

Capital Region Housing Corporation T: 250.388.6422

631 Fisgard Street
Victoria, BC, V8W 1R7

F: 250.361.4970 www.crd.bc.ca/crhc

September 29, 2021

File: Caledonia Redevelopment

Ross Soward, Senior Planner City of Victoria, 1 Centennial Square

RE: Caledonia Victoria Housing Reserve Fund Application

On behalf of the Capital Region Housing Corporation (CRHC), south Vancouver Island's largest social housing provider, please accept the enclosed Victoria Housing Reserve Fund grant application package requesting a financial contribution from the City of Victoria to support the Caledonia Affordable Housing Redevelopment. The Caledonia project consists of redeveloping an existing 18 unit townhouse complex and consolidating adjacent brownfield parcels into a consolidated 2.14 acre parcel in the heart of Fernwood that will support 158 affordable rental units in a mixed market community.

As you know, the Caledonia development has encountered delays during the municipal approval phase during the COVID-19 Pandemic. Our estimated costs of construction have continually increased as a result of trade and material shortages. Due to the increased costs incurred by the CRHC and it's partners, we request that the City of Victoria consider waiving the grant cap established by the program and allocate the full amount eligible of \$1,065,000.

Please let me know if you have any further questions or concerns on the enclosed.

Sincerely,

Kimberly Lemmon, MCIP, RPP

Kupely Lemmon

Manager, Planning & Development



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6 T 250.361.0382 E communityplanning@victoria.ca

Victoria Housing Reserve Fund Application Checklist

Please ensure all items below are included with your application. If you have questions about your eligibility, or about this or any part of the application package, please call or email the Community Planning Division using the contact information below.

Completed application checklist

Letter to Mayor and Council describing project and how it meets Victoria Housing Reserve Fund Program objectives as outlined in the Program Guidelines

Completed Application Form

Building plans

Site plans

Capital budget

10-year operating budget

Housing operator's most recent audited financial statements (including management letter if available)

I have read and understand the Victoria Housing Reserve Fund Guidelines:

Lubely Lemmon			
Signature	Print Name	Date	

Applications will be accepted in person at City Hall, by mail, or by email. **Please contact Community Planning to ensure receipt of your application package.** The City of Victoria is not responsible for lost or missing applications.

Community Planning Division
1 Centennial Square, Victoria, BC V8W 1P6
Email: communityplanning@victoria.ca

Phone: **250.361.0382**



Capital Region Housing Corporation 631 Fisgard Street Victoria, BC, Canada V8W 1R7 T 250.388.6422 F 250.361.4970 www.crd.bc.ca/housing

September 29, 2021

Mayor and Council City of Victoria 1 Centennial Square Victoria BC, V8W 1P6

Dear Mayor Helps and Council:

Re: Victoria Housing Reserve Fund Application – Caledonia Redevelopment Project

We are pleased to submit an application for funding for a proposed redevelopment on the parcel of land located between 1211 Gladstone Avenue and 1209/1230 Grant Street. The Capital Region Housing Corporation is seeking a \$1,065,000 capital contribution from the Victoria Housing Reserve Fund. This contribution will help realize the project's vision of providing 158 new, sustainable and affordable units of housing within the Fernwood neighbourhood. This mixed-market housing project will add 140 net new rental units to the current 18 unit townhouse site to be redeveloped. Once constructed the project will provide affordable rental housing options for very low, low and moderate income individuals, families, women with children, seniors and persons with disabilities, including 15 accessible units.

Organization Information

The Capital Region Housing Corporation (CRHC) is a wholly-owned subsidiary of the Capital Regional District (CRD). As the largest housing provider in the Capital Region, the CRHC owns and/or manages over 1,800 rental units in 50 different properties across Greater Victoria. The CRHC Board is committed to improving and expanding housing opportunities in the region for households in core housing need. The Board's Strategic Plan focuses on increasing the number of rental units for households in core housing need by adding to the number of subsidized units, rent-geared-to-income units and near-market affordable rental units.

Project Description

The proposed development site consists of assembling nine under-utilized properties. The assembled 2.14 acre parcel will span from Gladstone Avenue to Grant Street. Site layout includes five separate buildings, of three 3-storey attached townhouses, one 5-storey apartment building, and one 4-storey apartment building. The total build-out will consist of 158 rental units including 14 studio units, 45 one-bedroom units, 77 two-bedroom units, 14 three-bedroom units and 8 four-bedroom units. The buildings will sit on an underground

concrete parkade with parking for 117 vehicles and 194 bicycles. Vehicular site access is from Grant Street and Caledonia Avenue.

The consolidated lot will require rezoning form the current R-K and R-2 zones to a site specific zone with a public hearing on the proposal expected in October 2021. The proposal increases the allowable density from an FSR of up to 0.6:1, allowing for up to 78 units, to an FSR of 1.29 which would allow for the proposed 158 units. Once completed, the project will further invigorate the Fernwood neighborhood, provide additional housing diversity that complements the eclectic make-up of the neighborhood, and encourage the use of multimodal transportation options, while increasing connectivity for pedestrians and active transportation throughout the neighbourhood.

Tenant Considerations

The CRHC has developed a tenant relocation policy which has been approved by the CRHC Board and have included a Tenant Assistance Plan as part of the rezoning and development permit application package. CRHC staff previously provided current tenants with information sessions about the proposed redevelopment, and have gone door-to-door to gather tenant feedback toward creating the relocation policy. See Appendix A: Tenant Relocation Policy September 2018.

CRHC has successful supported the relocation of all existing tenants to:

- Find alternate housing that meets their individual needs;
- Offer tenants a choice in new housing, including offering first right of refusal to return to the redevelopment upon completion;
- Offer frequent, accurate and timely information as the redevelopment process progresses.

Table 1: Project Specifics

Total site size (acres), ft ² (m ²)	2.146 acres	93,500 ft ² (8,681 m ²)	
Building Size, Gross Area (m ² .)	Townhouse 1:	26,447 ft ² (2,457 m ²)	
	Townhouse 2:	26,952 ft ² (2,504 m ²)	
	Townhouse 3:	7,825 ft² (727 m²)	
	5-Storey Apartment	: 40,871 ft² (3,797 m²)	
	4-Storey Apartment	: 35,166 ft² (3,267 m²)	
Building description	2 apartment buildings and 3 townhouse buildings over an		
	underground concre	ete parkade.	
Building amenities	In suite Laundry, amenity room building, secure		
	underground bicycle storage, private courtyard with		
	playground, shared community garden space.		
Number of units	158		
Parking	117 vehicles, 194 lo	ng-term bicycle, 30 short-term bicycle	



Site Access	Vehicular access on Grant Street and Vining Avenue.		
	Pedestrian access from Gladstone Ave, Caledonia Ave,		
	Vining St, North Park St and Grant St.		
Unit Mix	14 Studio: 9%		
	45 One-Bedroom: 28%		
	77 Two-Bedroom: 49%		
	14 Three-Bedroom: 9%		
	8 Four-Bedroom: 5%		

Funding/ Affordability Highlights

The CRHC has applied to the Building BC: Community Housing Fund program. The Building BC: Community Housing Fund provides grants valued between \$75,000 and \$150,000 per door dependent on unit size and a monthly operating subsidy to offset the cost of the mortgage. It also anticipates participation from the housing provider and other sources of equity. See Table 2 for the Project Financial Information including requested sources of funding.

Table 2: Project Financial Information

Item	Baseline
Soft Costs	\$11,136,818
Hard Costs	\$47,359,520
Contingency	\$5,883,940
(A) Total Project Costs	\$64,380,279
Equity Contributions	
CRHC equity	\$1,000,000
Victoria Housing Reserve Fund	\$1,065,000
(B) Total Equity Contributions	\$2,065,000
(C) Mortgage serviced by operations*	\$43,840,279
(D) Building BC Contribution	\$18,475,000
(E) Total costs: (B)+(C)+(D)	\$64,380,279
(E) TOTAL COSTS. (D)+(C)+(D)	ې ۵4,56U,279

^{*}Includes operating subsidy provided by BC Housing.

The budget and equity requirements are guided by the following unit income mix which is defined by the Building BC: Community Housing Fund program.

The project will target clients with low to moderate income levels. The project offers the following unit types based on BC Housing affordability definitions:

- 31 Deep Subsidy, very low income units:
 - o 14 studio units, 11 one-bedroom, 5 two-bedroom, 1 three-bedroom
- 78 Rent Geared to Income (RGI), low income units:

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- 26 one-bedroom, 44 two-bedroom, 4 three-bedroom, 4 four-bedroom
- 49 Affordable, moderate income units:
 - o 8 one-bedroom, 28 two-bedroom, 9 three-bedroom, 4 four-bedroom

The equity requested through the City of Victoria is aligned with the program guidelines and per unit funding assistance noted within Table 3 below.

Table 3: Unit Breakdown Chart

Unit Breakdown Chart						
Unit Size	Rent*	Quantity	Income Bracket	Eligible Funding	Max Eligible Funding	
Studio	\$375	14	Very Low	\$7,500	105,000	
Studio	\$744	0	Low	\$5,000	\$0	
Studio	\$1,200	0	Median	\$2,500	\$0	
1 bedroom	\$375	11	Very Low	\$10,000	\$110,000	
1 bedroom	\$744	26	Low	\$7,500	\$195,000	
1 bedroom	\$1,500	8	Median	\$5,000	\$0	
2 bedroom	\$570	5	Very Low	\$15,000	\$75,000	
2 bedroom	\$980	44	Low	\$10,000	\$440,000	
2 bedroom	\$1,800	28	Median	\$7,500	\$0	
3 bedroom	\$660	1	Very Low	\$20,000	\$20,000	
3 bedroom	\$1,321	4	Low	\$15,000	\$60,000	
3 bedroom	\$2,100	9	Median	\$10,000	\$0	
4 bedroom	\$700	0	Very Low	\$20,000	\$0	
4 bedroom	\$1,479	4	Low	\$15,000	\$60,000	
4 bedroom	\$2,400	4	Median	\$10,000	\$0	
Total	Total Units 158					
TOTAL FUNDING REQUEST: \$1,065,000						

^{*} Deep subsidy, RGI (Rent Geared to Income) and HILs rates per BC Housing definition and guidelines updated as of September 1, 2021

Upon the completion, the Caledonia project will add 158 new affordable, safe, attractive and sustainable units in a walkable, urban neighbourhood. The project contains 31 deep subsidy, 60 rent gear to income and 49 medium-income units for individuals, families, seniors and disabled individuals living independently without on-site supports. This development will provide a significant contribution to tackle current housing affordably issue in city.



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Since the unprecedented Covid-19 pandemic began, the construction industry has been impacted across the country and thus, we have witnessed huge increases in the costs for labour, materials and overhead construction costs. The Caledonia development has incurred delays and cost escalations that have impacted the total capital budget and jeopardizes the CRHC's ability to provide high quality, low cost non-market housing.

The CRHC requests Victoria City Council support through an equity contribution of \$1,065,000 in excess of the grant cap of \$500,000 to offset the cost of construction, based upon the current program guidelines and per unit funding allocation available.

Thank you for considering this application towards the Victoria Housing Reserve Fund (VHRF).

Please contact Kimberly Lemmon at klemmon@crd.bc.ca or 250-360-5675 should you require further information.

Sincerely,

Don Elliott, MUP

Senior Manager, Regional Housing **Capital Region Housing Corporation**



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6 T 250.361.0382 E housing@victoria.ca

Victoria Housing Reserve Fund Application for Funding

The <u>Victoria Housing Reserve Fund Program Guidelines</u> contain important information on project eligibility and the application process. Please review the guidelines prior to completing an Application for Funding.

The entire Application for Funding must be completed along with all other documents identified on the Application Checklist. Please attach additional pages if more space is needed.

An appointment is strongly encouraged prior to applying for funding to ensure the project meets eligibility criteria. To make an appointment, email housing@victoria.ca.

If you have any questions about the criteria or the process, please contact the Community Planning Division at housing@victoria.ca or 250.361.0382.

1. Letter to Mayor and Council

Please include a letter to Mayor and Council providing an executive summary of the proposed project including the amount of funding being requested. Please highlight key aspects of the proposed project and how it meets the objectives of the Victoria Housing Reserve Fund Program as outlined in the Program Guidelines.

2 Proponent Information			
Organization Name	_ Non-profit Society	Yes	No 🗌
Contact Person/Position			
Business Address			
Telephone			
Email			
Date of Incorporation			
Canada Revenue Agency Charity #			
Previous Projects Funded through the Victoria Housing Reserve Fund, if any:			
I have read and understand the Victoria Housing Reserve Fund Program Guidelines			
I understand funding is a one-time, non-renewable grant			
Application Date mm/dd/yyyy			
Applicant Signature Kubuly Lemmon			
3. Project Summary			
Submission of building and site plans are required as part of the application package.			
Address/location of project			
Developer and contact information (if different from the Proponent)			
Project Architect and contact information			
Owner and Operator of Housing			
Housing type (strata/apt etc.), number of units and sizes (bedrooms)			



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Fund Request Summary

Please list the units which are proposed to receive funding in the table below. Please refer to the VHRF Guidelines for more information about the program's Affordability Levels and Grant Eligibility Amounts.

			Identify the Affo	rdability Level		
Unit Type	Number of Units	Monthly Rent Amount	City of Victoria Affordable Rents (Very Low, Low, Median)	BC Housing Rents (Deep Subsidy, RGI, HILs)	Eligible VHRF Grant per Unit	VHRF Total Contribution
Studio						
1 Bed						
2 Bed						
3+ Bed						
Total Units						

Project Units Summary	
Total housing units on existing site: Total proposed units in the affordable housing project: Gross	Net
Target Population or Group as defined in the Program Guidelines (E.g., Se	eniors, youth, women and children, persons with disabilities, etc
Support services provided (if any)	
How does the project meet the objectives and project priorities of the Victo Guidelines?	ria Housing Reserve Fund Program as described in the Progran
What development approvals are required or have been received?	
what development approvals are required of have been received:	
Target Completion Date	



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Victoria Housing Reserve Fund Application for Funding

4. Experience and Capacity to Develop and Manage Affordable Housing

Outline the proponent's experience in the development and management of affordable housing. How does this project compare to this previous experience and the proponent's capacity to complete the project in the short-term and manage it over the long-term?
5. Project Financing and Sustainability
Describe how the funding model will support long-term financial sustainability and housing affordability. Please also attach a detailed Capital Budget and 10-year Operating Budget.
6. Partnerships
List partners in this project (developers, agencies, other levels of government etc.), and detail their involvement.
List parties in this project (developers, agentices, other levels of government etc.), and detail their involvement.



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Victoria Housing Reserve Fund Application for Funding

7. Tenant Assistance

Adherence with the <u>Tenant Assistance Policy</u> is required to be eligible to receive VHRF grant funding. Please identify whether a <u>Tenant Assistance Plan</u> is required as part of the development approvals for this project:
Yes, there are tenants at the existing site that will be displaced as a result of the proposed development and a Tenant Assistance Plan has been prepared.
No, tenants will not be displaced as a result of the proposed development.
Note: Please be advised that additional information may be requested as part of the Tenant Assistance Plan for Council's consideration.
8. Other Information
Provide any other information that supports your application.



Sustainable Planning and Community Development 1 Centennial Square Victoria, BC V8W 1P6

Tenant Assistance Plan

This form must be submitted with your rezoning or development application. For contact, please send questions to your development services planner.

SUMMARY: Instructions and steps for Developers and Property Owners

STEP 1	BACKGROUND: Understand your rights and responsibilities as a landlord. Please review the documents in the background section pertaining to relocating tenants and the City's rental replacement policies.		
STEP 2	POLICY APPLICATION: Complete tenant impact assessment to determine the requirements of your application.		
	Complete application requirement, including:		
	a. Current Site Information		
STEP 3	b. Tenant Assistance Plan		
SIEFS	c. Tenant Communication Plan		
	d. Appendix A - Current Occupant Information and Rent Rolls (For office use only)		
	e. Appendix B - Correspondence with Tenants Communication (For office use only)		
STEP 4	SUBMIT: Complete form and submit to:		
31EF 4	a. Email digital copy of plan to housing@victoria.ca (include appendices)		
STEP 5	REVISE: Applicant to update and return application requirements with staff input.		
STEP 6	FINALIZE: City staff to finalize the review and signs off application requirements and used as attachment for the Committee of the Whole report.		

BACKGROUND: Rights and Responsibilities of Landlords and Tenants

The rights and responsibilities of landlords and tenants are regulated by the Province and is set out in the Residential Tenancy Act.

Please refer to the City of Victoria's <u>website</u> for more information regarding the City of Victoria's rental housing policies. Supporting documents include:

- Tenant Assistance Instructions and Checklist
- Tenant Assistance Policy
- Frequently Asked Questions
- Sample Letter to Tenants
- Request for Tenant Assistance Form and Privacy Guidelines
- Final Tenant Assistance Report

POLICY APPLICATION: Tenant Impact Assessment to Determine the Requirements of your Application

Answer the questions below to determine whether a plan is required with your application:

Tenant Impact			Application Requirement	
Are you redeveloping or demolishing a building that will result in loss of existing residential units?		No	If yes, complete the next question.	
Does your work require the permanent relocation of tenant(s) out of the building?		No	If yes, complete and submit a tenant assistance plan.	
Do you have tenant(s) who have been residing in the building for more than one year?	Yes	No	If yes, tenants are eligible under the tenant assistance plan	

If any are selected no, then a tenant assistance plan is not required as part of your application.

TENANT ASSISTANCE PLAN

A. Current Site Information

Site Address:	
Owner Name:	
Company Name:	
Tenant Relocation Coordinator (Name, Position, Organization):	

EXISTING RENTAL UNITS

Unit Type	# of Units	Average Rents (\$/Mo.)
Bachelor		
1 BR		
2 BR		
3 BR		
3 BR+		
Total		

B. Tenant Assistance Plan

For any renovation or redevelopment that requires relocation of existing tenants, the property owner must create a Tenant Assistance Plan that addresses the following issues:

- Early communication with the tenants
- Appropriate compensation
- Relocation assistance
- Moving costs and assistance
- Right of first refusal

The City has developed a Tenant Assistance Plan template that is available for applicant use. The template includes the required FOIPPA section 27(2) privacy notification which should be identified for tenants.

Please refer to the Tenant Assistance Policy with Tenant Assistance Plan guidelines for Market Rental and Non-Market Rental Housing Development.

Required under the Residential Tenancy Act

Notice to End Tenancies

A landlord may issue a Notice to End Tenancy only after all necessary permits have been issued by the City. In addition, landlords must give four months' notice to end tenancies for renovation, demolition, and conversions. Tenants have 30 days to dispute the notice.

For more information, please refer to the Landlord Notice to End Tenancy.

Renovations and Repairs

Renovations and repairs must be so extensive that they require the unit to be empty in order for them to take place, and the only way to achieve the necessary emptiness or vacancy is by terminating a tenancy. The RTA and associated guidelines provide specific guidance pertaining to whether a landlord may end a tenancy in order to undertake renovations or repairs to a rental unit.

For more information, please refer to Ending a Tenancy for Landlord's use of Property.

Right of First Refusal

In instances of renovations or repairs requiring vacancy, the RTA requires tenants be offered the right of first refusal to enter into a new tenancy agreement at a rent determined by the landlord. This right of first refusal applies only to a rental unit in a residential property containing 5 or more units, and there are financial penalties for non-compliance.

For more information, please refer to Tenant Notice: Exercising Right of First Refusal.

For full details, please check the Government of British Columbia website.

		APPLICANT	CITY STAFF
Tenant Assistance Plan Components		Tenant Assistance Plan	Did the Applicant meet policy?
	Date:	dd/mm/yyyy	dd/mm/yyyy
Compensation Please indicate how you will be compensating the tenant(s).			Yes No
Moving Expenses Please indicate how the tenant(s) will receive moving expenses and assistance.			Yes No
Relocation Assistance Please indicate how the tenant(s) will receive relocation assistance.			Yes No
Right of First Refusal Please indicate whether the applicant is offering right of first refusal to the tenant(s). Please indicate your reasoning.			Yes No
Tenants Requiring Additional Assistance Please indicate whether there are tenants requiring additional assistance. If so, please indicate how the applicant plans to provide additional support.			Yes No
Other Comments			

		APPLICANT
Tenant Communication Plan Components		Tenant Communication Plan
	Date:	dd/mm/yyyy
How and when did you inform tenants of the rezoning or development application?		
How will you be communicating to tenants throughout the rezoning or development application (including decisions made by Council)?		
What kind of resources will you be communicating to your tenants and how will you facilitate tenants in accessing these resources? (Please see the City's website for a list of resources)		
Have tenant(s) confirmed with you whether they request assistance? If so, please indicate the staff responsible or whether a third-party service is requested.		
Other communications notes:		

FINAL TAP Review - [For City Staff to complete]

Application received by			(City Staff) on	(Date)
Did the applicant meet TAP policy?	Yes	No		
Staff Comments on final plan:				



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Tenant Assistance Plan - Appendices

To protect tenant information, the appendices is only submitted with the Tenant Assistance Plan to housing@victoria.ca. For contact, please send questions to your development services planner.

The Tenant Assistance Plan includes the collection, use and disclosure of tenants' personal information for the purpose of achieving the goals contained in the Tenant Assistance Policy and guidelines. The collection, use and disclosure of tenants' personal information must comply with the Freedom of Information and Protection of Privacy Act (FOIPPA). Privacy requirements for compliance with FOIPPA have been adopted and expressed in privacy language in Tenant Assistance Plan documentation to ensure continued compliance.

For privacy compliance, please have:

- Applicants and tenants review and sign the Tenant Assistance Policy Compliance with FOIPPA
- Tenants fill and sign the Request for Tenant Assistance to return to applicant

APPENDIX A: Current Occupant Information and Rent Rolls (For office use only)

Please attach the current tenant information and rent rolls as Appendix A.

All Units (existing and former tenants within the past year)

Apartment Unit Number	Bedroom Type (Bachelor, 1 BR, 2 BR etc.)	Tenant Name (if none, list as vacant with reason for end of previous tenancy)	Does the Tenant Require Additional Assistance (Y/N)? If yes, what additional support?	Start Date of Tenancy	Current Monthly Rent Amount

APPENDIX A: Current Occupant Information and Rent Rolls (For office use only)

Apartment Unit Number	Bedroom Type (Bachelor, 1 BR, 2 BR etc.)	Tenant Name (if none, list as vacant with reason for end of previous tenancy)	Does the Tenant Require Additional Assistance (Y/N)? If yes, what additional support?	Start Date of Tenancy	Current Monthly Rent Amount

APPENDIX B: Correspondence with Tenants (For office use only)

The applicant is responsible for submitting a copy of all written correspondence and notification to tenants to City staff as Appendix B. For more information on supporting your tenants through development process, see the <u>Tenant Assistance Policy Guide</u>.

Appendix A:

POLICY	Tenant Relocation Policy		
AND PROCEDURES MANUAL	POLICY NO. 2.48	EFFECTIVE September 25, 2018	AMENDMENT NO.

1. Policy

This policy will ensure that the CRHC adheres to fair and transparent tenant relocation practices that abide with the British Columbia Residential Tenancy Act (BC RTA) and BC Housing's Guiding Principles on redevelopment and tenant relocation. This policy will assure that the redevelopment of aging affordable housing properties "will ensure that people in greatest housing need in the capital region will have improved access to housing that best meets those needs and that affordable housing residents currently living at sites slated for redevelopment will be considered first at all key stages of the redevelopment process."

2. Purpose

This policy outlines rehousing provisions for current affordable housing tenants in aging CRHC affordable housing communities that are being proposed for redevelopment.

3. Management of the Policy

This policy is managed by Regional Housing Services, the CRHC Tenant Services staff. Any modifications to this policy subsequent to implementation must be reviewed and approved by the CRHC Board.

4. Definitions

a) Affordable Market

Applicants from households with income over the Housing Income Limits (HILs) but below the moderate income limit can apply for low-end market housing. Low-to-moderate income households are defined as those whose income level is within the second quintile of the total household income of two persons or more in British Columbia. To be eligible for an affordable market unit, total household income must not exceed this amount at move-in.

¹ https://www.bchousing.org/partner-services/asset-management-redevelopment/redevelopment-process-princlples

b) Household Income Limits (HILS)

HILs is set by BC Housing and represents the income required to pay the average market rent for an appropriately sized unit in the private market.

c) Official Notice

Official Notice refers to an official provision of a "Notice to End Tenancy" that is provided to the tenant four months prior to demolition or renovation as per the Residential Tenancy Act (BC).

d) Rent Geared to Income (RGI)

To be eligible for rent-geared-to-income (RGI) or subsidized housing, the applicant's gross household income must be below certain income limits, as established by the (HILs).

e) Unofficial Notice

Unofficial Notice refers to the CRHC providing advance notification to tenants of a renovation or redevelopment 12 months prior to demolition in order to support the tenants in acquiring housing.

f) Vulnerable Tenants

Vulnerable tenants, those occupying rent-geared-to-income units such as seniors, persons with disabilities, or those living on very low incomes, are among those most affected by redevelopment or renovation. They often require more assistance in the relocation process as there are fewer choices available to them. These individuals also tend to be longer-term residents, and the process of moving may be more challenging for them.

5. Policy Priority

This policy takes priority over CRHC Policy 2.10 Applicant Eligibility.

6. Tenant Engagement

a) Informing of proposed redevelopment

CRHC tenants will be provided *Unofficial Notice* at least 12 months prior to demolition if a redevelopment of their community is proposed.

b) Tenant Relocation Plans

Once the funding is approved and a resolution by the CRHC Board is made to proceed with the redevelopment, the CRHC staff will meet with tenant households to develop individualized Tenant Relocation Plans (TRP).

c) Design Consultation

Tenants will be provided opportunities to consult on the design of the proposed redevelopment throughout the process. Notice of these opportunities will be provided in writing.

d) Updates
 Monthly updates will be provided in writing.

7. Tenant Relocation Plans (TRP)

- a) Staff will meet with Tenant Households to develop individualized TRP. These plans will support tenants in moving to an existing CRHC unit or with another social housing provider.
- b) TRP will take into consideration the requirements of *Vulnerable Tenants*. Additional financial compensation or support, such as partnering with health organizations and other non-profit services, may be requested for *Vulnerable Tenants* and will be reviewed for consideration in the TRP.
- c) The TRP will guide staff in providing appropriate housing choices based on employment, location of school(s) and health requirements.
- d) Tenants will be provided three offers of housing based on their choices and availability of CRHC housing.
- e) Offers of housing will reasonably accommodate medical requirements. Written confirmation by a health professional of medical accommodation requirements must be provided.
- f) Affordable Market tenants that meet the eligibility requirements will be offered CRHC units based on Canadian National Occupancy Standard guidelines.
- g) Affordable Market tenants that meet the eligibility requirements will be advised during the TRP meeting of the rental rates in CRHC communities. Tenants will be required to pay the rents that are applicable in their "chosen" community and the accompanying security deposit. Proof of income will be required.
- h) Rent-Geared-to Income (RGI) tenants that meet the eligibility requirements will be offered CRHC units based on Canadian National Occupancy Standard guidelines.

- Current Tenants who do not meet the eligibility requirements for RGI or affordable market housing will be provided with information on at least three rental options in the community that are rented for no more than 30% of their household income.
- j) Arrangement for an insured moving company or a flat-rate payout for moving expenses will be as follows:
 - i. A maximum of \$750 for bachelor and 1-bedroom households; and
 - ii. A maximum of \$1,000 for two or more bedroom households.
- k) Current tenants will be given right of first refusal to move back into the redevelopment and tenants must meet the eligibility requirements for the redevelopment.
- I) CRHC will work with other housing providers to secure appropriate housing for tenant households where applicable.
- m) Tenants will be provided with move-out cleaning instructions prior to vacating their current units.
- n) After completing a move-out inspection, CRHC may agree to the transfer of security deposits to the new unit for tenants relocating to CRHC units. Depending on the rent of the new unit, an additional damage deposit may be required, and the tenant will be required to make up the difference. Alternatively, if the rent is less, the tenant will receive a refund for the balance.

8. Reasonable Notice

All reasonable efforts will be made to house tenants prior to the demolition of the building. CRHC will provide at least four months' *Official Notice* to tenants prior to demolition as per the *Residential Tenancy Act (BC)*.

9. Tenant Relocation Report

CRHC must keep records and documentation for reporting purposes. At minimum that is to include:

- a) Names of the tenants;
- b) Accommodations provided;
- c) Outcome of their search for alternate accommodation; and
- d) A summary of the monetary value given to each tenant (e.g., moving costs, rent, etc.).

10. Municipal Tenant Relocation Policies

The CRHC will work in cooperation with those municipalities who have adopted tenant relocation guidelines or policies.

11. Related Legislation, Policies and Documents

- a) British Columbia Residential Tenancy Act
- b) BC Housing's Guiding Principles
- c) CRHC Policy 2.10 Applicant Eligibility
- d) CRHC Policy 2.11 Tenant Eligibility for Rent Supplement/RGI
- e) CRHC Policy 2.12 Occupancy Guidelines
- f) CRHC Policy 2.34 Pet Policy
- g) CRHC Policy 2.47 Smoke-Free

Caledonia

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Scott Murdoch (250) 412-2891 email: scott@mdidesign.ca

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L2.01 LANDSCAPE GRADING & DRAINAGE SOUTH L2.02 LANDSCAPE GRADING & DRAINAGE NORTH

PROJECT DESCRIPTION

CIVIC ADDRESS: 1230 GRANT STREET

1209,1218,1219,1220, and 1226 NORTH PARK STREET 1219 VINING STREET

1235 CALEDONIA AVENUE

1211 GLADSTONE AVENUE

LEGAL DESCRIPTION:

LOT 4 VIP205 SECTION SR VICTORIA

LOT 5 VIP205 SECTION SR VICTORIA LOT 6 VIP205 SECTION SR VICTORIA

LOT 7 VIP205 SECTION SR VICTORIA

N 56' OF LOT 8 VIP205 SECTION SR VICTORIA REM LOT 8 VIP205 SECTION SR VICTORIA

LOT 9 VIP205 SECTION SR VICTORIA

LOT 18 VIP205 SECTION SR VICTORIA

LOT A SECTION 53, SPRING RIDGE, VIP55528

PROJECT SUMMARY:

THE PROJECT INVOLVES THE DEVELOPMENT OF 158 AFFORDABLE HOUSING RESIDENTIAL UNITS AND SUPPORT FACILITIES IN 2 APARTMENT AND 3 TOWNHOUSE BUILDINGS OVER ONE BASEMENT LEVEL OF PARKADE. DEMOLITION OF EXISTING BUILDINGS AND SITE FEATURES BY OTHERS.





PROJECT DATA

1.1 - ZONING B	YLAW SUMMARY	
ZONE OD 47 (OLADOTONE COMPREHENON/E	DEVELOPMENT DIOTDIOT	
ZONE : CD-17 (GLADSTONE COMPREHENSIVE I USES : RESIDENTIAL, PUBLIC	DEVELOPMENT DISTRICT)	
USES: RESIDENTIAL, PUBLIC		
	PERMITTED/REQUIRED	PROPOSED
SITE AREA (m²):	8,680.00 (min.)	8,681.
TOTAL FLOOR AREA (m²):	0,000.00 (11111.)	0,001.
See Table 1.2	11,193.00 (max.)	11,166.0
PUBLIC BUILDING FLOOR AREA (m²):	140.00 (max.)	1
FLOOR SPACE RATIO:	(11000)	<u> </u>
(11,166/8,681.1 = 1.29)	1.29:1 (max.)	1.29
AVERAGE GRADE (GEODETIC) (m):	· í	
See A202A for calculation		
BUILDING 1: APT-1, APT-2, TH-1, TH-3 &		
PORTION OF PARKADE ABOVE NATURAL		
GRADE (>33.2m)	n/a	33
BUILDING 2: TH-2	n/a	32
SITE COVERAGE:		
See A202B for calculation	57% (max.)	55
OPEN SITE SPACE:		
See A202C for calculation	40% (max.)	42
BUILDING HEIGHTS (m)		
See Table 1.3	45.00 (. 4 5
PRINCIPAL BUILDING (max.):	15.00 (max.)	< 15.0
Except for the following:		
Principal building within 89.50m of Gladstone	11.25 (may)	44.4
Avenue (TH-2) NUMBER OF STOREYS:	11.25 (max.)	11.1
See Table 1.3	n/a	1
VEHICLE & BICYCLE PARKING	11/4	<u> </u>
See Table 1.4		
500 145/0 1.1		
MINIMUM NEW BUI	LDING SETBACKS (m)	
GLADSTONE AVENUE (min.):	7.00	7.
Except for the following maximum projection into	1.00	<u> </u>
he setback:		
-Steps:	1.46	0
GRANT STREET (min.):	7.00	7
SIDE YARD (EAST) (min.:	2.50	2
Except for the following maximum projection into		
he setback:		
Steps	1.50	1
SIDE YARD (WEST) (min.):	4.00	4.
	L USE DETAILS	
FOTAL NUMBER OF NEW UNITS:		1
NEW UNIT TYPES:		STUDIO, ONE, TWO
		THREE, & FOUR
NEW ODOLING ODJENITED WITH		BEDROOM
NEW GROUND ORIENTED UNITS:		
MINIMUM NEW UNIT FLOOR AREA (m²):		11.1
TOTAL NEW RESIDENTIAL FLOOR AREA (m²):		11,1

As per City of Victoria Zoning Bylaw*	
	m²
APARTMENT 1	1
Level 1	77
Level 2	84
Level 3	84
Level 4	70
TOTAL APT-1 AREA	3,18
APARTMENT 2	
Level 1	76
Level 2	63
Level 3	
	80
Level 4	80
Level 5	66
TOTAL APT-2	3,68
TOWNHOUSE 1	
Level 0**	56
Level 1	58
Level 2	59
Level 3	63
TOTAL TH-1 AREA	1,80
** Does not contribute to FSR	1,00
Does not contribute to 1 Six	
TOWNHOUSE 2	
Level 0**	60
Level 1	59
Level 2	59
Level 3	63
TOTAL TH-2	1,82
** Does not contribute to FSR	
TOWNHOUSE 3	
Level 1	22
Level 2	23
Level 3	24
TOTAL TH-3	70
	1
TOTAL FLOOR AREA	11,16
*"Area" as defined is measured to the interior face o	of the exterior walls
the storey at floor level plus the area enclosed by a	ny cantilevered
element that is within that storey and that is above the	floor level, but does
not include of the following areas:	
a) areas used for parking or movement of motor veh	icles;
	cycle Parking, Long

excluding floor space under a ceiling which is less than 1.8m above

1.2 - TOTAL FLOOR AREAS

TOTAL FLOOR AREA	11,166
*"Area" as defined is measured to the interior face of the e the storey at floor level plus the area enclosed by any can element that is within that storey and that is above floor le not include of the following areas:	tilevered
 a) areas used for parking or movement of motor vehicles; b) areas used or intended to be used for required Bicycle F Term; c) areas of balconies, exposed decks, patios or roofs; and d) areas of elevator shafts. 	
**"Total Floor Area" is the sum of the areas of all floors of	the buildings,

1.3 - BUILDING HEIGHTS				
As per City of Victo	As per City of Victoria Zoning Bylaw			
	No. OF STOREYS	HEIGHT (m)		
APARTMENT 1	4	12.300		
APARTMENT 2	5	14.980		
TOWNHOUSE 1	4	11.175		
TOWNHOUSE 2	3	10.775		
TOWNHOUSE 3	3	9.475		

		PARKING REQ	UIREMENTS
As per City or	Victoria Zoning VEHICLE		
UNIT SIZE	No. OF	ZONING	TOTAL
(m²)	UNITS	MULTIPLIER	(spaces)
<45	14	0.2	3
45-70	58	0.5	29
>70	86	0.75	65
TOTAL RESI	DENT PARKIN	G REQUIRED	96
VISITOR	158	0.1	16
	SITOR PARKIN		16
TOTAL VI	SHORFARRIN	IG NEQUINED	10
TOTAL PA	RKING SPACE	S REQUIRED	112
101712171		o regon es	
TOTAL PA	RKING SPACE	S PROVIDED	117
includes 5 Sur	face parking sp	paces	
includes 5 Sur	, , ,	paces PARKING	
Includes 5 Sur	, , ,		
LONG TERM UNIT SIZE	BICYCLE No. OF	PARKING ZONING	TOTAL
LONG TERM UNIT SIZE (m²)	BICYCLE No. OF UNITS	PARKING	TOTAL (spaces)
LONG TERM UNIT SIZE (m²) <45	No. OF UNITS	PARKING ZONING MULTIPLIER 1	TOTAL (spaces)
LONG TERM UNIT SIZE (m²) <45 >45	No. OF UNITS 14 144	ZONING MULTIPLIER 1 1.25	TOTAL (spaces) 14 180
LONG TERM UNIT SIZE (m²) <45 >45	No. OF UNITS	ZONING MULTIPLIER 1 1.25	TOTAL (spaces)
LONG TERM UNIT SIZE (m²) <45 >45 TOTAL VIS	BICYCLE No. OF UNITS 14 144 SITOR PARKIN	ZONING MULTIPLIER 1 1.25 G REQUIRED	TOTAL (spaces) 14 180 194
LONG TERM UNIT SIZE (m²) <45 >45 TOTAL VIS	BICYCLE No. OF UNITS 14 144 SITOR PARKIN	ZONING MULTIPLIER 1 1.25	TOTAL (spaces) 14 180
LONG TERM UNIT SIZE (m²) <45 >45 TOTAL VIS	No. OF UNITS 14 144 SITOR PARKIN	ZONING MULTIPLIER 1 1.25 G REQUIRED	TOTAL (spaces) 14 180 194
LONG TERM UNIT SIZE (m²) <45 >45 TOTAL VIS	BICYCLE No. OF UNITS 14 144 SITOR PARKIN	ZONING MULTIPLIER 1 1.25 G REQUIRED	TOTAL (spaces) 14 180 194
LONG TERM UNIT SIZE (m²) <45 >45 TOTAL VIS TOTAL PA SHORT TERM	BICYCLE No. OF UNITS 14 144 SITOR PARKIN RKING SPACE e greater of)	ZONING MULTIPLIER 1 1.25 G REQUIRED	TOTAL (spaces) 14 180 194
LONG TERM UNIT SIZE (m²) <45 >45 TOTAL VIS TOTAL PA SHORT TERM Residential (th 0.1 x 158 or 6.	BICYCLE No. OF UNITS 14 144 SITOR PARKIN RKING SPACE e greater of)	ZONING MULTIPLIER 1 1.25 G REQUIRED	TOTAL (spaces) 14 180 194
LONG TERM UNIT SIZE (m²) <45 >45 TOTAL VIS TOTAL PA SHORT TERM Residential (th 0.1 x 158 or 6.	No. OF UNITS 14 144 SITOR PARKIN RKING SPACE e greater of) 0 x 5	ZONING MULTIPLIER 1 1.25 G REQUIRED	TOTAL (spaces) 14 180 194

