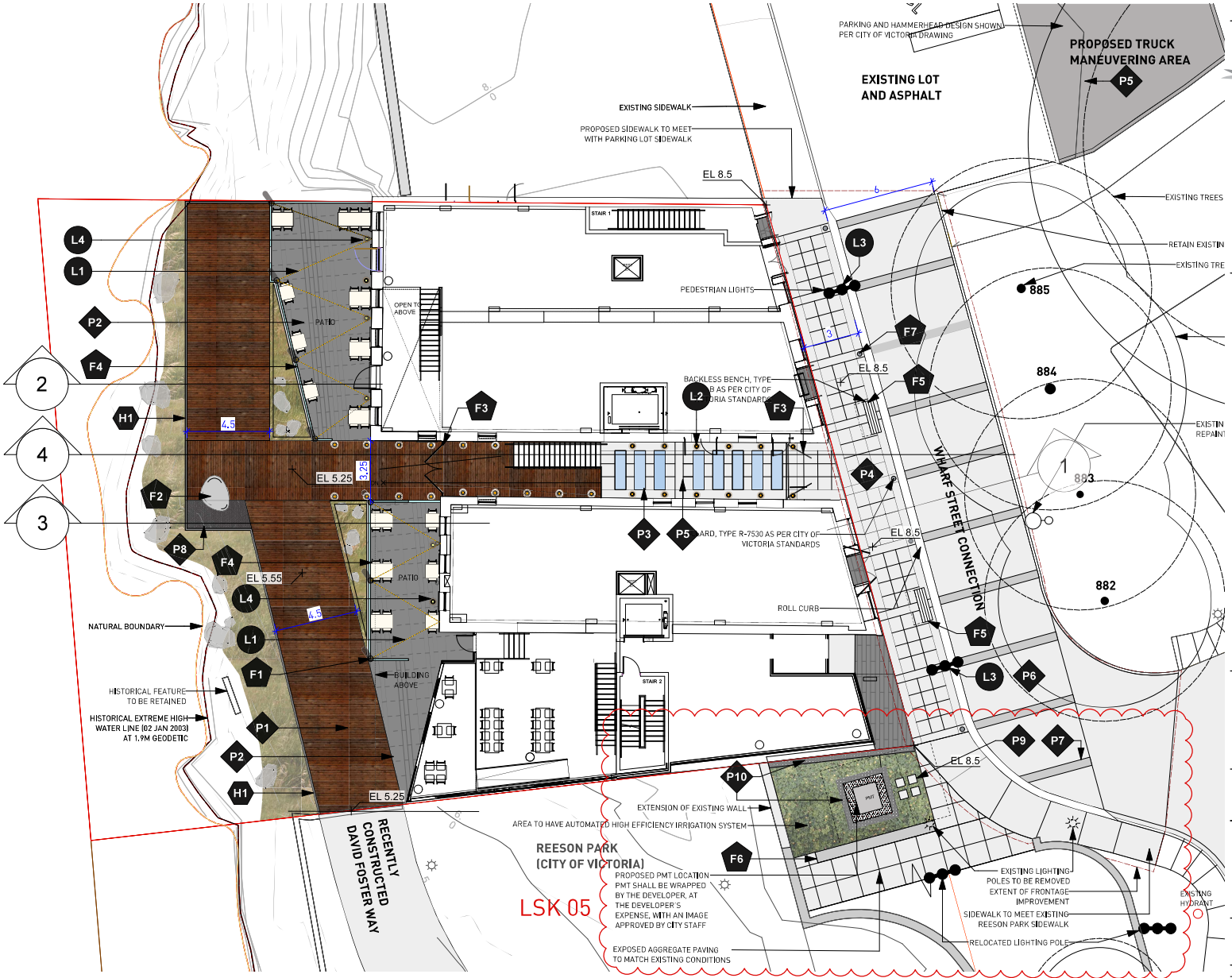
KEY	DESCRIPTION
P1	Timber Decking
P2	Stone Paving
P3	Light Wells
P4	CIP Concrete Sidewalk As per City of Victoria Standards
P5	CIP Concrete
P6	Stamped Asphalt (Street Bond) As per City of Victoria Standards
P7	Metal Grate Platform
P8	Asphalt
P9	Hydrapressed Pavers
P10	Maintenance Strip

