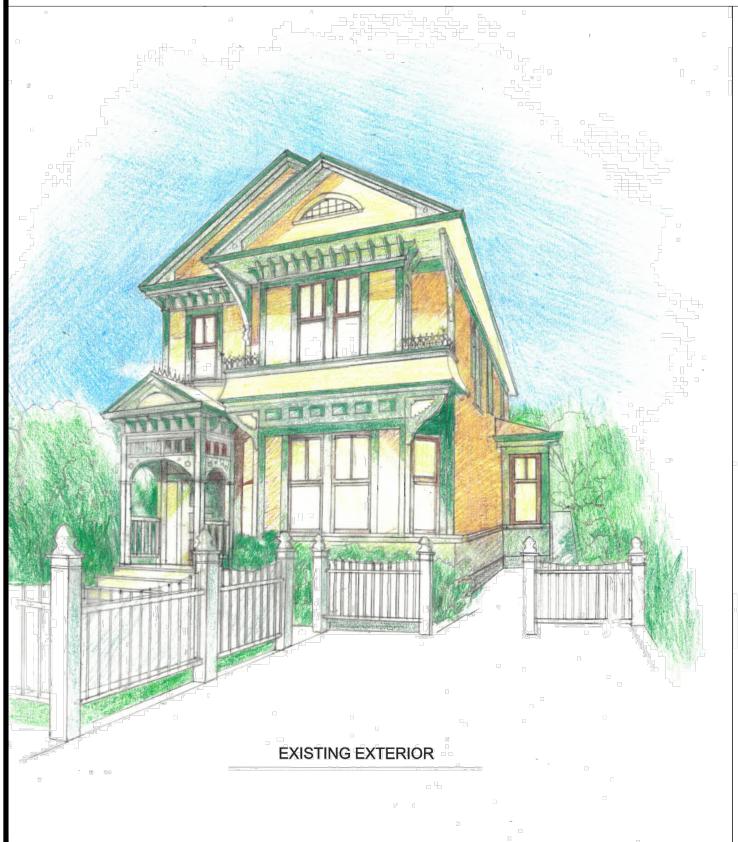
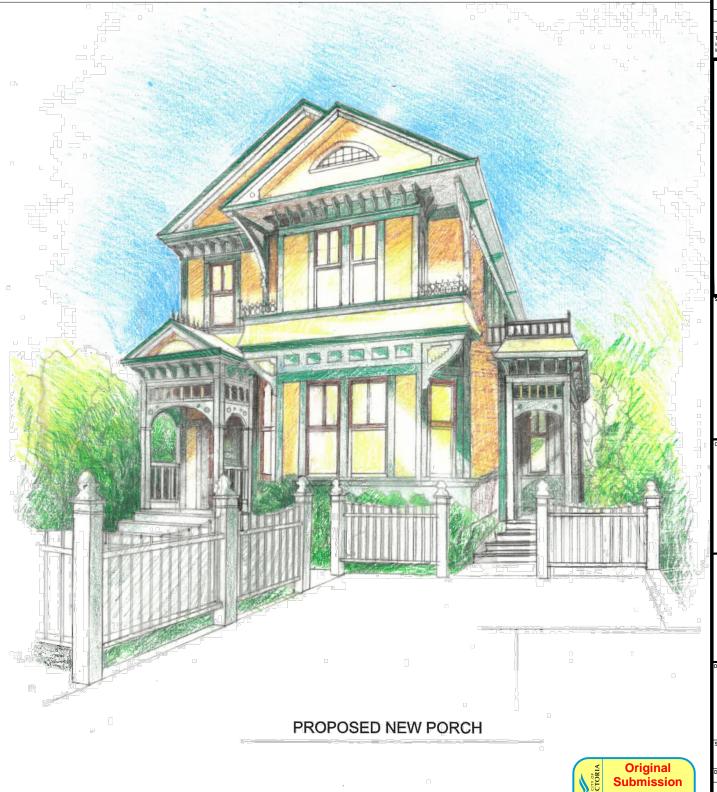
1012 RICHARDSON DUPLEX CONVERSION AND HERITAGE ALTERATION

1012 AND 1014 RICHARDSON STREET, VICTORIA BC V8V 3C5 ISSUED FOR HERITAGE ALTERATION PERMIT FEBRUARY 15 2021

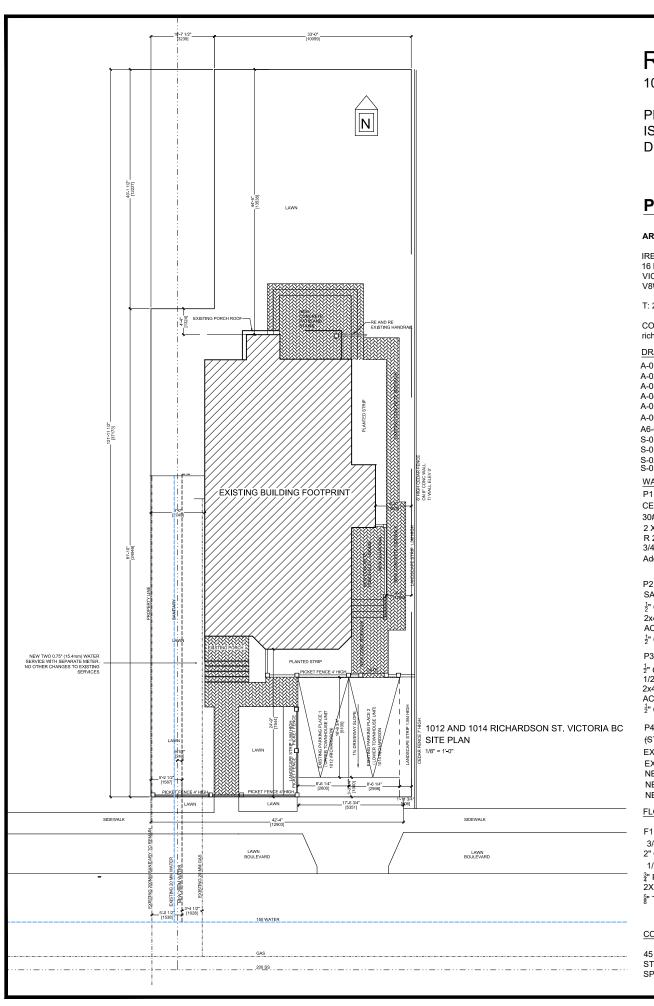




IREDALE GROUP ARCHITECTURE 202-ONE ALEXANDER ST VANCOUVER BC V6A 182 t 604.736.5581 F 604.736.5585 1012 RICHARDSON DUPLEX 1012 AND 1014 RICHARDSON ST. VICTORIA BC EXISTING AND PROPOSED ELEVATION SKETCHES 19128

FEB 15 2021

A-00



RICHARDSON DUPLEX

1012 AND 1014 RICHARDSON STREET VICTORIA BC V8V 3C5

PROJECT NUMBER 19128 ISSUED FOR BUILDING PERMIT **DECEMBER 12, 2019**

PROJECT DIRECTORY

ARCHITECT

IREDALE GROUP ARCHITECTURE 16 BASTION SQUARE VICTORIA BC V8W 1H9

T: 250.381.5582

CONTACT: RICHARD IREDALE richard@iredale.ca

DRAWING LIST

A-01 SITE PLAN, WALL/ROOF SCHEDULES, ZONING NOTES, CODE A-02 MAIN FLOOR

A-03 UPPER FLOOR

A-04 NORTH AND SOUTH ELEVATION

A-05 EAST AND WEST ELEVATION

A-06 DETAILS

A6-07 BUILDING ENVELOPE DETAILS, RSI VALUES S-0 STRUCTURAL NOTES

S-01 FOUNDATION AND MAIN FLOOR FRAMING S-02 UPPER FLOOR AND ROOF FRAMING S-03 SHEAR WALL AND FRAMING DETAILS

WALL SCHEDULES

P1 EXSTG WALL RETROFITTED FOR 45 MIN. RATING CEDAR SIDING ON DIAGONAL 1 X 4 SHIPLAP

30# BUILDING PAPER 2 X 6 WOOD STUDS @ 16" O.C. R 28 ACCOUSTIC BATT INSULATION

3/4" PLASTER

Add 5/8" type x GWB

P2 EXISTNG UNRATE INTERIOR PARTITION

SAME AS P1 BUT NO 5/8" GWB

½" GWB

2x4 WOOD STUDS @ 16" O.C ACOUSTIC BATT INSULATION

½" GWB

P3 NEW INTERIOR PARTITION / SHEAR WALL

 $\frac{1}{2}$ " GWB 1/2" PLY SHEATHING, 8D NAILING @ 2" O.C. 2x4 WOOD STUDS @ 16" O.C ACOUSTIC BATT INSULATION

P4 EXSTG 45 MIN. WALL RETROFITTED W/ 5/8" TYPE X GWB

(STC 50, 45 MIN F.R.R.)

EXISTING 1/2" GWB

EXSTG. 2 X 6 STUDS @ 16" O.C.
NEW ACCOUSTIC BATT ROXUL SOUND INSULATION

NEW 1/2" PLY 3" NAILING @ 2" O.C.

NEW 5/8" TYPE X GWB

FLOOR SCHEDULES 45 MIN F.R.R (STC 50)

F1 - EXISTING FLOOR ASSEMBLY 3/4" OAK FLOORING

2" CONCRETE TOPPING

1/2" ENTANGLED POLYPROPYLENE SOUND MAT

3" PLYWOOD 2X10 JOISTS @ 16" O.C

 $\frac{5}{8}$ " TYPE X DRYWALL ($\frac{3}{4}$ " GYPROCK PLASTER EQUIVALENT)

CODE ANALYSIS

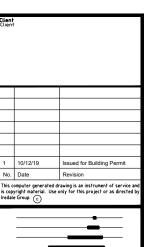
45 MIN FIRE RESISTANT RATING BETWEEN SUITES STC SOUND RATING OF 50 BETWEEN SUITES SPRINKLERED: NO

SITE DATA 1012 RICHARDSON STREET VICTORIA BC V8V 3C5

LEGAL DESCRIPTION: PARCEL A, OF LOTS 1135, VICTORIA, PLAN 2552

ZONING:R1-B ZONE WHICH ALLOWS FOR A TWO FAMILY DWELLING UNDER SCHEDULE G

	REQUIRED/ALLOWED	PROPOSED/EXISTING
MINIMUM SITE AREA	555 sq.m (min)	454.7 sq.m (4894.5 sq.ft)
MINIMUM LOT WIDTH	18m (min)	13.3m (43.6 ft)
<u>HEIGHT</u>	8.5m	6.9m (22.5 ft)
NUMBER OF STORIES		2
SITE COVERAGE	33% (max)	27 % (123.7 sq.m)
FLOOR AREA		
UPPER SUITE		116.1 sq.m (1250 sq.ft)
MAIN LEVEL SUITE		126.3 sq.m (1360 sq.ft)
NOTE: 36 SQ.M. DEMOLISHED AT BASEMENT LEVEL, 36 SQ.M. ADDED AT MAIN FLOOR LEVEL.		
TOTAL FLOOR AREA		242.58 sq.m (2610 sq.ft)
FLOOR AREA RATIO*	0.6 - 1	0.53
SETBACKS		
FRONT YARD	7.5m	7.5m (24.75 ft)
SIDE YARD (WEST)		
1.2M (4'-2")		
WINDOWS OF HABITABLE ROOMS*	4m	2.7m (9 ft)
LIVING ROOM WINDOWS*	7.5m	2.7m (9 ft)
SIDE YARD (EAST)		
PORCH POSTS	2.5M	1.24M (4'-2")
WINDOWS OF HABITABLE ROOMS*	4m	3.0m (10 ft)
LIVING ROOM WINDOWS	7.5m	1.8m (6 ft)
REAR YARD		
BLANK WALLS	2.5m	NA
WINDOWS OF HABITABLE ROOMS	4m	13.5m (44.4 ft)
LIVING ROOM WINDOWS	7.5m	NA
PARKING	2 STALLS	2 STALLS
FRONT YARD PARKING ALLOWED SCHEDULE C SENT. 11 (d)	2 STALLS	2 STALLS
PARKING DIMENSIONS SCHEDULE C FIGURE 2	2.6M WIDE X 5.1M LONG	2.6M WIDE X 5.1M LONG
TOTAL NUMBER OF UNITS		