90% Review	21-03-16		
Issued for 90% BP Coordination	21-01-27		
Description Issued for 50% Coordination	e 20-11-25	Rev -	
drawing file 1907.3 A001 Project Data.vwx	21-03-16	plot date	
checked by CRK	NLC	drawn by	
project number 1907	N.T.S.	scale	

NOTE: All dimensions are shown in millimeters.

dHKa	dHK arc	hitect
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Caledonia		
Victoria BC drawing litle Project Data		
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PROJECT DATA, Contiunted

		1.5 - UNIT MAT	RIX	
* Measured from	m the exterior face o	f sheathing to C/L	of party & corridor w	<i>ralls</i>
** Indicates Acc	cessible Units			
		APARTMENTS	1 & 2	
UNIT TYPE	DESCRIPTION	QUANTITY	UNIT ΔRFΔ (m²)**	TOTAL AREA (m²)
STUDIO	BEGGIAII HOIL	QUARTITI	ONIT AREA (III)	TOTAL AREA (III)
Unit Type A	1 Bath	14	34	476
				-
1 BEDROOM	1 4 5 1 / 4 5 // 1	0.0	10	1 -0.4
Unit Type B	1 Bed / 1 Bath	36	49	,
Unit Type C** Unit Type D	1 Bed / 1 Bath 1 Bed / 1 Bath	7 2	54 47	375 94
Offic Type D	I Deu / I Daui		47	94
2 BEDROOM				
Unit Type E**	2 Bed / 1 Bath	5	79	394
Unit Type F	2 Bed / 1 Bath	2	67	133
Unit Type G	2 Bed / 1 Bath	4	65	259
Unit Type H	2 Bed / 1 Bath	4	70	280
Unit Type I	2 Bed / 1.5 Bath	1	78	78
Unit Type J	2 Bed / 1 Bath	2	64	127
Unit Type K Unit Type L	2 Bed / 1 Bath 2 Bed / 1 Bath	<u>1</u>	73 62	73 62
Offic Type L	2 Deu / I Datii	I_	02	02
3 BEDROOM				
Unit Type M	3 Bed / 1.5 Bath	7	89	624
Unit Type N	3 Bed / 1.5 Bath	2	87	174
Unit Type O	3 Bed / 1.5 Bath	1	88	88
Unit Type P**	3 Bed / 1.5 Bath	1	106	106
Unit Type Q	3 Bed / 1.5 Bath	1	89	89
4 BEDROOM				·
Unit Type R	4 Bed / 1.5 Bath	2	108	
Unit Type S	4 Bed / 1.5 Bath	2	114	229
Unit Type T	4 Bed / 1.5 Bath TOTALS	2 97	98	
	IUIALS	97		5,836
	-	TOWNHOUSES 1	2 & 3	
		IOWINIOUOLO I	, 2 & 3	
2 BEDROOM				
2B T1	2 Bed / 1 Bath	8	83	664
2B T1A	2 Bed / 1 Bath	10	84	840
2B T2	2 Bed / 1 Bath	8	89	712
2B T2A	2 Bed / 1 Bath	10	90	900
2B T3	2 Bed / 1 Bath	3	81	243
2B T3A	2 Bed / 1 Bath	1	82	82
2B T3B	2 Bed / 1 Bath	2	81	162
2B T4	2 Bed / 1 Bath	4	89	356
2B T4A 2B T4B	2 Bed / 1 Bath	1	90 89	90
2B T5A	2 Bed / 1 Bath 2 Bed / 1 Bath	<u>2</u> 1	81	178 81
2B T6A	2 Bed / 1 Bath	<u>'</u> 1	89	89
2B T7	2 Bed / 1 Bath	1	82	82
2B T8	2 Bed / 1 Bath	1	87	87
2B T9	2 Bed / 1 Bath	1	79	79
2B T10	2 Bed / 1 Bath	1	87	87
2B T11**	2 Bed / 1 Bath	2	104	208
3 BEDROOM				
3B T1	3 Bed / 1.5 Bath	2	118	236
4 DEDDOOM				
4 BEDROOM	4 Dod / 4 E Doth	0	120	000
4B T1	4 Bed / 1.5 Bath	2 61	130	260
	TOTALS	וֹס		5,436
		SUMMARY	7	
		SOMMAN		
11	JNITS	QUANTITY		
Studio		14		
1 Bed		45		
2 Bed		77		
3 Bed		14		
4 Bed		8		
TOTAL		158		
TOTAL UNIT A	REA			11,272

	s and Construction Standards (201	. • ,		
FUNCTION	DESCRIPTION OF UNITS/SPACES	m²/UNIT OR	No. OF UNITS	TOTAL m²
a.) RESIDENTIAL UNITS*	Studios		14	4
	1 Bedroom		45	2,2
*See Table 1.5 - Unit Matrix for specific	2 Bedroom		77	6,3
unit type information.	3 Bedroom		14	1,3
	4 Bedroom		8	9
RESIDENTIAL UNIT TOTAL			158	11,2
LA DECIDENTIC AMENUTY	IADTA La ede Danie			
b.) RESIDENT'S AMENITY	APT 1 - Laundry Room			
	APT 2 - Laundry Room			4
	APT 2 - Multipurpose Room			1
RESIDENT'S AMENITY TOTAL	APT 2 - Common Washroom			1
RESIDENT S AMENITY TOTAL				
c.) CIRCULATION				
APARTMENT 1				
	Corridors and Lobby			3
Total of areas Levels 1 - 4	Stairs			1
	Elevators			
APARTMENT 2				
	Corridors and Lobby			3
Total of areas Levels 1 - 5	Stairs			1
	Elevators			
TOWNHOUSE 1	To			
Total of areas Levels 0 & 1	Corridors and Lobby			
	Stairs			
TOWNHOUSES 2 & 3	Elevators			
No interior public or semi-public		1		
circulation spaces.	n/a	n/a	n/a	n/a
CIRCULATION TOTAL				1,0
				-,-
d.) SERVICE ROOMS				
Located above grade.				
APARTMENT 1				
Total of areas Levels 1 - 4	Janitor's Room			
10(a) 01 a10a3 L67613 1 - 4	Electrical Closets			
APARTMENT 2				
	Janitor's Room			
Total of areas Levels 1 - 5	Janitor's Room Electrical Closets			
Total of areas Levels 1 - 5	Electrical Closets			
Total of areas Levels 1 - 5 TOWNHOUSE 1				
Total of areas Levels 1 - 5 TOWNHOUSE 1	Electrical Closets			
Total of areas Levels 1 - 5 TOWNHOUSE 1	Electrical Closets Storage Room			
Total of areas Levels 1 - 5 TOWNHOUSE 1	Electrical Closets			TOTA
	Electrical Closets Storage Room			
Total of areas Levels 1 - 5 TOWNHOUSE 1	Electrical Closets Storage Room			TOTAL m²
Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA	Electrical Closets Storage Room			TOTAL m² 11,2
Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY	Electrical Closets Storage Room			TOTAL m² 11,2
Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION	Electrical Closets Storage Room			TOTAI m² 11,2
Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS	Electrical Closets Storage Room			TOTAI m² 11,2 1
Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS f.) GROSS LIVABLE AREA (GLA)	Electrical Closets Storage Room			TOTAI m² 11,2 1
Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS f.) GROSS LIVABLE AREA (GLA) (a + b + c + d)	Electrical Closets Storage Room			TOTAI m² 11,2 1
Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS f.) GROSS LIVABLE AREA (GLA) (a + b + c + d) Overall Building Efficiency	Electrical Closets Storage Room			TOTAI m² 11,2 1
Total of areas Levels 1 - 5 TOWNHOUSE 1 SERVICE ROOMS TOTAL a.) TOTAL RESIDENTIAL AREA b.) TOTAL RESIDENT'S AMENITY c.) TOTAL CIRCULATION d.) TOTAL SERVICE ROOMS f.) GROSS LIVABLE AREA (GLA) (a + b + c + d)	Electrical Closets Storage Room			TOTAI m² 11,2 1

CODE ANALYSIS

REFERENCE DOCUMENT BCBC 2018

ARKADE CCUPANCY CLASS

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
BELOW GRADE PARKADE -

GROUP F, DIVISION 3 - LOW HAZARD INDUSTRIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BELOW GRADE PARKADE CONSIDERED AS A SEPARATE BUILDING AND SEPARATED FROM THE FLOORS OF ALL BUILDINGS ABOVE BY A 2 HOUR FIRE SEPARATION IN ACCORDANCE WITH 3.2.1.2.

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.78 - GROUP F, DIVISION 3 - ANY HEIGHT, ANY AREA, SPRINKLERED FIRE SUPPRESSION - FULL SPRINKLERED ALLOWABLE HEIGHT - ANY HEIGHT ALLOWABLE AREA - ANY AREA CONSTRUCTION - NON COMBUSTIBLE

FLOOR ASSEMBLIES - 2 HOUR SUPPORTING WALLS AND STRUCTURE - 2 HOUR

ACTUAL SIZE AND CONSTRUCTION FIRE SUPPRESSION - FULL SPRINKLERED

HEIGHT - 1 STOREY AREA - 3905 SM CONSTRUCTION - NON COMBUSTIBLE FLOOR ASSEMBLY - 2 HOUR

SUPPORTING WALLS AND STRUCTURE - 2 HOUR

APARTMENT 1

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)

GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.51 - GROUP C, UP TO 4 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 4 STOREYS
ALLOWABLE AREA - 1800 SM (BASED ON FOUR STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR
ROOF ASSEMBLY - NONE

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 4 STOREYS
AREA - 872 SM
CONSTRUCTION - COMBUSTIBLE

FLOOR ASSEMBLY - 1 HOUR SUPPORTING WALLS AND STRUCTURE - 1 HOUR ROOF ASSEMBLY - NONE

APARTMENT 2

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)

GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.50 - GROUP C, UP TO 6 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 6 STOREYS & 18 M
ALLOWABLE AREA - 1800 SM (BASED ON FIVE STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR
ROOF ASSEMBLY - 1 HOUR

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 5 STOREYS, 14.96 M
AREA - 831 SM
CONSTRUCTION - COMBUSTIBLE
FLOOR ASSEMBLY - 1 HOUR
SUPPORTING WALLS AND STRUCTURE - 1 HOUR
ROOF ASSEMBLY - 1 HOUR

TOWNHOUSE 1

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 3 STOREYS
ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED HEIGHT - 3 STOREYS WITH BASEMENT AREA - 645 SM CONSTRUCTION - COMBUSTIBLE FLOOR ASSEMBLY - 45 MIN. SUPPORTING WALLS AND STRUCTURE - 45 MIN. ROOF ASSEMBLY - NONE

TOWNHOUSE 2

OCCUPANCY CLASSIFICATIONS (TABLE 3.1.2.1)
GROUP C - RESIDENTIAL

OCCUPANCY SEPARATIONS (TABLE 3.1.3.1)

BUILDING SIZE AND CONSTRUCTION RELATIVE TO OCCUPANCY

3.2.2.54 - GROUP C, UP TO 3 STOREYS, SPRINKLERED
FIRE SUPPRESSION - FULLY SPRINKLERED
ALLOWABLE HEIGHT - 3 STOREYS
ALLOWABLE AREA - 1800 SM (BASED ON THREE STOREYS)
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF - NONE

ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 3 STOREYS WITH BASEMENT
AREA - 645 SM
CONSTRUCTION - COMBUSTIBLE
FLOOR ASSEMBLY - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF ASSEMBLY - NONE

WNHOUSE 3

OCCUPANCY CLASSIFICATIONS (TABLE 9.10.2.1)
GROUP C - RESIDENTIAL

FIRE-RESISTANCE RATINGS (TABLE 9.10.8.1)

USE - RESIDENTIAL (GROUP C)
MAXIMUM HEIGHT - 3 STOREYS
MAXIMUM AREA - 600 SM
CONSTRUCTION - COMBUSTIBLE OR NON COMBUSTIBLE
FLOOR ASSEMBLIES - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF ASSEMBLY - NONE

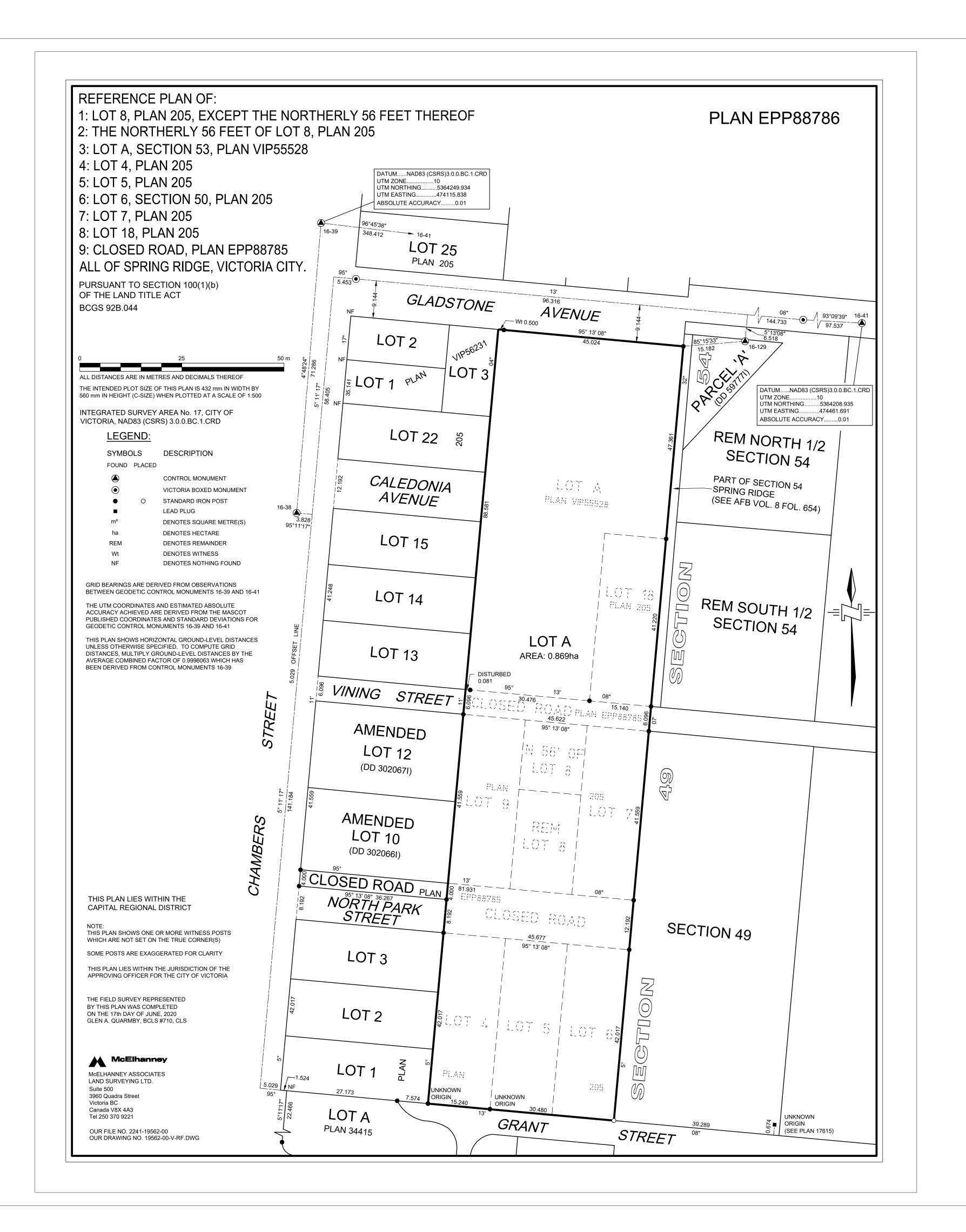
ACTUAL SIZE AND CONSTRUCTION

FIRE SUPPRESSION - FULLY SPRINKLERED
HEIGHT - 3 STOREYS WITH BASEMENT
AREA - 253 SM
CONSTRUCTION - COMBUSTIBLE
FLOOR ASSEMBLY - 45 MIN.
SUPPORTING WALLS AND STRUCTURE - 45 MIN.
ROOF ASSEMBLY - NONE

		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A001 Project Data.vwx
drawn by		NLC	checked by	CRK
scale		N.T.S.	project number	1907

NOTE: All dimensions are shown in millimeters.





		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A001 Project Data.vwx
drawn by		NLC	checked by	CRK
scale		N.T.S.	project number	1907

NOTE: All dimensions are shown in millimeters.

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Caledonia Victoria BC		
drawing title Survey		
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EXTERIOR WALL ASSEMBLIES

WALL TYPE NO.	WALL ASSEMBLY (PLAN)	CONSTRUCTION	CALCULATED EFFECTIVE R-VALUE	NOTES
WE1	WE1a WE1b WE1c Grid	FIBRE CEMENT CLADDING 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX (See Struct.) 75mm RIGID MINERAL WOOL INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE WE1a,c: 13mm PLYWOOD SHEATHING WE1b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) R14 min. 89mm FIBREGLASS BATT INSULATION TO FILL CAVITY 6 mil. POLY VAPOUR BARRIER WE1c only: 13mm PLYWOOD SHEATHING WE1b only: 16mm PLYWOOD SHEATHING 16mm TYPE 'X' GYPSUM WALLBOARD	R26 EFF	FIBRE CEMENT PANEL OR FIBRE CEMENT SHINGLE OR FIBRE CEMENT LAPPED SIDING SEE ELEVATIONS FOR CLADDING LOCATIONS SEE STRUCTURAL FOR SHEAR WALL LOCATIONS
WE2 WE2a	WE2 WE2a	FIBRE CEMENT CLADDING 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX 75mm RIGID MINERAL WOOL INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE WE2: 13mm PLYWOOD SHEATHING WE2a: 16mm PLYWOOD SHEATHING 38 x 140mm WOOD STUDS @ 400mm O.C. MAX R20 140mm FIBERGLASS BATT INSULATION TO FILL CAVITY 6 mil. POLY VAPOUR BARRIER 16mm TYPE 'X' GYPSUM WALLBOARD	R31 EFF	FIBRE CEMENT PANEL OR FIBRE CEMENT SHINGLE OR FIBRE CEMENT LAPPED SIDING SEE ELEVATIONS FOR CLADDING LOCATIONS SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
WE3	Grid	90 mm BRICK VENEER (200mm MODULE) 26 mm AIR CAVITY SLOTTED BRICK TIES WITH INSULATION RETAINER 75mm RIGID MINERAL WOOL INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE 13mm PLYWOOD SHEATHING (See Struct.) 38 x 89mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) R14 min. 89mm FIBREGLASS BATT INSULATION TO FILL CAVITY 6 mil. POLY VAPOUR BARRIER 16mm TYPE 'X' GYPSUM WALLBOARD	R26 EFF	BRICK VENEER CLAD EXTERIOR WALL
WE4	see struct.	DRAINAGE MAT BITUMINOUS DAMPPROOFING REINFORCED CONCRETE (see Struct. for KIM admix specs.)	R1.5 EFF	PARKADE EXTERIOR BELOW GRADE
WE5	See struct.	PAINT FINISH OR SBS MEMBRANE (see Spec.) REINFORCED CONCRETE (see Struct.)	R1.3 EFF	PARKADE EXTERIOR
WE6	See struct.	DRAINAGE MAT AND FILTER CLOTH LIQUID APPLIED WATERPROOFING MEMBRANE (60 mil DRY FILM THICKNESS) REINFORCED CONCRETE (See Struct.) 50 mm XPS BOARD INSULATION C/W P.T. WOOD BATTENS 0.15 POLY VAPOUR BARRIER 13 mm GYPSUM WALLBOARD	R12 EFF	PARKADE EXTERIOR BELOW GRADE INSULATED
WE7	See struct.	DRAINAGE MAT AND FILTER CLOTH LIQUID APPLIED WATERPROOFING MEMBRANE (60 mil DRY FILM THICKNESS) REINFORCED CONCRETE (See Struct.) 13 mm AIR GAP 38x89 mm P.T. WOOD STUDS @ 400 mm O.C. MAX RSI - 2.47 (R14) BATT INSULATION 0.15mm POLY VAPOUR BARRIER 13 mm GYPSUM WALLBOARD	R12 EFF	BELOW GRADE BASEMENT WALL
WE8		FIBRE CEMENT PANEL 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX (See Struct.) 75mm SEMI-RIGID INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE PLYWOOD SHEATHING (Refer to Struct. Shear wall Schedule for minimum thickness) 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. RSI 2.1 ACOUSTIC BATT INSULATION 25mm AIRSPACE 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. RSI 2.1 ACOUSTIC BATT INSULATION 6 mil. POLY VAPOUR BARRIER 2 layers 16mm TYPE 'X' GYPSUM WALLBOARD	R36 EFF	ELEVATOR SHAFT WALL ABOVE ROOF SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
WE9		FIBRE CEMENT PANEL 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX 75mm SEMI-RIGID INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE PLYWOOD SHEATHING (Refer to Struct. Shear wall Schedule for minimum thickness) 38 x 89mm WOOD STUDS @ 400mm O.C. R14 min. 89mm FIBREGLASS BAT INSULATION TO FILL CAVITY 6 mil. POLY VAPOUR BARRIER 2 layers 16mm TYPE 'X' GYPSUM WALLBOARD	R23.9 EFF	POP-UP ROOF WALLS SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
WE10		FIBRE CEMENT PANEL 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX 75mm SEMI-RIGID INSULATION (R12) VAPOUR PERMEABLE SHEATHING MEMBRANE 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS @ 400mm O.C. R14 min. 89mm FIBREGLASS BAT INSULATION TO FILL CAVITY 16mm PLYWOOD SHEATHING VAPOUR PERMEABLE SHEATHING MEMBRANE 19 x 89mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING @ 400mm O.C. MAX FIBRE CEMENT PANEL	N / A	FIN WALLS SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.

INTERIOR WALL ASSEMBLIES

WALL TYPE NO.	WALL ASSEMBLY (PLAN)	CONSTRUCTION	FIRE RATING	STC RATING	NOTES
W1	115	13mm GYPSUM WALLBOARD 38 x 89mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) 13mm GYPSUM WALLBOARD	N/A	N/A	TYPICAL INTERIOR PARTITION
W2	W2 W2a W2b W2c W2d	16mm TYPE 'X' GYPSUM WALLBOARD W4a,c: 13mm PLYWOOD SHEATHING W4b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) W4c: 13mm PLYWOOD SHEATHING W4d: 16mm PLYWOOD SHEATHING 16mm TYPE 'X' GYPSUM WALLBOARD	1 HR	N/A	TYPICAL INTERIOR PARTITION - RATED SUPPORTING WALL SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
W 3	22,	16mm TYPE 'X' GYPSUM WALLBOARD 38 x 140mm WOOD STUDS @ 400mm O.C. MAX (See Struct.) 140mm MINERAL WOOL BATT INSULATION 16mm TYPE 'X' GYPSUM WALLBOARD	N/A	32 BCBC 2018 Table 9.10.3.1A Wall Type W1c sim.	PLUMBING PARTITION
W4	* NOTE: NO PENETRATIONS BACK TO BACK	16mm TYPE 'X' GYPSUM WALLBOARD 6 mil POLY AIRTIGHTNESS LAYER (on suite side only) W4a,c: 13mm PLYWOOD SHEATHING W4b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX ON 38 x 140mm PLATE (See Struct.) 2 layers 65mm ACOUSTIC BATT INSULATION one each side W4c: 13mm PLYWOOD SHEATHING W4d: 16mm PLYWOOD SHEATHING 2 layers 16mm TYPE 'X' GYPSUM WALLBOARD	1 HR	52 BCBC 2018 Table 9.10.3.1A Wall Type W8a sim.	CORRIDOR PARTITION STAIR SEPARATION SEE STRUCTURAL FOR SHEAR WALL LOCATIONS.
W5	*NOTE: NO PENETRATIONS BACK TO BACK	16mm TYPE 'X' GYPSUM WALLBOARD 6 mil POLY AIRTIGHTNESS LAYER (coord. location on site) W5a,c: 13mm PLYWOOD SHEATHING W5b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX (See Struct.) RSI 2.1 ACOUSTIC BATT INSULATION W5c: 13mm PLYWOOD SHEATHING W5d: 16mm PLYWOOD SHEATHING 25mm AIRSPACE 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX (See Struct.) RSI 2.1 ACOUSTIC BATT INSULATION 2 layers 16mm TYPE 'X' GYPSUM WALLBOARD	1 HR	61 BCBC 2018 Table 9.10.3.1A Wall Type W14a sim.	SUITE SEPARATION PARTITION ELEVATOR SHAFT [COORDINATE BLOCKING FOR ELEVATOR] SEE STRUCTURAL FOR SINGLE-SIDED SHEAR WALL LOCATIONS.
W6	*NOTE: NO PENETRATIONS BACK TO BACK	16mm TYPE 'X' GYPSUM WALLBOARD 6 mil POLY AIRTIGHTNESS LAYER (coordinate location on site) W6a,c: 13mm PLYWOOD SHEATHING W6b,d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX (See Struct.) RSI 2.1 ACOUSTIC BATT INSULATION W6c: 13mm PLYWOOD SHEATHING W6d: 16mm PLYWOOD SHEATHING 25mm AIRSPACE W6c: 13mm PLYWOOD SHEATHING W6d: 16mm PLYWOOD SHEATHING 38 x 89mm WOOD STUDS STAGGERED @ 400mm O.C. MAX (See Struct.) RSI 2.1 ACOUSTIC BATT INSULATION W6a,c: 13mm PLYWOOD SHEATHING W6b,d: 16mm PLYWOOD SHEATHING	1 HR	61 BCBC 2018 Table 9.10.3.1A Wall Type W14a sim.	SUITE SEPARATION PARTITION SEE STRUCTURAL FOR DOUBLE-SIDED SHEAR WALL LOCATIONS.
W7	See struct.	REINFORCED CONCRETE WALL (see Struct.)	1 HR 1.5 HR 2 HR	N/A	CONCRETE PARTITION
W8	See struct.	REINFORCED CONCRETE WALL (see Struct.) 50mm POLY-ISO RIGID INSULATION ADHERED TO BLOCK 13mm GYPSUM WALLBOARD ADHERED TO INSULATION	1 HR 1.5 HR 2 HR	N/A	CONCRETE PARTITION [INSULATED AT PARKADE ELEVATOR LOBBIES]
W 9		190mm REINFORCED CONCRETE BLOCK (HOLLOW CORE UNITS TO BE ULC RATED)	1 HR 1.5 HR 2 HR	N/A	CONCRETE BLOCK PARTITION
W10	253	190mm REINFORCED CONCRETE BLOCK (HOLLOW CORE UNITS TO BE ULC RATED) 50mm POLY-ISO RIGID INSULATION ADHERED TO BLOCK 13mm GYPSUM WALLBOARD ADHERED TO INSULATION Effective R-Value: R12	2HR	N/A	CONCRETE BLOCK PARTITION [INSULATED AT PARKADE ELEVATOR LOBBIES]
W11	041	140 mm CONCRETE BLOCK FILLED WITH CONCRETE - interior and exterior finish as specified	1.5 HR 2HR	N/A	HOLLOW CORE UNITS TYPE L2 20S CONCRETE 15 MPA 28 DAYS
WH0	<u> </u>	16 mm TYPE 'X' GYPSUM WALLBOARD 38 x 89mm WOOD STUDS ON FLAT @ 400mm O.C. ± 6mm AIRSPACE TO ADJACENT CONSTRUCTION	N/A	N/A	INTERIOR FURRED PARTITION
WH1	105	16 mm TYPE 'X' GYPSUM WALLBOARD 38 x 89mm WOOD STUDS @ 400mm O.C. ± 6mm AIRSPACE TO ADJACENT CONSTRUCTION	N/A	N/A	INTERIOR FURRED PARTITION
WH2	156	16 mm TYPE 'X' GYPSUM WALLBOARD 38 x 140mm WOOD STUDS @ 400mm O.C. ± 6mm AIRSPACE TO ADJACENT CONSTRUCTION	N/A	N/A	INTERIOR FURRED PARTITION
WS1		16 mm TYPE 'X' GYPSUM WALLBOARD 64 mm C-H STEEL STUDS @ 600mm O.C. 25 mm GYPSUM SHAFT LINER PANEL	1 HR	N/A	SHAFT WALL

Assemblies Notes

- Calculation of Fire Resistance Rating including Table D-2.3.4.A and Table D-2.3.4.E:
- 15.9 mm Type 'X' gwb 40 minutes
 Wd Studs 400 mm o.c. 20 minutes
 Total Fire Resistance 60 minutes
 Interior vertical fire separations shall be rated from both sides and include a gwb membrane on both sides (D-2.3.5.(1)).
- 190 mm Hollow Concrete Units type N/S concrete: equivalent thickness 106 mm providing a Fire Resistance Rating of up to 1.5 hr (Table D-2.1.1). For 2hr F.R.R. grout block solid or provide ULC 2hr labeled block.
- 4. 1hr Fire Resistance Rating of ceiling membrane per BCBC 3.1.7.1.(4) on the basis of M2 in Table A-9.10.3.1.B. Openings permitted not in conformance to the requirements of Appendix D (BCBC 3.1.9.5.(1)).
- All roof spaces to maintain minimum 63 mm clearance between top of batt insulation and u/s sheathing and be vented in accordance with BCBC 9.19.1.2 (minimum).
- Engineered cladding shop drawing is required for exterior wall assemblies.
- 7. Exterior air barrier membrane must be installed as per manufacture recommendations.
- The suffix 'i' indicates the addition of mineral wool batt insulation to interior wall type noted.

		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
olot date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vwx
irawn by		LGF	checked by	CRK
scale		N.T.S.	project number	1907

scale N.T.S. project number

NOTE: All dimensions are shown in millimeters.



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Victoria BC

Wall Assemblies

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FLOOR ASSEMBLIES

FLOOR TYPE NO.	FLOOR ASSEMBLY (SECTION)	CONSTRUCTION	FIRE RATING	STC RATING	NOTES
F1		FLOOR FINISH AS SPECIFIED 38mm LIGHTWEIGHT GYPSUM-CONCRETE TOPPING LOW COMPRESSION SOUND MAT 16mm T&G PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) RSI 4.9 ACOUSTIC BATT INSULATION RESILIENT METAL CHANNELS @ 400mm O.C. 2 LAYERS 16mm TYPE 'X' GYPSUM WALLBOARD	1 HR	68 BCBC 2018 Table 9.10.3.1B Floor Type F38c sim.	TYPICAL FLOOR (FIRE SEPARATION)
F2		FLOOR FINISH AS SPECIFIED 38mm LIGHTWEIGHT GYPSUM-CONCRETE TOPPING LOW COMPRESSION SOUND MAT 16mm T&G PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) 1 LAYERS 13mm GYPSUM WALLBOARD	45 MIN	43 BCBC 2018 Table 9.10.3.1B Floor Type F35e sim.	TYPICAL FLOOR WITHIN TWO LEVEL SUITE
F3	1 HR F.R.R. BY MEMBRANE ONLY NO PENETRATIONS (D-2.3.12)	FLOOR FINISH AS SPECIFIED 38mm LIGHTWEIGHT GYPCRETE TOPPING LOW COMPRESSION SOUND MAT 16mm T&G PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) RSI 2.1 ACOUSTIC BATT INSULATION 2 LAYERS 16mm TYPE 'X' GYPSUM WALLBOARD WITH NO PENETRATIONS OR OPENINGS PERMITTED (D-2.3.12) MECHANICAL CAVITY HANGERS (layout and spacing per Struct.) T-BARS (layout and spacing per plan) ACOUSTIC CEILING (see Specification)	1 HR	N/A	TYPICAL CORRIDOR FLOOR & CEILING
F4		FLOOR FINISH AS SPECIFIED REINFORCED CONCRETE SUSPENDED SLAB (see Struct.) SPRAY APPLIED FIBROUS INSULATION Effective R-Value : R15	2 HR	52 ⁺ BCBC 2018 Table 9.10.3.1B Floor Type F1b	MAIN FLOOR SUSPENDED SLAB
F5		VEHICULAR TRAFFIC MEMBRANE STRUCTURAL CONCRETE SLAB SLOPED TO DRAINS (see Struct.)	N/A	N/A	TYPICAL SUSPENDED PARKADE SLAB AND INTERNAL RAMPS
F6		CONCRETE SEALER STRUCTURAL CONCRETE SLAB SLOPED TO DRAINS (See Struct.) 10 mil POLY VAPOUR BARRIER (see Specifications) 150mm MIN. COMPACTED GRANULAR FILL	N/A	N/A	SLAB ON GRADE

DECK ASSEMBLIES

DECK TYPE NO.	DECK ASSEMBLY (SECTION)	CONSTRUCTION	NOTES
D1		VINYL DECK MEMBRANE 16mm PLYWOOD SHEATHING DECK JOISTS TAPERED MIN. 2% SLOPE TO DRAIN (sizing and spacing per Struct.) SOFFIT CLADDING AS SPECIFIED	BALCONY ASSEMBLY
D2		CONCRETE PAVERS OR C.I.P. CONCRETE PATHWAYS (see Landscape drawings and specs.) MINIMUM 50mm DRAINAGE MEDIUM DRAINAGE COMPOSITE PROTECTION BOARD 2 PLY SBS MODIFIED ROOF MEMBRANE STRUCTURAL CONCRETE SLAB MIN. 2% SLOPE TO DRAIN (see Struct.)	GROUND FLOOR PATIOS OR PATHWAYS
D3		GROWING MEDIUM: REFER TO LANDSCAPE ARCHITECT'S DRAWINGS AND SPECIFICATIONS FOR SOIL DEPTHS REQUIRED (Grass, Shrubs, Trees). NOTE: Maximum soil depth of 600mm - provide light weight filler (rigid insulation) to bring soil depths up to correct profiles. Refer to Mechanical for location of perforated drain pipes within planters. DRAINAGE COMPOSITE PROTECTION BOARD ROOT BARRIER (See Landscape for extent) 2 PLY SBS MODIFIED ROOF MEMBRANE STRUCTURAL CONCRETE SLAB MIN. 2% SLOPE TO DRAIN (see Struct.)	LANDSCAPED DECKS AND PLANTERS
D4		DECORATIVE ROCK 200mm MAX (see Landscape) DRAINAGE COMPOSITE PROTECTION BOARD 2 PLY SBS MODIFIED ROOF MEMBRANE STRUCTURAL CONCRETE SLAB MIN. 2% SLOPE TO DRAIN (see Struct.)	DRAINAGE BORDERS
D5		0.5mm URETHANE TRAFFIC TOPPING WEAR COURSE WITH AGGREGATE (heavy duty application required) 1.0mm URETHANE TRAFFIC TOPPING WATERPROOFING STRUCTURAL CONCRETE DECK MIN. 2% SLOPE TO DRAINS (see Struct.)	PARKING RAMP

ROOF ASSEMBLIES

ROOF TYPE NO.	ROOF ASSEMBLY (SECTION)	CONSTRUCTION	CALCULATED EFFECTIVE R VALUE	NOTES
R1	sloped roof 1: 12	2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED 150mm POLYISO RIGID INSULATION RSI 4.9 (R28) - MECHANICALLY FASTENED SELF ADHERED VAPOUR RETARDER 16mm PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) 1 LAYER 13mm GYPSUM WALLBOARD	R33.5 EFF	MAIN ROOF - Apartment 1
R1r	sloped roof 1 : 12	2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED 150mm POLYISO RIGID INSULATION RSI 4.9 (R28) - MECHANICALLY FASTENED SELF ADHERED VAPOUR RETARDER 16mm PLYWOOD SHEATHING (see Struct.) WOOD JOISTS (sizing and spacing per Struct.) 2 LAYERS 16mm TYPE 'X' GYPSUM WALLBOARD	R33.5 EFF	MAIN ROOF - Apartment 2 1 HR FRR REQUIRED AT ROOF BCBC 3.1.7.1.(4) - M2 in table A-9.10.3.1.B ⁴
R2		2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED 150mm POLYISO RIGID INSULATION RSI 4.9 (R28) - MECHANICALLY FASTENED SELF ADHERED VAPOUR RETARDER 16mm PLYWOOD SHEATHING (see Struct.) TAPERS MIN. 2% SLOPE TO DRAIN ROOF JOISTS (sizing and spacing per Struct.) 1 LAYER 13mm GYPSUM WALLBOARD	R28 EFF	TYPICAL FLAT ROOF - Apartment 1 1 HR FRR REQUIRED AT ROOF BCBC 3.1.7.1.(4) - M2 in table A-9.10.3.1.B ⁴
R2r		2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED 150mm POLYISO RIGID INSULATION RSI 4.9 (R28) - MECHANICALLY FASTENED SELF ADHERED VAPOUR RETARDER 16mm PLYWOOD SHEATHING (see Struct.) TAPERS MIN. 2% SLOPE TO DRAIN ROOF JOISTS (sizing and spacing per Struct.) 2 LAYERS 16mm TYPE 'X' GYPSUM WALLBOARD	R28 EFF	TYPICAL FLAT ROOF - Apartment 2 1 HR FRR REQUIRED AT ROOF BCBC 3.1.7.1.(4) - M2 in table A-9.10.3.1.B ⁴
R3	VENT AREA NOT LESS THAN 1/150 OF INSULATED CEILING AREA	ASPHALT ROOF SHINGLES ROOFING UNDERLAYMENT PLYWOOD ROOF SHEATHING (see Struct.) ENGINEERED WOOD TRUSSES (see Struct.) RSI 7.0 (R40) THERMAL BATT INSULATION IN CAVITY 6 mil POLYETHYLENE SHEET 1 LAYER 13mm GYPSUM WALLBOARD	R36 EFF	TOWNHOUSE ROOF (See elevations for roof slope)
R4	sloped to drain - min. 2%	2 PLY SBS MODIFIED ROOF MEMBRANE ASPHALT OVERLAY BOARD - MECHANICALLY FASTENED TAPERED 38 x 89mm PURLINS @ 610mm O.C. MAX (provide 2% slope to drain) WOOD ROOF JOISTS (sizing and spacing per Struct.) SOFFIT CLADDING AS SPECIFIED	N/A	ENTRANCE CANOPY ROOF
R5		1.5 mm FULLY ADHERED VINYL DECK MEMBRANE 16 mm PLYWOOD SHEATHING 125 mm AVG. RIGID XPS INSULATION SLOPED TO DRAINS (75 mm MIN.) ADHERED VAPOUR BARRIER 16 mm PLYWOOD SHEATHING (See Struct.) DIMENSIONAL LUMBER/ENGINEERED ROOF JOISTS (see structural) 1 LAYER 13mm GYPSUM WALLBOARD	R28 EFF	DECK OVER HEATED SPACE

Assemblies Notes

 Calculation of Fire Resistance Rating including Table D-2.3.4.A and Table D-2.3.4.E:

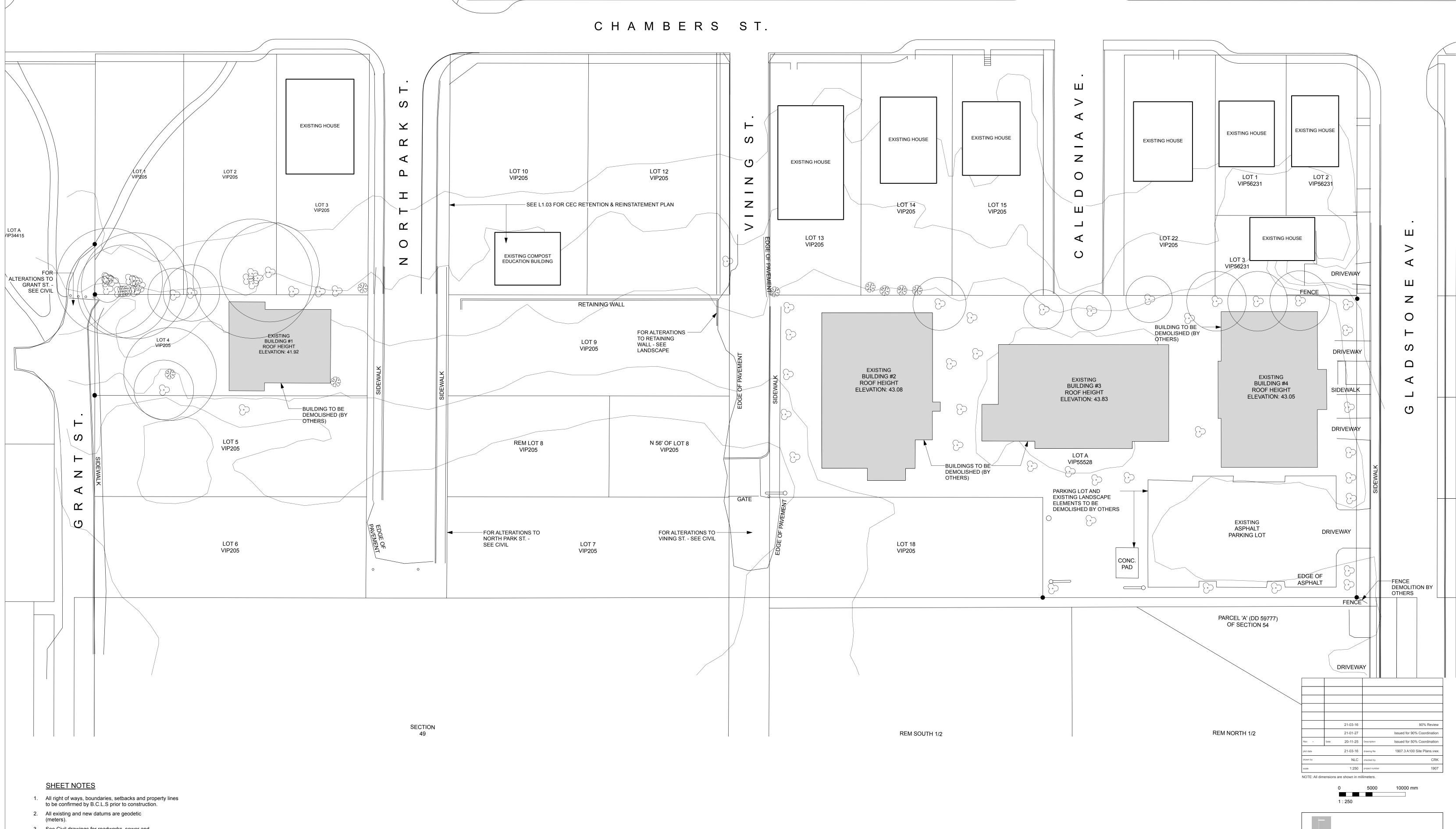
15.9 mm Type 'X' gwb 40 minutes
Wd Studs 400 mm o.c. 20 minutes
Total Fire Resistance 60 minutes
Interior vertical fire separations shall be rated from both sides and include a gwb membrane on both sides (D-2.3.5.(1)).

