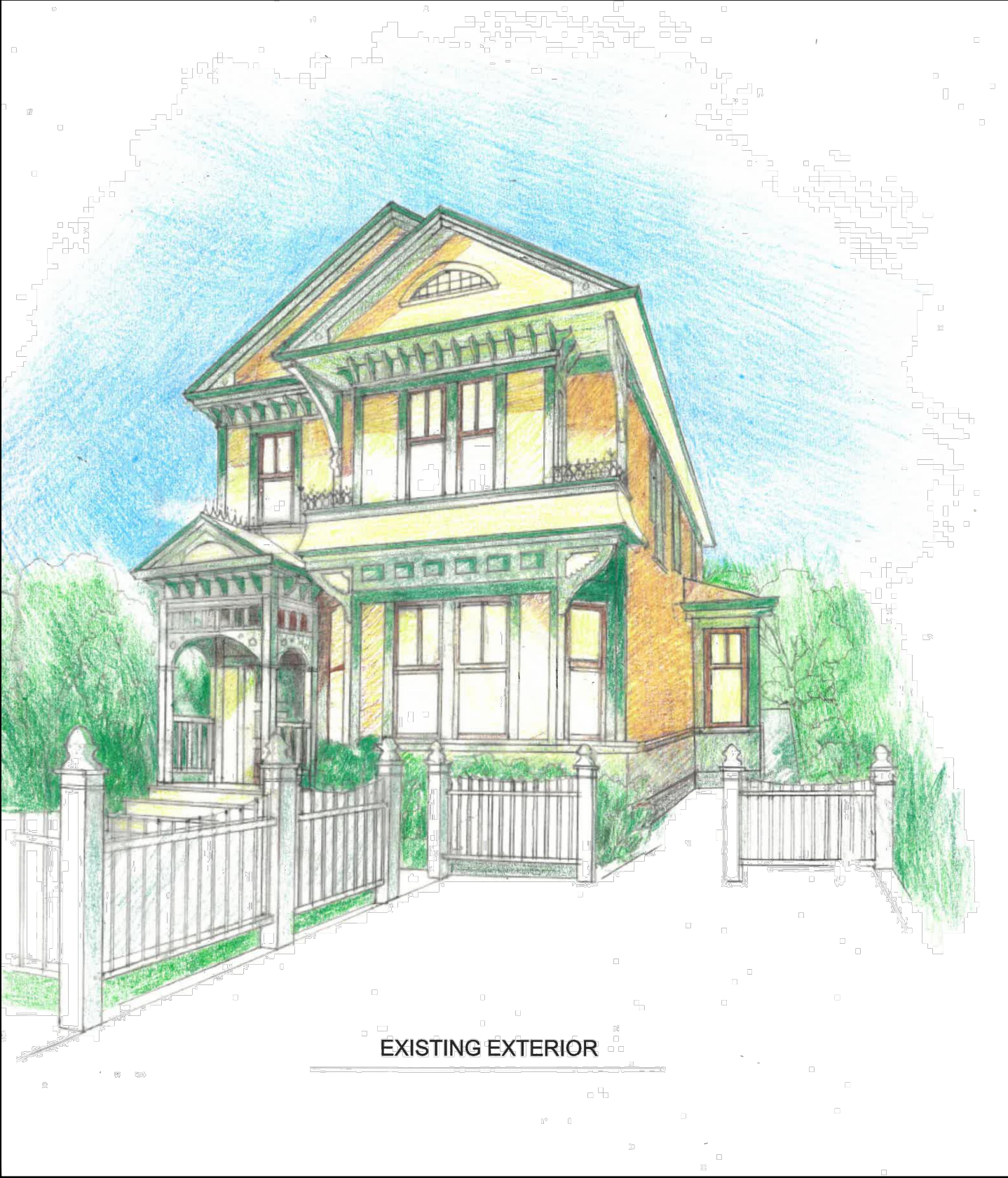


1012 RICHARDSON DUPLEX CONVERSION AND HERITAGE ALTERATION

1012 AND 1014 RICHARDSON STREET, VICTORIA BC V8V 3C5
ISSUED FOR HERITAGE ALTERATION PERMIT
FEBRUARY 15 2021



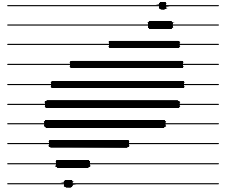
EXISTING EXTERIOR



PROPOSED NEW PORCH

 **Original Submission**
Received Date:
March 10, 2021

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| Client | | |
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Consultant

1012 RICHARDSON DUPLEX
1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
EXISTING AND PROPOSED ELEVATION SKETCHES

| | | |
|----------------------|-----------|-------------------|
| Scale 3/8" = 1' | | |
| Drawn RI | Check RI | Partner RI |
| Project No. 19128 | | |
| Date FEB 15 2021 | Phase No. | Sheet No. A-00 |

1012 AND 1014 RICHARDSON STREET VICTORIA BC V8V 3C5

PROJECT DIRECTORY

IREDALE GROUP ARCHITECTURE
16 BASTION SQUARE
VICTORIA BC
V8W 1H9

T: 250.381.5582

CONTACT: RICHARD IREDALE
richard@iredale.ca

- A-01 SITE PLAN, WALL/ROOF SCHEDULES, ZONING NOTES, CODE
- A-02 MAIN FLOOR
- A-03 UPPER FLOOR
- A-04 NORTH AND SOUTH ELEVATION
- A-05 EAST AND WEST ELEVATION
- A-06 DETAILS
- A6-07 BUILDING ENVELOPE DETAILS, RSI VALUES
- S-0 STRUCTURAL NOTES
- S-01 FOUNDATION AND MAIN FLOOR FRAMING
- S-02 UPPER FLOOR AND ROOF FRAMING
- S-03 SHEAR WALL AND FRAMING DETAILS

P1 EXSTG WALL RETROFITTED FOR 45 MIN. RATING
CEDAR SIDING ON DIAGONAL 1 X 4 SHIPLAP
30# BUILDING PAPER
2 X 6 WOOD STUDS @ 16" O.C.
R 28 ACCOUSTIC BATT INSULATION
3/4" PLASTER
Add 5/8" type x GWB

P2 EXISTNG UNRATE INTERIOR PARTITION
SAME AS P1 BUT NO 5/8" GWB

1/2" GWB
2x4 WOOD STUDS @ 16" O.C
ACOUSTIC BATT INSULATION
1/2" GWB

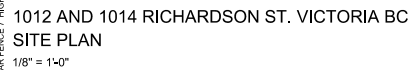
P3 NEW INTERIOR PARTITION / SHEAR WALL
 $\frac{1}{2}$ " GWB
 1/2" PLY SHEATHING, 8D NAILING @ 2" O.C.
 2x4 WOOD STUDS @ 16" O.C
 ACOUSTIC BATT INSULATION
 $\frac{1}{2}$ " GWB

P4 EXSTG 45 MIN. WALL RETROFITTED W/ 5/8" TYPE X GWB
(STC 50, 45 MIN F.R.R.)
EXISTING 1/2" GWB
EXSTG. 2 X 6 STUDS @ 16" O.C.
NEW ACCOUSTIC BATT ROXUL SOUND INSULATION
NEW 1/2" PLY 3" NAILING @ 2" O.C.
NEW 5/8" TYPE X GWB

FLOOR SCHEDULES 45 MIN F.R.R (STC 50)

F1 - EXISTING FLOOR ASSEMBLY
3/4" OAK FLOORING
2" CONCRETE TOPPING
1/2" ENTANGLED POLYPROPYLENE SOUND MAT
3/8" PLYWOOD
2X10 JOISTS @ 16" O.C
1" TYPE X DRYWALL (3/8" GYPROCK PLASTER EQUIVALENT)