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1012 RICHARDSON DUPLEX

> 1012 AND 1014 RICHARDSON ST. VICTORIA BC

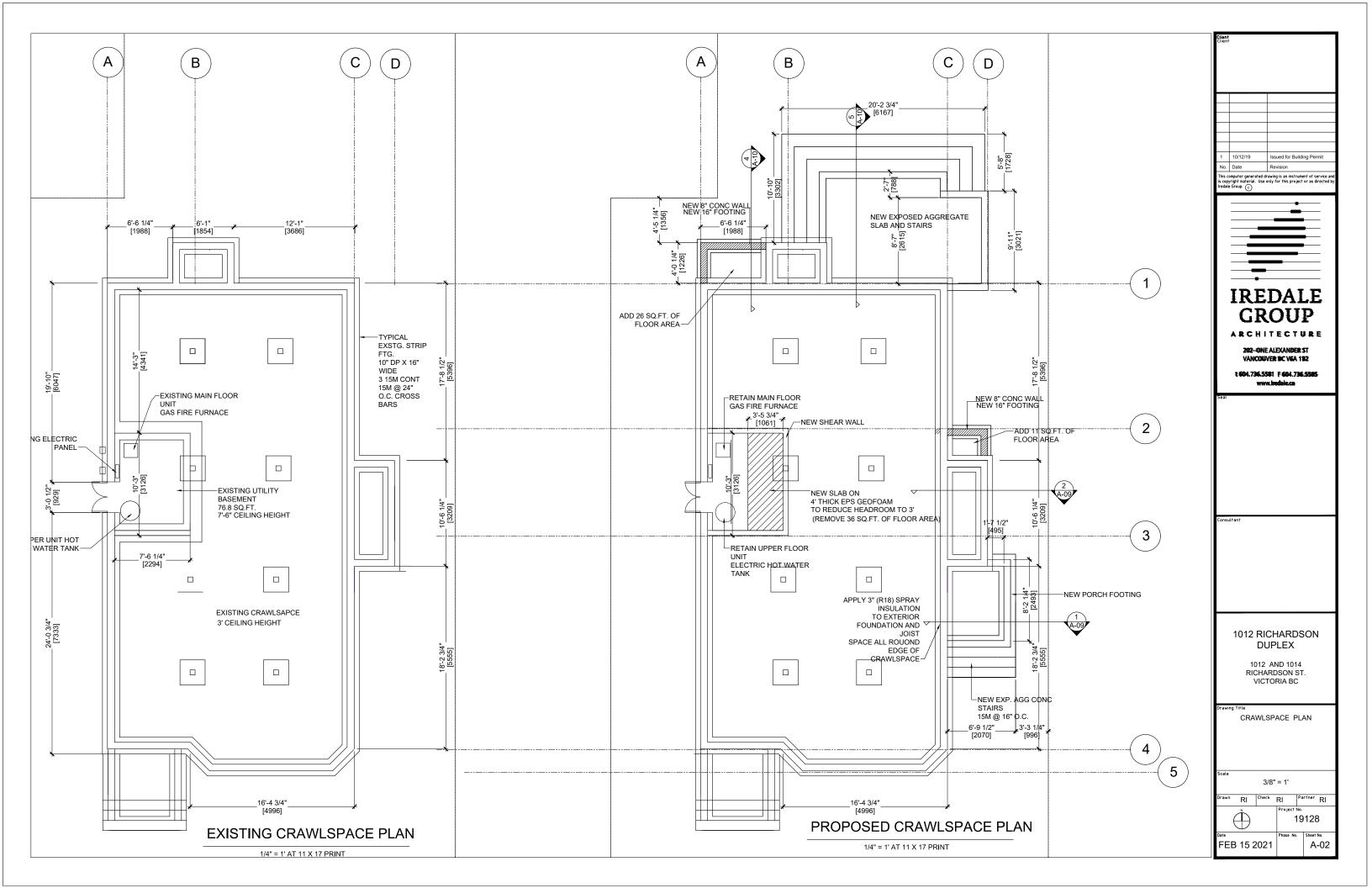
> > SITE

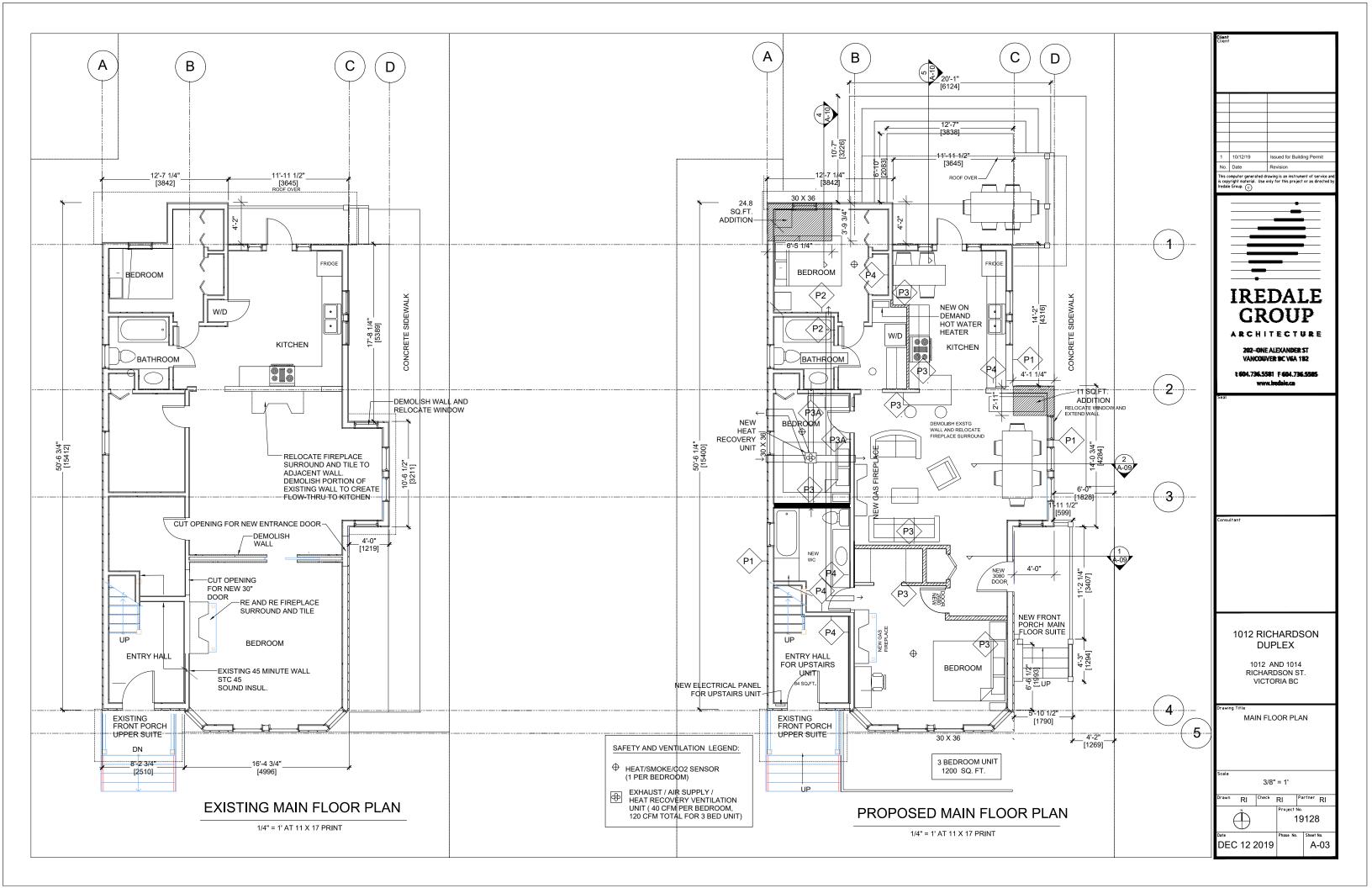
PLAN