SITE FURNISHING MATERIALS LEGEND

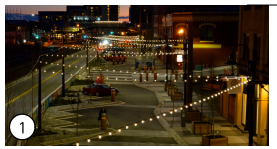
KEY	DESCRIPTION
F1	Catenary Light Post
F2	Metalco Stone Free Shape Seat
F3	Metal Gate
F4	Glass Guardrail Refer to Architecture
F5	Backless Bench As per City of Victoria Standards
F6	Bollard As per City of Victoria Standards
F7	Custom Bench
F8	Trellis Structure
F9	Urban Agriculture Potting Table With Storage
F10	Urban Agriculture Planters
F11	CIP Concrete Planters

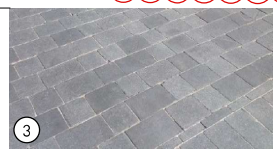
LIGHTING MATERIALS LEGEND

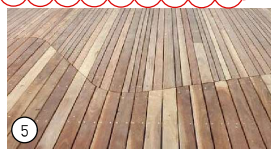
KEY	DESCRIPTION
L1	Catenary Lights
L2	In Ground Lights
L3	Proposed Pedestrian Lights
L4	Lighting for Heritage Building



IMAGES AS PER FOLLOWING:
1. CATENARY LIGHTING
2. IN GROUND LIGHTING
3. STONE PAVING
4. STONE SHAPESEAT
5. TIMBER DECKING







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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2020-05-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-12-07	REZONING / HERITAGE ALTERATION PERMIT_R2
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3
5	2021-03-04	REZONING / HERITAGE ALTERATION PERMIT R3 UPDATED
6	2021-04-12	REZONING / HERITAGE ALTERATION PERMIT R3 UPDATED V

PROJECT
Johnson Street Northern Junk Site Layout

ADDRESS
1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE
LAYOUT AND MATERIALS PLAN - GROUND LEVEL

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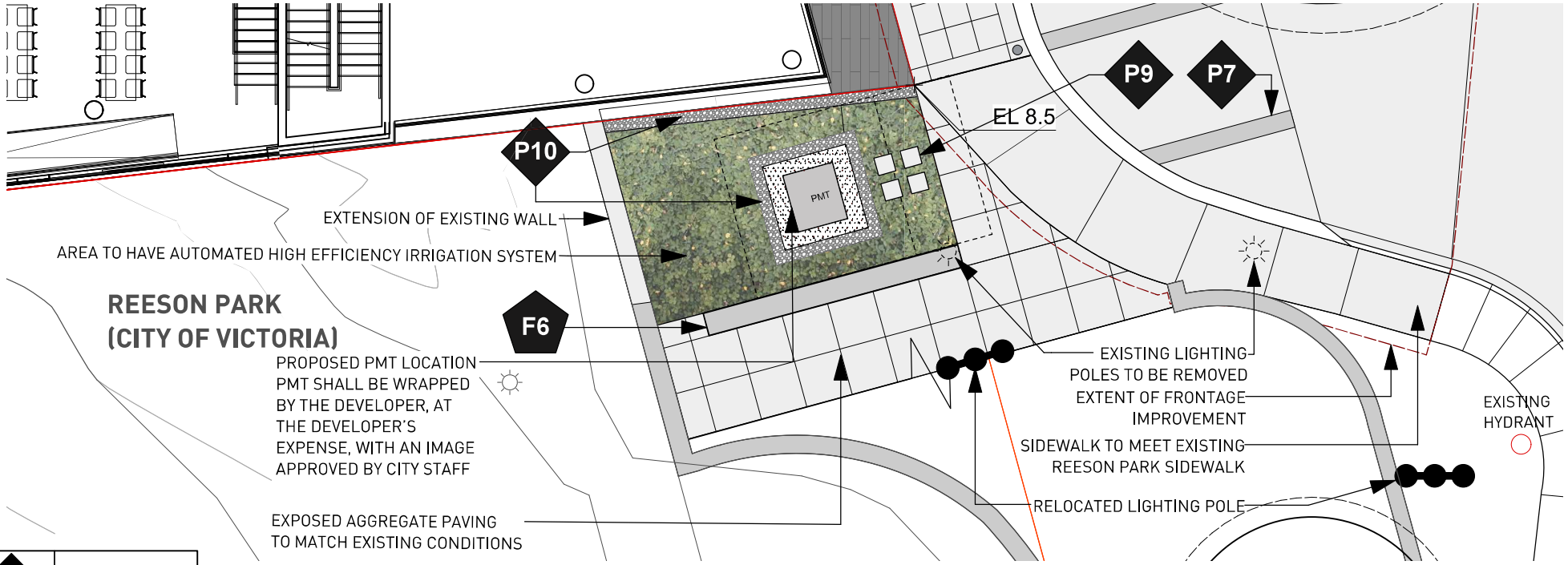
NORTH