- 190 mm Hollow Concrete Units type N/S concrete: equivalent thickness 106 mm providing a Fire Resistance Rating of up to 1.5 hr (Table D-2.1.1). For 2hr F.R.R. grout block solid or provide ULC 2hr labeled block.
- 4. 1hr Fire Resistance Rating of ceiling membrane per BCBC 3.1.7.1.(4) on the basis of M2 in Table A-9.10.3.1.B. Openings permitted not in conformance to the requirements of Appendix D (BCBC 3.1.9.5.(1)).
- All roof spaces to maintain minimum 63 mm clearance between top of batt insulation and u/s sheathing and be vented in accordance with BCBC 9.19.1.2 (minimum).
- Engineered cladding shop drawing is required for exterior wall assemblies.
- Exterior air barrier membrane must be installed as per manufacture recommendations.
- The suffix 'i' indicates the addition of mineral wool batt insulation to interior wall type noted.

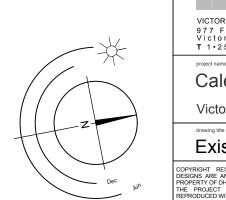
		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
v -	Date	20-11-25	Description	Issued for 50% Coordination
t date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vwx
awn by		LGF	checked by	CRK
ale		N.T.S.	project number	1907

NOTE: All dimensions are shown in millimeters.

dHKa	dHK arc	hitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1•250•585	blin Way V9T 2K8
Caledonia Victoria BC		
Floor & Roof Ass	emblies	
CONVENIENT PROPERTED THROE BLAND AND		



- See Civil drawings for roadworks, sewer and storm drains, and utility locations.
- See Landsape drawings for rain gardens, plantings, drainage, site furniture, green space and hardscape extent/locations; and for tree retention and removal plan.



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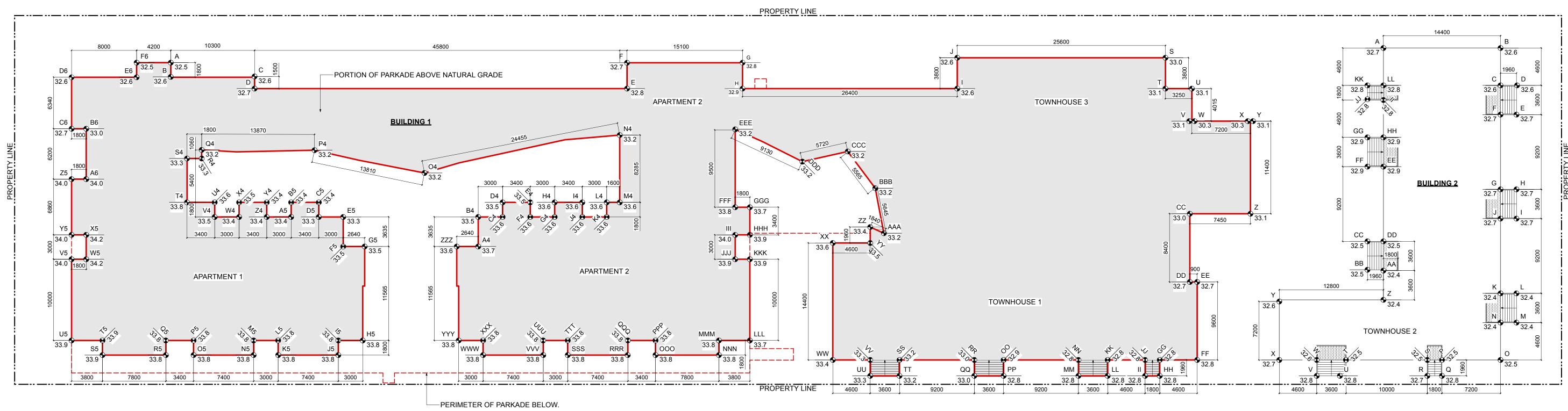
Project name

Colodonia

Caledonia
Victoria BC

Existing Site Plan





1 Average Grade A102 Scale: 1:250

BUILDING 1 - AVERAGE GRADE CALCULATION

INCLUDES SUM OF ALL PORTION OF BUILDINGS OVER PARKADE:

- 1.) APARTMENT 1 2.) APARTMENT 2 3.) TOWNHOUSE 1 4.) TOWNHOUSE 3

BUILDING 1	ı				T	
side	corner grade point	+ corner grade point	/ 2	average grade per side	X length of side	TOTA
A&B	32.5	32.6	2	32.6	1.80	58.6
B&C	32.6	32.6	2	32.6	10.30	335.8
C&D	32.6	32.7	2	32.7	1.50	49.0
D&E	32.7	32.8	2	32.8	45.80	1500.
E&F	32.8	32.7	2	32.8	3.20	104.8
-&G	32.7	32.8	2	32.8	15.10	494.5
G&H	32.8	32.9	2	32.9	3.20	105.1
	32.9	32.6	2	32.8	26.40	864.6
&J	32.6	32.6	2	32.6	3.80	123.9
J&S*	32.6	33.0	2	32.8	25.60	839.7
S&T	33.0	33.1	2	33.1	3.80	125.6
T&U	33.1	33.1	2	33.1	3.20	105.9
U&V	33.1	33.1	2	33.1	4.02	132.9
V&W	33.1	30.3	2	31.7	0.00	0.0
W&X	30.3	30.3	2	30.3	7.20	218.0
X&Y	30.3	33.1	2	31.7	0.00	0.0
Y&Z	33.1	33.1	2	33.1	11.40	377.3
Z&CC*	33.1	33.0	2	33.1	7.45	246.2
CCⅅ	33.0	32.7	2	32.9	8.40	275.9
DD&EE	32.7	32.7	2	32.7	0.90	29.4
EE&FF	32.7	32.8	2	32.8	9.60	314.4
F&GG	32.8	32.8	2	32.8	4.60	150.9
GG&HH	32.8	32.8	2	32.8	1.96	64.3
HH&II	32.8	32.8	2	32.8	1.80	59.0
II&JJ	32.8	32.8	2	32.8	1.96	64.3
JJ&KK	32.8	32.8	2	32.8	4.60	150.9
KK&LL	32.8	32.8	2	32.8	1.96	64.3
LL&MM	32.8	32.8	2	32.8	3.60	118.1
MM&NN	32.8	32.8	2	32.8	1.96	64.3
NN&OO	32.8	32.9	2	32.9	9.20	302.2
00&PP	32.9	32.8	2	32.9	1.96	64.4
PP&QQ	32.8	33.0	2	32.9	3.60	118.4
QQ&RR	33.0	33.0	2	33.0	1.96	64.7
RR&SS	33.0	33.2	2	33.1	9.20	304.5
SS&TT	33.2	33.2	2	33.2	1.96	65.1
TT&UU	33.2	33.3	2	33.3	3.60	119.7
UU&VV	33.3	33.3	2	33.3	1.96	65.3
VV&WW	33.3	33.4	2	33.4	4.60	153.4
WW&XX	33.4	33.6	2	33.5	14.40	482.4
XX&YY	33.6	33.5	2	33.6	4.60	154.3
YY&ZZ	33.5	33.4	2	33.5	1.96	65.6
ZZ&AAA	33.4	33.2	2	33.3	1.84	61.3
AAA&BBB	33.2	33.2	2	33.2	5.65	187.4
BBB&CCC	33.2	33.2	2	33.2	5.57	184.8
CCC&DDD	33.2	33.2	2	33.2	5.72	189.9
	33.2	33.2	2			
DDD&EEE				33.2	9.13	303.1
EEE&FFF	33.2	33.8	2	33.5	9.50	318.3
FFF&GGG	33.8	33.7	2	33.8	1.80	60.8
GGG&HHH	33.7	33.9	2	33.8	3.40	114.9
HHH&III	33.9	34.0	2	34.0	1.80	61.1
III&JJJ	34.0	33.9	2	34.0	3.00	101.9
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LLL&MMM	33.7	33.8	2	33.8	3.80	128
MMM&NNN	33.8	33.8	2	33.8	1.80	60.
NNN&OOO	33.8	33.8	2	33.8	7.80	263
OOO&PPP	33.8	33.8	2	33.8	1.80	60.
PPP&QQQ	33.8	33.8	2	33.8	3.40	114
QQQ&RRR	33.8	33.8	2	33.8	1.80	60.
RRR&SSS	33.8	33.8	2	33.8	7.40	250
SSS&TTT	33.8	33.8	2	33.8	1.80	60.
TTT&UUU	33.8	33.8	2	33.8	3.00	101
UUU&VVV	33.8	33.8	2	33.8	1.80	60.
VVV&WWW	33.8	33.8	2	33.8	7.40	250
WWW&XXX	33.8	33.8	2	33.8	1.80	60.
XXX&YYY	33.8	33.8	2	33.8	3.00	101
YYY&ZZZ	33.8	33.6	2	33.7	11.57	389
ZZZ&A4	33.6	33.7	2	33.7	2.64	88.
A4&B4	33.7	33.5	2	33.6	3.64	122
B4&C4	33.5	33.6	2	33.6	3.00	100
C4&D4	33.6	33.5	2	33.6	1.80	60.
D4&E4	33.5	33.5	2	33.5	3.40	113
E4&F4	33.5	33.6	2	33.6	1.80	60.
F4&G4	33.6	33.6	2	33.6	3.00	100
G4&H4	33.6	33.6	2	33.6	1.80	60.
H4&I4	33.6	33.6	2	33.6	3.40	114
I4&J4	33.6	33.6	2	33.6	1.80	60.
J4&K4	33.6	33.6	2	33.6	3.00	100
K4&L4	33.6	33.6	2	33.6	1.80	60.
L4&M4	33.6	33.6	2	33.6	1.60	53.
M4&N4	33.6	33.2	2	33.4	8.29	276
N4&O4	33.2	33.2	2	33.2	24.46	811
O4&P4	33.2	33.2	2 2	33.2 33.2	13.81	458
P4&Q4 Q4&R4	33.2 33.2	33.2 33.3	2	33.2	13.87	460 35.
R4&S4	33.3	33.3	2	33.3	1.06 1.80	59.
S4&T4	33.3	33.8	2	33.6	5.40	181
T4&U4	33.8	33.6	2	33.7	3.40	114
U4&V4	33.6	33.5	2	33.6	1.80	60.
V4&W4	33.5	33.4	2	33.5	3.00	100
W4&X4	33.4	33.5	2	33.5	1.80	60.
X4&Y4	33.5	33.4	2	33.5	3.40	113
Y4&Z4	33.4	33.4	2	33.4	1.80	60.
Z4&A5	33.4	33.4	2	33.4	3.00	100
A5&B5	33.4	33.4	2	33.4	1.80	60.
B5&C5	33.4	33.4	2	33.4	3.40	113
C5&D5	33.4	33.3	2	33.4	1.80	60.
D5&E5	33.3	33.3	2	33.3	3.00	99.
E5&F5	33.3	33.5	2	33.4	3.64	121
F5&G5	33.5	33.5	2	33.5	2.64	88.
G5&H5	33.5	33.8	2	33.7	11.57	389
H5&I5	33.8	33.8	2	33.8	3.00	101
15&J5	33.8	33.8	2	33.8	1.80	60.
J5&K5	33.8	33.8	2	33.8	7.40	250
K5&L5	33.8	33.8	2	33.8	1.80	60.
L5&M5	33.8	33.8	2	33.8	3.00	101
M5&N5	33.8	33.8	2	33.8	1.80	60.
N5&O5	33.8	33.8	2	33.8	7.40	250
O5&P5	33.8	33.8	2	33.8	1.80	60.

AVERAGE GRADE FOR BUILDING 1: Perimeter						
F6&A	32.5	32.5	2	32.5	4.20	136.5
E6&F6	32.6	32.5	2	32.6	1.80	58.6
D6&E6	32.6	32.6	2	32.6	8.00	260.8
C6&D6	32.7	32.6	2	32.7	6.34	207.0
B6&C6	33.0	32.7	2	32.9	1.80	59.1
A6&B6	34.0	33.0	2	33.5	6.20	207.7
Z5&A6	34.0	34.0	2	34.0	1.80	61.2
Y5&Z5	34.0	34.0	2	34.0	6.86	233.2
X5&Y5	34.2	34.0	2	34.1	1.80	61.4
W5&X5	34.2	34.2	2	34.2	3.00	102.6
V5&W5	34.0	34.2	2	34.1	1.80	61.4
U5&V5	33.9	34.0	2	34.0	10.00	339.5
T5&U5	33.9	33.9	2	33.9	3.80	128.8
S5&T5	33.9	33.9	2	33.9	1.80	61.0
R5&S5	33.8	33.9	2	33.9	7.80	264.0
Q5&R5	33.8	33.8	2	33.8	1.80	60.8
P5&Q5	33.8	33.8	2	33.8	3.40	114.9

BUILDING 2 - AVERAGE GRADE CALCULATION

INCLUDES:

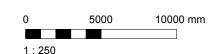
1.) TOWNHOUSE 2

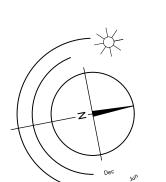
	corner	+ corner		average grade	X length of	
side	grade point	grade point	/ 2	per side	side	TOTAL
A&B	32.7	32.6	2	32.7	14.40	470.2
B&C	32.6	32.6	2	32.6	4.60	150.0
C&D	32.6	32.6	2	32.6	1.96	63.9
D&E	32.6	32.7	2	32.7	3.60	117.5
E&F	32.7	32.7	2	32.7	1.96	64.1
F&G	32.7	32.7	2	32.7	9.20	300.8
G&H	32.7	32.7	2	32.7	1.96	64.1
H&I	32.7	32.7	2	32.7	3.60	117.7
I&J	32.7	32.7	2	32.7	1.96	64.1
J&K	32.7	32.4	2	32.6	9.20	299.5
K&L	32.4	32.4	2	32.4	1.96	63.5
L&M	32.4	32.4	2	32.4	3.60	116.6
M&N	32.4	32.4	2	32.4	1.96	63.5
N&O	32.4	32.5	2	32.5	4.60	149.3
O&P	32.5	32.5	2	32.5	7.20	234.0
P&Q	32.5	32.8	2	32.7	1.96	64.0
Q&R	32.8	32.7	2	32.8	1.80	59.0
R&S	32.7	32.5	2	32.6	1.96	63.9
S&T	32.5	32.5	2	32.5	10.00	325.0
T&U	32.5	32.8	2	32.7	1.96	64.0
U&V	32.8	32.8	2	32.8	3.60	118.1
V&W	32.8	32.6	2	32.7	1.96	64.1
W&X	32.6	32.7	2	32.7	4.60	150.2
X&Y	32.7	32.6	2	32.7	7.20	235.1
Y&Z	32.6	32.4	2	32.5	12.80	416.0
Z&AA	32.4	32.4	2	32.4	3.60	116.6
AA&BB	32.4	32.5	2	32.5	1.96	63.6
BB&CC	32.5	32.5	2	32.5	3.60	117.0
CCⅅ	32.5	32.5	2	32.5	1.96	63.7
DD&EE	32.5	32.9	2	32.7	9.20	300.8
EE&FF	32.9	32.9	2	32.9	1.96	64.5
FF&GG	32.9	32.9	2	32.9	3.60	118.4
GG&HH	32.9	32.9	2	32.9	1.96	64.5
HH&II	32.9	32.8	2	32.9	4.60	151.1
II&JJ	32.8	32.8	2	32.8	1.96	64.3
JJ&KK	32.8	32.8	2	32.8	1.80	59.0
KK&LL	32.8	32.8	2	32.8	1.96	64.3
LL&A	32.8	32.7	2	32.8	4.60	150.7

AVERAGE GRADE	FOR TOWNHOU	SE 2:

	Perimeter	Total	GRADE = Total/Perimeter
	162.36	5296.6	32.6
,			

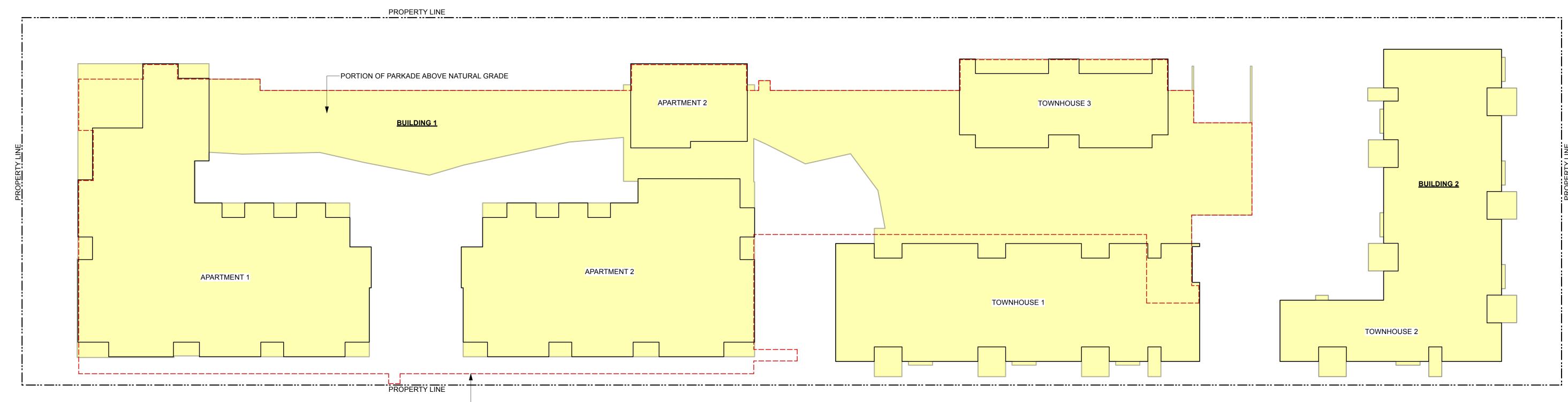
		21-03-16		90% Review
		21-01-27		Issued for 90% Coordination
· -	Date	20-11-25	Description	Issued for 50% Coordination
date		21-03-16	drawing file	1907.3 A100 Site Plans.vwx
wn by		NLC	checked by	CRK
le		1:250	project number	1907



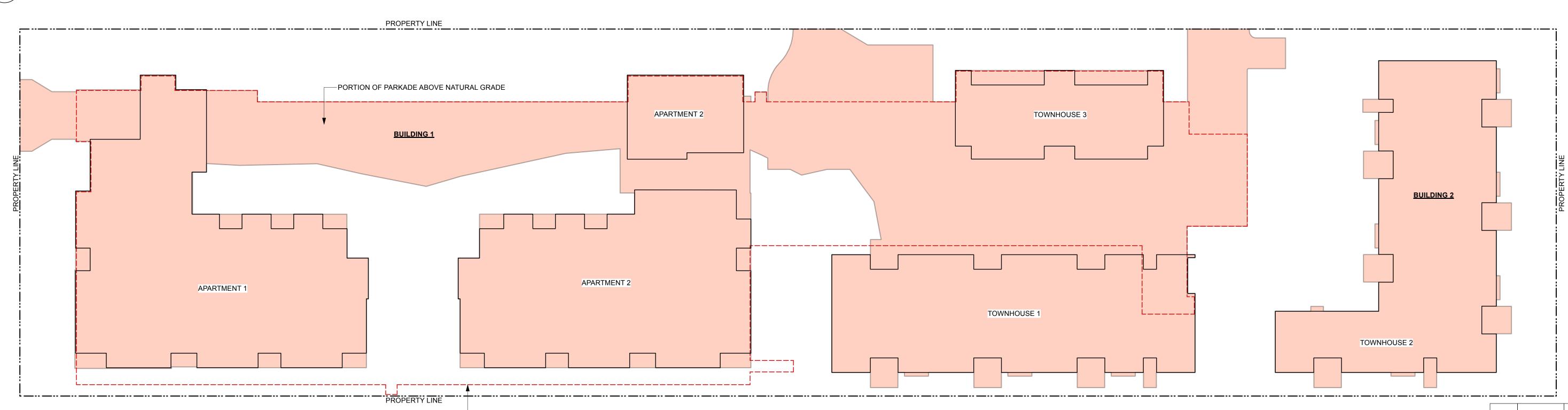


 dHKa	dHK arc	hitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1 • 250 • 658 • 3367	NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1•250•585	blin Way V9T 2K8
Caledonia Victoria BC		
drawing title Average Grade	Calculations	
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*NOTE: POINTS K,L,M,N,O,P,Q,R, AA AND BB ARE NO LONGER USED.



— PERIMETER OF PARKADE BELOW.



lue PERIMETER OF PARKADE BELOW.



SITE COVERAGE - CALCULATION

SUM OF GROSS AREA OF LOT OCCUPIED BY ANY STRUCTURE INCLUDING:

- 1.) APARTMENT 1
- 2.) APARTMENT 2
- 3.) TOWNHOUSE 1 4.) TOWNHOUSE 3
- 5.) PORTION OF PARKADE ABOVE NATURAL GRADE (>33.2 m)

PROPOSED:
BUILDING AREA 4,748 m²/LOT 8681.14 m² = 55%

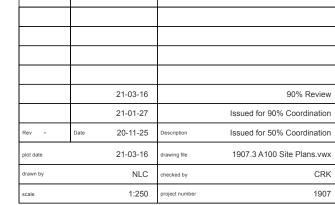
OPEN SITE SPACE - CALCULATION

PORTION OF THAT'S LANDSCAPED AND NOT OCCUPIED OR OBSTRUCTED LOT OCCUPIED BY ANY BUILDING OR PORTION OF BUILDING.

AREA INCLUDES

- 1.) APARTMENT 1
- 2.) APARTMENT 2 3.) TOWNHOUSE 1
- 4.) TOWNHOUSE 3
- 5.) PORTION OF PARKADE ABOVE NATURAL GRADE (>33.2 m)

LOT 8,681.1m² - BUILDINGS, DRIVEWAYS & SURFACE PARKING 5,030.0 m² = 3,651.1 m²/8681.1 = 42%

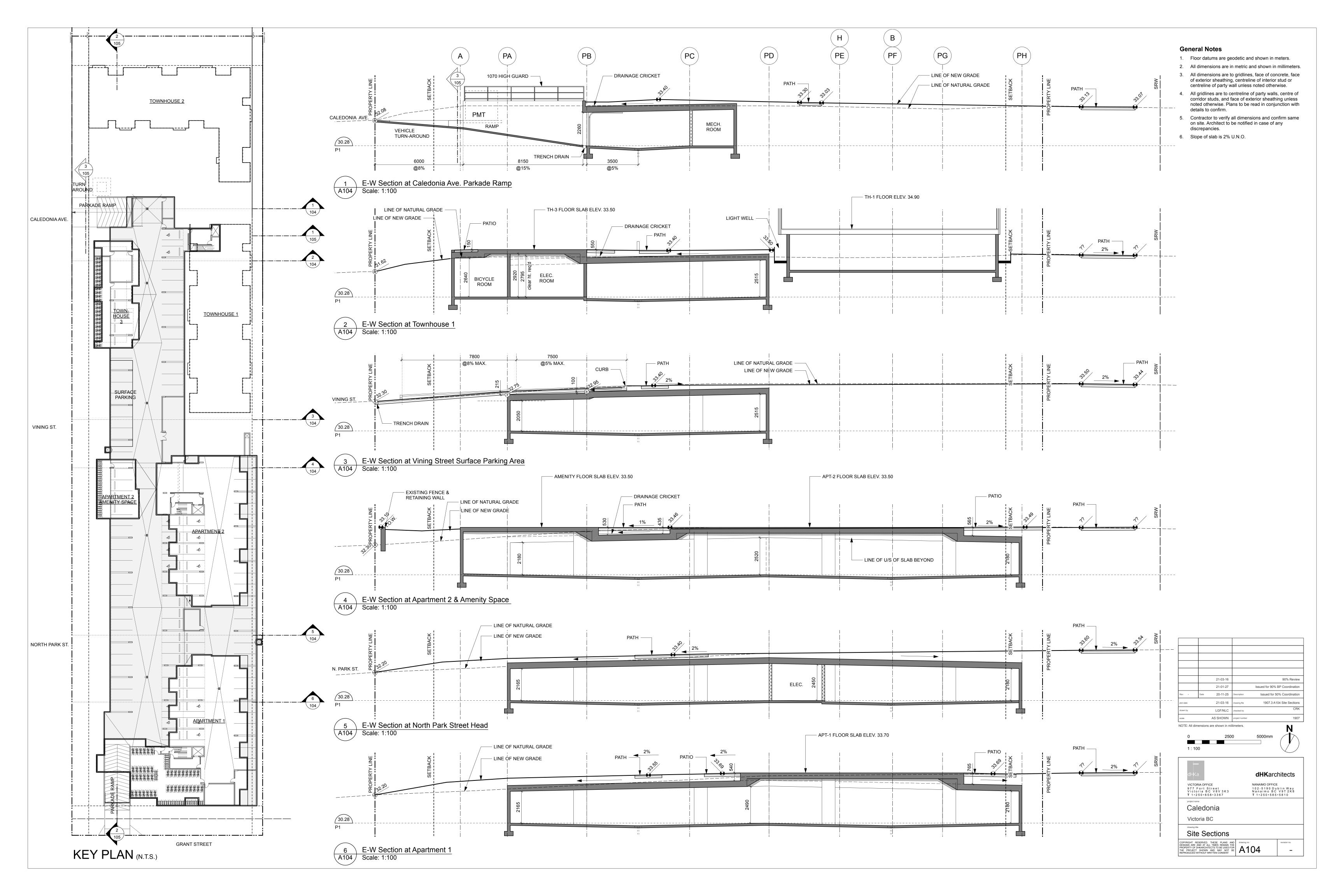


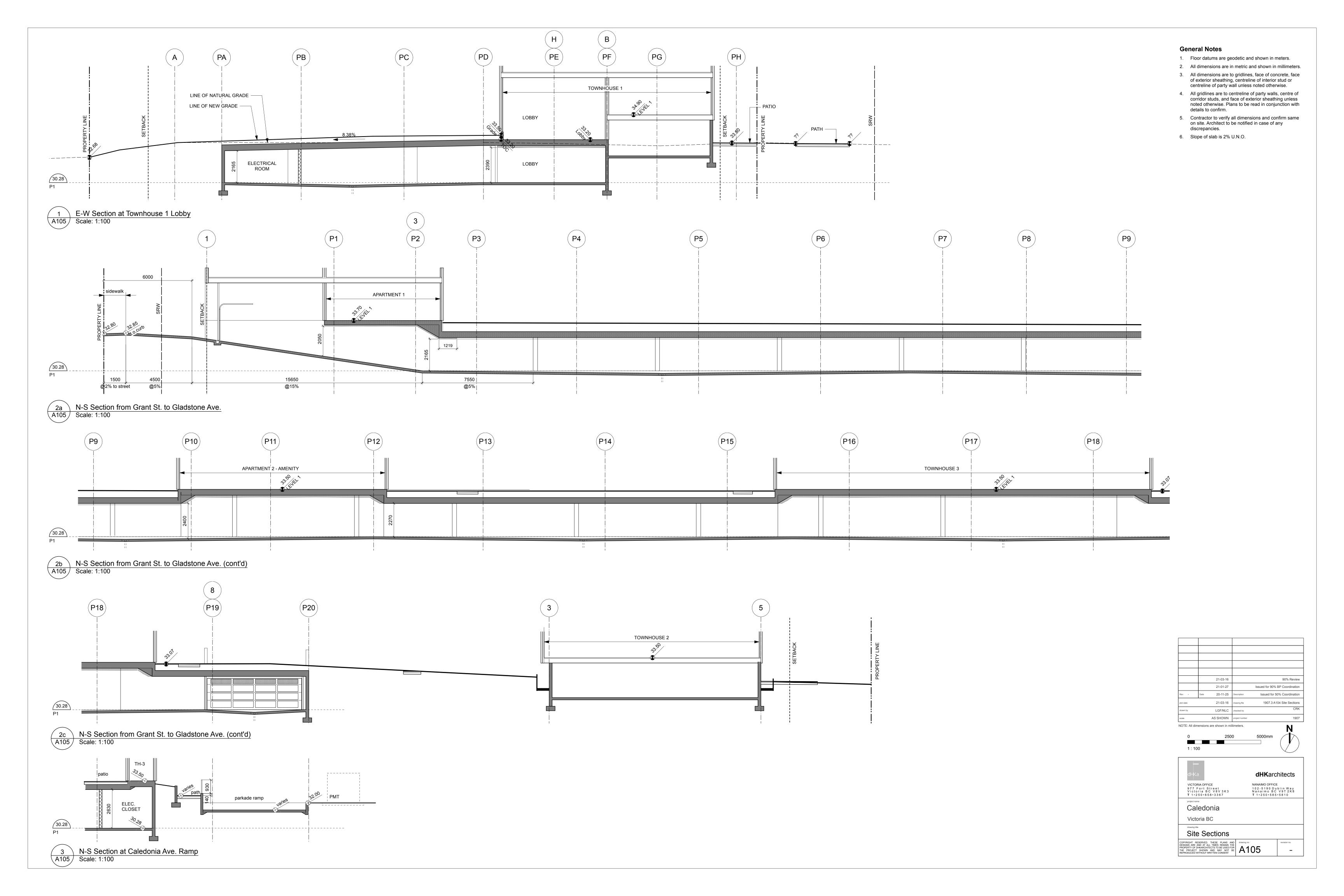
NOTE: All dimensions are shown in millimeters. 10000 mm

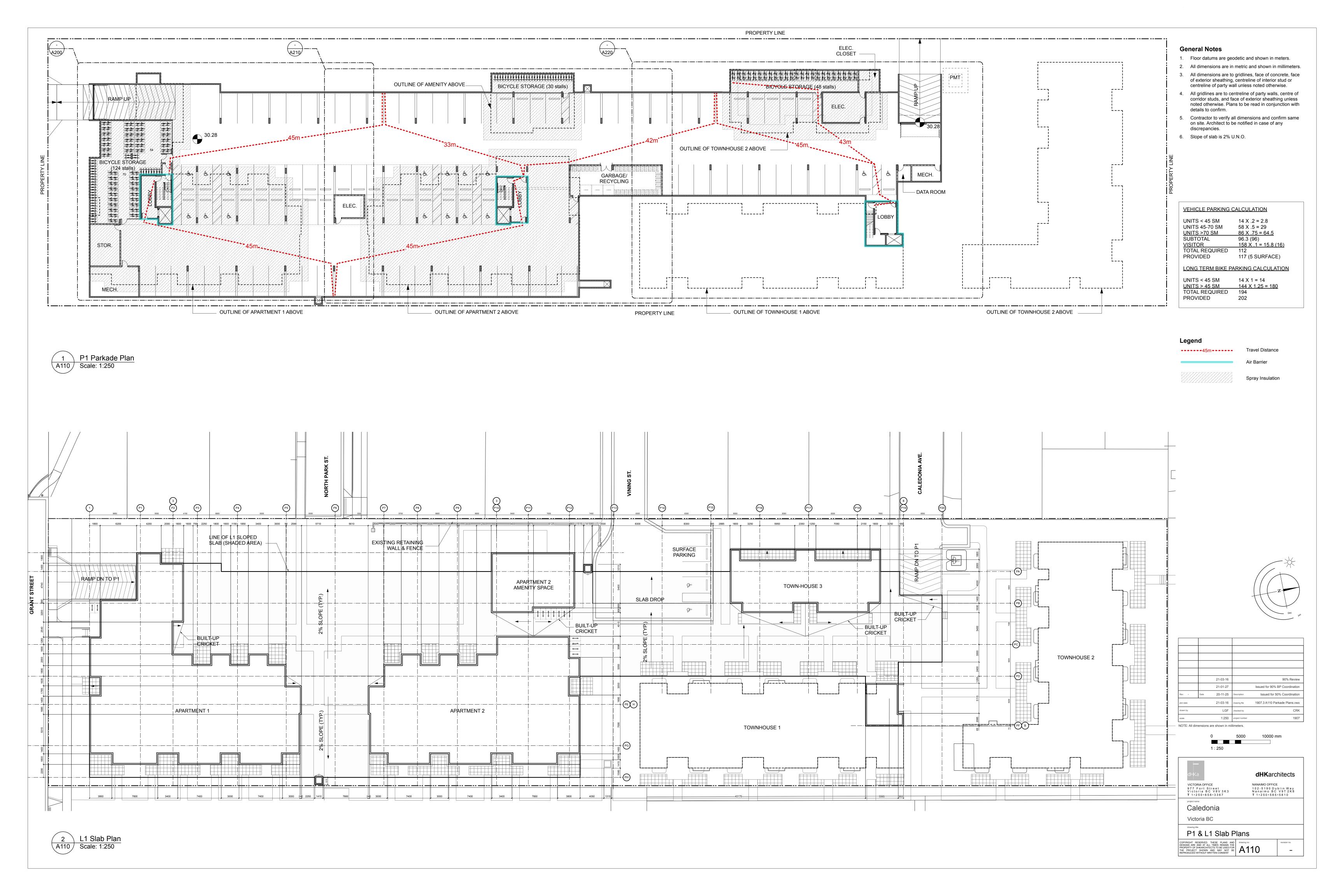


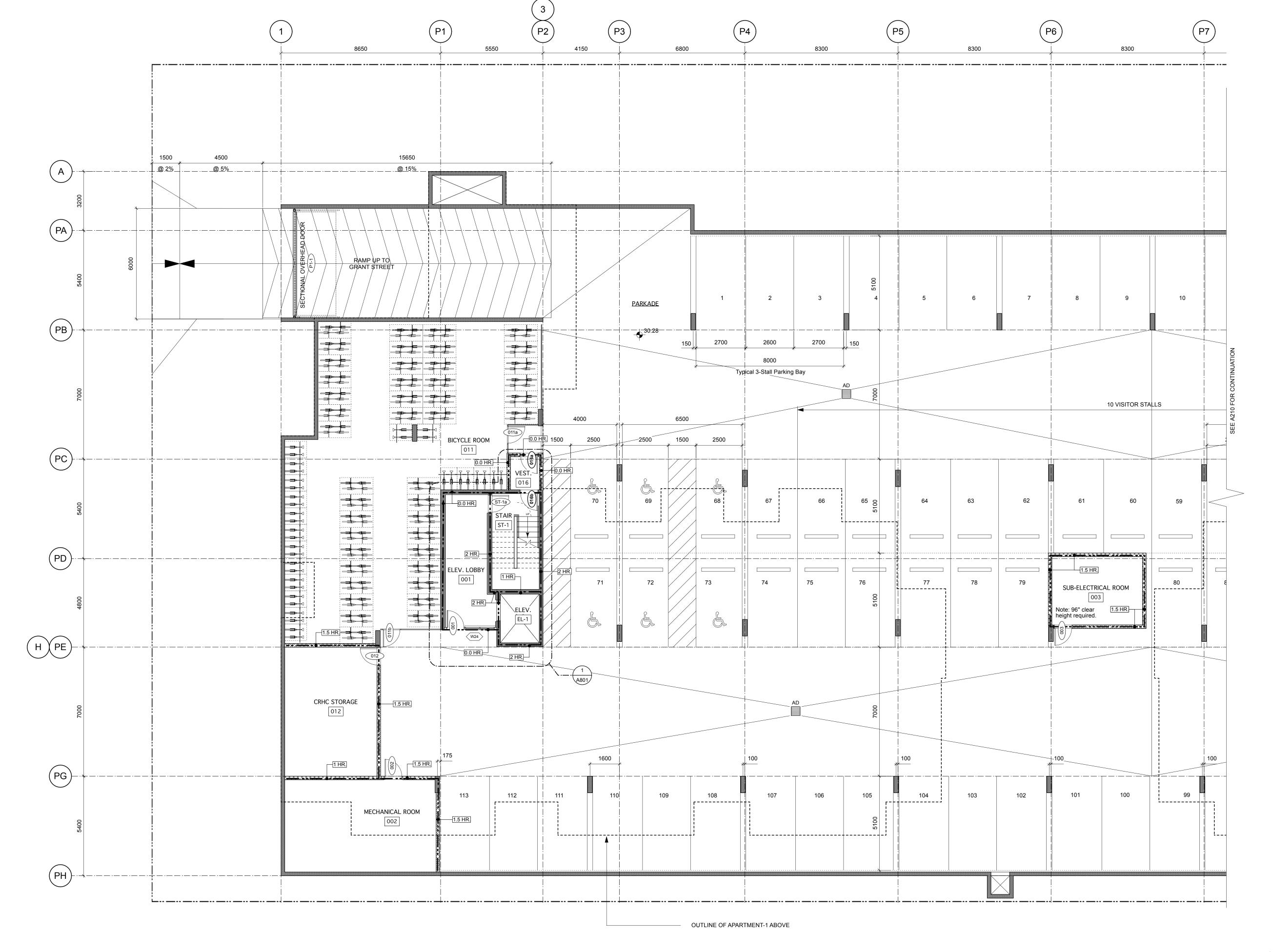
dHKarchitects VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1+250+658+3367 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810 Caledonia Victoria BC

Lot Coverage & Open Site Space









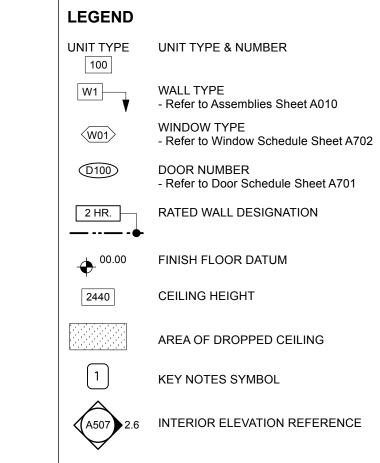
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- 5. All existing and new datums are geodetic (meters).

the windows from the floor below.

