

F.1.a.b

**610 - 624 Herald Street and 611 - 635 Chatham Street -
Development Permit with Variances Application No.
00156 (Downtown)**

Councillor Isitt recused himself from the meeting at 12:05 p.m. due to a non-pecuniary conflict of interest, as he is member on the board of a society that is an occupant of parcel close to this parcel.

Moved By Councillor Andrew
Seconded By Councillor Alto

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. A legal agreement to secure public realm improvements as indicated on Plans dated May 14, 2021.
5. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
7. That the mural be changed to reflect the Old Town and Chinatown neighborhood history and culture.
8. Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown
9. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

Councillor Isitt returned to the meeting at 12:06 p.m.

E.2 610 - 624 Herald Street and 611 - 635 Chatham Street - Development Permit with Variances Application No. 00156 (Downtown)

Councillor Isitt recused himself at 10:35 a.m. due to a non-pecuniary conflict of interest, as he is the director of a society that's a tenant of a nearby building.

Committee received a report dated May 20, 2021 from the Director of Sustainable Planning and Community Development regarding the Development Permit with Variance Application No. 00156 for the properties located at 610-624 Herald Street and 611-635 Chatham Street in order to construct two buildings that range in height from four to six storeys with ground floor commercial units as well as approximately 278 residential units, and recommending that it move forward to an opportunity for public comment.

Committee discussed:

- *Parking, and how it will fit into the area; proposal is providing more parking than what is required*

Moved By Councillor Andrew

Seconded By Councillor Thornton-Joe

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. The Development Permit lapsing two years from the date of this resolution.”

Committee discussed:

- *Market value of the units; it is proposed as market rentals at this time*
- *Fits within the context of the town; rejuvenation of old town, appropriate design*

Amendment:

Moved By Councillor Thornton-Joe

Seconded By Mayor Helps

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property’s title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. **That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.**
7. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

Committee discussed:

- *Whether or not other buildings' views would be obscured by this building*
- *Concerns with the omissions of Chinese culture in the building design*

Amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Andrew

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance

Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.
7. **Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.**
8. The Development Permit lapsing two years from the date of this resolution."

CARRIED UNANIMOUSLY

Committee discussed:

- *How the application is consistent with the Old Town guidelines and Official Community Plan*

Amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Dubow

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.

4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.
7. Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.
- 8. Further consideration of adherence to Old Town and in particular Chinatown guidelines**
9. The Development Permit lapsing two years from the date of this resolution.”

Amendment to the amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Dubow

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property’s title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.
7. Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.
- 8. Further consideration of adherence to Old Town and in particular Chinatown guidelines in relation to Section 2.4 character defining elements, Section 4 Rhythm of buildings in Old Town, and Section 5.3 8 in consideration of corner lots.**

9. The Development Permit lapsing two years from the date of this resolution.”

FOR (1): Councillor Thornton-Joe

OPPOSED (7): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Young,

DEFEATED (1 to 7)

Amendment to the amendment:

Moved By Councillor Thornton-Joe

Seconded By Councillor Dubow

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

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5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.
7. Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.
8. **Further consideration of subtle enhancements to adhere ~~adherence to~~ Old Town and in particular Chinatown guidelines**
9. The Development Permit lapsing two years from the date of this resolution.”

FOR (4): Councillor Dubow, Councillor Loveday, Councillor Potts, Councillor Thornton-Joe

OPPOSED (4): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Young,

DEFEATED (4 to 4)

On the amendment:

FOR (3): Councillor Dubow, Councillor Loveday, Councillor Thornton-Joe,
OPPOSED (5): Mayor Helps, Councillor Alto, Councillor Andrew, Councillor Potts, Councillor Young,

DEFEATED (3 to 5)

On the main motion as amended:

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. increase building height to 21.1m.
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5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. That the mural be changed to reflect the Old Town and Chinatown neighborhood, history, and culture.
7. Further consideration of diversifying the brick colours in the project and make colours and design elements more consistent with those found in Chinatown.
8. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY



Committee of the Whole Report

For the Meeting of June 3, 2021

To: Committee of the Whole **Date:** May 20, 2021

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: **Development Permit with Variances Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street**

RECOMMENDATION

That, subject to the preparation and execution of legal agreements to secure all residential units as rental, to the satisfaction of the Director of Planning and minor public realm plan corrections, that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit with Variance Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street, in accordance with:

1. Plans date stamped May 14, 2021.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
 - i. increase building height to 21.1m.
3. Registration of legal agreements on the property's title to secure all residential units as rental for 60 years or the life of the building, to the satisfaction of City Staff.
4. Council authorizing the street-level projecting canopies over the City Right-of-Way on Herald, Chatham and Government Streets, provided that the applicant enters into an Encroachment Agreement in a form satisfactory to the City Solicitor and the Director of Engineering and Public Works.
5. Council authorizing anchor-pinning in the City right-of-way, with form and contents satisfactory to the City Solicitor and the Director of Engineering and Public Works.
6. The Development Permit lapsing two years from the date of this resolution."

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a Development Permit may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

In accordance with Section 498 of the *Local Government Act*, council may issue a Development Variance Permit that varies a *Zoning Regulation Bylaw* provided the permit does not vary the use or density of land from that specified in the *Zoning Regulation Bylaw*.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variance Application for the properties located at 610-624 Herald Street and 611-635 Chatham Street. The proposal is to construct two buildings that range in height from four to six storeys with ground floor commercial units. Approximately 278 residential units are proposed, and the applicant has voluntarily offered to secure these units as rental for sixty years or the life of the building through a housing agreement. The variance is related to an increase in building height.

The following points were considered in assessing this application:

- The proposal is consistent with the form and character design guidelines in terms of achieving a contextually sensitive, infill proposal within Old Town. Diverse, articulated and human scaled building massing, paired with proposed high quality and detailed materials all contribute to achieving the consistency with the design guidelines.
- A height variance of over 6m is proposed, however this variance is exaggerated due to the sloping site and long parcel frontage and is mitigated through design strategies that set the upper floors back which reduces shadowing impacts and views of the upper storeys.
- The applicant has voluntarily offered to enter into a housing agreement to secure the units as rental for 60 years or the life of the building.

BACKGROUND

Description of Proposal

The proposal is for two rental residential buildings with ground floor commercial units ranging in height from four to six-storeys. Specific details include:

- two buildings designed as multiple smaller buildings of four, five and six storeys, spread over approximately half a city block
- a mix of unit types including 139 studios, 89 one-bedroom units, 48 two-bedroom units, and 2 three-bedroom units
- an internal communal courtyard for residents of the building
- one and a half levels of underground parking, accessed off Chatham Street
- communal amenity spaces within the building
- brick cladding of various colours on the Herald and Government Street frontages and a mix of corrugated metal and cementitious panel cladding on the Chatham Street frontage.

The proposed variance is related to increasing the building height from 15.0 metres to 21.10 metres.

Affordable Housing

The applicant proposes the creation of 278 new rental residential units which would increase the overall supply of housing in the area. As a development permit application, the *Inclusionary Housing and Community Amenity Policy* (2019) does not apply, however, the applicant has voluntarily proposed to enter into a housing agreement to secure the proposed units as rental for 60 years or the life of the building.

The owner also applied for Canadian Mortgage and Housing Corporation (CMHC) financing in April 2021, and if granted, the proposal will designate affordable housing units that will be monitored by the Capital Region Housing Corporation (per the applicant's letter to Mayor and Council attached).

Sustainability

As indicated in the applicant's letter dated March 24, 2021 the following sustainability features are associated with this application:

- compliance with the BC Energy Step Code, Step 3 for the residential component and Step 2 for the commercial component
- each apartment will be equipped with an energy recovery ventilator ("ERV") that will manage humidity and retain warm or cool air inside the envelope thereby saving energy and maintaining a consistent temperature with improved air quality
- the building will have a shared high-efficiency central hot water system to service the apartments
- native and/or drought tolerant plant species will be specified for the landscaped courtyard to reduce the amount of water required to maintain plant health
- all apartments will have operable windows and doors.

Active Transportation

The application proposes a bike wash station and repair room which support active transportation.

Public Realm

Frontage works to meet the Downtown Public Realm Standards are being offered in association with this Application and would be secured with a section 219 covenant prior to issuance of the Development Permit. This includes:

- enhanced sidewalk paving and decorative features
- additional street furniture, public benches and garbage bins
- street trees with soil cells on Government Street
- decorative bollards and pedestrian lighting.

Accessibility

The *British Columbia Building Code* regulates accessibility as it pertains to buildings. Accessibility measures beyond those contained in the British Columbia Building Code are not proposed. However, additional consideration has been given to the public realm and the

pedestrian experience. The proposed landscaping is consistent with the Downtown Public Realm Plan and significantly improves the pedestrian areas surrounding the proposal. Existing street furniture is proposed to be formalized and co-located, thereby creating clear pedestrian paths and the removal of obstacles.

Existing Site Development and Development Potential

The site is presently predominantly surface parking with a vehicle service station, maintenance garages and a single storey commercial building on Herald Street and Government Street. On Chatham Street, approximately 70% of the site is surface parking and a row of two storey, empty commercial buildings occupy the remainder of the parcel.

Data Table

The following data table compares the proposal with the existing Old Town District 1 Zone. An asterisk is used to identify where the proposal does not meet the requirements of the existing Zone.

Zoning Criteria	Proposal	Existing Zone OTD-1
Site area (m ²) – minimum	6077.48	n/a
Density (Floor Space Ratio) – maximum	3:1	3:1
Total floor area (m ²) – maximum	18,225.20	18,232.44
Height (m) – maximum	21.07*	15.0
Storeys – maximum	5	n/a
Setbacks (m) – minimum		
Front	0	0
Rear	0	0
Side (north)	0	0
Side (south)	0	0
Parking Total – minimum	207	184
Parking Residential – minimum	156	156
Parking Commercial – minimum	23	n/a
Visitor Parking – minimum	28	28
Bicycle parking Long Term – minimum	324 (10 commercial, 314 residential)	322
Bicycle parking Short Term – minimum	38 (10 commercial, 28 residential)	37

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, on October 5, 2020 the application was referred for a 30-day comment period to the Downtown CALUC. A letter dated November 30, 2020 is attached to this report.

ANALYSIS

Official Community Plan

The *Official Community Plan*, 2012 (OCP) identifies this property within the Core Historic Urban Place Designation and in Development Permit Area (DPA) 1, Core Historic. In this DPA, the following guidelines are considered:

- *Downtown Core Area Plan* (2011)
- *Old Town Design Guidelines* (2019)
- *Guidelines for Fences Gates and Shutters* (2010)
- *Advisory Design Guidelines for Buildings, Signs and Awnings* (1981).

The relevant objectives of this DPA include:

- conserving and enhancing the heritage value and character of this area
- revitalizing the area through infill development with high quality architecture and sensitive, innovative new building interventions.

Downtown Core Area Plan (DCAP, 2011)

The key policies within the Downtown Core Area Plan (DCAP) relative to this application generally focus on building height and setbacks. Other policies in DCAP related to form and character overlap with policies in the Old Town Design Guidelines (OTDG), and in these instances, the OTDG take precedence. The proposal generally meets the building setback criteria in DCAP; however, the building height is calculated as approximately six meters taller than the maximum height envisioned, which is 15m. This aspect of the proposal is discussed further in the section entitled “Height Variance.”

Old Town Design Guidelines (OTDG, 2019)

The Old Town Design Guidelines are the main guidelines against which the form and character of this application is reviewed. The guidelines generally aim to encourage contextually sensitive new buildings and provide guidance in terms of building massing, street relationship and materiality.

Massing

A number of policies within the OTDG address massing and, typically, these policies look to encourage a diverse massing distribution, reminiscent of the smaller scale and character of development in Old Town. The application is consistent with these policies in terms of the diversity of building heights proposed and through the modulation of building mass into discreet smaller building blocks. By breaking up the building massing in this way, the existing rhythm and proportion of buildings in Old Town remains consistent. Small building recesses, setback entry

ways and a large vertical break in the building massing all help to give the impression of smaller buildings, reminiscent of the area context.

Street Relationship

In Old Town, traditionally proportioned ground floor heights, capable of supporting a variety of commercial uses are regulated by requiring applicants to achieve a minimum of four and a half metre, floor to ceiling height. This metric is consistent with the majority of commercial buildings in Old Town and generally helps to achieve a complementary ground floor commercial form and character. In previous versions of the application, this criterion was not achieved, however, through a redistribution of massing, this guideline has largely been met.

Other aspects of the proposal that are consistent with the street relationship guidelines include the frequent, identifiable and recessed entries proposed along all frontages, transparent ground floors, canopies and fine grain detailing.

Materials

The Old Town Design Guidelines call for high quality materials and diverse building expressions to complement and to be consistent with the existing form and character of the area. Consistent with these policies, a variety of brick cladding colours and approaches are proposed for the Herald Street frontage. Different cornice details, varying canopy approaches and diverse combinations of cladding all achieve the variety and quality promoted by the guidelines. Since the initial application, brick colours have been lightened and red brick has been added to better respond to the China Town Context

On Chatham Street, a more consistent material approach is adopted, with a mix of corrugated steel and cementitious panelling. Given the large variety and varying application quality, concerns regarding the use of cementitious panel were raised. However, through the Advisory Design Panel (ADP) meeting, staff commentary and the applicant's clarifications, staff are satisfied that the approach proposed meets the criteria for high quality materials. At the edge of Old Town and consistent with other buildings in the area, the corrugated steel cladding was also considered as meeting the intent of the design guidelines. Corrugated steel offers durability benefits and is reminiscent of the more industrial edge of the district.

Height Variance

The proposed density is within that allowed in the existing zone, 3:1 FSR; however, a variety of building heights have been proposed to spread the density across the site. This contributes to the proposed height variance, with heights ranging from four to six storeys as opposed to maintaining a uniform five-storey building height across the site. Despite this resulting in a larger height variance, a range of building heights are encouraged in the design guidelines, which promote a diversity of building forms similar to the historic form and character of Old Town.

The proposed height variance is roughly six metres, however, because heights are calculated from the average grade, based on the ground height around the entire site, this methodology results in exaggerating the variance. This is particularly amplified in this instance because of the long frontages involved in this application and the sloping site. The actual building heights, adjacent to the sidewalk, range from 15m to 18.5m.

Where the height variance is greatest, along Herald Street at the south east corner, the building has been set back by approximately 2m to conceal the visibility to the top floor. Along Chatham

Street, the storeys above the ground floor are set back from the property line by approximately four meters. While this setback was necessary to avoid high voltage overhead hydro lines, it also serves to mitigate the impact of height, particularly in terms of shadowing.

While in the past, the maximum Old Town building height of five storeys could be accommodated with a 15m building height, current building standards have pushed the typical floor to ceiling heights upward. Creating more liveable units within the five-storey maximum while still achieving commercially proportioned ground floors, also typically results in requests for height variances.

Taken together, the variety of buildings heights proposed, and the setback upper storeys help to mitigate the impact of the proposed height variance and reflect a preferable built form. Rather than seeking to maximize the density while minimizing variances, the applicant has responded to the design guidelines in a creative way to achieve a more contextually sensitive infill development.

Tree Preservation Bylaw and Urban Forest Master Plan

The goals of the *Urban Forest Master Plan* include protecting, enhancing, and expanding Victoria's urban forest and optimizing community benefits from the urban forest in all neighbourhoods.

Currently, there are no trees on the subject lots. On Government Street, there are two existing hornbeam trees that would require removal due to development impacts. A total of seven street trees in grates have been proposed to be planted in continuous soil cells beneath the sidewalk to promote healthy growing conditions, two on Government and five on Chatham. Street tree planting is not possible on the Herald frontage due to existing underground utilities. On the development site, ten small-canopy trees in planters are proposed, with underground parking below.

Final locations for street trees and site servicing will be coordinated with the applicant, Parks, and Engineering prior to Public Comment, to ensure feasibility.

Tree Impact Summary Table

Tree Type	Total	To be REMOVED	To be PLANTED	Net Change
Onsite trees, bylaw-protected	0	0	0	0
Onsite trees, not bylaw-protected	0	0	10	+10
Municipal trees	2	2	7	+5
Neighbouring trees, bylaw-protected	0	0	0	0
Neighbouring trees, not bylaw-protected	0	0	0	0
Total	2	2	17	+15

Encroachment Agreement

With any project of this scale that has little to no setbacks, and requires significant excavation, construction methods often require a form of underpinning which can result in material being left in the public right-of-way. The resulting material (typically rock anchors) present no concerns to the public interest and do not impact any underground infrastructure; however, an Encroachment Agreement between the City and the developer is required. The staff recommendation provided for Council's consideration includes direction to allow staff to enter into such an agreement, if the application is approved by Council, and it is deemed necessary to facilitate the construction of the project.

A number of street-level canopies are also proposed along Government, Herald and Chatham Street, which project above the City right-of-way. These are encouraged in the Guidelines to provide pedestrian weather protection and welcoming streetscapes. To facilitate these canopies, the applicant is required to enter into an Encroachment Agreement with the City. Appropriate wording is included in the recommendation for Council's consideration.

Advisory Design Panel

At the Advisory Design Panel (ADP) meeting of January 27, 2021 (minutes attached), the Panel reviewed this application and recommended that the application be approved with the following changes (summarized):

- consider a stronger break or horizontal element between the ground floor and residential units above
- consider material changes such as a warmer brick pallet and omitting the use of corrugated steel
- consider a greater variation in building massing, including increased height, to reduce the repetitiveness of the building form
- consider increased landscaping opportunities where feasible
- increase the floor to ceiling heights on the ground floor to be consistent with the Old Town Design Guidelines.

The applicant subsequently made the following changes which addressed most of the ADP's recommendations:

- increased the distinction between the ground floor and the residential units above through material cladding proportion changes and horizontal banding
- introduced warmer and more varied brick cladding tones
- created a significant vertical break and recess in the building, varied the proposed building lengths to break up the repetitive massing and varied the building heights
- explored additional public realm landscaping opportunities however, existing underground utility locations prevented additional street trees from being added to the application
- increased the floor to ceiling heights at the ground floor.

Heritage Advisory Panel

On February 9, 2021, the application was also presented to the Heritage Advisory Panel. Although no aspects of the application involve a renovation to, or alteration of, a heritage

registered property, given that the subject parcel is located in Old Town, this additional level of analysis was sought by staff.

The Heritage Advisory Panel commended the applicant for the quality of their design and their response to the Old Town Design Guidelines, and recommended that the application be approved with the following changes:

- diversify the massing of the project, particularly the rooflines of the building, in order to reduce the repetitiveness and homogeneity of the proposal and to create visual interest while responding to the site context
- consider increasing the floor-to-ceiling height of ground floor commercial units to 4.5m, particularly the corner commercial unit at Herald and Government Streets
- consider increasing the street wall height on Chatham Street to be consistent with the form and character of Old Town
- diversify the brick colours in the project and make colours more consistent with those found in Chinatown and Old Town
- consider introducing boulevard trees along all three frontages in consultation with Engineering staff
- consider increasing the variety of storefront assembly designs through the use of wood assemblies, different types of canopies, awnings and lighting in order to enhance the pedestrian experience.

Many of the recommended changes were similar to those from the ADP and have been addressed in the current application.

Resource Impacts

The proposed public realm landscaping includes five new street trees, and their annual maintenance and irrigation costs reflect resource impacts as outline below.

Increased Inventory	Annual Maintenance Cost
Street Trees – 5 net new	\$300
Irrigation System	\$400

CONCLUSIONS

Large sites within Old Town are particularly difficult to redevelop in ways that are contextually sensitive. This is in part because Old Town benefited from both a more incremental approach to development and a richness and diversity that comes with time. This application, however, is largely consistent with the design guidelines for the area and that has resulted in a contextually sensitive, yet modern infill proposal. The only variance, for height, helps to increase the consistency with the design guidelines and, while a height variance remains, design strategies mitigate its impact. Overall, the form and character are consistent with the intent of the design guidelines, and, as a voluntarily purpose-built rental building, the application helps to address Official Community Plan objectives beyond current policy requirements. On that basis, staff recommend that the application be approved.

ALTERNATE MOTION

That Council decline Development Permit with Variance Application No. 00156 for the property located at 610 - 624 Herald Street and 611 - 635 Chatham Street.

Respectfully submitted,

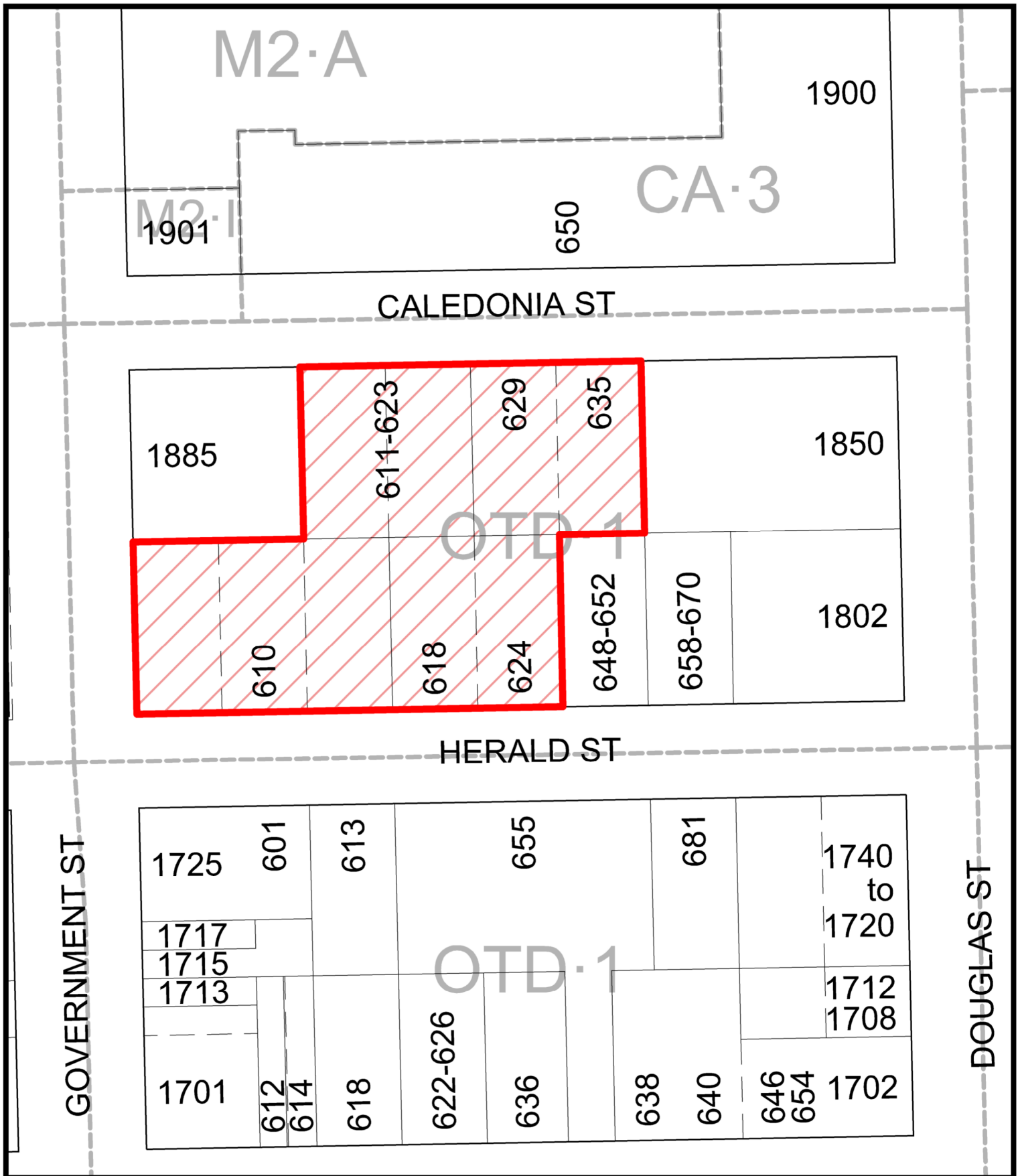
Miko Betanzo
Senior Planner - Urban Design
Development Services

Karen Hoesel, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

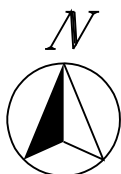
List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans dated May 14, 2021
- Attachment D: Letter from applicant to Mayor and Council dated May 4, 2021
- Attachment E: Green Building Features Letter from applicant to Mayor and Council dated March 24, 2021
- Attachment F: Community Association Land Use Committee Comments dated November 30, 2020
- Attachment G: Heritage Advisory Panel Minutes February 9, 2021
- Attachment H: Advisory Design Panel Minutes January 27, 2021
- Attachment I: Correspondence (Letters received from residents).



610 - 624 Herald Street and
611 - 635 Chatham Street
Development Permit with Variance No.00156





Development Permit with Variance No.00156



Architectural Drawing Index

A-0.000 Cover	
A-0.000	Cover Sheet
A-0.100	Project Data
A-0.201	Site Context
A-0.202	Site Context
A-0.203	Site Context
A-0.204	Concept Imagery
A-0.205	Urban Context / Significant & Mixed-use Buildings
A-0.206	Zoning, Locality & Weather
A-0.207	BCBC 2018 Code Summary
A-0.208	Design Rationale
A-1.000 Site	
A-1.100	Survey / Average Grade Calculation
A-1.101	Site Plan
A-2.000 Plans	
A-2.020	Level P1 Parking Plan
A-2.021	Partial P1 Parking Plan - North East
A-2.022	Partial P1 Parking Plan - North West
A-2.023	Partial P1 Parking Plan - South West
A-2.024	Partial P1 Parking Plan - South East
A-2.100	Level 1 Chatham St Floor Plan
A-2.101	Partial Level 1 Parking Plan - North East
A-2.102	Partial Level 1 Parking Plan - North West
A-2.103	Partial Level 1 Parking Plan - South West
A-2.104	Partial Level 1 Parking Plan - South East
A-2.200	Level 1 Herald St Floor Plan
A-2.300	Level 2 Floor Plan
A-2.400	Level 3 Floor Plan
A-2.500	Level 4 Floor Plan
A-2.600	Level 5 Floor Plan
A-2.700	Level 6 Floor Plan
A-2.000 Plans FSR	
A-2.020	FSR Overlay Level P1 Parking Plan
A-2.100	FSR Overlay Level 1 Chatham St Floor Plan
A-2.200	FSR Overlay Level 1 Herald St Floor Plan
A-2.300	FSR Overlay Level 2 Floor Plan
A-2.400	FSR Overlay Level 3 Floor Plan
A-2.500	FSR Overlay Level 4 Floor Plan
A-2.600	FSR Overlay Level 5 Floor Plan
A-2.700	FSR Overlay Level 6 Floor Plan
A-3.000 Enlarged Plans	
A-3.100	Level 1 Chatham St (Bike Storage)
A-4.000 Elevations	
A-4.111	Context Section and Elevation
A-4.101	Elevations
A-4.102	Courtyard Elevations
A-4.110	Enlarged Elevations / Signage
A-5.000 Sections	
A-5.100	Building Sections
A-5.200	Building Sections
A-5.300	Wall Sections
A-5.400	Wall Sections
A-5.500	Wall Sections
A-6.000 Supplemental	
A-6.011	Perspective Rendering
A-6.012	Perspective Rendering
A-6.013	Perspective Rendering
A-6.014	Perspective Rendering
A-6.015	Perspective Rendering
A-6.016	Perspective Rendering
A-6.017	Perspective Rendering
A-6.018	Perspective Rendering
A-6.001	Shadow Study
A-6.002	Shadow Study (Summer)
A-6.003	Material Board
A-6.004	Material Board

CONTACT LIST

CLIENT	NICOLA HERALD LIMITED PARTNERSHIP 8th Floor, 1508 West Broadway Vancouver, BC V6J 1W8	Josh Anderson Andre Linakakis	604,739,6450 604,235,5280	LANDSCAPE	LADR 3-864 Queens Avenue Victoria, BC V8T 1M5	Bev Windjack Chris Windjack	250,598,0105
DEVELOPMENT MANAGER	DENCITI DEVELOPMENT CORP 1620-1185 West Georgia Street Vancouver BC V6E 4E6	David Fawley Guadalupe Font	604,638,0771	CODE	JENSEN HUGHES [CFT ENGINEERING] 500-1901 Rosser Ave Burnaby, BC V5C 6R6	Samir Eidnani	604,684,2384
ARCHITECT	INTEGRA ARCHITECTURE 2330 - 200 Granville Street Vancouver, BC V6C 1S4	Steve Watt	CRP 604,688,4220	GEOTECHNICAL	RYZUK 26 Crosse Ave Victoria, BC V8Z 1S3	Lane Campbell Shane Smith	250,475,3131
STRUCTURAL	WHM 2227 Douglas Road Burnaby, BC V5C 5A9	Dan Wicke Dave Kurniawan	604,484,2859	ENVIRONMENTAL	HEMMERA 303-1221 Broad Street Victoria, BC V8W 2A4	Lora Paul	250,388,3584
MECHANICAL	BYCAR 105A-7808 132nd Street Surrey, BC V3W 4N1	Paul Dzung	604,591,2766	SURVEYOR	WEY SURVEYS 4-2227 James White Blvd. Sidney, BC V8L 1Z5	Lloyd Eakins	250,856,5155
ELECTRICAL	NEMETZ 2009 West 4th Avenue Vancouver, BC V6J 1N3	Darren Neuman	604,736,6562	CONTRACTOR	FARMER CONSTRUCTION LTD. 360 Harbour Rd. Victoria BC, V9A 3S1	Ken McRae	250,388,5121
CIVIL	JE ANDERSON 4212 Glenford Avenue Victoria, BC V8Z 4B7	Ross Tuck	250,727,2214				

HERALD & CHATHAM, VICTORIA, BC



SUBJECT SITE


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[PROJECT TEAM]



[CLIENT]

 Nicola Herald Limited
Partnership

[PROJECT]

 Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

[TITLE]

Cover Sheet

[PROJECT]

19503

[SCALE]

[DATE]

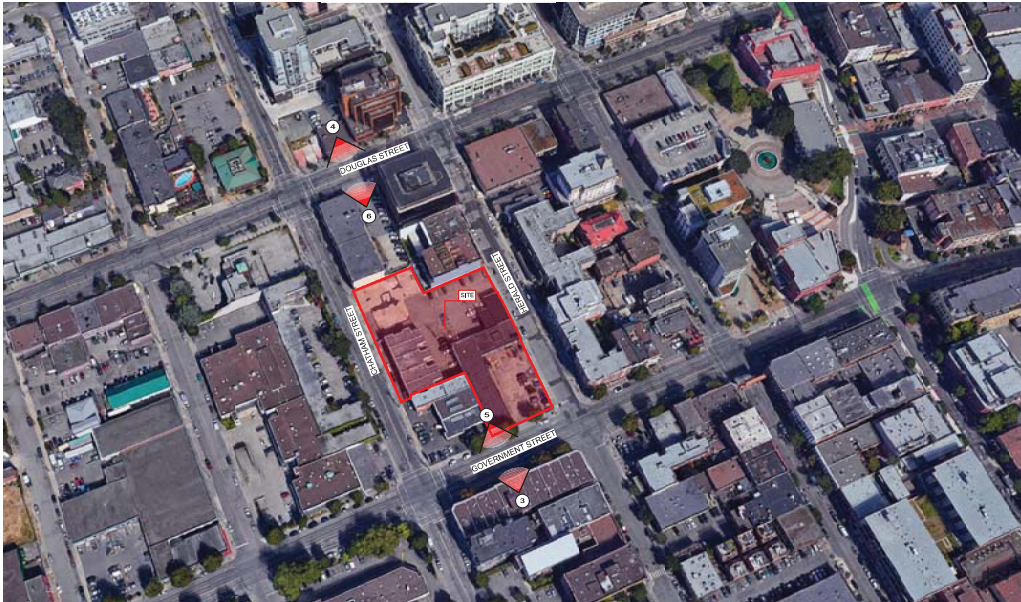
Friday, May 14, 2021

[ISSUE]