SCALE 1:100

PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-04-19
DRAWN	TK
REVIEWED	JO

DRAWING NO.
L1.02



P9	Hydrapressed Pavers
P10	Maintenance Strip
F6	Custom Bench

Revised:

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This LSK to be read in conjunction with the following drawings:
L1.02

Project: 15030
Johnson Street
Northern Junk
Site Layout
Drawing Title:
PMT

Scale: 1:100

North:

Date: 2021-04-12
File: 15030 Northern Junk Plan.vw
Drawn: TK Reviewed: JO
Drawing:

LSK 05

LAYOUT AND MATERIALS GENERAL NOTES

1. DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5. EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
6. REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.
7. FOR TREE MANAGEMENT PLAN, REFER TO ARBORIST REPORT

HARDSCAPE MATERIALS LEGEND

KEY	DESCRIPTION
H1	Metal Guard Rail As per City of Victoria Standards for: Dwarf Foster Way
H2	Parapet Wall Refer to Architecture

PAVING MATERIALS LEGEND

KEY	DESCRIPTION
P1	Timber Decking
P2	Stone Paving
P3	Light Wells
P4	CIP Concrete Sidewalk As per City of Victoria Standards
P5	CIP Concrete
P6	Stamped Asphalt (Street Bond)
P7	Metal Grate Platform
P8	Hydrapressed Pavers

SITE FURNISHING MATERIALS LEGEND

KEY	DESCRIPTION
F1	Colonary Light Post
F2	Metalco Stone Free Shape Seat
F3	Metal Gate
F4	Glass Guardrail Refer to Architecture
F5	Backless Bench As per City of Victoria Standards
F6	Bollards As per City of Victoria Standards
F7	Trellis Structures
F8	Urban Agriculture Potting Table With Storage
F9	Urban Agriculture Planters
F10	CIP Concrete Planters

LIGHTING MATERIALS LEGEND

KEY	DESCRIPTION
L1	Colonary Lights
L2	In Ground Lights
L3	Proposed Pedestrian Lights
L4	Lighting for Heritage Building

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3

PROJECT

Johnson Street Northern Junk Site Layout

ADDRESS

1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE

LAYOUT AND MATERIALS PLAN - ROOF LEVEL

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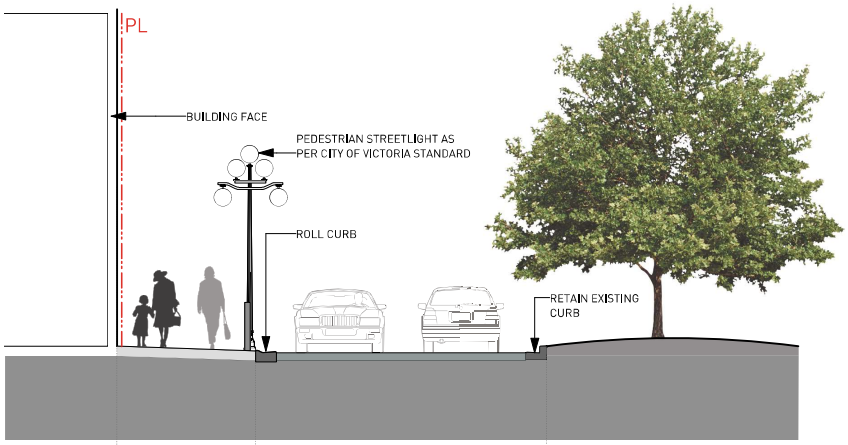
NORTH