- 7. All vestibule and fire rated doors to be complete with self closing
- mechanism, lever hardware and positive latching strikes.

6. Windows not located with dimensions are located in line with

- 8. See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
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- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- 14. Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- 15. Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be painted yellow.
- 17. Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
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- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
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- 23. All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.



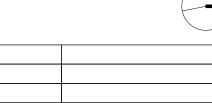


KEY PLAN



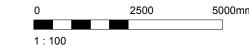
ROOM FINISHES



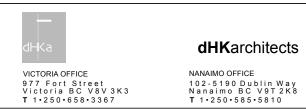


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		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vwx
drawn by		LGF/NLC	checked by	CRK
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NOTE: All dimensions are shown in millimeters.

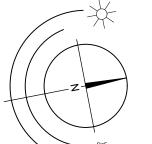


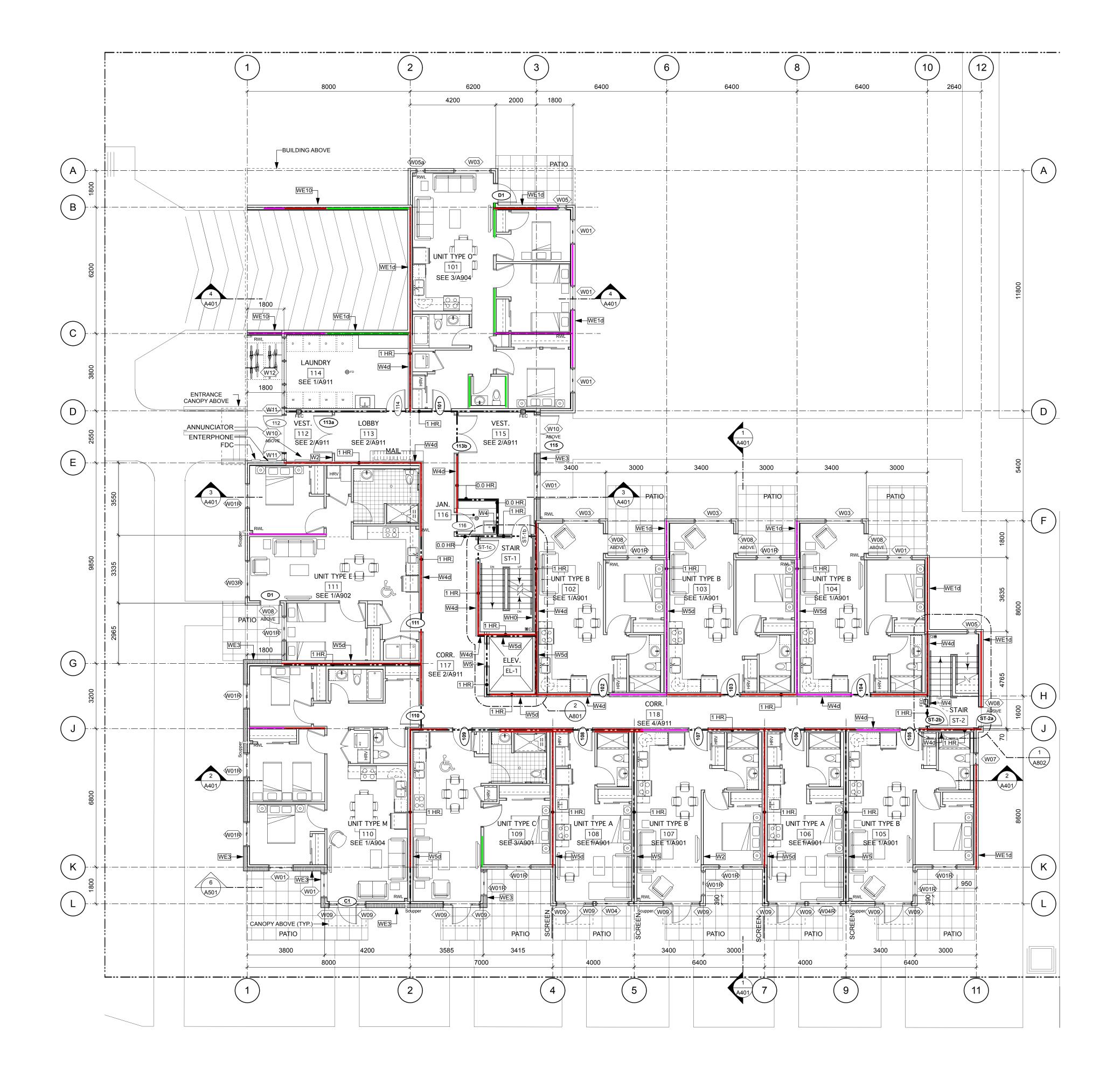
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Caledonia Victoria BC

APT-1 Parkade Plan





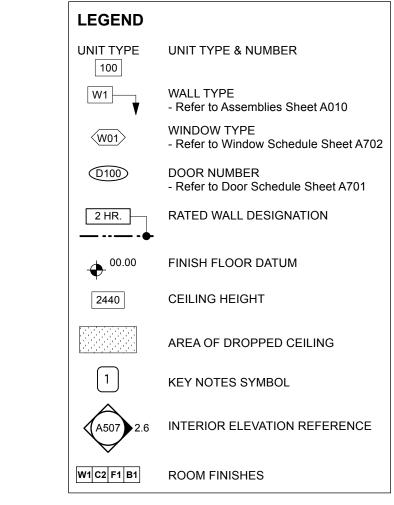
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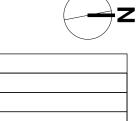


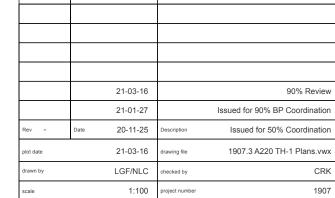


KEY PLAN











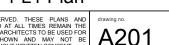


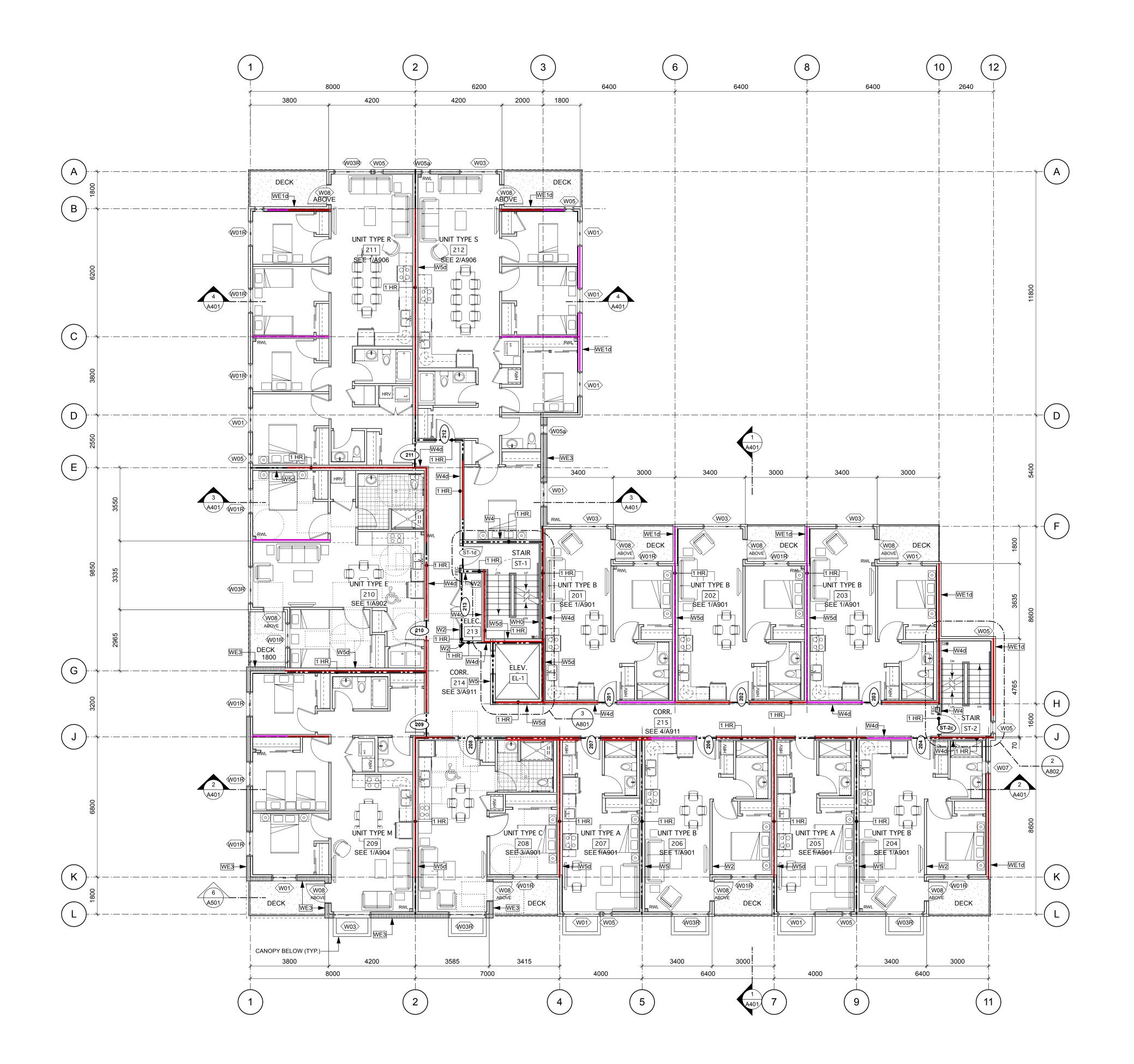




Caledonia Victoria BC

APT-1 L1 Plan





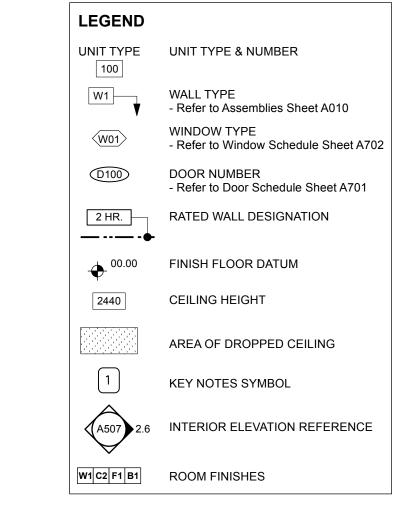
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- 8. See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.

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14. Offset door rough opening min. 75 mm from adjacent wall

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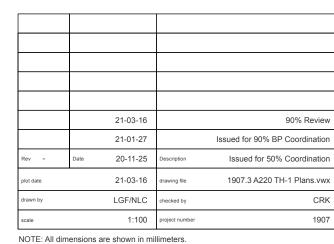














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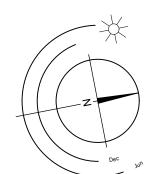


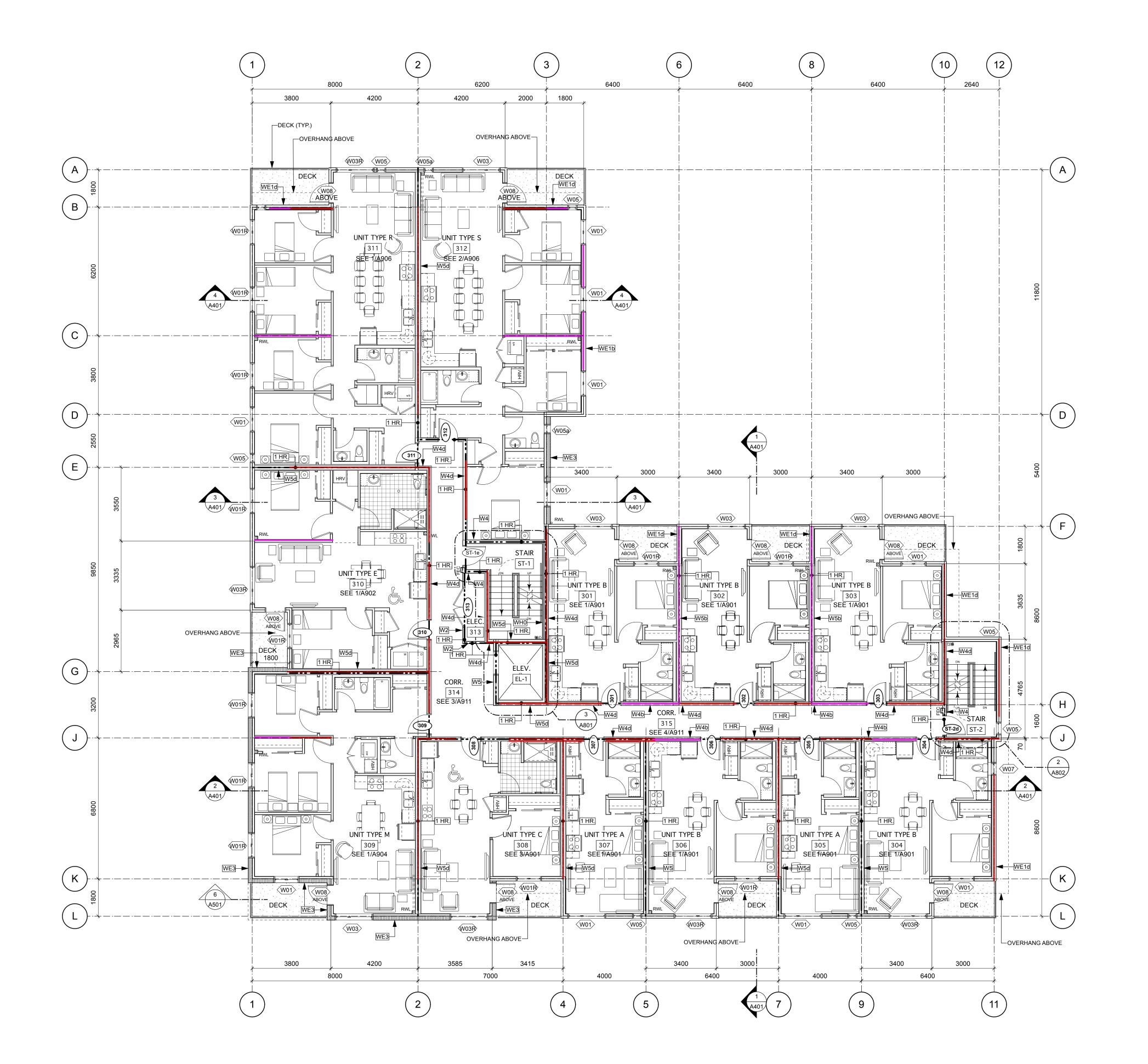
Caledonia

Victoria BC

APT-1 L2 Plan







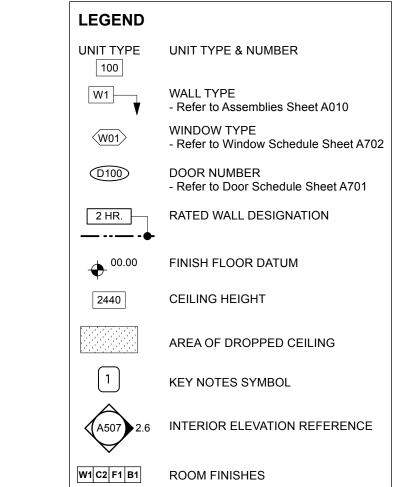
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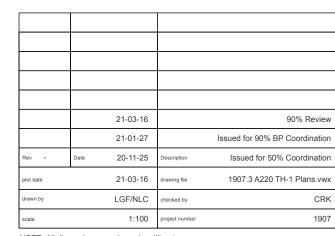














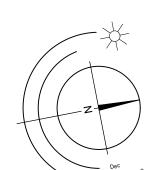


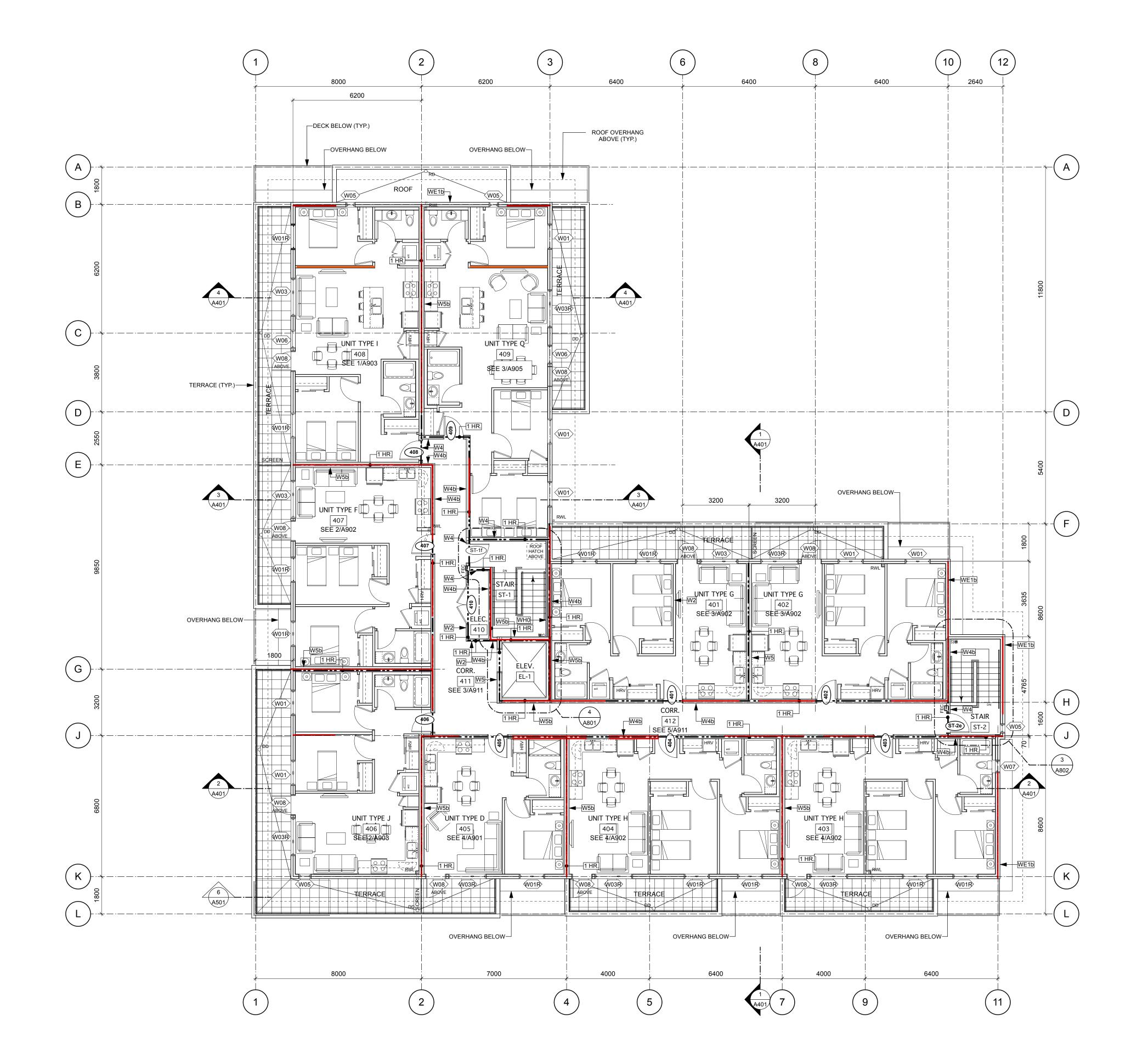
dHKarchitects NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810

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Victoria BC

APT-1 L3 Plan





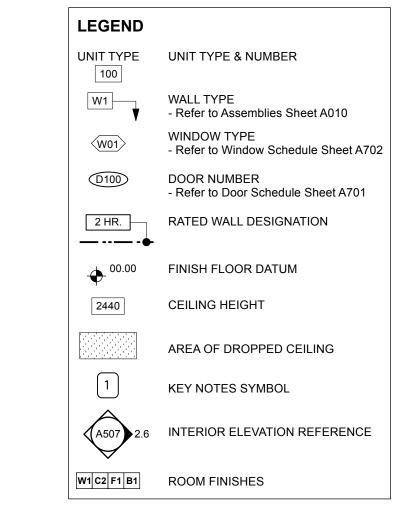
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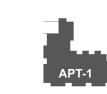
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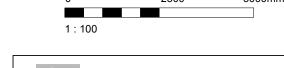






		21-03-16		90% Review
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Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vw
drawn by		LGF/NLC	checked by	CR
scale		1:100	project number	1907





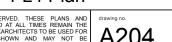


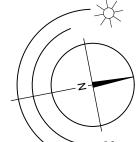


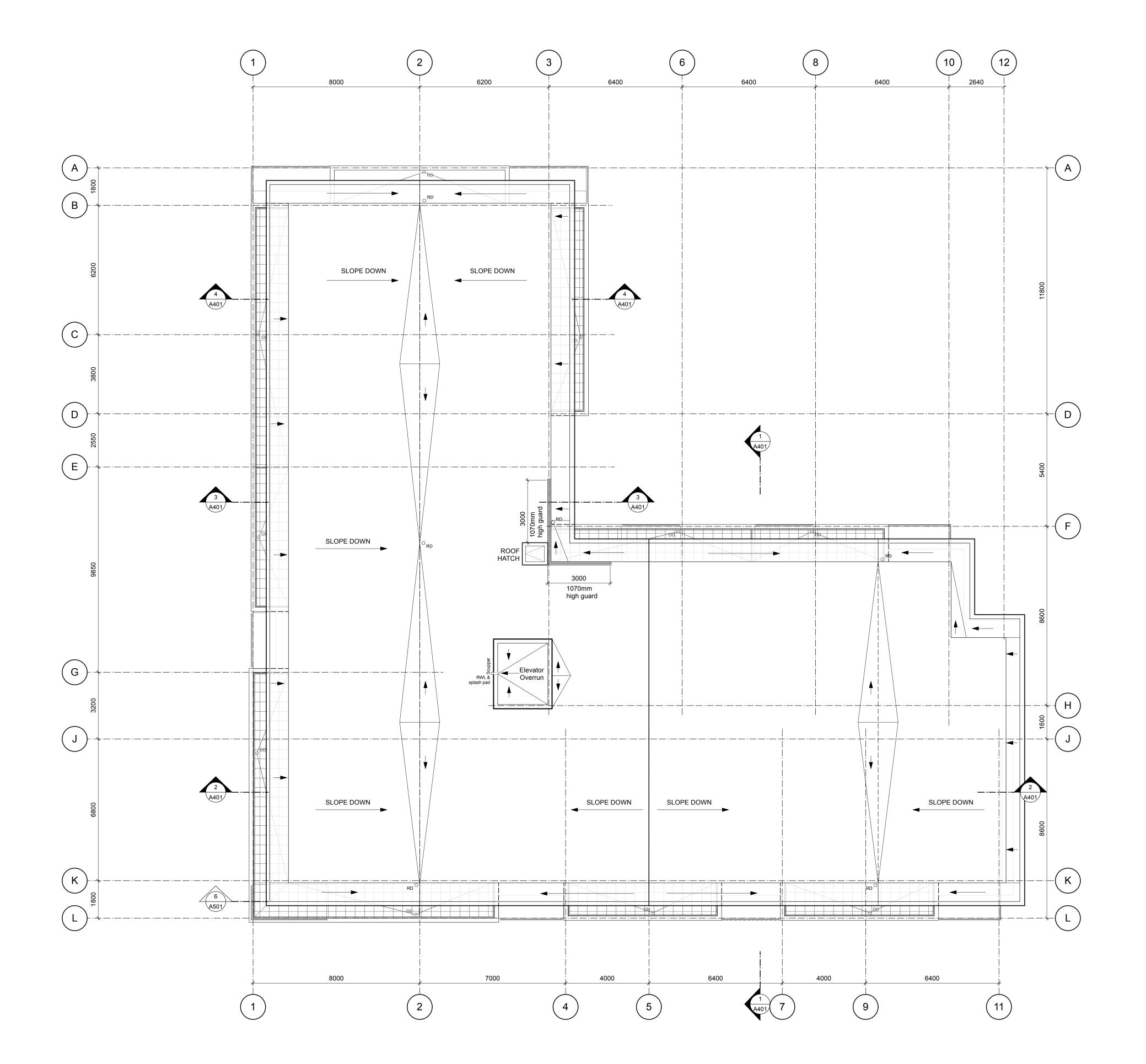
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APT-1 L4 Plan







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LEGEND	
UNIT TYPE	UNIT TYPE & NUMBER
W1	WALL TYPE - Refer to Assemblies Sheet A010
⟨W01⟩	WINDOW TYPE - Refer to Window Schedule Sheet A702
D100	DOOR NUMBER - Refer to Door Schedule Sheet A701
2 HR.	RATED WALL DESIGNATION
00.00	FINISH FLOOR DATUM
2440	CEILING HEIGHT
	AREA OF DROPPED CEILING
1	KEY NOTES SYMBOL
A507 2.6	INTERIOR ELEVATION REFERENCE

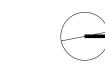


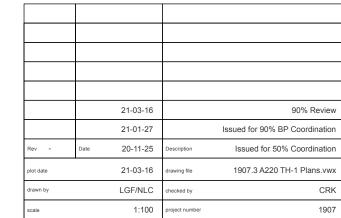
KEY PLAN

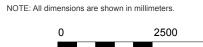


W1 C2 F1 B1 ROOM FINISHES













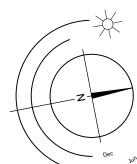
dHKarchitects NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810

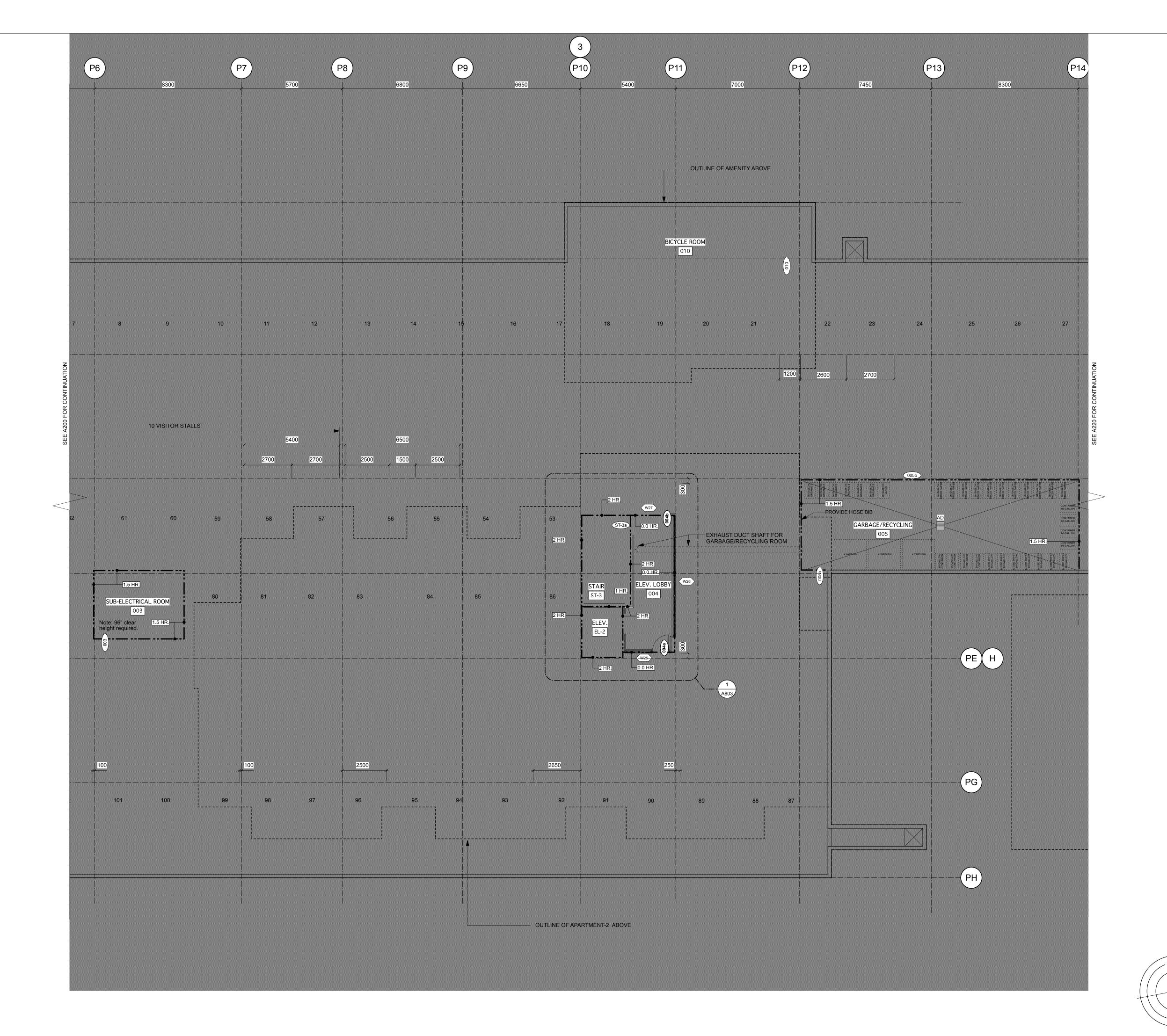
VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1 • 2 5 0 • 6 5 8 • 3 3 6 7 Caledonia

Victoria BC

APT-1 Roof Plan







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- 4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- 5. All existing and new datums are geodetic (meters).
- 6. Windows not located with dimensions are located in line with the windows from the floor below. All vestibule and fire rated doors to be complete with self closing mechanism, lever hardware and positive latching strikes.
- See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
- Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- 10. All walls containing plumbing drains to be fully insulated for
- Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind towel bars shall be provided in all bathrooms.
- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be painted yellow.
- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.

LEGEND	
UNIT TYPE	UNIT TYPE & NUMBER
W1	WALL TYPE - Refer to Assemblies Sheet A010
⟨W01⟩	WINDOW TYPE - Refer to Window Schedule Sheet A702
D100	DOOR NUMBER - Refer to Door Schedule Sheet A701
2 HR.	RATED WALL DESIGNATION
00.00	FINISH FLOOR DATUM
2440	CEILING HEIGHT
	AREA OF DROPPED CEILING
1	KEY NOTES SYMBOL
A507 2.6	INTERIOR ELEVATION REFERENCE

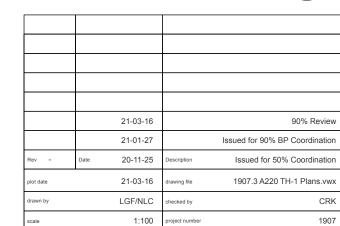




W1 C2 F1 B1 ROOM FINISHES







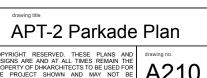
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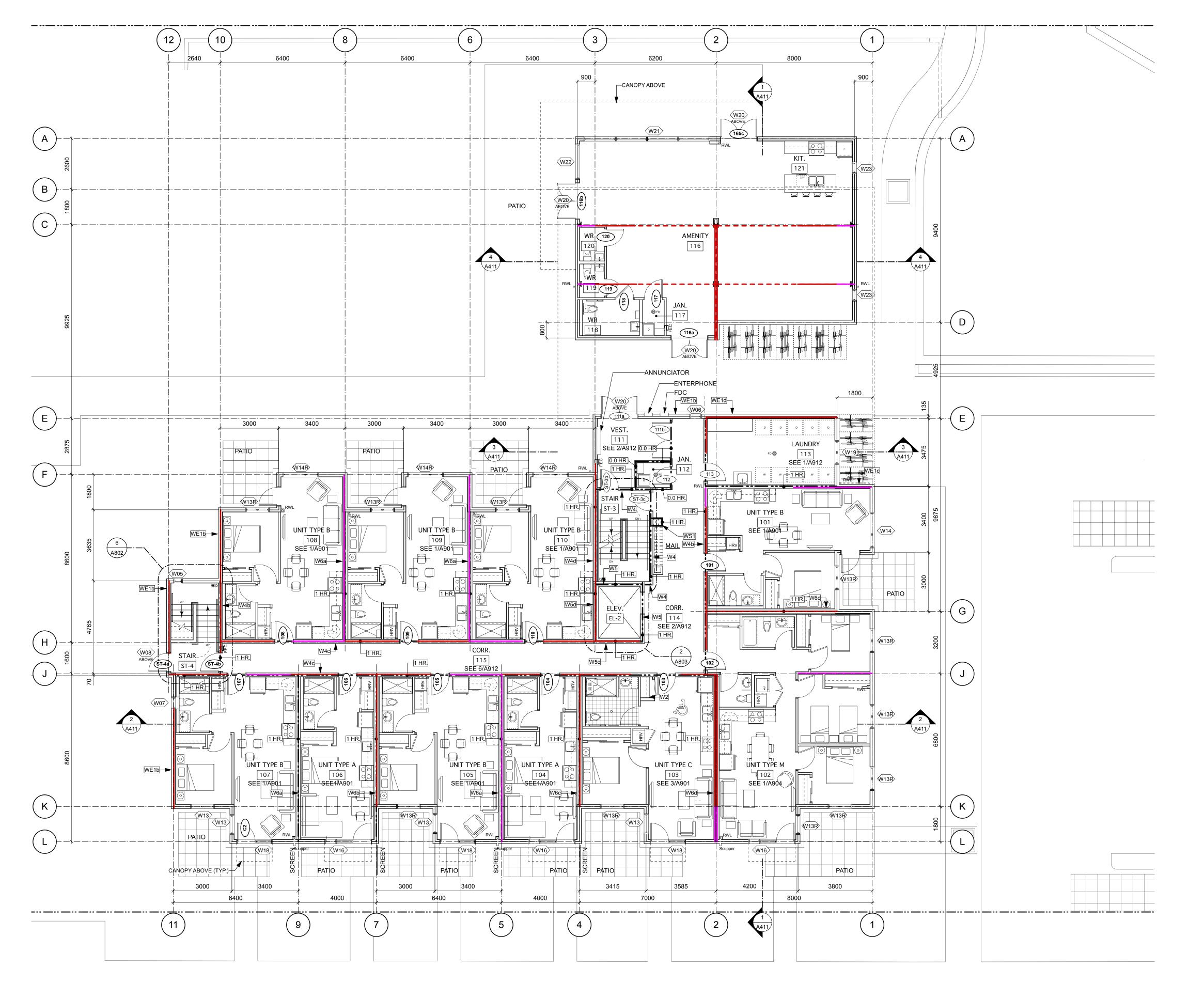




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Caledonia Victoria BC





- 1. All right of ways, boundaries, setbacks and property lines to be confirmed by B.C.L.S prior to construction.
- 2. All dimensions are to gridlines, face of concrete, face of exterior sheathing, face of interior stud or centreline of party wall unless
- 3. All gridlines are to centreline of party walls, face of corridor studs, and face of exterior sheathing unless noted otherwise. Plans to be read in conjunction with details to confirm.
- 4. Contractor to verify all dimensions and confirm same on site.
- Architect to be notified in case of any discrepancies.
- 5. All existing and new datums are geodetic (meters).

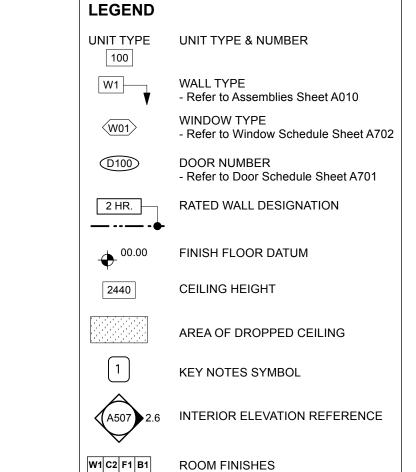
stairs to be 280 mm plus 23 mm nosing.

the windows from the floor below.

- 7. All vestibule and fire rated doors to be complete with self closing
- mechanism, lever hardware and positive latching strikes. 8. See architectural drawings for "rise" of all stairs. "Run" of all

6. Windows not located with dimensions are located in line with

- 9. Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation
- of plumbing systems is required to maximize ceiling heights. 10. All walls containing plumbing drains to be fully insulated for
- 11. Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind
- towel bars shall be provided in all bathrooms. 13. All studs installed adjacent to interior suite/shear walls to have
- minimum 12 mm air space to ensure no contact to achieve STC
- 14. Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be painted yellow.
- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.