Issue 6.0 - DP RESUBMISSION

[DRAWING]

A-0.000



1 Aerial View



2 Fire Insurance Map 1891



3 Fire Insurance Map 1911



3 View #3: Government Street [East]



5 View #5: Government Street [West]



4 View #4: Douglas Street [West]



6 View #6: Douglas Street [East]



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(PROJECT TEAM)



Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Site Context

19503 (PROJECT)

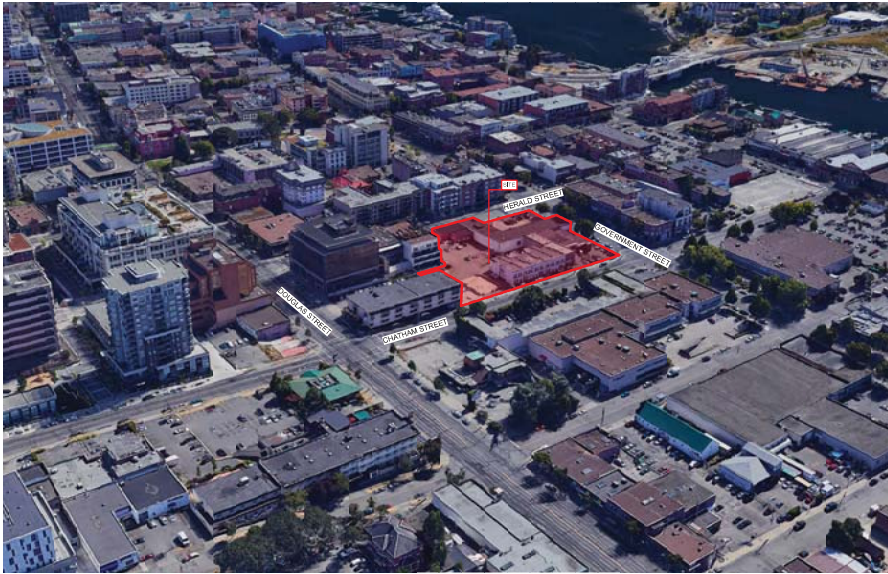
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Friday, May 14, 2021 (DATE)

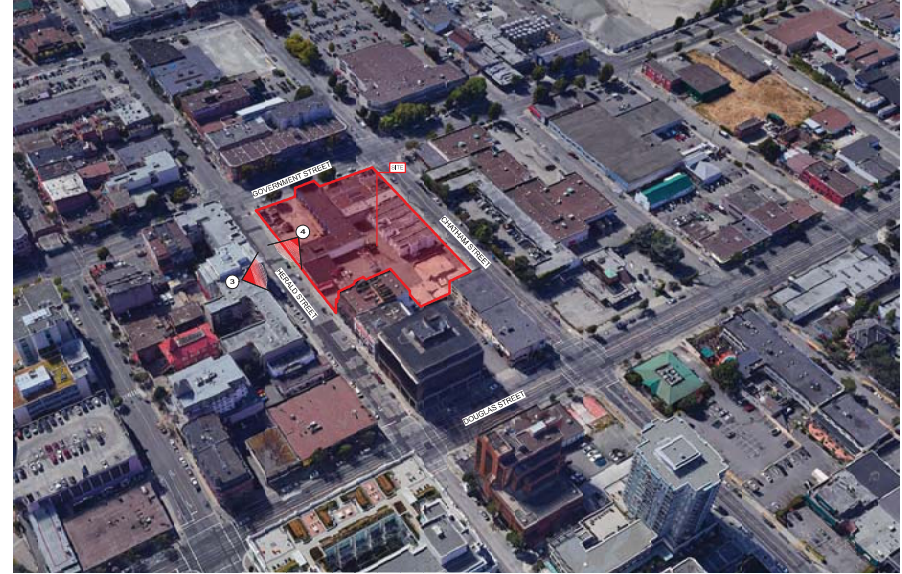
Issue 6.0 - DP RESUBMISSION (ISSUE)

(DRAWING)

A-0.201



1 Bird's Eye View from North-East



2 Bird's Eye View from South-East



3 Herald Street [North]



4 Herald Street [South]



1 Bird's Eye View from North-West



2 Bird's Eye View from South-West



3 View #3: Chatham Street [South]



5 View #4: Chatham Street [North]



FACADE ARTICULATION



INTERNAL COURTYARD LANDSCAPING



STREET WALL ARTICULATION



INTERNAL COURTYARD LANDSCAPING



ARCHITECTURAL FLOURISHES



STREET WALL/ADDRESSING THE STREET



CONTEMPORARY MATERIALITY



PARKADE WAYFINDING



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(CLIENT)

Nicola Herald Limited
Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Concept Imagery

(PROJECT)

19503

(SCALE)

(DATE)

Friday, May 14, 2021

(ISSUE)

Issue 6.0 - DP RESUBMISSION

(DRAWING)

A-0.204

658 HERALD STREET



648 HERALD STREET



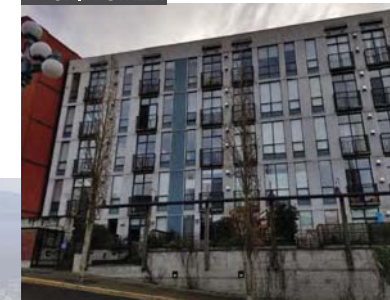
613 HERALD STREET



625 FISGARD STREET



409 SWIFT STREET



1802 GOVERNMENT STREET



555 CHATHAM STREET



IRONWORKS 5 STOREY [MIXED USE]



UNION 5 STOREY [MIXED USE] - PANDORA & FISGARD STREETS

iA

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NICOLA WEALTH

DENCITI development corp.

LAM ASSOCIATE ARCHITECTS

REGISTERED ARCHITECT (PRACTICE SEAL)

BRITISH COLUMBIA

2021 JUL 14

(CLIENT)

Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

**Urban Context /
Significant &
Mixed-use
Buildings**

19503

(SCALE)

(DATE)

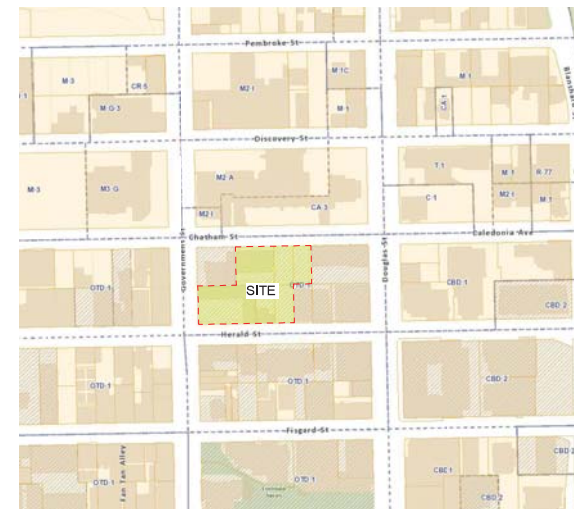
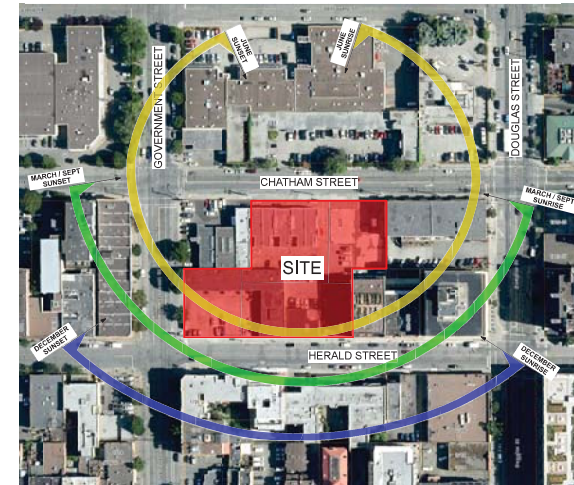
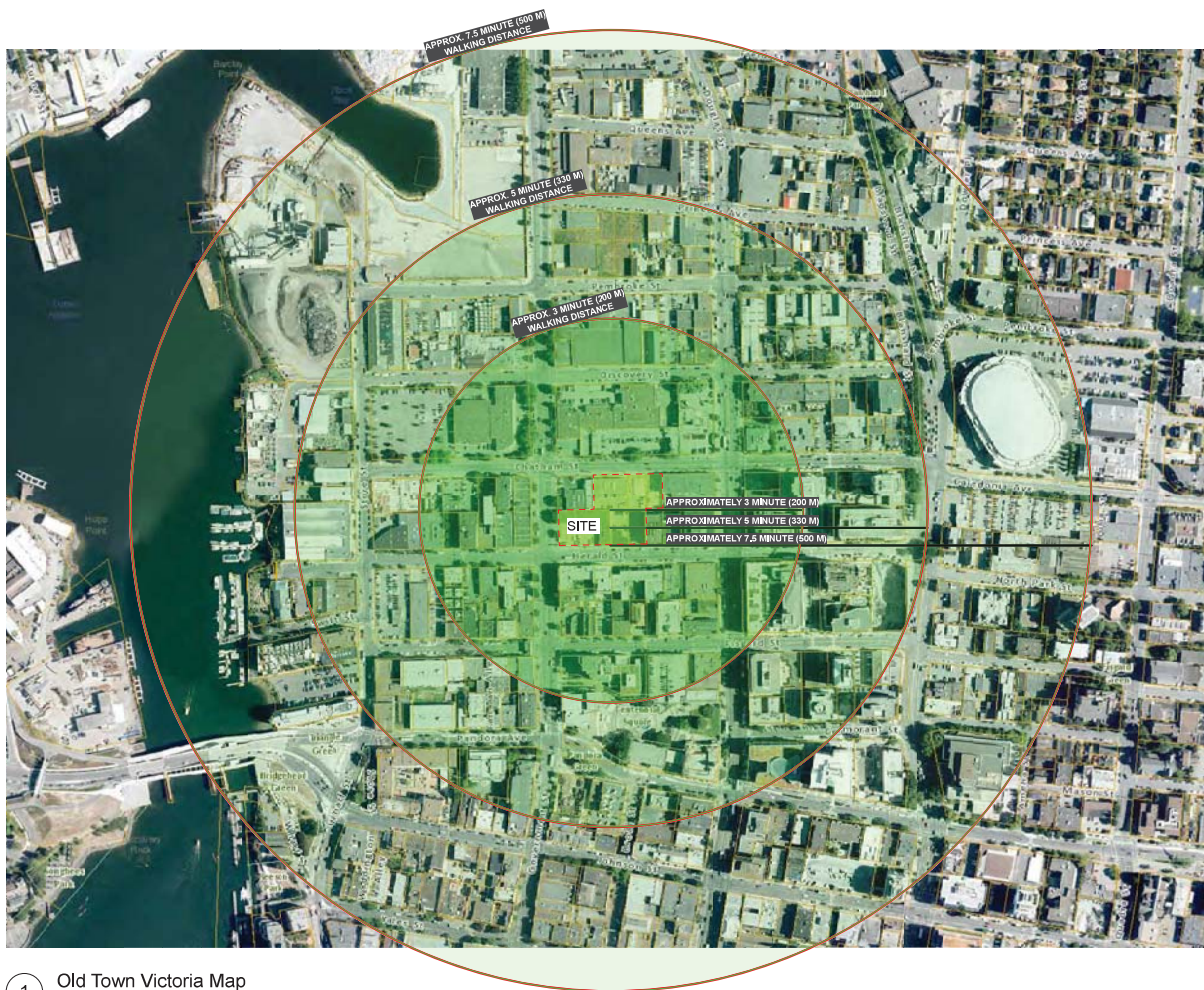
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NICOLA
WEALTH

DENCITI
development corp.



Nicola Herald Limited
Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

BCBC 2018 Code
Summary

(PROJECT)

19503

(SCALE)

(DATE)

Friday, May 14, 2021

(ISSUE)

Issue 6.0 - DP RESUBMISSION

(DRAWING)

A-0.207

Building Code Analysis - Overview - Parkade Building

GENERAL INFORMATION		DESCRIPTION	REFERENCE(S)
1	PROJECT TYPE	<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION	-
2	GOVERNING BUILDING CODE	2018 BC BUILDING CODE, INCLUDING ALL AMENDMENTS	-
3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/>	DIV A-1.3.3
4	MAJOR OCCUPANCY(IES)	A1 <input checked="" type="checkbox"/> A2 <input checked="" type="checkbox"/> A3 <input checked="" type="checkbox"/> A4 <input checked="" type="checkbox"/> B1 <input checked="" type="checkbox"/> B2 <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input checked="" type="checkbox"/> F1 <input checked="" type="checkbox"/> F2 <input checked="" type="checkbox"/> F3 <input checked="" type="checkbox"/>	3.1.2
5	MULTIPLE MAJOR OCCUPANCIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.1.3
6	FIREWALL(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.1.10
7	OCCUPANT LOAD	780	3.1.17
8	BUILDING AREA (m²)	4442	3.1.2
9	GRADE ELEVATION (m, GEODETIC)	20.20 CHATHAM STREET LOBBY FLOOR ELEVATION	3.1.2
10	BUILDING HEIGHT	<input type="checkbox"/> STOREYS ABOVE GRADE PER 3.1.2.1.2, PARKADE (STORAGE GARAGE) CONSIDERED AS A SEPARATE (TWO STOREY) BUILDING FOR PURPOSES OF SUBSECTION 3.2.2. <input type="checkbox"/> STOREYS BELOW GRADE <input type="checkbox"/> STOREYS (BUILDING HEIGHT)	3.1.2.1 & 3.2.1.2
11	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.4.1(i)
12	AUTOMATIC SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.2.50 & 3.2.5.12
13	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2
14	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2
15	NUMBER OF STREETS FACING	1 STREET(S) FACING	3.2.2.10
16	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A DIRECT ACCESS VIA STAIRWAY	3.2.5.2
17	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6
18	ROOF ACCESS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.3
19	STANDPIPE SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.8
20	LIGHTING AND EMERGENCY POWER	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.7
21	EMERGENCY GENERATOR	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.7
22	ACCESS FOR PERSONS W/ DISABILITIES	<input type="checkbox"/> YES <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.8.2
23	ALTERNATE SOLUTIONS REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	-
CONSTRUCTION CLASSIFICATION (PARKADE)		GROUP 3, DIVISION 3, UP TO 4 STOREYS, SPRINKLERED	3.2.2.50
24	CONSTRUCTION TYPE(S)	COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A NON-COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	
25	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS) <input type="checkbox"/> FLOOR <input type="checkbox"/> MEZZANINE <input checked="" type="checkbox"/> ROOF	LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY. ROOF TO BE PROVIDED WITH 2 H.R. F.R.R. FIRE SEPARATION REQUIREMENTS WAIVED.
26	BUILDING HEIGHT (IN STOREYS)	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED	
27	BUILDING AREA (m²)	7,280 MAXIMUM 4,482 PROPOSED	

Building Code Analysis - Overview - Mixed Use Buildings "Herald Street - Building #2"

GENERAL INFORMATION		DESCRIPTION	REFERENCE(S)
1	PROJECT TYPE	<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION	-
2	GOVERNING BUILDING CODE	2018 BC BUILDING CODE, INCLUDING ALL AMENDMENTS	-
3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/>	DIV A-1.3.3
4	MAJOR OCCUPANCY(IES)	A1 <input checked="" type="checkbox"/> A2 <input checked="" type="checkbox"/> A3 <input checked="" type="checkbox"/> A4 <input checked="" type="checkbox"/> B1 <input checked="" type="checkbox"/> B2 <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input checked="" type="checkbox"/> F1 <input checked="" type="checkbox"/> F2 <input checked="" type="checkbox"/> F3 <input checked="" type="checkbox"/>	3.1.2
5	MULTIPLE MAJOR OCCUPANCIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO - RESIDENTIAL (GROUP "C" MAJOR OCCUPANCY) PER 3.2.2.7, FOR MAJOR OCCUPANCIES LOCATED ENTIRELY ABOVE <input checked="" type="checkbox"/> FIRE SEPARATION OTHERS, SUBSECTION 3.2.2, REQUIREMENTS TO APPLY TO THAT PORTION ONLY. RESIDENTIAL STOREYS MAY NOT BE COMBUSTIBLE CONSTRUCTION.	3.1.3 & 3.2.2.6 & 3.2.2.7
6	FIREWALL(S)	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.1.10
7	OCCUPANT LOAD	780 BUILDING "Herald East" 780 BUILDING "Herald West"	3.1.17
8	BUILDING AREA (m²)	1008 BUILDING "Herald East" 1335 BUILDING "Herald West"	3.1.2
9	GRADE ELEVATION (m, GEODETIC)	412.280 BUILDING "Herald East" 410.20 BUILDING "Herald West"	3.1.2
10	BUILDING HEIGHT	5 STOREYS ABOVE GRADE 5 STOREYS ABOVE GRADE 4 STOREYS BELOW GRADE 4 STOREYS BELOW GRADE 5 STOREYS (BUILDING "Herald East" HEIGHT) 5 STOREYS (BUILDING "Herald West" HEIGHT) PER 3.1.2.1.2, PARKADE (STORAGE GARAGE) CONSIDERED AS A SEPARATE (TWO STOREY) BUILDING FOR PURPOSES OF SUBSECTION 3.2.2.	3.1.2.1 & 3.2.1.2
11	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.4.1(i)
12	AUTOMATIC SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.2.50 & 3.2.2.56 & 3.2.2.62 & 3.2.5.12
13	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2
14	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2
15	NUMBER OF STREETS FACING	2 STREET(S) FACING	3.2.2.10
16	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A TO PRINCIPAL ENTRANCE BLDG. FACE	3.2.5.4
17	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6
18	ROOF ACCESS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.3
19	STANDPIPE SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.8
20	LIGHTING AND EMERGENCY POWER	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.7
21	EMERGENCY GENERATOR	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.7
22	ACCESS FOR PERSONS W/ DISABILITIES	<input type="checkbox"/> YES <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.8.2
23	ALTERNATE SOLUTIONS REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	-
CONSTRUCTION CLASSIFICATION (RESIDENTIAL)		GROUP C, UP TO 5 STOREYS, SPRINKLERED (COVERING AT RESIDENTIAL AND ROOFTOP LEVELS)	3.2.2.10
24	CONSTRUCTION TYPE(S)	COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A NON-COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	
25	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS) <input checked="" type="checkbox"/> FLOOR <input checked="" type="checkbox"/> MEZZANINE <input type="checkbox"/> ROOF	LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY
26	BUILDING HEIGHT (IN STOREYS)	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED	
27	BUILDING AREA (m²)	1,900 MAXIMUM 1008 PROPOSED ("Herald East") 1335 PROPOSED ("Herald West")	
CONSTRUCTION CLASSIFICATION (BUSINESS & PERSONAL SERVICES)		GROUP D, UP TO 6 STOREYS, SPRINKLERED	3.2.2.36
28	CONSTRUCTION TYPE(S)	COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A NON-COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	
29	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS) <input type="checkbox"/> FLOOR <input type="checkbox"/> MEZZANINE <input type="checkbox"/> ROOF	LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY
30	BUILDING HEIGHT (IN STOREYS)	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED	
31	BUILDING AREA (m²)	1,900 MAXIMUM 1008 PROPOSED ("Herald East") 1335 PROPOSED ("Herald West")	
CONSTRUCTION CLASSIFICATION (LIVE/WORK)		GROUP E, ANY HEIGHT, ANY AREA, SPRINKLERED (COVERING AT LIVE/WORK LEVELS)	3.2.2.62
32	CONSTRUCTION TYPE(S)	COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A NON-COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A	
33	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS) <input type="checkbox"/> FLOOR <input type="checkbox"/> MEZZANINE <input type="checkbox"/> ROOF	LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY
34	BUILDING HEIGHT (IN STOREYS)	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED	
35	BUILDING AREA (m²)	1,900 MAXIMUM 1008 PROPOSED ("Herald East") 1335 PROPOSED ("Herald West")	

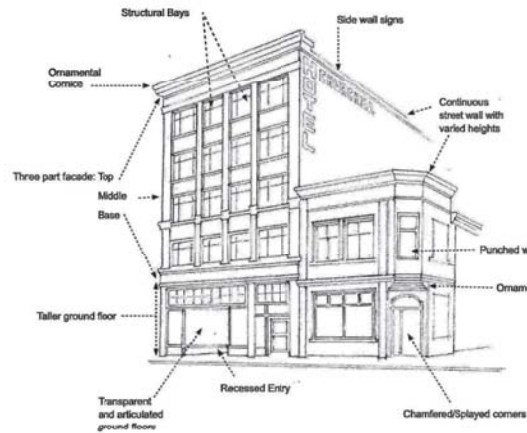
Building Code Analysis - Overview - Residential Buildings "Chatham - Building #1"

GENERAL INFORMATION		DESCRIPTION	REFERENCE(S)
1	PROJECT TYPE	<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION	-
2	GOVERNING BUILDING CODE	2018 BC BUILDING CODE, INCLUDING ALL AMENDMENTS	-
3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A <input checked="" type="checkbox"/> B <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/>	DIV A-1.3.3
4	MAJOR OCCUPANCY(IES)	A1 <input checked="" type="checkbox"/> A2 <input checked="" type="checkbox"/> A3 <input checked="" type="checkbox"/> A4 <input checked="" type="checkbox"/> B1 <input checked="" type="checkbox"/> B2 <input checked="" type="checkbox"/> C <input checked="" type="checkbox"/> D <input checked="" type="checkbox"/> E <input checked="" type="checkbox"/> F1 <input checked="" type="checkbox"/> F2 <input checked="" type="checkbox"/> F3 <input checked="" type="checkbox"/>	3.1.2
5	MULTIPLE MAJOR OCCUPANCIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.1.3
6	FIREWALL(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.1.10
7	OCCUPANT LOAD	780 BUILDING "Chatham"	3.1.17
8	BUILDING AREA (m²)	1806 BUILDING "Chatham"	3.1.2
9	GRADE ELEVATION (m, GEODETIC)	416.50 BUILDING "Chatham"	3.1.2
10	BUILDING HEIGHT	2 STOREYS ABOVE GRADE <input type="checkbox"/> STOREYS ABOVE GRADE 2 STOREYS BELOW GRADE <input type="checkbox"/> STOREYS BELOW GRADE 2 STOREYS (BUILDING "Chatham" HEIGHT) <input type="checkbox"/> STOREYS (BUILDING "Chatham" HEIGHT) PER 3.1.2.1.2, PARKADE (STORAGE GARAGE) CONSIDERED AS A SEPARATE (TWO STOREY) BUILDING FOR PURPOSES OF SUBSECTION 3.2.2.	3.1.2.1 & 3.2.1.2
11	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.4.1(i)
12	AUTOMATIC SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.2.52 & 3.2.5.12
13	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2
14	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.8.2
15	NUMBER OF STREETS FACING	1 STREET(S) FACING	3.2.2.10
16	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A TO PRINCIPAL ENTRANCE BLDG. FACE	3.2.5.4
17	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6
18	ROOF ACCESS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.3
19	STANDPIPE SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.5.8
20	LIGHTING AND EMERGENCY POWER	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.2.7
21	EMERGENCY GENERATOR	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.7
22	ACCESS FOR PERSONS W/ DISABILITIES	<input type="checkbox"/> YES <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A	3.8.2
23	ALTERNATE SOLUTIONS REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	-
CONSTRUCTION CLASSIFICATION (RESIDENTIAL)		GROUP C, UP TO 5 STOREYS, SPRINKLERED	3.2.2.10
24	CONSTRUCTION TYPE(S)	COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A NON-COMBUSTIBLE <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	
25	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS) <input type="checkbox"/> FLOOR <input type="checkbox"/> MEZZANINE <input type="checkbox"/> ROOF	LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY. PER 3.2.2.52(i) & (ii), FLOOR F.R.R. AND FIRE SEPARATION REQUIREMENTS WAIVED.
26	BUILDING HEIGHT (IN STOREYS)	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED	
27	BUILDING AREA (m²)	1,806 MAXIMUM 1806 PROPOSED ("Chatham")	

DESIGN RATIONALE

- Along all street frontages a strong street wall has been maintained in keeping with the local context of Victoria's Chinatown and Old Town neighbourhoods.
- Along the Facades the design has integrated vertical and horizontal facade articulation through the use of block recesses spaced in such a way to reference the existing 60' lots, however a review of the historical maps of this block has influenced the design to better reflect the neighbourhood and provides a more authentic response.
- Each of the building 'blocks' are broken down vertically into a top, middle and base in several different visual ways to reflect both the historic context as well as a modern reinterpretation of that context.
- Depth and vertical breaks are created through the use of repeating, recessed facades with balcony elements between the positive street-wall blocks, accentuated with parapets and cornice. These recesses help to accentuate the variation in the roof line from the pedestrian level, reduce the scale and mass of the building, and offer some relief to the pedestrian along the street edge in the form of 'eddies' where people can linger, sit, access retail, etc.
- Each street-wall 'block' is treated slightly differently in materiality and detail. This approach is intended to give a sense that the building is a series of buildings developed incrementally over time, while maintaining a sense of visual unity/continuity as one building.
- To minimize visual clutter on the building commercial tenants will be able to utilize the canvas awnings for each CRU's signage. This is consistent with other signage treatment in the area.
- To maintain the Old Town feel the parkade entry is accessed from Chatham St, and integrated into the CRU facade design.
- The chosen material palette both reflects the context as well as the requirements for quality materials that last and age well. For the Herald & Government facades, the majority of visual weight is made up with the masonry facade with the secondary material of cementitious panels. On the Chatham facade will be a masonry base with a primary corrugated metal element with cementitious panel infill material.
- Similar to many local instances, the design team proposes creating entry lobbies to the residential buildings that read more as enclosed courtyards, allowing the feature street paving to merge into the building, blurring the street edge and enhancing the building's contextual fit.
- The 5 storey form is appropriate and fits the local context (equivalently scaled 5 and 6 buildings occupy the South side of Herald Street) while allowing the undulating streetscape when taking the larger view East along Herald and Chatham.

Old Town – Character Defining Elements



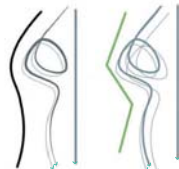
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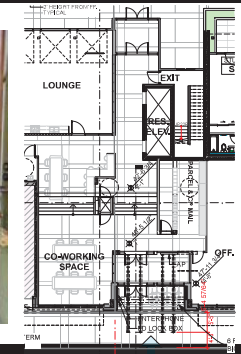
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EDDIES AND FLOW IN THE URBAN CONTEXT



LOBBY INSPIRATION



NICOLA WEALTH

DENCITI development corp.

LAMB ASSOCIATE ARCHITECTS

BRITISH COLUMBIA

VARIATION IN THE ROOF LINE IN THE OLD TOWN CONTEXT



Nicola Herald Limited Partnership

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

Design Rationale

19503

Friday, May 14, 2021

Issue 6.0 - DP RESUBMISSION

A-0.208



AVERAGE GRADE CALCULATION:

POINTS A&B: $[9.7+10.3]/2 \times 73.2m$	= 732.00
POINTS B&C: $[10.3+10.6]/2 \times 36.93m$	= 385.92
POINTS C&D: $[10.6+10.5]/2 \times 18.29m$	= 192.96
POINTS D&E: $[10.5+13.2]/2 \times 36.93m$	= 437.62
POINTS E&F: $[13.2+12.0]/2 \times 91.44m$	= 1152.14
POINTS F&G: $[12.0+10.6]/2 \times 36.93m$	= 417.31
POINTS G&H: $[10.6+10.2]/2 \times 36.58m$	= 380.43
POINTS H&A: $[10.2+9.7]/2 \times 36.93m$	= 367.45
	= 4065.83

GRADE CALCULATION:

$4065.83 / 367.23 = 11.07m$ [36'-4"] rounded to nearest 1/2"



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(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

**Survey / Average
Grade Calculation**

19503 (PROJECT)

(SCALE)

(DATE)

Friday, May 14, 2021 (DATE)

Issue 6.0 - DP RESUBMISSION (ISSUE)

(DRAWING)

A-1.100

PROJECT INFORMATION	
Site name (ref)	C17 - 181 St Johns Ave, Trunk Station
Site area (m2)	6,077.48m ²
Total floor area (m2)	6623.29m ²
Concrete area (m2)	193.26m ²
Floor space m2	3,385.1
Roof area m2	412.00m ²
Open site space m2	1.1% (including Council Allowance)
Height of building (m)	21.0m (Parade)
Number of stories	6
Parking spots (number on site)	210
Number of parking spaces (number of lots)	162
Building Setbacks (m)	
Front yard	0
Side yard	0
Side yard (adjacent other side)	0
Back yard (adjacent other side)	0
Continued into yards	0
Permitted Use Details	
Total number of units	270
Unit type, e.g. 1-beds/2-bed	Studio, 1 Bed & 3 Bed
Overall maximum units	270
Minimum unit floor area (m2)	30.27
Overall maximum floor area (m2)	13,680.00



[PROJECT TEA]



CLIENT

Nicola Herald Limited Partnership

PROJECT

Herald & Chatham

610-624 Herald Street & 611-635
Chatham Street Victoria BC

TITLE

Level P1 Parking Plan

19503 [PROJEC

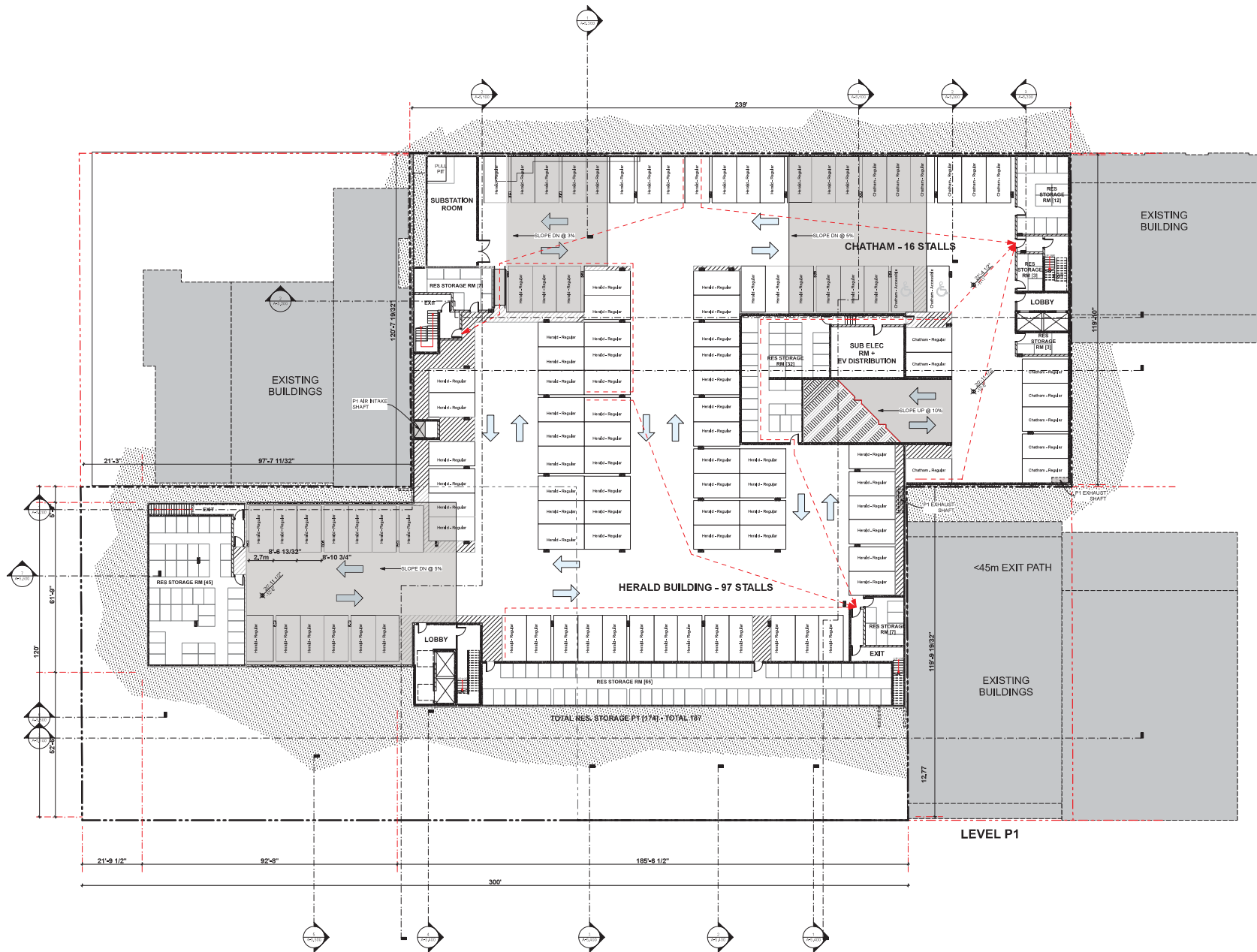
1/16" = 1'-0" [SCALE]