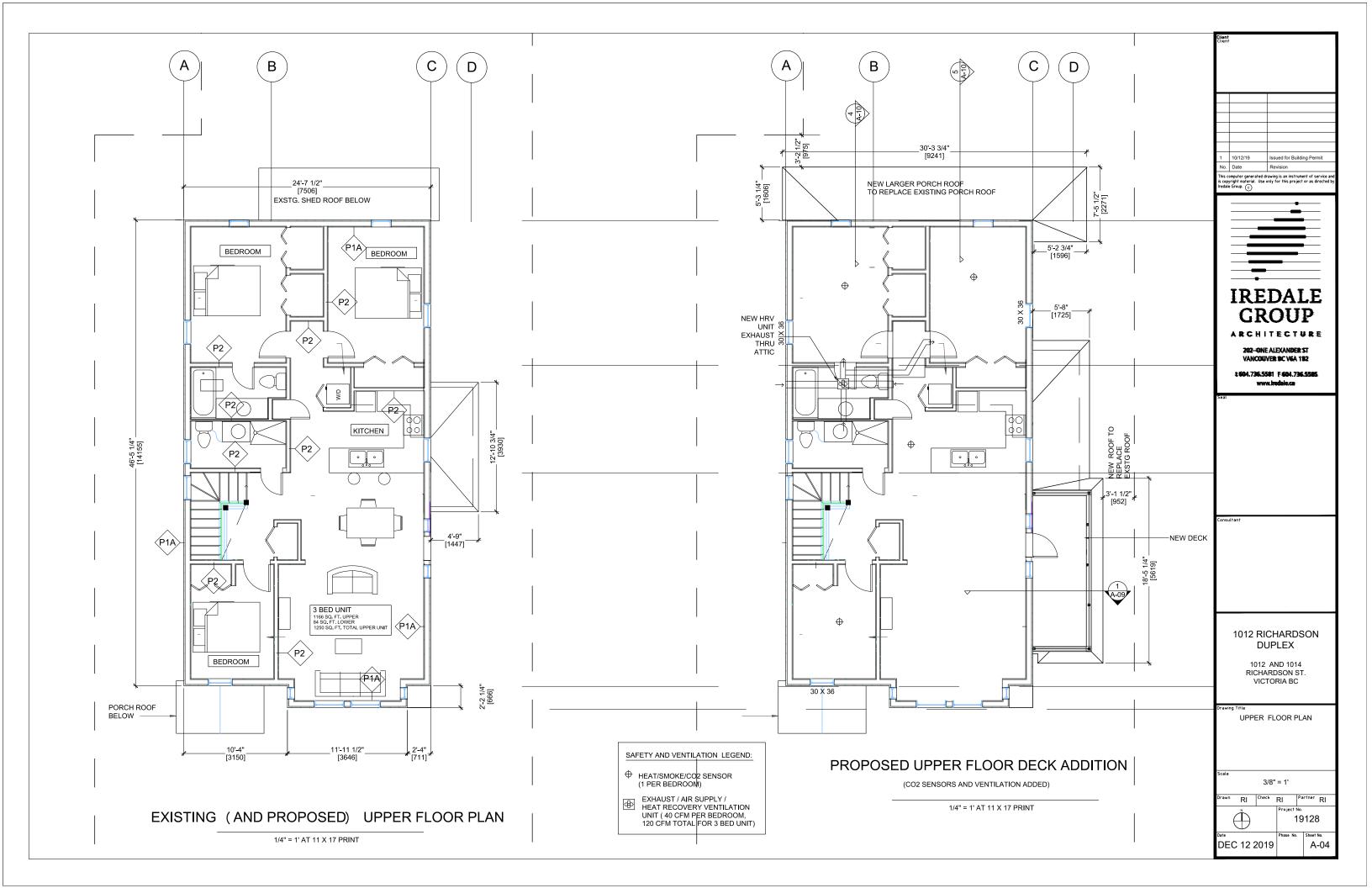
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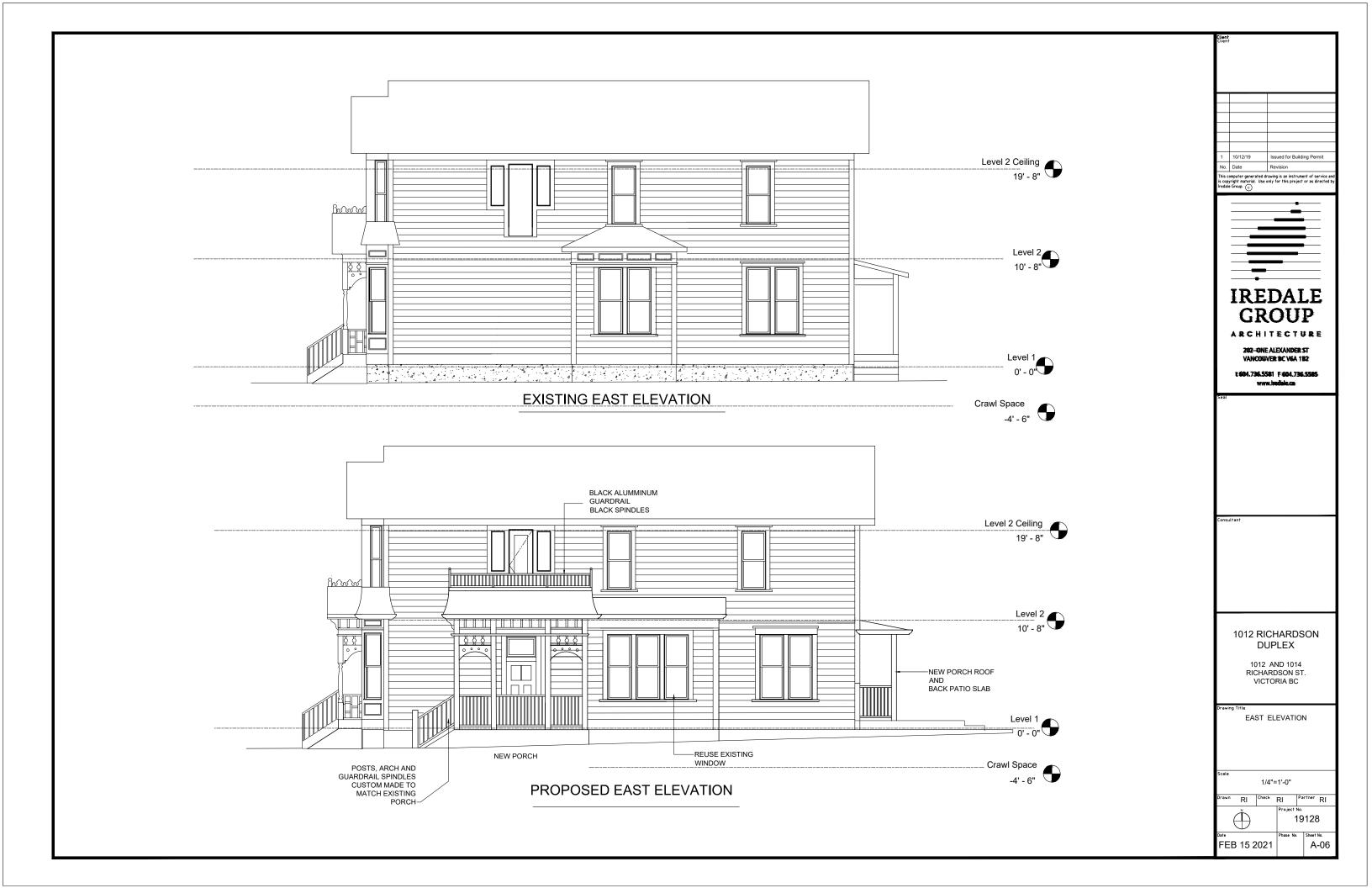
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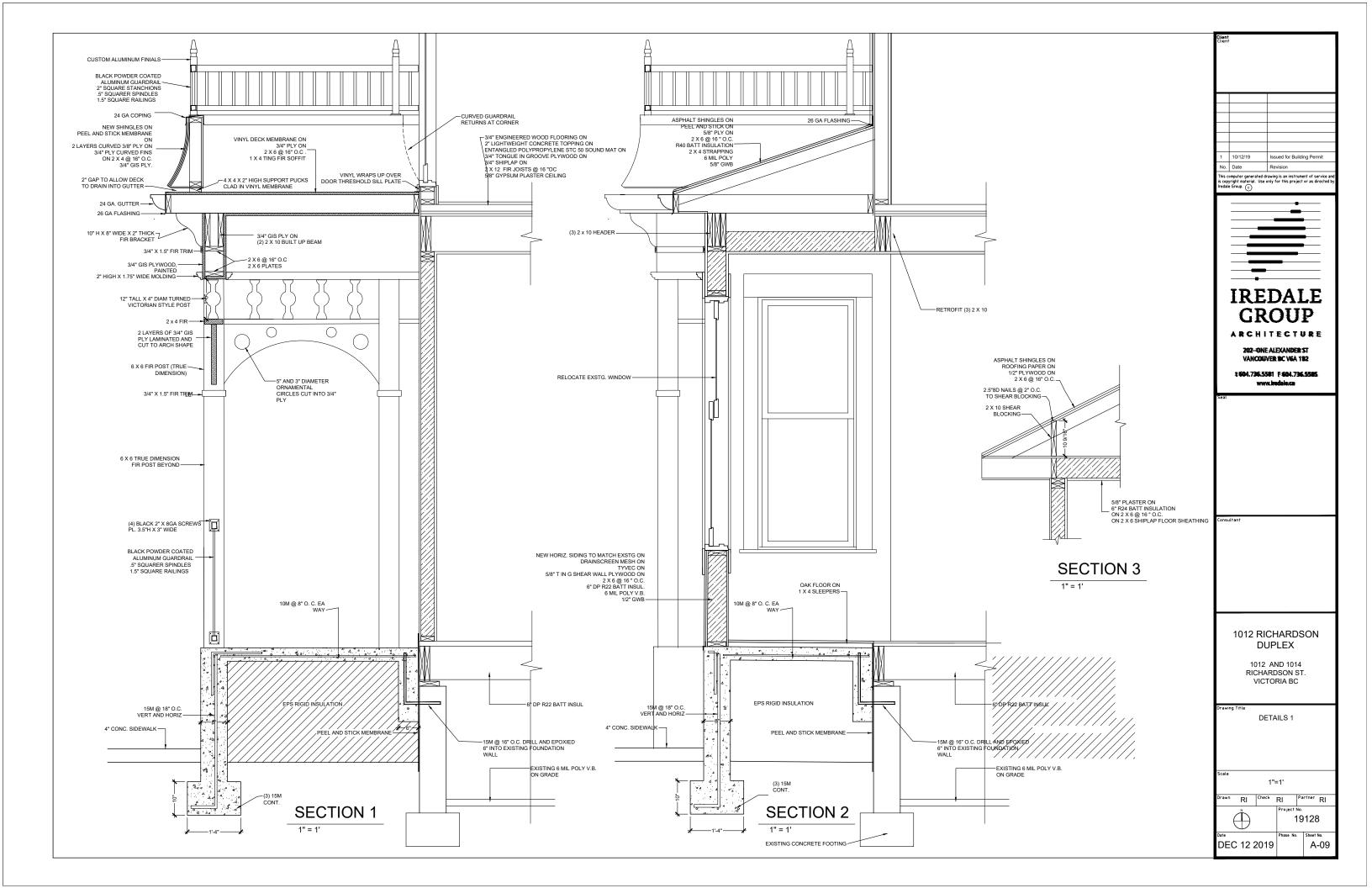