45 MIN FIRE RESISTANT RATING BETWEEN SUITES
STC SOUND RATING OF 50 BETWEEN SUITES
SPRINKLERED: NO



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1012 RICHARDSON
DUPLEX

1012 AND 1014
RICHARDSON ST.
VICTORIA BC

Drawing Title

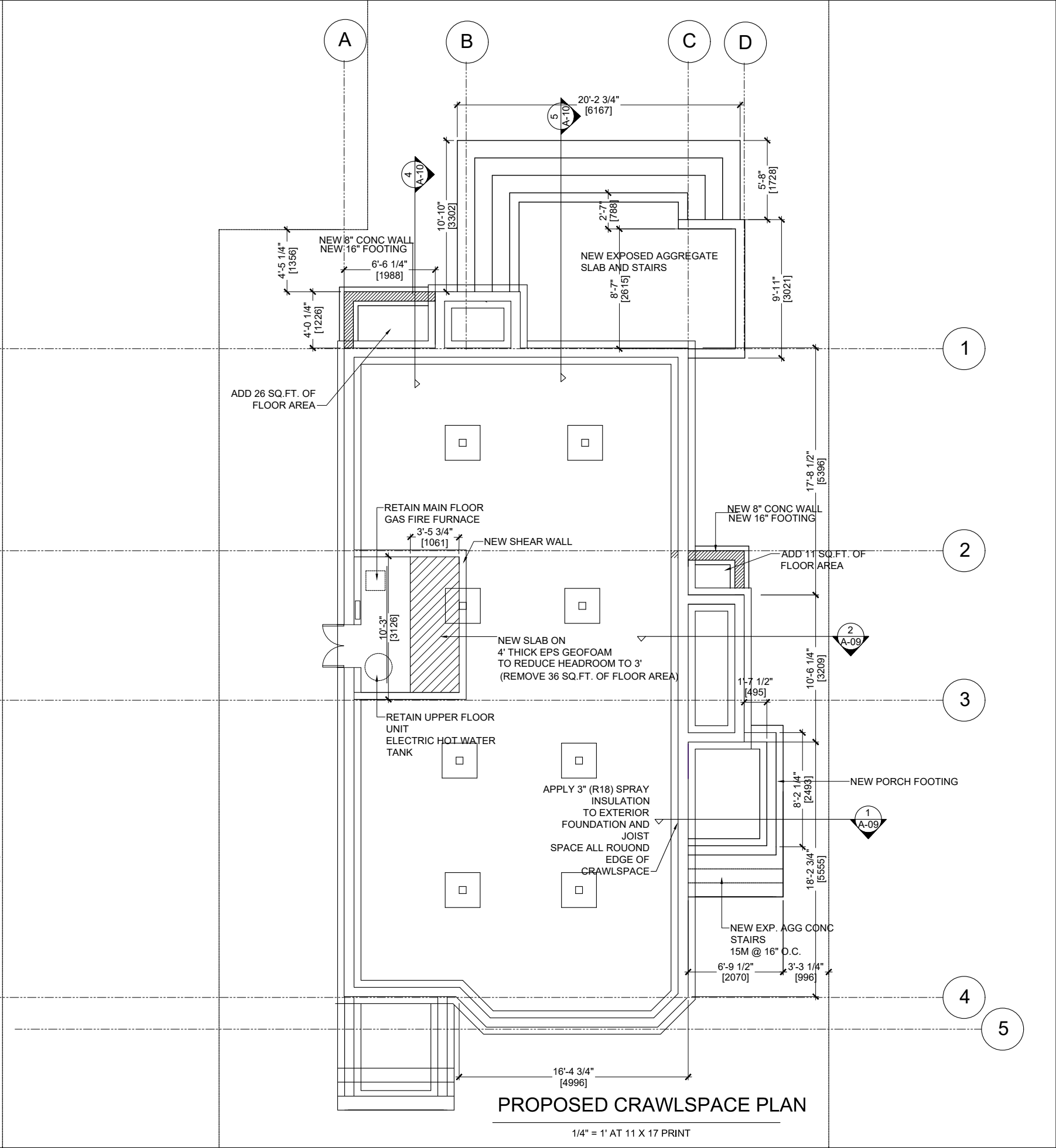
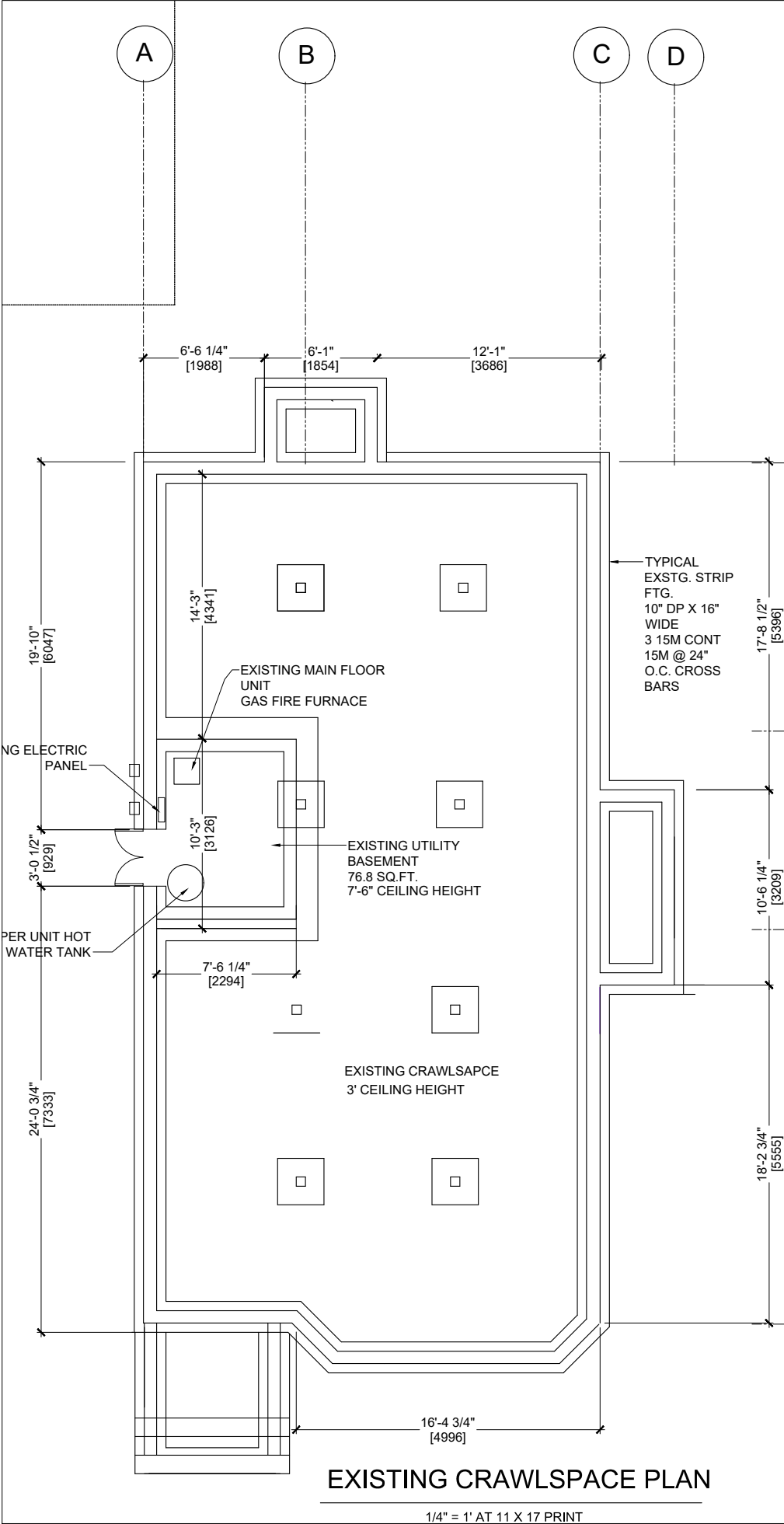
SITE
PLAN

Scale $1/8" = 1'$

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| Drawn | RI | Check | RI | Partner | RI |
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|  | Project No. |
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| Date | Phase No. | Sheet No. |
| DEC 12 2019 | | A-0 |



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1012 RICHARDSON DUPLEX

1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
CRAWLSPACE PLAN

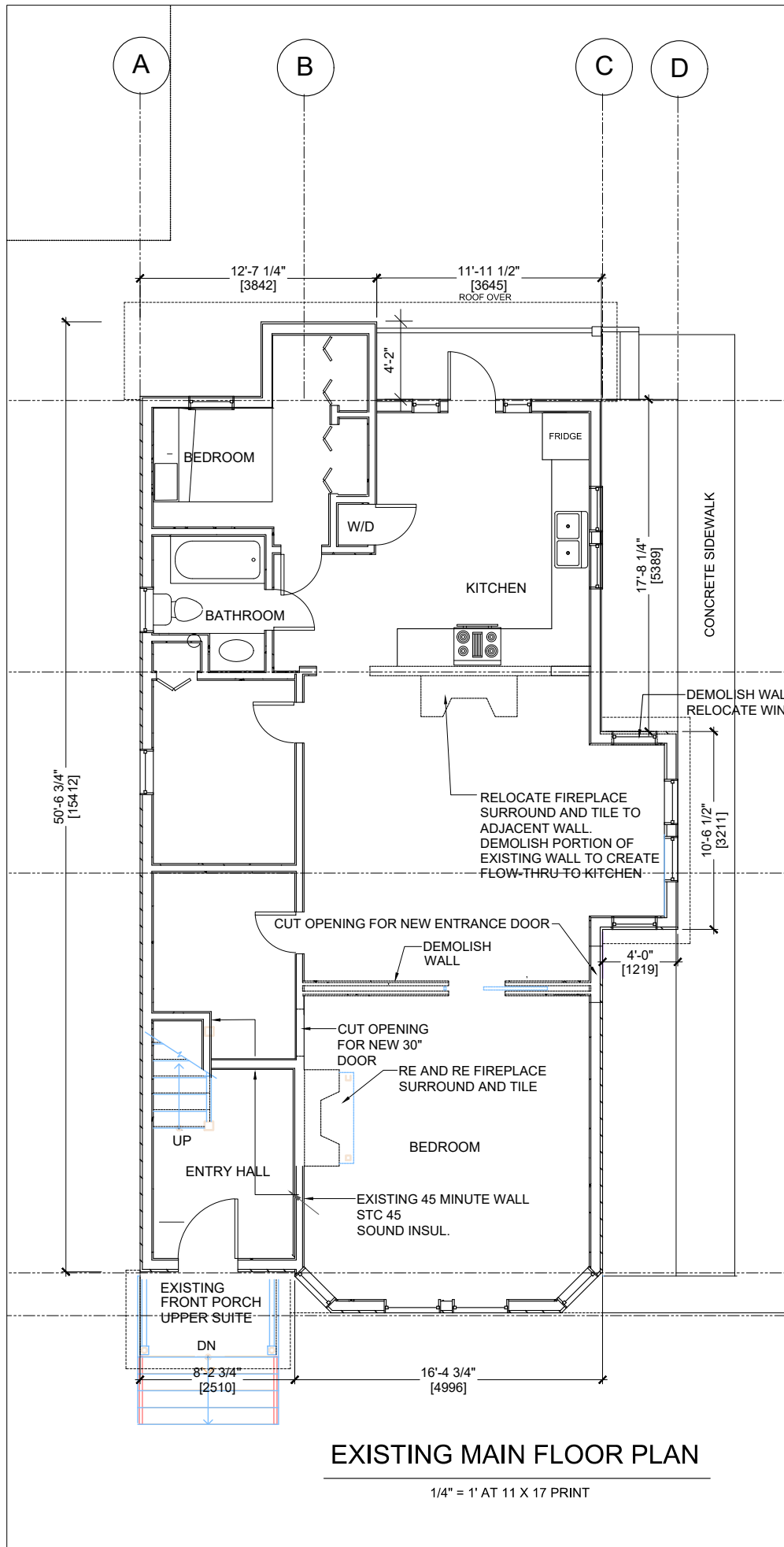
Scale
3/8" = 1'