Exhibit: May 14, 2024

Friday, May 14, 2021

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(CLIENT)

Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Partial P1 Parking Plan - North East

19903 (PROJECT)

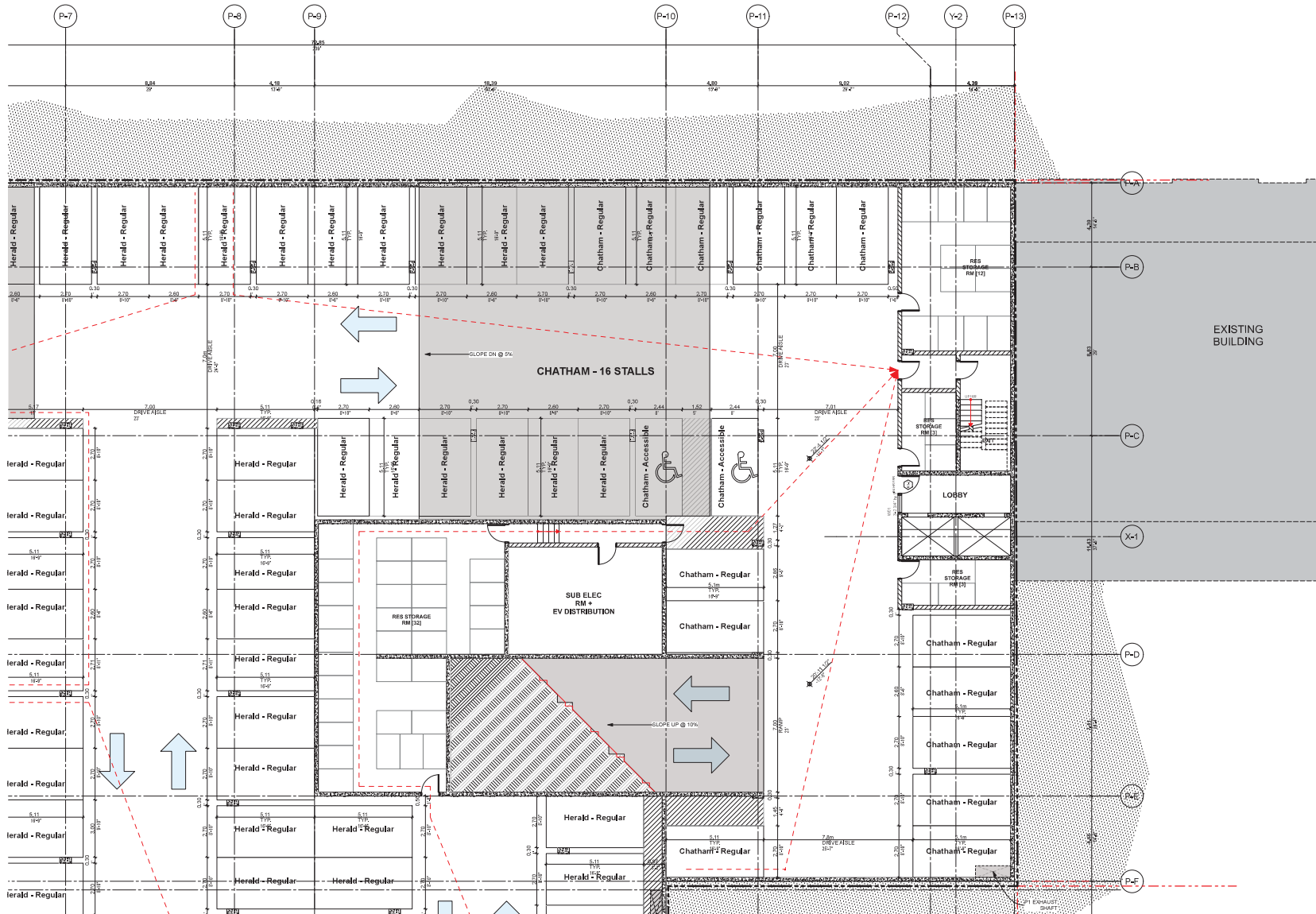
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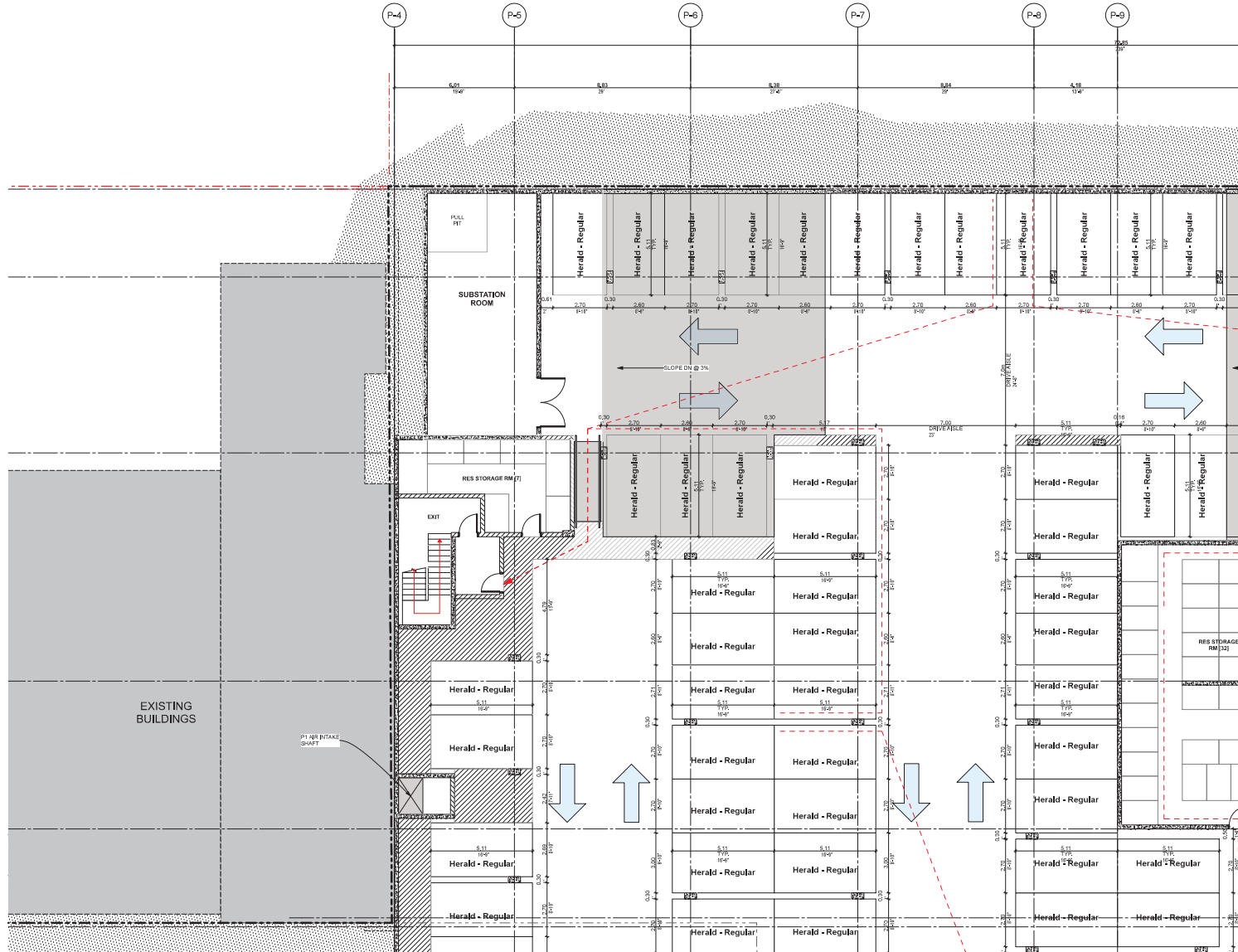
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(DRAWING)

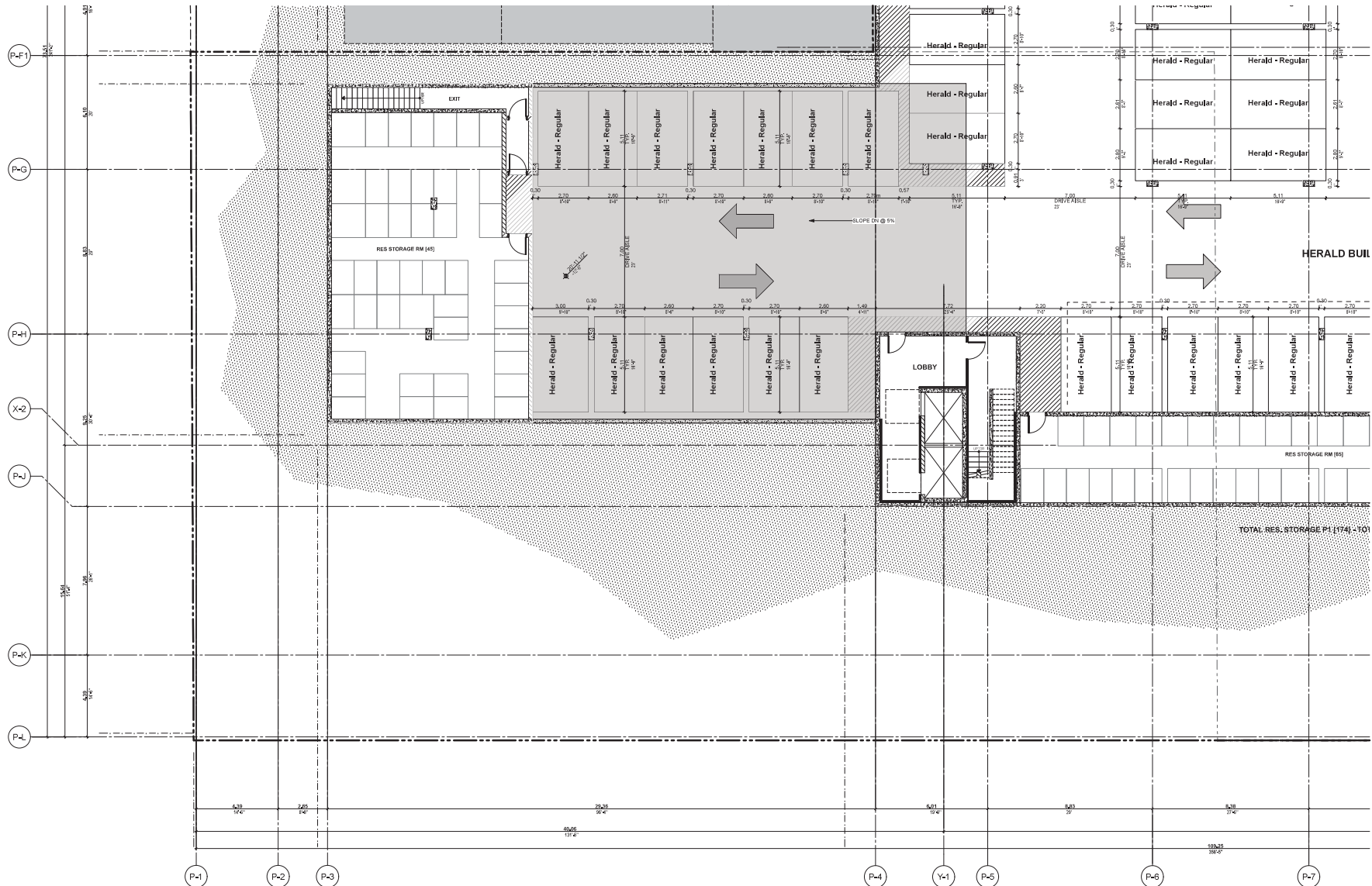
A-2.021



1 PARTIAL P1 PLAN - NORTHEAST
SCALE: 1/8" = 1'-0"



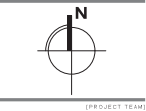
1 PARTIAL P1 PLAN - NORTHWEST
SCALE: 1/8" = 1'-0"



1 PARTIAL P1 PLAN - SOUTHWEST
SCALE: 1/8" = 1'-0"



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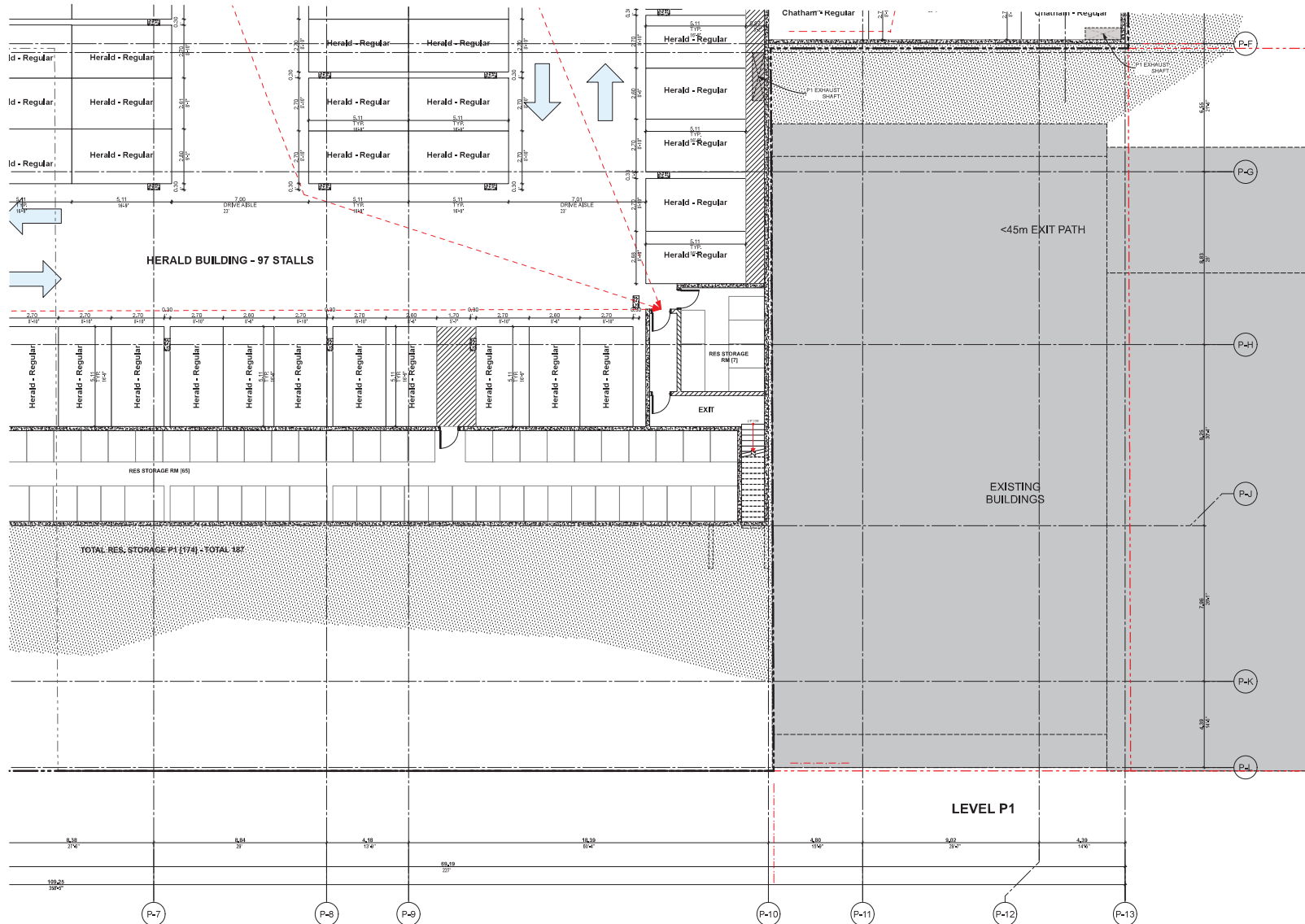
Nicola Herald Limited Partnership
(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

Partial P1 Parking
Plan - South West

19503 (PROJECT)
1/8" = 1'-0" (SCALE)
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A-2.023



1 PARTIAL P1 PLAN - SOUTHEAST
SCALE: 1/8" = 1'-0"



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Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Partial P1 Parking Plan - South East

19503 (PROJECT)

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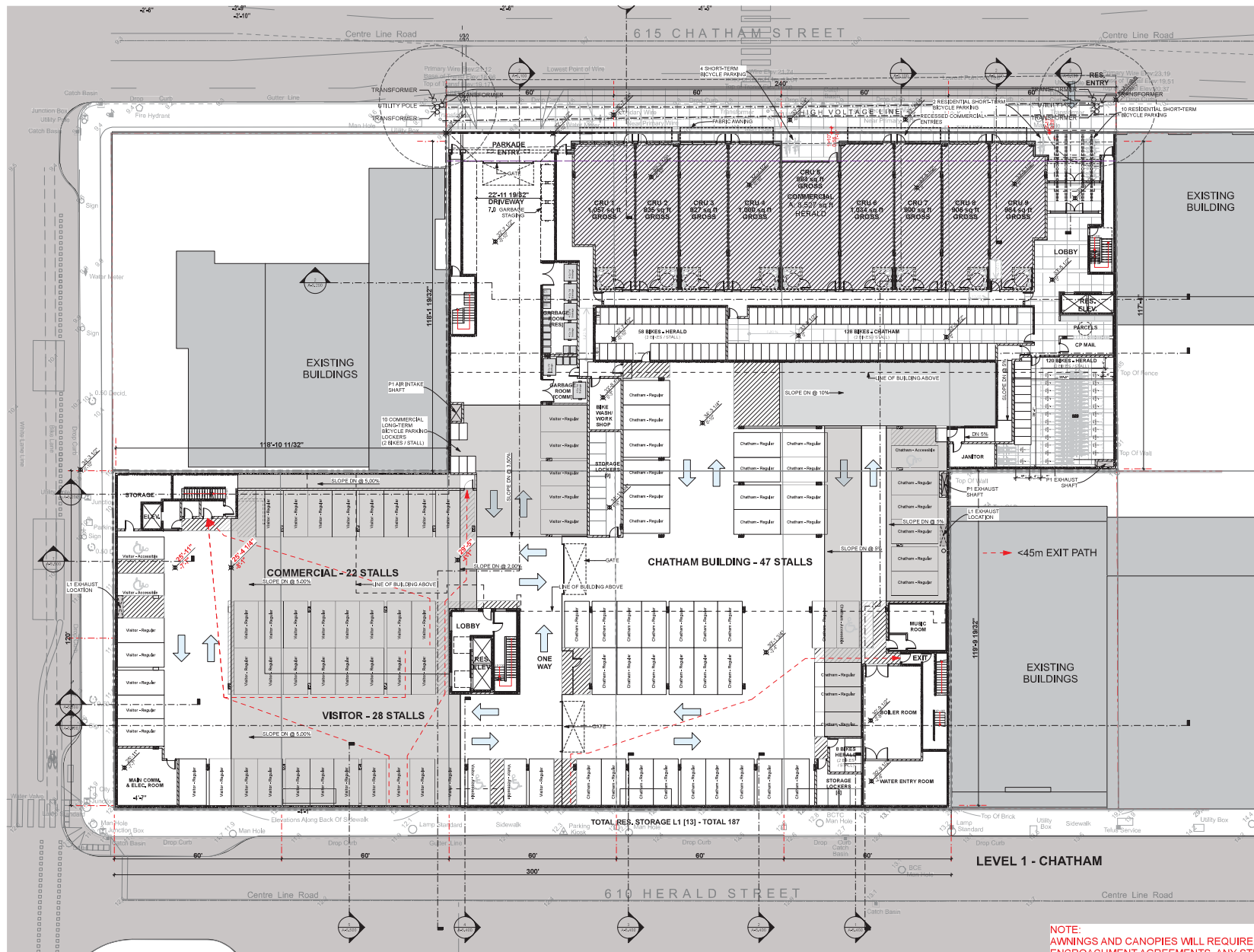
Nicola Herald Limited Partnership
(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

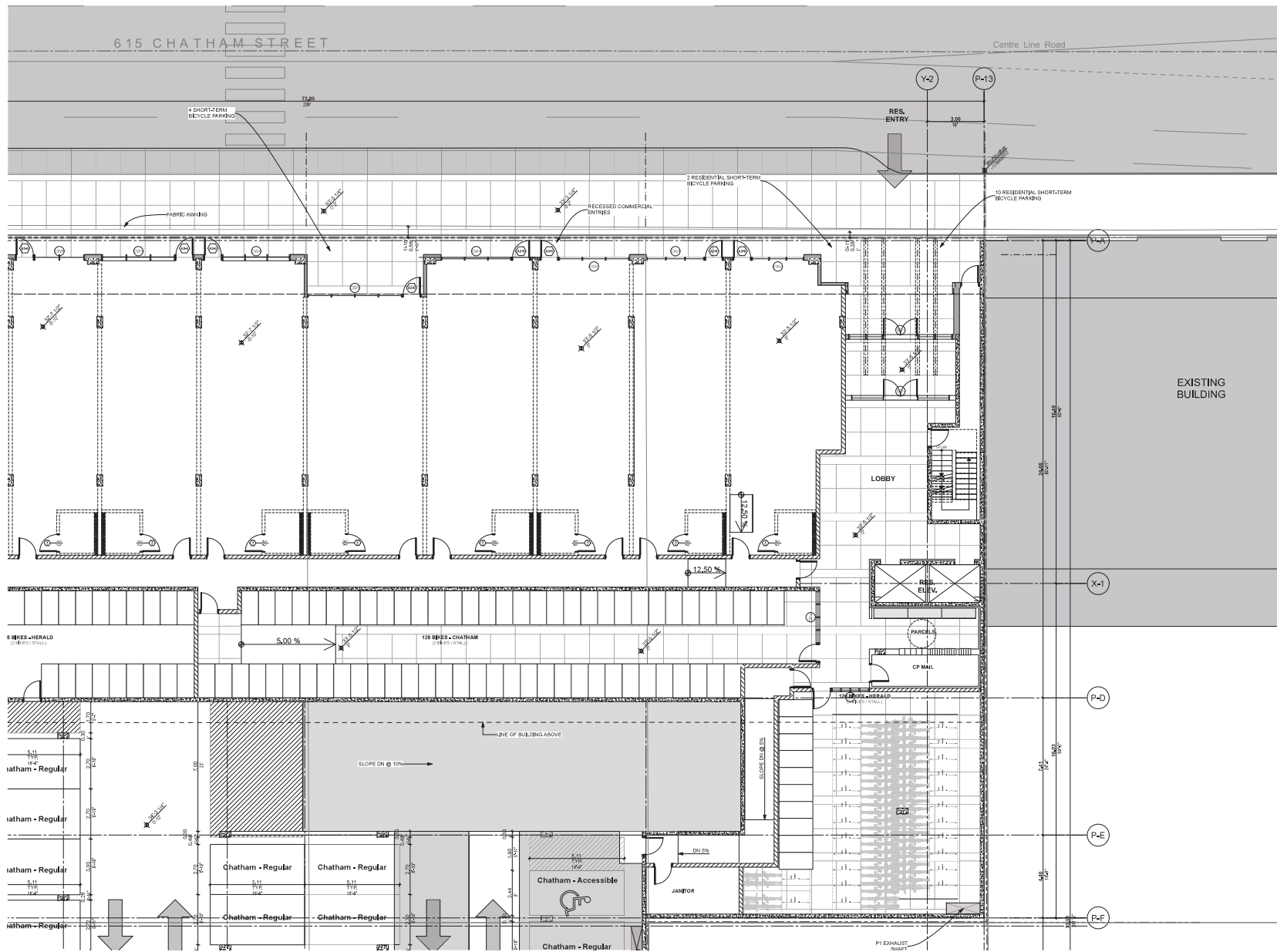
**Level 1 Chatham
St Floor Plan**

19503 (PROJECT)
1/16" = 1'-0" (SCALE)
Friday, May 14, 2021 (DATE)
Issue 6.0 - DP RESUBMISSION (ISSUE)
(DRAWING)

A-2.100



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1 PARTIAL LEVEL 1 PLAN - NORTHEAST

(PROJECT TEAM)



(CLIENT)
 Nicola Herald Limited
 Partnership

(PROJECT)

Herald & Chatham
 610-624 Herald Street & 611-635
 Chatham Street Victoria BC

(TITLE)
**Partial Level 1
 Parking Plan -
 North East**

(PROJECT)

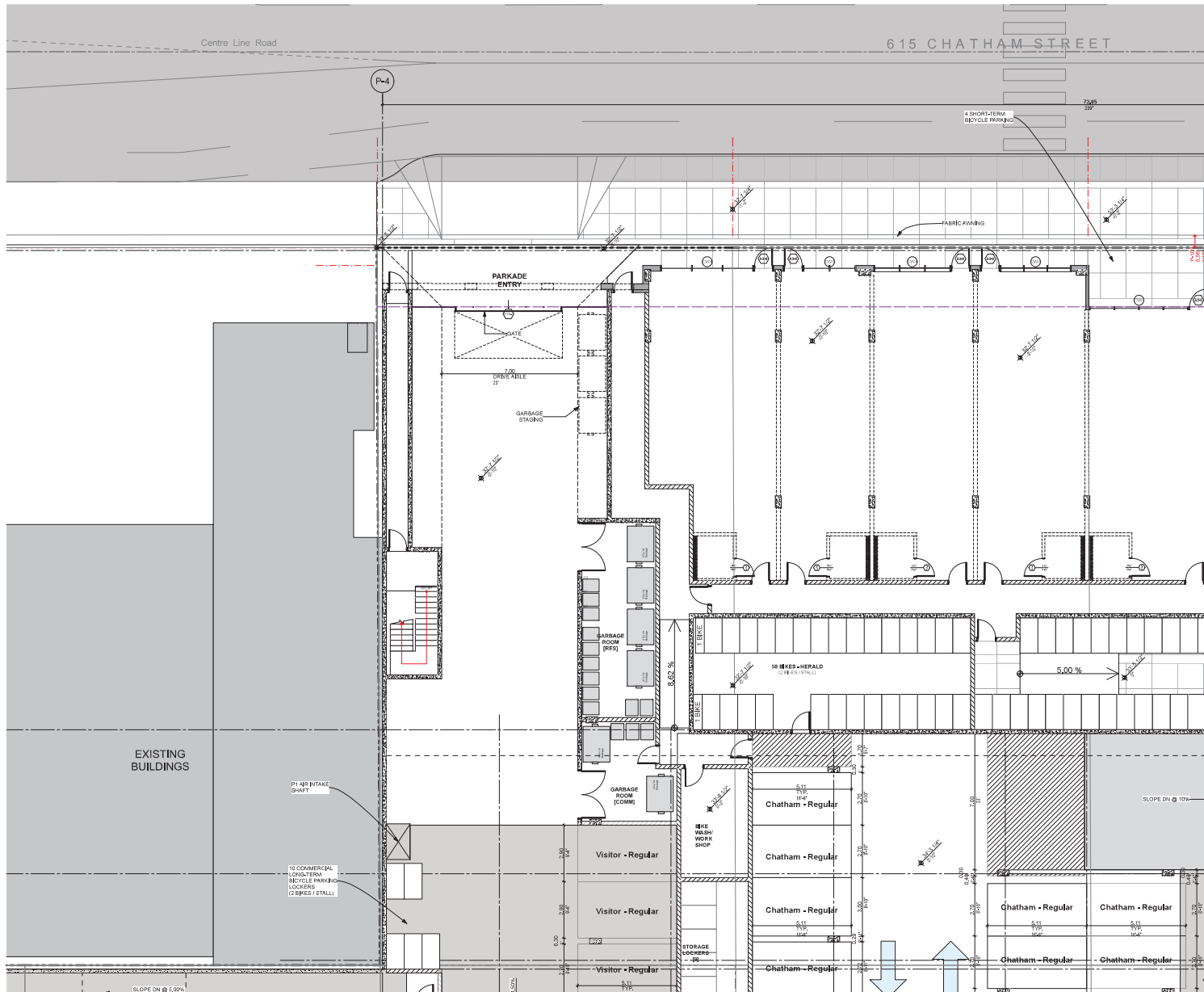
19503 (SCALE)

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A-2.101



1 PARTIAL LEVEL 1 PLAN - NORTHWEST

(PROJECT TEAM)

Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
 610-624 Herald Street & 611-635
 Chatham Street Victoria BC

**Partial Level 1
 Parking Plan -
 North West**

(PROJECT)

19503

1/8" = 1'-0"

(SCALE)

Friday, May 14, 2021

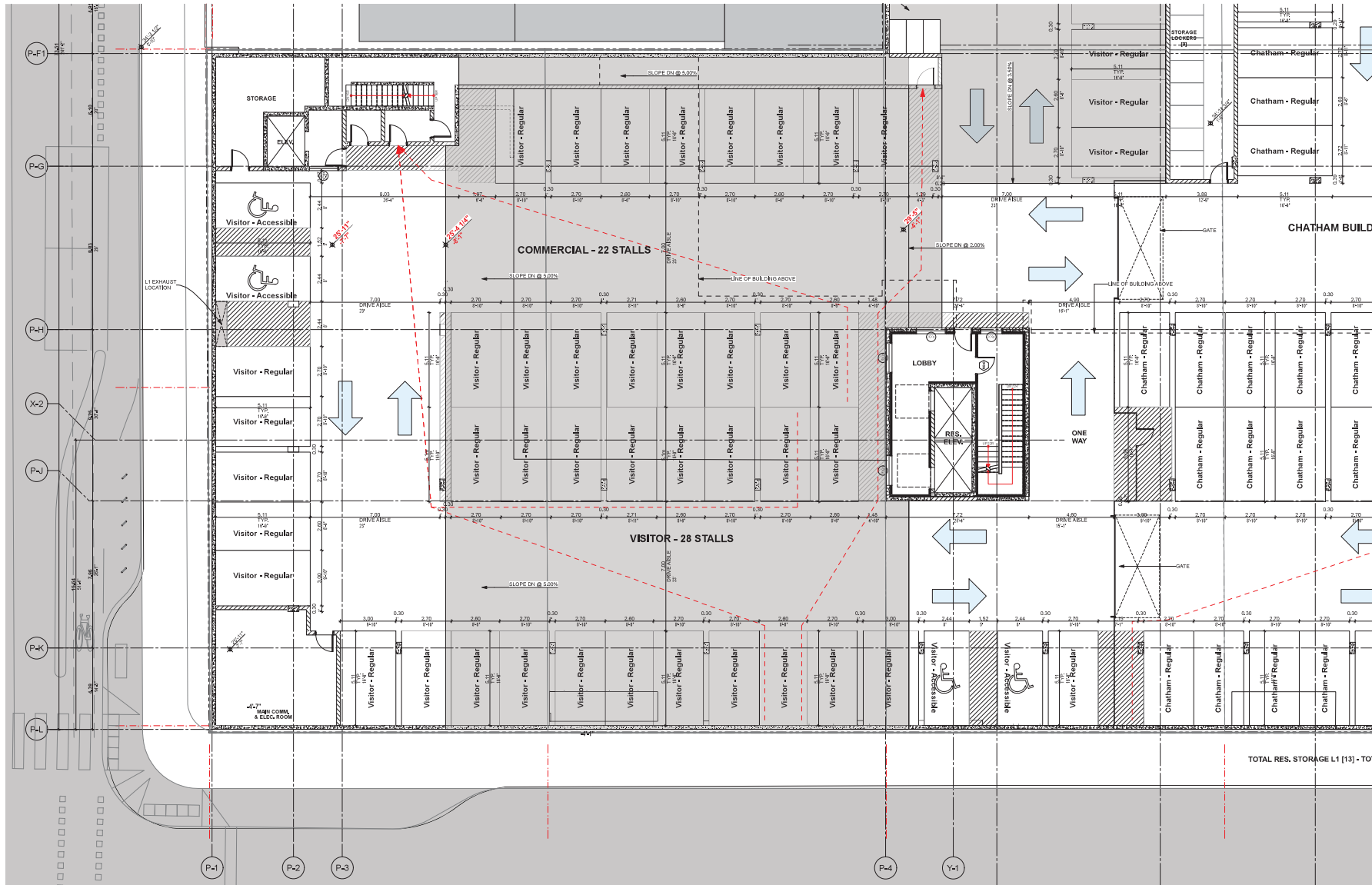
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1 PARTIAL LEVEL 1 PLAN - SOUTHWEST