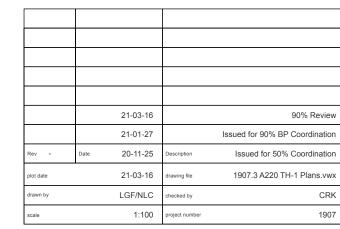


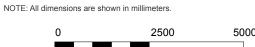












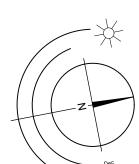


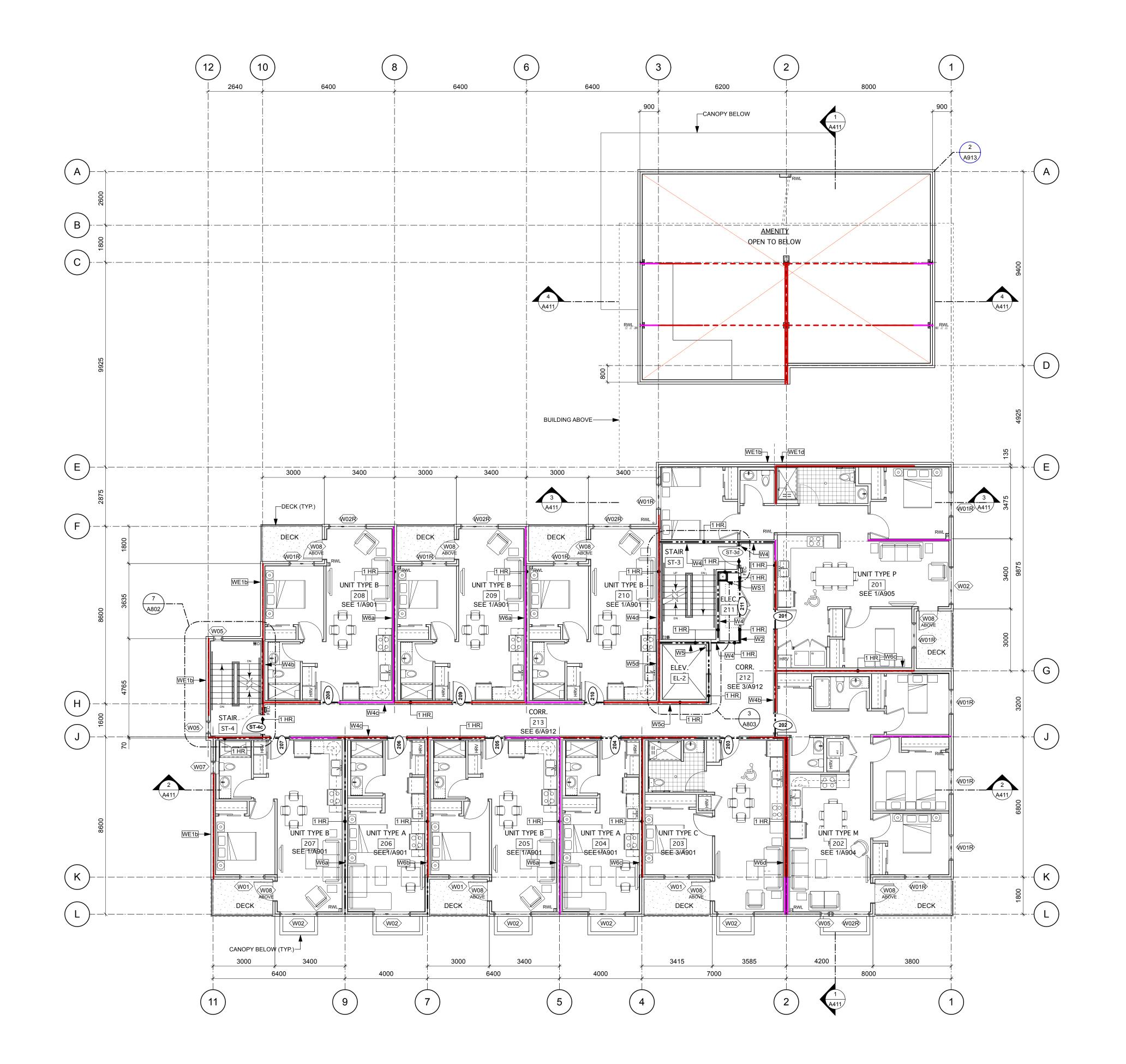


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Victoria BC

APT-2 L1 Plan

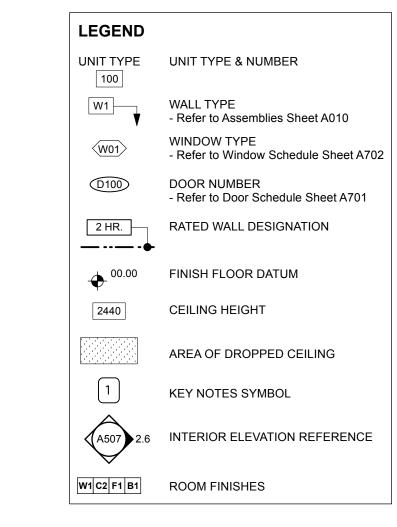




- All right of ways, boundaries, setbacks and property lines to be confirmed by B.C.L.S prior to construction.
- 2. All dimensions are to gridlines, face of concrete, face of exterior sheathing, face of interior stud or centreline of party wall unless
- 3. All gridlines are to centreline of party walls, face of corridor studs, and face of exterior sheathing unless noted otherwise. Plans to be read in conjunction with details to confirm.
- 4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- 5. All existing and new datums are geodetic (meters).
- the windows from the floor below. 7. All vestibule and fire rated doors to be complete with self closing
- mechanism, lever hardware and positive latching strikes.

6. Windows not located with dimensions are located in line with

- See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
- Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- 10. All walls containing plumbing drains to be fully insulated for
- Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind
- towel bars shall be provided in all bathrooms. 13. All studs installed adjacent to interior suite/shear walls to have
- minimum 12 mm air space to ensure no contact to achieve STC
- 14. Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be painted yellow.
- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.



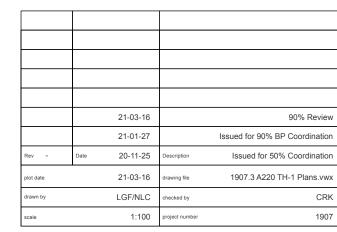




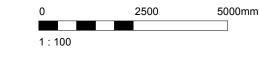








NOTE: All dimensions are shown in millimeters.

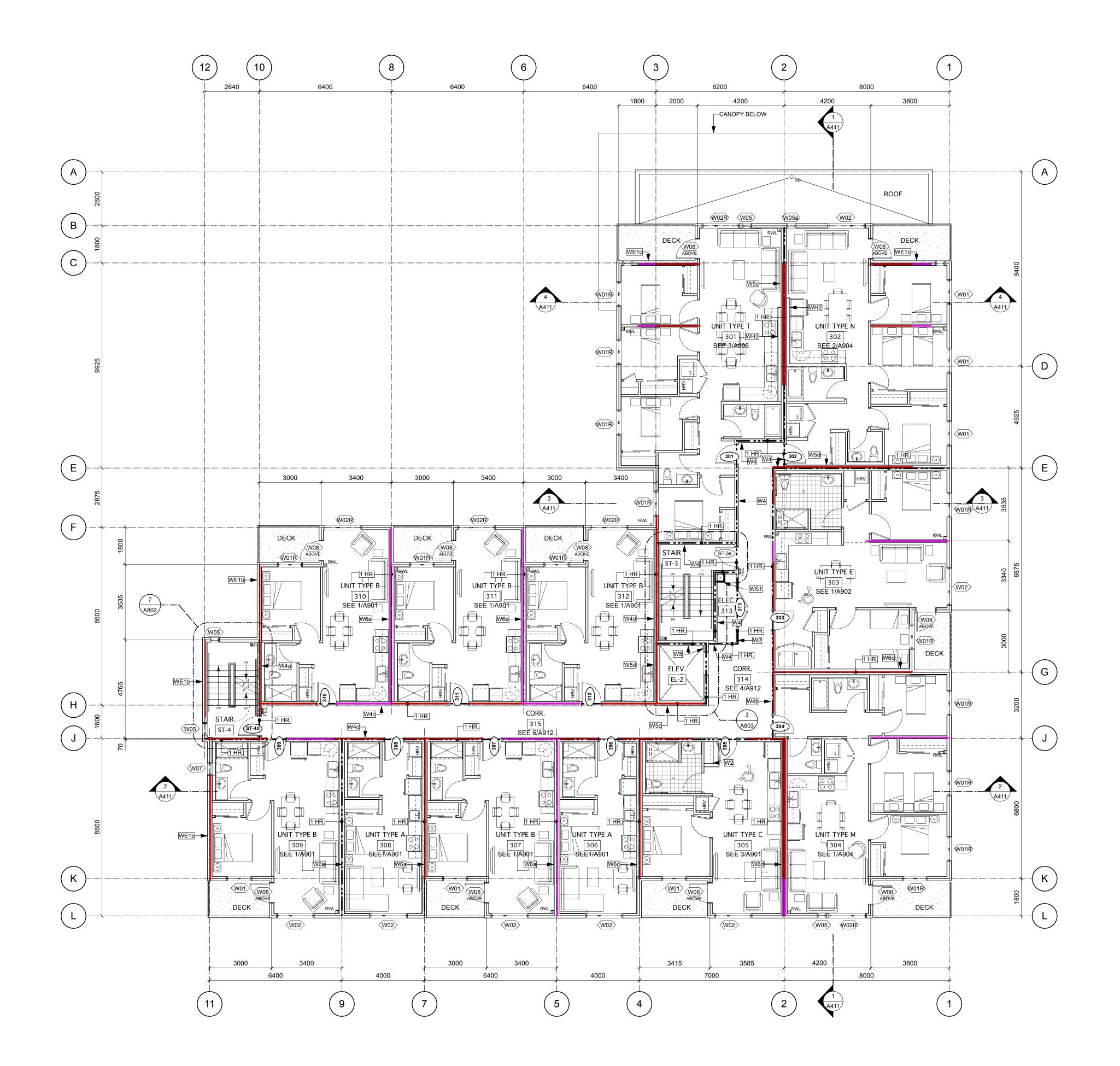






Caledonia Victoria BC

APT-2 L2 Plan



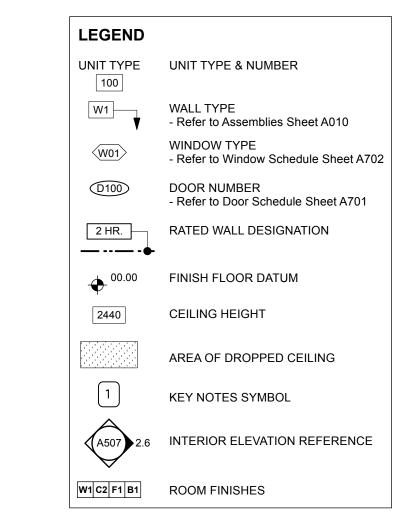
- All right of ways, boundaries, setbacks and property lines to be confirmed by B.C.L.S prior to construction.
- All dimensions are to gridlines, face of concrete, face of exterior sheathing, face of interior stud or centreline of party wall unless noted otherwise.
- All gridlines are to centreline of party walls, face of corridor studs, and face of exterior sheathing unless noted otherwise.
 Plans to be read in conjunction with details to confirm.
- 4. Contractor to verify all dimensions and confirm same on site.
 Architect to be notified in case of any discrepancies.
- All the second and all the secon
- 5. All existing and new datums are geodetic (meters).
- 7. All vestibule and fire rated doors to be complete with self closing

the windows from the floor below.

mechanism, lever hardware and positive latching strikes.

6. Windows not located with dimensions are located in line with

- See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
- Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- All walls containing plumbing drains to be fully insulated for sound
- Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- Solid blocking in walls around toilet, tub/showers and behind towel bars shall be provided in all bathrooms.
- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- All exposed piping and supports to be painted black. Gas to be painted yellow.
- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- All laundry appliances to be installed on neoprene isolator pads (typical).
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.



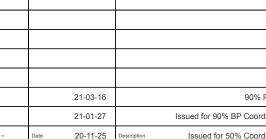


KEY PLAN

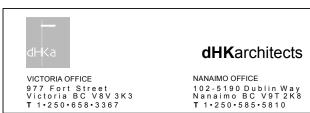












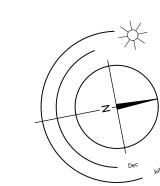
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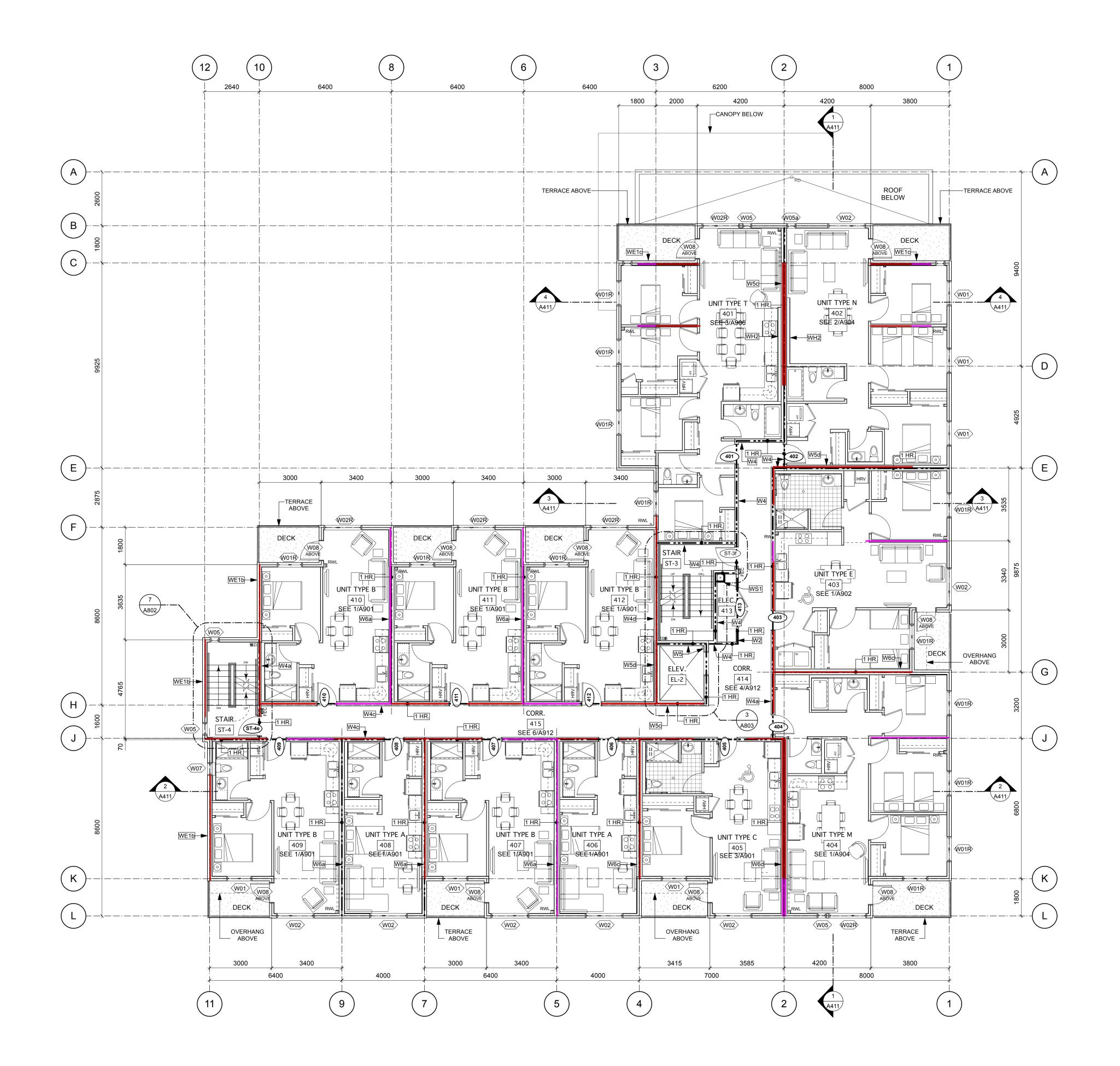
Victoria BC

APT-2 L3 Plan

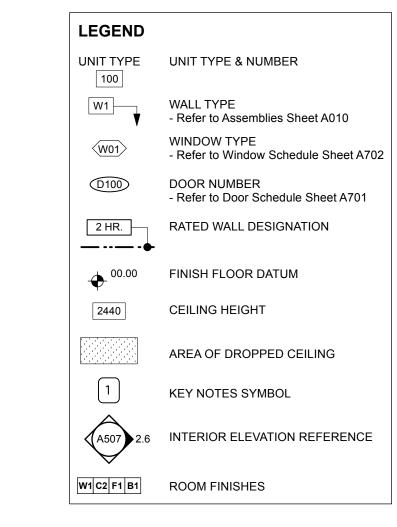
PT-2 L3 Plan

RESERVED. THESE PLANS AND drawing no. AND AT ALL TIMES REMAIN THE DIKKARCHITECTS TO BE USED FOR





- All right of ways, boundaries, setbacks and property lines to be confirmed by B.C.L.S prior to construction.
- 2. All dimensions are to gridlines, face of concrete, face of exterior sheathing, face of interior stud or centreline of party wall unless
- 3. All gridlines are to centreline of party walls, face of corridor studs, and face of exterior sheathing unless noted otherwise. Plans to be read in conjunction with details to confirm.
- 4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- 5. All existing and new datums are geodetic (meters). 6. Windows not located with dimensions are located in line with
- the windows from the floor below. 7. All vestibule and fire rated doors to be complete with self closing
- mechanism, lever hardware and positive latching strikes.
- See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
- 9. Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- 10. All walls containing plumbing drains to be fully insulated for
- Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind towel bars shall be provided in all bathrooms.
- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- 14. Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be painted yellow.
- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.



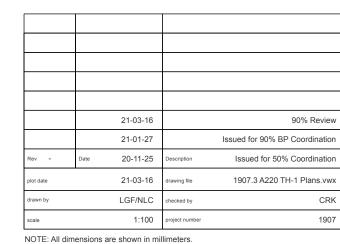


KEY PLAN









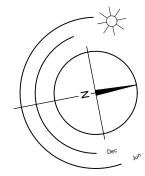


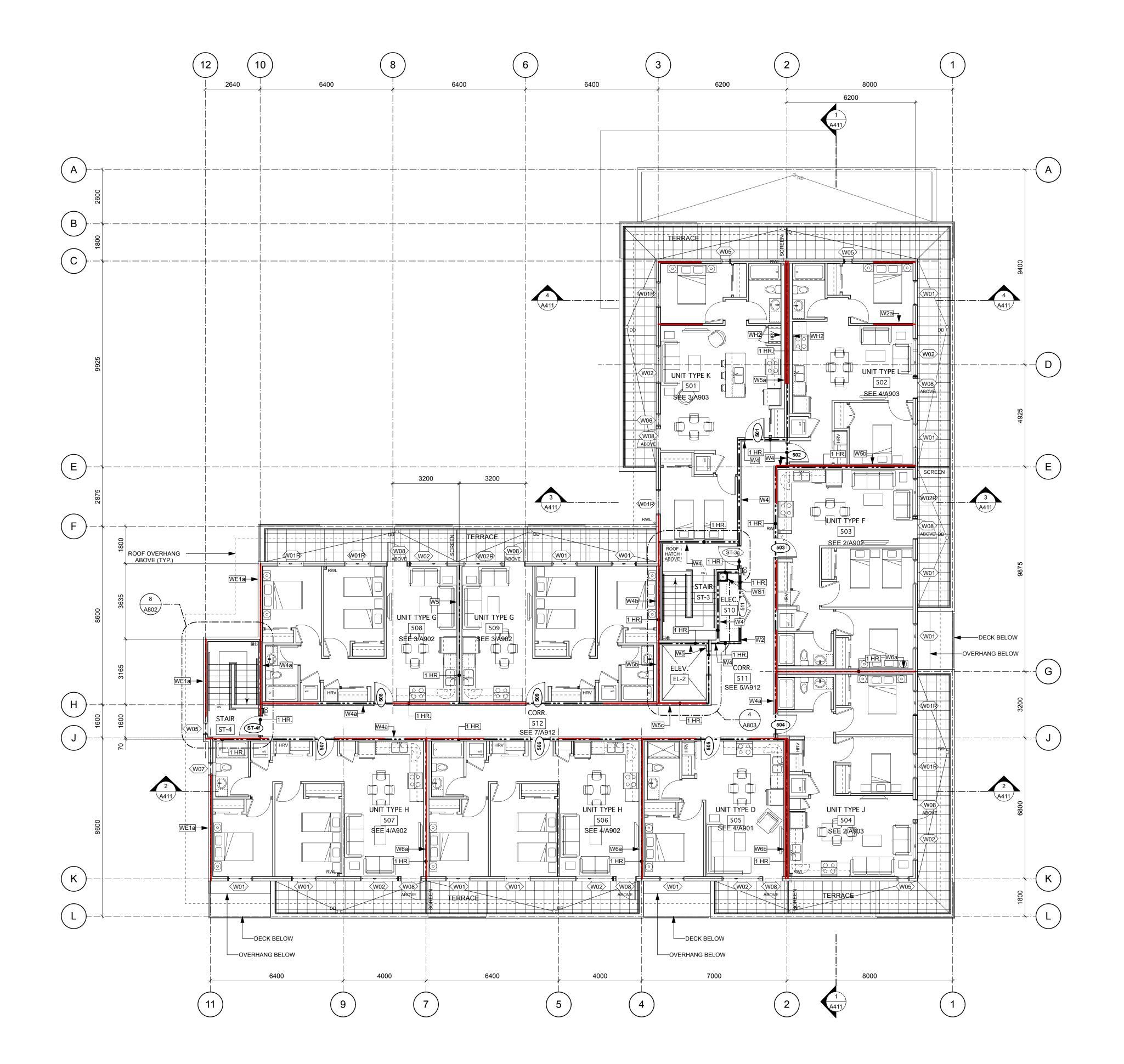


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Caledonia Victoria BC

APT-2 L4 Plan





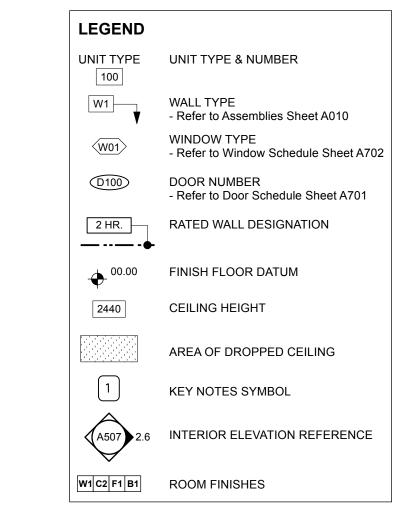
- All right of ways, boundaries, setbacks and property lines to be confirmed by B.C.L.S prior to construction.
- 2. All dimensions are to gridlines, face of concrete, face of exterior sheathing, face of interior stud or centreline of party wall unless
- 3. All gridlines are to centreline of party walls, face of corridor studs, and face of exterior sheathing unless noted otherwise. Plans to be read in conjunction with details to confirm.
- 4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- 5. All existing and new datums are geodetic (meters).

the windows from the floor below.

- 7. All vestibule and fire rated doors to be complete with self closing
- mechanism, lever hardware and positive latching strikes.

6. Windows not located with dimensions are located in line with

- See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
- 9. Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- 10. All walls containing plumbing drains to be fully insulated for
- Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind towel bars shall be provided in all bathrooms.
- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- 14. Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be
- painted yellow.
- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.

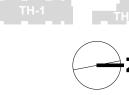




KEY PLAN



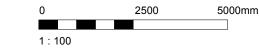




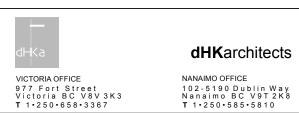


		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vw
drawn by		LGF/NLC	checked by	CR
scale		1:100	project number	1907

NOTE: All dimensions are shown in millimeters.



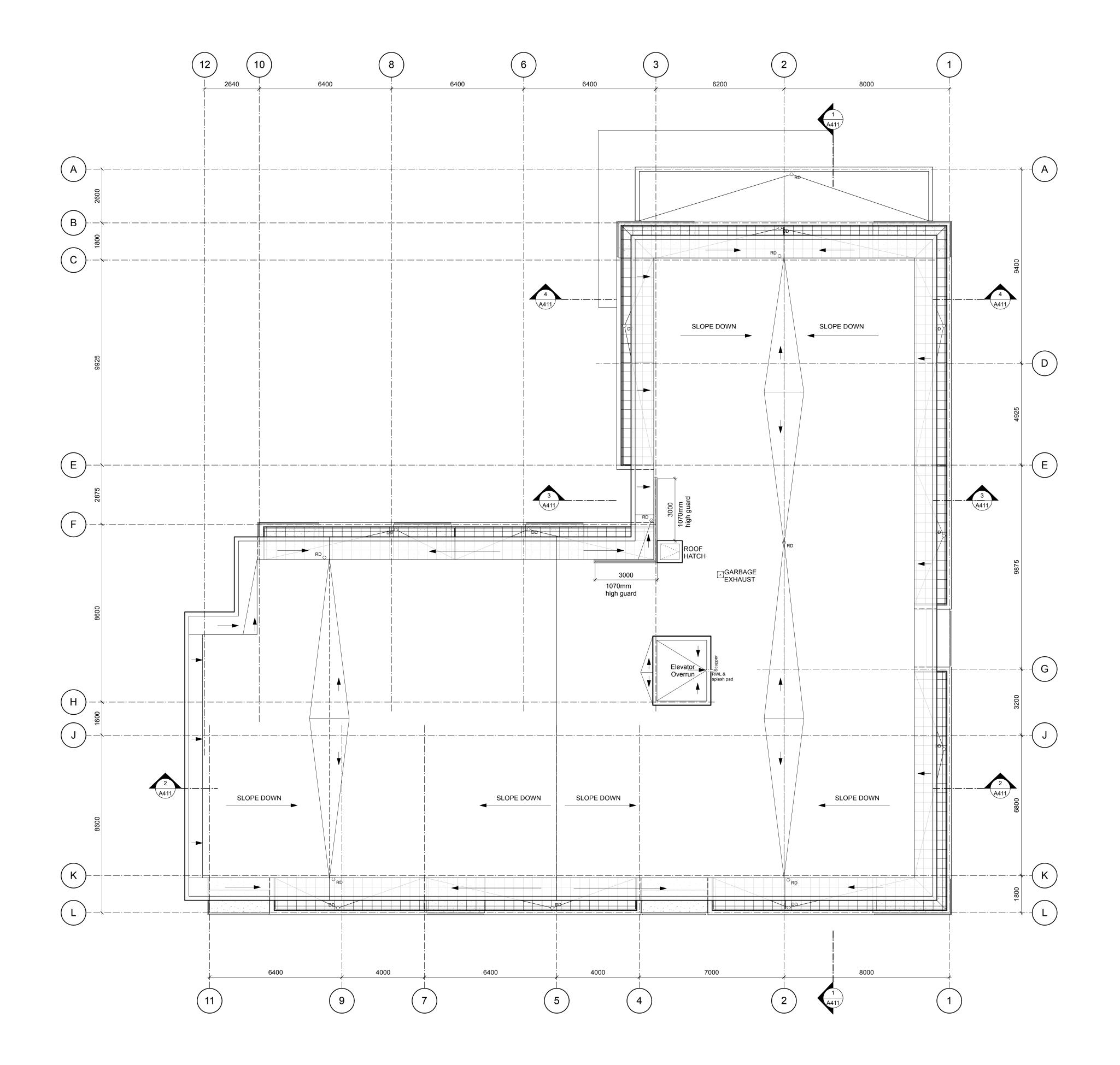




Caledonia Victoria BC

APT-2 L5 Plan





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- 3. All gridlines are to centreline of party walls, face of corridor studs, and face of exterior sheathing unless noted otherwise. Plans to be read in conjunction with details to confirm.
- 4. Contractor to verify all dimensions and confirm same on site.
- Architect to be notified in case of any discrepancies.
- All existing and new datums are geodetic (meters). 6. Windows not located with dimensions are located in line with

the windows from the floor below.

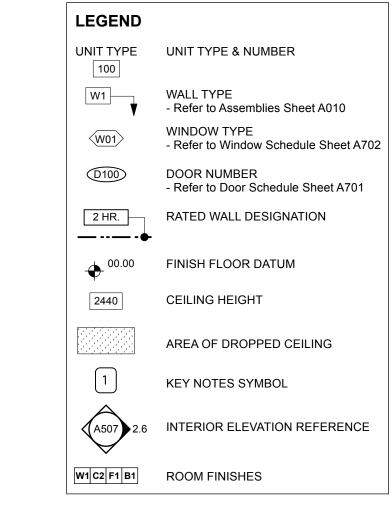
- 7. All vestibule and fire rated doors to be complete with self closing mechanism, lever hardware and positive latching strikes.
- See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
- Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- 10. All walls containing plumbing drains to be fully insulated for
- Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind towel bars shall be provided in all bathrooms.
- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- 14. Offset door rough opening min. 75 mm from adjacent wall
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be

surface where space allows, unless noted otherwise.

- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).

painted yellow.

- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.







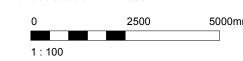




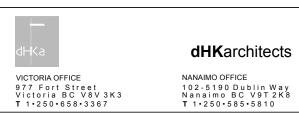


		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vw
drawn by		LGF/NLC	checked by	CR
scale		1:100	project number	1907
			•	

NOTE: All dimensions are shown in millimeters.





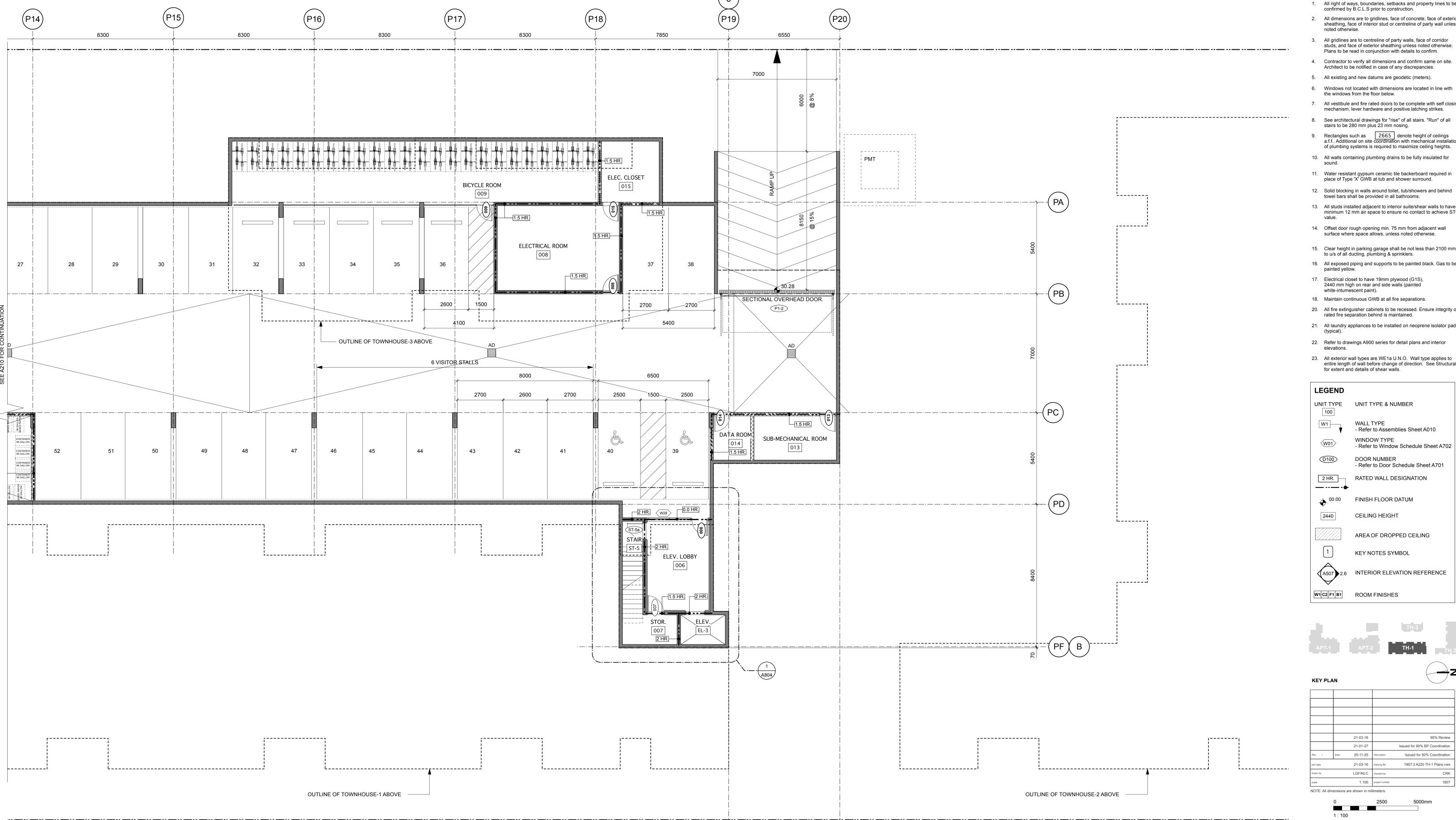


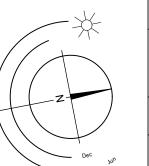
Caledonia

Victoria BC

APT-2 Roof Plan







- All right of ways, boundaries, setbacks and property lines to be confirmed by B.C.L.S prior to construction.
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- 3. All gridlines are to centreline of party walls, face of corridor studs, and face of exterior sheathing unless noted otherwise. Plans to be read in conjunction with details to confirm.
- 4. Contractor to verify all dimensions and confirm same on site.
- Architect to be notified in case of any discrepancies.
- 5. All existing and new datums are geodetic (meters).
- the windows from the floor below.
- All vestibule and fire rated doors to be complete with self closing mechanism, lever hardware and positive latching strikes.
- See architectural drawings for "rise" of all stairs. "Run" of all stairs to be 280 mm plus 23 mm nosing.
- Rectangles such as 2665 denote height of ceilings a.f.f.. Additional on site coordination with mechanical installation of plumbing systems is required to maximize ceiling heights.
- 10. All walls containing plumbing drains to be fully insulated for
- Water resistant gypsum ceramic tile backerboard required in place of Type 'X' GWB at tub and shower surround.
- 12. Solid blocking in walls around toilet, tub/showers and behind towel bars shall be provided in all bathrooms.
- 13. All studs installed adjacent to interior suite/shear walls to have minimum 12 mm air space to ensure no contact to achieve STC
- Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall be not less than 2100 mm to u/s of all ducting, plumbing & sprinklers.
- 16. All exposed piping and supports to be painted black. Gas to be painted yellow.
- Electrical closet to have 19mm plywood (G1S), 2440 mm high on rear and side walls (painted white-intumescent paint).
- 18. Maintain continuous GWB at all fire separations.
- 20. All fire extinguisher cabinets to be recessed. Ensure integrity of rated fire separation behind is maintained.
- 21. All laundry appliances to be installed on neoprene isolator pads
- 22. Refer to drawings A900 series for detail plans and interior
- All exterior wall types are WE1a U.N.O. Wall type applies to entire length of wall before change of direction. See Structural for extent and details of shear walls.

LEGEND		
UNIT TYPE	UNIT TYPE & NUMBER	
W1	WALL TYPE - Refer to Assemblies Sheet A010	
⟨W01⟩	WINDOW TYPE - Refer to Window Schedule Sheet A702	
D100	DOOR NUMBER - Refer to Door Schedule Sheet A701	
2 HR.	RATED WALL DESIGNATION	
00.00	FINISH FLOOR DATUM	
2440	CEILING HEIGHT	
	AREA OF DROPPED CEILING	
1	KEY NOTES SYMBOL	





ROOM FINISHES



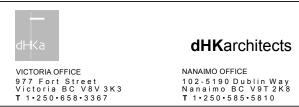
INTERIOR ELEVATION REFERENCE



KEY PLAN					
		21-03-16		90% Review	
		21-01-27		Issued for 90% BP Coordination	
Rev -	Date	20-11-25	Description	Issued for 50% Coordination	
plot date		21-03-16	drawing file	1907.3 A220 TH-1 Plans.vwx	
drawn by		LGF/NLC	checked by	CRK	
scale		1:100	project number	1907	

NOTE: All dimensions are shown in millimeters.