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FEB 15 2021

Project No.
19128

Phase No.
Sheet No.
A-02

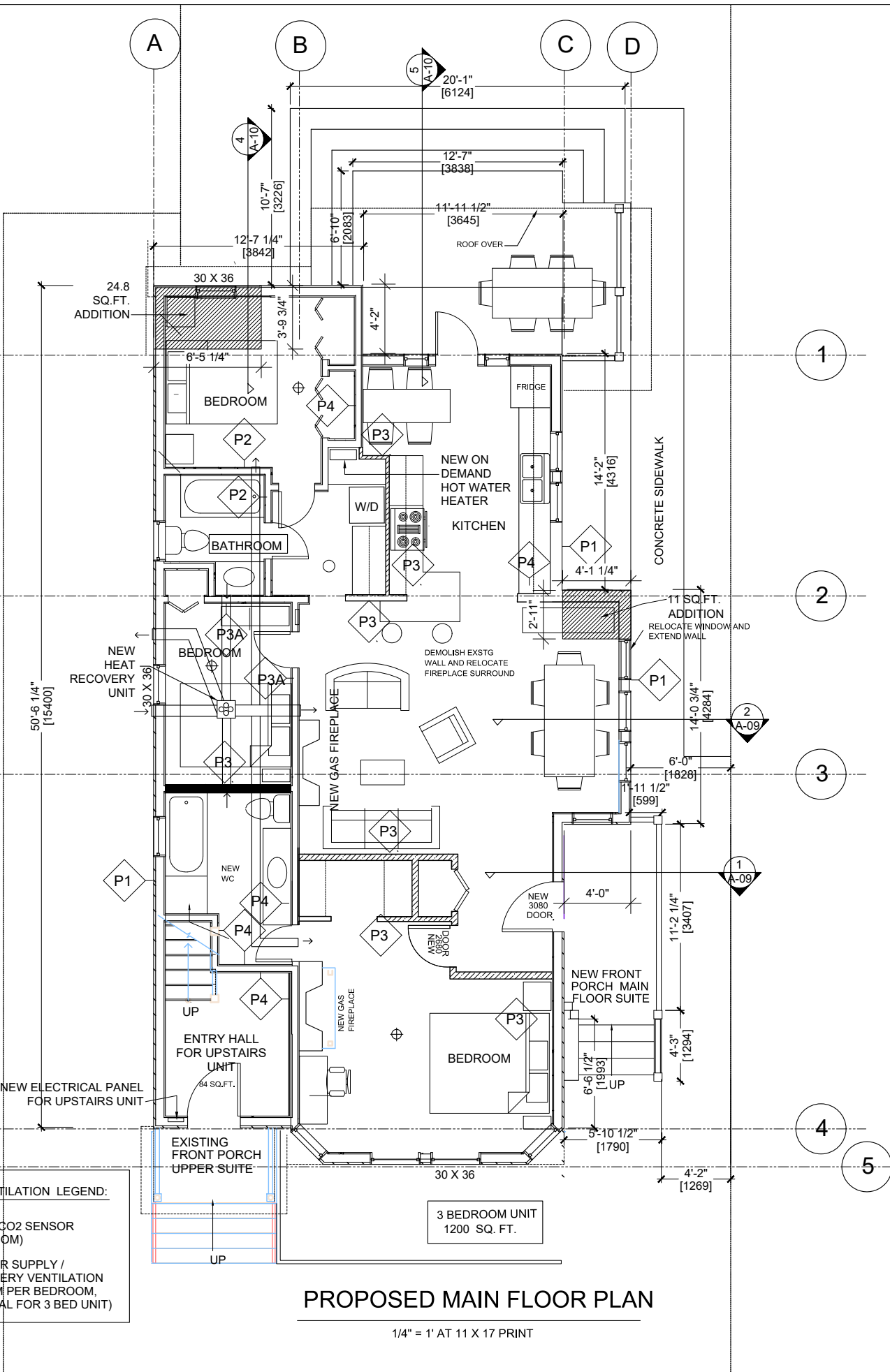


EXISTING MAIN FLOOR PLAN

1/4" = 1' AT 11 X 17 PRINT

SAFETY AND VENTILATION LEGEND:

- ⊕ HEAT/SMOKE/CO2 SENSOR (1 PER BEDROOM)
- ⊕ EXHAUST / AIR SUPPLY / HEAT RECOVERY VENTILATION UNIT (40 CFM PER BEDROOM, 120 CFM TOTAL FOR 3 BED UNIT)



PROPOSED MAIN FLOOR PLAN

1/4" = 1' AT 11 X 17 PRINT

Client
Client

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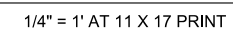
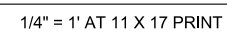
Consultant


1012 RICHARDSON DUPLEX
1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
MAIN FLOOR PLAN

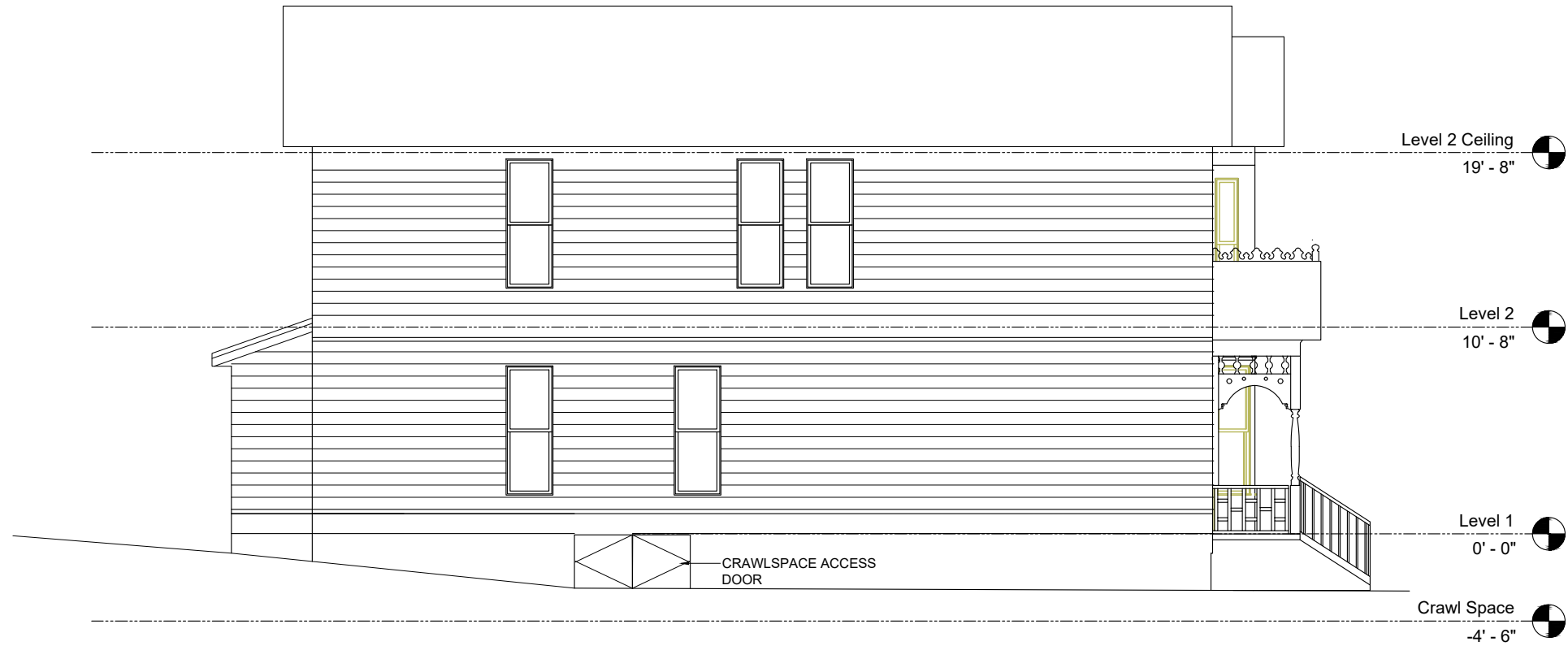
Scale
3/8" = 1'

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| Drawn | RI | Check | RI | Partner | RI |
| Date | DEC 12 2019 | Phase No. | | Project No. | 19128 |
| | | Sheet No. | A-03 | | |



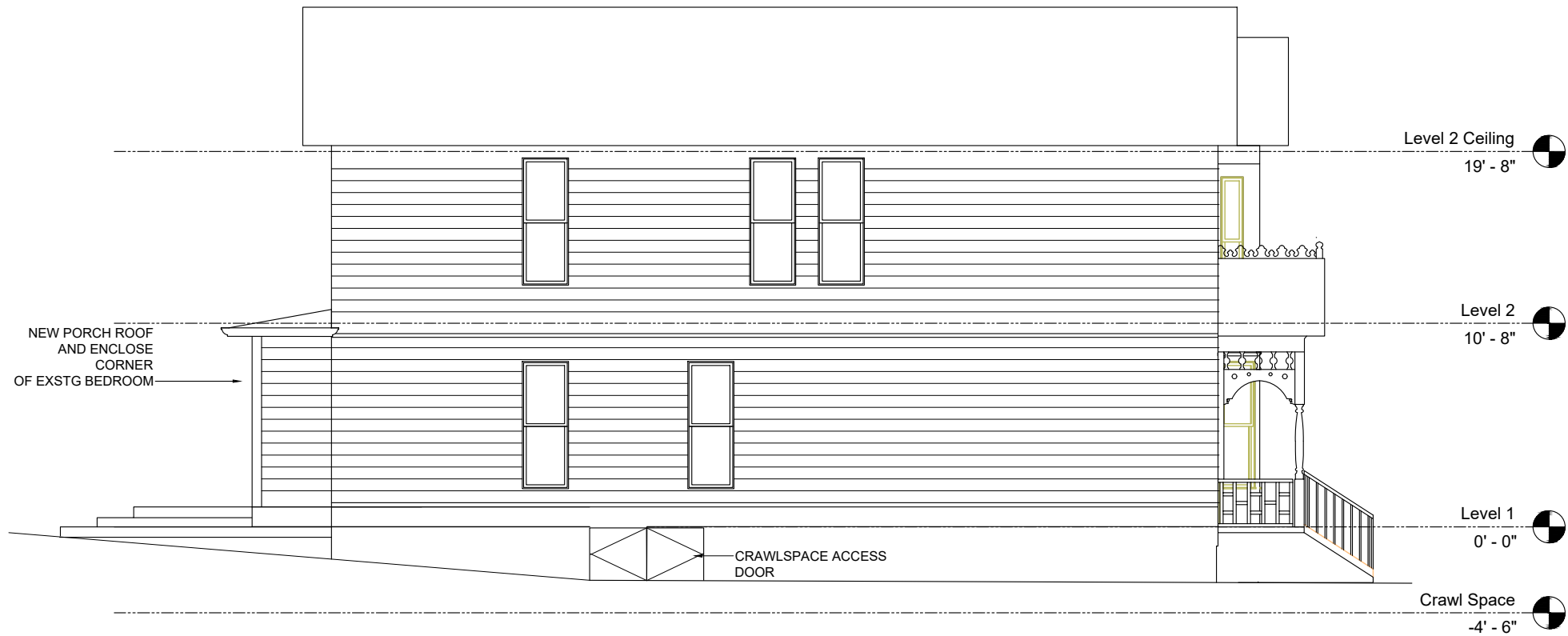
 EXHAUST / AIR SUPPLY /
HEAT RECOVERY VENTILATION
UNIT (40 CFM PER BEDROOM,
120 CFM TOTAL FOR 3 BED UNIT)

| | |
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| Phase No. | Sheet No. |
| DEC 12 2019 | A-04 |



EXISTING WEST ELEVATION

1/4" = 1' AT 11 X 17 PRINT



PROPOSED WEST ELEVATION

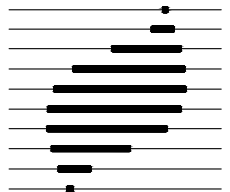
1/4" = 1' AT 11 X 17 PRINT

Client

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1012 RICHARDSON DUPLEX

1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title

WEST ELEVATION

Scale

1/4"=1'-0"