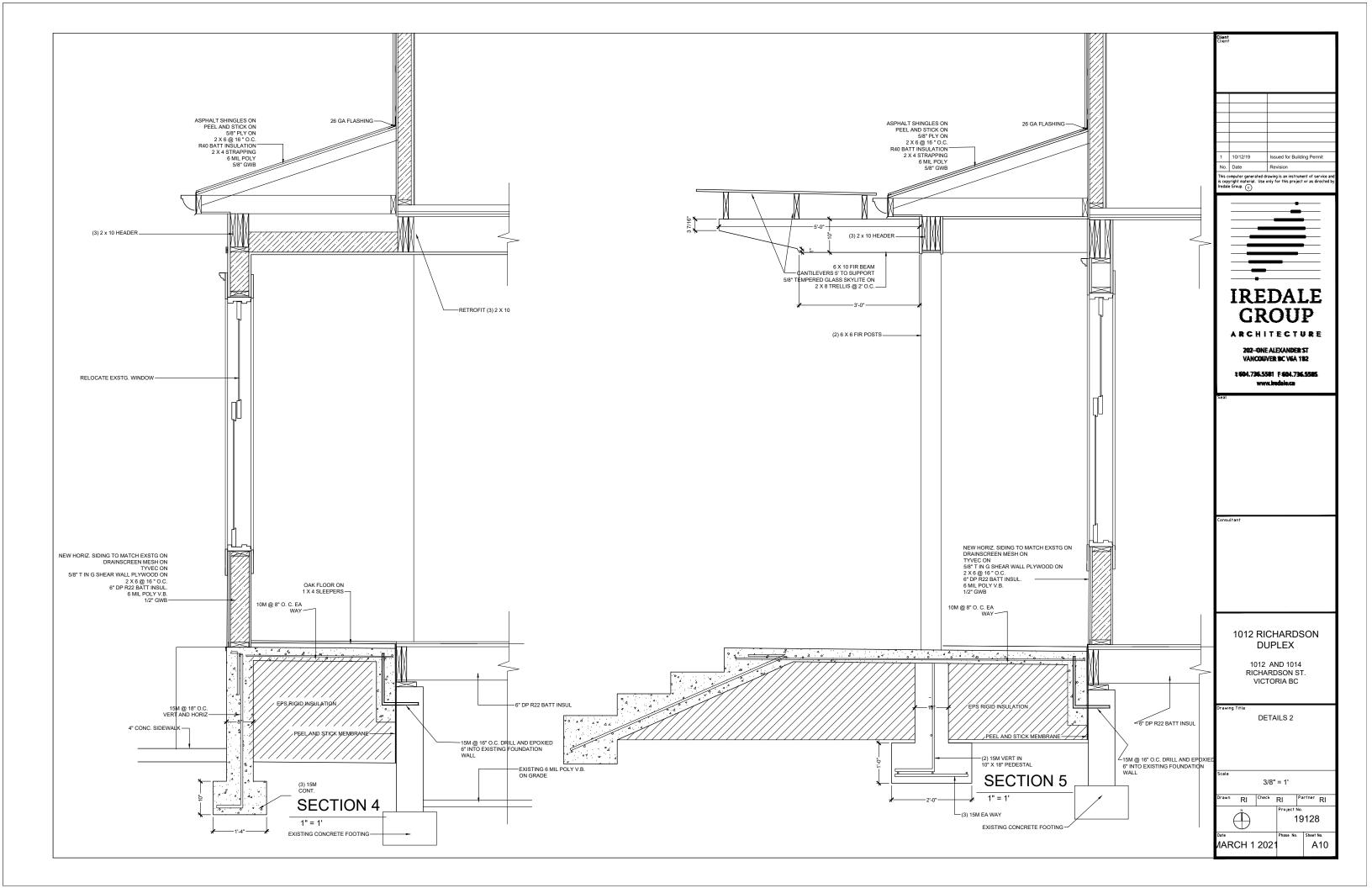












.nr	LIST OF AB		
ABBREV.	DESCRIPTION	ABBREV.	DESCRIPTION
A.B.	ANCHOR BOLT	LSL	LAMINATED STRAND LUMBER
ADJ.	ADJUSTABLE	L.S.V.	LONG SIDE VERTICAL
ALT.	ALTERNATE	LVL	LAMINATED VENEER
			LUMBER
ARCH.	ARCHITECTURAL	MAX.	MAXIMUM
B.C.E.	BOTTOM CHORD	MECH.	MECHANICAL
DI DO	EXTENSION	AMAI	AADAUAA DA
BLDG.	BUILDING	MIN.	MINIMUM
BM.	BEAM	M.S.R.	MACHINE STRESS-RATED
BOT.	воттом	MTL.	METAL
CANTIL.	CANTILEVER	N.I.C.	NOT IN CONTRACT
CI.P.	CAST IN PLACE	N.S.	NEAR SIDE
			NOT TO SCALE
C.J.	CONTROL JOINT CENTRELINE	N.T.S.	ON CENTRE
C.L.			
CLR.	CLEAR	O.C.	ON CENTRE
COL.	COLUMN	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	OP'G	OPENING
CONT.	CONTINUOUS	OPNG.	OPENING
C.P.	COMPLETE	OPP.	OPPOSITE
	PENETRATION	OSB	ODIENTED CTDAND
		OSB	ORIENTED STRAND BOARD
		OWSJ	OPEN WEB STEEL JOIST
C/W	COMPLETE WITH		
DET.	DETAIL	PL.	PLATE
D.FIR	DOUGLAS FIR	PLY	PLYWOOD
		PLT	FLTWOOD
DIAM.	DIAMETER	20.	B1B1115:
DL	DEAD LOAD	PSL	PARALLEL STRAND LUMBER
DP.	DEEP		LOWIDER
DWG.	DRAWING	R	RADIUS
	DOWEL		10.000
DWL.		RAD.	RADIUS
DWLS.	DOWELS	R.D.	ROOF DRAIN
EA.	EACH	REINF.	REINFORCED, REINFORCEMENT
FF	EACH END	REO'D	REQUIRED
E.F.	EACH FACE	REV	REVISION, REVISED
EL.	ELEVATION	R.O.	ROUGH OPENING
ELEV.	ELEVATION	RTN.	RETURN
ELEC.	ELECTRICAL	R/W	REINFORCED WITH
EQ.	EQUAL	SDF	STEP-DOWN FOOTING
E.S.	EACH SIDE	SDL	SUPERIMPOSED DEAD
E WAY	EACH WAY	ee.	LOAD
E.WAY	EACH WAY	SEL.	SELECT
E.W.	EACH WAY	SIM.	SIMILAR
		S.L.B.B.	SHORT LEGS BACK TO BACK
EXIST.	EXISTING	S.O.G.	SLAB ON GRADE
EXP.	EXPANSION	SPEC.	SPECIFICATION
EXT.	EXTERIOR	S-P-F	SPRUCE PINE FIR
		S.S.	
F.D.	FLOOR DRAIN		STAINLESS STEEL
FIN.	FINISH OR FINISHED	STAG.	STAGGERED
FLR.	FLOOR	STD.	STANDARD
		STIFF.	STIFFENER
		STIR.	STIRRUPS
ETC	FOOTING		
FTG.		STL.	STEEL
	GAUGE	STRUC.	STRUCTURAL
		STRUCT.	STRUCTURAL
G.L.	GRID LINE	SQ.	SQUARE
		S.W.	SHORT WAY
	GLULAM BEAM		
GLB	HEMLOCK FIR	SYM.	SYMMETRICAL
GLB			SYMMETRICAL
GLB HEM-FIR H	HEMLOCK FIR HORIZONTAL HORIZONTAL AND		TENSION AND
GLB HEM-FIR H	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL	SYM.	TENSION AND COMPRESSION
GLB HEM-FIR H	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL	SYM. T&C T&G	TENSION AND COMPRESSION TONGUE AND GROOVE
GLB HEM-FIR H H H & V	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL	T&C T&G T.J.	TENSION AND COMPRESSION
GLB HEM-FIR H H H & V	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL	SYM. T&C T&G	TENSION AND COMPRESSION TONGUE AND GROOVE
GLB HEM-FIR H H & V HORIZ	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY	T&C T&G T.J.	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST
GLB HEM-FIR H H & V HORIZ	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED	T&C T&G T.J. THK.	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST THICK
GLB HEM-FIR H H & V HORIZ HT. H.S.C.	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION	T&C T&G T.J. THK.	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST THICK
GLB HEM-FIR H H & V HORIZ HT. H.S.C.	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED	T&C T&G T.J. THK.	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST THICK
GLB HEM-FIR H H & V HORIZ HT. H.S.C.	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION HOLLOW	T&C T&G T.J. THK.	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST THICK
GLB HEM-FIR H H & V HORIZ, HT. H.S.C.	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION HOLLOW STRUCTURAL STEEL	T&C T&G T,J. THK. THRU	TENSION AND COMPRESSION TONGUE AND GROOVE TIEJOIST THICK THROUGH
GLB HEM-FIR H H H & V HORIZ HT. HS.C. HSS	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL CONNECTION HOLLOW STRUCTURAL STEEL INTERIOR	T&C T&G TJ. THK. THRU	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST THICK THROUGH
GLB HEM-FIR H H H & V HORIZ HT. HS.C. HSS	HEMLOCK FIR HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION HONLEON STRUCTURAL STEEL INTERIOR JOINT ANGLE	T&C T&G TJ. THK. THRU T.O.C. T.O.S. TYP.	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST THICK THROUGH TOP OF CONCRETE TOP OF SLAB TYPICAL
GLB HEM-FIR H H & V HORIZ, HT. HS.C. HSS	HEMLOCK FIR HORIZONTAL HORIZONTAL AND VERTICAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION STRUCTURAL STEEL INTERIOR JOINT	SYM. T & C T & G T.J. THK. THRU	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST THICK THROUGH TOP OF CONCRETE TOP OF SLAB
GLB HEM-FIR H H H & V HORIZ HT. HS.C. HSS	HEMLOCK FIR HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION HONLEON STRUCTURAL STEEL INTERIOR JOINT ANGLE	T&C T&G TJ. THK. THRU T.O.C. T.O.S. TYP.	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST THICK THROUGH TOP OF CONCRETE TOP OF SLAB TYPICAL UNLESS NOTED
GLB HEM-FIR H H & V HORIZ, HT. H.S.C. HSS INT. JT. L LG.	HEMLOCK FIR HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION STRUCTURAL STEEL INTERIOR JOINT ANGLE LONG	SYM. T & C T & G T J, THK. THRU T.O.C. T.O.S. TYP. U.N.O.	TENSION AND COMPRESSION TONSUE AND GROOVE TIE JOIST THICK THROUGH TOP OF CONCRETE TOP OF SLAB TYPICAL UNLESS NOTED OTHERWISE
GLB HEM-FIR H H & V HORIZ, HT. H.S.C. HSS INT. JT. L LG. LL LL LLB.B.	HEMLOCK FIR HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION HOLIZONTALLY SLOTTED CONNECTION TONLOW STRUCTURAL STEEL INTERIOR JOINT ANGLE LONG LIVE LOAD LONG LEGS BACK TO BACK	SYM. T & C T & G T.J. THK. THRU T.O.C. T.O.S. TYP. U.N.O.	TENSION AND COMPRESSION TONGUE AND GROOVE TIE JOIST THICK THROUGH TOP OF CONCRETE TOP OF SLAB TYPICAL UNLESS NOTED OTHERWISE UNDERSIDE VERTICAL
GLB HEM-FIR H H & V HORIZ, HT. H.S.C. HSS INT. JT. L LG.	HEMLOCK FIR HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION STRUCTURAL STEEL INTERIOR JOINT ANGLE LONG LONG LEGS BACK TO BACK LONG LEG	T & C T & G T.J. THK. THRU T.O.C. T.O.S. TYP. U.N.O.	TENSION AND COMPRESSION TONSUE AND GROOVE TIE JOIST THICK THROUGH TOP OF CONCRETE TOP OF SLAB TYPICAL UNLESS NOTED UNLESS NOTED UNLESS NOTED UNDERSIDE
GLB HEM-FIR H H & V HORIZ, HT. H.S.C. HSS INT. JT. L LG. LLL.B.B.	HEMLOCK FIR HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION HORIZONTALLY SIOTTED CONNECTION TONNECTION JOINT ANGLE LONG LIVE LOAD LONG LEGS BACK TO BACK LONG LEG HORIZONTAL	SYM. T & C T & G T J. THK. THRU T.O.C. T.O.S. TYP. U.N.O. U/S V VERT.	TENSION AND COMPRESSION TONSUE AND GROOVE TIE JOIST THICK THROUGH TOP OF CONCRETE TOP OF SLAB TYPICAL UNLESS NOTED OTHERWISE UNDERSIDE VERTICAL VERTICAL
GLB HEM-FIR H H & V HORIZ, HT. H.S.C. HSS INT. JT. L LG. LLL LLLB,B. L.LLB,LLL,H. LLLV.	HEMLOCK FIR HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION HOLLOW STRUCTURAL STEEL JOINT ANGLE LONG LIVE LOAD LONG LEGS BACK TO BACK LONG LEG HORIZONTAL LONG LEG L	SYM. T & C T & G T & G T & J THK. THRU T.O.C. T.O.S. TYP. U.N.O. US V VERT.	TENSION AND COMPRESSION TONSUE AND GROOVE TIE JOIST THICK THROUGH TOP OF CONCRETE TOP OF SLAB TYPICAL UNLESS NOTED OTHERWISE UNDERSDIE VERTICAL WITH
GLB HEM-FIR H H & V HORIZ, HT. H.S.C. HSS INT. JT. L LG. LLL.B.B.	HEMLOCK FIR HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HORIZONTAL HEIGHT HORIZONTALLY SLOTTED CONNECTION HORIZONTALLY SIOTTED CONNECTION TONNECTION JOINT ANGLE LONG LIVE LOAD LONG LEGS BACK TO BACK LONG LEG HORIZONTAL	SYM. T & C T & G T J. THK. THRU T.O.C. T.O.S. TYP. U.N.O. U/S V VERT.	TENSION AND COMPRESSION TONSUE AND GROOVE TIE JOIST THICK THROUGH TOP OF CONCRETE TOP OF SLAB TYPICAL UNLESS NOTED OTHERWISE UNDERSIDE VERTICAL VERTICAL

GENERAL

READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS AND DOCUMENTS. REPORT CONFLICTS TO THE ARCHITECT BEFORE COMMENCING WORK.

VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT DISCREPENCIES TO THE ARCHITECT.

ALL FORMWORK, SHORING, TEMPORARY SUPPORT, AND BRACING OF THE STRUCTURE DURING CONSTRUCTION (IF REQUIRED) IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE DESIGNED AND INSPECTED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF BC IN ACCORDANCE WITH W.C.B. REGULATIONS.

ALL STRUCTURAL ITEMS MUST BE INSPECTED BY THE STRUCTURAL ENGINEER OR BY ANOTHER SUITABLE QUALIFIED PERSON RESPONSIBLE TO THE STRUCTURAL ENGINEER.

IN GENERAL, NOTIFY THE ENGINEER AT LEAST 2 DAYS IN ADVANCE FOR A STRUCTURAL INSPECTION. EXCAVATIONS MUST BE INSPECTED BEFORE FORMING COMMENCES. REINFORCING STEEL AND POUR CONDITIONS MUST BE INSPECTED BEFORE EACH CONCRETE POUR. WOOD FRAMING, LUMBER AND GLULAM BEAMS, PLYWOOD SHEAR WALLS, AND PLYWOOD ROOF AND ELOOR DIAPHRAGMS MUST BE INSPECTED BEFORE BEING COVERED WITH SHEATHING, ROOFED OVER, OR CONCEALED WITH CAM'S STRIPS.

LOADS ASSUMED IN DESIGN

LOADS AS PER 2012 BCBC PART 9 AND 2010 NBC SUPPLEMENT:

SUPERIMPOSED DEAD LOADS:

MAIN FLOOR

SUPERIMPOSED DEAD LOADS ARE NON-STRUCTURAL DEAD LOADS DUE TO ARCHITECTURAL TOPPINGS, FINISHES, PARTITIONS, ETC.

ELOOR (DAYCARE) = 3.5 kPa (73.10 PSE)

SNOW LOAD:

+ ADDITIONAL BUILT-UP SNOW LOADS PER BCBC & NBC

WIND LOAD:

q = 0.75 kPa (15 PSF) FOR 1/10 q = 1.0 kPa (20 PSF) FOR 1/30

SEISMIC

Sa(0.2)=0.88 Sa(0.5)=0.62 Sa(1.0)=0.33 Sa(2.0)=0.17

SITE CLASS D Vb = 0.6W

SOIL BEARING CONDITIONS

SOIL BEARING CAPACITY ASSUMED 400kPa 8KSF @ 8'-0" BELOW GRADE

USE PILES AS SHOWN ON DRAWINGS

PREPARE SITE FOR FOUNDATIONS AS RECOMMENDED IN GEOTECHNIREPORT JOB#10-100 BY GVH CONSULTING LTD. DATED DECEMBER 24, 2010 AND REVISED JULY 11, 2011.

REFER TO THE GEOTECHNICAL REPORT FOR DETAILS REGARDING

AFTER EXCAVATION AND BEFORE CONSTRUCTING FOUNDATIONS, HAVE THE GEOTECHNICAL ENGINEER THAT PREPARED THE ABOVE REPORT OR ANOTHER QUALIFIED PERSON RESPONSIBLE TO THE GEOTECHNICAL ENGINEER INSPECT AND CONFIRM THE DESIGN SOIL BEARING PRESSURE AND STABLITY OF THE FOUNDATION BEARING SOILS.

PLACE AND COMPACT BACKFILL ONLY AFTER COMPLETION OF FRAMING OF THE MAIN FLOOR,

CONCRETE

CONCRETE DESIGN SHALL CONFORM TO THE REQUIREMENTS OF CSA CONCRETE LESSING PARALE CONFORM IN 11 THE RESTRICTURES."

ALL MATERIALS AND METHODS OF PLACING SHALL IT CONFORM TO THE REQUIREMENTS OF CSA STANDARDS A23-1-04 "CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION" ADD A23-2-04 "METHODS OF CONCRETE CONSTRUCTION" CONCRETE MATERIALS AND METHODS OF CONCRETE CONSTRUCTION CONCRETE.

PRODUCTS

EODWWORK.

FORM MATERIALS TO BE OF SUFFICIENT STRENGTH TO WITHSTAND PRESSURE FROM CONCRETE WITHOUT BOW OR DEFLECTION. FOR EXPOSED CONCRETE SURFACES PROVIDE SUITABLE FAMEL-TYPE MATERIAL TO OBTAIN CONTINUOUS, STRAIGHT, SMOOTH EXPOSED SUFFACES, SREASE FORMS WITH TWO CONTS OF CLEAN OLD PRIOR TO PLOCING CONCRETE. PROVIDE IT WITH (1/27) ASPHALT IMPRESONATED FIBRE BOARD AT ALL JOINTS ABUTTING VERTICAL CONCRETE.

USE PORTLAND CEMENT TO ASTM C150, TYPE 1.

MINIMUM 28-DAY CONCRETE STRENGTHS TO BE AS FOLLOWS:

F'c = 15 MPa FOR SKIM COATS F'c = 20 MPa FOR FOOTINGS c = 20 MPa FOR SLABS ON GRADE

F'c = 25 MPa FOR WALLS/BEAMS/SUSPENDED SLABS

WATER TO BE POTABLE, AIR-ENTRAIN BETWEEN 4.5% AND 7% ENTRAINED AIR FOR CONCRETE EXPOSED TO WEATHER. USE 2% TO 4% FOR OTHER CONCRETE. EIY. VASH (TO ASTM CSH8, TYPE F) TO NOT EXCEED 25% OF CEMENT CONTENT BY WEIGHT. SLUMP FOR CONCRETE FOOTINGS, WALLS, AND PIERS: 150 mm (6"). SLUMP FOR SLABS-ON-GRADE: LESS THAN 100 mm (<4").

PROVIDE A POLISHED STEEL TROWEL FINISH TO CONCRETE FLOOR.

ALL CONCRETE POURS TO INCLUDE 3 TEST CYLINDERS BROKEN AT 7 AND 28 DAYS. TEST RESULTS TO BE FORWARDED TO THE STRUCTURAL ENGINEER. TESTING TO BE DONE BY A RECOGNIZED TESTING LAB AT THE CONTRACTOR'S EXPENSE.

REINFORCING TO BE DEFORMED BARS HAVING A YIELD STRENGTH OF 400 MPa. STIRRUPS AND TES MAY HAVE A YIELD STRENGTH OF 300 MPa. DETAIL AND BEND BARS ACCORDING TO CANCOSA - A23.1 LATEST EDITION, FOR REFERENCE, LENGTHS OF TENSION AND COMPRESSION LAP SPLICES ARE GIVEN IN THE TABLES BELOW:

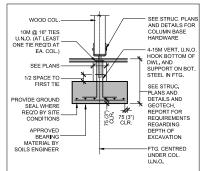
CLASS B - CASE 1 TENSION LAP		COMPRESSION	
SPLICES		LAP SPLICES	
BAR	LENGTH	BAR	LENGTH
10M	450 mm (1'-6")	10M	300 mm (1'-0")
15M	600 mm (2'-0")	15M	450 mm (1'-6")
20M	700 mm (2'-4")	20M	600 mm (2'-0")
25M	1200 mm (4'-0")	25M	750 mm (2'-6")

USE CLASS B - CASE 1 TENSION LAP SPLICES UNLESS NOTED OTHERWISE. COMPRESSION LAP SPLICES MAY BE USED ONLY WHERE EXPLICITLY NOTED ON PLANS OR DETAILS.

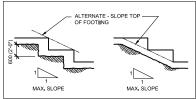
CONCRETE COVER OF REINFORCING TO BE 75 mm (3") WHERE POURED

EPOXY ANCHORS:

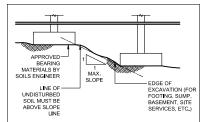
EPOXY ANCHORS INTO CONCRETE TO BE GALVANIZED THREADED STEEL RODS CONFORMING TO ASTM STANDARD A307 WITH A YIELD STRENGTH OF 400 MPs, ANCHORED TO BASE MATERIAL WITH HILTI HIT HYSO ADHESIVE OR APPROVED EQUIVALENT. SEE PLANS AND SECTIONS FOR ANCHOR LOCATIONS, SIZES, AND EMBEDMENT DEFTHS.



TYPICAL STEPPED WALL FOOTINGS

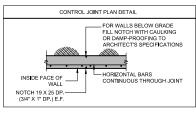


TYPICAL FOOTING ADJACENT TO EXCAVATION

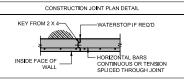


WALL CONTROL JOINT

FOR EXTERIOR WALLS BELOW GRADE AND EXTERIOR WALLS EXPOSED TO WEATHER ABOVE GRADE, PROVIDE CONTROL JOINTS AT 6100 (20-0") O.C. MAX. U.N.O. ON PLAN.



WALL CONSTRUCTION JOINT (CONSTRUCTION JOINT CAN REPLACE CONTROL JOINT)



WALL NOTES

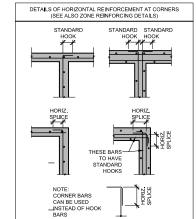
1. UNLESS OTHERWISE NOTED, WALLS SHALL BE REINFORCED AS

WALL REINFORCEMENT				
WALL	VERTICAL	HORIZONTAL		
150 (6")	10M @ 460 (18") VERT.	10M @ 330 (13") HORIZ.		
200 (8")	10M @ 330 (13") VERT.	10M @ 250 (10") HORIZ. OR 15M @ 510 (20")		
250 (10")	10M @ 250 (10") VERT.	10M @ 200 (8") HORIZ. OR 15M @ 380 (15")		
250 (10")	15M @ 510 (20") VERT.	10M @ 200 (8") HORIZ. OR 15M @ 380 (15")		
300 (12")	10M @ 460(18") VERT. E.F. STAG.	10M @ 330 (13") HORIZ. E.F. STAG.		
330 (13")	10M @ 380(15") VERT. E.F. STAG.	10M @ 280 (11") HORIZ. E.F. STAG.		