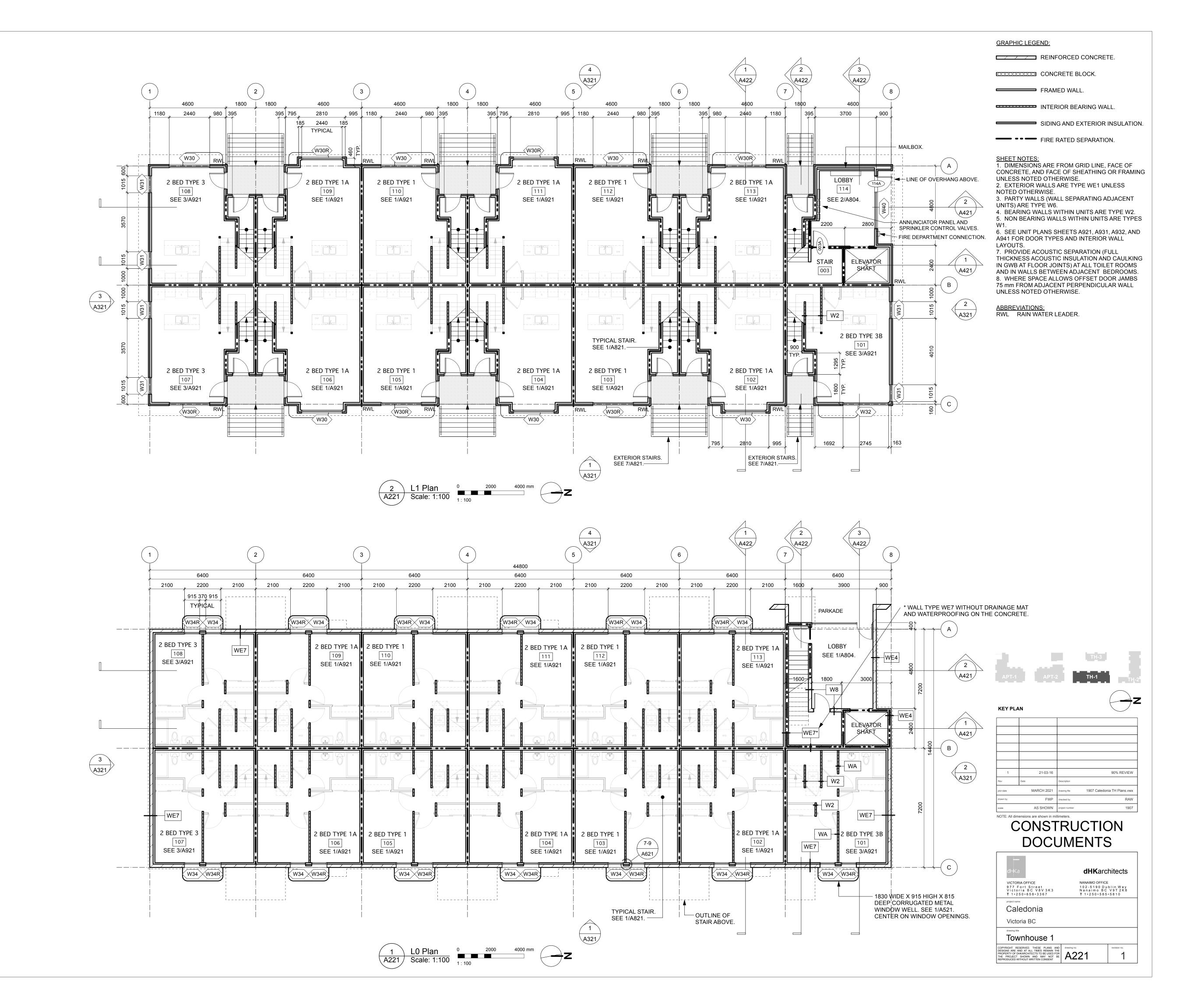


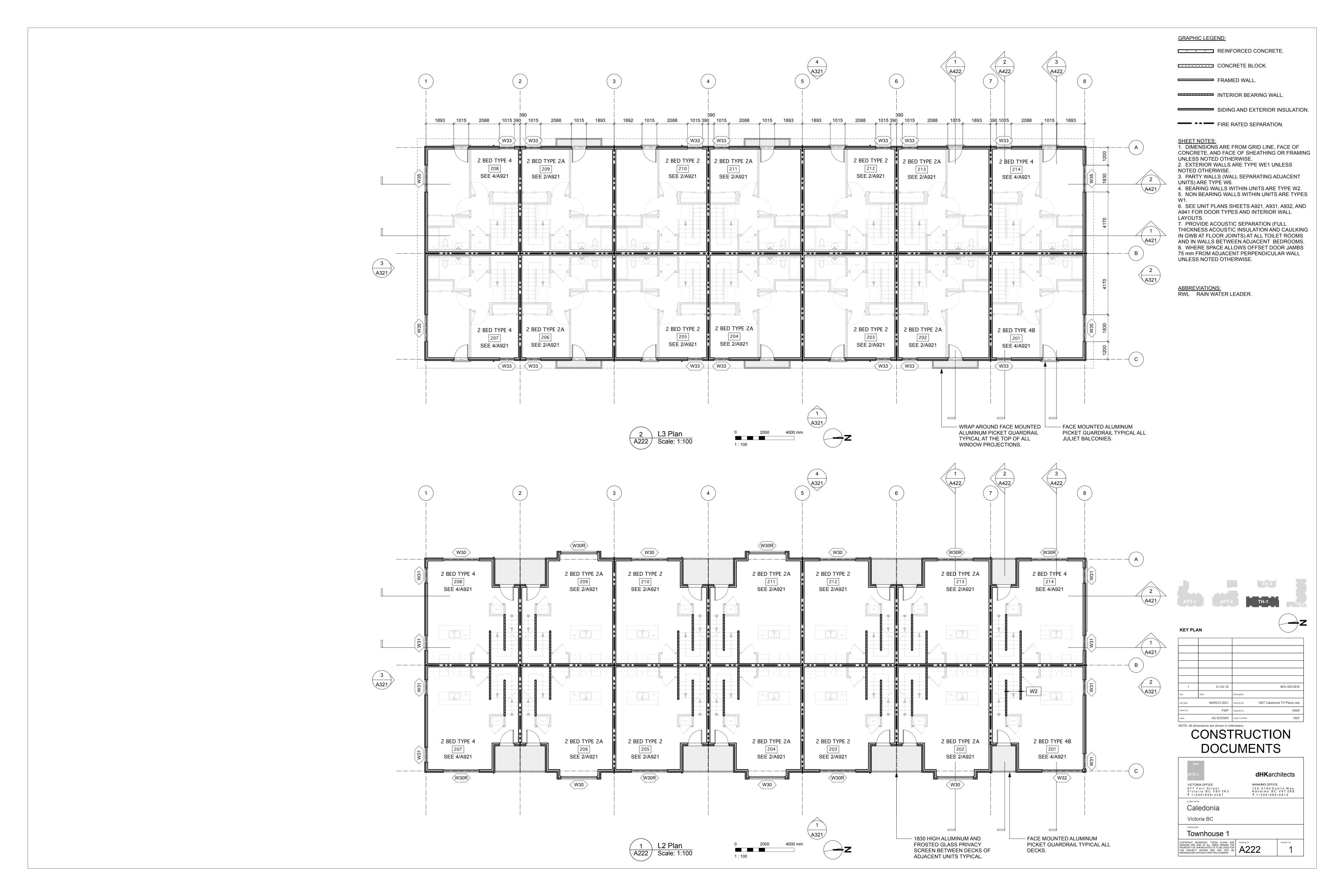


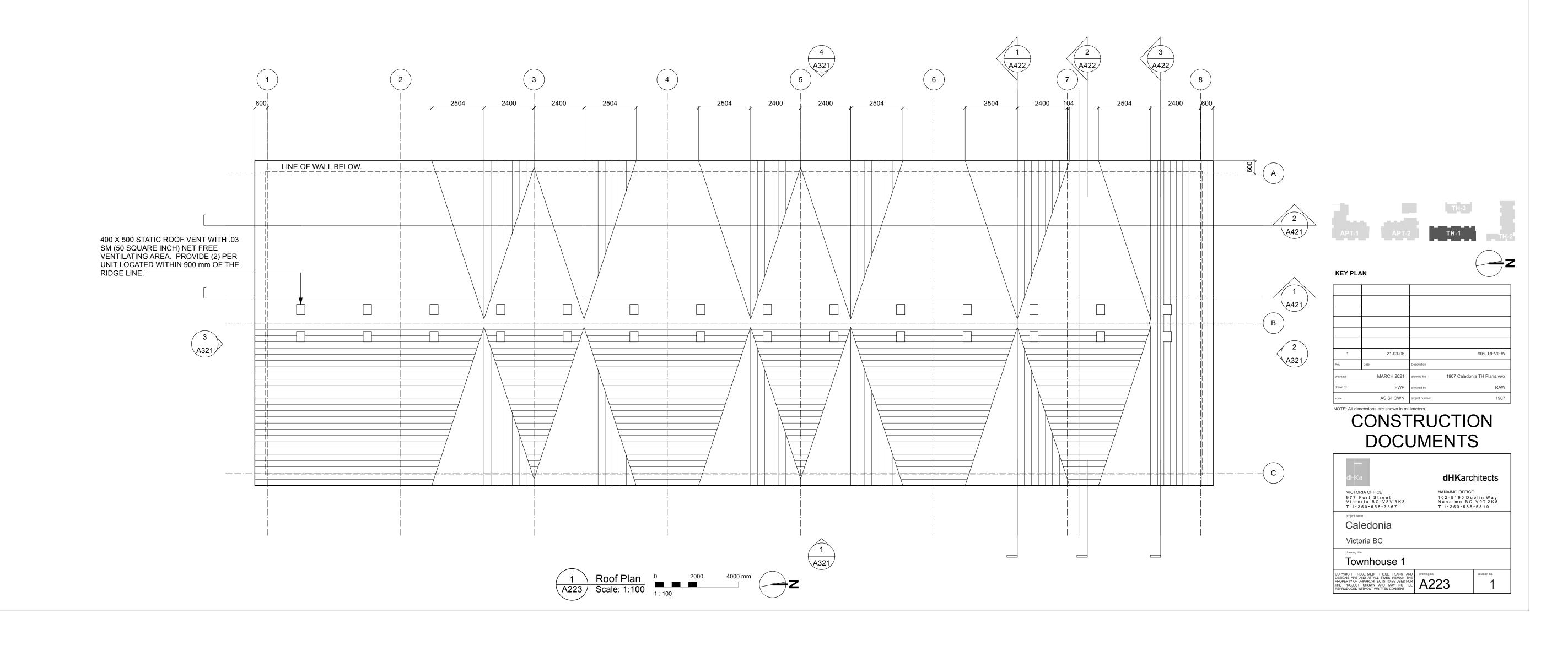
Caledonia

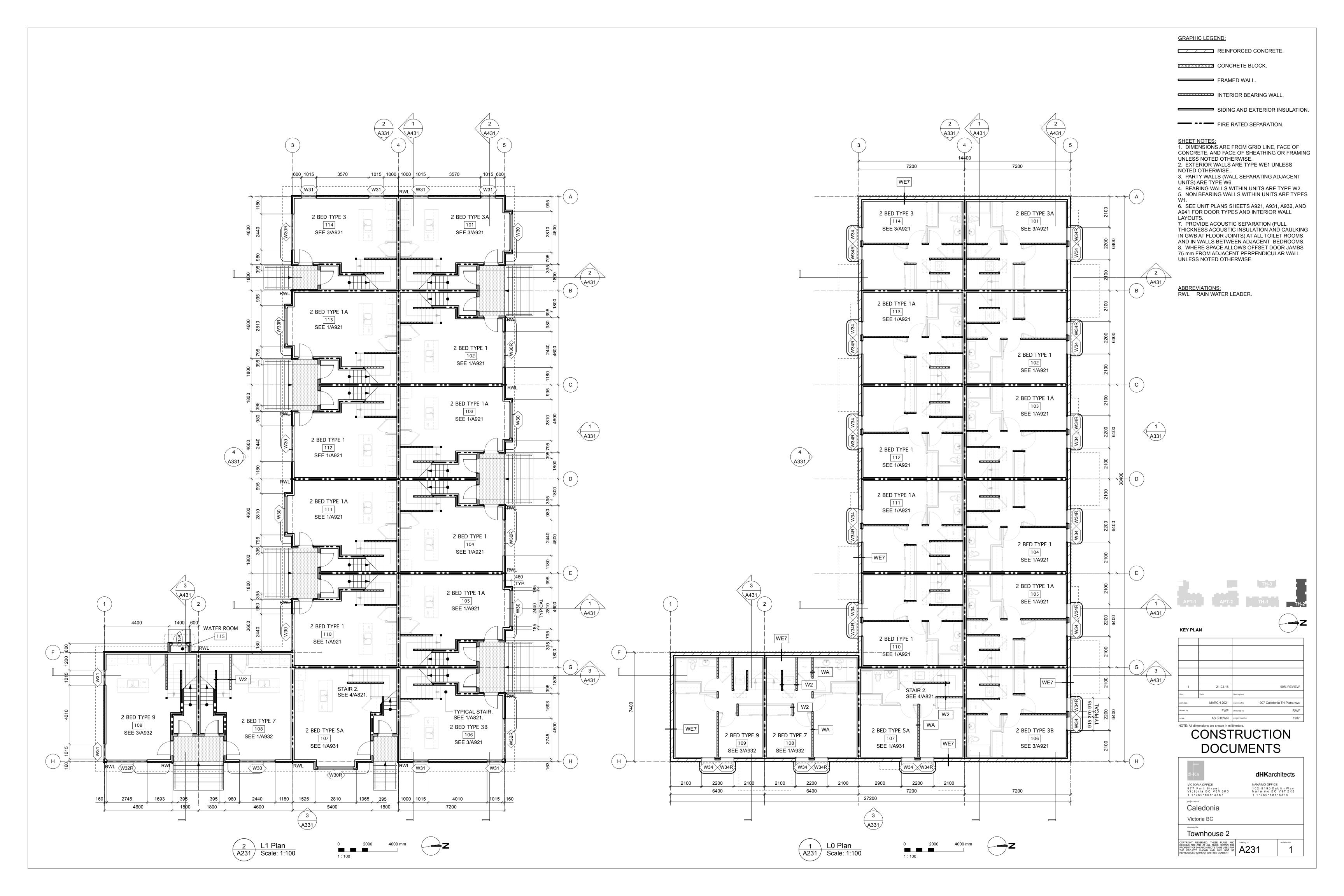
Victoria BC

TH-1 Parkade Plan

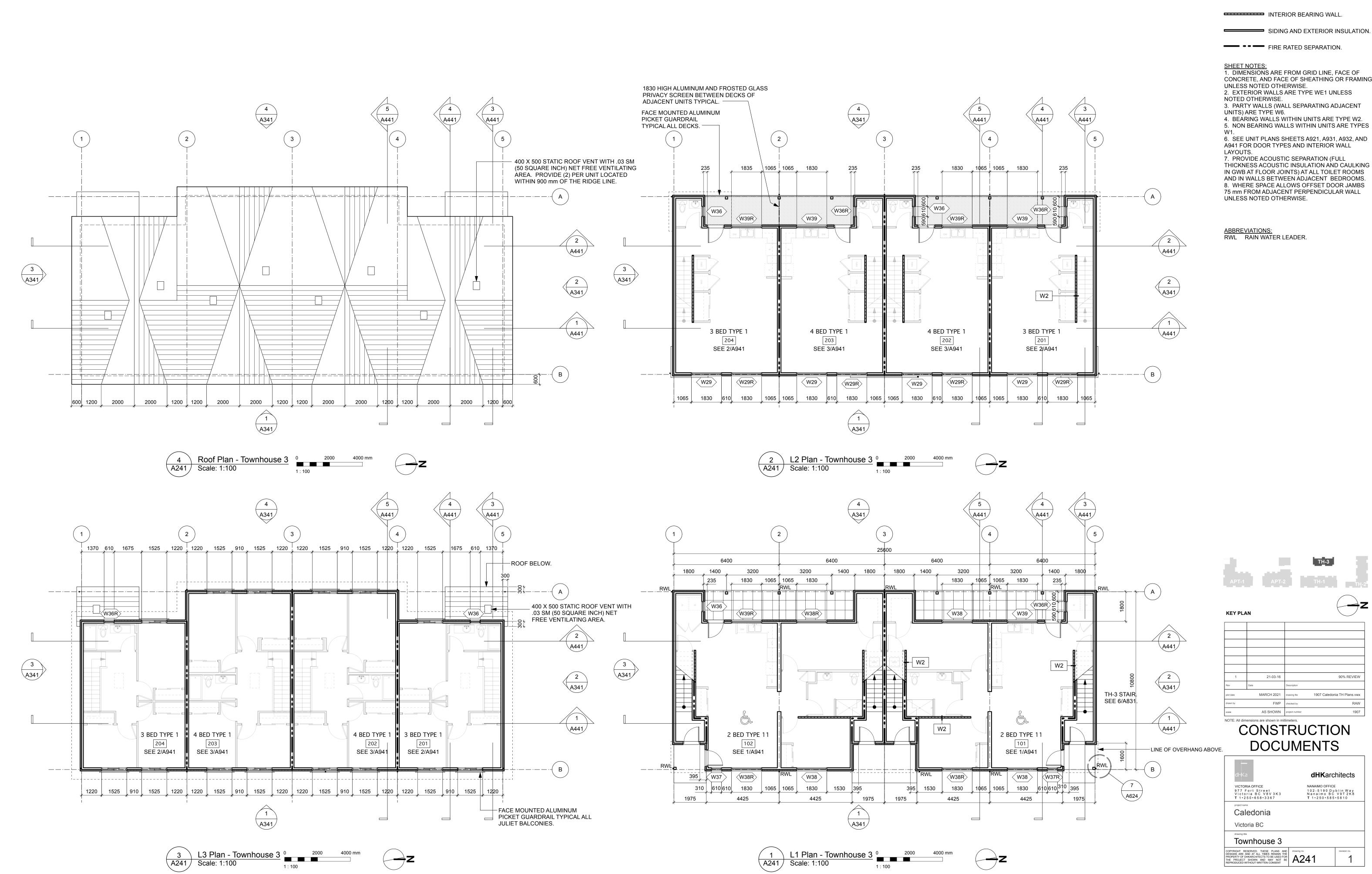








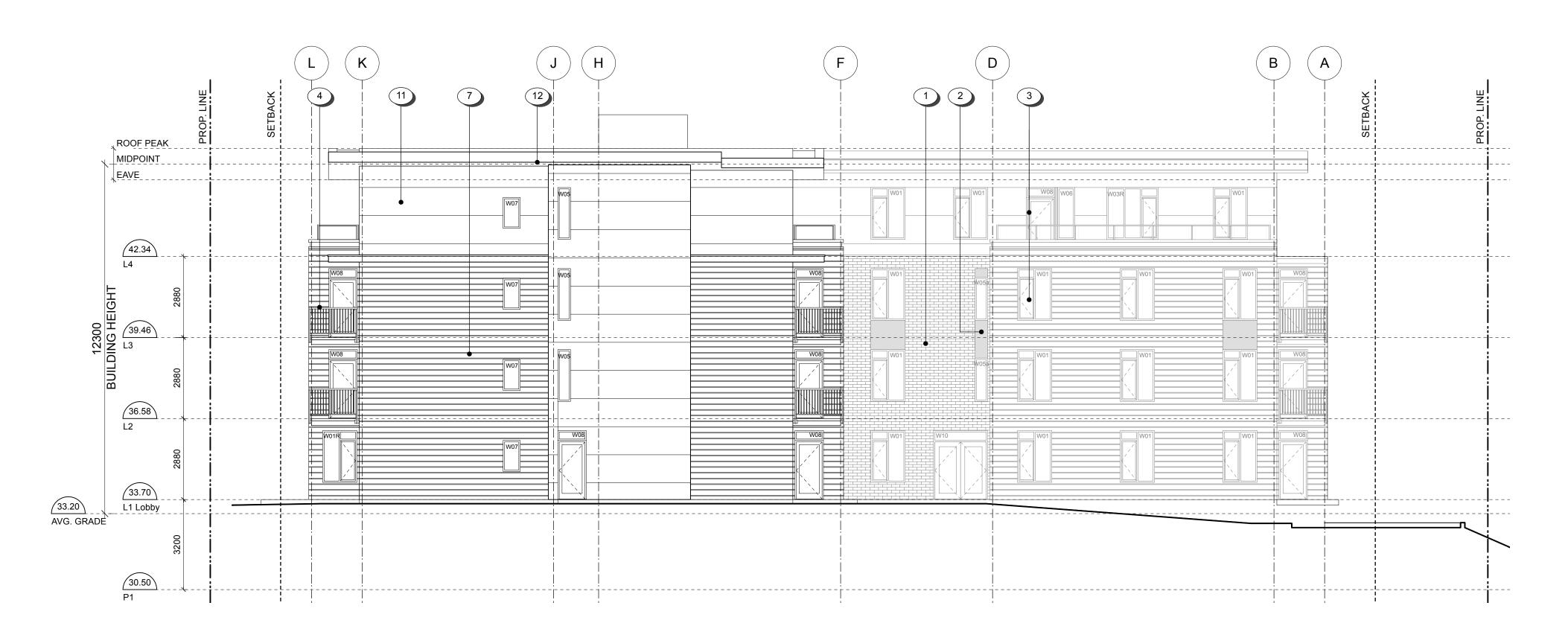




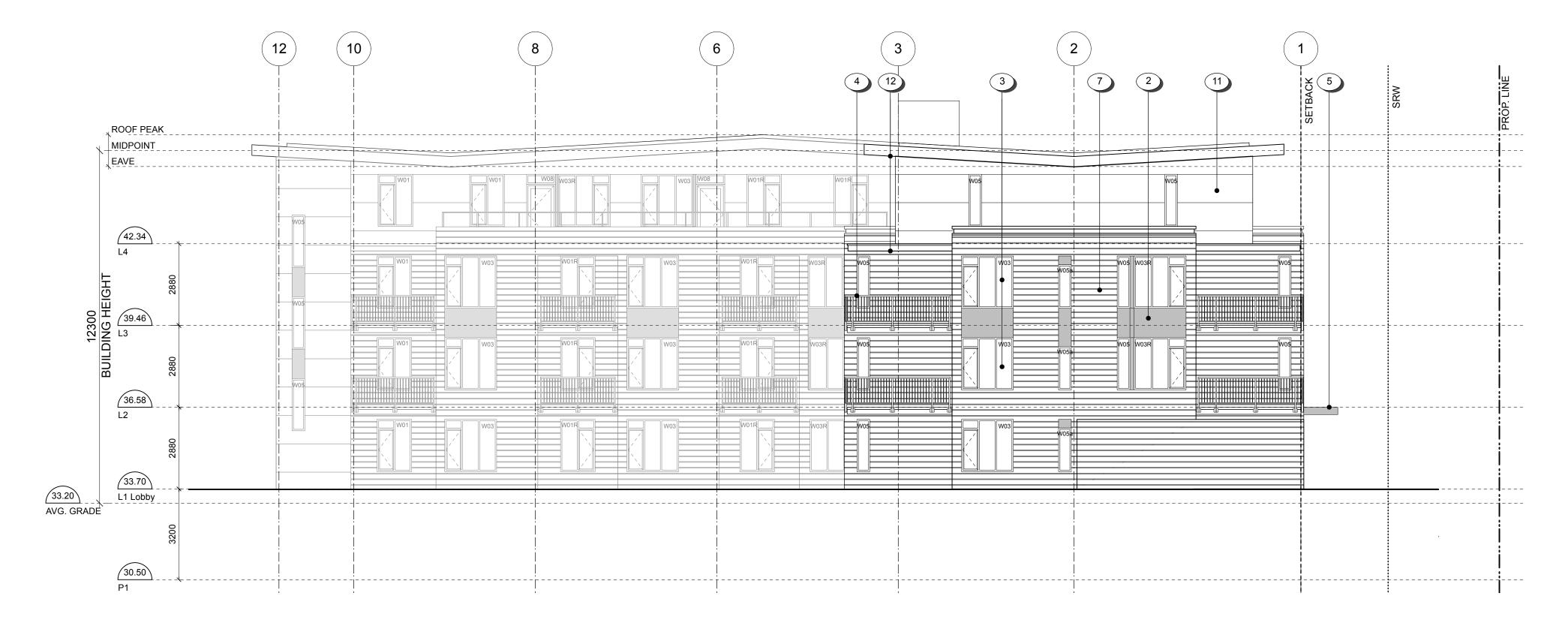
GRAPHIC LEGEND: REINFORCED CONCRETE. CONCRETE BLOCK. FRAMED WALL.

> 1. DIMENSIONS ARE FROM GRID LINE, FACE OF CONCRETE, AND FACE OF SHEATHING OR FRAMING

- 3. PARTY WALLS (WALL SEPARATING ADJACENT
- 5. NON BEARING WALLS WITHIN UNITS ARE TYPES



Apartment 1 - North Elevation
Scale: 1:100



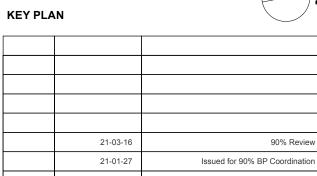
Apartment 1 - West Elevation
Scale: 1:100

COLOUR & MATERIALS LEGEND

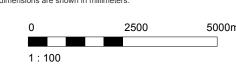
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- 2 FIBRE CEMENT PANEL Teal 3 VINYL WINDOWS & DOORS - Teal
- PREFINISHED ALUMINUM GUARD, FRAME & PICKETS Teal
- 5 METAL FLASHING Teal
- 6 ACCENT PAINT COLOUR Rust
- 7 FIBRE CEMENT LAP SIDING Soft Brown
- 8 FIBRE CEMENT PANEL Warm Grey Apartment 2 Only
- 9 SOFFIT Warm Grey Apartment 2 Only
- 10 PAINTED CONCRETE Warm Grey
- 11 FIBRE CEMENT PANEL Warm White
- SOFFIT Warm White
- 13 FIBRE CEMENT LAP SIDING Medium Blue-Grey
- 14 FIBRE CEMENT LAP SIDING White
- 15 VINYL WINDOWS & DOORS Dark Grey
- PREFINISHED ALUMINUM GUARD & FRAME Dark Grey
- 17 METAL FLASHING Dark Grey
- 18 ASPHALT SHINGLES Warm Grey
- 19 FIBRE CEMENT SHINGLES Warm Grey
- VINYL WINDOWS & DOORS White
- 21 METAL DOWNSPOUT & FLASHING Light Warm Grey
- FIBRE CEMENT PANEL Dark Grey
- FIBRE CEMENT PANEL Light Grey
- ACCENT PAINT COLOUR Bright Orange
- 25 ACCENT PAINT COLOUR Bright Blue
- 26 ACCENT PAINT COLOUR Chartreuse





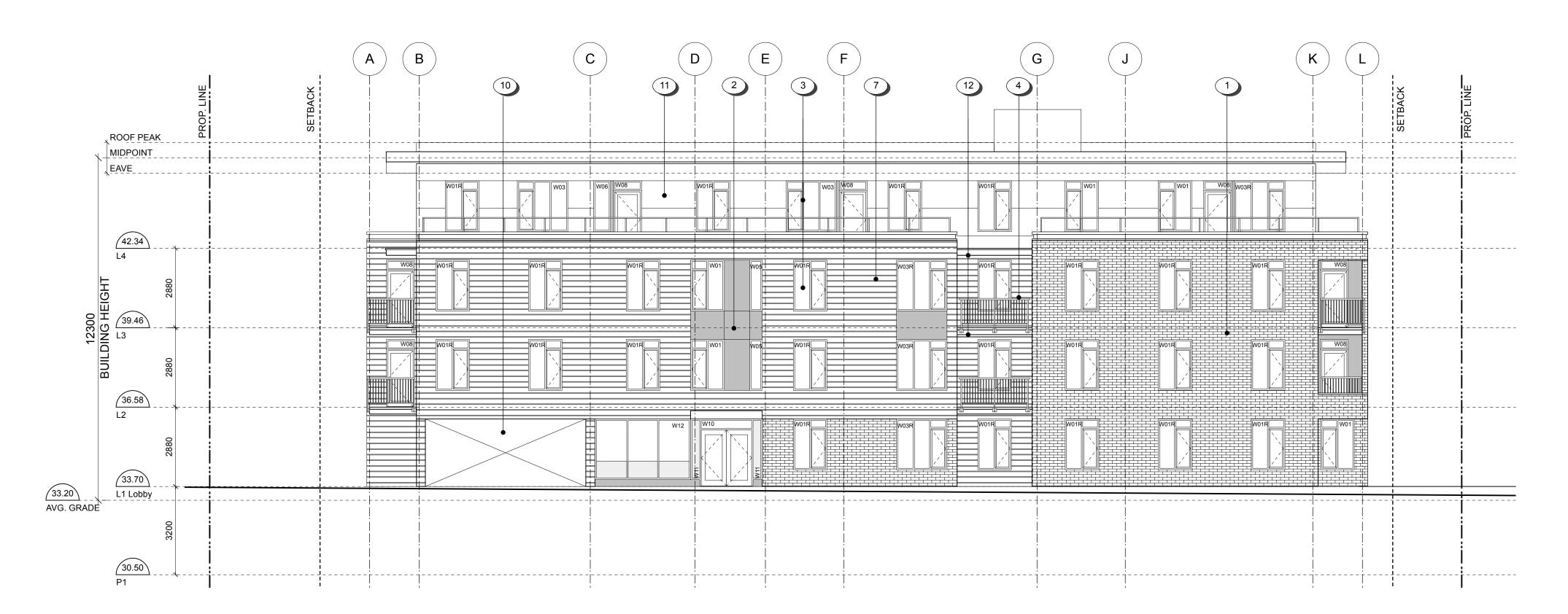


1:100 project number NOTE: All dimensions are shown in millimeters.

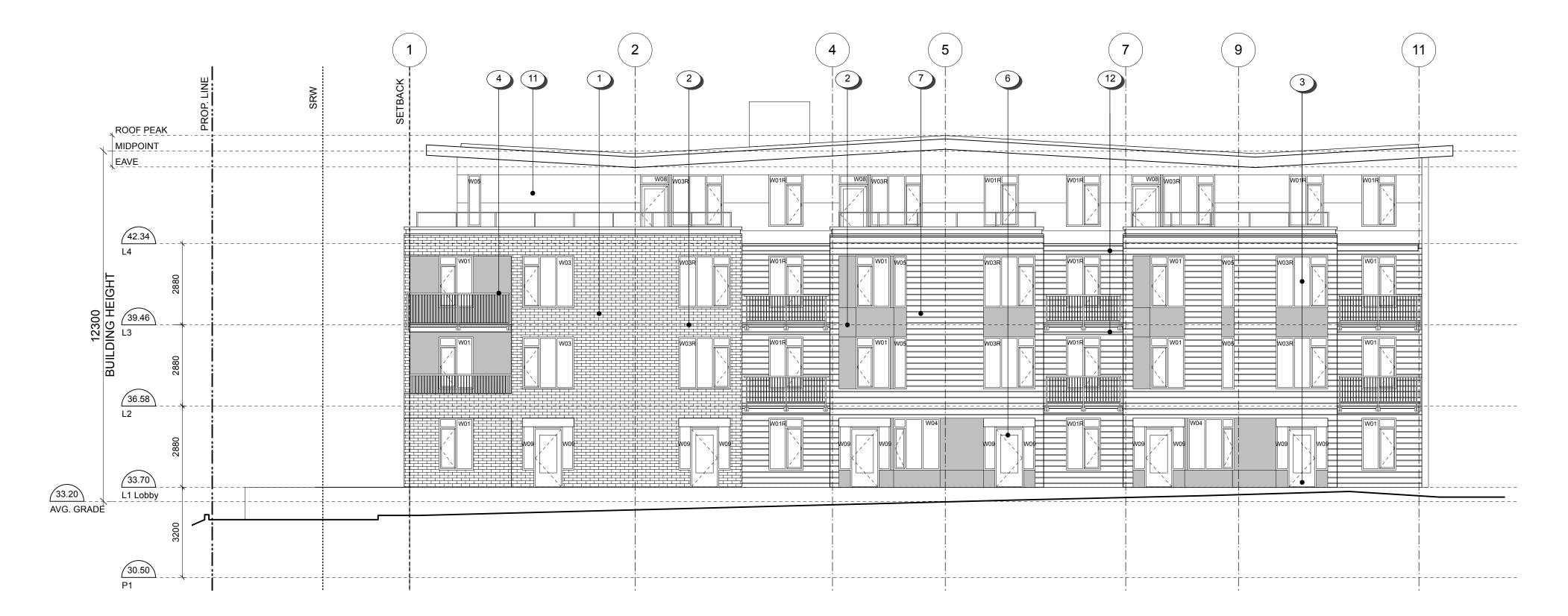


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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1•250•585	blin Way V9T 2K8
Caledonia		
Victoria BC		
APT-1 Elevatio	ns	
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Apartment 1 - South Elevation
Scale: 1:100



2 Apartment 1 - East Elevation A302 Scale: 1:100

COLOUR & MATERIALS LEGEND

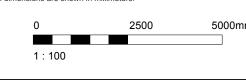
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- 3 VINYL WINDOWS & DOORS Teal PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- 5 METAL FLASHING Teal
- 6 ACCENT PAINT COLOUR Rust
- 7 FIBRE CEMENT LAP SIDING Soft Brown
- 8 FIBRE CEMENT PANEL Warm Grey Apartment 2 Only
- 9 SOFFIT Warm Grey Apartment 2 Only
- 10 PAINTED CONCRETE Warm Grey
- 11 FIBRE CEMENT PANEL Warm White
- SOFFIT Warm White
- 13 FIBRE CEMENT LAP SIDING Medium Blue-Grey
- 14 FIBRE CEMENT LAP SIDING White
- 15 VINYL WINDOWS & DOORS Dark Grey
- PREFINISHED ALUMINUM GUARD & FRAME Dark Grey
- 17 METAL FLASHING Dark Grey
- ASPHALT SHINGLES Warm Grey
- 19 FIBRE CEMENT SHINGLES Warm Grey
- VINYL WINDOWS & DOORS White
- 21 METAL DOWNSPOUT & FLASHING Light Warm Grey
- FIBRE CEMENT PANEL Dark Grey
- FIBRE CEMENT PANEL Light Grey
- ACCENT PAINT COLOUR Bright Orange
- 25 ACCENT PAINT COLOUR Bright Blue
- 26 ACCENT PAINT COLOUR Chartreuse





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Issued for 90% BP Cod	21-01-27	

21-03-16 LGF checked by



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Caledonia		
Victoria BC drawing title APT-1 Elevation	ns	
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Apartment 2 - North Elevation
Scale: 1:100



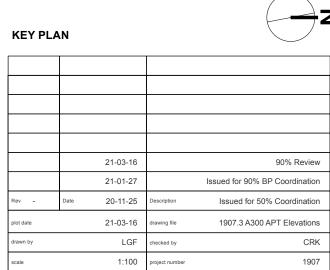
Apartment 2 - West Elevation
Scale: 1:100

COLOUR & MATERIALS LEGEND

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- 3 VINYL WINDOWS & DOORS Teal PREFINISHED ALUMINUM GUARD, FRAME & PICKETS - Teal
- 5 METAL FLASHING Teal
- 6 ACCENT PAINT COLOUR Rust
- 7 FIBRE CEMENT LAP SIDING Soft Brown
- 8 FIBRE CEMENT PANEL Warm Grey Apartment 2 Only
- 9 SOFFIT Warm Grey Apartment 2 Only
- 10 PAINTED CONCRETE Warm Grey
- 11 FIBRE CEMENT PANEL Warm White
- SOFFIT Warm White
- 13 FIBRE CEMENT LAP SIDING Medium Blue-Grey
- 14 FIBRE CEMENT LAP SIDING White
- 15 VINYL WINDOWS & DOORS Dark Grey
- PREFINISHED ALUMINUM GUARD & FRAME Dark Grey
- 17 METAL FLASHING Dark Grey
- 18 ASPHALT SHINGLES Warm Grey
- 19 FIBRE CEMENT SHINGLES Warm Grey
- VINYL WINDOWS & DOORS White
- 21 METAL DOWNSPOUT & FLASHING Light Warm Grey
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- FIBRE CEMENT PANEL Light Grey
- ACCENT PAINT COLOUR Bright Orange
- 25 ACCENT PAINT COLOUR Bright Blue
- 26 ACCENT PAINT COLOUR Chartreuse



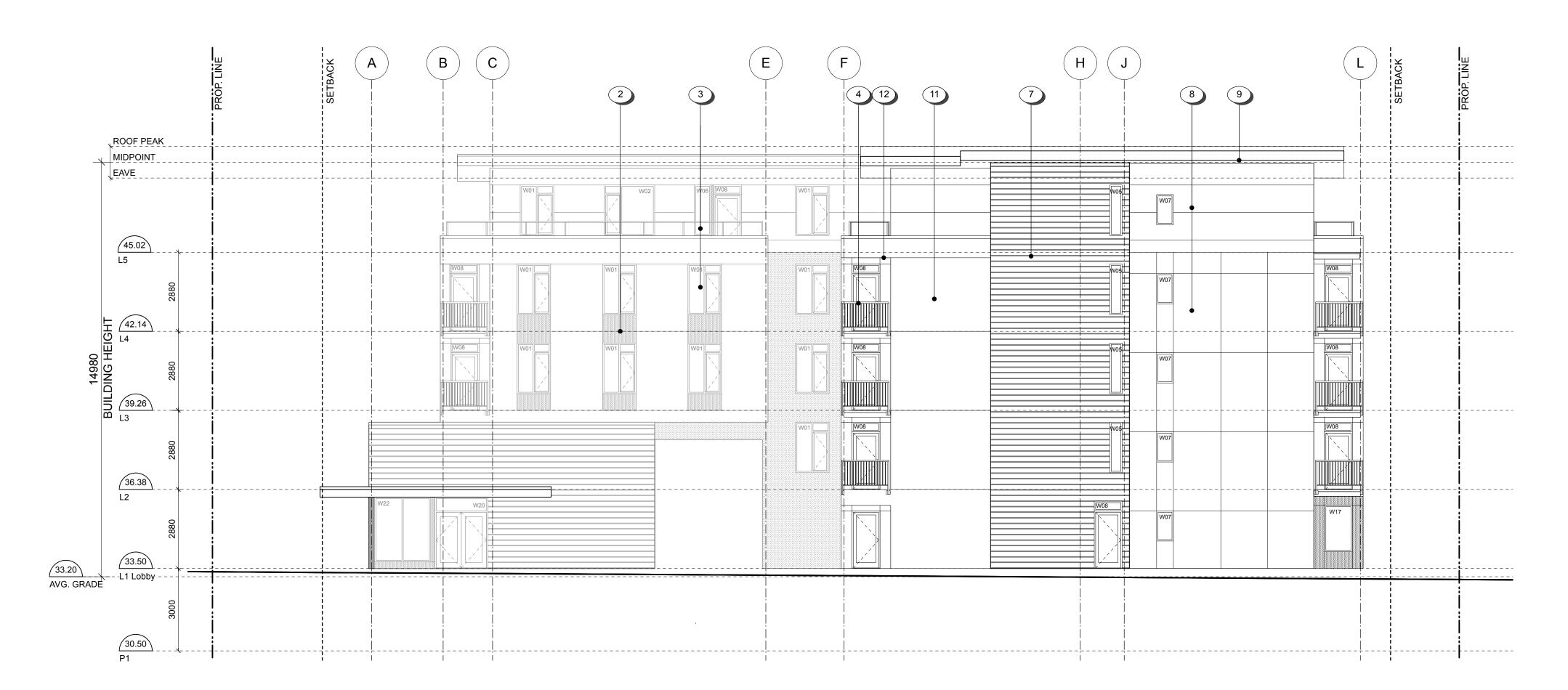




NOTE: All dimensions are shown in millimeters.

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Caledonia	



1 Apartment 2 - South Elevation A312 Scale: 1:100



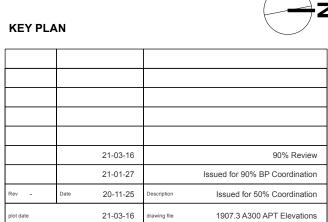
Apartment 2 - East Elevation
Scale: 1:100

COLOUR & MATERIALS LEGEND

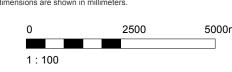
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- 5 METAL FLASHING Teal
- 6 ACCENT PAINT COLOUR Rust
- 7 FIBRE CEMENT LAP SIDING Soft Brown
- 8 FIBRE CEMENT PANEL Warm Grey Apartment 2 Only
- 9 SOFFIT Warm Grey Apartment 2 Only
- 10 PAINTED CONCRETE Warm Grey
- 11 FIBRE CEMENT PANEL Warm White
- SOFFIT Warm White
- 13 FIBRE CEMENT LAP SIDING Medium Blue-Grey
- 14 FIBRE CEMENT LAP SIDING White
- 15 VINYL WINDOWS & DOORS Dark Grey
- PREFINISHED ALUMINUM GUARD & FRAME Dark Grey
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- VINYL WINDOWS & DOORS White
- 21 METAL DOWNSPOUT & FLASHING Light Warm Grey
- FIBRE CEMENT PANEL Dark Grey
- FIBRE CEMENT PANEL Light Grey
- ACCENT PAINT COLOUR Bright Orange
- 25 ACCENT PAINT COLOUR Bright Blue
- 26 ACCENT PAINT COLOUR Chartreuse







1:100 project number NOTE: All dimensions are shown in millimeters.



