

**F.1.a.c -123/125 Government Street: Development Variance Permit
Application No. 00252 (James Bay)**

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Variance Permit Application No. 00252 for 123/125 Government Street in accordance with:

1. Plans date stamped October 2, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. Reduce the required parking from two stalls to one stall;
 - ii. Reduce the setback requirement for a lower storey window on the side elevation (south) from 3.0 m to 2.4 m.
3. The Development Variance Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

G.4 123/125 Government Street: Development Variance Permit Application No. 00252 (James Bay)

Committee received a report dated February 26, 2021 from the Director of Sustainable Planning and Community Development regarding the proposed Development Variance Permit Application for 123/125 Government Street in order to reduce the parking requirement from two stalls to one and to reduce the required setback from a window on the lower level and recommending that it move forward to an opportunity for public comment.

Moved By Councillor Alto

Seconded By Councillor Thornton-Joe

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Variance Permit Application No. 00252 for 123/125 Government Street in accordance with:

1. Plans date stamped October 2, 2020.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
 - i. Reduce the required parking from two stalls to one stall;
 - ii. Reduce the setback requirement for a lower storey window on the side elevation (south) from 3.0 m to 2.4 m.
3. The Development Variance Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY



Committee of the Whole Report

For the Meeting of March 11, 2021

To: Committee of the Whole **Date:** February 26, 2021

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: **Development Variance Permit Application No. 00252 for 123/125 Government Street**

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Variance Permit Application No. 00252 for 123/125 Government Street in accordance with:

1. Plans date stamped October 2, 2020.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
 - i. Reduce the required parking from two stalls to one stall;
 - ii. Reduce the setback requirement for a lower storey window on the side elevation (south) from 3.0 m to 2.4 m.
3. The Development Variance Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 498 of the *Local Government Act*, Council may issue a Development Variance Permit that varies a *Zoning Regulation Bylaw* provided the permit does not vary the use or density of land from that specified in the *Zoning Regulation Bylaw*.

EXECUTIVE SUMMARY

The purpose of this report is to provide Council with information, analysis and recommendations for a Development Variance Permit Application for the property located at 123/125 Government Street. The proposal is to reduce the parking requirement from two stalls to one and to reduce the required setback from a window on the lower level. This window already exists and the variance is needed to legitimize its placement in this location.

The following points were considered in assessing this application:

- The original dwelling on the subject parcel was constructed in 1906. There has been a number of changes to the original structure resulting in a complex history of approvals, which permitted the two-family dwelling in 1967 and further renovations in 2019.
- The applicant's desire to strata subdivide the building requires that zoning irregularities, are addressed, triggering the requirement for two variances as noted above.
- The reduction in required parking from two stalls to one is considered supportable as it is a small variance and the active transportation measures help mitigate the shortfall.
- The variance for an existing window on the lower level is supportable as it is minor in nature and does not create any privacy issues.
- No additional physical changes are proposed as part of this application as the changes to the original structure were undertaken under previous approvals.

BACKGROUND

Description of Proposal

The application is to reduce the required parking from two stalls to one and to formalize the placement of a bay window in the side yard that is already in situ. The bay window was inadvertently missed as requiring a variance during a previous approval process. This application is being triggered by the applicant's desire to strata subdivide the existing two-family dwelling and the process requires full compliance with the *Zoning Regulation Bylaw*. No new construction is proposed as part of this application.

Affordable Housing

The retention of an existing two-family dwelling maintains the variety of housing units in the area and the renovation enhances the quality of the supply. This two-family dwelling is occupied by members of the same family and no change in occupancy is anticipated at this time.

Sustainability

The retention and renovation of an existing building creates less construction waste. Permeable paving is in place for the driveway and parking stall.

Accessibility

The British Columbia Building Code regulates accessibility as it pertains to buildings. The pathways and driveway are designed to be accessible.

Active Transportation

Although two-family dwellings are exempt from requiring bike parking, in this instance secure bicycle parking for use by the residents is proposed to be accommodated in the existing accessory building.

Public Realm

No public realm improvements beyond the City's standard requirements are proposed in association with this application.

Relevant History

The existing dwelling was constructed in 1906 as a single-family dwelling and converted to a two-family dwelling in 1967. In 2019, the existing structure was raised to create more useable living space for each unit and the building was extensively renovated on all floors. At that time, a Board of Variance approval was obtained to allow for the additional building height. The additional setback variance required for the new bay window on the lower level would have been an appropriate variance for Board of Variance deliberation, however, it was not part of the application and therefore is now being considered as part of this Development Variance Permit application.

Data Table

The following data table compares the existing two-family dwelling with the R-2 Zone, Two Family Dwelling District. For clarity, it is noted that no further construction is considered on the subject property and the intent of the requested variances is to facilitate the strata subdivision of the existing two family dwelling.

An asterisk is used to identify where the proposal does not meet the requirements of the existing zone; two asterisks identify where this is an existing condition, and an explanatory note of approval history is provided.

Zoning Criteria	Proposal (Existing two-family dwelling)	R-2 Zone	Notes
Site area (m ²) – minimum	653	555	
Floor space ratio – maximum	0.49:1	0.5:1	
Height (m) – maximum	8.61**	7.6	Board of Variance granted approval in 2019 to allow additional height
Storeys – maximum	3**	1.5	Legal non-conforming - original structure
Site coverage (%) - maximum	29.8	40	
Setbacks (m) – minimum			
Front (Government Street)	6.38**	7.5	Legal non-conforming-original footprint
Rear	18.74	15.01	
Side (north)	1.88	1.52	
Side (south)	2.4*	3.0	Variance requested to accommodate existing bay window.

Zoning Criteria	Proposal (Existing two- family dwelling)	R-2 Zone	Notes
Combined side yards	4.74	4.5	
Vehicle Parking – minimum	1*	2	Variance requested

Community Consultation

Consistent with the Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications, the application was referred to the James Bay Neighbourhood Association. No comments have been received to date.

This application proposes variances; therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances.

The applicant has also canvassed the neighbours with respect to the parking variance and has provided petitions to support their application.

ANALYSIS

Official Community Plan and James Bay Neighbourhood Plan

The proposal is consistent with the *Official Community Plan*, 2012 (OCP) and *James Bay Neighbourhood Plan*, which both support maintaining a variety of housing types and tenures. The strategic directions for the James Bay area include to “enable adaption and renewal of existing building stock” (Policy 21.16.4). By considering and supporting minor variances to the existing two-family dwelling, these policy objectives are realized.

Zoning Regulation Bylaw

The proponent's plan to strata subdivide the existing two units, triggers the need to ensure full compliance with the *Zoning Regulation Bylaw* and formalize any irregularities. If the second dwelling unit is used as rental only, it does not trigger the need for an additional parking stall; however, an additional stall is required to facilitate the change in tenure. If the building qualified as a house conversion under Schedule G – House Conversion Regulations, it would not be required to provide any parking regardless of how many units were proposed; however, since there were modifications to the building in 2019 that added floor area and raised the building more than 0.6m (two feet), it does not qualify as a conversion until five years has passed. The following sections address the two proposed variances.