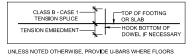
FOR OTHER THICKNESSES, REINFORCEMENT TO BE PROPORTIONAL TO ABOVE.

15M @ 510 (20") MAY BE SUBSTITUTED FOR 10M @ 380 (13") WITH THE APPROVAL OF IREDALE GROUP. FOR WALLS WITH A SINGLE LAYER OF STEEL, THE WALL REINFOROMS SHALL BE PLACED IN THE CENTRE OF THE WALL UNLESS NOTEO OTHERWISS.

- ALL WALL REINFORCING SHALL BE CONTINUOUS, WITH HOOKS OR CORNER BARS USED AT ALL WALL JUNCTIONS, EXTEND HOOKS TO FAR FACE OF WALL. CORNER BARS TO BE LOCATED ON OUTSIDE FACE OR CENTRE OF WALL.
- HORIZONTAL AND VERTICAL SPLICES SHALL BE CLASS B CASE 1 TENSION SPLICES, UNLESS NOTED OTHERWISE, HORIZONTAL BARS NEED NOT BE CONSIDERED TOP BARS.



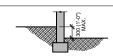
- ENDS OF ALL WALLS SHALL HAVE 2-15M VERTICALS LAPPED 635 mm (25") UNLESS OTHERWISE NOTED ON DRAWINGS.
- ADD 2-15M PARALLEL TO ALL EDGES AND EXTENDING 635mm (25") ADD 2-15M PARALLEL TO ALL EDGES AND EXTENDING 635MM (25)
 BEYOND CORNERS AT OPENINGS IN WALLS. WHERE OPENING
 WIDTH IS EQUAL TO OR GREATER THAN 760 mm (2'-6"), ADD 15M X
 915 mm (3'-0") LG. DIAGONAL BARS AT CORNERS.
- 6. UNLESS NOTED OTHERWISE, PROVIDE DOWELS AT BOTTOM OF WALLS (I.E. AT FOOTINGS OR WHEREVER WALL BEGINS) AS SHOWN BELOW. DOWELS TO MATCH VERTICAL STEEL.



- UNLESS NOTED OTHERWISE, PROVIDE U-BARS WHERE FLOORS ARE SUPPORTED FROM THE BOTTOM OF WALLS.
- 8 SEE ARCHITECTURAL DRAWINGS FOR EXTENT AND LOCATION OF SEE ARCHITECTURAL DRAWINGS FOR EXTENT AND LOCATION OF CONCRETE UPSTAND WALLS, PLANTER WALLS, AND CURBS. UNLESS NOTED OTHERWISE, PROVIDE REINFORCING AS GIVEN IN ITEM 1. VERTICAL BARS TO BE EMBEDDED IN MAIN STRUCTURE AS BURDING BE OM.

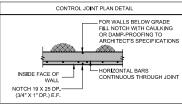


- 9. UNLESS NOTED OTHERWISE ALL RETAINING WALLS BELOW GRADE UNLESS AND THE OTHERWISE ALL POSED TO THE WEATHER ABOVE AND ALL EXPENSE THE OTHER ABOVE GRADE THE SHALL HAVE CONTROL JOHN'S. CONTROL THE SHALL HAVE CONTROL JOHN'S CONTROL THE CONTROL THE SHALL HAVE CONTROL JOHN'S THE PROTECTION OF THE OTHER CONTROL JOHN'S IN EXPOSED CONCRETE WALLS SHALL BY SHALL HAVE CONTROL JOHN'S IN EXPITED TO THE WALLS SHALL HAVE CONTROL JOHN'S IN EXPITED TO THE WALLS SHALL HAVE CONTROL JOHN'S IN EXPITED TO THE WALLS SHALL HAVE THE WALL HAV
- UNLESS NOTED OTHERWISE, AT NO POINT DURING CONSTRUCTION

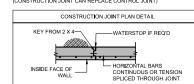


DO NOT PLACE BACKELL AGAINST CONCRETE FOUNDATION WALLS. DO NOT PLACE BACKFILL AGAINST CONCRETE FOUNDATION WALLS UNTIL WALLS ARE AT LEAST 14 DAYS OLD MIN, OR UNTIL GROUND FLOOR SYSTEM OR TEMPORARY BRACING IS INSTALLED TO ADEQUATELY SUPPORT THE WALLS.

FOR EXTERIOR WALLS BELOW GRADE AND EXTERIOR WALLS EXPOSED TO WEATHER ABOVE GRADE, PROVIDE CONTROL JOINTS AT 6100 (20'-0") O.C. MAX. U.N.O. ON PLAN.



WALL CONSTRUCTION JOINT (CONSTRUCTION JOINT CAN REPLACE CONTROL JOINT)



WOOD FRAMING

WOOD DESIGN SHALL CONFORM TO CAN/CSA-086-01 "ENGINEERING DESIGN IN WOOD."

LUMBER SHALL CONFORM TO CAN/CSA-0141-05 "SOFTWOOD LUMBER" THE NLGA STANDARD GRADING RULES FOR CANADIAN LUMBER, AND SHALL HAVE A MAXIMUM 15% MOISTURE CONTENT AT TIME OF INSTALLATION.

SIZES: ALL MEMBER DESIGNATIONS SHOWN ON PLANS ARE NOMINAL DIMENSIONS EXCEPT WHERE NOTED "FULL SIZE", IN WHICH CASE THE MEMBER DESIGNATION DENOTES THE TRUE SIZE OF THE MEMBER

LUMBER GRADE: HEM/FIR No. 2 OR BETTER UNLESS NOTED OTHERWISE

PLYWOOD: D.FIR-L SHEATHING GRADE TO CSA 0121-M1978 AND CAN/CSA-0325.0-92; EXTERIOR GRADE FOR WALLS AND ROOF.

NAILS: 65mm (2 1/4") COMMON 8d NAILS UNLESS NOTED OTHERWISE. CONFORM TO CSA B111-1974 "WIRE NAILS, SPIKES AND STAPLES". THIN GAUGE NAILING GUN STAPLES OR NAILS ARE NOT ACCEPTABLE.

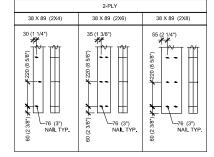
BOLTS: ASTM A307 UNLESS NOTED OTHERWISE.

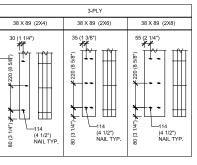
USE ONLY STAINLESS STEEL FASTENERS WITH ACQ. PRESSURE

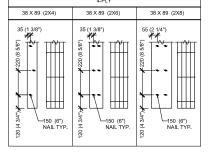
REFER TO TYPICAL WOOD FLOOR, ROOF, AND WALL DETAILS FOR TYPICAL FRAMING CONDITIONS.

BUILTAID COLUMNS

FASTEN TOGETHER INDIVIDUAL LAMINATIONS OF BUILT-UP COLUMNS AS SHOWN IN THE DIAGRAM BELOW. NAILING MAY BE OMITTED WHERE THE BUILT-UP COLUMN IS INCOPORATED INTO A STUD WALL AND SHEATHING IS ADEQUATELY NAILED TO EACH MEMBER.







Issued for Building Permit Date Revision

GROUP ARCHITECTURE 202-ONE ALEXANDER ST VANCOUVER BC VSA 182

1604,736,5581 F604,736,5585 www.iredale.ca

1012 RICHARDSON DUPLEX

1012 AND 1014 RICHARDSON ST. VICTORIA BC

STRUCTURAL NOTES

heck RI RI 19128

MARCH 2021

S-00

WOOD FRAMING (CONTINUED)

GLUE-LAMINATED TIMBER

MANUFACTURE GLULAM MEMBERS IN ACCORDANCE WITH CAN/CSA-0122-89

MANUFACTURERS TO BE QUALIFIED ACCORDING TO CAN/CSA-0177-M89.

GLULAM PRODUCTS: BEAMS: 24f-E STRESS GRADE, COMMERCIAL APPEARANCE GRADE FOR

INTERIOR/EXTERIOR SERVICE.
GLUE: WATER PROOF SUCH AS RESORCINOL OR PHENOL-RESORCINOL.

SUBMIT SHOP DRAWINGS TO ENGINEER AND RECEIVE REVIEWED SHOP DRAWINGS PRIOR TO ANY FABRICATION. SHOP DRAWINGS SHALL SHOW ALL MATERIAL, SIZES, CAMBER, LIFT POINTS, AND CONNECTIONS.

UNLESS NOTED OTHERWISE, CAMBER ROOF BEAMS 4 mm PER 1000 mm (1/4" PER 5'-0") OF SPAN.

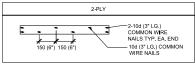
PROTECT GLUI AM MEMBERS FROM WEATHER

ALL GLULAM-TO-GLULAM AND GLULAM-TO-OTHER-WOOD-FRAME COMPONENT CONNECTIONS NOT SPECIFICALLY DETAILED SHALL BE SIMILAR TO THOSE SHOWN.

DO NOT NOTCH, CUT, OR DRILL HOLES IN GLULAM MEMBERS WITHOUT PERMISSION OF THE ENGINEER.

BUILT-UP BEAMS

UNLESS NOTED OTHERWISE, FASTEN TOGETHER INDIVIDUAL LAMINATIONS OF BUILT-UP SAWN LUMBER BEAMS AS SHOWN IN THE DIAGRAMS BELOW.

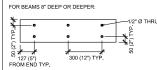


3-PLY

PROVIDE THE SAME NAILING PATTERN SHOWN FOR 2-PLY BEAMS PROVIDE THE SAME NALLING PATTERN SHOWN FOR 2-PLT BEAMS TO THE OUTSIDE MEMBER ON EACH SIDE. OFFSET THE STAGGERED ROWS SO THAT THEY DO NOT OCCUR IN THE SAME LOCATION.

FOR BEAMS LESS THAN 8" DEEP:

1/2" Ø THRU-BOLTS



TYPICAL WOOD FLOOR AND ROOF FRAMING

EXCEPT AS SHOWN OTHERWISE ON PLANS AND SECTIONS, FLOOR AND ROOF FRAMING DETAILS TO BE AS FOLLOWS.

USE LONG LENGTHS, SPLICE LAP MIN. 1800 (6'-0") AND FASTEN WITH PAIRS OF 82 mm (3 1/4") NAILS @ 150 (6") U.N.O.

AS SHOWN ON DRAWINGS WITH FULL DEPTH BLOCKING OR CONTINUOUS JOIST OVER SHEAR WALLS. SUPPLY FRAMING ANCHORS WHERE SHOWN ON DRAWINGS. FLOOR SHEATHING ** TONGUE AND GROOVE PLYWOOD PANELS PLACED FACE GRAIN
PERPENDICULAR TO JOISTS WITH STAGGERED SHEETS. GLUE AND NAIL
PLYWOOD.