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Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

**Partial Level 1
Parking Plan -
South West**

19503 (PROJECT)

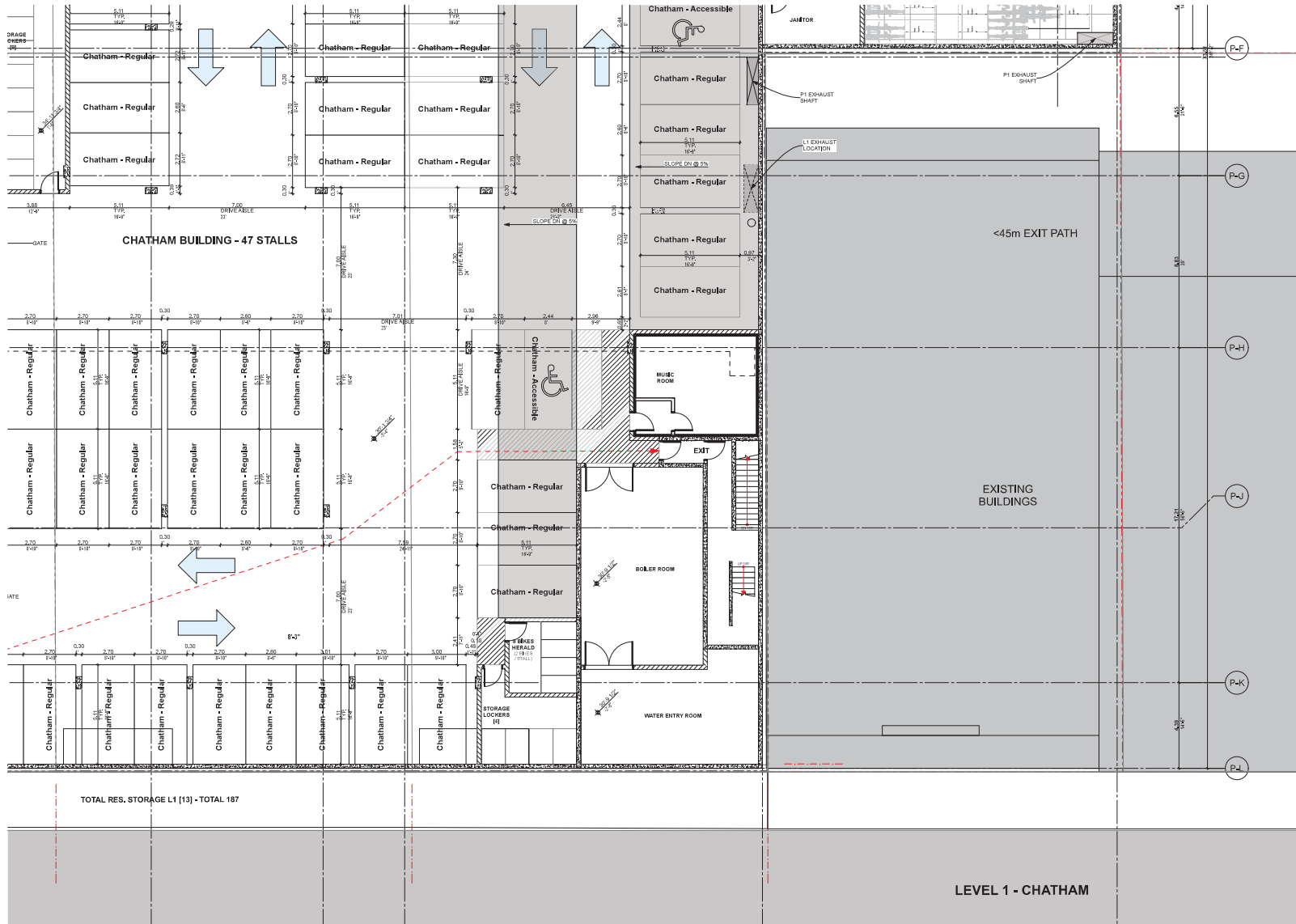
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1 PARTIAL LEVEL 1 PLAN - SOUTHWEST

(PROJECT TEAM)

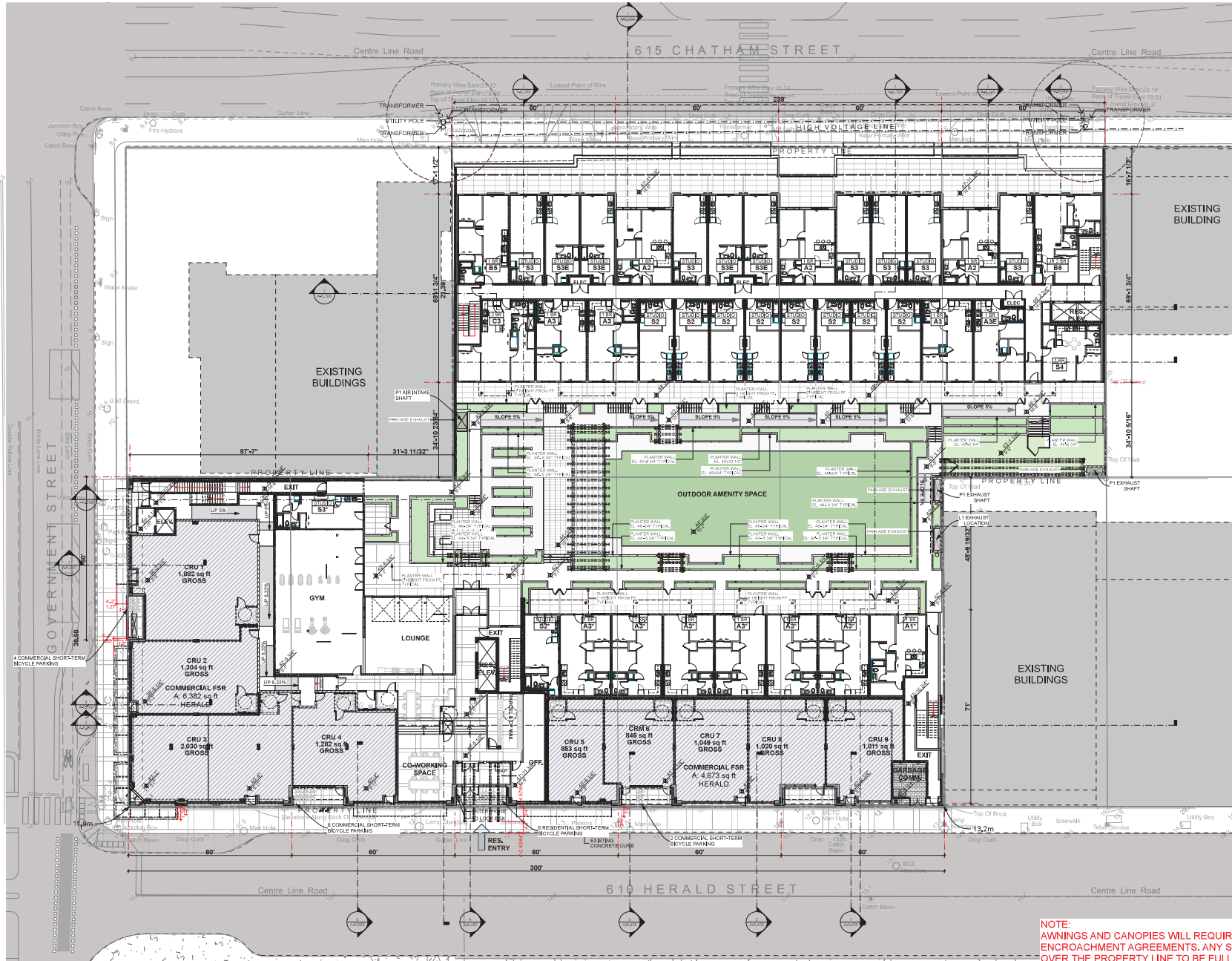
Nicola Herald Limited Partnership
 (PROJECT)

Herald & Chatham
 610-624 Herald Street & 611-635
 Chatham Street Victoria BC

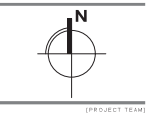
**Partial Level 1
 Parking Plan -
 South East**
 (TITLE)

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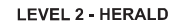


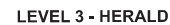
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Chatham Street Victoria BC

Level 1 Herald St Floor Plan

19503 (PROJECT)
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Nicola Herald Limited
Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Level 4 Floor Plan

19503 (PROJECT)

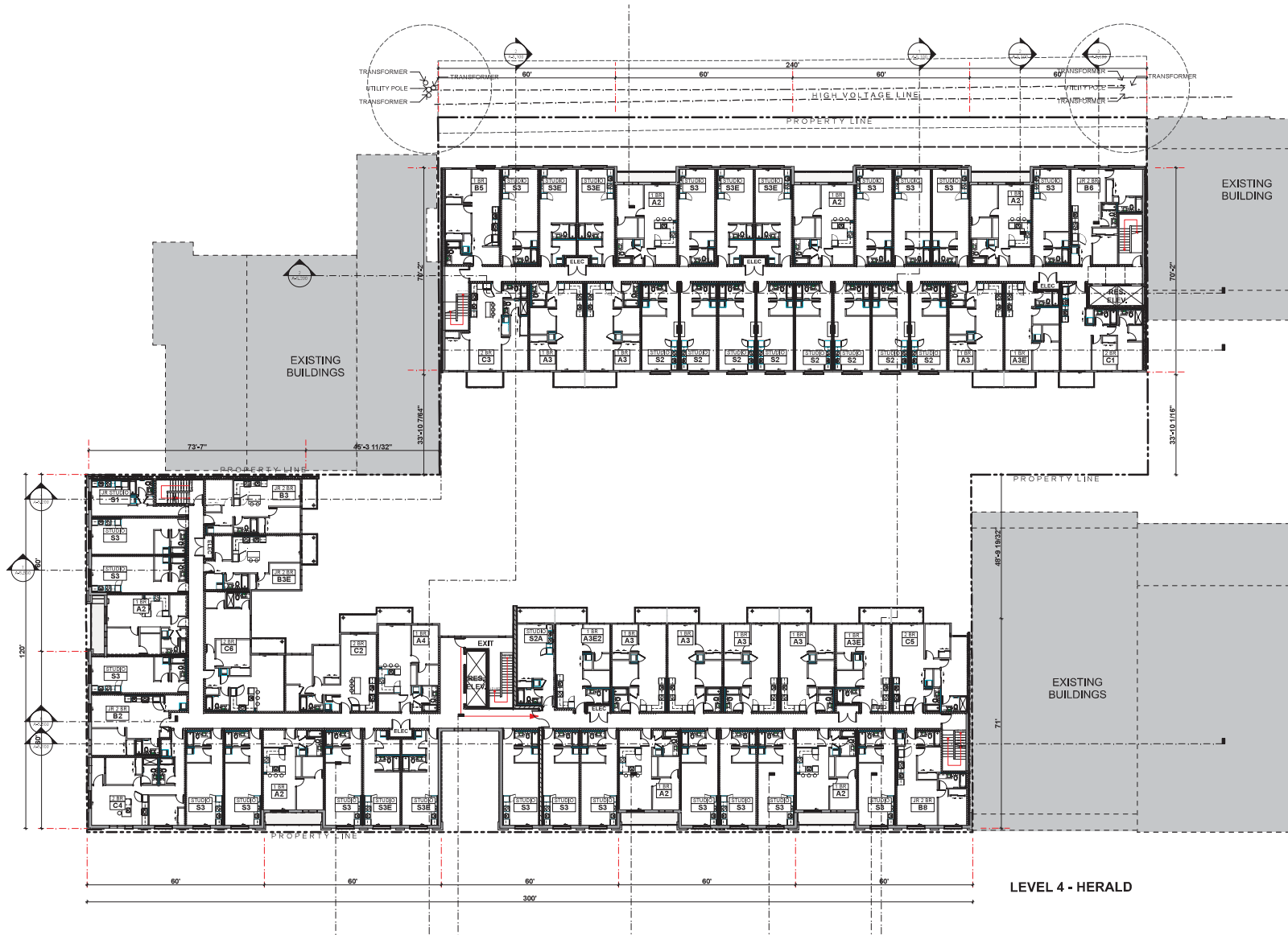
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Friday, May 14, 2021 (DATE)

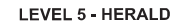
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A-2.500



LEVEL 4 - HERALD





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(CLIENT)

Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

FSR Overlay Level P1 Parking Plan

19503 (PROJECT)

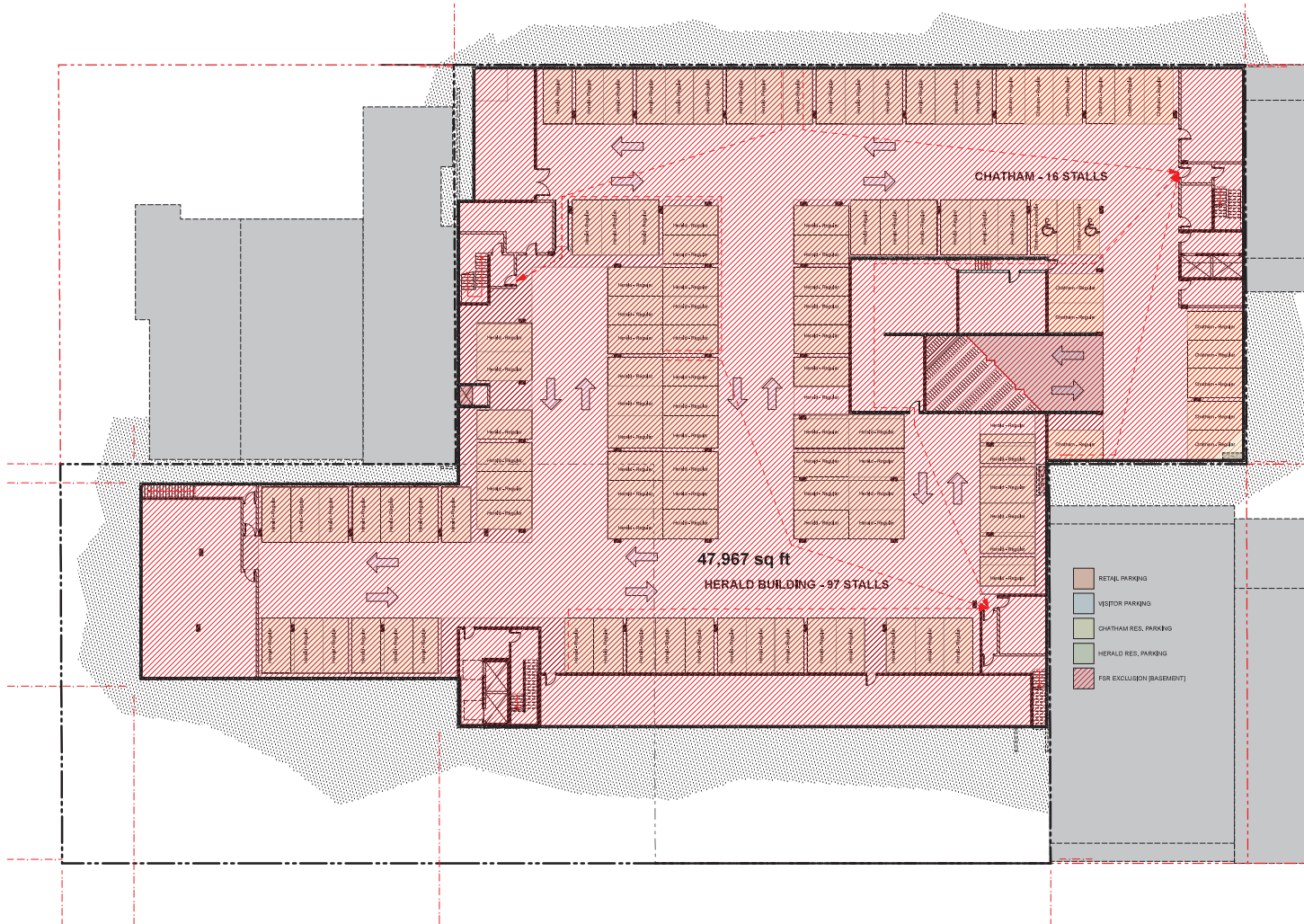
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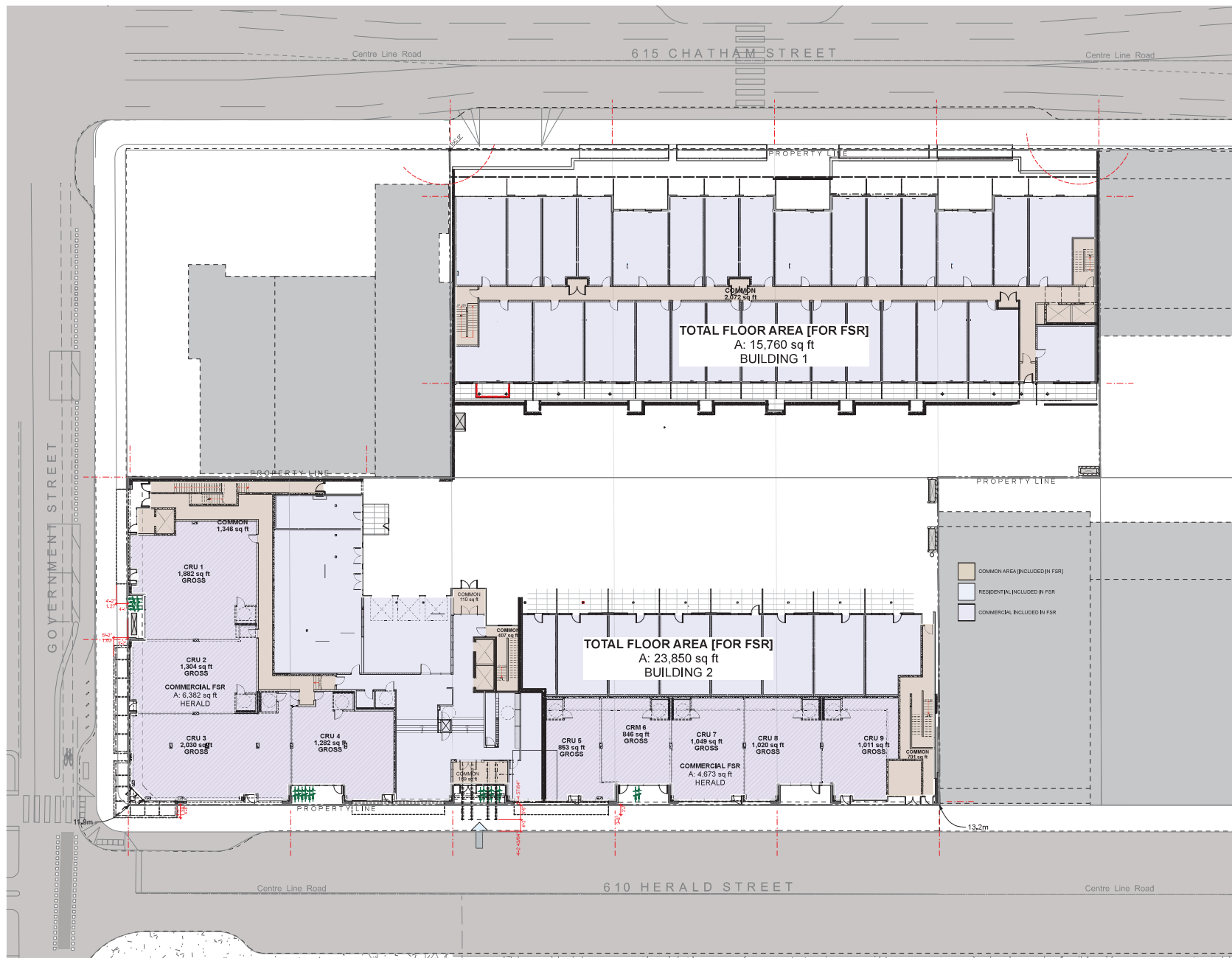
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Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

**FSR Overlay
Level 1 Herald
Floor Plan**

19503 (PROJECT)

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Friday, May 14, 2021 (DATE)

Issue 6.0 - DP RESUBMISSION (REVISION)

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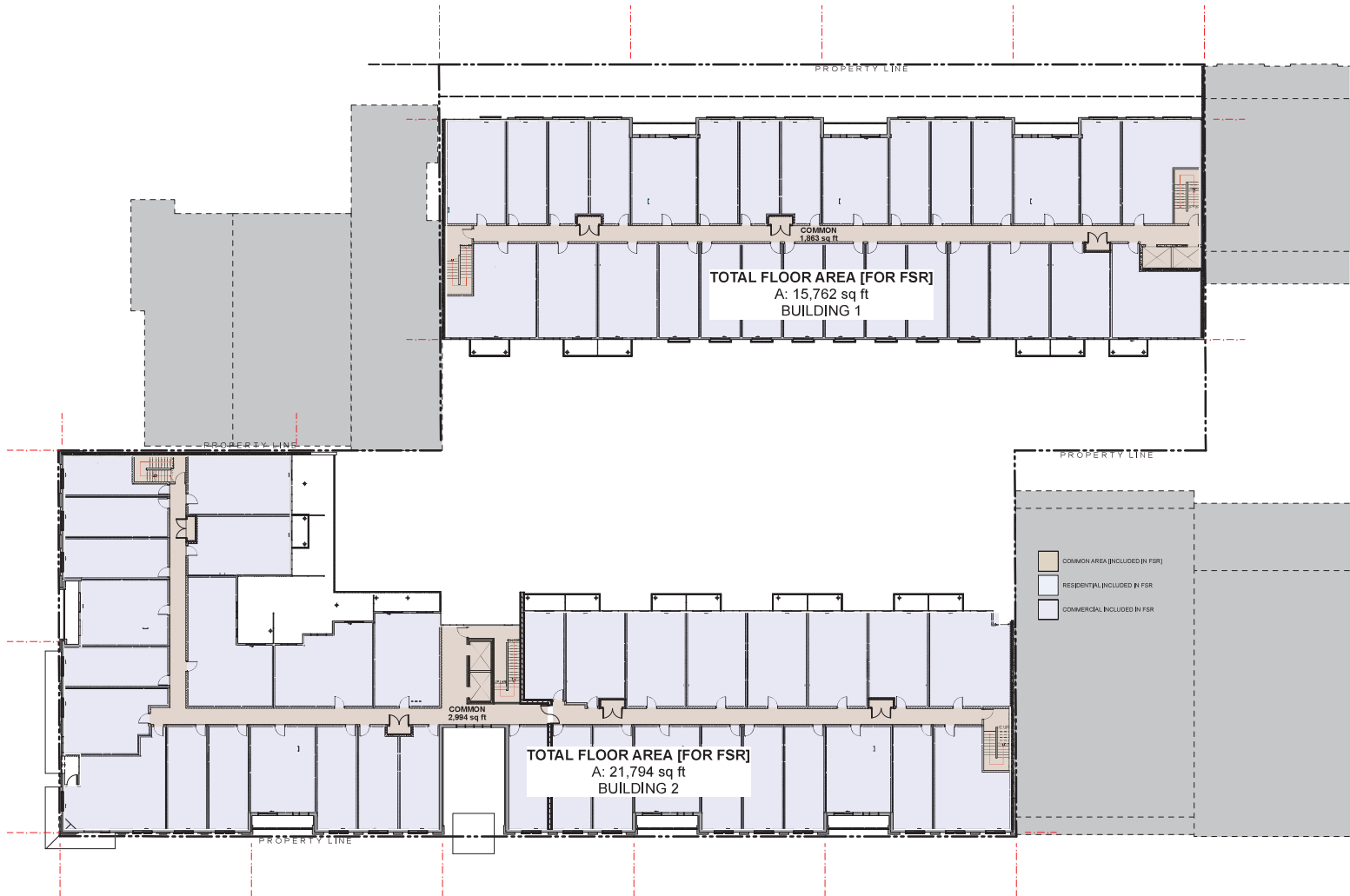
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(CLIENT)

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(PROJECT)

Herald & Chatham
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Chatham Street Victoria BC

(TITLE)

FSR Overlay Level 2 Floor Plan

19503 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 14, 2021 (DATE)

Issue 6.0 - DP RESUBMISSION (ISSUE)

(DRAWING)

A-2.300



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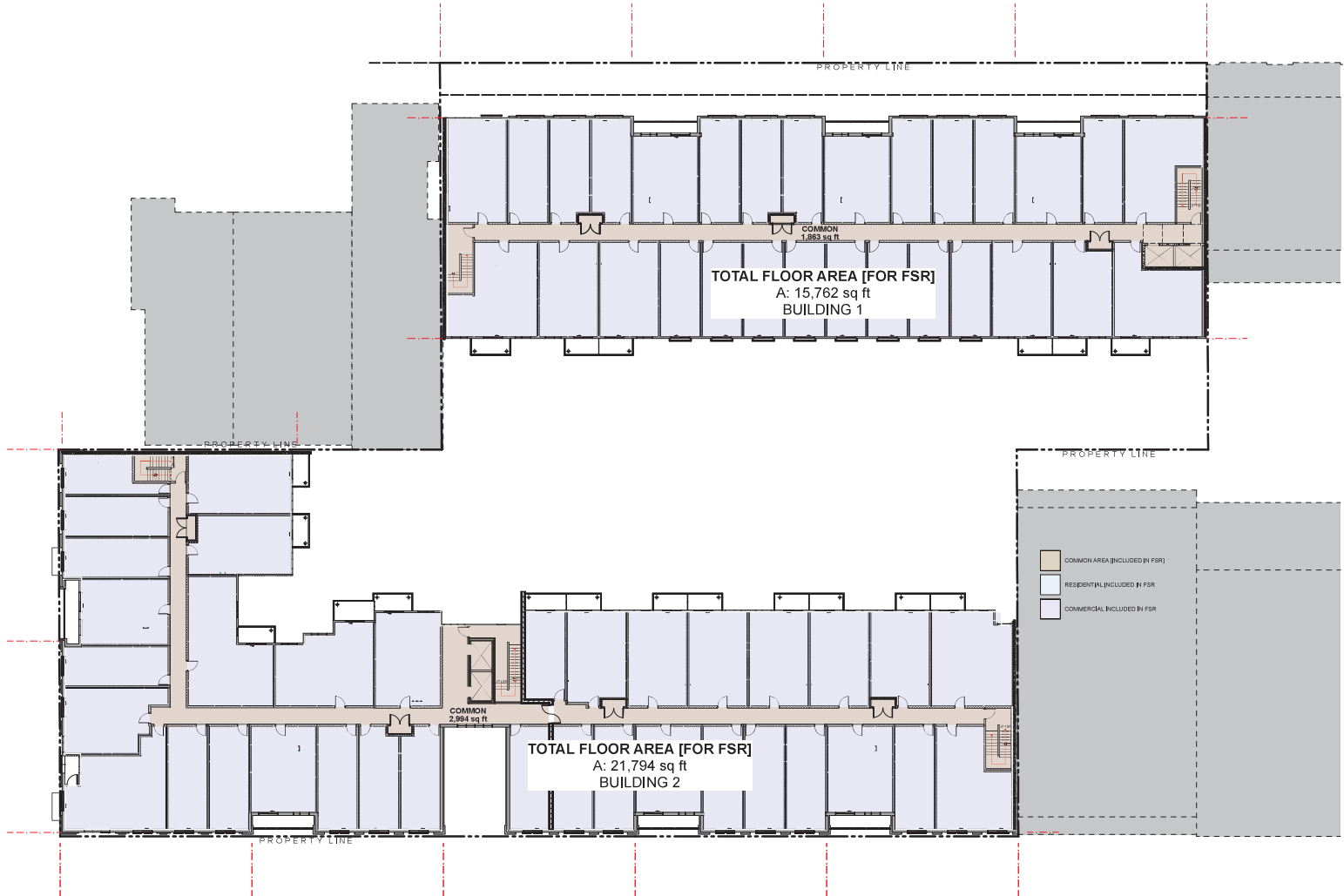
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(PROJECT TEAM)



(CLIENT)

Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

FSR Overlay Level 3 Floor Plan

19503 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 14, 2021 (DATE)

Issue 6.0 - DP RESUBMISSION (ISSUE)

(DRAWING)