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| Date | FEB 15 2021 | | Phase No. | Sheet No. | |
| | | | | A-05 | |



EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

Client
Client

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1012 RICHARDSON DUPLEX

1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
EAST ELEVATION

Scale
1/4"=1'-0"

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| Date | | | Project No. | | |
| FEB 15 2021 | | | 19128 | | |
| Phase No. | | | Sheet No. | | |
| | | | A-06 | | |



EXISTING SOUTH ELEVATION

1/4" = 1' AT 11 X 17 PRINT



PROPOSED SOUTH ELEVATION

1/4" = 1' AT 11 X 17 PRINT

- Level 2 Ceiling 20'-8"
- BLACK ALUMINUM SPINDLE GUARDRAIL
- TOP OF GUARDRAIL 14'-6"
- LEVEL 2 11'-3"
- LEVEL 1 CEILING 9'-10"
- CUSTOM MADE ARCH SPINDLES, POST BRACKETS AND GUARDRAIL TO MATCH EXISTING PORCH
- Level 1 0' - 0"
- NEW FRONT PORCH
- Crawl Space -4' - 6"



Client

Client

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1012 RICHARDSON DUPLEX

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VICTORIA BC

Drawing Title
SOUTH ELEVATION

Scale
3/8" = 1'

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| Date | | Phase No. | | Sheet No. | |
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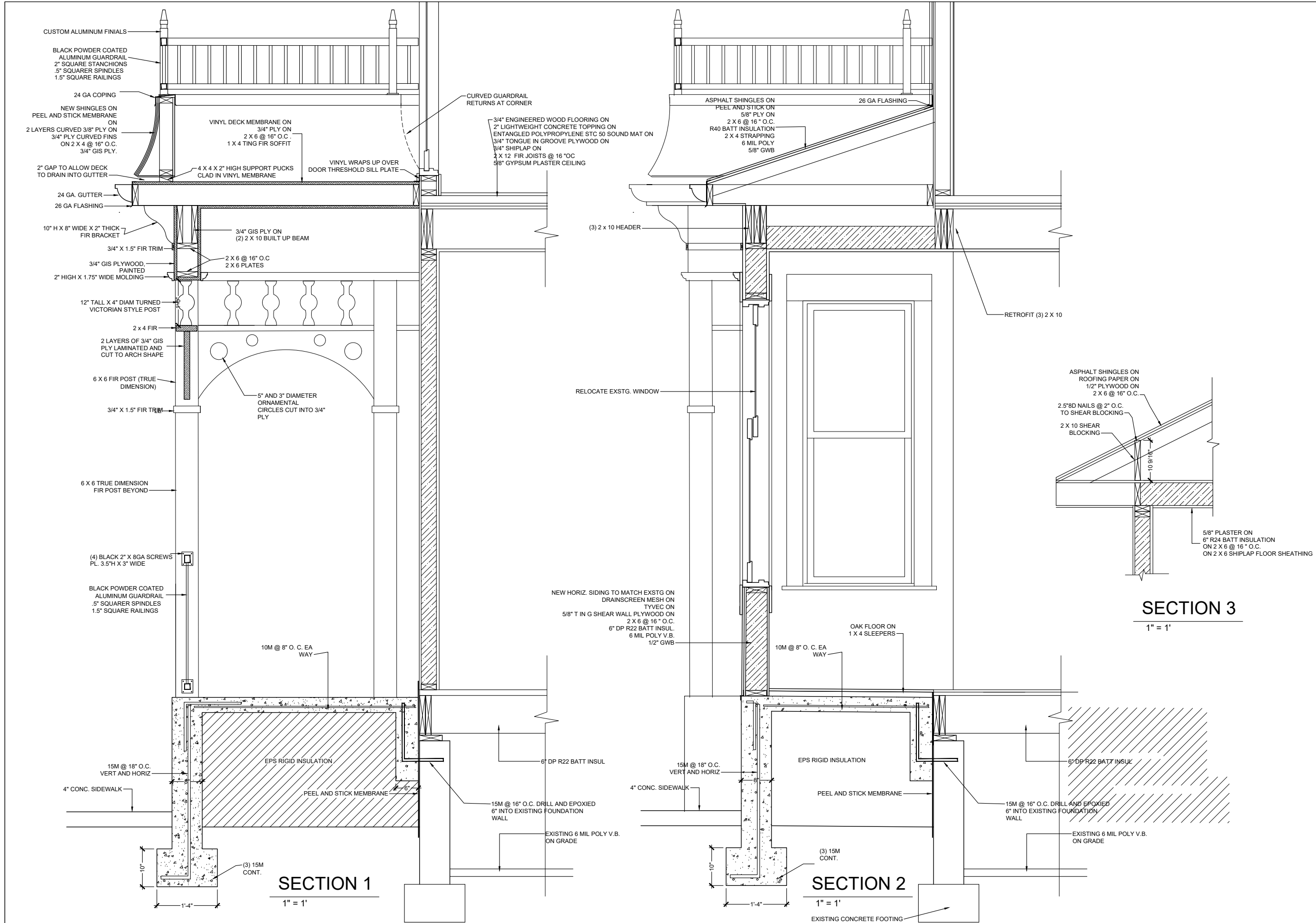
1012 RICHARDSON DUPLEX

1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
NORTH ELEVATION

Scale
3/8" = 1'

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| Drawn | RI | Check | RI | Partner | RI |
| Project No. | | 19128 | | | |
| Date | DEC 12 2019 | | Phase No. | Sheet No. | |
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Client

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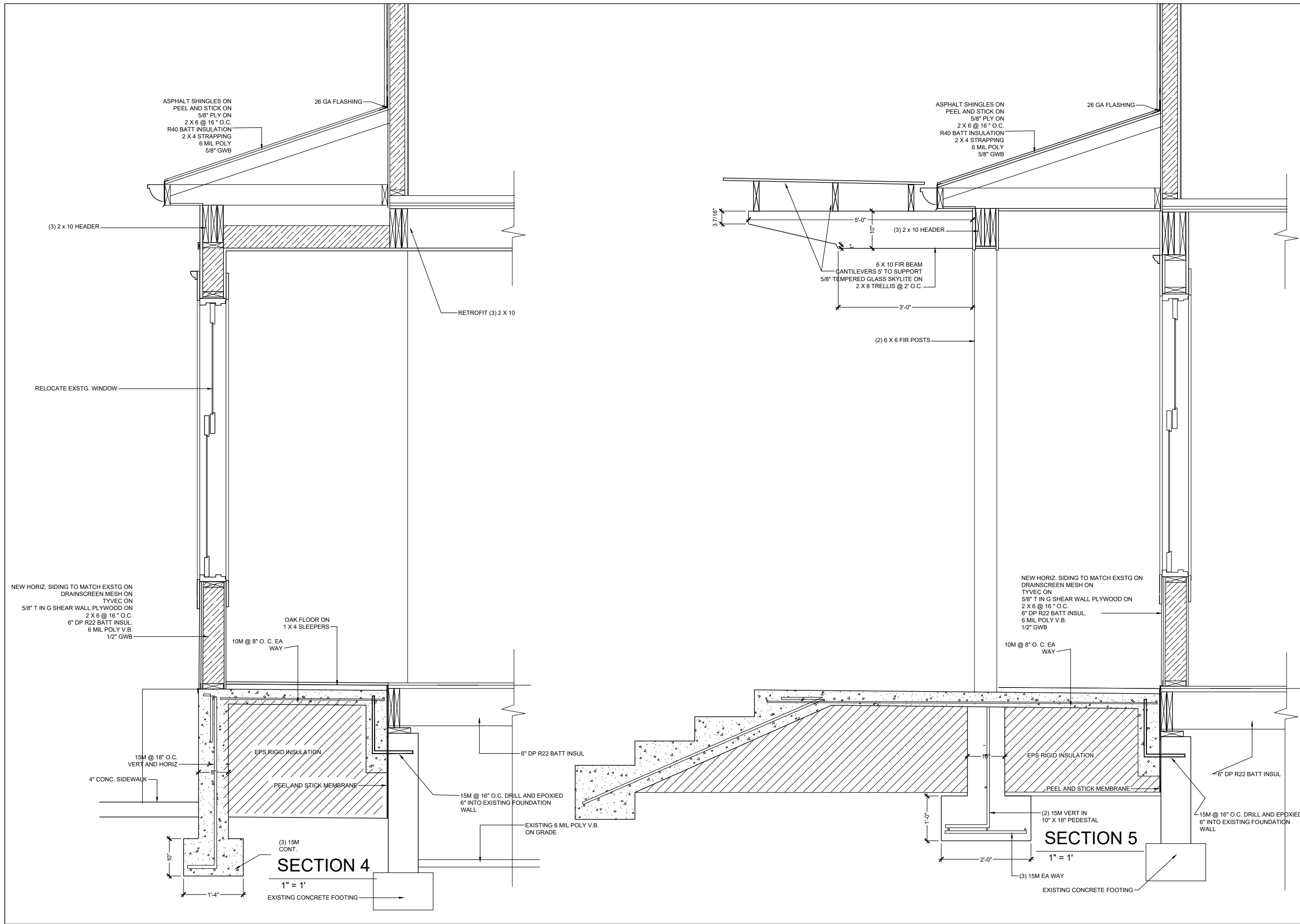
1012 RICHARDSON DUPLEX

1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
DETAILS 1

Scale
1"=1'

| Drawn | RI | Check | RI | Partner | RI |
|-------|-------------|-----------|----|-----------|------|
| Date | DEC 12 2019 | Phase No. | | Sheet No. | A-09 |



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1012 RICHARDSON DUPLEX
1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
DETAILS 2

Scale
3/8" = 1'

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| Drawn | RI | Check | RI | Partner | RI |
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Project No.
19128

Date
MARCH 1 2021

Phase No.