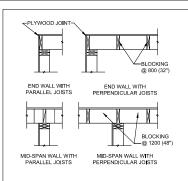
ROOF SHEATHING ROOF SHEATHING:

"Y TONIQUE AND GROOVE PLYWOOD PLACED FACE GRAIN
PERPENDICULAR TO JOISTS WITH STAGGERED SHEETS, NAIL PLYWOOD

"00 (4") ON ALL PANLE LOGGES, AT ROOF PERIMETER, AND TO JOISTS
OR BLOCKING OVER SHEAR WALLS. AT INTERMEDIATE SUPPORTS NAIL

"50 (6") JO., ANILS TO PERFETATE 1 1(2") TITO FRAMING BELOW TAG

DECKING AT DECKING SUPPORT LOCATIONS. BLOCK ALL PLYWOOD



TYPICAL WOOD WALL FRAMING

EXCEPT AS SHOWN OTHERWISE ON PLANS AND SECTIONS, WALL FRAMING DETAILS TO BE AS FOLLOWS:

38 X 140 @ 400 (2 X 6 @ 16") STUDS TYP, FOR ALL EXTERIOR AND LOAD-BEARING INTERIOR WALLS, PROVIDE BLOCKING @ 1200 (48") O.C. TYP.

FOR OPENINGS UP TO 1200 (4'-0") WIDE, PROVIDE MIN. 2 - 38 X 235 (2 - 2 X 10) BUILT-UP LINTEL WITH 1 - 38 X 140 (2 X 6) CRIPPLE AND 1 - 38 X 140 (2 X 6) FULL-LENGTH STUD EACH SIDE.

FOR OPENINGS 1200 (4"-0") TO 2400 (8"-0") WIDE, PROVIDE MIN. 3 - 38 X 235 (3 - 2 X 10) BUILT-UP LINTEL WITH 38 X 140 (2 X 6) CRIPPLE AND 2 - 38 X 140 (2 - 2 X 6) FULL-LENGTH STUDS EACH

TOP DOUBLE PLATES ARE TO BE CONTINUOUS OVER ALL

SEE PLANS AND DETAILS FOR WALL ANCHOR BOLT SIZES AND

WALL SHEATHING:

FOR EXTERIOR WALLS, USE 13 mm (1/2") PLYWOOD PLACED FACE GRAIN PERPENDICULAR TO STUDS WITH STAGGERED SHEETS TYP. FASTEN PLYWOOD TO FRAMING WITH MALE @ 100 mm (4") O.C. ON ALL PANEL EDGES, TO ROOF JOISTS OR SILL PLATE, AND AROUND ALL OPENINGS. AT INTERMEDIATE SUPPORTS NAIL @ 300 (1"-0") O.C.

SEE PLANS FOR SHEAR WALL LOCATIONS AND DETAILS, INCLUDING SHEATHING, FASTENING, BLOCKING, AND HOLD-DOWN HARDWARE.

ENGINEERED WOOD JOISTS AND WOOD TRUSSES

DESIGN AND MANUFACTURE ENGINEERED JOISTS AND TRUSSES IN ACCORDANCE WITH 2012 BC BUILDING CODE AND CANCSA-086,1-94 TO SUPPORT LOADS AND TO MEET THE DETAILS, DIMENSIONS, AND CAMBER SHOWN ON THE DRAWINGS.

DESIGN AND MANUFACTURE OF METAL-SIDE-PLATE-CONNECTED WOOD TRUSSES SHALL CONFORM TO THE RECOMMENDATIONS OF THE TRUSS PLATE INSTITUTE OF CANADA PUBLICATION TPIC-1988.

TRUSS MANUFACTURERS FOR METAL-SIDE-PLATE-CONNECTED WOOD TRUSSES SHALL BE MEMBERS OF THE WESTERN WOOD TRUSS ASSOCIATION OF BRITISH COLUMBIA WHO ARE REGULARILY QUALITY-AUDITED BY AN INDEPENDENT AGENCY. OTHER MANUFACTURERS MAY BE ACCEPTABLE TO THE ENDINEER IF THEY CAN DEMONSTRATE SIMILAR QUALIFICATIONS AND QUALITY CONTROL PROCEDURES.

SUBMIT SHOP DRAWINGS TO ENGINEER AND RECEIVE REVIEWED SHOP SUBMIT SHOP DRAWINGS TO ENGINEER AND RECEIVE REVIEWED SHOP DRAWINGS PRIOR TO FABRICATION, SHOP DRAWINGS SHALL SHOW DESIGN LOADS (INCLUDING UPLIET WHERE APPLICABLE) DIMENSIONS, CAMBER, MEMBER SIZES, GRADE AND SPECIES OF MATERIAL, CONNECTORS, TIEDOWNS, BRACING, AND DETAILS INCLUDING FRAMING AND CONNECTONS REQUIRED TO FRAME OPENINGS IN THE ROOF. A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF BRITISH COLUMBIA SHALL SEAL AND SIGN THE SHOP DRAWINGS PRIOR TO SUBMISSION.

RETAIN A PROFESSIONAL ENGINEER REGISTERED IN BC OR A TESTING RETAIN A PROFESSIONAL ENGINEER REDISTED IN BUT OR A TESTING AGENCY APPROVED BY THE ENGINEER TO PROVIDE SHOP INSPECTIONS DURING MANUFACTURE AND AN INSPECTION OF TRUSSES INSTALLED ON SITE, SUBMIT REPORTS TO THE ENGINEER UPON COMPLETION OF INSTALLATION AND INSPECTION.

JOIST OR TRUSS PRODUCTS
WOOD: TO NLGA GRADING RULES AND CANICSA-086.1-94.
CONNECTION PLATES: TPC-1988
GLUED CHORD SPLICES: PROOF TEST TENSION SPLICES TO DOUBLE THE
DESIGNA FORMS.

FASTEN EACH END OF EACH JOIST OR TRUSS USING ONE METAL FRAMING ANCHOR SUFFICIENT FOR SUPERIMPOSED LOADS UNLESS NOTED OTHERWISE.

JOIST HANGERS AND MISCELLANEOUS CONNECTORS SHALL BE GALVANIZED AND OF SUFFICIENT GAUGE TO CARRY SUPERIMPOSED

PROVIDE MID-SPAN BLOCKING OF ALL JOISTS, OR BLOCKING AT 2130mm (7') O.C. MAXIMUM SPACING.

ADEQUATELY CONNECT ALL MULTIPLE-PLY JOISTS AND TRUSSES TO

FIELD DRILLING, DAPPING, CUTTING, OR OTHER MODIFICATIONS TO JOISTS AND TRUSSES IS NOT PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE TRUSS MANUFACTURER AND ACCEPTANCE OF THE STRUCTURAL ENGINEER.

STRUCTURAL STEEL

QUALITY ASSURANCE

ALL CONNECTIONS TO BE DESIGNED BY FABRICATOR UNLESS NOTED OTHERWISE. DESIGN FOR MAXIMUM SECTION CAPACITY UNLESS NOT OTHERWISE. ALL BEAM CONNECTIONS TO BE STANDARD FRAME BEAM CONNECTIONS OR EQUIVALENT UNLESS NOTED OTHERWISE.

CONNECTIONS AND SPLICES NOT SHOWN ON THE STRUCTURAL DRAWINGS BUT REQUESTED BY THE FABRICATOR MUST BE ACCEPTABLE TO IREDALE GROUP AND DETAILED ON SHOP DRAWINGS. TESTIMS OF THESE CONNECTIONS SHALL BE AT THE DISCRETION OF IREDALE GROUP AND TO THE CONTRACTORS ACCOUNT.

FOR THOSE CONNECTIONS AND COMPONENTS DESIGNED BY THE FABRICATOR, SHOP DRAWINGS SHALL BE PREPARED AND SEALED BY A PROFESSIONAL STRUCTURAL ENGINEER LICENSED IN THE PROVINCE OF BRITISH COLUMBIA. THIS ENGINEER OR THEIR REPRESENTATIVE SHALL VISIT THE SITE TO REVIEW IN PLACE THE CONNECTIONS AND COMPONENTS DESIGNED BY THIS ENGINEER TO SATISFY THEMSELVES THAT THE CONNECTIONS AND COMPONENTS COMPLY WITH THEIR DESIGN ON THE SHOP DRAWINGS. THIS ENGINEER SHALL PROVIDE DESIGN ON THE SHOP DRAWINGS. THIS ENGINEER SHALL PROVIDE SCHEDULES B1, B2, AND CB TO THIS EFFECT. THIS ENGINEER SHALL ALSO PROVIDE SEALED SKETCHES FOR ALL FIELD MODIFICATIONS MADE TO THEIR DESIGN.

PRIOR TO SUBMITTING SHOP DRAWINGS THE CONTRACTOR SHALL PRIOR TO SUBMIT ING SHOP DRAWINGS THE CONTROL FOR SHALL NOTIFY IREDALE GROUP IN WRITING THAT THE FABRICATOR IS CERTIFIED TO A MINIMUM OF DIVISION 2.1 OF CSA STANDARD W47.1. ALL WELDING SHALL BE IN CONFORMANCE WITH CSA STANDARD W59.

ALL ROLLED SHAPES (EXCEPT WIDE FLANGES) AND ROLLED PLATES SHALL BE TO CSA STANDARD G40.21 - M - 300W OR EQUIVALENT (Fy = 300

SEE SPECIFICATIONS FOR ALL STRUCTURAL STEEL PRIMING AND

ROLLED WIDE FLANGES AND WELDED WIDE FLANGE SECTIONS SHALL BE TO CSA STANDARD G40.21 - M - 350W OR EQUIVALENT (Fy = 350 MPa).

HOLLOW STRUCTURAL SECTIONS SHALL BE TO CSA STANDARD G40.21 - M - 350W (Fy = 350 MPa) CLASS C UNLESS NOTED OTHERWISE.

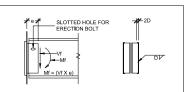
WELDING ELECTRODES TO BE E49XX OR EQUIVALENT.

ALL WELDED STUDS AND WELDED DEFORMED BAR ANCHORS SHALL BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, FILLET WELDED DEFORMED BARS OR STUDS WILL BE

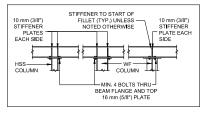
BOLTS TO BE ASTM A325 BEARING TYPE U.N.O INSTALLED IN CONFORMANCE WITH ASTM STANDARDS. DRILL BOLT HOLES 2 mm (1/16°) LARGER THAN THE NOMINHA DIAMETER OF THE BOLT. BOLT BOLD CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLTS IN EACH CONNECTED PIECE.

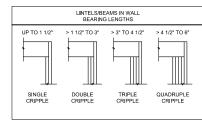
BEAM AND GIRDER CONNECTIONS

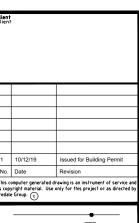
UNLESS NOTED OTHERWISE, BEAM AND GIRDER CONNECTIONS TO EMBEDDED PLATES SHALL BE DOUBLE ANGLE FRAMING CONNECTIONS WELDED TO THE BEAM WEB AS SHOWN IN THE FOLLOWING DIAGRAM.

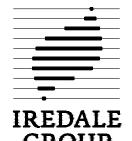


PLATES EACH SIDE OVER COLUMN.