A-2.400



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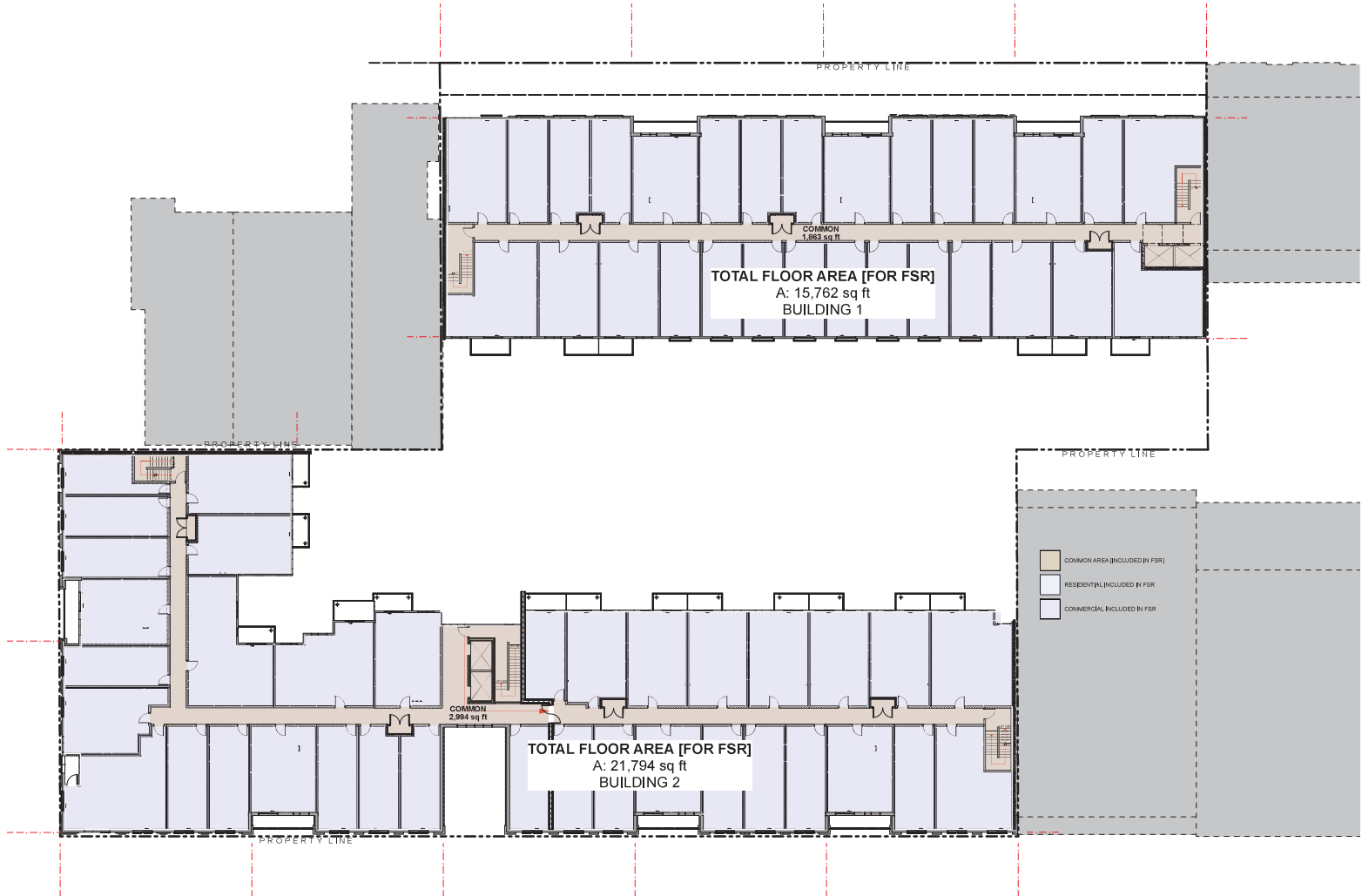
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(CLIENT)

Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

FSR Overlay Level 4 Floor Plan

19503 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 14, 2021 (DATE)

Issue 6.0 - DP RESUBMISSION (ISSUE)

(DRAWING)

A-2.500



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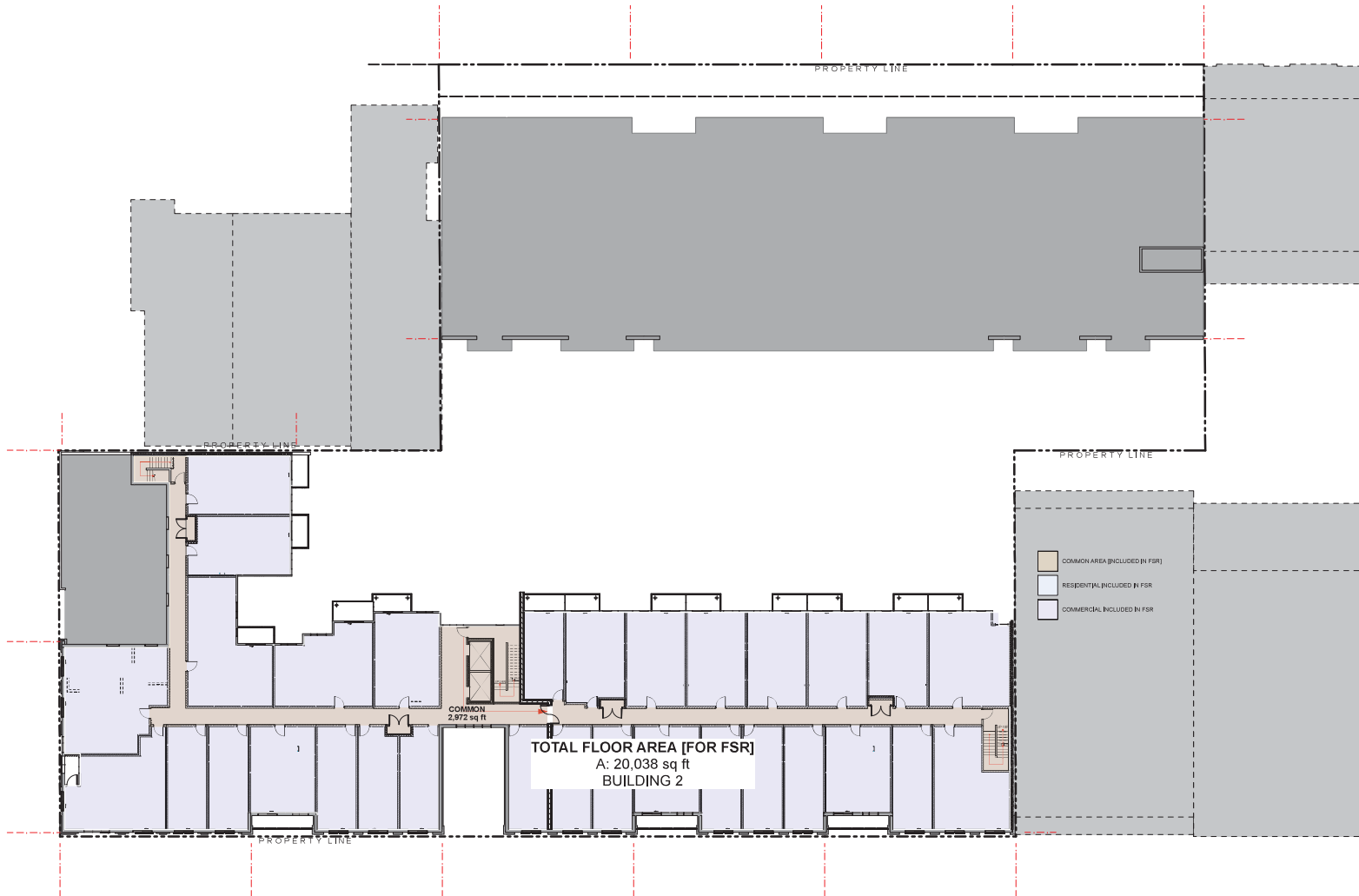
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NICOLA
WEALTH

DENCITI
development corp.

LAM ASSOCIATE ARCHITECTS



(CLIENT)

**Nicola Herald Limited
Partnership**

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

**FSR Overlay
Level 5 Floor Plan**

19503 (PROJECT)

1/16" = 1'-0" (SCALE)

Friday, May 14, 2021 (DATE)

Issue 6.0 - DP RESUBMISSION (ISSUE)

(DRAWING)

A-2.600



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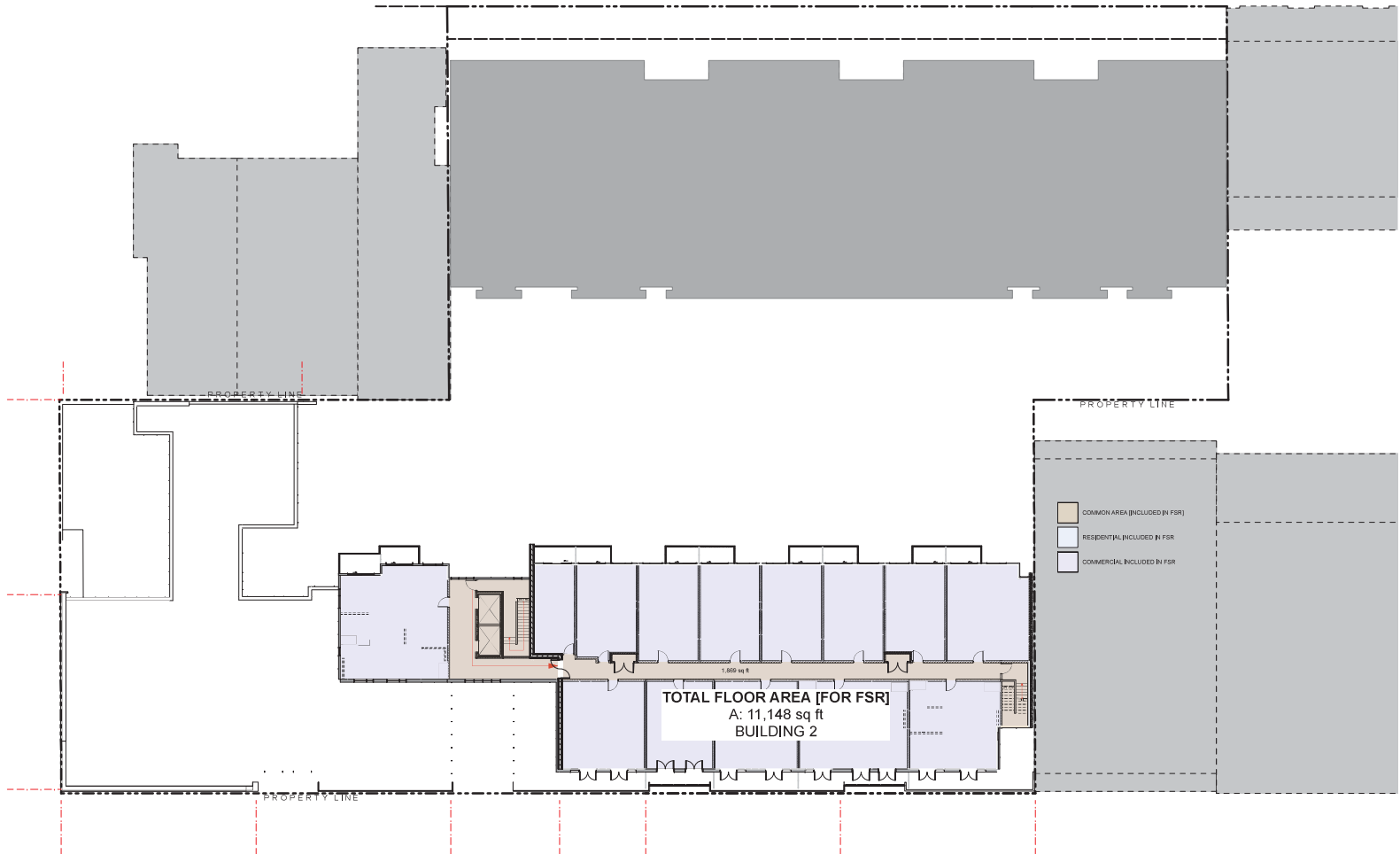
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DENCITI development corp.

LAM ASSOCIATE ARCHITECTS



(CLIENT)

Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

FSR Overlay Level 6 Floor Plan

19503 (PROJECT)

(SCALE)

(DATE)

Friday, May 14, 2021

(ISSUE)

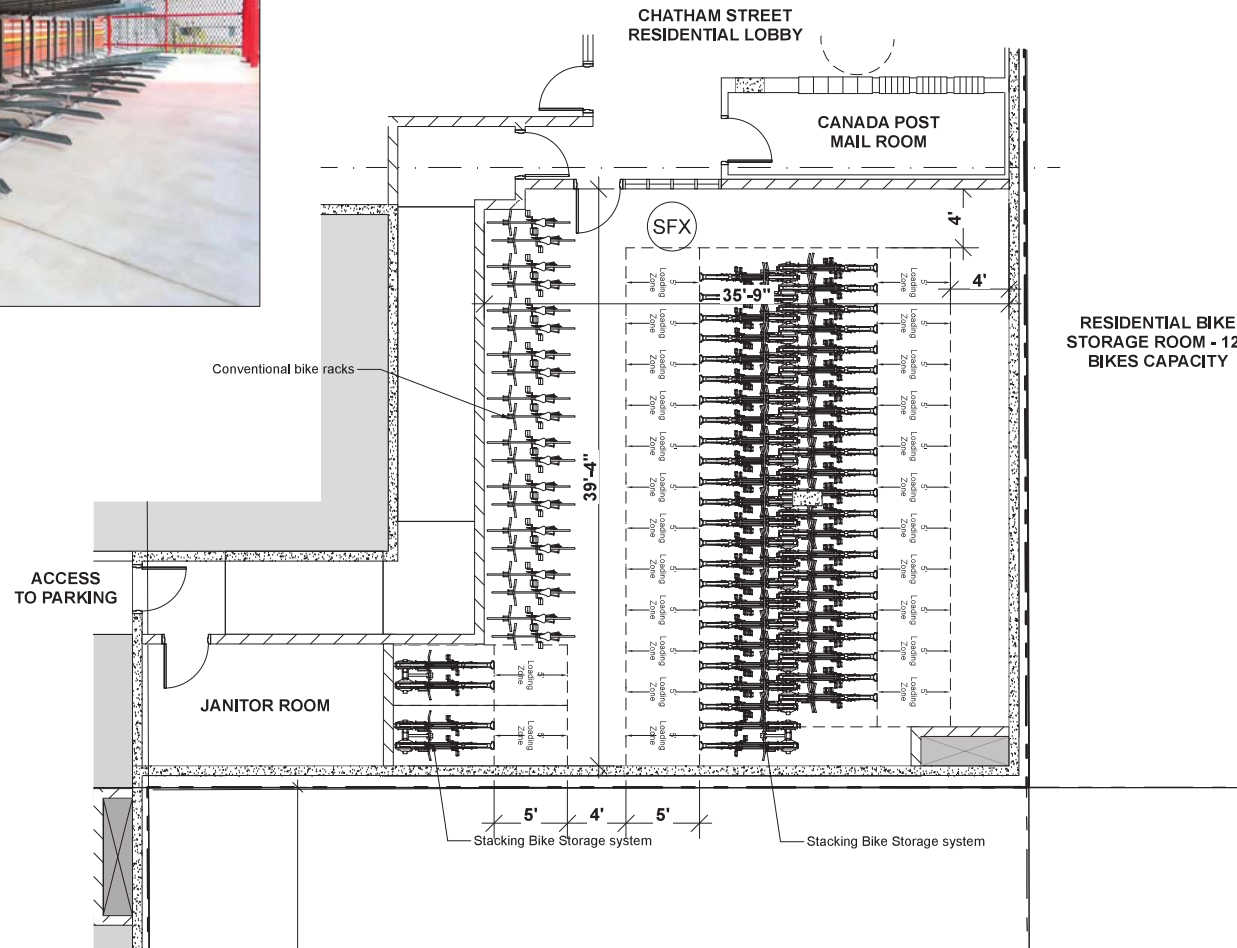
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A-2.700



1 Stacking Bike Storage System example



RESIDENTIAL BIKE
STORAGE ROOM - 120
BIKES CAPACITY



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(CLIENT)

Nicola Herald Limited
Partnership

(PROJECT)

Herald & Chatham

610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

**Level 1 Chatham
St (Bike Storage)**

19503

(PROJECT)

(SCALE)

(DATE)

Friday, May 14, 2021

(ISSUE)

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**Nicola Herald Limited
Partnership**

(PROJECT)

Herald & Chatham

610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

**Context Section
and Elevation**

19503 (PROJECT)

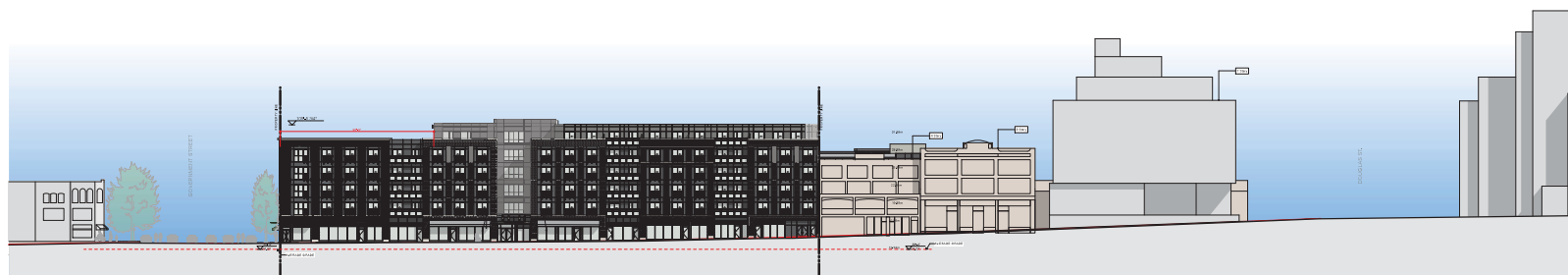
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(DATE)

Friday, May 14, 2021 (ISSUE)

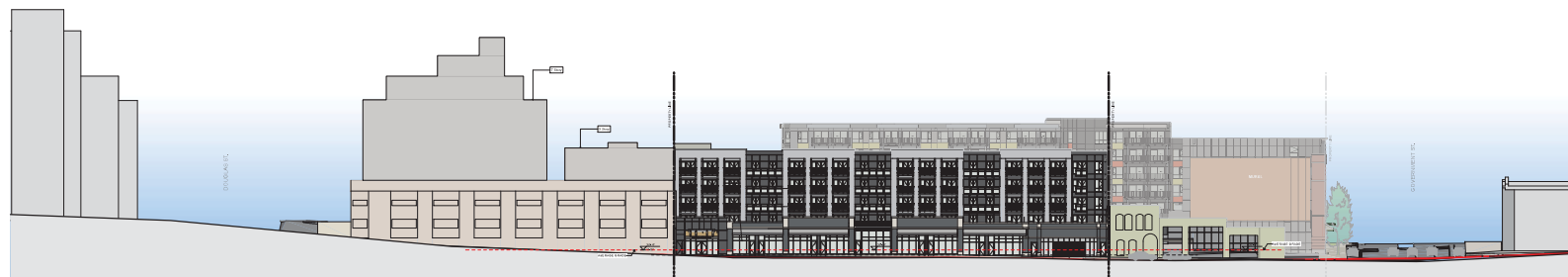
Issue 6.0 - DP RESUBMISSION (DRAWING)

A-4.111



1 Herald Street Elevation

SCALE: 1/32" = 1'-0"



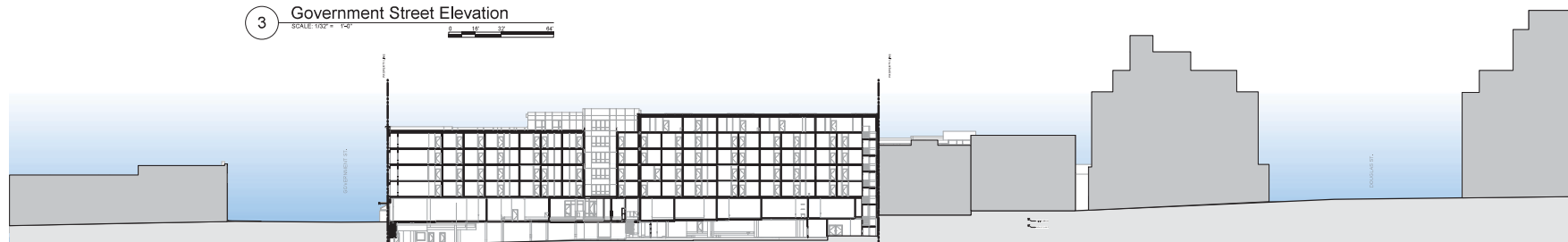
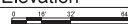
2 Chatham Street Elevation

SCALE: 1/32" = 1'-0"



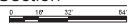
3 Government Street Elevation

SCALE: 1/32" = 1'-0"



4 Herald Street Long Section

SCALE: 1/32" = 1'-0"



A-4.101



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1 South Courtyard Elevation
SCALE: 1/8" = 1'-0"

2 West Courtyard Elevation
SCALE: 1/8" = 1'-0"



3 North Courtyard Elevation
SCALE: 1/8" = 1'-0"

Material and Colour Legend					
Color	Product Name	Color Name	Notes	CLADDING	
1.1	Red	Red Cherry (Bentley Brick) (B.C.)	X	Exterior walls	
1.2	Gray	Margenite (Bentley Brick) (B.C.)	X	Exterior walls	
1.3	Gray	Hards Panel Gray (H.C.)	X	Exterior walls	
1.4	Off-white	James Hardie Panel	X	Exterior walls	
1.5	Gray	Wardwood (2x6 Composite Wood) (H.C.)	X	Exterior walls + Feature	
1.6	Gray	Margenite (Bentley Brick) (B.C.)	X	Exterior walls + Feature	
1.7	Gray	Cast in place concrete	X	Exterior walls	
1.8	Gray	Cast in place concrete with dark oxide	X	Exterior walls	
1.9	Off-white	Hards Panel Gray	X	Exterior walls	
1.10	Off-white	Triplex Mason (Concrete Gray Panel)	X	Exterior walls + Feature Entry	
1.11	Gray	Hards Panel Gray (H.C.)	X	Exterior walls	
1.12	Off-white	Hards Panel Gray (H.C.)	X	Exterior walls	
SOFFIT					
2.1	Off-white	Hards Panel Gray	Off-white	Feature Soffit	
2.2	Off-white	Flow Coated Board (H.C.)	X	Feature Soffit	

TRIMS/FLASHINGS				
3.1	Channel	Corbel Face Wood (Bentley)	X	Rock Cornings / Bents
3.2	Channel	Channel Face Wood (Bentley)	X	Channel Face Wood (Bentley)
3.3	Channel	Channel Face Wood (Bentley)	X	Channel Face Wood (Bentley)
3.4	Channel	Channel Face Wood (Bentley)	X	Channel Face Wood (Bentley)
3.5	Channel	Channel Face Wood (Bentley)	X	Channel Face Wood (Bentley)
ROOFDECKS				
4.1	Gray	Concrete Floor	X	Deck
WINDOWS/GLAZING				
5.1	Black	Wood Window	Black	Painted windows
5.2	Channel	Channel	X	Channel Face Wood (Bentley)
5.3	Channel	Channel	X	Channel Face Wood (Bentley)
5.4	Channel	Channel	X	Channel Face Wood (Bentley)
FUTURE WOOD				
6.1	Color	Future Wood Deck	Color (H.C.)	Color (H.C.)
6.2	Black	Black (H.C.)	Black	Black (H.C.)
6.3	Black	Black (H.C.)	Black	Black (H.C.)
6.4	Black	Black (H.C.)	Black	Black (H.C.)
6.5	Black	Black (H.C.)	Black	Black (H.C.)
MISCELLANEOUS				
7.1	Channel	Awning Panel (H.C.)	N/A	



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(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Courtyard Elevations

(PROJECT)

19903

(SCALE)

(DATE)

Friday, May 14, 2021

(ISSUE)

Issue 6.0 - DP RESUBMISSION

(DRAWING)

A-4.102



OLD TOWN VICTORIA BRICK DETAIL



1 Herald / Government Corner
SCALE 3/16" = 1'-0"



2 Herald Street Entry
SCALE 3/16" = 1'-0"



3 Chatham Entry
SCALE 3/16" = 1'-0"



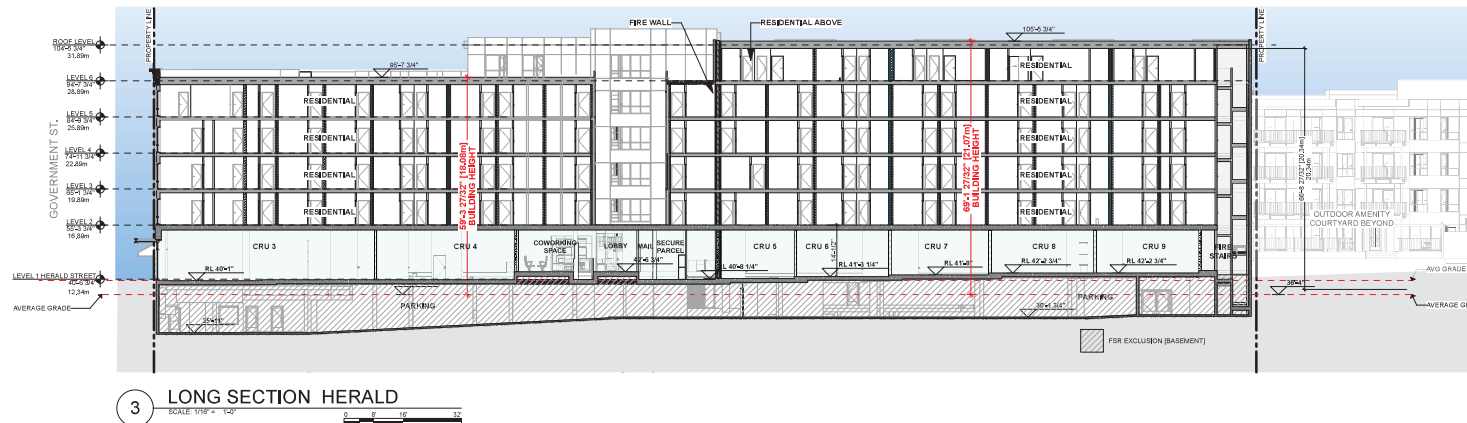
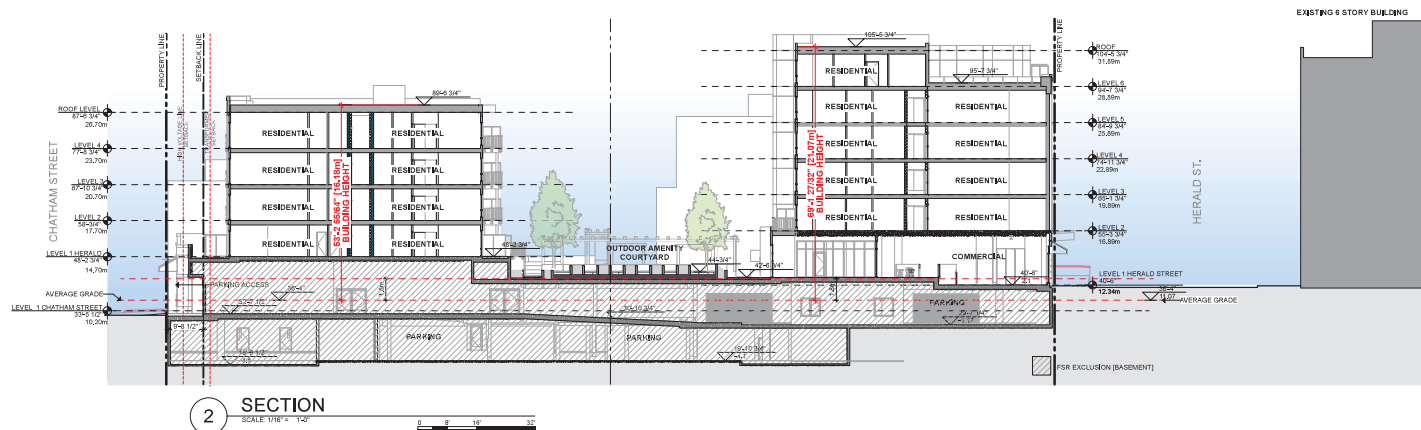
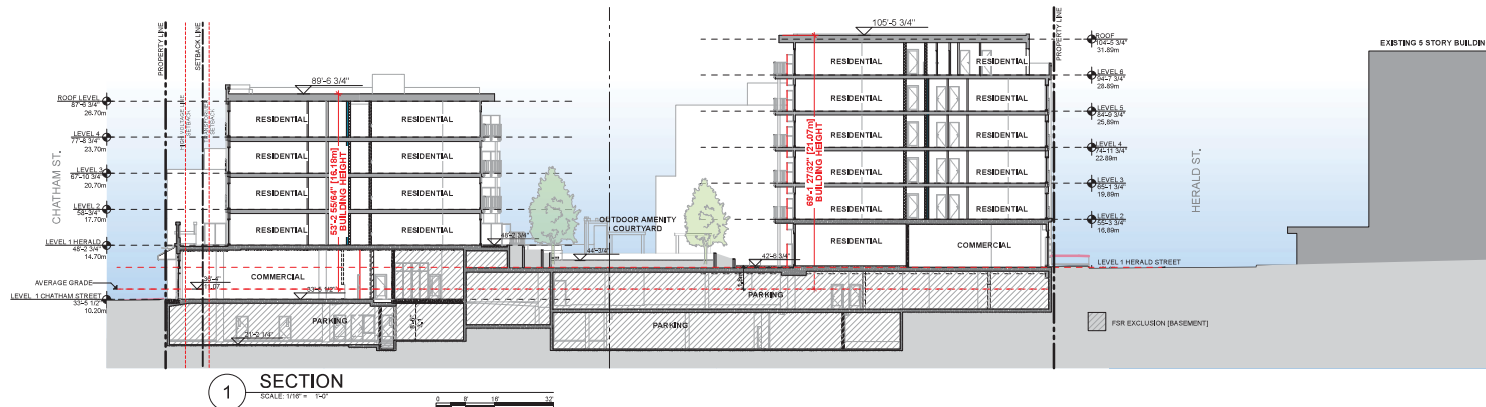
Victoria Signage precedents



Victoria Signage precedents

Color	Product Name	Material	Location
CLADDING			
1.1	Red Clay (Herald Street)	X	Exterior walls
1.2	Gray	X	Exterior walls
1.3	Gray	X	Exterior walls
1.4	Gray	X	Exterior walls
1.5	Gray	X	Exterior walls
1.6	Gray	X	Exterior walls
1.7	Gray	X	Exterior walls
1.8	Gray	X	Exterior walls
1.9	Gray	X	Exterior walls
1.10	Gray	X	Exterior walls
1.11	Gray	X	Exterior walls
1.12	Gray	X	Exterior walls
1.13	Gray	X	Exterior walls
1.14	Gray	X	Exterior walls
1.15	Gray	X	Exterior walls
1.16	Gray	X	Exterior walls
1.17	Gray	X	Exterior walls
1.18	Gray	X	Exterior walls
1.19	Gray	X	Exterior walls
1.20	Gray	X	Exterior walls
1.21	Gray	X	Exterior walls
1.22	Gray	X	Exterior walls
1.23	Gray	X	Exterior walls
1.24	Gray	X	Exterior walls
1.25	Gray	X	Exterior walls
1.26	Gray	X	Exterior walls
1.27	Gray	X	Exterior walls
1.28	Gray	X	Exterior walls
1.29	Gray	X	Exterior walls
1.30	Gray	X	Exterior walls
1.31	Gray	X	Exterior walls
1.32	Gray	X	Exterior walls
1.33	Gray	X	Exterior walls
1.34	Gray	X	Exterior walls
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1.44	Gray	X	Exterior walls
1.45	Gray	X	Exterior walls
1.46	Gray	X	Exterior walls
1.47	Gray	X	Exterior walls
1.48	Gray	X	Exterior walls
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1.93	Gray	X	Exterior walls
1.94	Gray	X	Exterior walls
1.95	Gray	X	Exterior walls
1.96	Gray	X	Exterior walls
1.97	Gray	X	Exterior walls
1.98	Gray	X	Exterior walls
1.99	Gray	X	Exterior walls
1.100	Gray	X	Exterior walls