Sheet No.
A10

| LIST OF ABBREVIATIONS | | | |
|-----------------------|---------------------------------|----------|---------------------------|
| ABBREV. | DESCRIPTION | ABBREV. | DESCRIPTION |
| A.B. | ANCHOR BOLT | LSL | LAMINATED STRAND LUMBER |
| ADJ. | ADJUSTABLE | L.S.V. | LONG SIDE VERTICAL |
| ALT. | ALTERNATE | LVL | LAMINATED VENEER LUMBER |
| ARCH. | ARCHITECTURAL | MAX. | MAXIMUM |
| B.C.E. | BOTTOM CHORD EXTENSION | MECH. | MECHANICAL |
| BLDG. | BUILDING | MIN. | MINIMUM |
| BM. | BEAM | M.S.R. | MACHINE STRESS-RATED |
| BOT. | BOTTOM | MTL. | METAL |
| CANTIL. | CANTILEVER | N.I.C. | NOT IN CONTRACT |
| C.J.P. | CAST IN PLACE | N.S. | NEAR SIDE |
| C.J. | CONTROL JOINT | N.T.S. | NOT TO SCALE |
| C.L. | CENTRELINE | O/C | ON CENTRE |
| CL.R. | CLEAR | O.C. | ON CENTRE |
| COL. | COLUMN | O.D. | OUTSIDE DIAMETER |
| CONC. | CONCRETE | OPG | OPENING |
| CONT. | CONTINUOUS | OPNG. | OPENING |
| C.P. | COMPLETE PENETRATION | OPP. | OPPOSITE |
| | | OSB | ORIENTED STRAND BOARD |
| | | OWSJ | OPEN WEB STEEL JOIST |
| CW | COMPLETE WITH | | |
| DET. | DETAIL | PL. | PLATE |
| D.FIR | DOUGLAS FIR | PLY | PLYWOOD |
| DIAM. | DIAMETER | | |
| DL | DEAD LOAD | P.SL | PARALLEL STRAND LUMBER |
| DP. | DEEP | | |
| DWG. | DRAWING | R | RADIUS |
| DWL. | DOWEL | RAD. | RADIUS |
| DWLS. | DOWELS | R.D. | ROOF DRAIN |
| EA. | EACH | REINF. | REINFORCED, REINFORCEMENT |
| E.E. | EACH END | REQ'D | REQUIRED |
| E.F. | EACH FACE | REV. | REVISION, REVISED |
| EL. | ELEVATION | R.O. | ROUGH OPENING |
| ELEV. | ELEVATION | RTN. | RETURN |
| ELEC. | ELECTRICAL | RW | REINFORCED WITH |
| EQ. | EQUAL | SOF | STEP-DOWN FOOTING |
| E.S. | EACH SIDE | SOL | SUPERIMPOSED DEAD LOAD |
| E.WAY | EACH WAY | SEL. | SELECT |
| E.W. | EACH WAY | SIM. | SIMILAR |
| | | S.I.B.B. | SHORT LEGS BACK TO BACK |
| | | S.O.G. | SLAB ON GRADE |
| EXIST. | EXISTING | SPEC. | SPECIFICATION |
| EXP. | EXPANSION | S-P-F | SPRUCE PINE FIR |
| EXT. | EXTERIOR | S.S. | STAINLESS STEEL |
| F.D. | FLOOR DRAIN | STAG. | STAGGERED |
| FIN. | FINISH OR FINISHED | STD. | STANDARD |
| FL.R. | FLOOR | STIFF. | STIFFENER |
| | | STIR. | STIRRUPS |
| | | STL. | STEEL |
| FTG. | FOOTING | STRUC. | STRUCTURAL |
| | | STRUCT. | STRUCTURAL |
| | | SQ. | SQUARE |
| G.L. | GRID LINE | S.W. | SHORT WAY |
| GLB | GLULAM BEAM | SYM. | SYMMETRICAL |
| HEM-FIR | HEMLOCK FIR | | |
| H | HORIZONTAL | | |
| H & V | HORIZONTAL AND VERTICAL | T & C | TENSION AND COMPRESSION |
| | | T & G | TONGUE AND GROOVE |
| | | T.J. | TIE JOIST |
| HT. | HEIGHT | THK. | THICK |
| H.S.C. | HORIZONTALLY SLOTTED CONNECTION | THRU | THROUGH |
| HSS | HOLLOW STRUCTURAL STEEL | | |
| INT. | INTERIOR | T.O.C. | TOP OF CONCRETE |
| JT. | JOINT | T.O.S. | TOP OF SLAB |
| L. | ANGLE | TYP. | TYPICAL |
| L.G. | LONG | U.N.O. | UNLESS NOTED OTHERWISE |
| LL | LIVE LOAD | UIS | UNDERSIDE |
| LL.B.B. | LONG LEGS BACK TO BACK | V | VERTICAL |
| LL.H. | LONG LEG HORIZONTAL | VERT. | VERTICAL |
| LL.V. | LONG LEG VERTICAL | W/ | WITH |
| Lp | LENGTH OF EMBEDMENT | W.W.M. | WELDED WIRE MESH |
| L.S.H. | LONG SIDE HORIZONTAL | | |

GENERAL

READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND DOCUMENTS. REPORT CONFLICTS TO THE ARCHITECT BEFORE COMMENCING WORK.

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DISCREPANCIES TO THE ARCHITECT.

ALL FORMWORK, SHORING, TEMPORARY SUPPORT, AND BRACING OF THE STRUCTURE DURING CONSTRUCTION (IF REQUIRED) IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DESIGNED AND INSPECTED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF BC IN ACCORDANCE WITH W.C.B. REGULATIONS.

INSPECTION

ALL STRUCTURAL ITEMS MUST BE INSPECTED BY THE STRUCTURAL ENGINEER OR BY ANOTHER SUITABLE QUALIFIED PERSON RESPONSIBLE TO THE STRUCTURAL ENGINEER.

IN GENERAL, NOTIFY THE ENGINEER AT LEAST 2 DAYS IN ADVANCE FOR A STRUCTURAL INSPECTION. EXCAVATIONS MUST BE INSPECTED BEFORE FORMING COMMENCES. REINFORCING STEEL AND POUR CONDITIONS MUST BE INSPECTED BEFORE EACH CONCRETE POUR. WOOD FRAMING, LUMBER AND GLULAM BEAMS, PLYWOOD SHEAR WALLS, AND PLYWOOD ROOF AND FLOOR DIAPHRAGMS MUST BE INSPECTED BEFORE BEING COVERED WITH SHEATHING, ROOFED OVER, OR CONCEALED WITH CANT STRIPS.

LOADS ASSUMED IN DESIGN

LOADS AS PER 2012 CBC PART 9 AND 2010 NBC SUPPLEMENT:

SUPERIMPOSED DEAD LOADS:

ROOF MAIN FLOOR = 0.75 kPa (15.6 PSF) = 3.5 kPa (75 PSF)

SUPERIMPOSED DEAD LOADS ARE NON-STRUCTURAL. DEAD LOADS DUE TO ARCHITECTURAL TOPPINGS, FINISHES, PARTITIONS, ETC.

LIVE LOADS:

FLOOR (DAYCARE) = 3.5 kPa (73.10 PSF)

SNOW LOAD:

Ss = 2.4 kPa (50.13PSF)
Sr = 0.4 kPa (8.35 PSF)

+ ADDITIONAL BUILT-UP SNOW LOADS PER CBC & NBC

WIND LOAD:

q = 0.75 kPa (15 PSF) FOR 1/10
q = 1.0 kPa (20 PSF) FOR 1/30

SEISMIC:

Sa(0.2)=0.88
Sa(0.5)=0.62
Sa(1.0)=0.33
Sa(2.0)=0.17

SITE CLASS D

Vb = 0.6W

SOIL BEARING CONDITIONS

SOIL BEARING CAPACITY ASSUMED 400kPa
8KSF @ 8'-0" BELOW GRADE

USE PILES AS SHOWN ON DRAWINGS

PREPARE SITE FOR FOUNDATIONS AS RECOMMENDED IN GEOTECHNICAL REPORT JOB# 04100 BY GYH CONSULTING LTD. DATED DECEMBER 24, 2010 AND REVISED JULY 11, 2011.

REFER TO THE GEOTECHNICAL REPORT FOR DETAILS REGARDING STRUCTURAL FILL.

AFTER EXCAVATION AND BEFORE CONSTRUCTING FOUNDATIONS, HAVE THE GEOTECHNICAL ENGINEER THAT PREPARED THE ABOVE REPORT OR ANOTHER QUALIFIED PERSON RESPONSIBLE TO THE GEOTECHNICAL ENGINEER INSPECT AND CONFIRM THE DESIGN SOIL BEARING PRESSURE AND STABILITY OF THE FOUNDATION BEARING SOILS.

PLACE AND COMPACT BACKFILL ONLY AFTER COMPLETION OF FRAMING OF THE MAIN FLOOR.

CONCRETE

QUALITY ASSURANCE

CONCRETE DESIGN SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD A23.3-04 "DESIGN OF CONCRETE STRUCTURES." ALL MATERIALS AND METHODS OF PLACING SHALL TO CONFORM TO THE REQUIREMENTS OF CSA STANDARDS A23.1-04 "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" AND A23.2-04 "METHODS OF TEST AND STANDARD PRACTICES FOR CONCRETE."

PRODUCTS

FORMWORK:

FORM MATERIALS TO BE OF SUFFICIENT STRENGTH TO WITHSTAND PRESSURE FROM CONCRETE WITHOUT BOW OR DEFLECTION. FOR EXPOSED CONCRETE SURFACES PROVIDE SUITABLE PANEL-TYPE MATERIAL TO OBTAIN CONTINUOUS, STRAIGHT, SMOOTH EXPOSED SURFACES. GREASE FORMS WITH TWO COATS OF CLEAN OIL PRIOR TO PLACING CONCRETE. PROVIDE 12 mm (1/2") ASPHALT IMPREGNATED FIBRE BOARD AT ALL JOINTS ABUTTING VERTICAL CONCRETE.

CONCRETE:

USE PORTLAND CEMENT TO ASTM C150, TYPE 1.

USE AGGREGATES TO ASTM C33 EXCEPT WHERE LOCAL AGGREGATES OF PROVEN DURABILITY ARE AVAILABLE AND HAVE BEEN ACCEPTED BY THE ENGINEER.

MINIMUM 28-DAY CONCRETE STRENGTHS TO BE AS FOLLOWS:

Fc = 15 MPa FOR SKIM COATS
Fc = 20 MPa FOR FOOTINGS
Fc = 20 MPa FOR SLABS ON GRADE
Fc = 25 MPa FOR WALLS/BEAMS/SUSPENDED SLABS

WATER TO BE POTABLE, AIR-ENTRAIN BETWEEN 4.5% AND 7% ENTRAINED AIR FOR CONCRETE EXPOSED TO WEATHER. USE 2% TO 4% FOR OTHER CONCRETE. FLY ASH (TO ASTM C618, TYPE F) TO NOT EXCEED 25% OF CEMENT CONTENT BY WEIGHT. SLUMP FOR CONCRETE FOOTINGS, WALLS, AND PIERS: 150 mm (6"). SLUMP FOR SLABS-ON-GRADE: LESS THAN 100 mm (<4").