GROUP ARCHITECTURE

202-ONE ALEXANDER ST VANCOUVER BC V6A 182

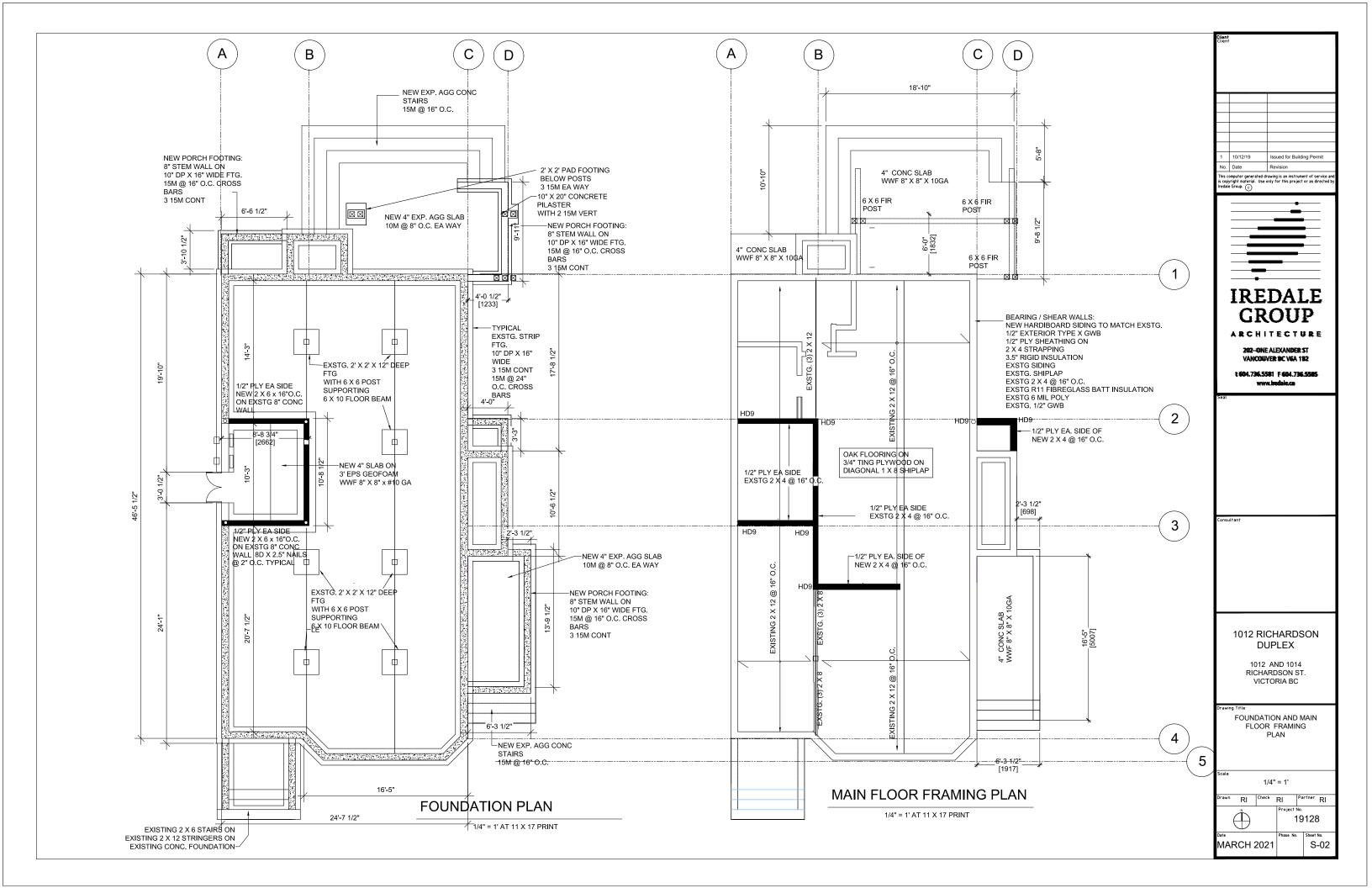
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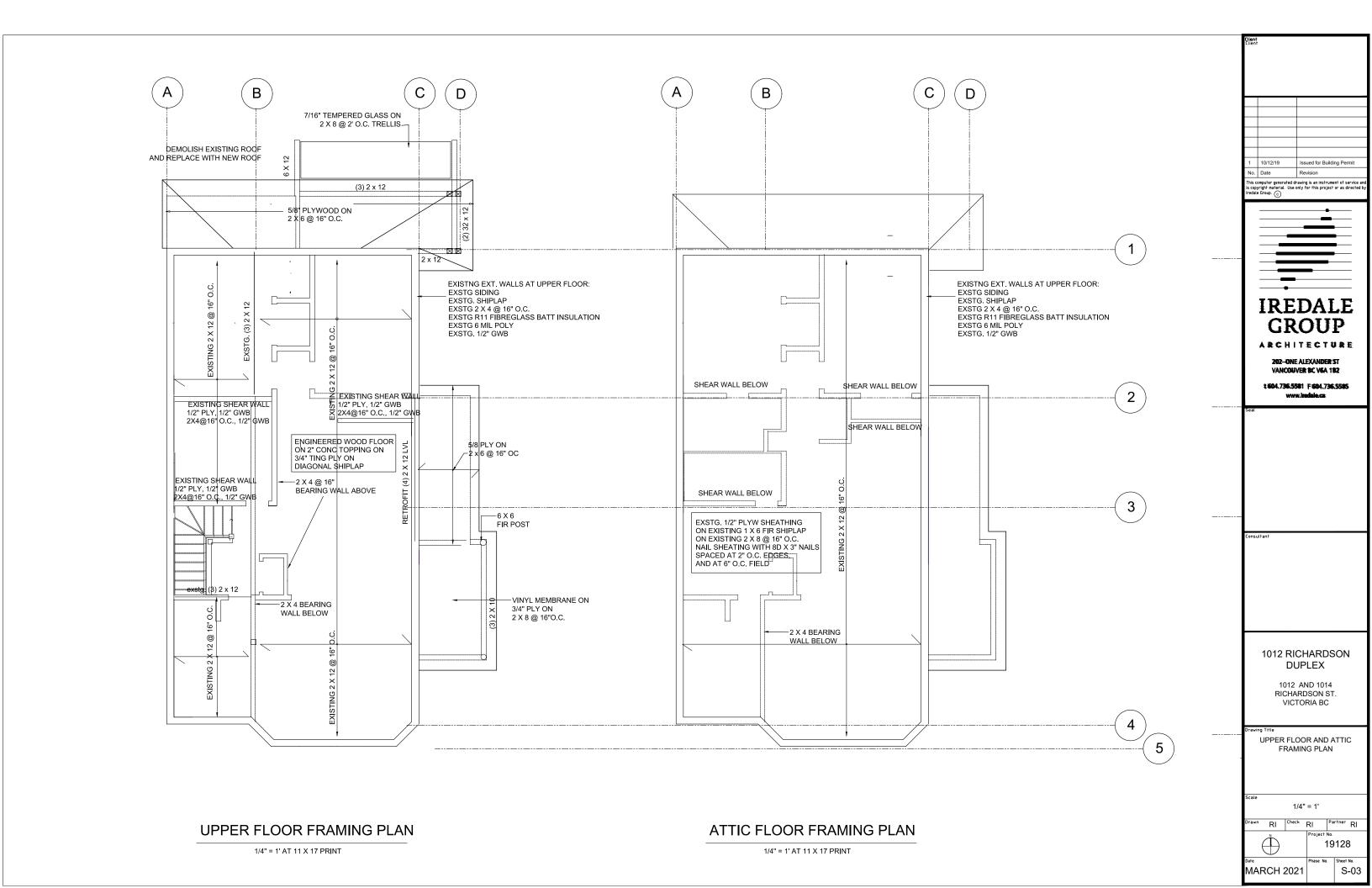
1012 RICHARDSON DUPLEX

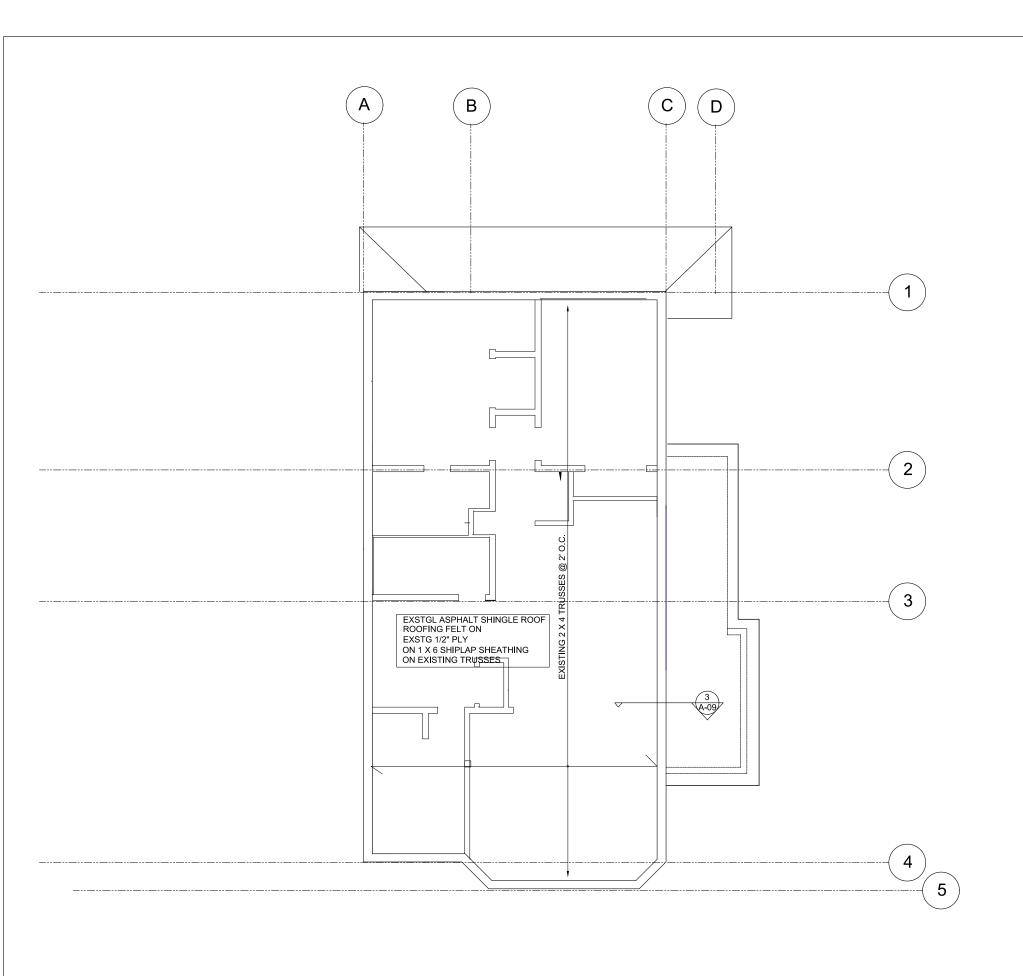
1012 AND 1014 RICHARDSON ST. VICTORIA BC

STRUCTURAL NOTES 2

Check RI RI Partner RI 19128 MARCH 2021 S-01







ROOF FRAMING PLAN

1/4" = 1' AT 11 X 17 PRINT

No. Date Revision **IREDALE GROUP** ARCHITECTURE 202-ONE ALEXANDER ST VANCOUVER BC V6A 182 1 604.736.5581 F 604.736.5585 1012 RICHARDSON DUPLEX 1012 AND 1014 RICHARDSON ST. VICTORIA BC FRAMING PLAN 1/4" = 1' RI Check RI Partner RI 19128

MARCH 2021

S-04