Color	Product Name	Material	Location
CLADDING			
1.1	Red Clay (Herald Street)	X	Exterior walls
1.2	Gray	X	Exterior walls
1.3	Gray	X	Exterior walls
1.4	Gray	X	Exterior walls
1.5	Gray	X	Exterior walls
1.6	Gray	X	Exterior walls
1.7	Gray	X	Exterior walls
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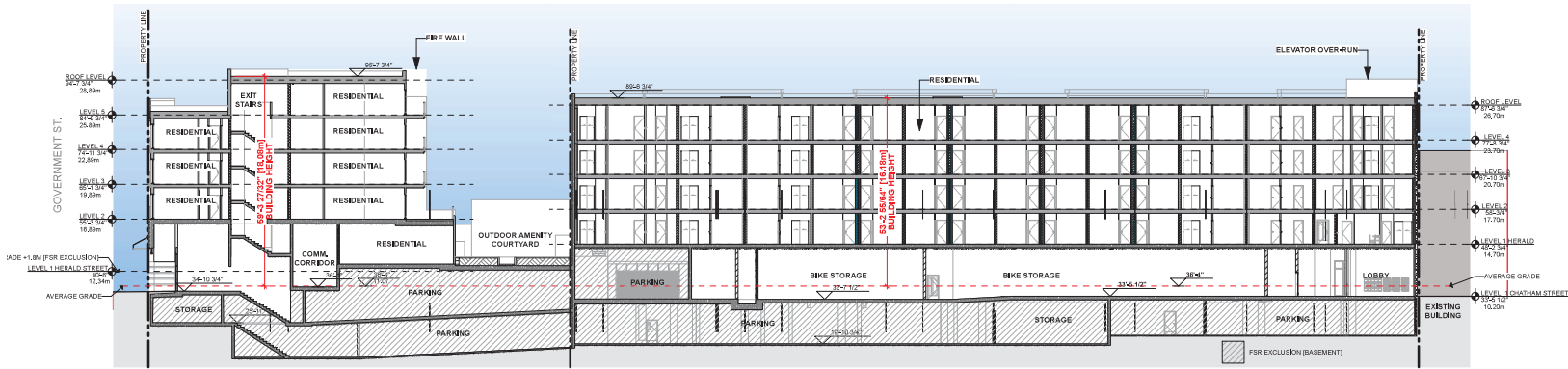




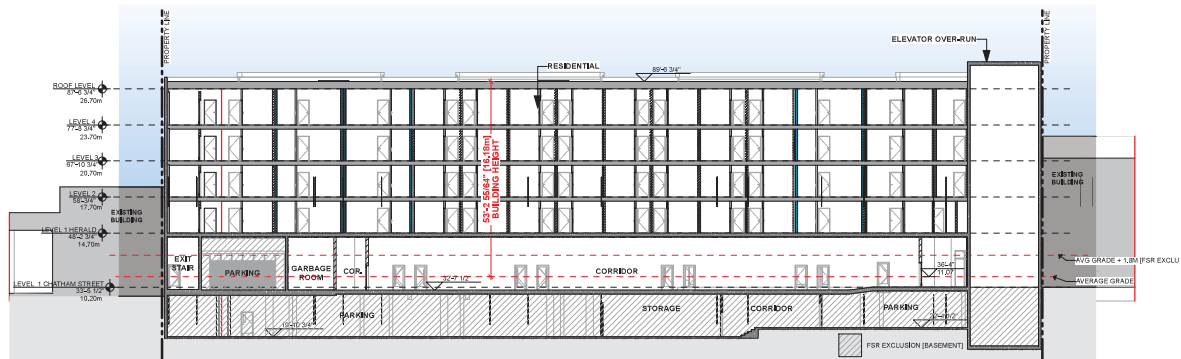
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1 SECTION
SCALE: 1/8" = 1'-0"
0 5 10 20



2 SECTION
SCALE: 1/8" = 1'-0"
0 5 10 20



Nicola Herald Limited Partnership

[PROJECT]

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

[TITLE]

Building Sections

19503 [PROJECT]

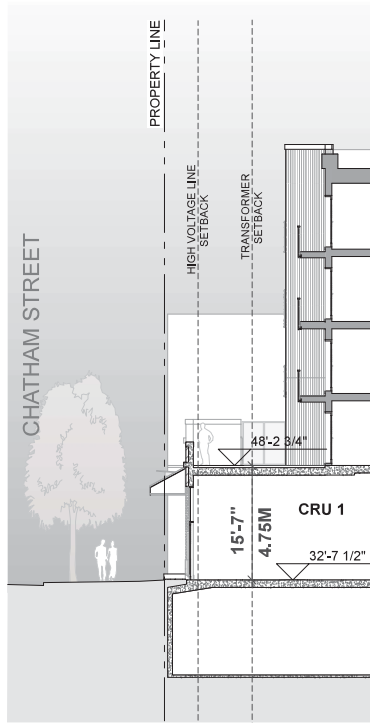
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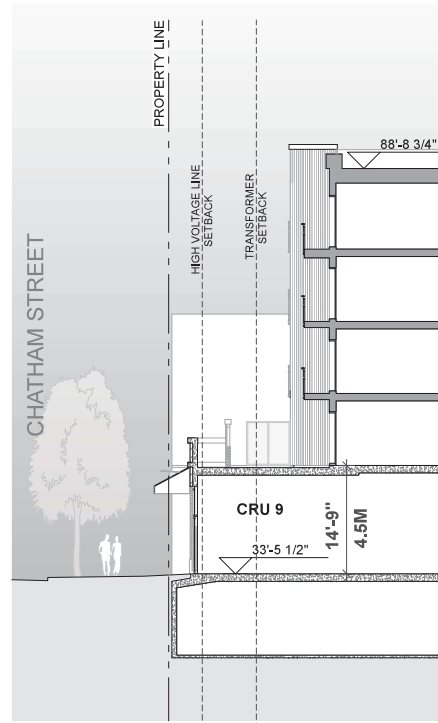
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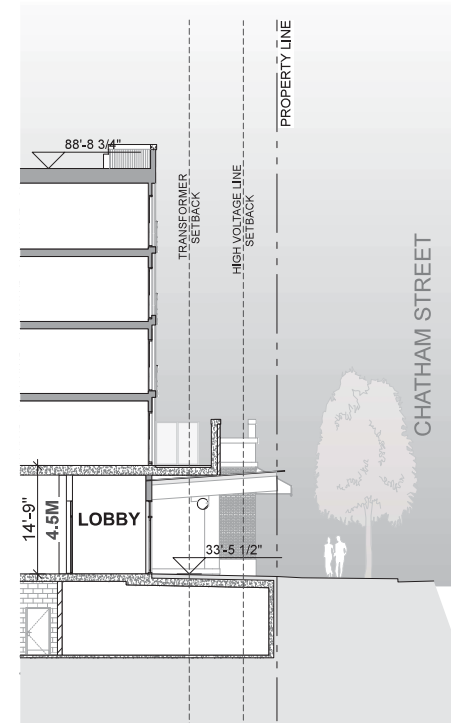
A-5.200



1 WALL SECTION CHATHAM ST



2 WALL SECTION CHATHAM ST



3 WALL SECTION CHATHAM ST



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[CLIENT]

Nicola Herald Limited Partnership

[PROJECT]

Herald & Chatham

610-624 Herald Street & 611-635

Chatham Street Victoria BC

[TITLE]

Wall Sections

[PROJECT]

19503

[SCALE]

[DATE]

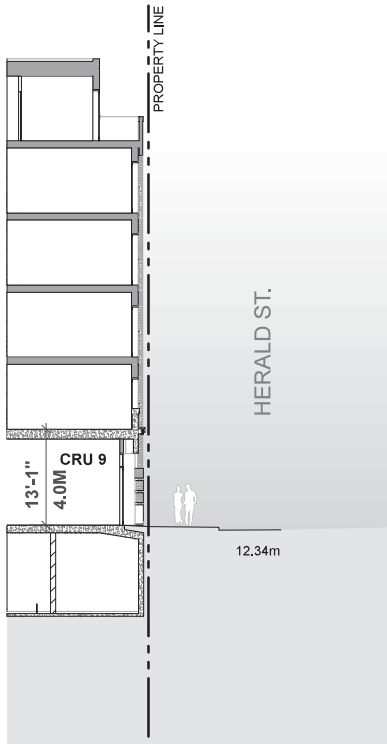
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[ISSUE]

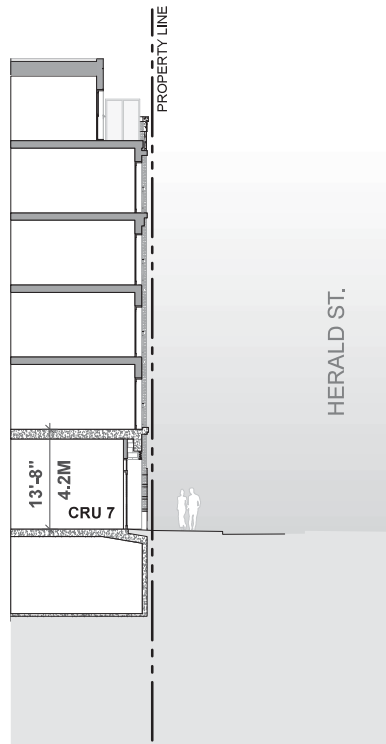
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[DRAWING]

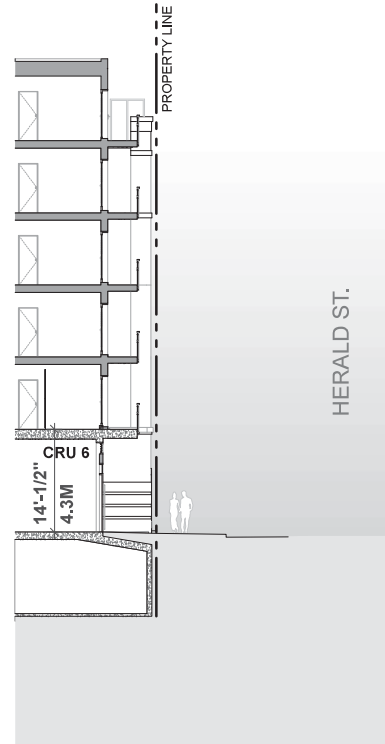
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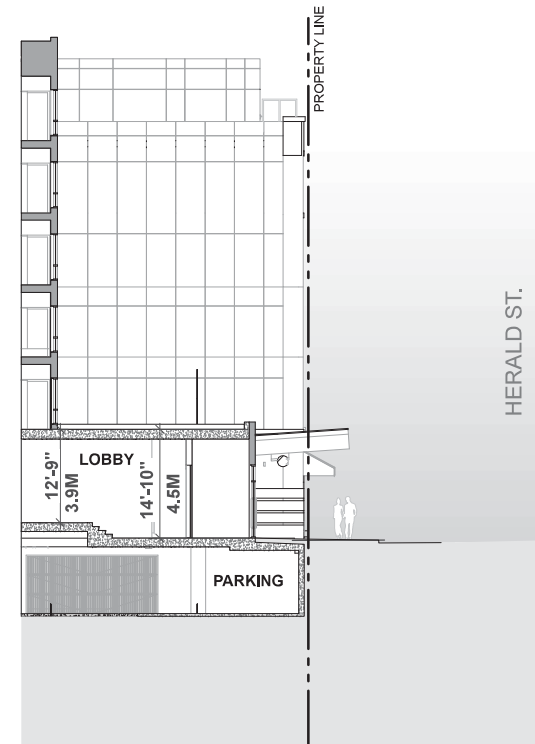
① WALL SECTION HERALD ST



② WALL SECTION HERALD ST



③ WALL SECTION HERALD ST



④ WALL SECTION HERALD ST



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LAM ASSOCIATE ARCHITECTS



[CLIENT]

**Nicola Herald Limited
Partnership**

[PROJECT]

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

[TITLE]

Wall Sections

19503 [PROJECT]

[SCALE]

[DATE]

Friday, May 14, 2021 [ISSUE]

Issue 6.0 - DP RESUBMISSION [DRAWING]

A-5.400



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[PROJECT TEAM]



[CLIENT]

Nicola Herald Limited
Partnership

[PROJECT]

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

[TITLE]

Wall Sections

19503 [PROJECT]

[SCALE]

[DATE]

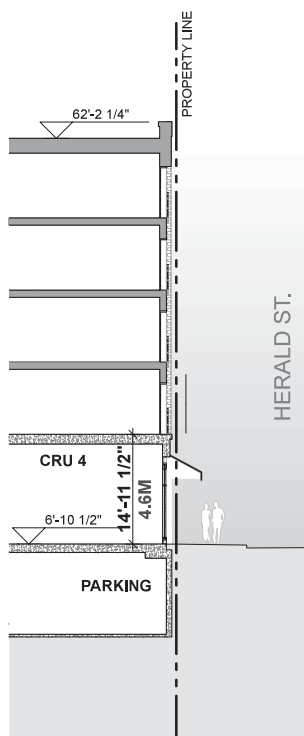
Friday, May 14, 2021

[ISSUE]

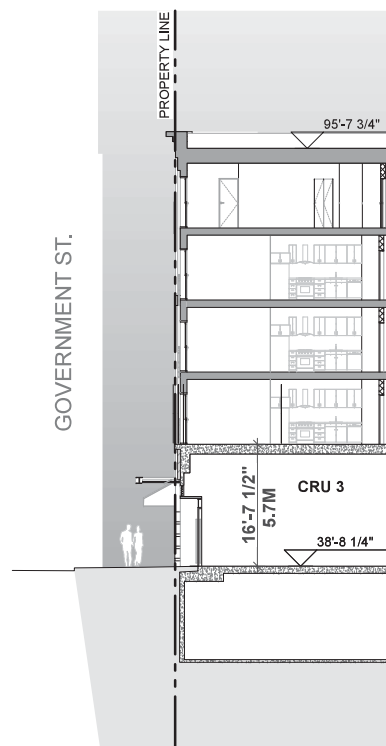
Issue 6.0 - DP RESUBMISSION

[DRAWING]

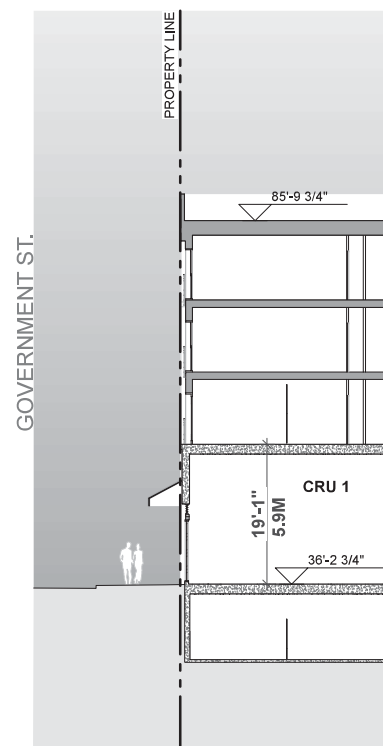
A-5.500



5 WALL SECTION HERALD ST



6 WALL SECTION GOVERNMENT ST



7 WALL SECTION GOVERNMENT ST



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[CLIENT]

Nicola Herald Limited Partnership

[PROJECT]

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

[TITLE]

**Perspective
Rendering**

[PROJECT]

19503

[SCALE]

[DATE]

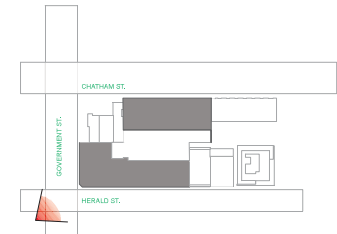
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[ISSUE]

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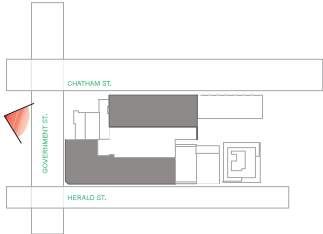
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A-8.011





Corner of Government Street & Herald Street





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[PROJECT]

Herald & Chatham
 610-624 Herald Street & 611-635
 Chatham Street Victoria BC

[TITLE]

Perspective Rendering

[PROJECT]

19503

[SCALE]

[DATE]

Friday, May 14, 2021

[ISSUE]

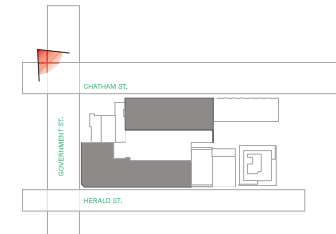
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[DRAWING]

A-8.012



Government Street and Chatham



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(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Perspective Rendering

(PROJECT)

19503

(SCALE)

(DATE)

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A-8.013



Chatham Street Elevation



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WEALTH

DENCITI
development corp.

LAM ASSOCIATE ARCHITECTS



(CLIENT)

**Nicola Herald Limited
Partnership**

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Perspective Rendering

19503 (PROJECT)

(SCALE)

(DATE)

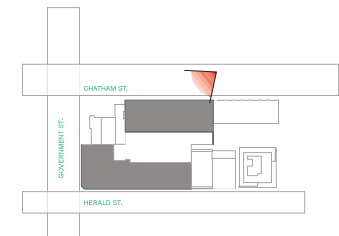
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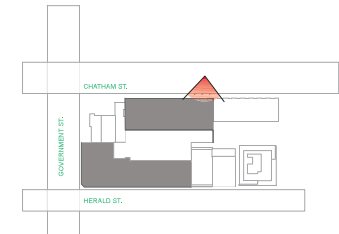
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A-8.014





Chatham Street Entry



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Herald & Chatham

610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

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19503 (PROJECT)

(SCALE)

(DATE)

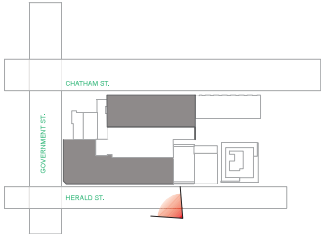
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A-8.016



Herald Street [Looking NW towards Government Street]





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[CLIENT]

Nicola Herald Limited Partnership
 610-624 Herald Street & 611-635
 Chatham Street Victoria BC

[PROJECT]

Herald & Chatham
 610-624 Herald Street & 611-635
 Chatham Street Victoria BC

[TITLE]

Perspective Rendering

[PROJECT]

19503

[SCALE]

[DATE]

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A-8.017



Courtyard - Outdoor Amenity



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(PROJECT)

Herald & Chatham

610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Perspective Rendering

19503

(PROJECT)

(SCALE)

(DATE)

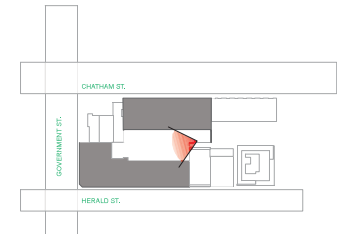
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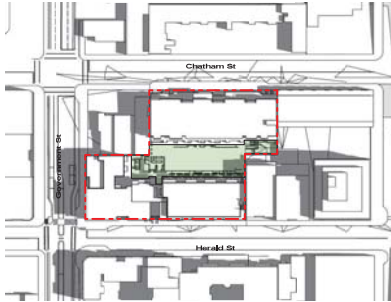
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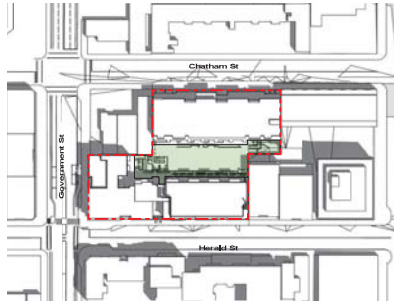
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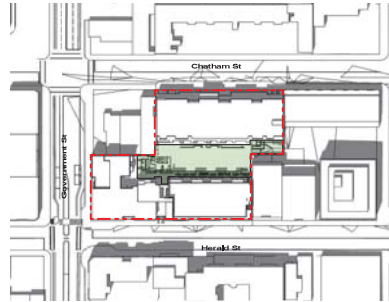




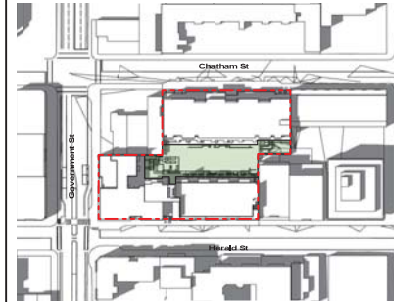
June 10am



June Noon

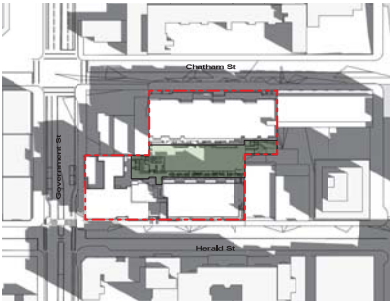


June 2pm

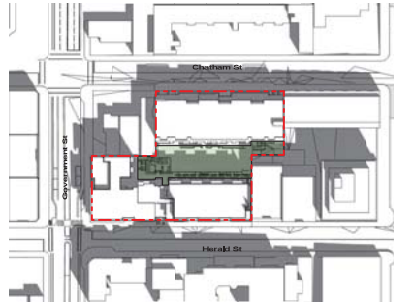


June 4pm

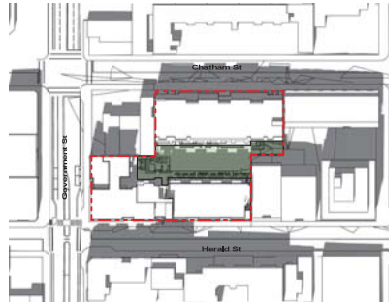
SUMMER SOLSTICE



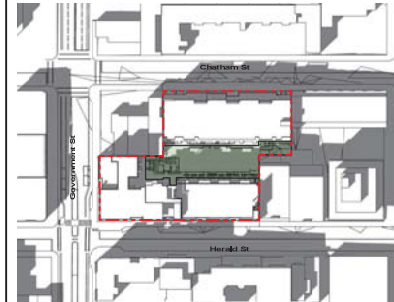
March/September 10am



March/September Noon

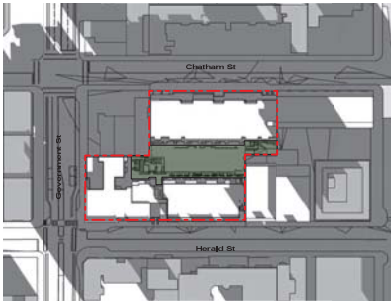


March/September 2pm

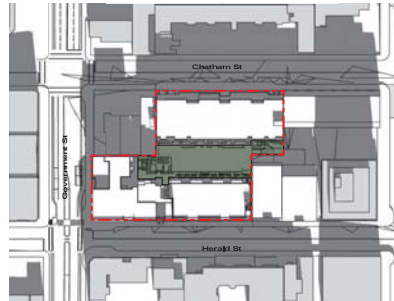


March/September 4pm

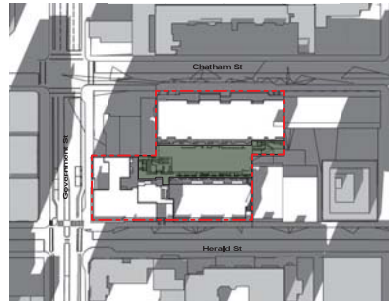
SPRING/FALL EQUINOX



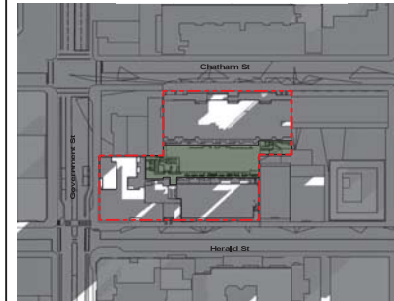
December 10am



December Noon



December Noon



December 2pm

WINTER SOLSTICE



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(CLIENT)

Nicola Herald Limited Partnership

(PROJECT)

Herald & Chatham

610-624 Herald Street & 611-635

Chatham Street Victoria BC

(TITLE)

Shadow Study

19503 (PROJECT)

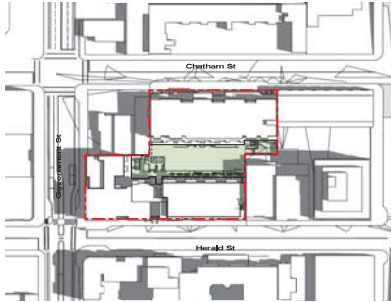
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Friday, May 14, 2021 (DATE)

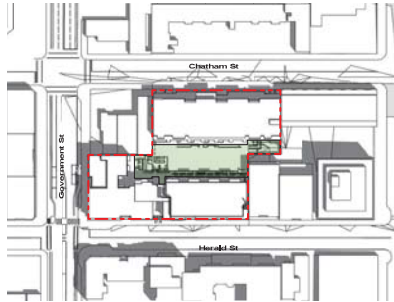
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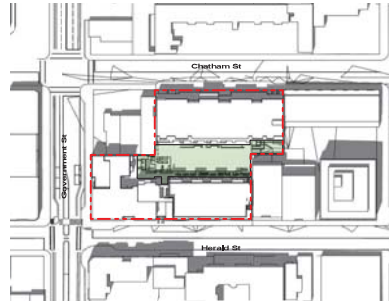
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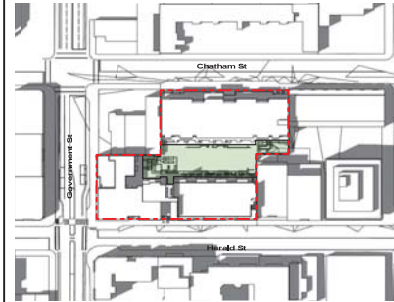
June 21 10am



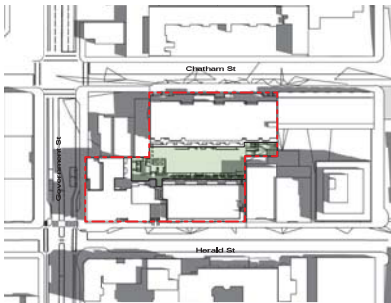
June 21 Noon



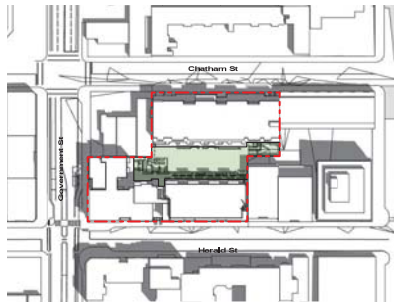
June 21 2pm



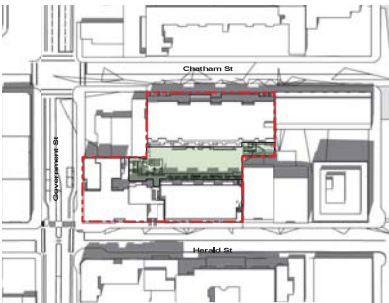
June 21 4pm



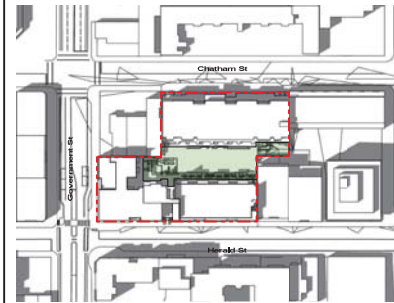
July 21 10am



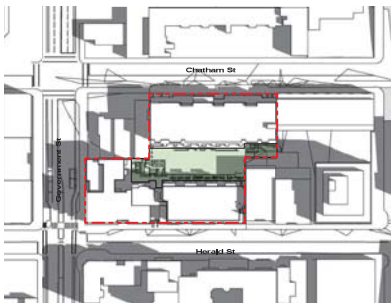
July 21 Noon



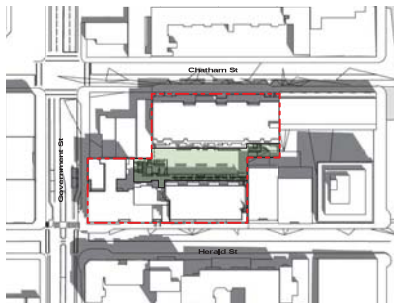
July 21 2pm



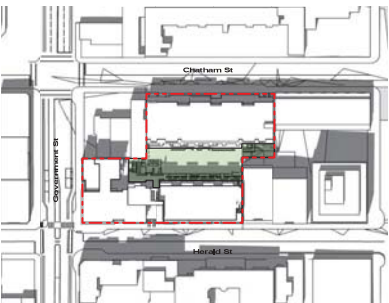
July 21 4pm



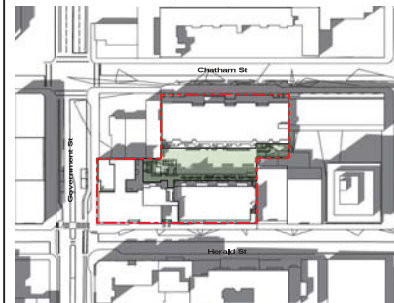
August 21 10am



August 21 Noon



August 21 2pm



August 21 4pm



Black Vinyl Coat Window



Corrugated Metal



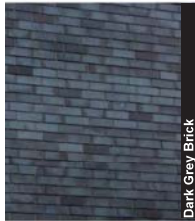
Light Grey Brick



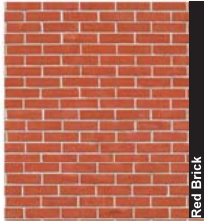
Chatham Street Elevation



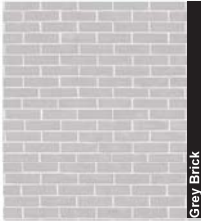
Government and Herald



Dark Grey Brick



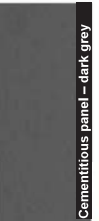
Red Brick



Grey Brick



Cementitious Panel - Dark Colour



Cementitious panel - dark grey



Feature Wood Beam

Material and Colour Legend					
Item	Item Name	Item Name	Item Name	Item Name	Item Name
CLADDING					
1.1	Red Cherry (Brickwork Brick) (GL)	X	Exterior walls		
1.2	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.3	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.4	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.5	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.6	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.7	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.8	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.9	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.10	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.11	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.12	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.13	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.14	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.15	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.16	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.17	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.18	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.19	Grey (Brickwork Brick) (GL)	X	Exterior walls		
1.20	Grey (Brickwork Brick) (GL)	X	Exterior walls		
SOFFIT					
2.1	Channel	Channel	Soffit		
2.2	Cedar	Flame Cement Boards (Solid finish)	X	Feature Soffit	

Material and Colour Legend					
Item	Item Name	Item Name	Item Name	Item Name	Item Name
TRIMS/FLASHINGS					
3.1	Channel	Channel	Roof / Overhang / Flashing		
3.2	Channel	Channel	Roof / Overhang / Flashing		
3.3	Channel	Channel	Roof / Overhang / Flashing		
3.4	Channel	Channel	Roof / Overhang / Flashing		
3.5	Channel	Channel	Roof / Overhang / Flashing		
3.6	Channel	Channel	Roof / Overhang / Flashing		
3.7	Channel	Channel	Roof / Overhang / Flashing		
3.8	Channel	Channel	Roof / Overhang / Flashing		
3.9	Channel	Channel	Roof / Overhang / Flashing		
3.10	Channel	Channel	Roof / Overhang / Flashing		
3.11	Channel	Channel	Roof / Overhang / Flashing		
3.12	Channel	Channel	Roof / Overhang / Flashing		
3.13	Channel	Channel	Roof / Overhang / Flashing		
3.14	Channel	Channel	Roof / Overhang / Flashing		
3.15	Channel	Channel	Roof / Overhang / Flashing		
3.16	Channel	Channel	Roof / Overhang / Flashing		
3.17	Channel	Channel	Roof / Overhang / Flashing		
3.18	Channel	Channel	Roof / Overhang / Flashing		
3.19	Channel	Channel	Roof / Overhang / Flashing		
3.20	Channel	Channel	Roof / Overhang / Flashing		
ROOF/FLASHINGS					
4.1	Grey	Concrete Panel	X	Deck	
4.2	Grey	Concrete Panel	X	Deck	
4.3	Grey	Concrete Panel	X	Deck	
4.4	Grey	Concrete Panel	X	Deck	
4.5	Grey	Concrete Panel	X	Deck	
4.6	Grey	Concrete Panel	X	Deck	
4.7	Grey	Concrete Panel	X	Deck	
4.8	Grey	Concrete Panel	X	Deck	
4.9	Grey	Concrete Panel	X	Deck	
4.10	Grey	Concrete Panel	X	Deck	
4.11	Grey	Concrete Panel	X	Deck	
4.12	Grey	Concrete Panel	X	Deck	
4.13	Grey	Concrete Panel	X	Deck	
4.14	Grey	Concrete Panel	X	Deck	
4.15	Grey	Concrete Panel	X	Deck	
4.16	Grey	Concrete Panel	X	Deck	
4.17	Grey	Concrete Panel	X	Deck	
4.18	Grey	Concrete Panel	X	Deck	
4.19	Grey	Concrete Panel	X	Deck	
4.20	Grey	Concrete Panel	X	Deck	
WINDOWS/GLAZING					
5.1	Black	Window Frames	Black	Window Frames	
5.2	Black	Window Frames	Black	Window Frames	
5.3	Black	Window Frames	Black	Window Frames	
5.4	Black	Window Frames	Black	Window Frames	
5.5	Black	Window Frames	Black	Window Frames	
5.6	Black	Window Frames	Black	Window Frames	
5.7	Black	Window Frames	Black	Window Frames	
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5.15	Black	Window Frames	Black	Window Frames	
5.16	Black	Window Frames	Black	Window Frames	
5.17	Black	Window Frames	Black	Window Frames	
5.18	Black	Window Frames	Black	Window Frames	
5.19	Black	Window Frames	Black	Window Frames	
5.20	Black	Window Frames	Black	Window Frames	
FUTURE WOOD					
6.1	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.2	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.3	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.4	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.5	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.6	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.7	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.8	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.9	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
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6.14	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
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6.16	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.17	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.18	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.19	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
6.20	Cedar	Feature Wood Beam	Cedar	Feature Wood Beam	
MISCELLANEOUS					
7.1	Channel	Awning Frame (Solid Colour)	NA		