Parking Variance

Schedule C requires one parking stall per unit for two-family dwellings. Only one parking stall is provided on site. However, there is sufficient paved area in the front of house and a driveway to accommodate deliveries or short-term parking when required.

This section of Government Street is designated for resident parking only and creates opportunity for the occupants to use street parking when available. Further, the two units are existing, and therefore no change in the parking demand is anticipated as a result of strata titling the units.

The parking variance request may be partially mitigated by the active transportation measure, of including secure bicycle parking in the accessory building.

The site is also in close proximity to services and amenities within James Bay neighbourhood, which supports less reliance on vehicles.

Setback Variance

The side yard setback requirement is 3.0m and the bay window which was installed on the lower level as part of the 2019 renovations has a 2.4m setback. As such, a further variance is required. There are no overlook or privacy issues associated with the placement of this window as it provides light into a non-habitable area and there is adequate buffering from the adjacent neighbour. This variance is considered minor in nature and was inadvertently omitted from the Board of Variance application that considered the additional floor area and changes that were approved in 2019, hence the request to formalize its placement with this Development Variance Permit Application.

CONCLUSIONS

The application is consistent with policies within the *Official Community Plan*, which supports a diversity of housing types in each neighbourhood and further encourages the renewal of existing housing stock. The parking stall shortfall of one stall is supportable as mitigation measures are in place. The setback variance for a bay window is supportable as it does not create any privacy issues. The variances are minor in nature and are requested to create conformity with the applicable regulations to facilitate the strata subdivision of an existing building.

ALTERNATE MOTION

That Council decline Development Variance Permit Application No. 00252 for the property located at 123/125 Government Street.

Respectfully submitted,

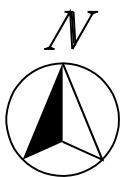
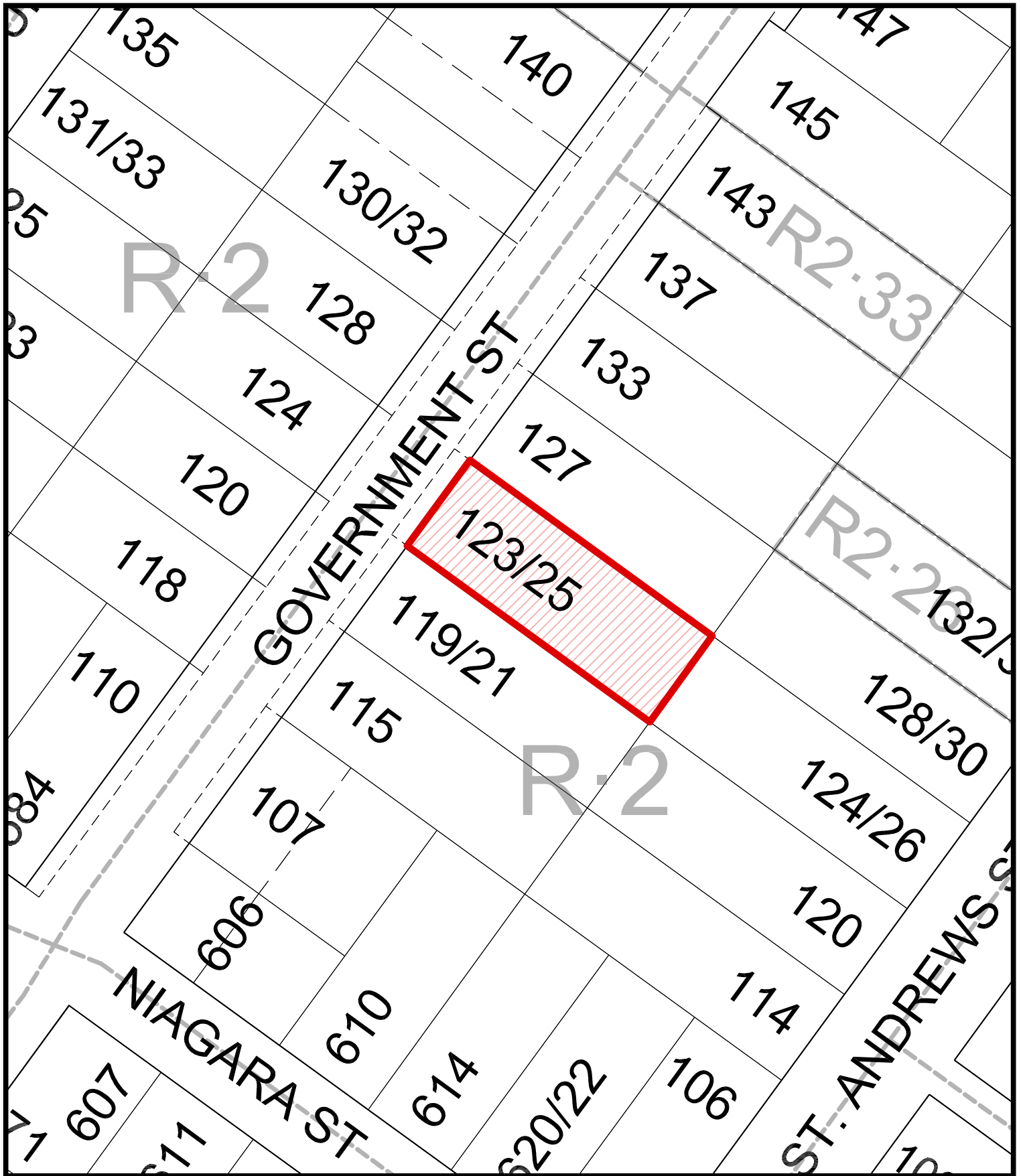
Lucina Baryluk
Senior Planner
Development Services

Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

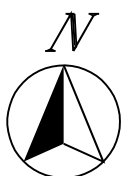
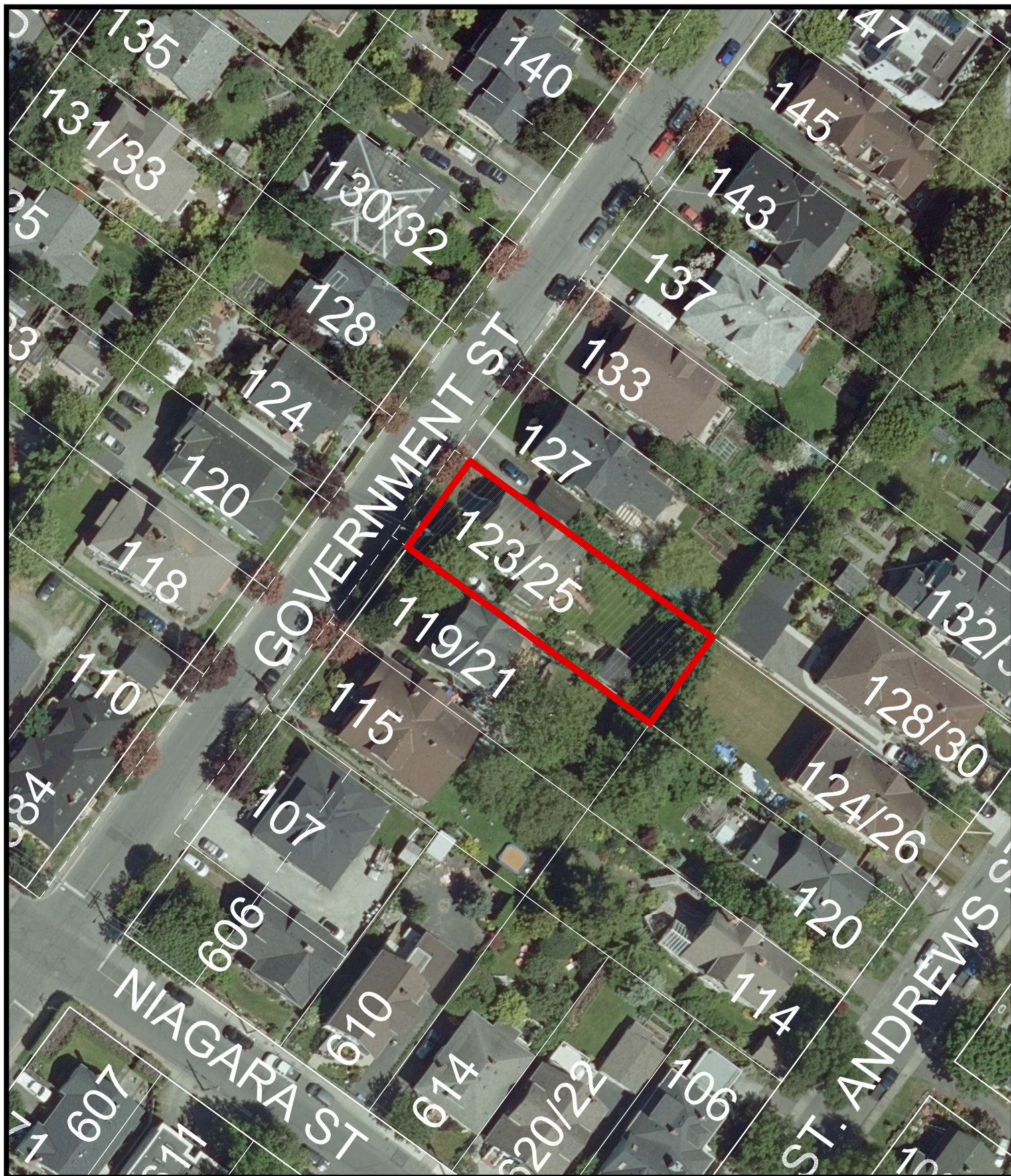
List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped October 20, 2020
- Attachment D: Letter from applicant to Mayor and Council dated August 24, 2020
- Attachment E: Correspondence – petitions submitted by agent on behalf of owner.



123 and 125 Government Street
Development Variance Permit No.00252





123 and 125 Government Street
Development Variance Permit No.00252



125 Government St.

VICTORIA, BC

PROPOSED PARKING VARIANCE:

PROJECT INFORMATION:

RESIDENTIAL DESIGNER: LATITUDE 48 DESIGN LTD.
ryan@latitude48design.com
778,977,4848

INTERIOR DESIGNER: MAVRIKOS DESIGN LTD.
250,852-9677

GENERAL CONTRACTOR: FLINTSTONES CONSTRUCTION LTD.
250,880,1188

STRUCTURAL ENGINEER: HEROLD ENGINEERING LTD.
250,590,4875

SURVEYOR: EXPLORER LAND SURVEYING INC.
250,381,2257

PROJECT ADDRESS:

SITE ADDRESS: 125 GOVERNMENT STREET

LEGAL DESCRIPTION: LOT 12, PLAN V1P786, SECTION 2,
LAND DISTRICT S7, BECKLEY FARM, EXC W 9 FT THEREOF

PROJECT SCOPE OF WORK:

PARKING VARIANCE - APPROVE THE EXISTING
GRANDFATHERED PARKING STATUS IN A STRATA DUPLEX

SHEET INDEX:

A0.0 COVER SHEET

A2.1 FOUNDATION & LOWER FLOOR PLAN

A2.2 MAIN & UPPER FLOOR PLAN

A3.1 SECTION & ROOF PLAN

A4.1 ELEVATIONS

A4.2 ELEVATIONS

A6.1 PERSPECTIVES

FLOOR AREA CALC. PER UNIT

SECOND FLOOR:	903 SF
MAIN FLOOR:	1150 SF
TOTAL UPPER UNIT:	2053 SF
LOWER FLOOR UNIT:	1404 SF

ZONING ANALYSIS:

ZONE: R-2

LOT AREA: 653,6m² REQUIRED PARKING - 2 STALLS

AVG. GRADE: 16,09m AVAILABLE PARKING - 1 STALL

ZONING REQUIREMENTS	ALLOWABLE	EXISTING
FLOOR SPACE RATIO (FSR):	0,50	0,49
GROSS FLOOR AREA (GFA):		
MAIN FLOOR (UNIT #1):	280,0m ²	106,9m ²
SECOND FLOOR (UNIT #1):		83,9m ²
LOWER FLOOR (UNIT #2):		130,5m ²
TOTAL:	326,8m ²	321,3m ²
SHED:	37,0m ²	35,3m ²

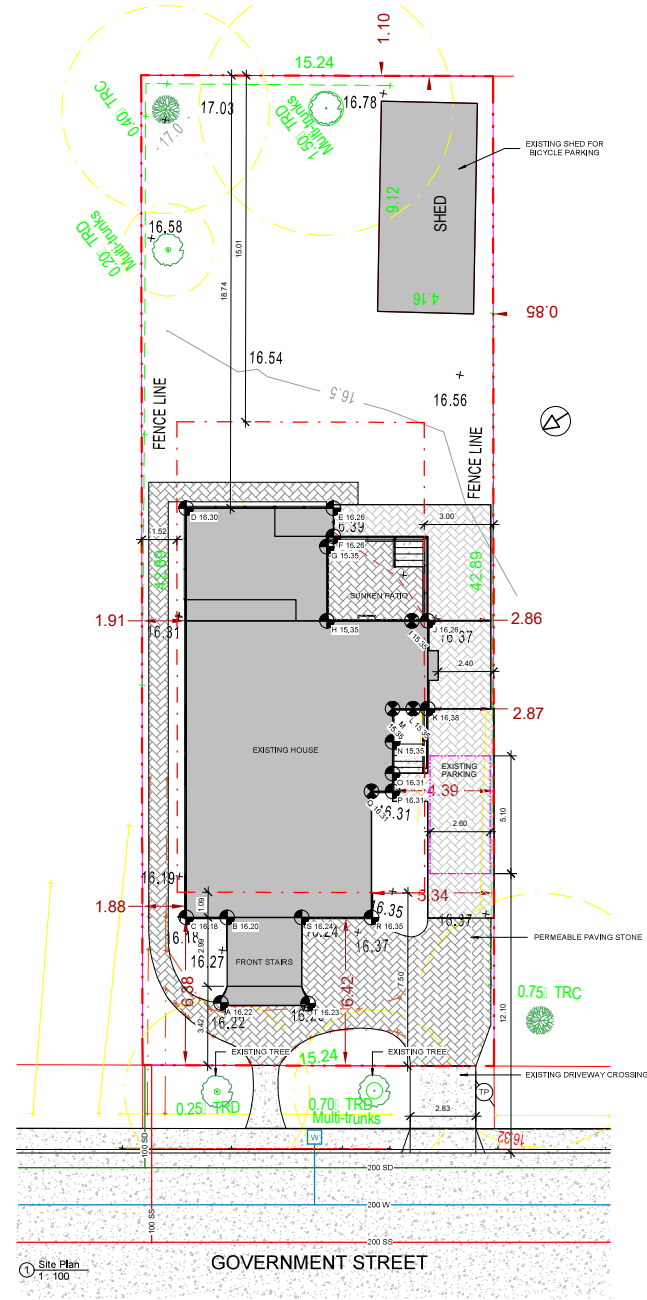
LOT COVERAGE:		
HOUSE:		157,1m ²
SHED:		38,0m ²
TOTAL:	40,0% (261,4m ²)	195,1m ²
HEIGHT:	7,60m	8,61m