LGF checked I

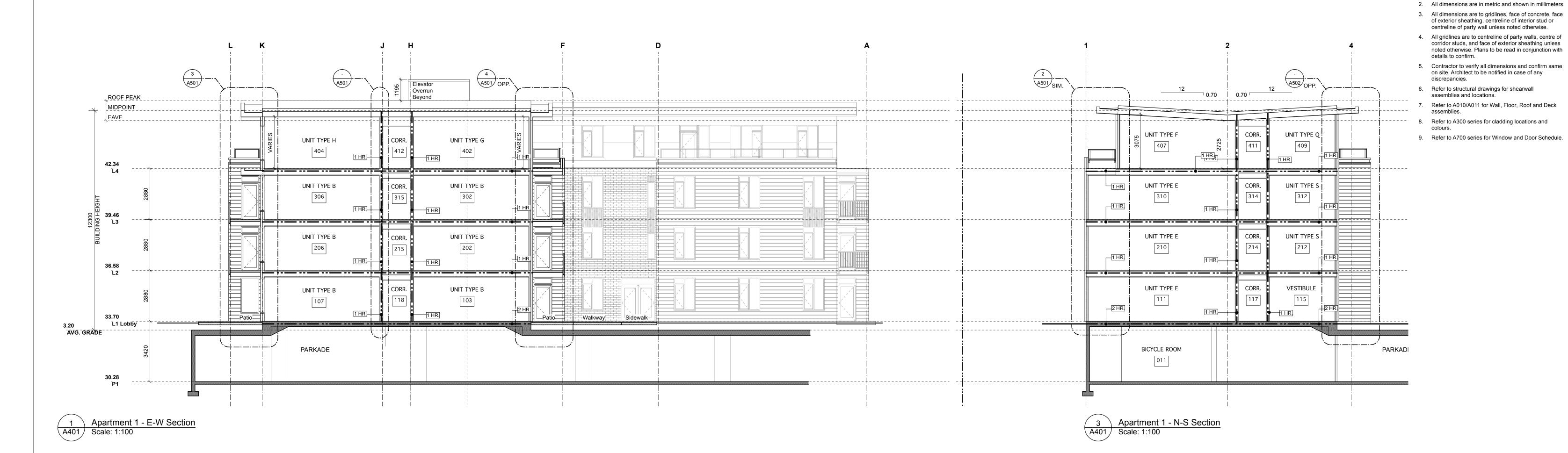
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APT-2 Elevations	





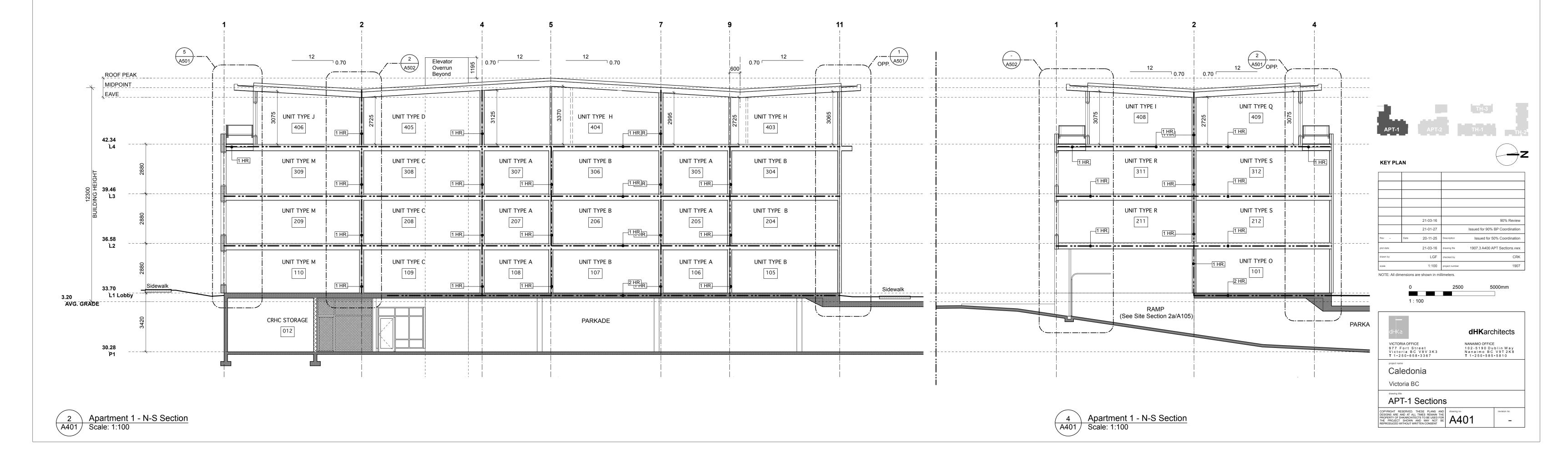
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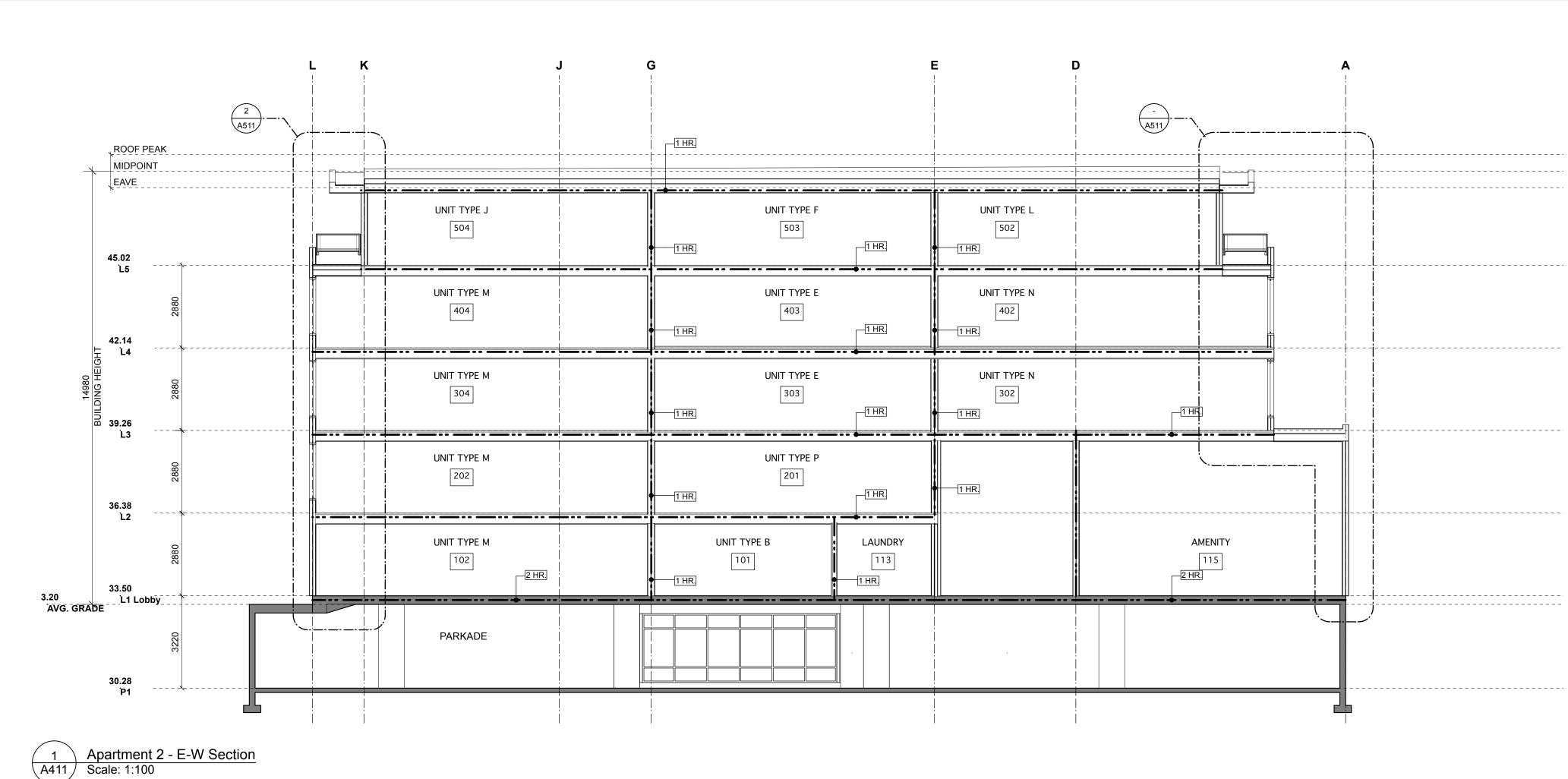


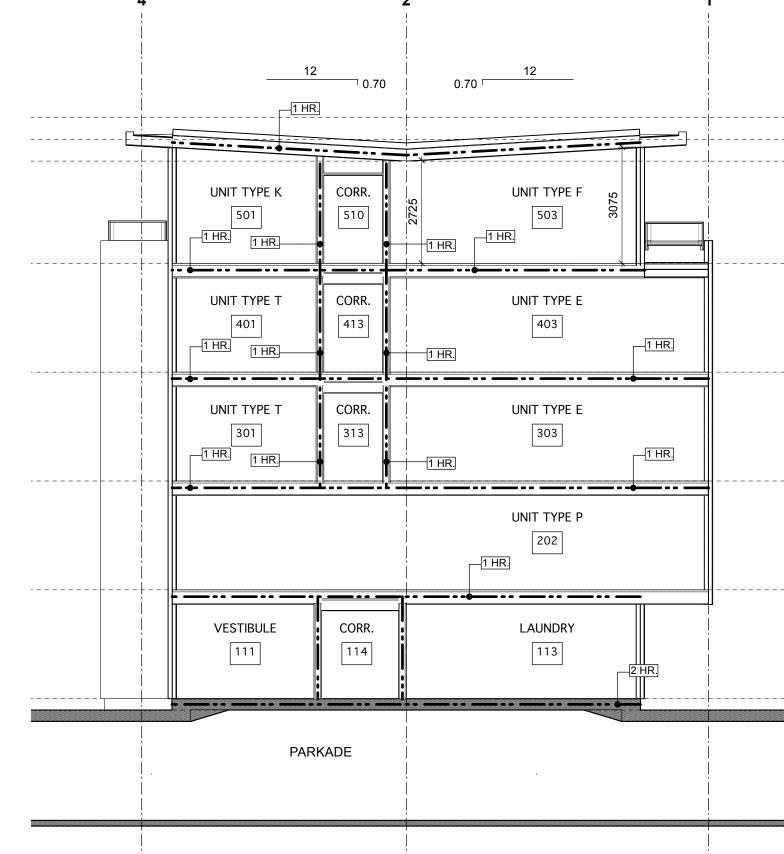


General Notes

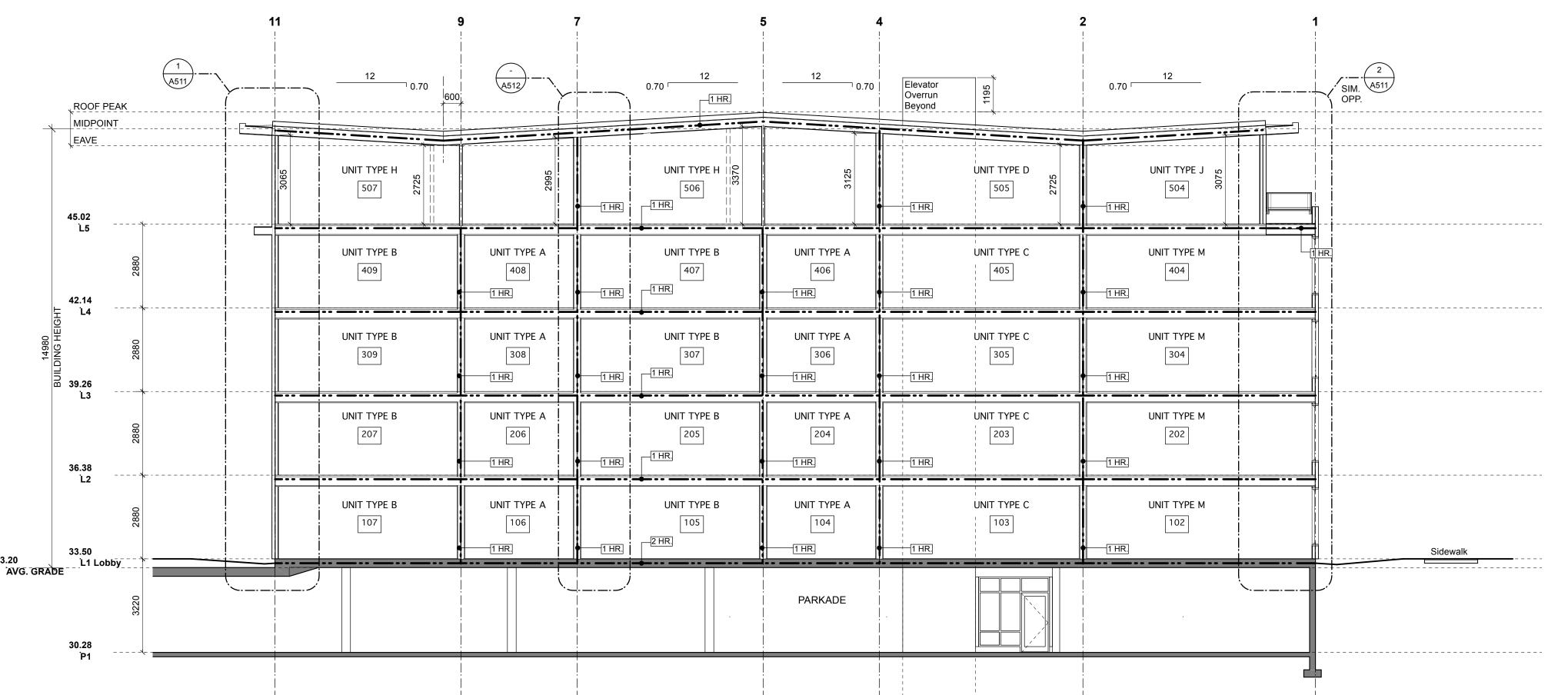
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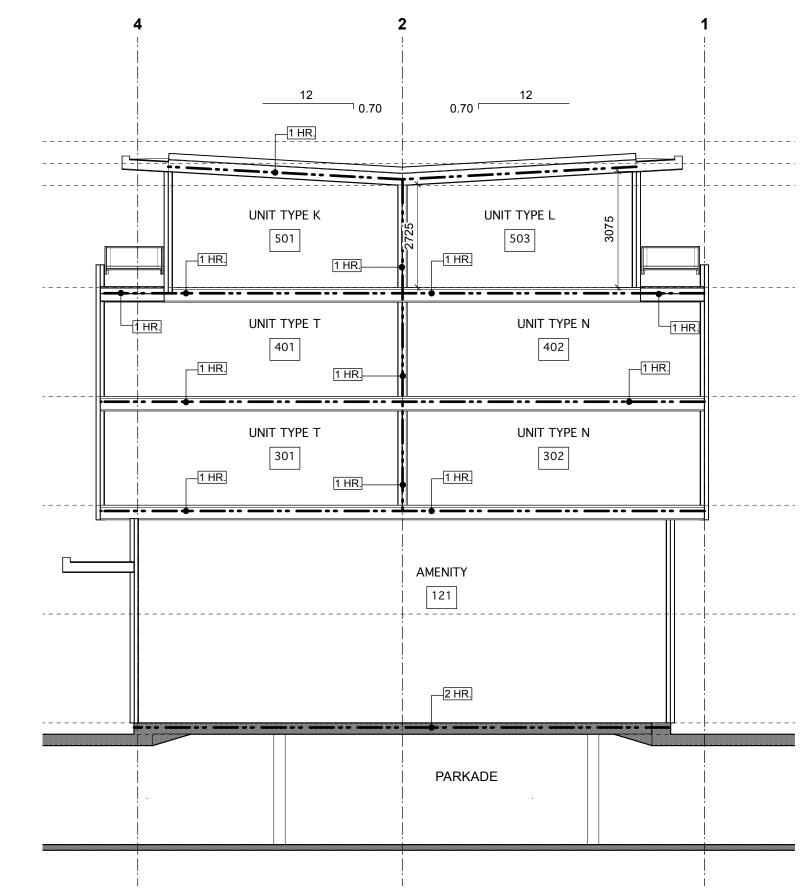






Apartment 2 - N-S Section
Scale: 1:100





on site. Architect to be notified in case of any

3. All dimensions are to gridlines, face of concrete, face of exterior sheathing, centreline of interior stud or

General Notes

centreline of party wall unless noted otherwise. All gridlines are to centreline of party walls, centre of corridor studs, and face of exterior sheathing unless

noted otherwise. Plans to be read in conjunction with details to confirm. 5. Contractor to verify all dimensions and confirm same

1. Floor datums are geodetic and shown in meters. 2. All dimensions are in metric and shown in millimeters.

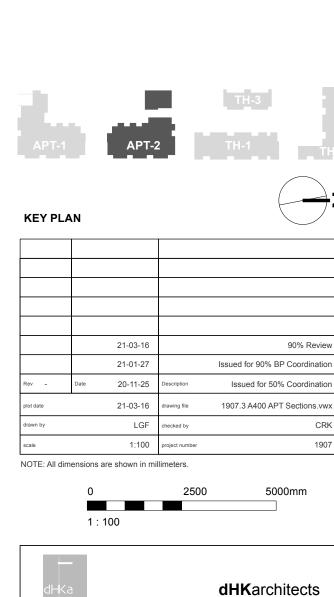
6. Refer to structural drawings for shearwall assemblies and locations.

7. Refer to A010/A011 for Wall, Floor, Roof and Deck

discrepancies.

8. Refer to A300 series for cladding locations and

9. Refer to A700 series for Window and Door Schedule.



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APT-2 Sections

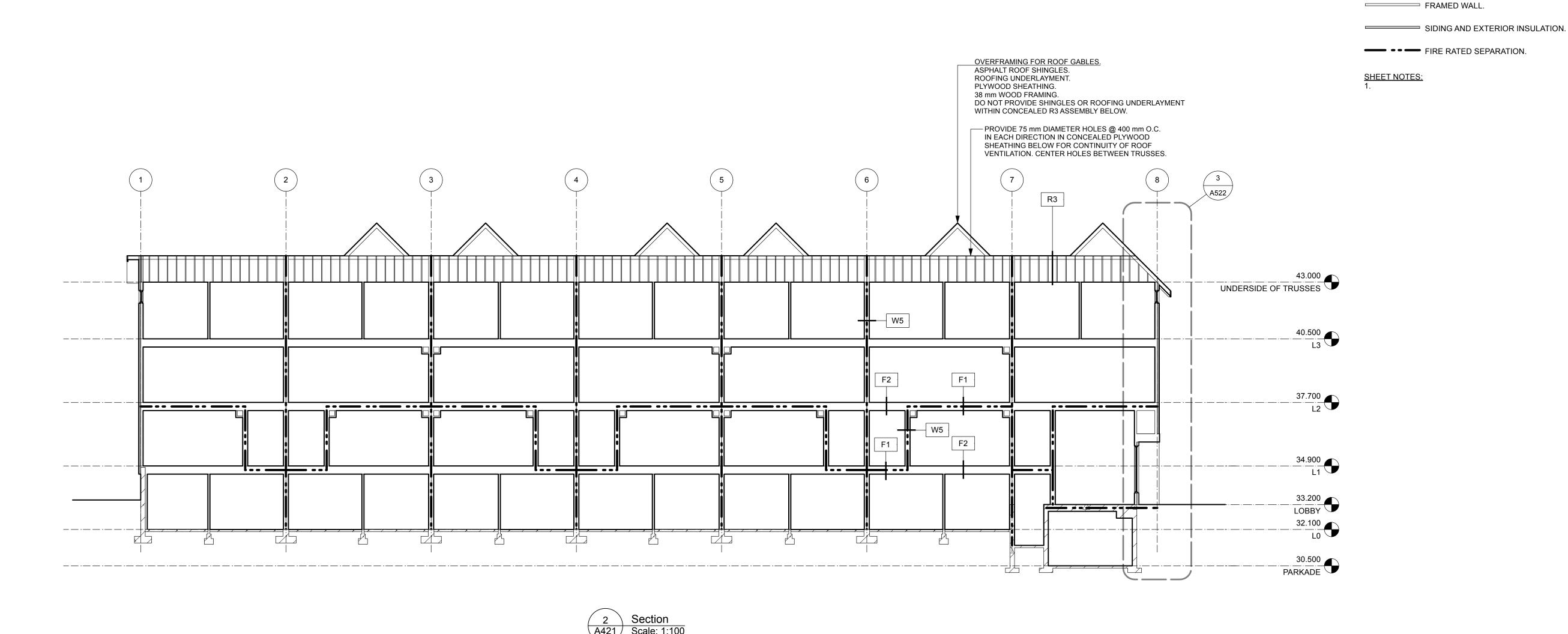
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Victoria BC

90% Review

Issued for 50% Coordinatio

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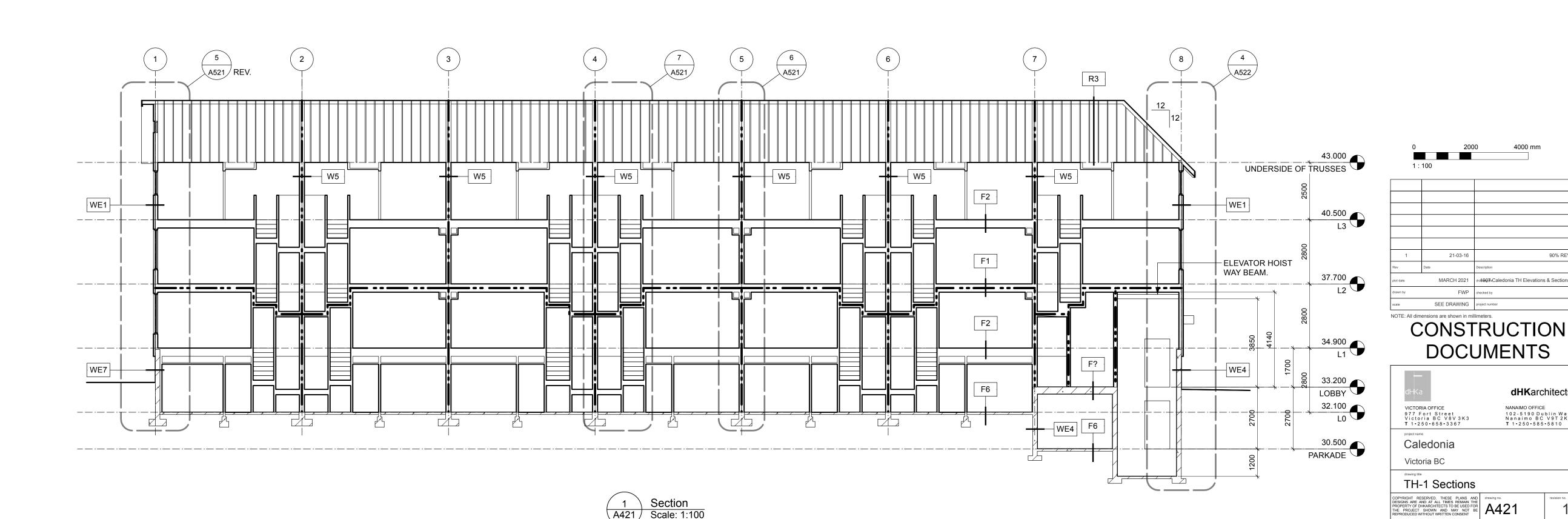
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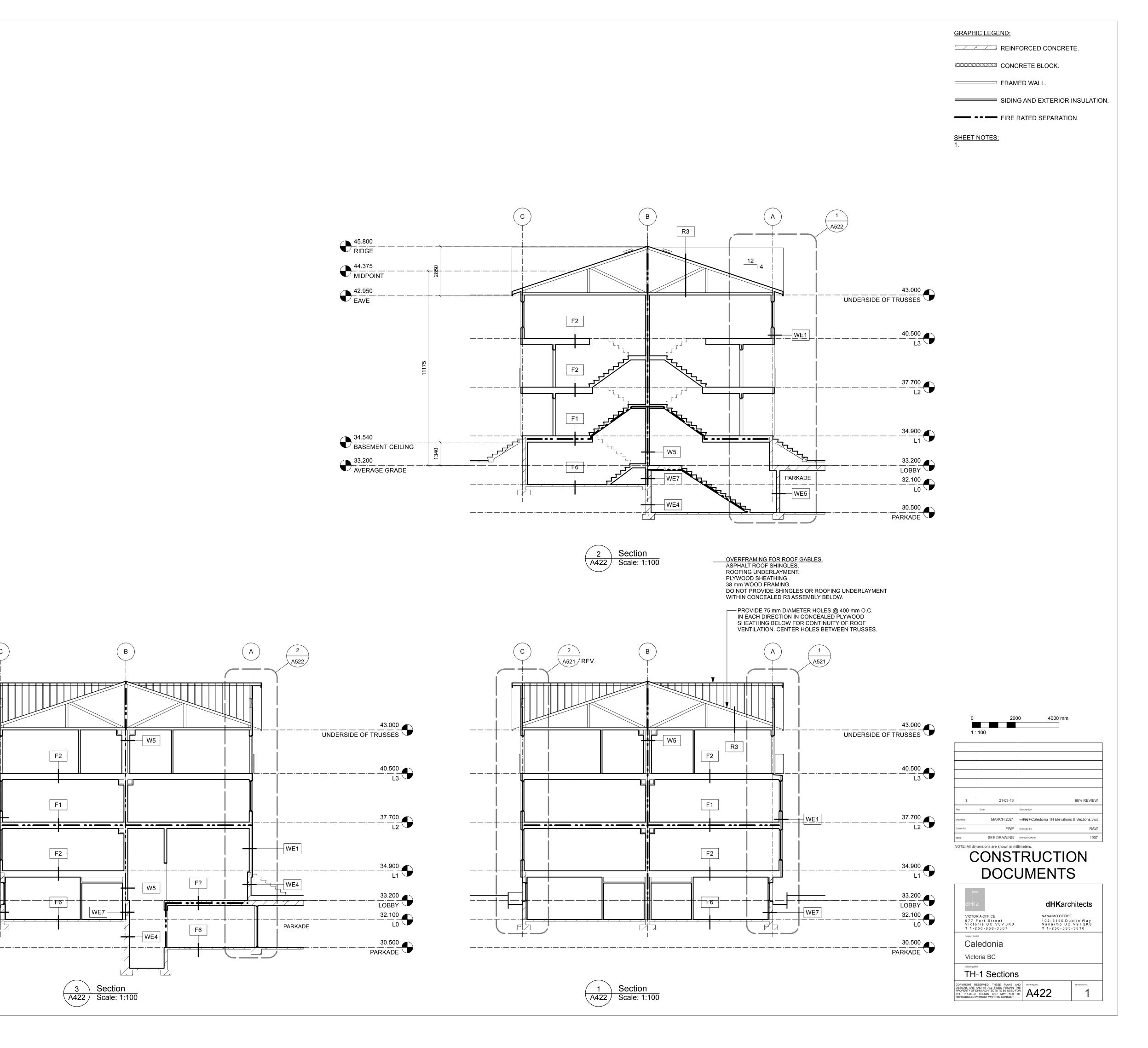
90% REVIEW

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CONCRETE BLOCK.





W5

WE4 | I

F?

F6

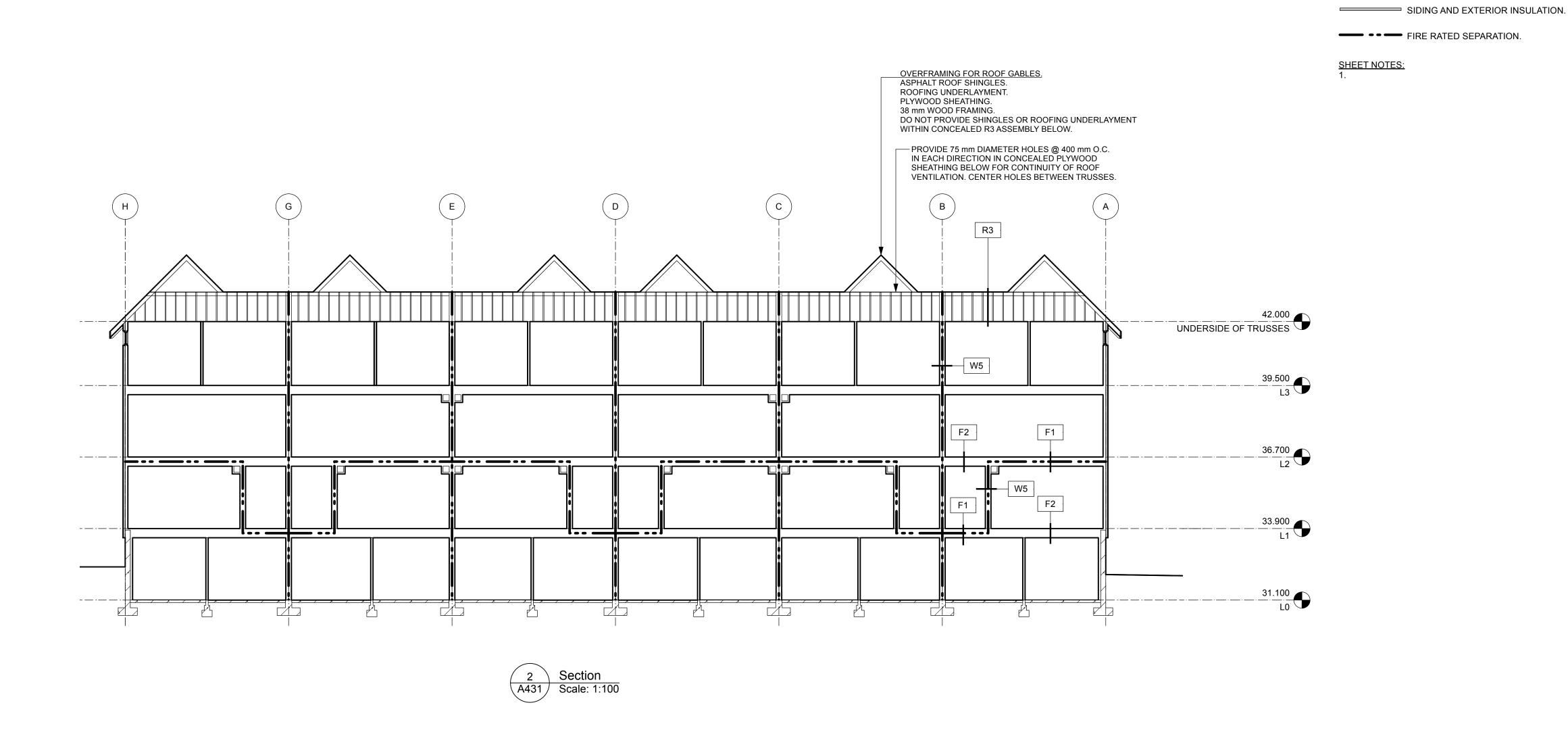
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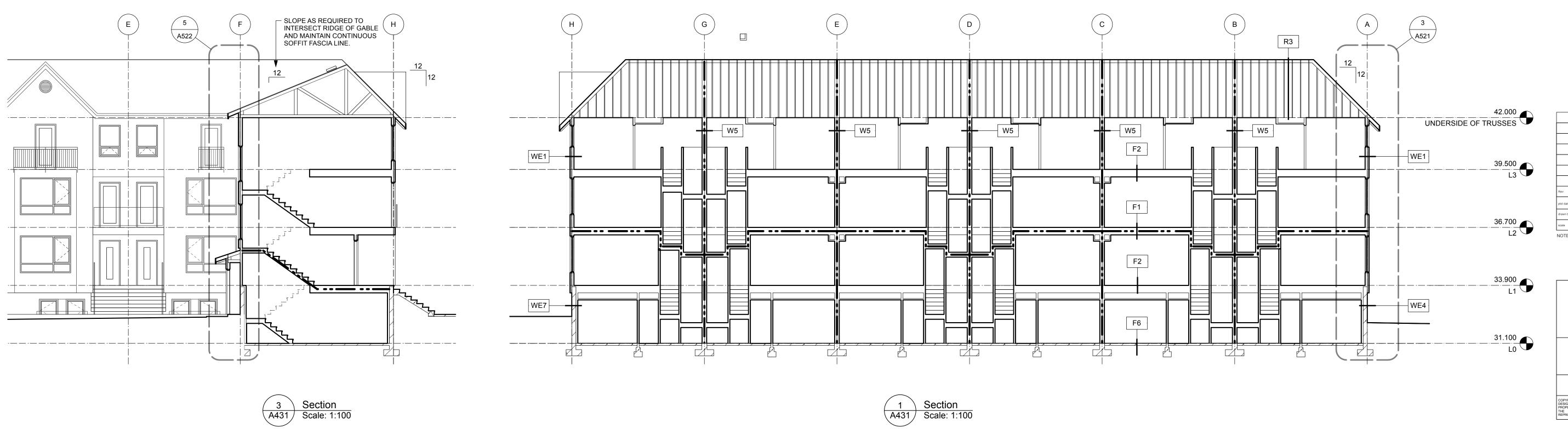
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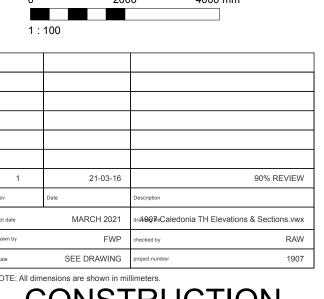
WE7

____WE1___

WE7







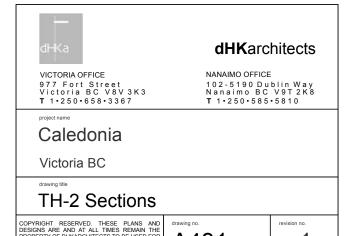
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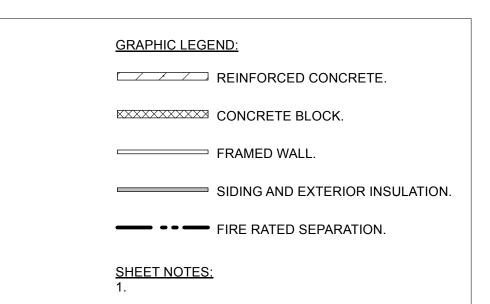
REINFORCED CONCRETE.

CONCRETE BLOCK.

FRAMED WALL.