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(PROJECT TEAM)

(CLIENT)

Nicola Herald Limited Partnership
Chatham Street Victoria BC

(PROJECT)

Herald & Chatham
610-624 Herald Street & 611-635
Chatham Street Victoria BC

(TITLE)

Material Board

(PROJECT)

19503

(SCALE)

Friday, May 14, 2021

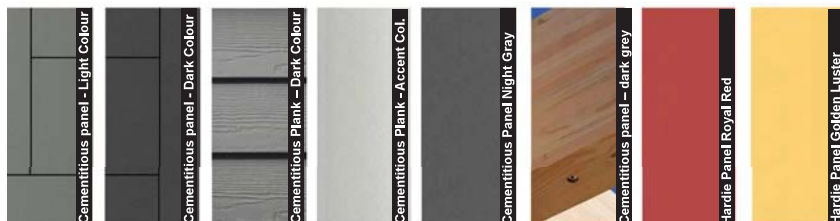
(DATE)

Issue 6.0 - DP RESUBMISSION

(ISSUE)

(DRAWING)

A-8.003

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(PROJECT TEAM)



[CLIENT]

**Nicola Herald Limited
Partnership**

[PROJECT]

Herald & Chatham

610-624 Herald Street & 611
Chatham Street Victoria BC

[TITLE]

Material Board

10503 (PROJECT)

Age Group	Percentage
18-24	10
25-34	20
35-44	30
45-54	25
55-64	15
65-74	10
75-84	5
85+	5

[SCALE]

Friday, May 14, 2021

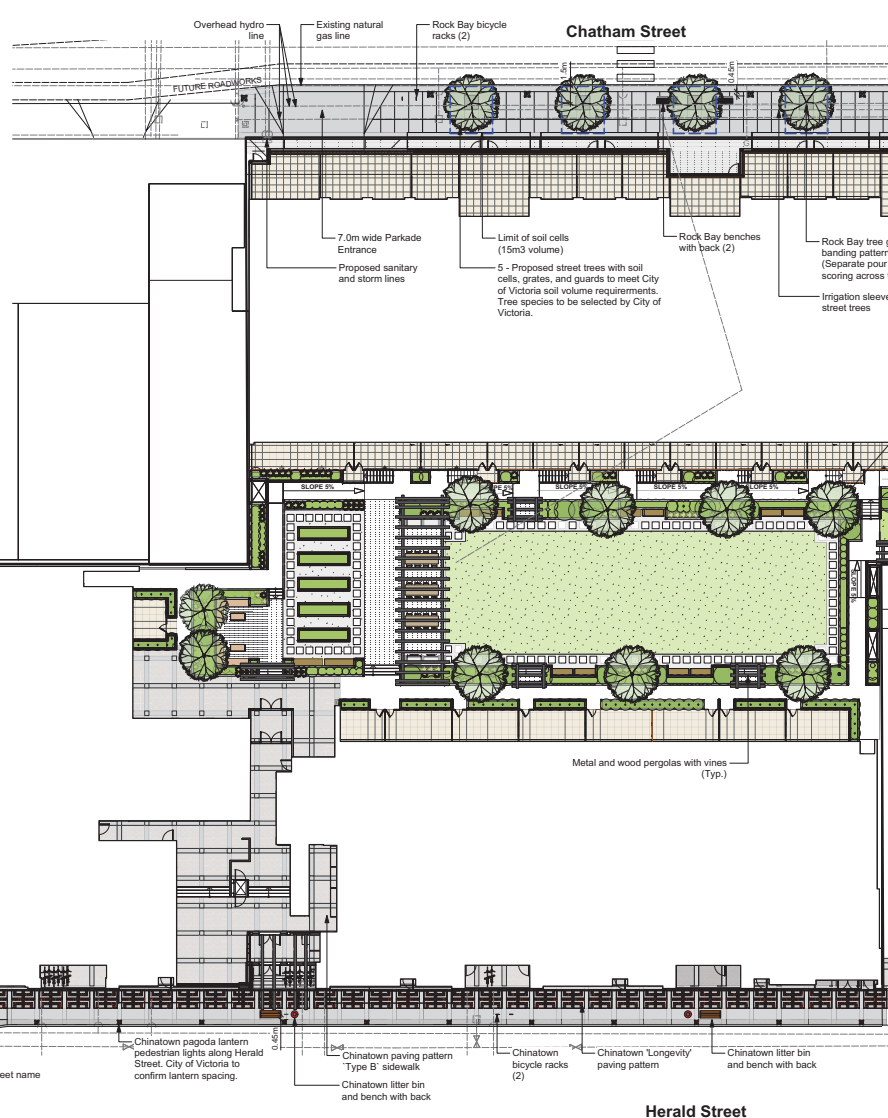
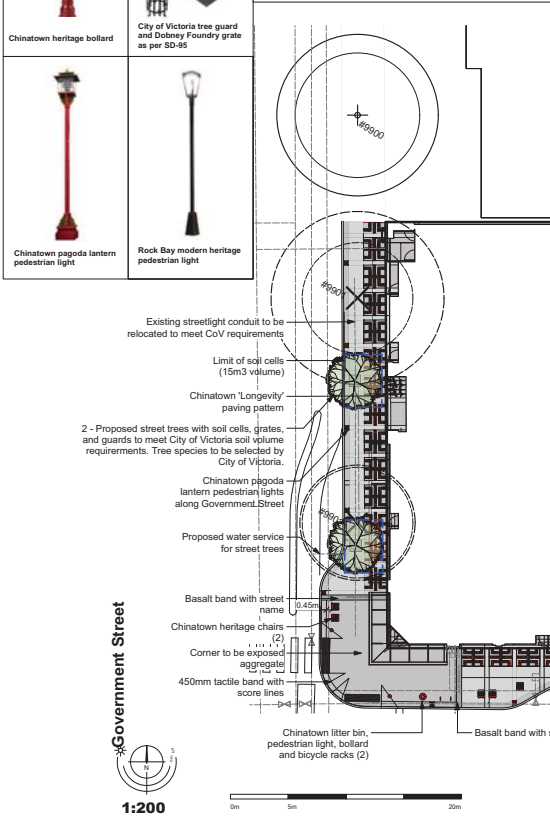
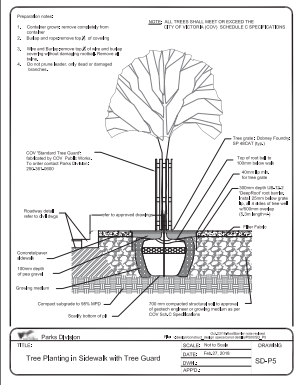
(ISSUE)

Issue 6.0 - DP RESUBM|SS|ON

[DRAWING]

A-8.004

OFFSITE FURNITURE



Recommended Nursery Stock

Trees			
Total: 17	Botanical Name	Common Name	Size
	<i>Cercis canadensis</i>	Eastern Redbud	6cm cal.
	<i>Styrax japonica</i>	Japanese Snowbell	6cm cal.
	Typical Street Tree	TBD	6cm cal.
Large Shrubs			
Total: 76	Botanical Name	Common Name	Size
	<i>Philadelphus 'Bella Etoile'</i>	Belle Etoile Mock Orange	#7 pot
	<i>Taxus x media 'Hicksii'</i>	Hicks Yew	1.2m Ht.
Medium Shrubs			
Total: 120	Botanical Name	Common Name	Size
	<i>Azalea japonica 'Herbert'</i>	Herbert Evergreen Azalea	#5 pot
	<i>Oslea x argentea 'Silver Pink'</i>	Silver Pink Rock Rose	#5 pot
	<i>Oslea x hybridus</i>	White Rockrose	#5 pot
	<i>Mahonia aquifolium</i>	Tall Oregon Grape	#5 pot
	<i>Rhododendron 'Yino-crimson'</i>	Evergreen Azalea	#5 pot
Small Shrubs			
Total: 81	Botanical Name	Common Name	Size
	<i>Mahonia repens</i>	Creeping Oregon Grape	#1 pot
	<i>Nandina domestica 'Fire Power'</i>	Fire Power Heavenly Bamboo	#1 pot
Perennials, Annuals and Ferns			
Total: 175	Botanical Name	Common Name	Size
	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	#1 pot
	<i>Helictotrichon sempervirens</i>	Blue Oat Grass	#1 pot
	<i>Perovskia atriplicifolia</i>	Russian Sage	#1 pot
Vines			
Total: 13	Botanical Name	Common Name	Size
	<i>Wisteria spp.</i>	Wisteria	#5 pot

Notes:

- All work to be completed to current BCSLA Landscape Standards.
- Street trees must have one dominant central leader or single straight trunk, 6-8 cm diameter caliper measured 15 cm above ground, a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground, and be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) and the Canadian Landscape Standard.
- Required Parks Inspections for street tree planting:
 - Inspection of soil and planting area prior to planting.
 - Inspection of tree stock prior to planting.
 - Inspection of installed tree. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.
- All irrigation work, including required inspections, shall follow the City of Victoria Supplemental Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw.
- Irrigation design shall be submitted for review and approval to City of Victoria Parks no less than 30 days prior to scheduled installation.
- Irrigation inspections required for all sleeving, open trench mainline and lateral lines, system operation, controller and backflow preventer (incl. inspection tag and testing report). Call Parks at 250-361-0600 at least 2 days in advance to arrange for irrigation inspections.

May 14, 2021
Mar 18, 2021
Dec 18, 2020
Sept 24, 2020

610-624 Herald Street & 611-635 Chatham Street - Landscape Site Plan



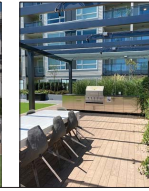
Raised Garden Plots



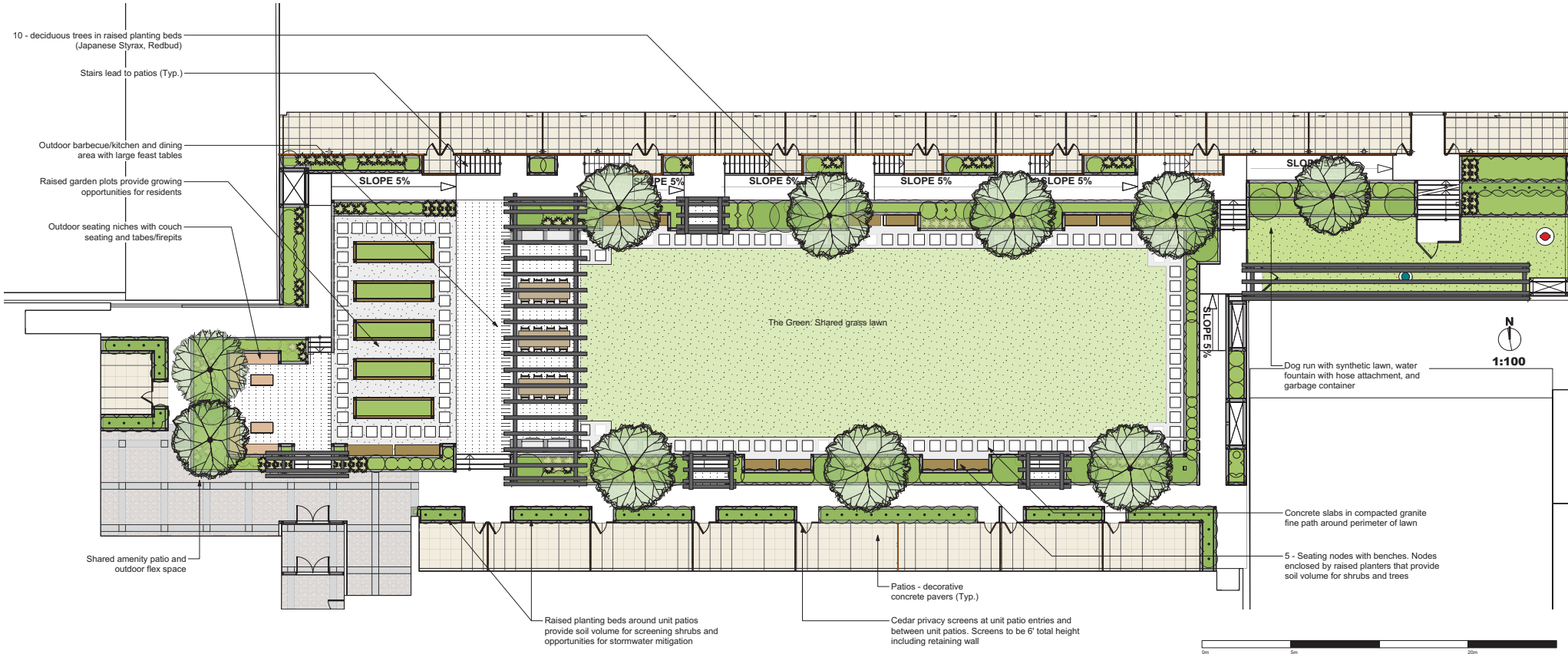
Large Retractable Shade Umbrellas



Outdoor BBQ + Dining Space



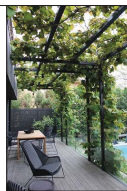
Shared 'Commons' Open Lawn Area



Seating Nodes

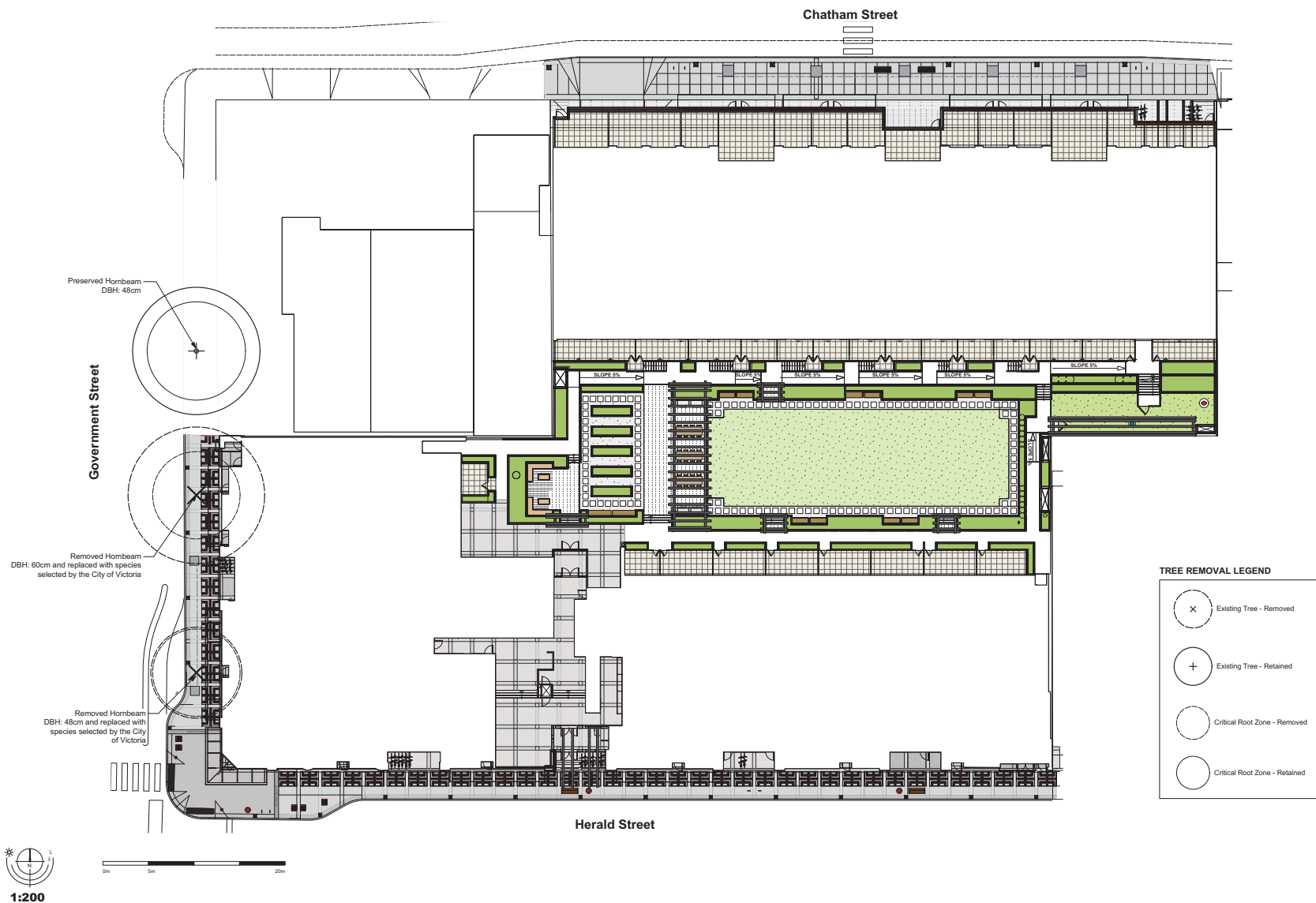


Steel + Wood Pergolas with Vines



Dog Run with Synthetic Lawn + Water Fountain/Hose

610-624 Herald Street & 611-635 Chatham Street - Shared Courtyard Landscape Site



610-624 Herald Street & 611-635 Chatham Street - Tree Management Plan



LADR LANDSCAPE ARCHITECTS

Project No: 2023 Sept 10, 2020

May 14, 2021
Mar 16, 2021
Dec 18, 2020
Sept 24, 2020

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105



May 4, 2021

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Attention: Mayor Lisa Helps and Council

**RE: Development Permit Application & Development Rationale
Development Permit DVP No. 00156
Mixed Use Commercial | Rental Residential Building
610, 618-624 Herald Street & 611-635 Chatham Street
Victoria, BC**

Dear Mayor Helps and Members of Council:

Further to our prior discussions and consultation with Development Services, we herewith submit this updated development permit application, development rationale letter, and related attachments in support of a Development Permit ("DP") for the above referenced properties.

The DP was submitted on September 25, 2020. This submission responds to the comments and recommendations contained in the Technical Review Group ("TRG") letter of October 13, 2020; the detailed discussions, correspondence and consultation with Staff; and input from the Advisory Design Panel ("ADP") and the Heritage Advisory Panel ("HAP").

The purpose of the DP application is to allow the development of a mixed-use building consisting of underground parking, commercial space at grade, and five-to-six storeys of purpose-built, secured market rental residential apartments consistent with the vision for the Old Town District and the OTD-1 zoning.

Introduction

The subject property is in Old Town at the boundary of the Chinatown / Rock Bay neighbourhoods. It is in immediate vicinity of the future Innovation District as proposed in the City of Victoria's draft economic action plan *Victoria 3.0*. The property faces Chatham Street to the north, Herald Street to the south, and Government Street to the west. The property is approximately 1.5-acres in area and is comprised of nine legal lots that are zoned Old Town District-1, which allows for mixed-use residential/commercial development. The lots will be consolidated during the DP review process.

The property is currently occupied by a parking lot that straddles the property from Chatham to Herald; a small commercial building on Herald; an automotive service centre (Fountain Tire) at the corner of Government & Herald; and a vacant and declining commercial building on Chatham. Of note, there are no heritage or landscape resources existing on the property.

Based on pre-application discussions and meetings with Development Services, the TRG letter, and on-going consultation with Staff we understand the proposed form of development is supportable. The attached re-submission reflects the results of the process to date.

Development Rationale

The proposed development will provide a 196,160 square foot (18,223 m²) mixed-use development consisting of 1-½ levels of underground parking, ground floor commercial space, approximately 278 purpose-built, secured market rental apartments in two buildings that are 4, 5 and 6 storeys in height that are organized around a landscaped central courtyard designed for the enjoyment of the future residents. Of note, the owner applied for CMHC financing in April 2021 for this proposal, and if granted, the proposal will designate affordable housing units that will be monitored by the Capital Region Housing Corporation ("CRHC"). The development will provide much needed rental apartments for the community, secured by a legal agreement with the City, and is a direct response to low rental vacancy levels in Victoria. The resulting development program and building form was a collaborative effort between our design team and Staff.

The property is zoned Old Town District-1 that permits residential and commercial uses on the ground floor. The maximum permitted FSR is 3.0 and the maximum permitted height is 15m. A height variance will be required for the proposal, which is supportable per recent and past approvals, guidance from Staff, and general support from ADP and HAP. A separate request is attached to this rationale for Council consideration.

The commercial component will provide approximately 19,575 square feet (1,819 m²) of ground floor space that will animate the street edge on all three street frontages. The commercial space will feature a range of retail unit sizes and a 'feature' unit at the corner of Government & Herald Streets.

The residential component will provide approximately 142,960 square feet (13,282 m²) of upper floor apartments consisting of a mix of studios (50%), 1 bedroom (32%), 2 bedroom (17%), and 3 bedroom (1%) homes. All apartments will have a patio, balcony or "Juliette" balcony, and all residents will have access to an interior landscaped courtyard located between the two principal buildings. All apartment units and floors will be accessible via an elevator from central lobbies located at the Chatham and Herald entrances, and the underground parking lot. The building features enhanced amenities (available to all residents), mail rooms (with secure parcel drop-off), an office for a resident building manager, service/locker rooms, and amenitized bicycle parking & servicing.

The development will appeal to tech workers, young professionals, roommates, empty nesters, and government workers seeking an urban living experience with convenient



access to the downtown core, restaurants, bars, shops, and services that are all within walking distance.

The proposed development is consistent with the Old Town Design Guidelines and the objectives of the core historic Development Permit Areas. The efficient unit design translates into a strong urban street edge, while the façade is articulated using proportions, patterns and elements that complement the neighbourhood. The animated ground floor commercial spaces will also contribute to the integration with the neighbourhood.

The parking calculation is based on the ratios for secured market rental per Schedule C of the Parking Bylaw.

The development is based on our urban development experience and we believe it achieves a balance of residential unit types for a variety of tenants, site coverage, massing, parking, and overall design.

Site and Building Design

There is an elevation grade drop of approximately 3 metres from Herald to Chatham Street to the north. Taking advantage of this grade difference, a common vehicle/loading/service access is located from Chatham Street allowing for an efficient underground parking structure.

The proposed development has a gross floor area of 196,160 square feet (18,224 m²) at 3.0 FSR, consistent with the permitted FSR per the zoning bylaw. The apartments are distributed in two buildings with street access from Herald Street and Chatham Street respectively. The buildings will be constructed in compliance with the BC Step Code, with Step 2 for the commercial space and Step 3 for the apartment units.

Please refer to the Design Rationale as prepared by Integra Architecture and LADR Landscape Architects for more information.

Unit Size and Mix

The proposed development contains a mix of studio, 1, 2 and 3 bedroom units ranging in size from 334 square feet (31 m²) to 990 square feet (92 m²). The unit breakdown is as follows:

- Studio 139 units 50%
- 1-Bedroom 89 units 32%
- 2-Bedroom 48 units 17%
- 3-Bedroom 2 units 1%

Neighbourhood Amenities

The location of the property in Old Town and Chinatown provides a generous range of neighbourhood amenities for the future residents of the development.



- Walkable neighbourhood with existing shops and services.
- Many employment opportunities available throughout the downtown core.
- Access to transit and cycling infrastructure.
- Proximity to:
 - sports fields (Royal Athletic Park);
 - library (Greater Victoria Public Library);
 - restaurants (many options in the downtown core);
 - shopping (many options in the downtown core);
 - grocery (Victoria Public Market, Fisgard Market, Chinatown);
 - culture & heritage (Chinatown, Old Town); and
 - the future Innovation District.

Building Amenities

A host of on-site amenities are under consideration for the development including:

- communal courtyard space with social spaces & gardens;
- bike parking with amenities (i.e. workshop, bike wash);
- pet friendly living;
- secure parcel delivery service;
- in suite laundry;
- storage lockers or in-suite storage (including seasonal equipment storage);
- gym and fitness studio;
- music room;
- social gathering/co-working space that connects with the street and main lobby;
- secure keyless fob access;
- EV charging stations; and
- energy efficient appliances.



In closing, the proposed development is consistent with and complements the neighbourhood. Inspired by Old Town, the building design will respect the scale and modularity in a contemporary building to create a unique offering while increasing the supply and diversity of market rental housing, contributing to the infill and intensification of the downtown core, and integrating with the neighbourhood.

Respectfully submitted,
Denciti Development Corp. acting on behalf of
Nicola Herald Limited Partnership



David A. Fawley
Principal



Guadalupe Font
Development Manager

Copies: Miko Betanzo, Senior Planner, Urban Design
J. Anderson, A. Linaksita; Nicola Herald LP
S. Watt; Integra
B. Windjack; LADR
J. Lee; Denciti

/attachments



March 24, 2021

City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Attention: Mayor Lisa Helps and Council

**RE: Green Building Features
Development Permit DVP No. 00156
Mixed Use Commercial | Rental Residential Building
610, 618-624 Herald Street & 611-635 Chatham Street
Victoria, BC**

Dear Mayor Helps and Members of Council:

The purpose of this letter is to summarize the green building features that will be incorporated into the design of the above referenced project.

Please note this letter is updated and includes responses to the Technical Review Group ("TRG") Application Review Summary Letter of October 13, 2020, and on-going consultation with Staff.

ENERGY EFFICIENCY

1. The building will be constructed in compliance with the BC Energy Step Code with Step 3 for the residential component and Step 2 for the commercial component. The benefit will be a reduction in energy requirements and greenhouse gas emissions.
2. The high-performance building envelope will reduce heat transfer and air leakage between the interior and exterior of the building. An energy model will guide the selection of insulation values, and door and window performance criteria.
3. Each apartment will be equipped with an energy recovery ventilator ("ERV") that will manage humidity and retain warm or cool air inside the envelope thereby saving energy and maintaining a consistent temperature with improved air quality.
4. Energy efficient lighting and appliances will reduce the energy consumed by the building. Individual hydro metering will encourage residents to exercise energy efficient lifestyles.

5. The building will have a shared high-efficiency central hot water system to service the apartments.

WATER EFFICIENCY

1. Conserving potable water will be achieved with low-flow water fixtures (toilets, faucets, shower heads) in all apartments.
2. Native and/or drought tolerant plant species will be specified for the landscaped courtyard to reduce the amount of water required to maintain plant health.

STORMWATER MANAGEMENT

1. The extensive permeable area proposed in the courtyard will constitute the green stormwater infrastructure for the development.
2. Raised planters at specific locations will be considered for capturing rainwater from roof runoff.

INDOOR ENVIRONMENT

1. Indoor air quality will be maintained through the use of ERVs in each apartment.
2. All apartments will also have operable windows and doors so residents can modify the indoor environment.

TRANSPORTATION

1. The property's location enjoys a Walk Score of 99, a Bike Score of 99 (Walker's and Biker's Paradise), and a Transit Score of 76.
2. Bike parking and bike amenities such as bike repair and bike wash station are provided for all residents.
3. Discussions are in process with Modo Car Share to reinstate a vehicle at this location.
4. Electric vehicle charging stations will be provided to promote electric vehicle ownership.
5. As secured rental, the building will have 49 *fewer* parking stalls than if it was a condominium building.

MATERIALS | WASTE MANAGEMENT

1. The majority of the building will be constructed with dimensional lumber, a locally sourced and renewable resource.
2. Sustainable materials have been selected as the principal exterior cladding: brick and corrugated metal. Brick has a long lifespan, high thermal mass and is also a



high-quality material that requires low maintenance. Both brick and metal can be recycled, thus presenting an opportunity for future reuse and/or recycling.

3. Efficient design will facilitate reduced material waste during construction.

MAINTENANCE

1. The building will be managed by a professional property manager to ensure the efficient operation and function of the building's mechanical and electrical systems.

URBAN | SITE DESIGN

1. The property is underutilized and suitable for urban infill. Density in this location makes effective use of proximity to the surrounding neighbourhood amenities, which supports the objective of a complete community.
2. The property has underlying contamination (as noted in the Site Profile). The property will be remediated during construction thereby allowing for the development and intensification of the property.
3. Weather protection and shading provided at ground level by appropriately sized awnings.
4. The development has an internal landscaped courtyard that provides opportunities for garden plots suitable for urban agriculture. The raised planting beds in the courtyard can be used as an opportunity for rainwater mitigation.
5. Buildings are oriented to maximize solar gain and are separated by an inner courtyard.

We trust that you will find this submission satisfactory. Please contact us should you require additional information or would like to discuss this submission further.

Respectfully submitted,

Denciti Development Corp. acting on behalf of
Nicola Herald Limited Partnership



David A. Fawley
Principal



Guadalupe Font
Development Manager

Copies: Miko Betanzo, Senior Planner, Urban Design
J. Anderson, Andre Linaksita; Nicola Herald LP
S. Watt; Integra
B. Windjack; LADR
J. Lee; Denciti



6. **611 Chatham Street
Development Permit with Variances Application No. 00156**

John O'Reilly provided a brief introduction. David Fawley presented.

Panel Questions and Comments

- Was a special entry or feature of architectural nature considered for the corner of Herald and Chatham Streets? Options were explored but a grander entrance did not work with the design of the building.
- What is the floor-to-ceiling height and how does it vary across the site? East to west, the units get taller as you get closer to Government Street, in-line with the topography. The units are different heights based on the location in the building. Each storefront entrance will be a bit below the sidewalk.
- How much flexibility is there in changing the height differences and setback? That is up to the applicant to consider that.
- The applicant has adhered to the *Old Town Design Guidelines for New Buildings and Additions to Existing Buildings* (2019). The streets have a sawtooth profile, and some buildings are different heights which gives variety to the skyline and form of the buildings. The heritage property across from this site has adapted to provide that diversity by adjusting the colour of the brick.
- An important aspect to maintain is the streetscape. The storefronts look generic and there is a need for diversification. Signage will be a key element along with differentiation between blocks by way of balconies, windows, brick colour, etc.
- The scale of this project is the largest in the area of Old Town. It will have a large impact on the national historic site of Chinatown. The livability of the units is tied to the internal courtyard. This was an aspect that is key, but a rendering of the courtyard and its impact was not part of the presentation. The installation of boulevard trees on Herald and Chatham Streets would add value to the streetscape.
- The colours used for the building make the project look quite somber and it would benefit from more variety of colours and colours that are more complementary to Old Town
- The brick colour for the buildings in the project emphasize that it is different from the surrounding buildings. Would like to see more variation in the colour and type of brick and for the brick to be more in keeping with colours throughout Old Town.
- Is the courtyard accessible to the public? No, it is private for the use of the building's residents.