SETBACKS:		
FRONT (NW):	7,50m	3,42m
BACK (SE):	15,01m (35%)	18,74m
SIDE (NE):	1,52m	1,88m
SIDE (SW):	3,00m	2,86m

COMMUNITY MAP



AVERAGE GRADE CALC.				
POINT	GRADE	AVG. OF POINTS	DBT. BETWEEN	TOTAL
A	16.22	A-B ((16.22 + 16.20) / 2)	3.79m	61.43
B	16.20	B-C ((16.20 + 16.16) / 2)	1.78m	28.82
C	16.16	C-D ((16.16 + 16.30) / 2)	17.73m	287.94
D	16.30	D-E ((16.30 + 16.26) / 2)	6.40m	104.16
E	16.26	E-F ((16.26 + 16.26) / 2)	1.22m	18.84
F	16.26			
G	15.35	G-H ((15.35 + 15.35) / 2)	3.45m	52.96
H	15.35	H-I ((15.35 + 15.35) / 2)	4.17m	64.01
I	15.35			
J	16.26	J-K ((16.26 + 16.26) / 2)	3.81m	61.95
K	16.38			
L	15.35	L-M ((15.35 + 15.35) / 2)	1.52m	23.33
M	15.35	M-N ((15.35 + 15.35) / 2)	2.79m	42.83
N	15.35			
O	16.31	O-P ((16.31 + 16.31) / 2)	0.79m	12.88
P	16.31	P-Q ((16.31 + 16.31) / 2)	0.91m	14.84
Q	16.31	Q-R ((16.31 + 16.35) / 2)	5.48m	85.16
R	16.35	R-S ((16.35 + 16.24) / 2)	3.04m	46.54
S	16.24	S-T ((16.24 + 16.23) / 2)	3.79m	61.53
T	16.23	T-U ((16.23 + 16.22) / 2)	3.78m	61.33
TOTAL			64.43m	1036.58
GRADE CALCULATION			1036.58 / 64.43m	16.09m



GENERAL NOTES:

- It is the responsibility of the contractor or owner to verify all dimensions and elevations prior to the commencement of any work. The contractor is to ensure that all work is done in accordance with the design and specifications of the project. The contractor is to ensure that all work is done in accordance with the design and specifications of the project. The contractor is to ensure that all work is done in accordance with the design and specifications of the project.
- All notes and details shown on the drawings are typical unless otherwise noted.
- All designs, drawings, and specifications prepared by the designer shall be the property of the designer and shall remain the property of the designer. The contractor is to ensure that all work is done in accordance with the design and specifications of the project. The contractor is to ensure that all work is done in accordance with the design and specifications of the project. The contractor is to ensure that all work is done in accordance with the design and specifications of the project.
- All work is to comply with the latest version of the BC Building Act and the BC Building Code. The contractor is to ensure that all work is done in accordance with the design and specifications of the project. The contractor is to ensure that all work is done in accordance with the design and specifications of the project. The contractor is to ensure that all work is done in accordance with the design and specifications of the project.