SCALE 1:100

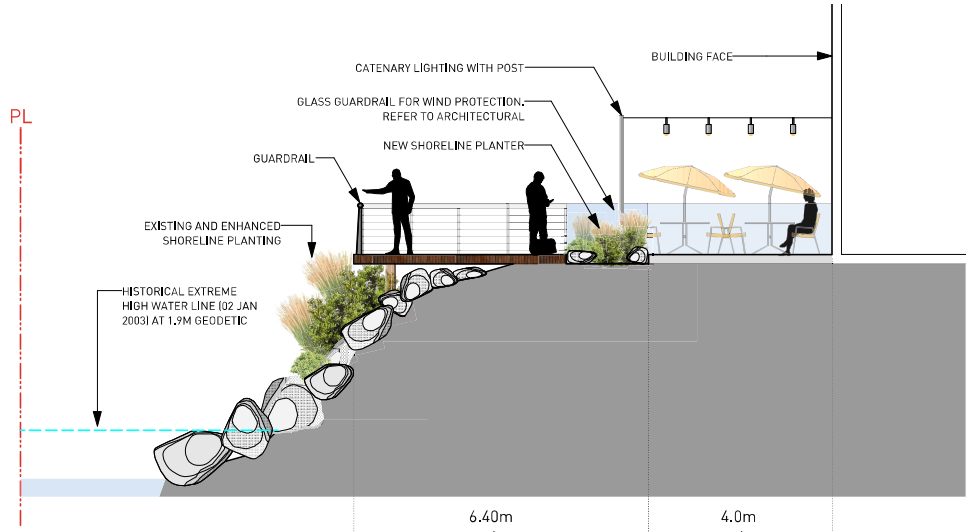
PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2021-01-13
DRAWN	TK
REVIEWED	JO