PROVIDE A POLISHED STEEL TROWEL FINISH TO CONCRETE FLOOR.

PROVIDE CURING AND PROTECTION OF CONCRETE FOR HOT, COLD, OR DRY WEATHER AS PER CAN/CSA A23.1 - CHAPTER 21.

TESTING:

ALL CONCRETE POURS TO INCLUDE 3 TEST CYLINDERS BROKEN AT 7 AND 28 DAYS. TEST RESULTS TO BE FORWARDED TO THE STRUCTURAL ENGINEER. TESTING TO BE DONE BY A RECOGNIZED TESTING LAB AT THE CONTRACTOR'S EXPENSE.

REINFORCEMENT:

REINFORCING TO BE DEFORMED BARS HAVING A YIELD STRENGTH OF 400 MPa. STIRRUPS AND TIES MAY HAVE A YIELD STRENGTH OF 300 MPa. DETAIL AND BEND BARS ACCORDING TO CAN/CSA - A23.1 LATEST EDITION, FOR REFERENCE. LENGTHS OF TENSION AND COMPRESSION LAP SPLICES ARE GIVEN IN THE TABLES BELOW:

| CLASS B - CASE 1 TENSION LAP SPLICES | | COMPRESSION LAP SPLICES | |
|--------------------------------------|-----------------|-------------------------|----------------|
| BAR | LENGTH | BAR | LENGTH |
| 10M | 450 mm (1'-6") | 10M | 300 mm (1'-0") |
| 15M | 600 mm (2'-0") | 15M | 450 mm (1'-6") |
| 20M | 700 mm (2'-4") | 20M | 600 mm (2'-0") |
| 25M | 1200 mm (4'-0") | 25M | 750 mm (2'-6") |

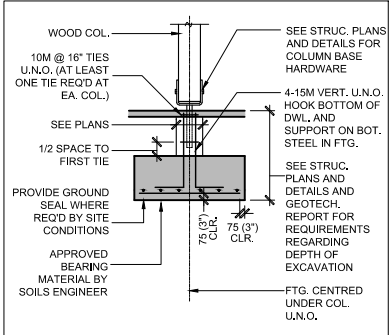
USE CLASS B - CASE 1 TENSION LAP SPLICES UNLESS NOTED OTHERWISE. COMPRESSION LAP SPLICES MAY BE USED ONLY WHERE EXPLICITLY NOTED ON PLANS OR DETAILS.

CONCRETE COVER OF REINFORCING TO BE 75 mm (3") WHERE POURED AGAINST EARTH, 50 mm (2") ELSEWHERE.

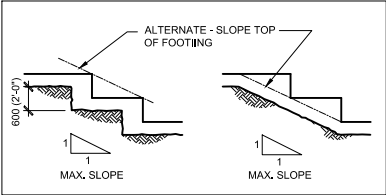
EPOXY ANCHORS:

EPOXY ANCHORS INTO CONCRETE TO BE GALVANIZED THREADED STEEL RODS CONFORMING TO ASTM STANDARD A307 WITH A YIELD STRENGTH OF 400 MPa. ANCHORED TO BASE MATERIAL WITH HILTI HY150 ADHESIVE OR APPROVED EQUIVALENT. SEE PLANS AND SECTIONS FOR ANCHOR LOCATIONS, SIZES, AND EMBEDMENT DEPTHS.

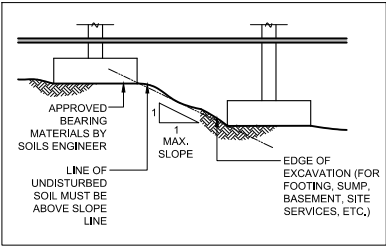
TYPICAL WOOD COLUMN FOOTING



TYPICAL STEPPED WALL FOOTINGS

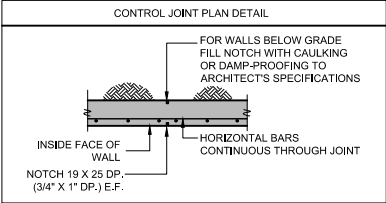


TYPICAL FOOTING ADJACENT TO EXCAVATION

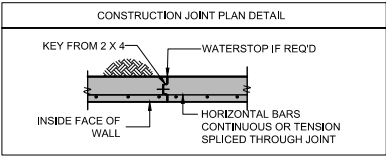


WALL CONTROL JOINT

FOR EXTERIOR WALLS BELOW GRADE AND EXTERIOR WALLS EXPOSED TO WEATHER ABOVE GRADE, PROVIDE CONTROL JOINTS AT 6100 (20'-0") O.C. MAX. U.N.O. ON PLAN.



WALL CONSTRUCTION JOINT (CONSTRUCTION JOINT CAN REPLACE CONTROL JOINT)



WALL NOTES

1. UNLESS OTHERWISE NOTED, WALLS SHALL BE REINFORCED AS FOLLOWS:

| WALL REINFORCEMENT | | |
|--------------------|----------------------------------|---|
| WALL | VERTICAL | HORIZONTAL |
| 150 (6") | 10M @ 460 (18") VERT. | 10M @ 330 (13") HORIZ. |
| 200 (8") | 10M @ 330 (13") VERT. | 10M @ 250 (10") HORIZ. OR 15M @ 510 (20") |
| 250 (10") | 10M @ 250 (10") VERT. | 10M @ 200 (8") HORIZ. OR 15M @ 380 (15") |
| 250 (10") | 15M @ 510 (20") VERT. | 10M @ 200 (8") HORIZ. OR 15M @ 380 (15") |
| 300 (12") | 10M @ 460 (18") VERT. E.F. STAG. | 10M @ 330 (13") HORIZ. E.F. STAG. |
| 330 (13") | 10M @ 380 (15") VERT. E.F. STAG. | 10M @ 280 (11") HORIZ. E.F. STAG. |

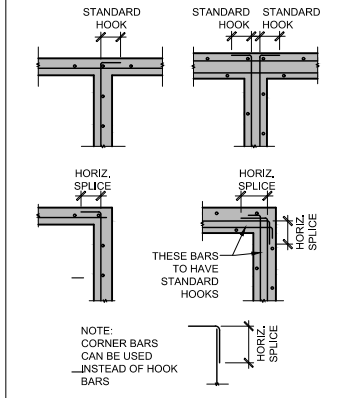
FOR OTHER THICKNESSES, REINFORCEMENT TO BE PROPORTIONAL TO ABOVE.

15M @ 510 (20") MAY BE SUBSTITUTED FOR 10M @ 380 (13") WITH THE APPROVAL OF IREDALE GROUP. FOR WALLS WITH A SINGLE LAYER OF STEEL, THE WALL REINFORCING SHALL BE PLACED IN THE CENTRE OF THE WALL UNLESS NOTED OTHERWISE.

2. ALL WALL REINFORCING SHALL BE CONTINUOUS, WITH HOOKS OR CORNER BARS USED AT ALL WALL JUNCTIONS. EXTEND HOOKS TO FAR FACE OF WALL. CORNER BARS TO BE LOCATED ON OUTSIDE FACE OR CENTRE OF WALL.

3. HORIZONTAL AND VERTICAL SPLICES SHALL BE CLASS B - CASE 1 TENSION SPLICES, UNLESS NOTED OTHERWISE. HORIZONTAL BARS NEED NOT BE CONSIDERED TOP BARS.

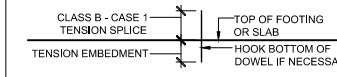
DETAILS OF HORIZONTAL REINFORCEMENT AT CORNERS (SEE ALSO ZONE REINFORCING DETAILS)



4. ENDS OF ALL WALLS SHALL HAVE 2-15M VERTICALS LAPPED 635 mm (25") UNLESS OTHERWISE NOTED ON DRAWINGS.

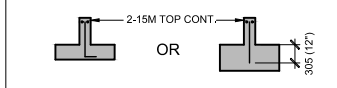
5. ADD 2-15M PARALLEL TO ALL EDGES AND EXTENDING 635mm (25") BEYOND CORNERS AT OPENINGS IN WALLS. WHERE OPENING WIDTH IS EQUAL TO OR GREATER THAN 760 mm (2'-6"), ADD 15M X 915 mm (3'-0") LG. DIAGONAL BARS AT CORNERS.

6. UNLESS NOTED OTHERWISE, PROVIDE DOWELS AT BOTTOM OF WALLS (I.E. AT FOOTINGS OR WHEREVER WALL BEGINS) AS SHOWN BELOW. DOWELS TO MATCH VERTICAL STEEL.



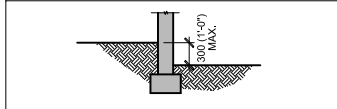
7. UNLESS NOTED OTHERWISE, PROVIDE U-BARS WHERE FLOORS ARE SUPPORTED FROM THE BOTTOM OF WALLS.

8. SEE ARCHITECTURAL DRAWINGS FOR EXTENT AND LOCATION OF CONCRETE UPSTAND WALLS, PLANTER WALLS, AND CURBS. UNLESS NOTED OTHERWISE, PROVIDE REINFORCING AS GIVEN IN ITEM 1. VERTICAL BARS TO BE EMBEDDED IN MAIN STRUCTURE AS SHOWN BELOW.



9. UNLESS NOTED OTHERWISE ALL RETAINING WALLS BELOW GRADE AND ALL EXTERIOR WALLS EXPOSED TO THE WEATHER ABOVE GRADE DETAIL SHALL HAVE CONTROL JOINTS. CONSTRUCTION JOINT MAY REPLACE CONTROL JOINT WHERE REQUIRED. THE LOCATION OF CONTROL JOINTS IN EXPOSED CONCRETE WALLS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW.

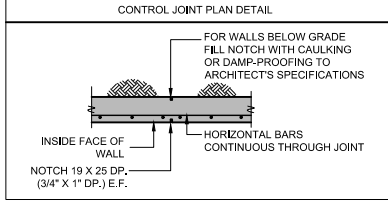
10. UNLESS NOTED OTHERWISE, AT NO POINT DURING CONSTRUCTION SHALL THE DIFFERENCE IN BACKFILL LEVELS ON EITHER SIDE OF INTERIOR FOUNDATION WALLS (OR ANY OTHER FOUNDATION WALLS NOT DESIGNED TO RETAIN SOIL) EXCEED 300 mm (1'-0").



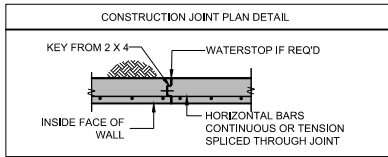
11. DO NOT PLACE BACKFILL AGAINST CONCRETE FOUNDATION WALLS UNTIL WALLS ARE AT LEAST 14 DAYS OLD MIN., OR UNTIL GROUND FLOOR SYSTEM OR TEMPORARY BRACING IS INSTALLED TO ADEQUATELY SUPPORT THE WALLS.