No.:	
By:	RW
Drawing Description:	Parking Variance
Date:	20/Aug/20

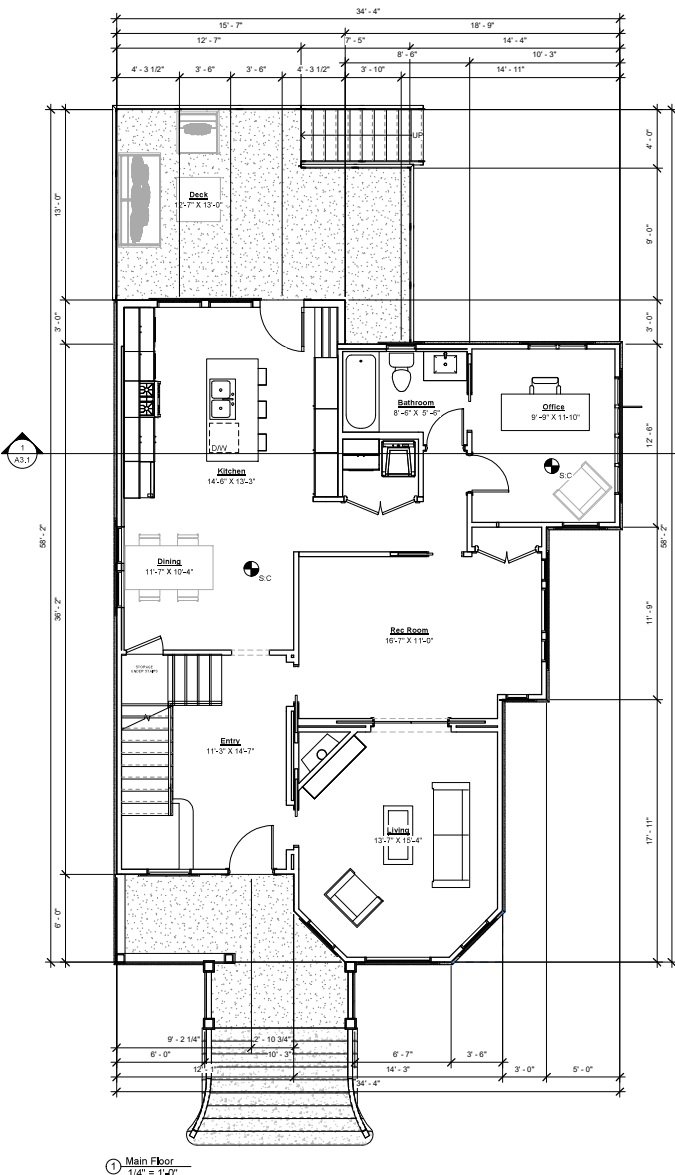
Flintstones
DESIGN & BUILD

Project:
125 Government Street

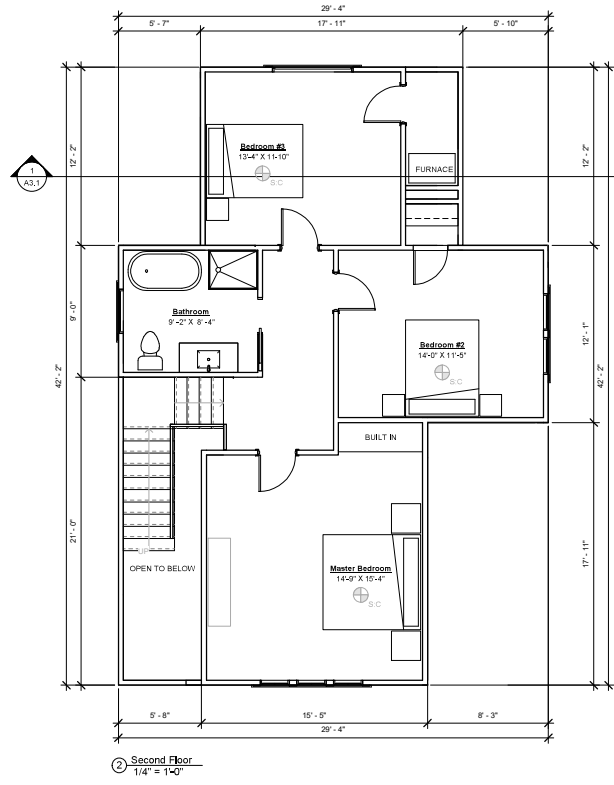
Sheet Title:
Cover Page

Project No.:
18067

Sheet:
A0.0



1 Main Floor
1/4" = 1'-0"



2 Second Floor
1/4" = 1'-0"

- GENERAL FRAMING NOTES
- 1 ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE
 - 2 ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE
 - 3 DOUBLE CRIPPLE STUDS TO BE USED ON ALL UNITS OVER 5 IN SPAN
 - 4 ALL WALL AND ROOF SHEATHING TO BE 1/2" PLYWOOD UNLESS NOTED OTHERWISE
 - 5 ALL UNITS TO BE MINIMUM 2x11 2x10 LUMBER UNLESS NOTED OTHERWISE
 - 6 ALL CONCRETE TO BE A MINIMUM 25MPa AT 28 DAYS
 - 7 END DRAWINGS WILL SUPERSEDE ALL ARCHITECTURAL NOTES AND DETAILS
 - 8 TYPICAL WINDOW & DOOR HEIGHTS:
LOWER FLOOR: 7'6"
MAIN FLOOR: 7' - VARIES
SECOND FLOOR: 7' - VARIES
 - 9 ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE

PLAN LEGEND

WALL	
LINE OF ROOF OVER	
LINE OF INTERIOR VAULT	
LINE OF FLOOR OVER	
LINE OF WALL BELOW	
POST / COLUMN	
ORDER TRUSS	
DROP BEAM	
FLUSH BEAM	
SMOKE/CARBON DETECTOR	
DOOR SEE TAG (READ AS 2'6"x7'0")	
WINDOW SEE TAG (READ AS 3'0"x5'0")	
JOIST/Rafter SPAN DIRECTION	

- GENERAL NOTES:
- 1. It is the responsibility of the contractor or owner to verify all dimensions and elevations prior to the commencement of work. The contractor is to ensure that only the design of any items and inspection checklist within the drawings prior to moving forward with the construction of the project.
 - 2. All notes and details shown on the drawings are typical unless otherwise noted.
 - 3. All designs, drawings and specifications prepared by the designer constitute all design and construction information. All changes and decisions on the responsibility of the owner or contractor and must be forwarded to the Designer for verification and review.
 - 4. All work to comply with the latest version of the BCBC, local municipal bylaws, and provincial environmental regulations.
 - 5. The contractor shall work with an ASCEI certified surveyor to confirm elevations, sight and placement of the proposed building or structure prior to commencing any work. The contractor is responsible for any errors resulting in regards to elevations, sight or placement of the building structure. Any changes to the work shall be reviewed and confirmed with the surveyor prior to starting the project.

Drawing Description:	No.:		
	By:	RW	B
Date:	20/Aug/24		
Drawing Description:	Parking / Entrance		
Drawing Description:			
Drawing Description:			
Drawing Description:			
Drawing Description:			



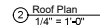
Project:
125 Government Street

Sheet Title:
Main & Upper Floor Plan

Project No.:
18067

Sheet:
A2.2

FLOOR AREA CALC. PER UNIT	
SECOND FLOOR:	903 SF
MAIN FLOOR:	1150 SF
TOTAL UPPER UNIT:	2053 SF
LOWER FLOOR UNIT:	1404 SF



GENERAL NOTES:

1. It is the responsibility of the contractor or owner to verify all dimensions and elevations to the satisfaction of the consultant of any work. The contractor or owner shall notify the designer of any errors and discrepancies identified within the drawings prior to moving forward with the construction of the project. Commencement of construction constitutes acceptance of the drawings, acceptance of the existing site conditions and means dimensions and elevations have been verified and are acceptable for construction.
2. All notes and details shown on the drawings are typical unless otherwise noted.
3. All designs, drawings, and specifications prepared by the designer (see title block Design) and used in the project will remain the property of the designer. The use of, whether the work was completed or not, and not be used in any other work or project.

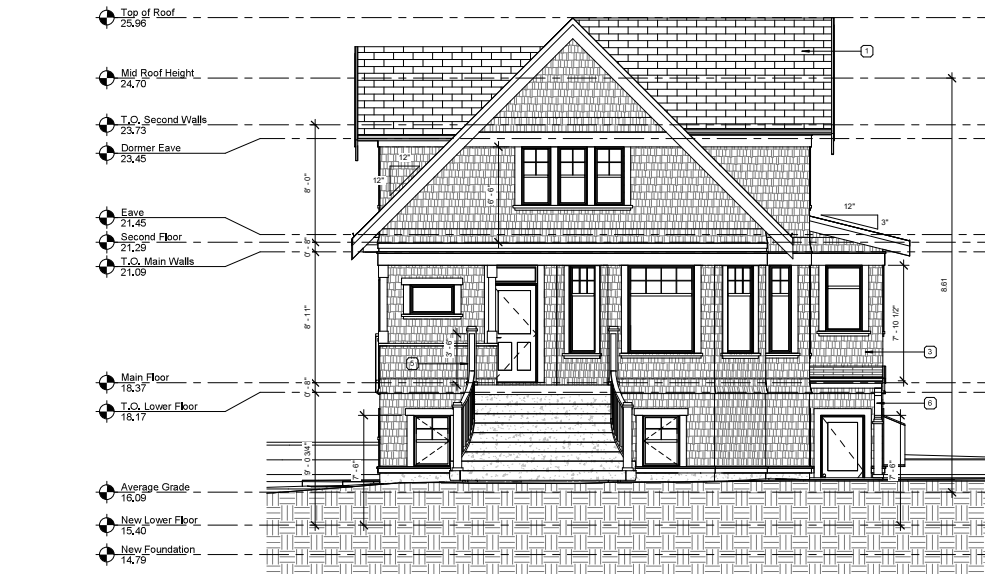
4. All Work to comply with the latest version of the BCISL, local municipal bylaws, and provincial environmental regulations.