DRAWING

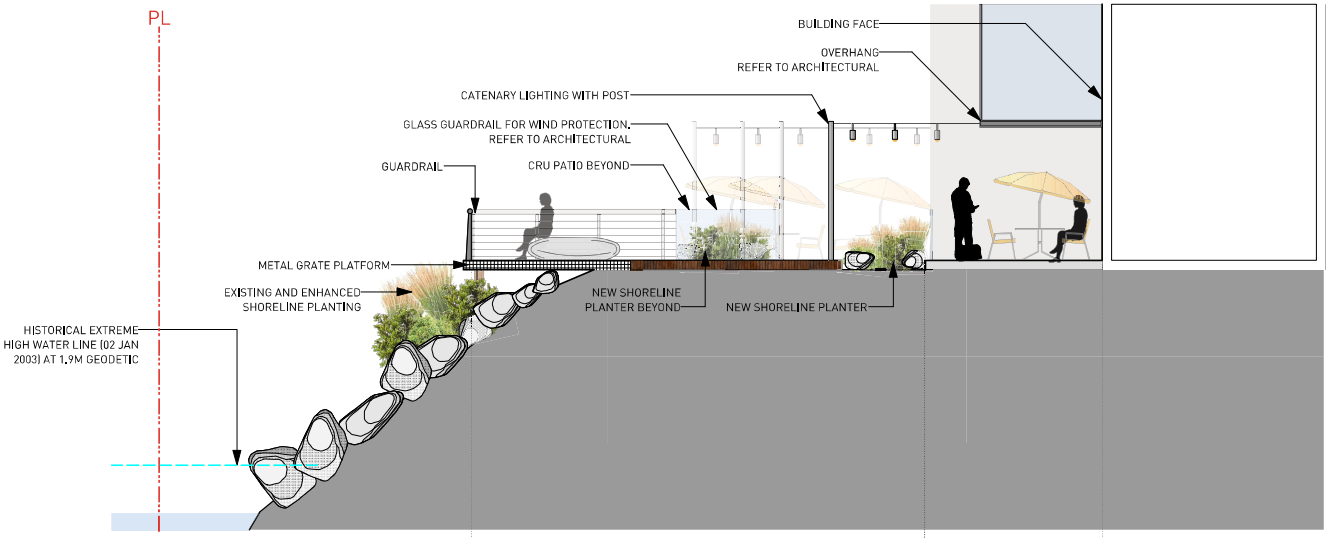
L1.03



1 SECTION
Scale: 1:50



2 SECTION
Scale: 1:50



3 SECTION
Scale: 1:50

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2020-09-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-01	REZONING / HERITAGE ALTERATION PERMIT_01
3	2020-10-07	REZONING / HERITAGE ALTERATION PERMIT_02
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_03
5	2021-01-12	REZONING / HERITAGE ALTERATION PERMIT_REV_01

PROJECT
Johnson Street Northern Junk

ADDRESS
1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE
SECTIONS

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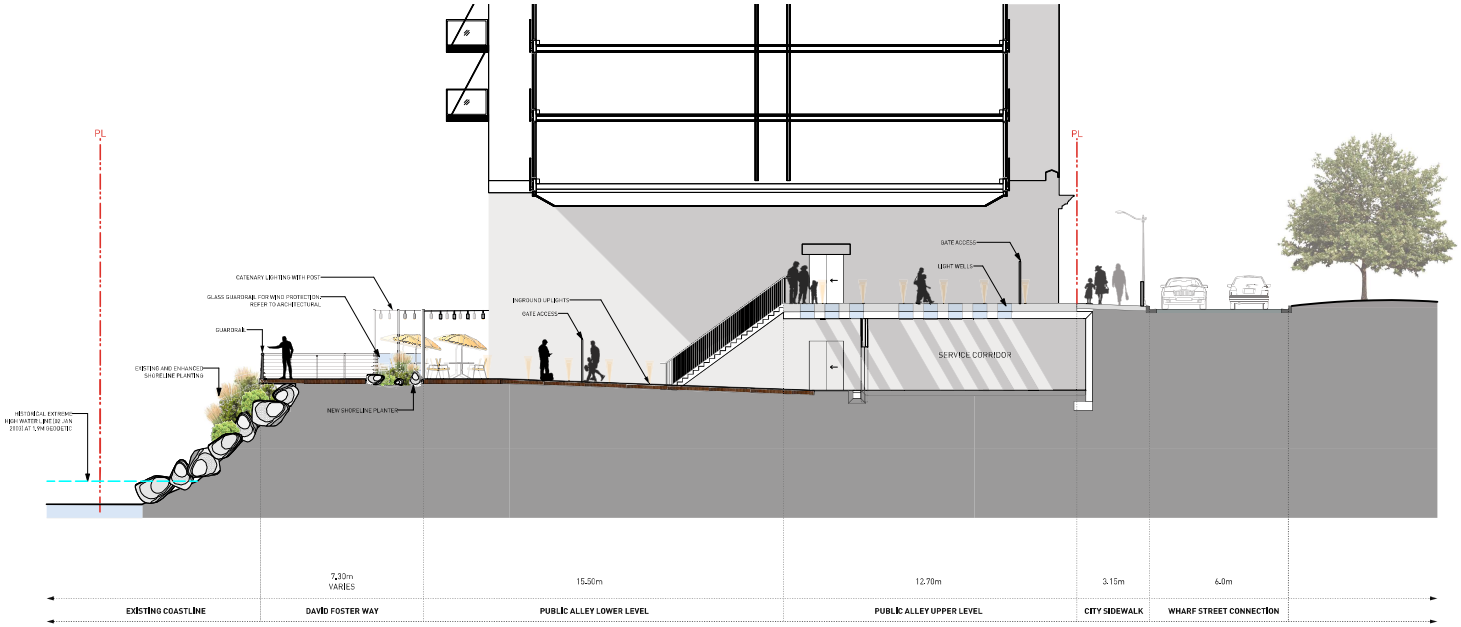
NORTH

