

Artemis  
Unit 27-560 Johnson St  
Victoria BC V8W3C6

City of Victoria  
Liquor Licensing

January 11, 2021

Re: Letter of Intent for Liquor Primary License at subject property Unit 27-560 Johnson St Victoria BC

Here by please accept our letter of intent for a liquor primary license for a Whisky Bar by the name of Artemis at below mentioned address with approximately 3,538 sq ft premise area.

Primarily a Whisky bar we are aiming to serve high end Whisky and cater to a niche crowd. We are locally owned and are looking to grow sustainably and create new employment opportunities in this challenging times.

**Name:** Artemis

**Address:** Unit 27-560 Johnson St. Victoria BC V8W3C6

**Director Info:** Patel Vaibhav 10-1550 Begbie St Victoria BC V8R1K8

**Ph:** 250-891-1840

**Email:** vhpatel@uvic.ca

**Hours of Operation**

|       | Sunday | Monday | Tuesday | Wednesday | Thursday | Friday | Saturday |
|-------|--------|--------|---------|-----------|----------|--------|----------|
| Open  | 11:00  | 11:00  | 11:00   | 11:00     | 11:00    | 11:00  | 11:00    |
| Close | 10:00  | 11:00  | 11:00   | 11:00     | 11:00    | 12:00  | 12:00    |

**Occupant Load:** 110

**Area:** Main Floor Access 202.00 Basement Floor Level 3,336.00 Combined 3,538.00

**Entertainment:** Music & Tv.

**Food:** Variety of Hot and Cold (Pretzels, Nachos, Salad and Wrap)

**Neighbourhood:** Commercial also known as Market Square Victoria Downtown.

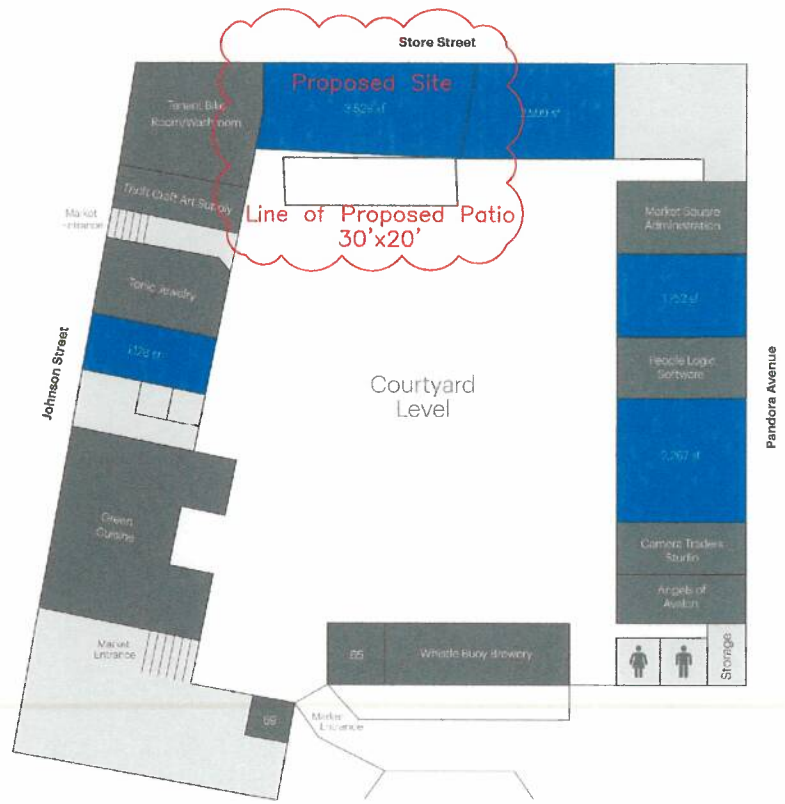
**Potential for Noise:** Music and Patrons.

**Measures in Place to avoid:** Sound dampening construction of the premises and booking for patrons.

Request for patio to be considered in Summer if in compliance with the regulations.