5. All changes or deviations are the responsibility of the owner and contractor and must be forwarded to the Designer for verification and review.

6. The Contractor ~~will~~ work with an ABCLS certified surveyor to confirm elevations, siting and placement of the proposed building or structure prior to commencing any work. Labeled design is not responsible for any inaccuracies in regards to elevations, siting, or placement of the building or structures. Any changes to the design to be reviewed and confirmed with the surveyor prior to starting the project.

No.:	
to	

FLOOR AREA CALC. PER UNIT	
SECOND FLOOR:	903 SF
MAIN FLOOR:	1150 SF
TOTAL UPPER UNIT:	<u>2053 SF</u>
LOWER FLOOR UNIT:	1404 SF



2 North West
1/4" = 1'-0"

SPATIAL SEPARATION CALCULATION NORTH WEST - ELEVATION	
AREA OF BUILDING FACE (ABF)	73.8m ²
LIMITING DISTANCE	6.0m
ALLOWABLE GLAZED AREA (AGA)	34.0%
(ABF) X (AGA) = ALLOWABLE GLAZED AREA = m ²	(73.8m ² X 34%) =
	25.1m ²
AREA OF GLAZED OPENINGS PROPOSED	13.9m ²
PERCENTAGE OF GLAZED AREA PROPOSED	18.8%

ELEVATION NOTES	
1	ASPHALT SHINGLE ROOFING
2	3-PLY MOD. BIT. ROOFING
3	SHINGLE SIDING
4	STONE VENEER
5	GUARD RAILING
6	PAINTED KNEE BRACE

EXTERIOR FINISH

WINDOW TRIM	2X6 PAINTED WOOD TRIM CW SLOPED TAPER CUT 2X4 SILL & 2X4 SUB SILL
DOOR TRIM	2X6 PAINTED WOOD TRIM
SOFFIT	CONTINUOUS VENTED WOOD SOFFIT
GUTTER	5" ALUMINUM GUTTER
BARGE BOARD	2X12 PAINTED WOOD TRIM BOARD CW 1X4 SUB TRIM
FASCIA BOARD	2X6 PAINTED WOOD TRIM BOARD
BELLY BAND	2X6 PAINTED WOOD TRIM
GABLE SOFFIT BANDS	2X10 PAINTED WOOD TRIM BOARD

SPATIAL SEPARATION CALCULATION SOUTH WEST - ELEVATION - AREA 1	
AREA OF BUILDING FACE (ABF)	18.4m ²
LIMITING DISTANCE	2.8m
ALLOWABLE GLAZED AREA (AGA)	22.0%
(ABF) X (AGA) = ALLOWABLE GLAZED AREA = m ²	(18.4m ² X 22%) =
	4.3m ²
AREA OF GLAZED OPENINGS PROPOSED	4.3m ²
PERCENTAGE OF GLAZED AREA PROPOSED	22.0%

SPATIAL SEPARATION CALCULATION SOUTH WEST - ELEVATION - AREA 2	
AREA OF BUILDING FACE (ABF)	25.8m ²
LIMITING DISTANCE	4.0m
ALLOWABLE GLAZED AREA (AGA)	39.0%
(ABF) X (AGA) = ALLOWABLE GLAZED AREA = m ²	(25.8m ² X 39.0%) =
	10.1m ²
AREA OF GLAZED OPENINGS PROPOSED	6.5m ²
PERCENTAGE OF GLAZED AREA PROPOSED	25.1%

SPATIAL SEPARATION CALCULATION SOUTH WEST - ELEVATION - AREA 3	
AREA OF BUILDING FACE (ABF)	39.8m ²
LIMITING DISTANCE	5.0m
ALLOWABLE GLAZED AREA (AGA)	50.0%
(ABF) X (AGA) = ALLOWABLE GLAZED AREA = m ²	(39.8m ² X 50.0%) =
	20.2m ²
AREA OF GLAZED OPENINGS PROPOSED	6.7m ²
PERCENTAGE OF GLAZED AREA PROPOSED	16.8%

- GENERAL FRAMING NOTES:**
1. ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE.
 2. ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE.
 3. DOUBLE CHIMNEY STUCCO TO BE USED ON ALL WALLS OVER 2 IN. SPAN.
 4. ALL WALL AND ROOF SHEATHING TO BE 1/2" PLW/WOOD UNLESS NOTED OTHERWISE.
 5. ALL UNITS TO BE MINIMUM 3/4" X 2 IN. LUMBER UNLESS NOTED OTHERWISE.
 6. ALL CONCRETE TO BE A MINIMUM 25MPa AT 28 DAYS.
 7. FIN. DRAWINGS WILL SUPERSEDE ALL ARCHITECTURAL NOTES AND DETAILS.
 8. TYPICAL WINDOW & DOOR HEIGHTS:
LOWER FLOOR 7'-0" VARIES
SECOND FLOOR 7'-6" VARIES
 9. ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE.

PLAN LEGEND:

WALL	
LINE OF ROOF OVER	
LINE OF INTERIOR VAULT	
LINE OF FLOOR OVER	
LINE OF WALL BELOW	
POST / COLUMN	
GIRDER TRUSS	
DROP BEAM	
FLUSH BEAM	
SMOKE/CO/IBO DETECTOR	
DOOR SILE TAG (READ AS 28.5770")	
WINDOW SILE TAG (READ AS 37.020")	
JOIST/RAPTER SPAN DIRECTION	

- GENERAL NOTES:**
1. It is the responsibility of the contractor or owner to verify all dimensions and elevations prior to the commencement of construction. The contractor is to ensure that the design of any areas and regulations identified within the drawings prior to moving forward with the construction of the project. The contractor is to ensure that the construction of the project is in accordance with the design and specifications of the drawings. The contractor is to ensure that the construction of the project is in accordance with the design and specifications of the drawings. The contractor is to ensure that the construction of the project is in accordance with the design and specifications of the drawings.
 2. All notes and details shown on the drawings are typical unless otherwise noted.
 3. All design, drawings, and specifications prepared by the designer shall be the responsibility of the owner or contractor and must be forwarded to the Designer for verification and review.
 4. All work is to comply with the latest version of the BCBC, local municipal bylaws, and provincial environmental regulations.
 5. The contractor shall work with an ASCE certified surveyor to confirm elevations, and the location of the proposed building or structure prior to commencing any work. Unless the Designer is not responsible for any errors related to the design or construction of the project. Any errors in the work shall be corrected and confirmed with the surveyor prior to starting the project.