SCALE 1:50

PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Sections.vwx
PLOTTED	
DRAWN	TK
REVIEWED	JO

DRAWING NO.
L2.01



4 SECTION
Scale: 1:100

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2
4	2021-01-11	REZONING / HERITAGE ALTERATION PERMIT_R3

PROJECT
Johnson Street
Northern Junk

ADDRESS
1314 WHARF STREET

Lot 182F (001-005-723)

DRAWING TITLE
SECTIONS

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NORTH

SCALE
1:100

PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Sections.vwx
PLOTTED	
DRAWN	TK
REVIEWED	JO

DRAWING
L2.02

LEGEND

SURFACE DETAIL

- STORM DRAIN MANHOLE
- STORM DRAIN VENT
- CATCH BASIN
- DRAIN CLEANOUT
- DRAIN LATERAL
- SANITARY SEWER MANHOLE
- SANITARY SEWER VENT
- SEWER CLEANOUT
- HYDRO MANHOLE
- HYDRO POLE
- HYDRO POLE WITH DIP
- JOINT POLE
- HYDRO POLE WITH LIGHT
- HYDRO SERVICE BOXES
- HYDRO VAULT
- SEWER LATERAL
- WATER VALVE ON MAIN
- WATER SERVICE VALVE
- WATER METER
- BOULEVARD SERVICE
- FIRE HYDRANT
- REDUCER
- LIGHT MANHOLE
- LIGHT PULL BOX – SIDEWALK
- TEL MANHOLE
- TEL POLE
- TEL POLE WITH DIP
- TEL POLE WITH LIGHT
- TEL SERVICE BOXES
- TEL VAULT
- POLE ANCHOR
- HYDRO/TEL POLE TO BE RELOCATED
- SIGNAL PULL BOX – SIDEWALK
- LIGHT/SIGNAL PULL BOX – STREET
- LIGHT POLE (STEEL)
- SIGNAL POLE (STEEL)
- LIGHT/SIGNAL POLE (STEEL)
- CLUSTER LAMP – TYPE A
- CLUSTER LAMP – TYPE B
- STREET SIGN
- PARKING METER
- HYDRO/TEL POLE TO BE REMOVED
- GAS METER
- GAS VALVE
- GAS SNIFFER
- TEST HOLE
- FENCE LINE
- RETAINING WALL
- TREE
- ROCK OUTCROP
- SANITARY
- STORM
- WATER
- HYDRO
- LIGHTING
- GAS
- TEL/CABLE

1:200 — 5 0 5 10 m

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ISS/REV	YYYY-MM-DD	DESCRIPTION	DES	DRN	CHK	PM
####	####	####	####	####	####	####
####	####	####	####	####	####	####
####	####	####	####	####	####	####
####	####	####	####	####	####	####
####	####	####	####	####	####	####
####	####	####	####	####	####	####
3	2021-04-07	REVISED AS PER CITY COMMENTS	MT	MT	JS	JS
2	2021-01-12	REVISED AS PER CITY COMMENTS	MT	SG	JS	JS
1	2019-10-17	REVISED AS PER CLIENT COMMENTS	EP	EP	JS	JS
0	2019-10-11	ISSUED FOR REVIEW	EBP	CD	JS	JS

SEAL:

CLIENT: CROSSTOWN PROPERTIES (WHARF STREET) LTD.

CLIENT REF. NO: ####

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PROJECT: JOHNSON STREET GATEWAY NORTHERN JUNK

PROJECT NO: 171-08724-00

SCALE: 1:200

DISCIPLINE: CIVIL

TITLE: CONCEPTUAL SITE SERVICING PLAN

DRAWING NO: C01

SHEET NO: 1 OF 1

ISSUE: REVISED AS PER CITY COMMENTS

2021-04-07

ISS/REV: 3