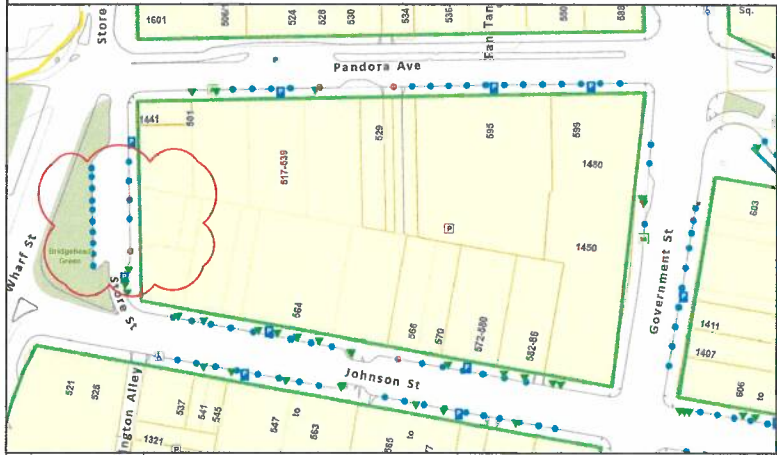


**MARKET SQUARE**



■ Leased ■ Available □ Common Areas ▨ Separate Ownership

This is a representation for design purposes only and should not be used for measurements and consistency of any kind. This drawing is not to scale.



**NOTES:**

1. Patio for reference only.
2. Offsite parking shown with blue dot.
3. Patio to be as per licensing guide.

|          |                    |            |
|----------|--------------------|------------|
| Graviton | Artemis Whisky Bar |            |
|          | SCALE              | NTS        |
|          | DATE               | 23/01/2021 |
|          | REVISED            | —          |

Site Layout

# Preliminary Building Code Review

Project: Artemis Whisky Bar

Date: January 7, 2021

By: Studio 20 Two



**Applicable Building Code:** 2018 British Columbia Building Code

**Major Occupancy Classification:** Group A, Division 2

**Occupancy Classification:** Article 3.2.2.24. Group A, Division 2, up to 6 Storeys, Any Area, Sprinkered

- 1) A *building* classified as Group A, Division 2 that is not limited by building area, is permitted to conform to sentence (2), provided
  - a. Except as permitted by sentences 3.2.2.7.(1) and 3.2.2.18.(2), the building is sprinklered throughout,
  - b. it is not more than 6 *storey* in *building height*
- 2) Except as permitted by Article 3.2.2.16., the building referred to in sentence (1) shall be of non-combustible construction, and
  - a. Floor assemblies shall be fire separations with a fire resistance not less than 1 hr
  - b. Mezzanines shall have a fire resistance rating not less than 1 hr and
  - c. Load bearing walls, columns and arches shall have a fire resistance rating not less than that required for the supported assembly.

Number of Storeys: 3  
Type of Construction: Non-Combustible  
Sprinklers: Yes  
Floor Assembly Separation: 1hr

**Building Area (refer to Definition 1.4.1.2):** 329 m<sup>2</sup> (3538 sqft.)

**Number of Streets Facing:** Per Article 3.2.2.28 – One *street*

**Sprinklers:** Per Article 3.2.2.27 – Required

**Exiting and Means of Egress:**

*Number of Exits:* Per Articles 3.3.1.5. and 3.4.2.1(1) every *floor area* intended for occupancy shall be served by at least two exits where:

- a) *Occupant load* more than 60 or
- b) *Area travel distance* exceeds 25m or
- c) *Area of room or suite* is greater than 200 sq.m.

*Exit Width:*

Doorways: 6.1mm/person based on posted occupancy.  
3.4.3.2.(1)(a)

*Travel Distance to Exit:*

Per Article 3.4.2.5.(1)(f) – 45m in a floor area that contains an occupancy other than high hazard industrial occupancy, provided it is sprinklered throughout

*Location of Exits:*

Per Article 3.4.2.3 (1)

Except as provided in Sentence (2), the least distance between 2 exists from a floor area shall be

a) One half the maximum diagonal dimensions of the floor area, but not less than 9m for all other floor areas.

**Corridors:**

*Corridor Width:*

Per Article 3.3.1.9.(1) – minimum corridor width – 1100mm

*Dead End Corridor:*

Per Article 3.3.1.9.(7) – 3m max. dead end corridor length

**Occupant Load:**

*Occupant load* as per Table 3.1.17.1:

- Dining, beverage, cafeteria space :

o  $1.2 \text{ persons per m}^2 = 191\text{m}^2 / 1.2 = 160 \text{ persons}$

Total Occupancy = 160 persons

*Occupant load* as calculated based on seating plan:

- Space with fixed seats = 100 seats / persons

- Staff = 10 persons

Total Occupancy = 110 persons