Drawing Description:	By:	No.:	RW	B	Parking	Variance
Date:	20/Aug/24					



Project:
125 Government Street

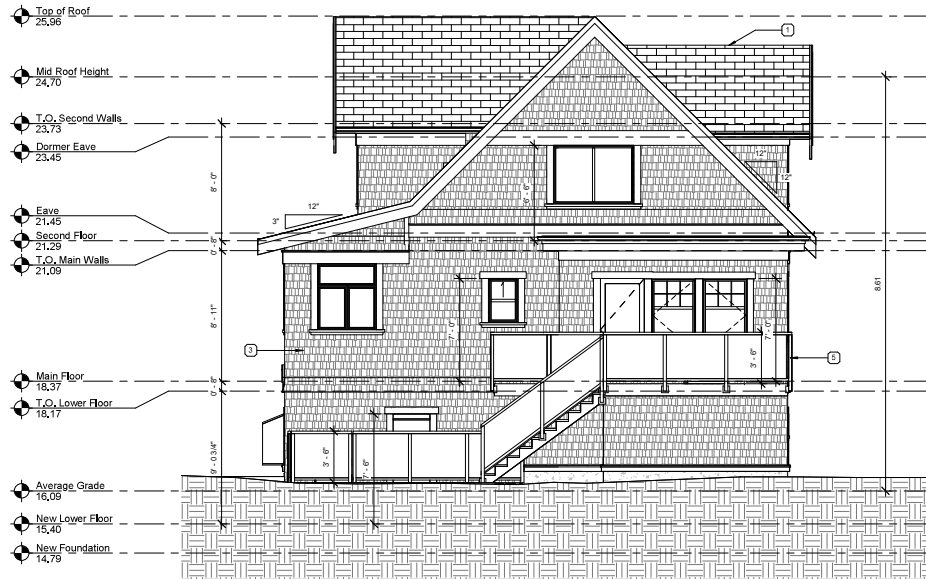
Sheet Title:
Elevations

Project No.:
18067

Sheet:
A4.1



1 South West
1/4" = 1'-0"



① South East
1/4" = 1'-0"

SPATIAL SEPARATION CALCULATION SOUTH EAST - ELEVATION	
AREA OF BUILDING FACE (ABF):	75.4m ²
LIMITING DISTANCE:	22.0m
ALLOWABLE GLAZED AREA (AGA):	100.0%
(ABF) X (AGA) = ALLOWABLE GLAZED AREA m ²	75.4m ²
(75.4m ² X 1.00) =	
AREA OF GLAZED OPENINGS PROPOSED:	10.2m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	13.5%

ELEVATION NOTES	
①	ASPHALT SHINGLE ROOFING
②	1/2" PLY WOOD, BIF. ROOFING
③	SHINGLE SIDING
④	STONE VENEER
⑤	GUARD RAILING
⑥	PAINTED KNEE BRACE

EXTERIOR FINISH	
WINDOW TRIM	2X6 PAINTED WOOD TRIM CW SLOPED TAPE
	CUT 2X4 SILL & 2X4 SUB SILL
DOOR TRIM	2X6 PAINTED WOOD TRIM
SOFFIT	CONTINUOUS VENTED WOOD SOFFIT
GUTTER	5" ALUMINUM GUTTER
BAROE BOARD	2X10 PAINTED WOOD TRIM BOARD CW
	1X4 SUB TRIM
FASCIA BOARD	2X6 PAINTED WOOD TRIM BOARD
BELLY BAND	2X6 PAINTED WOOD TRIM
GABLE SOFFIT	2X10 PAINTED WOOD TRIM BOARD
BANDS	

SPATIAL SEPARATION CALCULATION NORTH EAST - ELEVATION	
AREA OF BUILDING FACE (ABF):	88.4m ²
LIMITING DISTANCE:	1.8m
ALLOWABLE GLAZED AREA (AGA):	7.0%
(ABF) X (AGA) = ALLOWABLE GLAZED AREA m ²	6.2m ²
(88.4m ² X 0.07) =	
AREA OF GLAZED OPENINGS PROPOSED:	6.0m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	6.8%

- GENERAL FRAMING NOTES
1. It is the responsibility of the contractor to verify all dimensions and elevations prior to the commencement of work. The contractor is to ensure that all dimensions are in accordance with the drawings and to report any discrepancies to the Designer prior to commencing work.
 2. ALL DIMENSIONS TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE.
 3. ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE.
 4. DOUBLE CRIPPLE STUDS TO BE USED ON ALL UNITS OVER 8' IN SPAN.
 5. ALL WALL AND ROOF SHEATHING TO BE 1/2" PLYWOOD UNLESS NOTED OTHERWISE.
 6. ALL UNITS TO BE MINIMUM 34" X 10' UNLESS NOTED OTHERWISE.
 7. ALL CONCRETE TO BE A MINIMUM 25MPa AT 28 DAYS.
 8. END DRAWINGS WILL SUPERSEDE ALL ARCHITECTURAL NOTES AND DETAILS.
 9. TYPICAL WINDOW & DOOR HEIGHTS: LOWER FLOOR: 7'0" MAIN FLOOR: 7'6" JAMBS SECOND FLOOR: 7'0" JAMBS
 10. ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE.

PLAN LEGEND

- WALL
LINE OF ROOF OVER
LINE OF INTERIOR VAULT
LINE OF FLOOR OVER
LINE OF WALL BELOW
POST / COLUMN
GIRDER TRUSS
SHOP BEAM
FLUSH BEAM
SMOKE/CARBON DETECTOR
DOOR SEE TAG
(READ AS 2' X 7'0")
WINDOW SEE TAG
(READ AS 7'0" X 5'0")
JOIST/Rafter SPAN DIRECTION



- GENERAL NOTES:
1. It is the responsibility of the contractor to verify all dimensions and elevations prior to the commencement of work. The contractor is to ensure that all dimensions are in accordance with the drawings and to report any discrepancies to the Designer prior to commencing work.
 2. ALL DIMENSIONS TO BE IN ACCORDANCE WITH THE CURRENT BC BUILDING CODE.
 3. ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE.
 4. DOUBLE CRIPPLE STUDS TO BE USED ON ALL UNITS OVER 8' IN SPAN.
 5. ALL WALL AND ROOF SHEATHING TO BE 1/2" PLYWOOD UNLESS NOTED OTHERWISE.
 6. ALL UNITS TO BE MINIMUM 34" X 10' UNLESS NOTED OTHERWISE.
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 8. END DRAWINGS WILL SUPERSEDE ALL ARCHITECTURAL NOTES AND DETAILS.
 9. TYPICAL WINDOW & DOOR HEIGHTS: LOWER FLOOR: 7'0" MAIN FLOOR: 7'6" JAMBS SECOND FLOOR: 7'0" JAMBS
 10. ALL EXPOSED LUMBER TO BE TREATED WITH AN INDUSTRY APPROVED PRESERVATIVE.