WALL CONTROL JOINT

FOR EXTERIOR WALLS BELOW GRADE AND EXTERIOR WALLS EXPOSED TO WEATHER ABOVE GRADE, PROVIDE CONTROL JOINTS AT 6100 (20'-0") O.C. MAX. U.N.O. ON PLAN.



WALL CONSTRUCTION JOINT (CONSTRUCTION JOINT CAN REPLACE CONTROL JOINT)



WOOD FRAMING

QUALITY ASSURANCE:

WOOD DESIGN SHALL CONFORM TO CAN/CSA-086-01 "ENGINEERING DESIGN IN WOOD."

LUMBER SHALL CONFORM TO CAN/CSA-0141-05 "SOFTWOOD LUMBER", THE NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER, AND SHALL HAVE A MAXIMUM 15% MOISTURE CONTENT AT TIME OF INSTALLATION.

PRODUCTS:

SIZES: ALL MEMBER DESIGNATIONS SHOWN ON PLANS ARE NOMINAL DIMENSIONS EXCEPT WHERE NOTED "FULL SIZE", IN WHICH CASE THE MEMBER DESIGNATION DENOTES THE TRUE SIZE OF THE MEMBER ON DRAWINGS.

LUMBER GRADE: HEM-FIR No. 2 OR BETTER UNLESS NOTED OTHERWISE ON DRAWINGS.

PLYWOOD: D-FIR-L SHEATHING GRADE TO CSA 0121-M1978 AND CAN/CSA-0325.0-92; EXTERIOR GRADE FOR WALLS AND ROOF.

NAILS: 65mm (2 1/2") COMMON 8d NAILS UNLESS NOTED OTHERWISE. CONFORM TO CSA B111-1974 "WIRE NAILS, SPIKES AND STAPLES"; THIN GAUGE NAILING GUN STAPLES OR NAILS ARE NOT ACCEPTABLE.

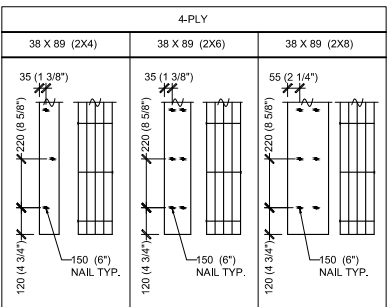
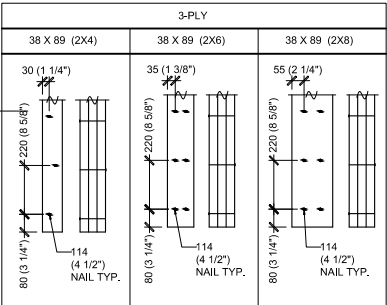
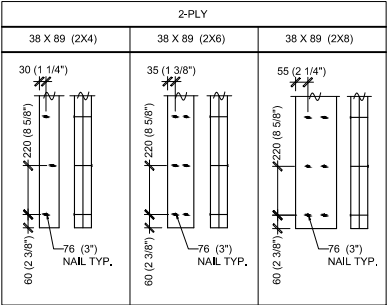
BOLTS: ASTM A307 UNLESS NOTED OTHERWISE.

USE ONLY STAINLESS STEEL FASTENERS WITH ACQ. PRESSURE TREATED LUMBER TYP.

REFER TO TYPICAL WOOD FLOOR, ROOF, AND WALL DETAILS FOR TYPICAL FRAMING CONDITIONS.

BUILT-UP COLUMNS

FASTEN TOGETHER INDIVIDUAL LAMINATIONS OF BUILT-UP COLUMNS AS SHOWN IN THE DIAGRAM BELOW. NAILING MAY BE OMITTED WHERE THE BUILT-UP COLUMN IS INCORPORATED INTO A STUD WALL AND SHEATHING IS ADEQUATELY NAILED TO EACH MEMBER.



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10/12/19
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Consultant

1012 RICHARDSON DUPLEX

1012 AND 1014 RICHARDSON ST.
VICTORIA BC

Drawing Title
STRUCTURAL NOTES

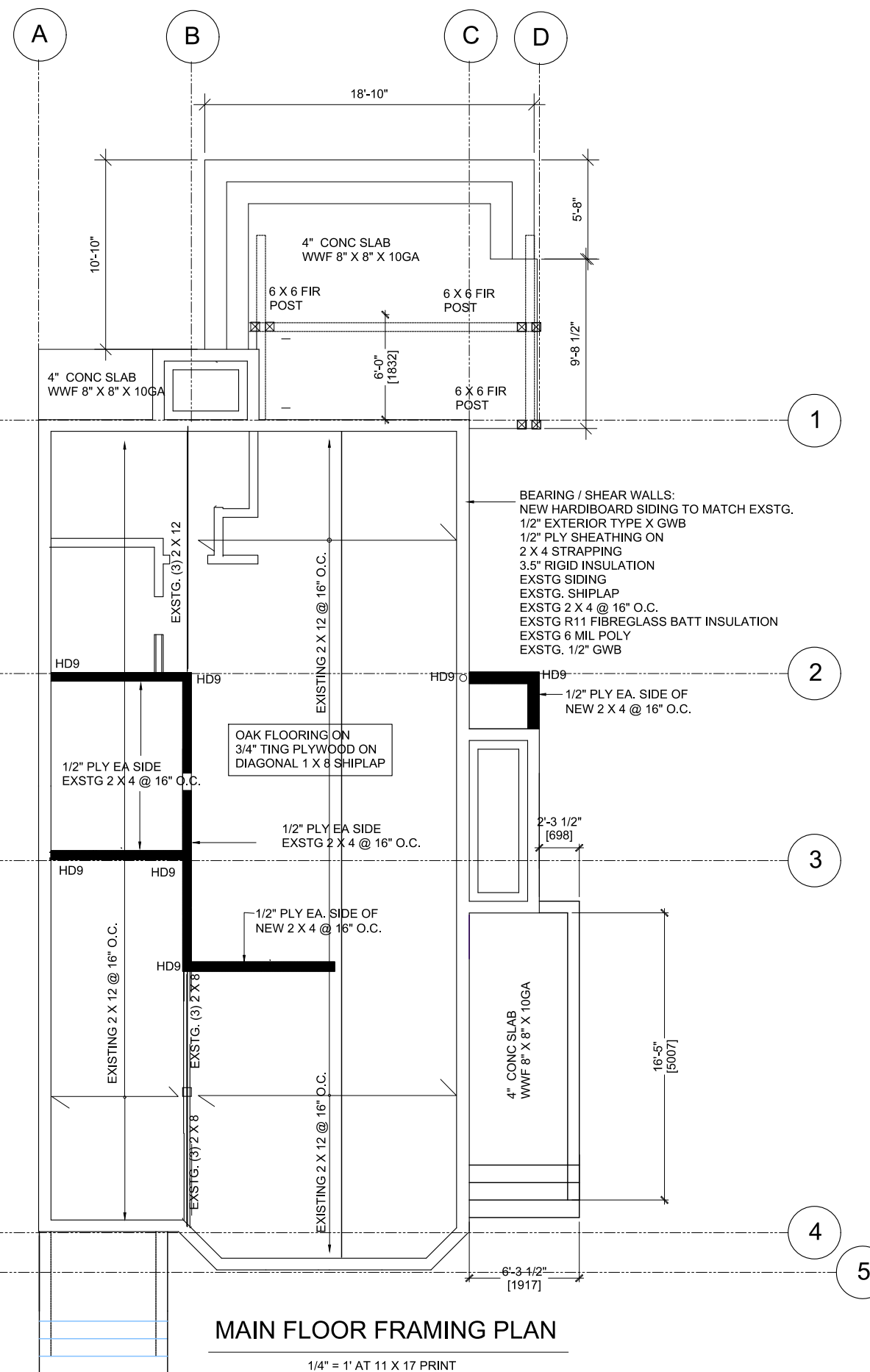
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Drawn RI Check RI Partner RI