Motion:

Moved by Avery Bonner

Seconded by Jim Kerr

The Heritage Advisory Panel commends the applicant for the quality of their design and their response to the *Old Town Design Guidelines for New Buildings and Additions to Existing Buildings* (2019), and recommends to Council that Development Permit with Variances Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street be approved with the following changes:

1. Diversify the massing of the project, particularly the rooflines of the building, in order

to reduce the repetitiveness and homogeneity of the proposal and to create visual interest while responding to the site context;

2. Consider increasing the floor-to-ceiling height of ground floor commercial units to 4.5m, particularly the corner commercial unit at Herald and Government Streets;
3. Consider increasing the street wall height on Chatham Street to be consistent with the form and character of Old Town;
4. Diversify the brick colours in the project and make colours more consistent with those found in Chinatown and Old Town;
5. Consider introducing boulevard trees along all three frontages in consultation with Engineering staff;
6. Consider increasing the variety of storefront assembly designs through the use of wood assemblies, different types of canopies, awnings and lighting in order to enhance the pedestrian experience.

Carried (unanimous)

3.2 Development Permit with Variance(s) Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham Street

The City is considering a Development Permit with Variances Application for a rental residential development with 274 units and ground floor commercial uses.

Applicant meeting attendees:

DAVID FAWLEY
GUADALUPE FONT
CHRIS WINDJACK
STEVE WATT

DENCITI DEVELOPMENT CORP
DENCITI DEVELOPMENT CORP
LADR LANDSCAPE ARCHITECTS
INTEGRA ARCHITECTURE INC

Miko Betanzo provided the Panel with a brief introduction of the application and the areas that Council is seeking advice on, including the following:

- Diversifying the distribution of massing to reduce the repetitiveness and homogeneity of the proposal and to create visual interest while responding to the site context
- Increasing the ground floor height to achieve a minimum 4.5m, floor to ceiling, commercial ground floor height
- Increasing the street-wall height on Chatham Street to be consistent with the form and character of Old Town
- Revising the material selection to be of higher quality, more diverse and consistent with the form and character of Old town
- Any other aspects the ADP chooses to comment.

David Fawley provided the Panel with a detailed presentation of the site and context of the proposal. Chris Windjack provided the panel with a detailed presentation of the landscaping plan.

The Panel asked the following questions of clarification:

- Have you thought about any variation in the proportion of the structural bays?
 - Primarily we were thinking of subtleties in the detail rather than manipulating the physicality of the building. It's something we could explore moving forward. We have had conversations with the Planning Department and one of the driving elements of the building design itself has been is that it is a rental building, efficiency of design and the elegance and simplicity.
- Is the Herald Street side of this building in the Chinatown District of Old Town?
 - Yes.
- Did your team consult with a heritage specialist for that side of the building?
 - No.
- Did you give any consideration to a new street tree program to enrich the streetscape?

- The feedback we got from City staff was that street trees are not supportable along Herald Street. We cannot achieve the proper soil volume because of underground utilities. We are considering two replacement trees on Government Street.
- Was there any consideration to back up the building frontage on Herald Street to allow room for streetscape development?
 - No, because it's a rental project and being able to get efficiency of design and maximize that is what we thought was best.
- If you were to push part of the building back into the courtyard would you then have enough soil volume to create more space for those street trees?
 - There would still be underground utilities that may cause issues but it's something we could investigate.
- Regarding Herald Street, did you explore any bump outs to introduce anything like raised planters?
 - That is an item to pursue with our civil engineer and landscape team.
- In between the vertical stacks of windows there is cementitious board, was there any consideration to infill that space with brick to distinguish them more from the other brick buildings.
 - There was, we applied that in certain areas, like to the top band. We thought we did a good job finding that balance as brick is an expensive material.
- What was the design intent for the private amenity area and the landscaping?
 - The amenity space does really become the heart of the project. The outdoor space including the courtyard and indoor amenities are all meant to be a hierarchy of different spaces and uses. We have storage, music rooms, bike maintenance space, lounges, indoor and outdoor fitness, shared garden plots, dog friendly and dog walk spaces.
- Can you discuss the materials on the Chatham side, is it partially faux stone?
 - It was meant to be real slate product for an accent wall. We were thinking something a bit more edgy.
- Do you believe that the corrugated metal is consistent within this heritage area?
 - Yes, metal cladding is considered a high-quality material and there are buildings in the area with the same material. It is also extremely long lasting.

Panel members discussed:

- Appreciate the design
- More articulation of detailing
- More attention to the podium level at the store fronts
- Appreciate the high-quality materials
- Desire for warmer brick tones
- Disappointed with lack of landscaping on Herald Street

- Appreciation for the inner courtyard, amenities and the landscaping
- Concern with the massing
- Desire for different overhang options
- Opposed to the corrugated metal
- Building height and massing
- Would be more pleasing with more differentiation.

Motion:

It was moved by Ben Smith, seconded by Devon Skinner, Development Permit Application No. 00156 for 610 - 624 Herald Street and 611 - 635 Chatham be approved with the following changes:

- consider a stronger break or horizontal element between the ground floor and residential units above.
- consider a warmer brick pallet
- consider articulating the building heights on herald street to give some relief to the repetition of the massing and to provide opportunities to introduce more vegetation
- consider increased landscaping opportunities on herald street through increased building recesses, sidewalk extensions into the public realm, and increased building setbacks engineering permitting
- consider a more organic distribution of massing and materials, including more variation.
- Variable canopies and a higher floor to ceiling height at the ground floor
- reconsider the corrugated steel cladding on Chatham St.
- consider increasing the height of the building massing at the corner of government and Herald St to diversify the height and variation in the proposal
- reconsider the repetitive massing distribution along Herald St to add diversity and variation to this streetscape in the national historic china town site
- increase the floor to ceiling height to be consistent with the old town design guidelines.

Carried 5:3

For: Ben Smith, Devon Skinner, Brad Forth, Joseph Kardum, Matty Jardine

Opposed: Marilyn Palmer, Ruth Dollinger, Sean Partlow

October 24, 2020

MAYOR'S OFFICE

NOV 02 2020

VICTORIA, B.C.

To Whom It May Concern,

I am aware of the city's plan to tear down 2 businesses on Herald St, 600 block and put up a multi level retail building. I have lived at 655 Herald St, in a suite facing Herald St for 21 years now. I chose the suite I live in because it looks out over the city and also because Herald St is a quiet street. Over the last number of years since I moved in, I can't help but feel that the downtown area is starting to look more and more like a "concrete jungle" with all the tall buildings obstructing people's views. You want people to live downtown but the number of tall buildings going up seems to have "no limit". There is becoming less & less "green space". I am appealing to you to not go ahead with the proposed construction in the 600 block of Herald St.

A concerned citizen,

Arnon Green
#304-655 Herald St.
Victoria, BC
V8W 3L6

Development Permit with Variance

for

610 - 624 Herald Street &
611 - 635 Chatham Street, Victoria

Aerial Image



Photos of subject site



Corner of Government St and Herald St



Corner of Chatham St and Government St



Chatham Street



Herald Street



Photos of urban context

658 Herald St
3 storeys



648 Herald St
4 storeys



613 Herald St
6 storeys



625 Fisgard St
6 storeys



409 Swift St
5 storeys



The Janion – 456 Pandora St
6 storeys



1802 Government St
3 storeys



555 Chatham St
4 storeys



Ironworks – 515 Chatham
5 storeys



Union – Pandora and Fisgard
5 storeys

Photos of urban context - South



Photos of urban context - South



Photos of urban context — East (Hook Sin Tong Charity Building)



Photos of urban context — West (Lim Dat Building)



Photos of urban context - North



Photos of urban context — East



Photos of neighbouring properties



1 Bird's Eye View from North-East



2 Bird's Eye View from South-East

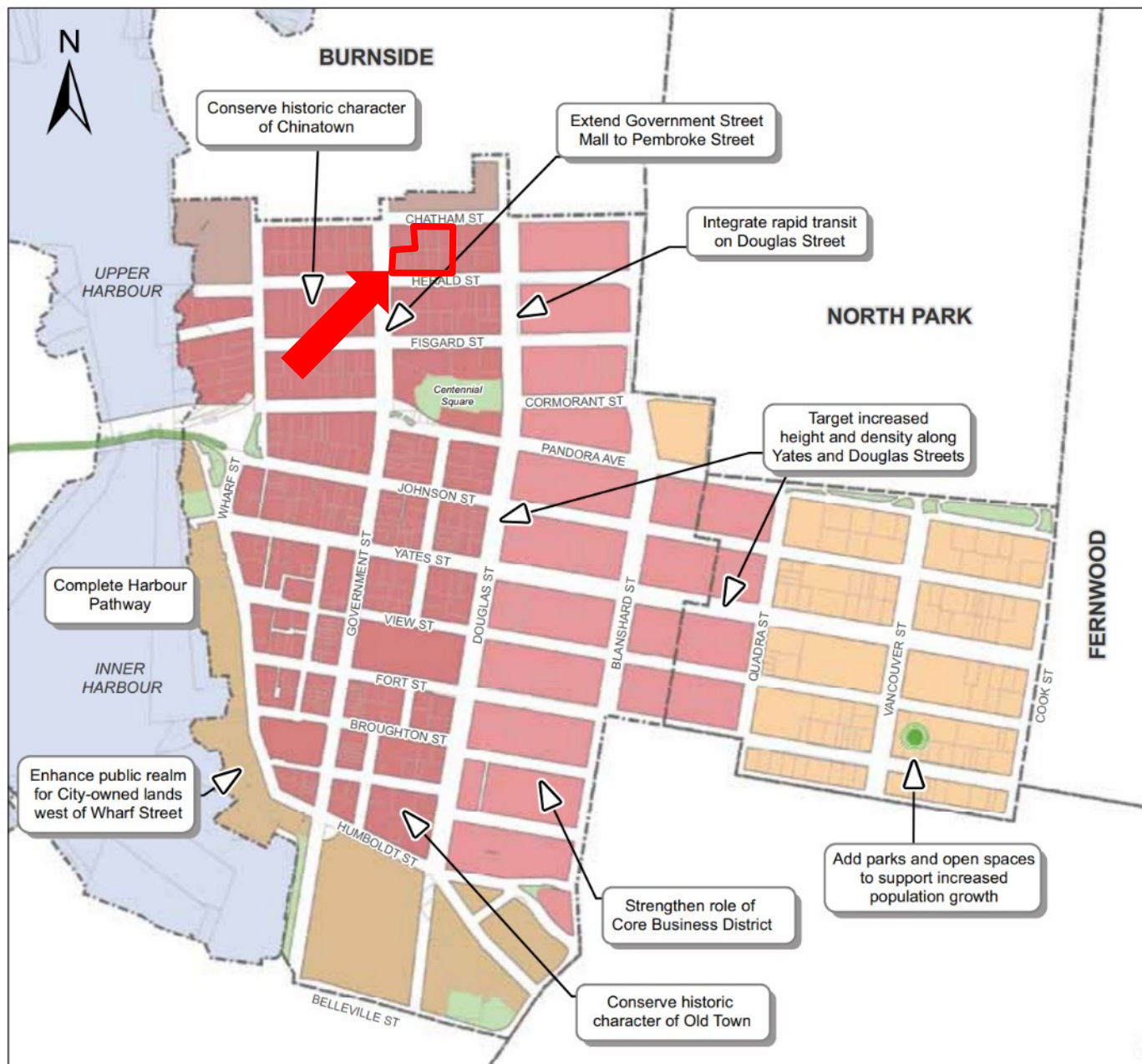


3 Herald Street [North]



4 Herald Street [South]

OCP Map – Core Historic



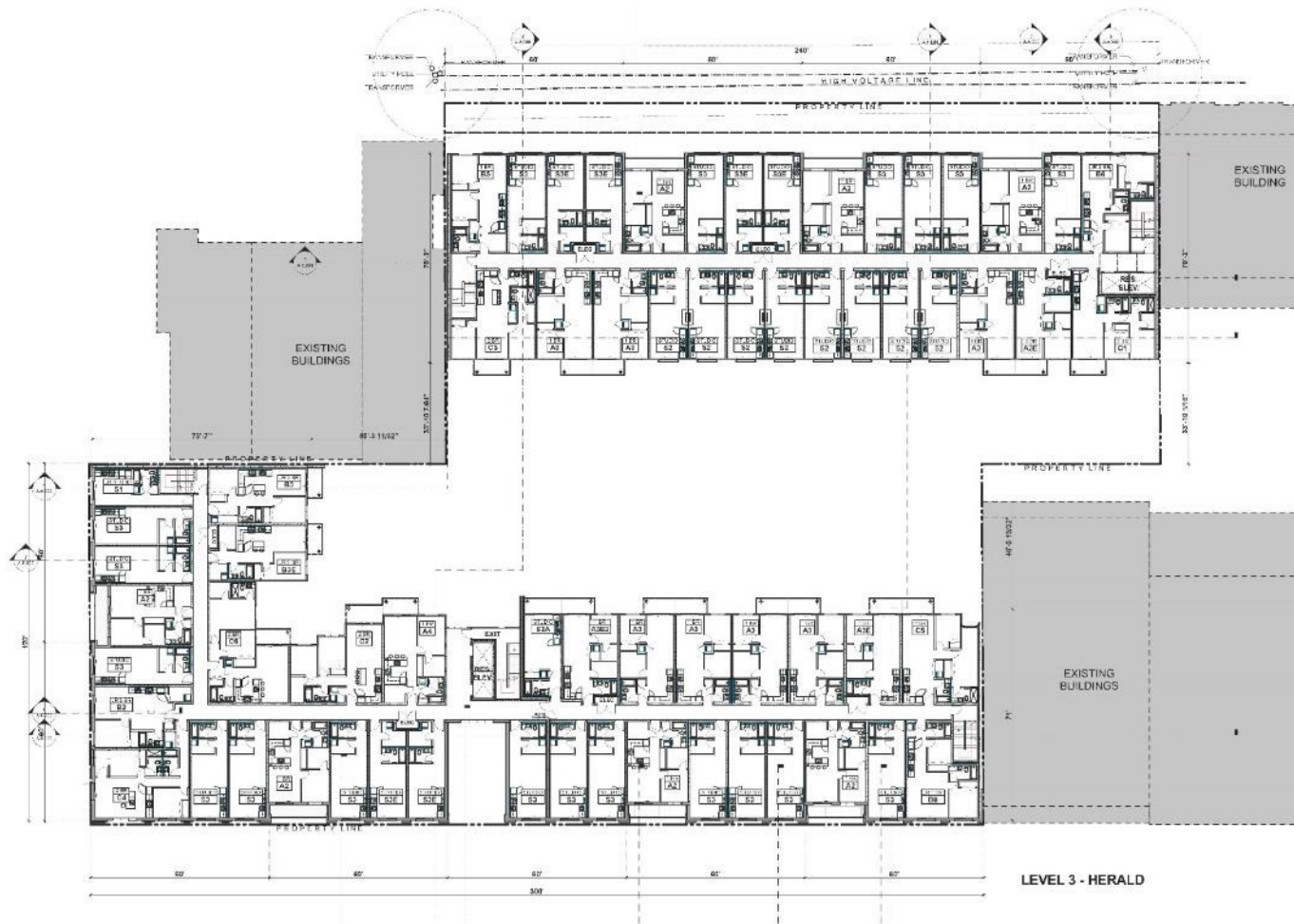
The architectural site plan illustrates the proposed development of the Chatham Building and Herald Building. The Chatham Building is located at the northern end of the site, while the Herald Building is at the southern end. The outdoor amenity space is situated between the two buildings. The plan includes detailed annotations for building footprints, setbacks, and surrounding context. Key features include:

- Chatham Building:** A large, multi-story building with a complex internal layout, including various rooms and corridors.
- Herald Building:** A large, multi-story building with a complex internal layout, including various rooms and corridors.
- Outdoor Amenity Space:** A central green space with a paved area and surrounding landscaping.
- Existing Buildings:** Several existing buildings are shown, including the Chatham Building, Herald Building, and various smaller structures.
- Property Lines and Easements:** The plan shows the boundaries of the property and any easements or rights of way.
- Surrounding Infrastructure:** The site is bounded by 615 Chatham Street to the north, 610 Herald Street to the south, and Government Street to the west.

The plan also includes various annotations for setbacks, easements, and surrounding infrastructure. Key features include:

- Setbacks:** The plan shows the setbacks for the buildings and the outdoor amenity space.
- Easements:** The plan shows the boundaries of the property and any easements or rights of way.
- Surrounding Infrastructure:** The site is bounded by 615 Chatham Street to the north, 610 Herald Street to the south, and Government Street to the west.

Level 3 floor plan



Herald street elevation



Material and Colour Legend				
Color	Product/Finish	Material/Finish	Location	CLADDING
1.1	Red Cherry Interlock Brick (ICL)	X	Exterior walls	
1.2	Manganese Terrazzo Endurot clay products (DL)	X	Exterior walls	
1.3	Handle Panel Gray Night	X	Exterior walls	
1.4	Off White	X	Exterior walls	
1.5	Gray	Weathered Zinc Corrugated Metal Waveform	Exterior walls - Feature	
1.6	Gray	Manganese Terrazzo Endurot clay products (DL)	Exterior walls - Feature	
1.7	Gray	Cast in place Concrete with Dark oxide	Exterior walls	
1.8	Gray	Cast in place Concrete with Dark oxide	Exterior walls	
1.9	Charcoal	Handle Panel Iron Gray	Exterior walls	
1.10	Charcoal	Thrupa Melton Graphite Gray Panel	Exterior walls - Feature Entry	

1.11	Gray	Handle Panel Gray Night	X	Exterior walls
1.12	Charcoal	Handle Panel Panel Gray	X	Exterior walls
2.1	Charcoal	Handle Panel Iron Gray	Charcoal	Soffit
2.2	Cedar	Fibre Cement Boards (Rigid Brick)	X	Feature Soffit
3.1	Charcoal	Combined Face Wood / Flooring	X	Back / Overhangs / Flashings
3.2	Charcoal	Charcoal Powder coated Aluminum Matt		
3.3	X	Colour Matched Easy Trim		
3.4	Yellow	Handle Panel Golden Luster	Feature Panel	
3.5	Red	Handle Panel Royal Red	Feature Panel	
4.1	Gray	Concrete Paver	X	Decks

5.1	Black	Very Windows	Black	Windows/GLAZING
5.2	Charcoal	Railings	X	Windows/GLAZING
5.3	White	Very Windows	White	Windows/GLAZING
6.1	Cedar	Feature Wood Beam	Cedar Solid Stain	Feature Wood
6.2	Black	Bibultrale Powder coated Aluminum with Toughened glass	Gloss	Infill Balconies
6.3	Black	Bibultrale Powder coated Aluminum	Matt	Infill Balconies
6.4	Black	Storefront Glazing Powder coated Aluminum Frame	Gloss	Feature Level
6.5	Black	Black Finishing (door in ceiling)		Feature Level
7.1	Charcoal	Aerating Fabric solid colour	NA	MISCELLANEOUS

Government street elevation



Material and Colour Legend

Color	Product/Source	Material	Location
CLADDING			
1.1	Red	Red Cherry Interlock Brick (36L)	Exterior walls
1.2	Gray	Manganese Ironspelt Endcoat clay products (36L)	Exterior walls
1.3	Gray	Hardie Panel Gray Night	Exterior walls
1.4	Off White	James Hardie Panel	Exterior walls
1.5	Gray	Weathered Zinc Corrugated Metal Veneer	Exterior walls - Feature
1.6	Gray	Manganese Ironspelt Endcoat clay products (36L)	Seller Course
1.7	Gray	Cast in place Concrete	Exterior walls
1.8	Gray	Cast in place Concrete with Dark oxide	Exterior walls
1.9	Charcoal	Hardie Panel Iron Gray	Exterior walls
1.10	Charcoal	Treasure Mason Graphite Gray Panel	Exterior walls - Feature Entry

1.11	Gray	Hardie Panel Iron Gray	Exterior walls
1.12	Charcoal	Hardie Panel Iron Gray	Exterior walls
2.1	Charcoal	Hardie Panel Iron Gray	Soffit
2.2	Order	Fibre Cement Boards (Wood Grains)	Feature Soffit
TRIMS / FLASHINGS			
3.1	Charcoal	Corrugated Face Wood / Flashing	Rails / Overhangs / Flashings
3.2	Charcoal	Charcoal Powder coated Aluminium Matt	
3.3	X	Cobalt Matched Easy Trim	
3.4	Yellow	Hardie Panel Outdoor Luster	Feature Panel
3.5	Red	Hardie Panel Royal Red	Feature Panel
ROOFS / DECKS			
4.1	Gray	Concrete Paver	Decks

WINDOWS / GLAZING			
5.1	Black	Very Windows	Black
5.2	Charcoal	Railings	X
5.3	White	Very Windows	White
FEATURE WOOD			
6.1	Cedar	Feature Wood Beam	Cedar Solid Beam
6.2	Black	Substrate Powder coated Aluminium with Toughened glass	Glass
6.3	Black	Substrate Powder coated Aluminium	Matt
6.4	Black	Stone front Glazing Powder coated Aluminium Frame	Gloss
6.5	Black	Black Framing (door to railing)	
MISCELLANEOUS			
7.1	Charcoal	Awning Fabric solid color	NR

Chatham street elevation



Material and Colour Legend

Color	Product/Manufacturer	Material/Finish	Location
CLADDING			
1.1	Red	Red Cherry Interstate Brick (30L)	Exterior walls
1.2	Gray	Manganese Ironspot Enduroc clay products (30L)	Exterior walls
1.3	Gray	Hardie Panel Gray Right	Exterior walls
1.4	Off White	James Hardie Panel	Exterior walls
1.5	Gray	Weathered Zinc Corrugated Metal Veneerform	Exterior walls - Feature
1.6	Gray	Manganese Ironspot Enduroc clay products (30L)	Seller Courtyard
1.7	Gray	Cast in place Concrete	Exterior walls
1.8	Gray	Cast in place Concrete with Dark oxide	Exterior walls
1.9	Charcoal	Hardie Panel Iron Gray	Exterior walls
1.10	Charcoal	Trespa Meteon Graphite Gray Panel	Exterior walls - Feature Entry

1.11	Gray	Hardie Plank Gray Right	Exterior walls
1.12	Charcoal	Hardie Panel Panel Gray	Exterior walls
2.1	Charcoal	Hardie Panel Iron Gray	Soffit
2.2	Cedar	Fibre Cement Boards (Wood Grains)	Feature Soffit
TRIMS / FLASHINGS			
3.1	Charcoal	Corbated Face Wood / Flashing	Rails / Overhangs / Flashings
3.2	Charcoal	Charcoal Powder coated Aluminium Matt	
3.3	X	Colour Matched Easy Trim	
3.4	Yellow	Hardie Panel Outdoor Luster	Feature Panel
3.5	Red	Hardie Panel Royal Red	Feature Panel
ROOFS / DECKS			
4.1	Gray	Concrete Paver	Decks

WINDOWS / GLAZING			
5.1	Black	Vinyl Windows	Black
5.2	Charcoal	Railings	X
5.3	White	Vinyl Windows	White
FEATURE WOOD			
6.1	Cedar	Feature Wood Beam	Cedar Solid Beam
6.2	Black	Substrate Powder coated Aluminium with Toughened glass	Gloss
6.3	Black	Substrate Powder coated Aluminium	Matt
6.4	Black	Stone front Glazing Powder coated Aluminium Frame	Gloss
6.5	Black	Black Fencing (door to railing)	
MISCELLANEOUS			
7.1	Charcoal	Awning Fabric solid color	NR

Context elevations



Herald Street Elevation

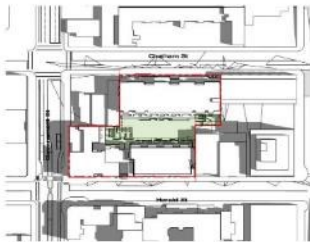


Government Street Elevation

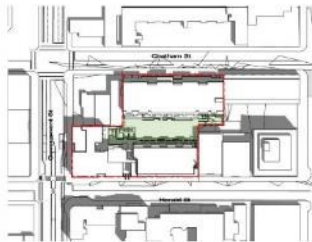


Chatham Street Elevation

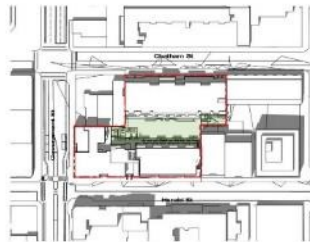
Shadow Study [Summer – June to August]



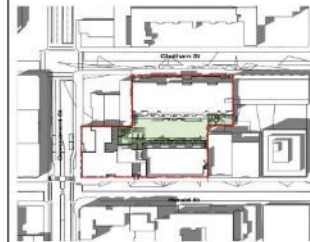
June 21 10am



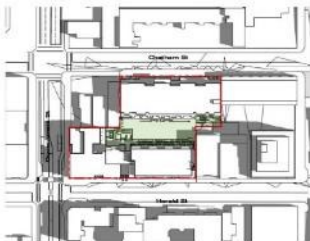
June 21 Noon



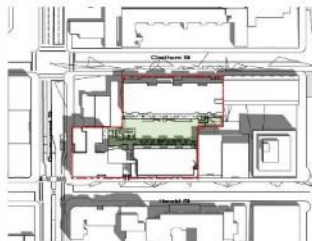
June 21 2pm



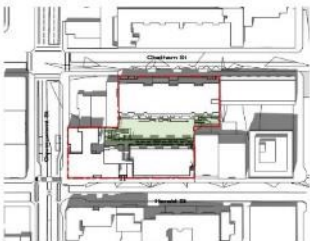
June 21 4pm



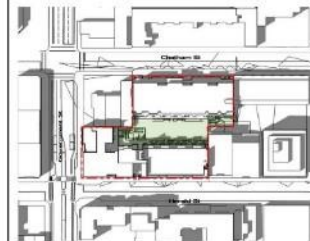
July 21 10am



July 21 Noon



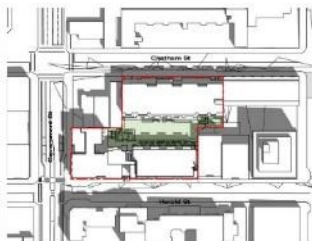
July 21 2pm



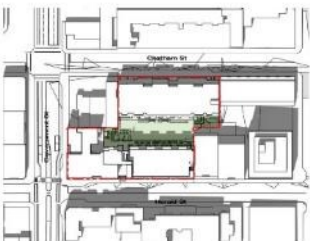
July 21 4pm



August 21 10am



August 21 Noon



August 21 2pm



August 21 4pm

Shadow Study



SUMMER SOLSTICE



SPRING/FALL EQUINOX



WINTER SOLSTICE

Shared Courtyard Landscape Plan



Raised Garden Plots



Large Retractable Shade Umbrellas



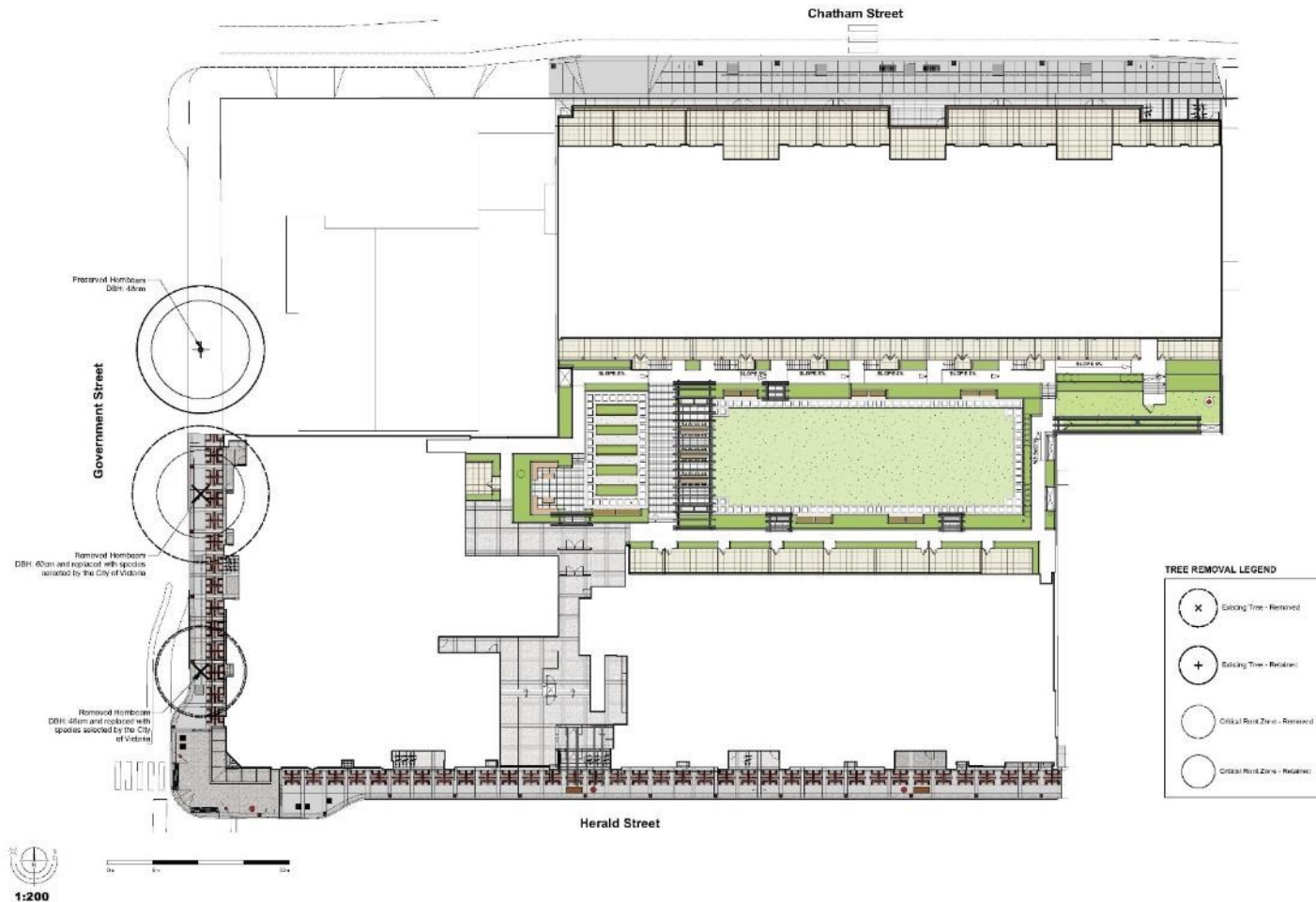
Outdoor BBQ + Dining Space



Shared Commons Open Lawn Area



Tree Management Plan



Rendering



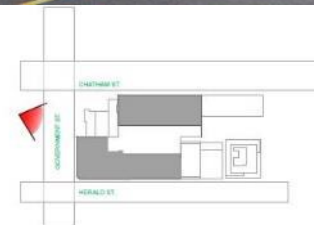
Corner of Government St and Herald St



Rendering



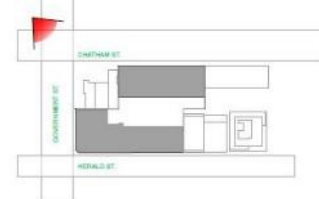
Government Street



Rendering



Corner of Chatham St and Government St



Rendering



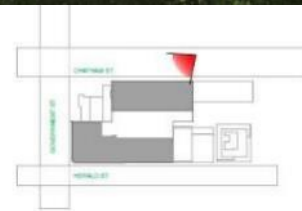
Chatham Street Entry



Rendering



Chatham Street



Rendering



Herald Street



Rendering



Herald Street Entry



Rendering



Courtyard – Outdoor Amenity



Material Board



Material Board



END

Photos of neighbouring properties



3 View #3: Government Street [East]



5 View #5: Government Street [West]



4 View #4: Douglas Street [West]



6 View #6: Douglas Street [East]

Photos of neighbouring properties



3

View #3: Chatham Street [South]



5

View #4: Chatham Street [North]