Drawing Description:	No.:	By:		Date:
		RW	B	
				20/Aug/24

Flintstones
DESIGN & BUILD

Project:
125 Government Street

Sheet Title:
Elevations

Project No.:
18067

Sheet:
A4.2



② North East
1/4" = 1'-0"



GENERAL NOTES:

1. It is the responsibility of the contractor or owner to verify all dimensions and elevations prior to the commencement of work. The contractor is to ensure that only the design of any items and regulations identified within the drawings prior to moving forward with the construction of the project. Construction of any items outside the confirmed dimensions of the drawings, acceptance of the existing site conditions, and means dimensions and elevations from here on forth are not acceptable for this project.
2. All notes and details shown on the drawings are typical unless otherwise noted.
3. All designs, drawings, and specifications prepared by the designer, including all design and construction details, shall be the property of the designer. No part of the work shall be copied or used in any other form or project.
4. All work is to comply with the latest version of the CBC, local municipalities, and provincial environmental regulations.
5. All changes or deviations are the responsibility of the owner or contractor and must be forwarded to the Designer for verification and review.
6. The contractor shall work with an ASCE certified surveyor to confirm elevations, slope and placement of the proposed building or structure prior to commencing any work. The contractor is responsible for any errors resulting in regards to elevations, slope, or placement of the building or structure. Any changes to the work shall be reviewed and confirmed with the designer prior to starting the project.

No.	By:	Drawing Description:	Date:
8	RW	Parking / Variance	20/Aug/24

Flintstones
DESIGN & BUILD

Project:
125 Government Street

Sheet Title:
Proposed Perspectives

Project No.:
18067

Sheet:
A6.1

August 24th, 2020

Mayor & Council
City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Dear Mayor & Council Members,

On behalf of the owners of 125 Government Street, Latitude 48 Design Ltd. submits the following application to the City of Victoria. The details and justification of our request are outlined below.

The Two-family dwelling at 125 Government Street is an existing 3 storey home that was built in 1906. It has recently undergone a substantial renovation improvement that established upper and lower dwelling units, with the current owner residing in one and close family members in the other. During the planning for the renovation, we established that the single available parking stall was grandfathered in place for a two family dwelling and was all that was needed between the two families given the location of the home to the downtown core.

The requirement for a parking variance comes as we move forward to strata title the two-family dwelling. As the City of Victoria defines a strata title as a change of use on the property, we lose our existing grandfathered status for the single parking stall. We require a parking variance due to the existing site restrictions to meet the current "Schedule C" parking requirements. Under the current bylaw, we would need to provide one parking stall per dwelling unit (two in total), which we cannot accommodate on this property.

Given the limitation on parking stalls, there is ample room within the existing shed to accommodate bicycle parking for each unit. Additionally, the walkability of the property to nearby shops, restaurants, and bus routes allows future owners to reconsider the need for a vehicle.

Thank you for your consideration and attention to this application.

Sincerely,
Latitude 48 Design Ltd.



Ryan Wyllie, TQ
Principal

RE: 125 Government Street – Parking Variance Application

To whom it may concern,

On behalf of the owners of 125 Government Street, Latitude 48 Design Ltd. will be submitting the following application to the City of Victoria Council. The details and justification of our request are outlined below.

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Thank you for your consideration and attention to this application.

Sincerely,
Latitude 48 Design Ltd.



Ryan Wyllie, TQ
Principal

Steve Parry

Name: Karl Fritz / Monica Fritz
Date: Aug 27/20
Address: 3119 Glasgow St. Victoria B.C.
I support this Variance Application: Yes ☒ No ☐

Signature: 

RE: 125 Government Street – Parking Variance Application

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On behalf of the owners of 125 Government Street, Latitude 48 Design Ltd. will be submitting the following application to the City of Victoria Council. The details and justification of our request are outlined below.

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Thank you for your consideration and attention to this application.

Sincerely,
Latitude 48 Design Ltd.



Ryan Wyllie, TQ
Principal

Steve Parry

Name: Derek Hawksley

Date: Aug 26/20

Address: 128 Government St.

I support this Variance Application: Yes ☒ No ☐

Signature: [Handwritten Signature]

RE: 125 Government Street – Parking Variance Application

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On behalf of the owners of 125 Government Street, Latitude 48 Design Ltd. will be submitting the following application to the City of Victoria Council. The details and justification of our request are outlined below.

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Thank you for your consideration and attention to this application.

Sincerely,
Latitude 48 Design Ltd.



Ryan Wyllie, TQ
Principal

Steve Parry

Name: CARY WRIGHT

Date: Aug 28 / 20

Address: 121 GOVERNMENT ST

I support this Variance Application: Yes ☒ No ☐

Signature: 

RE: 125 Government Street – Parking Variance Application

To whom it may concern,

On behalf of the owners of 125 Government Street, Latitude 48 Design Ltd. will be submitting the following application to the City of Victoria Council. The details and justification of our request are outlined below.

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Thank you for your consideration and attention to this application.

Sincerely,
Latitude 48 Design Ltd.



Ryan Wyllie, TQ
Principal

Steve Parry

Name: Colleen Butler

Date: Aug 26th / 2020

Address: 124 Government St

I support this Variance Application: Yes ☒ No ☐

Signature: 

RE: 125 Government Street – Parking Variance Application

To whom it may concern,

On behalf of the owners of 125 Government Street, Latitude 48 Design Ltd. will be submitting the following application to the City of Victoria Council. The details and justification of our request are outlined below.

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Thank you for your consideration and attention to this application.

Sincerely,
Latitude 48 Design Ltd.



Ryan Wyllie, TQ
Principal

Steve Parry

Name: Karen Froebe

Date: Aug 26, 2020

Address: 130 St Andrews St

I support this Variance Application: Yes ☒ No ☐

Signature: Karen Froebe

RE: 125 Government Street – Parking Variance Application

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Thank you for your consideration and attention to this application.

Sincerely,
Latitude 48 Design Ltd.



Ryan Wyllie, TQ
Principal

Steve Parry

Name: Monica Fritz

Date: Sept 10 / 20

Address: 3119 Glasgow St.

I support this Variance Application: Yes ☒ No ☐

Signature: Monica Fritz

RE: 125 Government Street – Parking Variance Application

To whom it may concern,

On behalf of the owners of 125 Government Street, Latitude 48 Design Ltd. will be submitting the following application to the City of Victoria Council. The details and justification of our request are outlined below.

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Thank you for your consideration and attention to this application.

Sincerely,
Latitude 48 Design Ltd.



Ryan Wyllie, TQ
Principal

Steve Parry

Name: Mauro Melo

Date: Sept 3/2020

Address: 120 Government St – owner.

I support this Variance Application: Yes ☒ No ☐

Signature: [Handwritten Signature]

RE: 125 Government Street – Parking Variance Application

To whom it may concern,

On behalf of the owners of 125 Government Street, Latitude 48 Design Ltd. will be submitting the following application to the City of Victoria Council. The details and justification of our request are outlined below.

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Thank you for your consideration and attention to this application.

Sincerely,
Latitude 48 Design Ltd.



Ryan Wyllie, TQ
Principal

Steve Parry

Name: CORIN O'CONNOR

Date: Sept 17/20

Address: 127 GOVERNMENT ST

I support this Variance Application: Yes ☒ No ☐

Signature: C O'Connor

1

Development Variance Permit Application for 123/125 Government Street



1

2

Subject Map



2

Existing duplex – as constructed

3

Arrow indicates setback variance



3

Existing duplex – as constructed

4

Driveway detail



4