Date
MARCH 2021

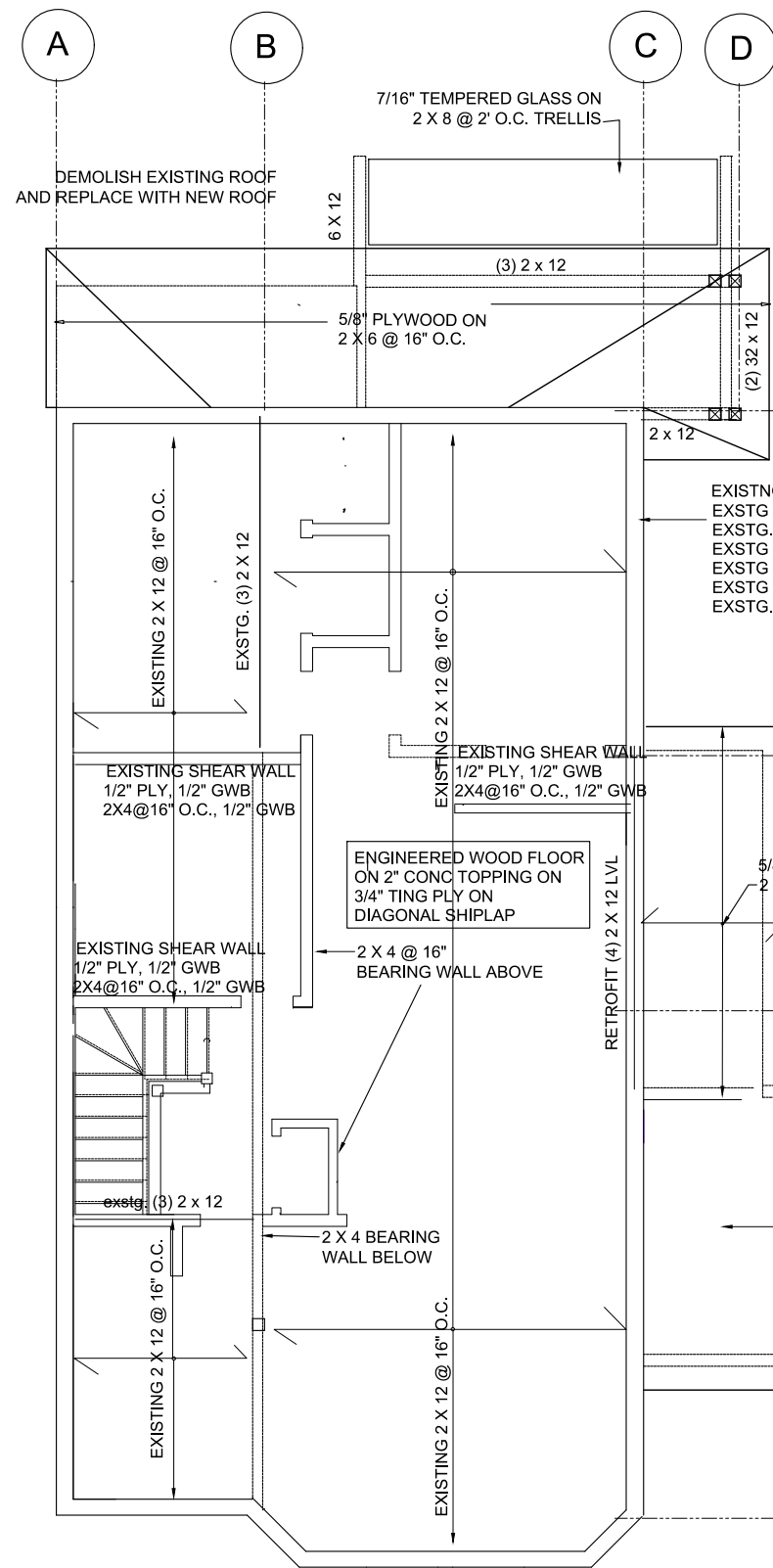
Project No.
19128

Phase No. Sheet No.
S-00



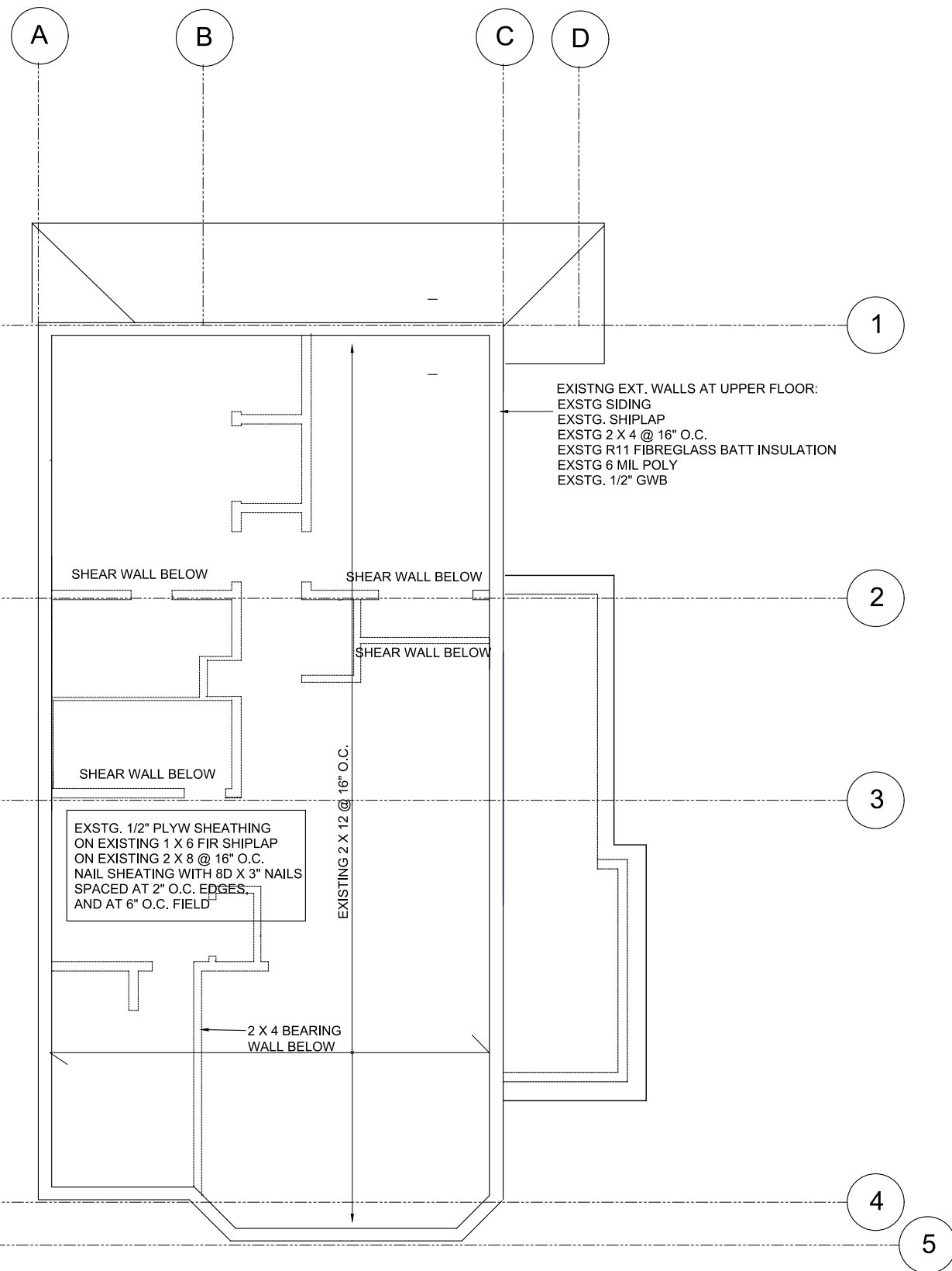
1/4" = 1' AT 11 X 17 PRINT

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| <h2 style="margin: 0;">1012 RICHARDSON</h2> <h2 style="margin: 0;">DUPLEX</h2> <p style="margin: 0;">1012 AND 1014</p> <p style="margin: 0;">RICHARDSON ST.</p> <p style="margin: 0;">VICTORIA BC</p> | | |
| Drawing Title <h3 style="margin: 0;">FOUNDATION AND MAIN</h3> <h3 style="margin: 0;">FLOOR FRAMING</h3> <h3 style="margin: 0;">PLAN</h3> | | |
| Scale <p style="margin: 0;">$1/4" = 1'$</p> | | |
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|  | | Project No. <h2 style="margin: 0;">19128</h2> |
| Date <h2 style="margin: 0;">MARCH 2021</h2> | | Sheet No. <h2 style="margin: 0;">S-02</h2> |



UPPER FLOOR FRAMING PLAN

1/4" = 1' AT 11 X 17 PRINT



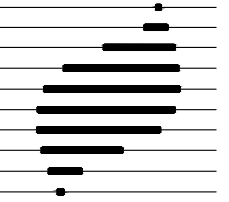
ATTIC FLOOR FRAMING PLAN

1/4" = 1' AT 11 X 17 PRINT

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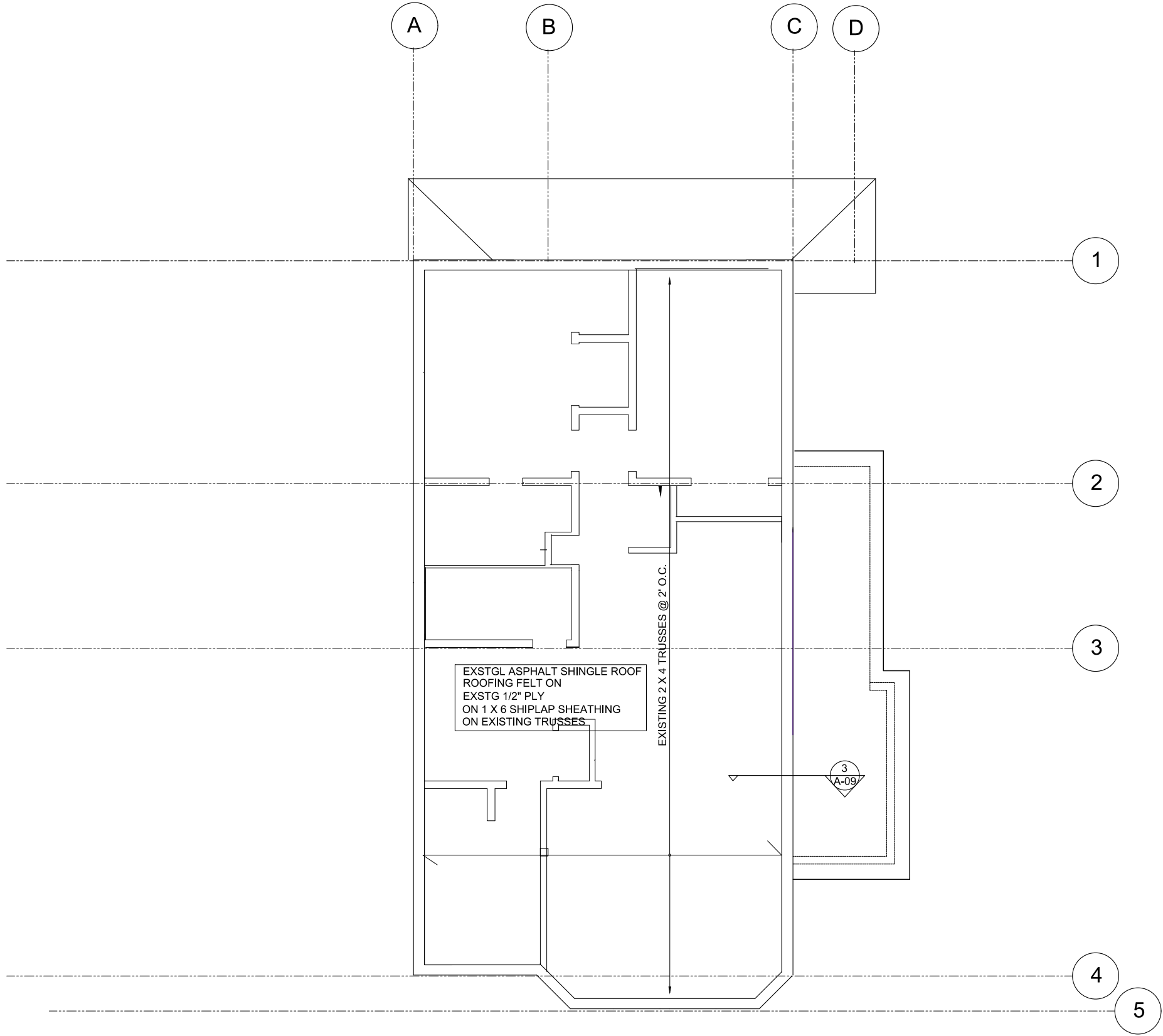
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UPPER FLOOR AND ATTIC
FRAMING PLAN

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1/4" = 1'

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| MARCH 2021 | | S-03 |



ROOF FRAMING PLAN

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1012 AND 1014
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Drawing Title

ROOF
FRAMING PLAN

Scale

1/4" = 1'

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