NOTE: All dimensions are shown in millimeters. CONSTRUCTION DOCUMENTS

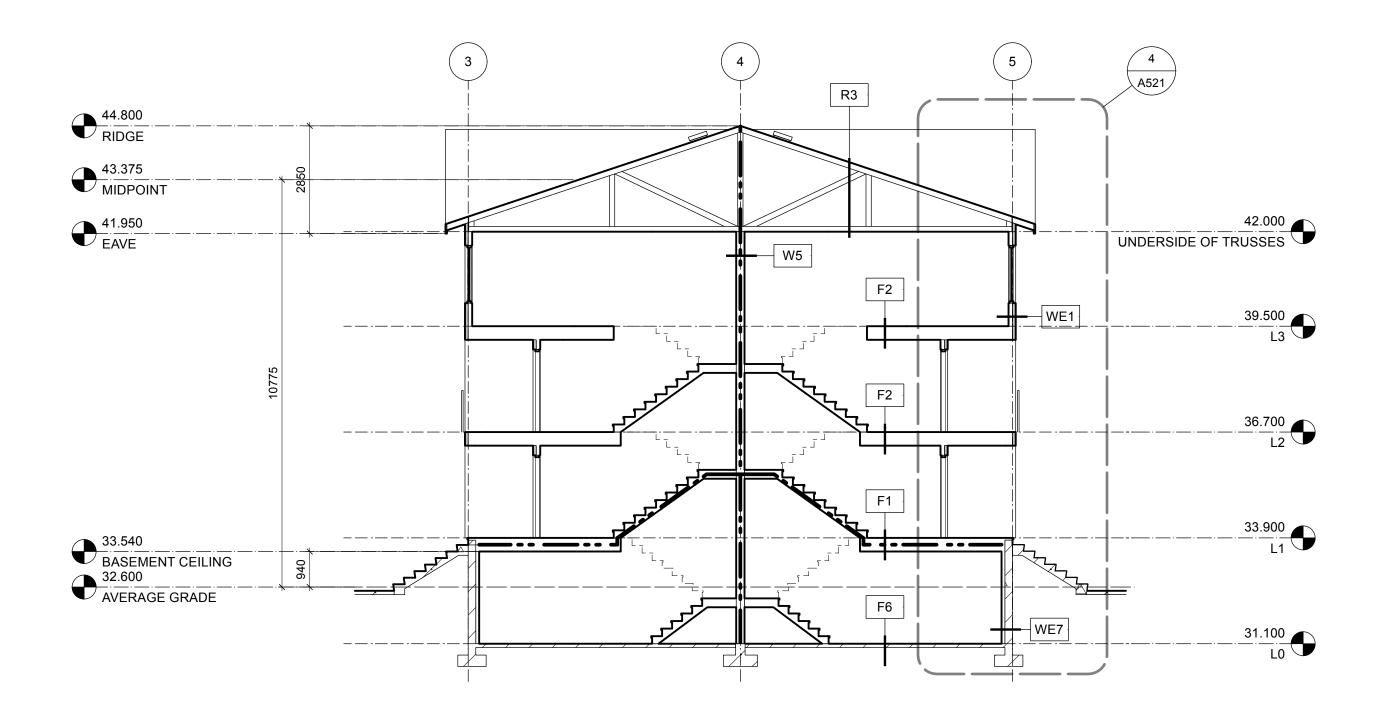




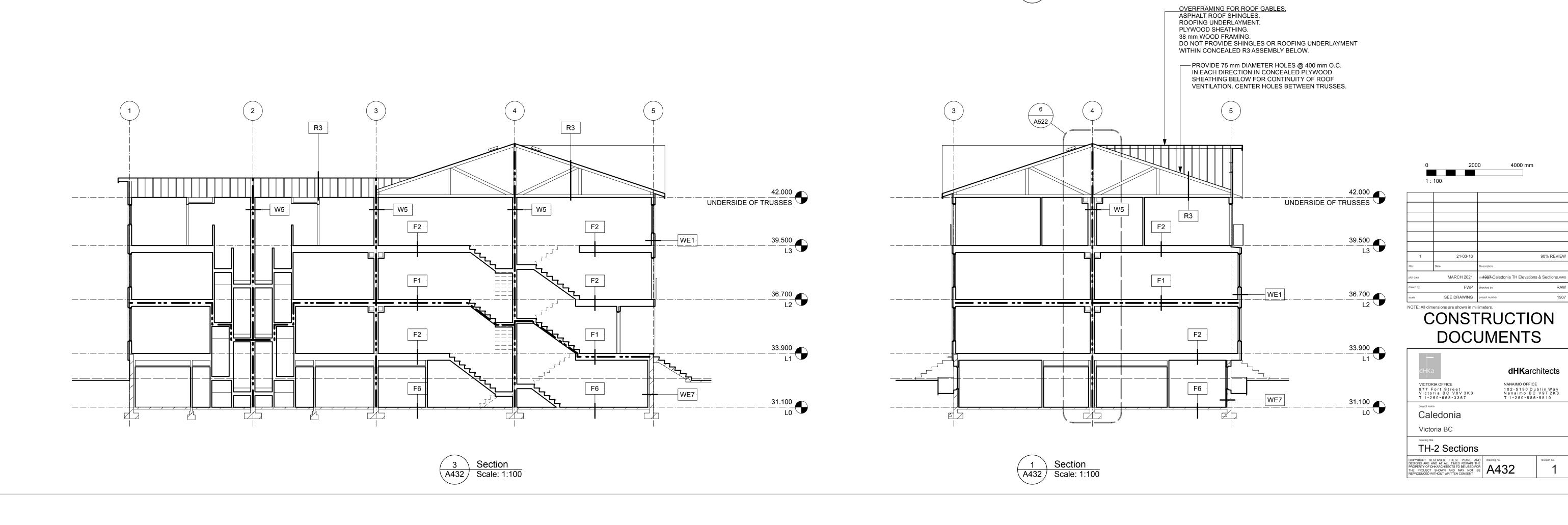
90% REVIEW

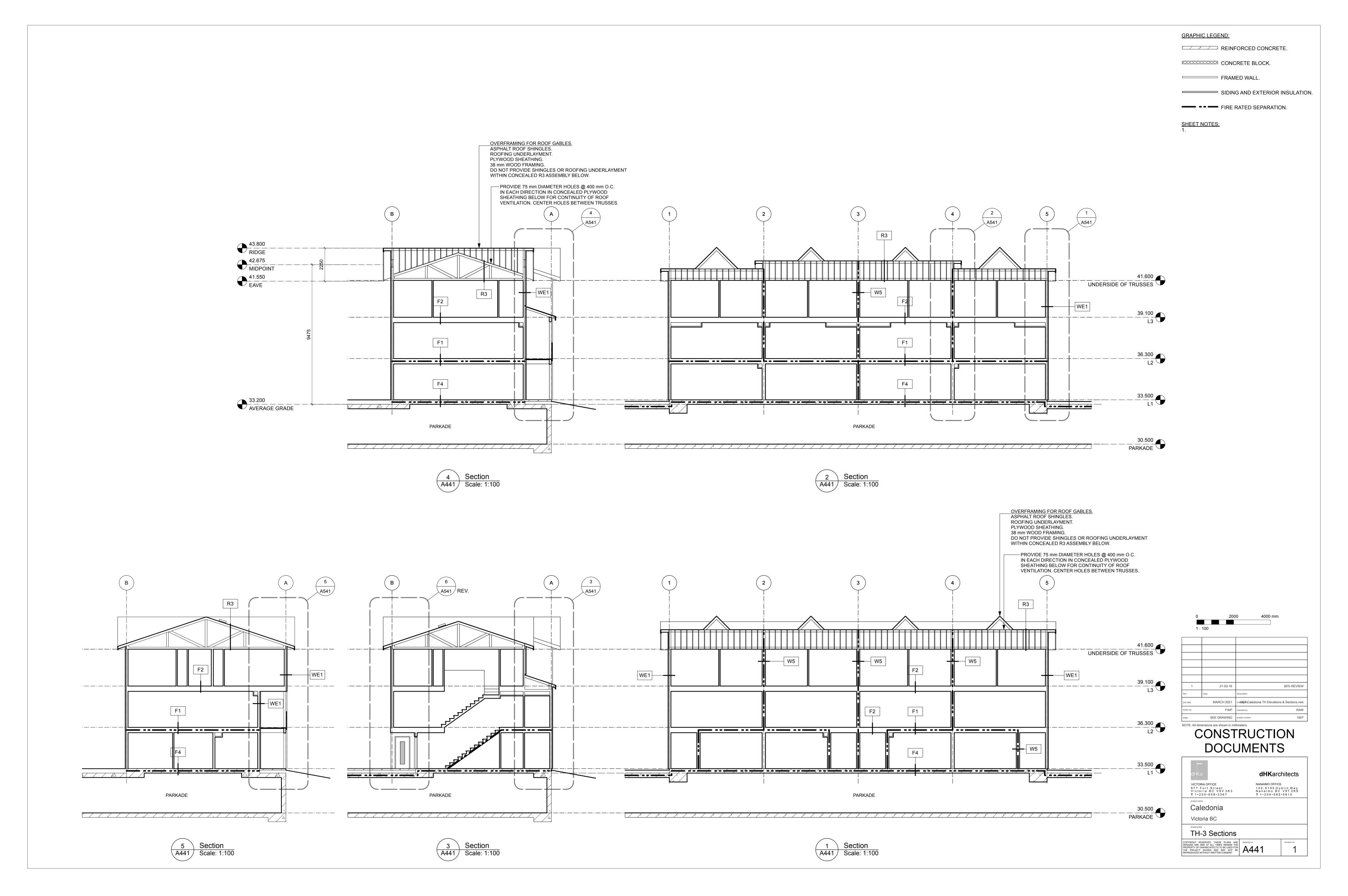
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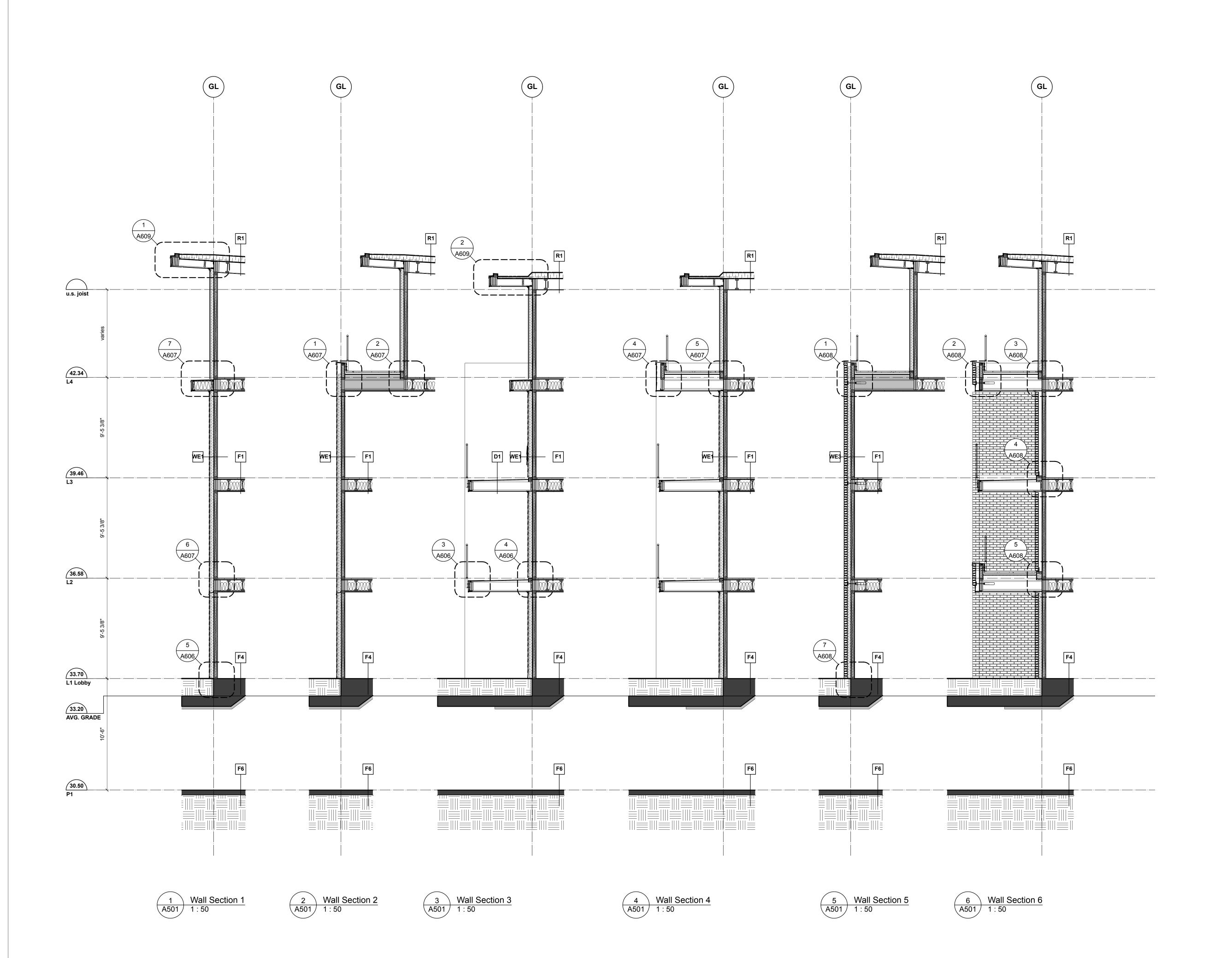
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Section
A432 Scale: 1:100







		21-03-16		Issued for 90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A501 Wall Sections.vwx
drawn by		GAR	checked by	RAW
scale		1:50	project number	1907
NOTE: All dim	ensions	are shown in mi	llimeters.	

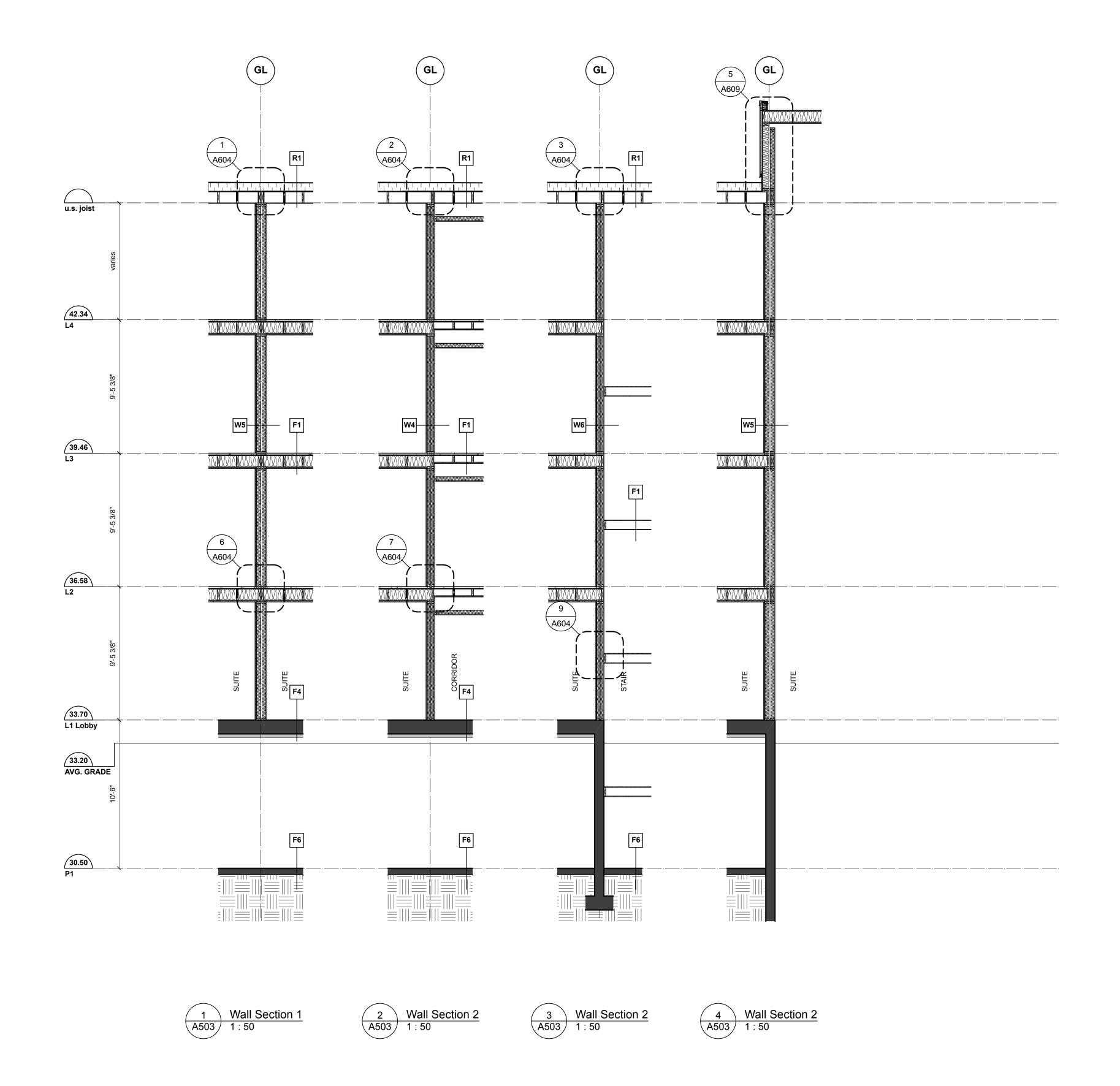
1250 mm 2500 mm

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Victoria BC

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scale	1:50 projec	number 19
IOTE: All dim	ensions are shown in millimet	ers.
)	1250 mm	2500 mm
: 50		
1 : 50		
1 : 50		
1 : 50		
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dHKa	NA OFFICE ort Street ria BC V8V 3K3	dHKarchitects NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8

20-11-25 Description

21-03-16 drawing file

Issued for 90% Review
Issued for 90% BP Coordination

Issued for 50% Coordination

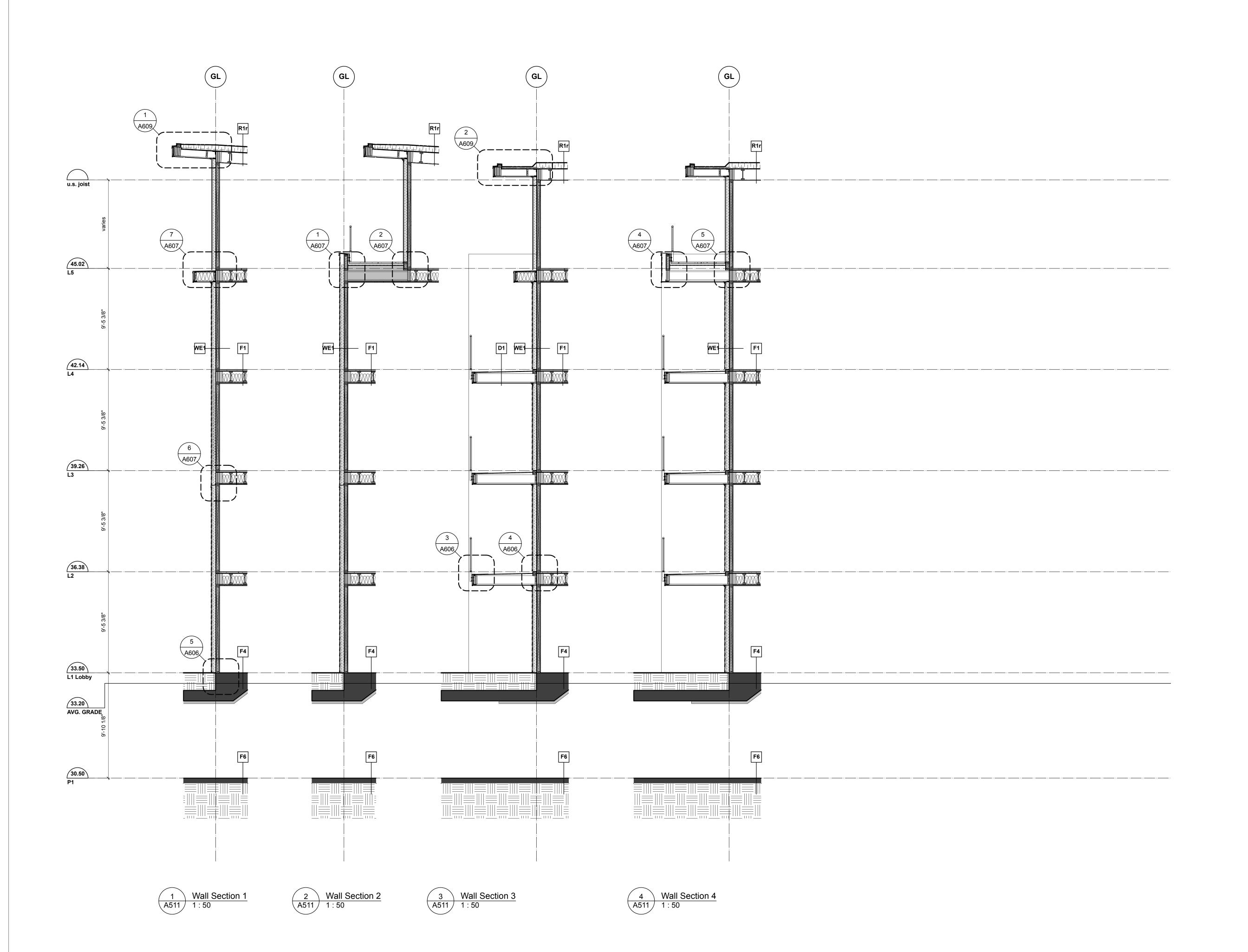
1907.3 A501 Wall Sections.vwx

Caledonia
Victoria BC

drawing title

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Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A501 Wall Sections.vwx
drawn by		GAR	checked by	RAW
scale		1:50	project number	1907

0 1250 mm 2500 m

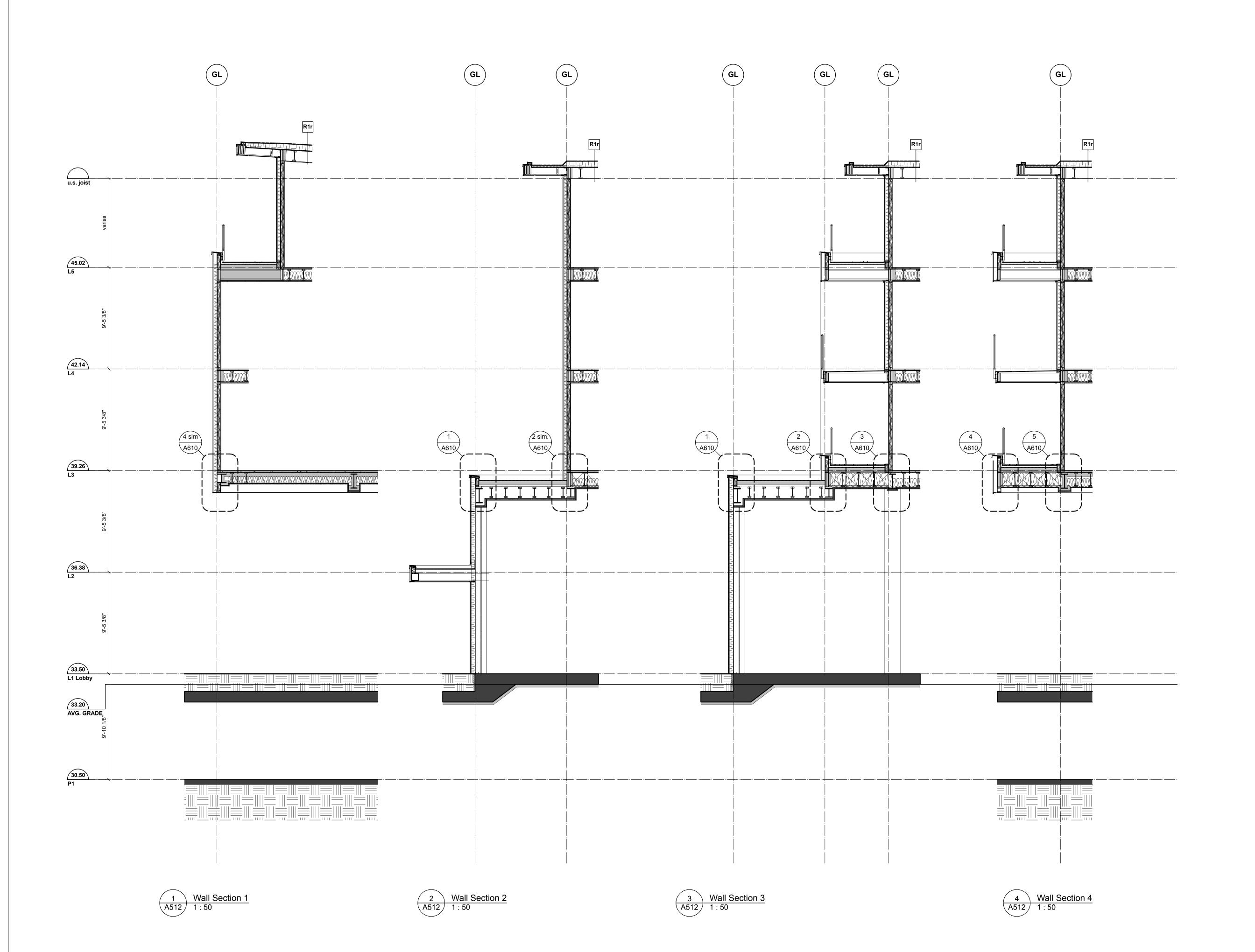
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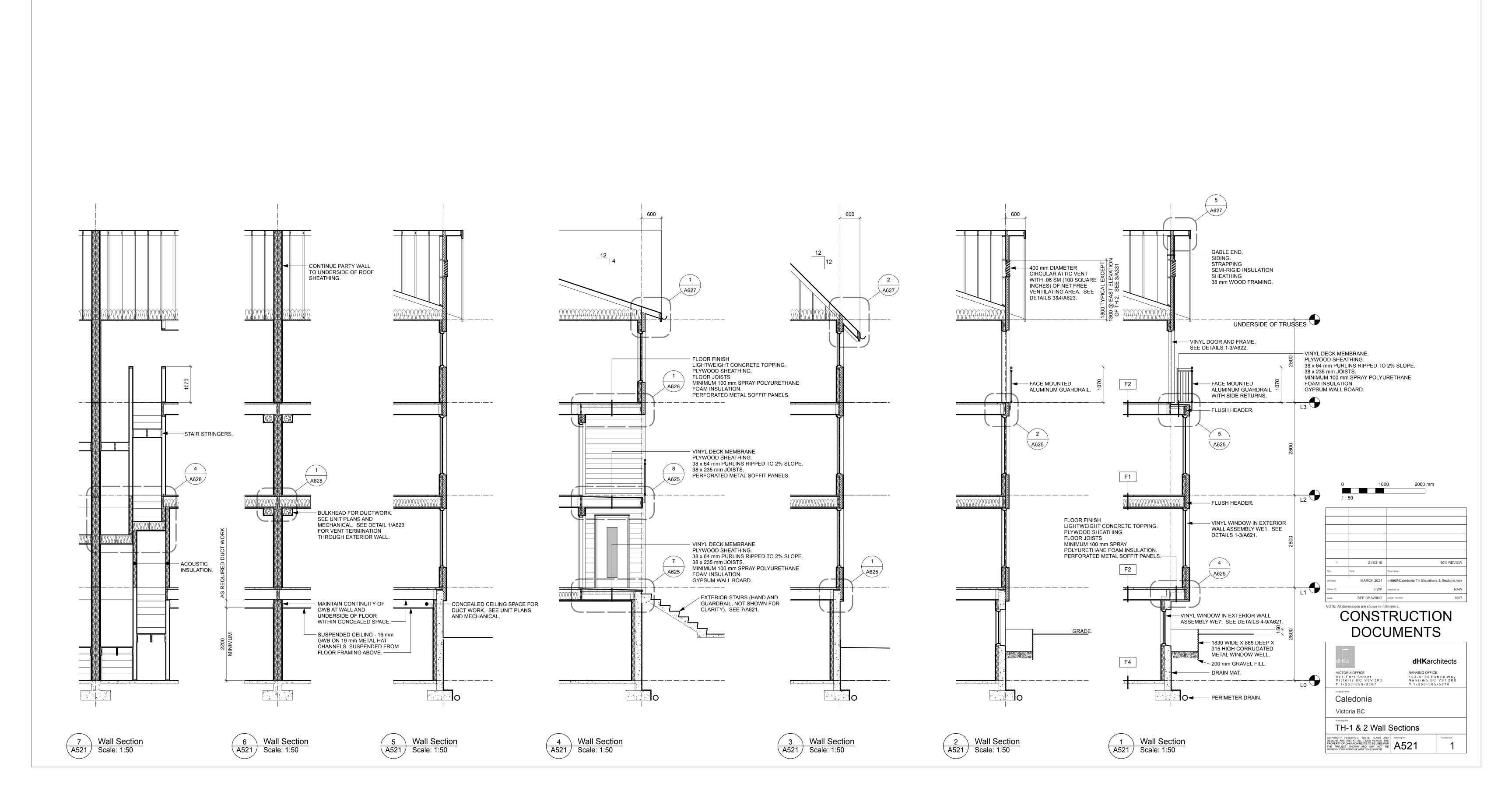
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drawn by		GAR	checked by	RAW
scale		1:50	project number	1907
NOTE: All o	limensions	are shown in mil	limeters.	
0		1250 mm		2500 mm

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APT-2 Wall Sections

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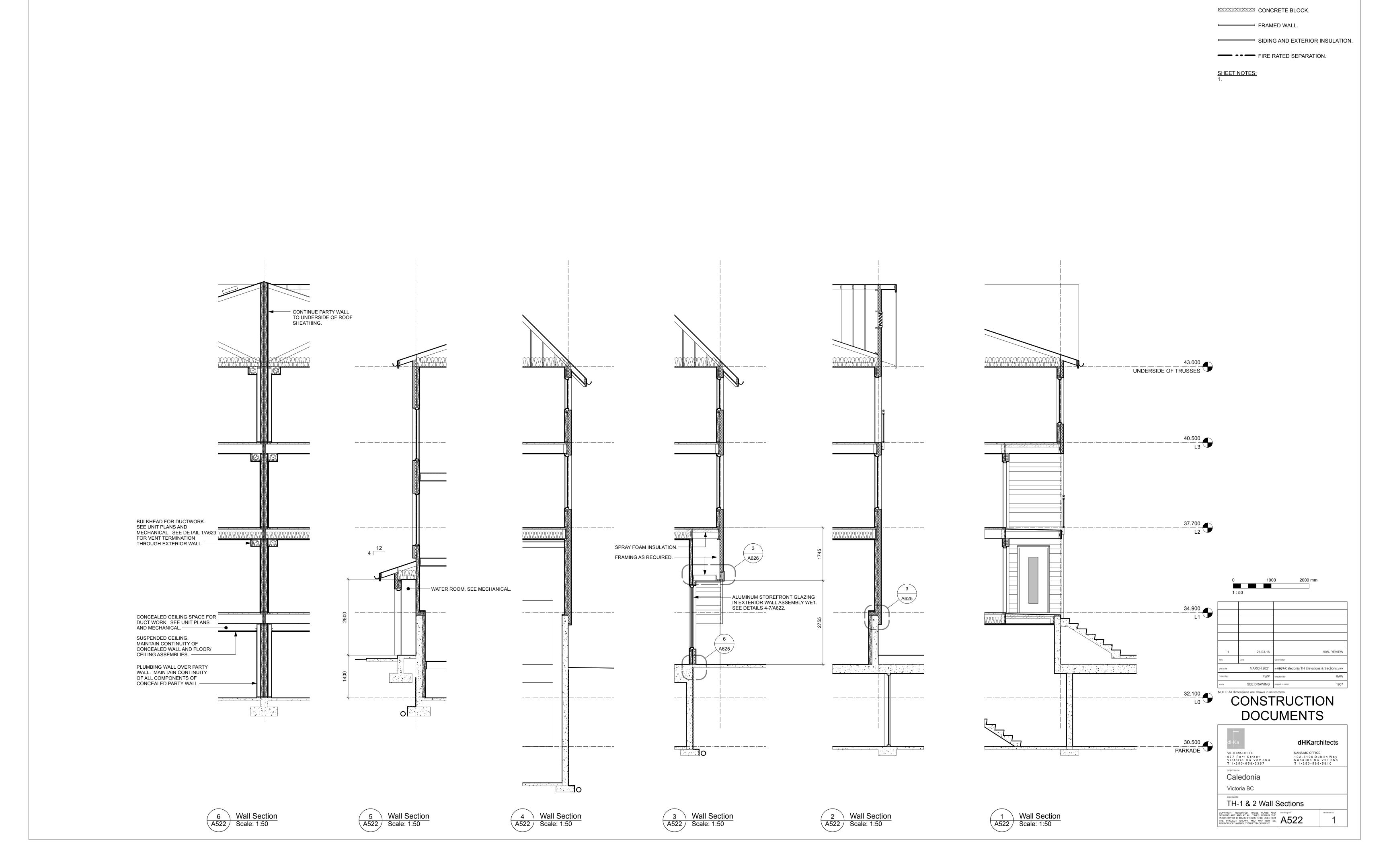
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SIDING AND EXTERIOR INSULATION.

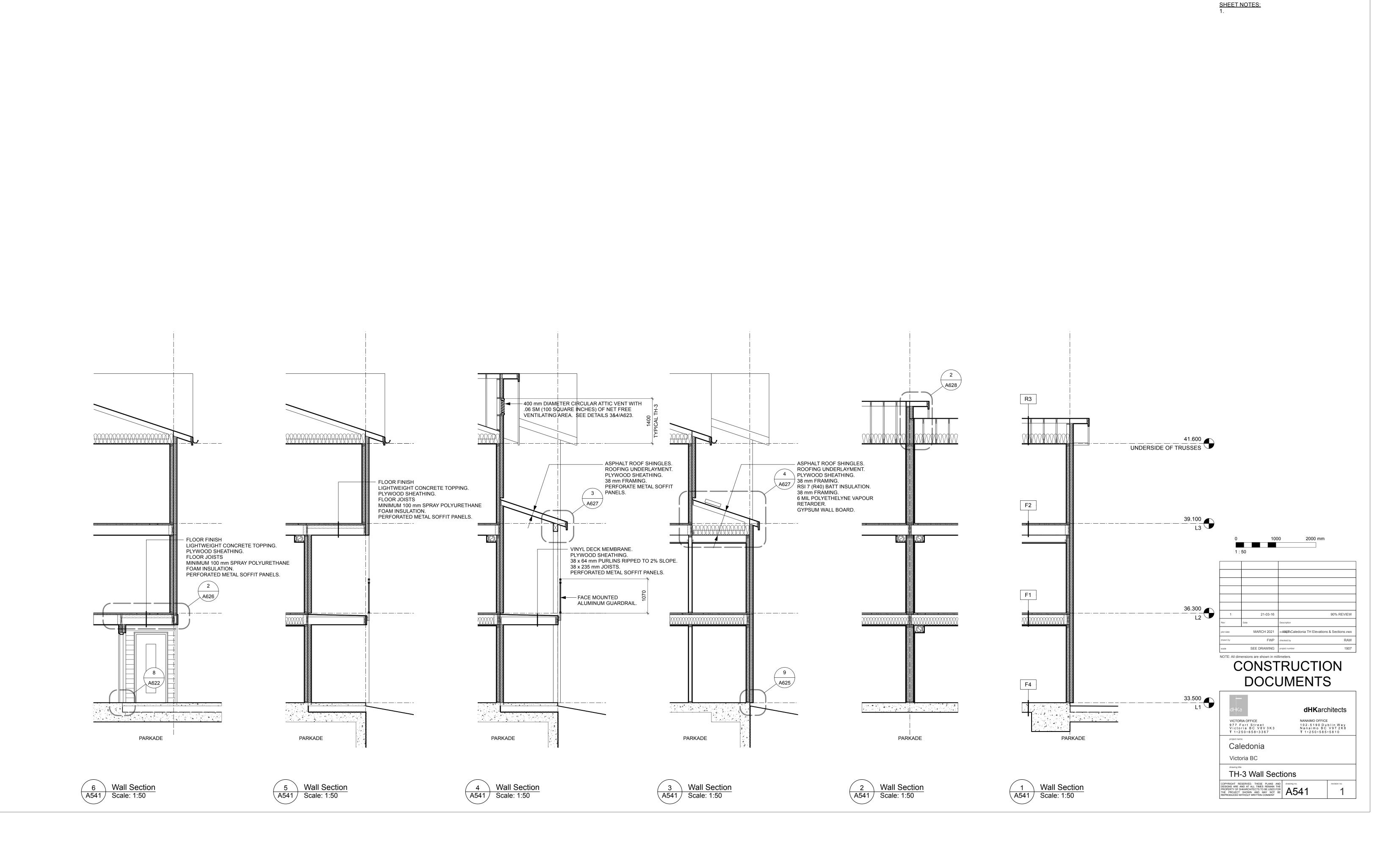
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FRAMED WALL.



GRAPHIC LEGEND:

REINFORCED CONCRETE.



GRAPHIC LEGEND:

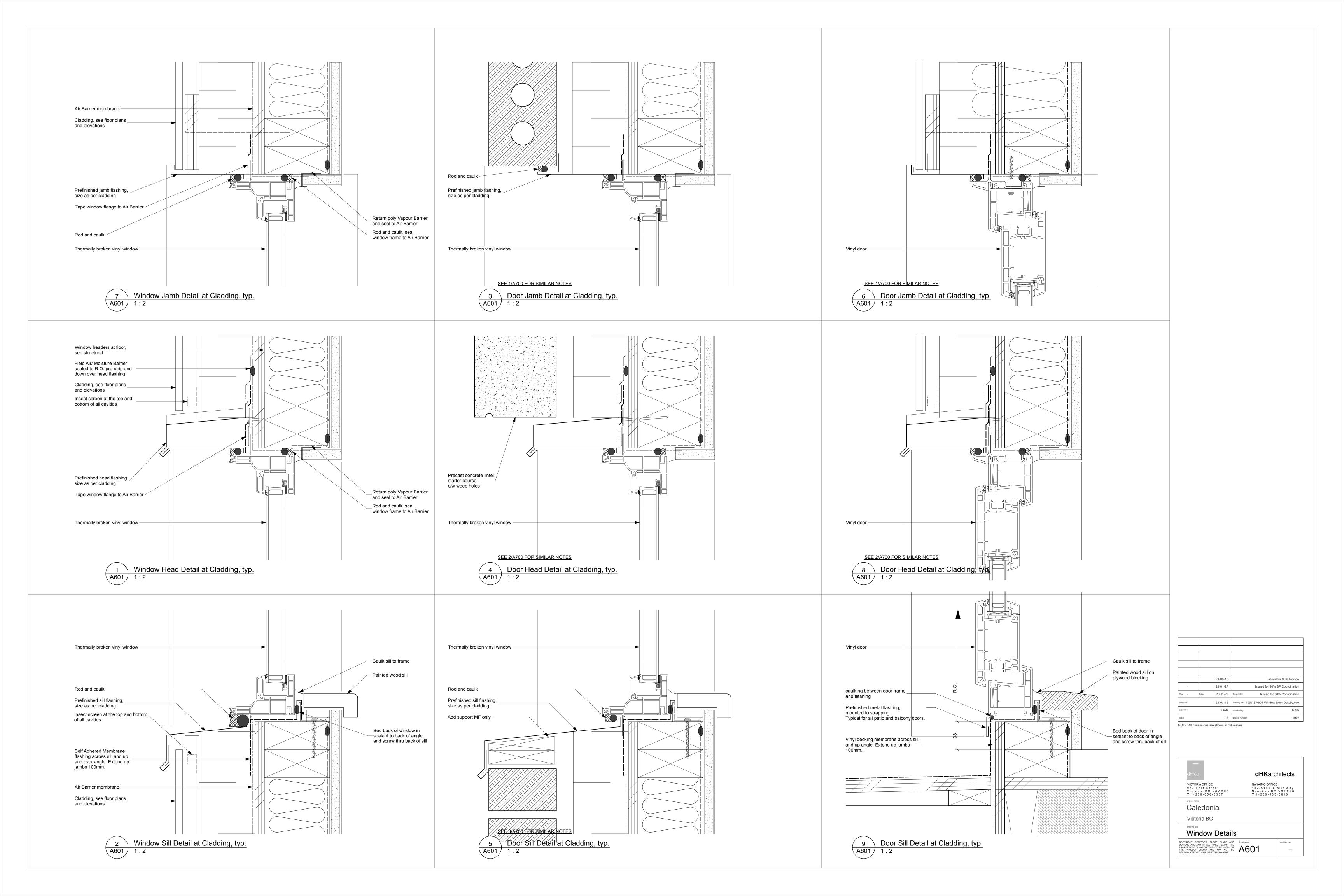
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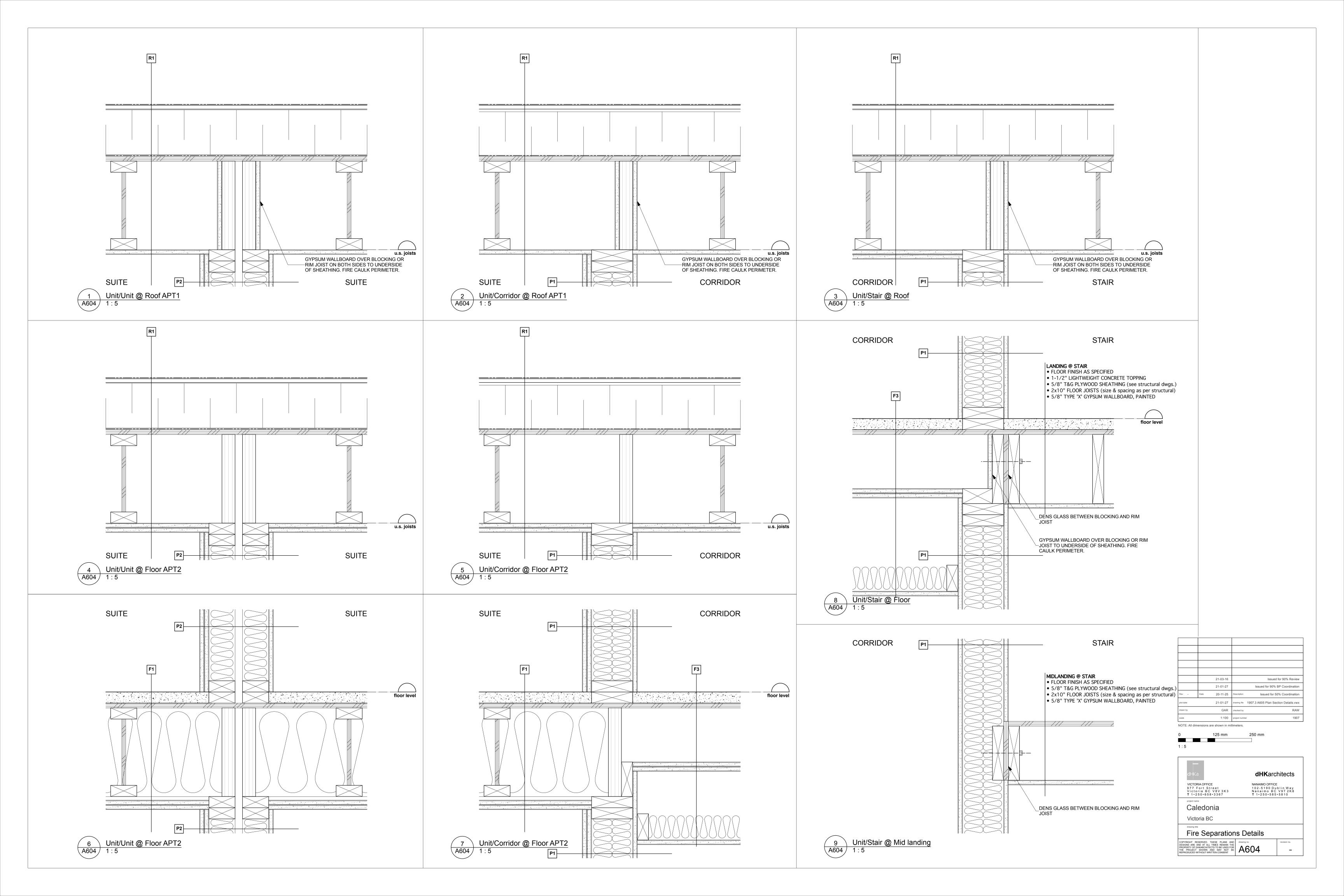
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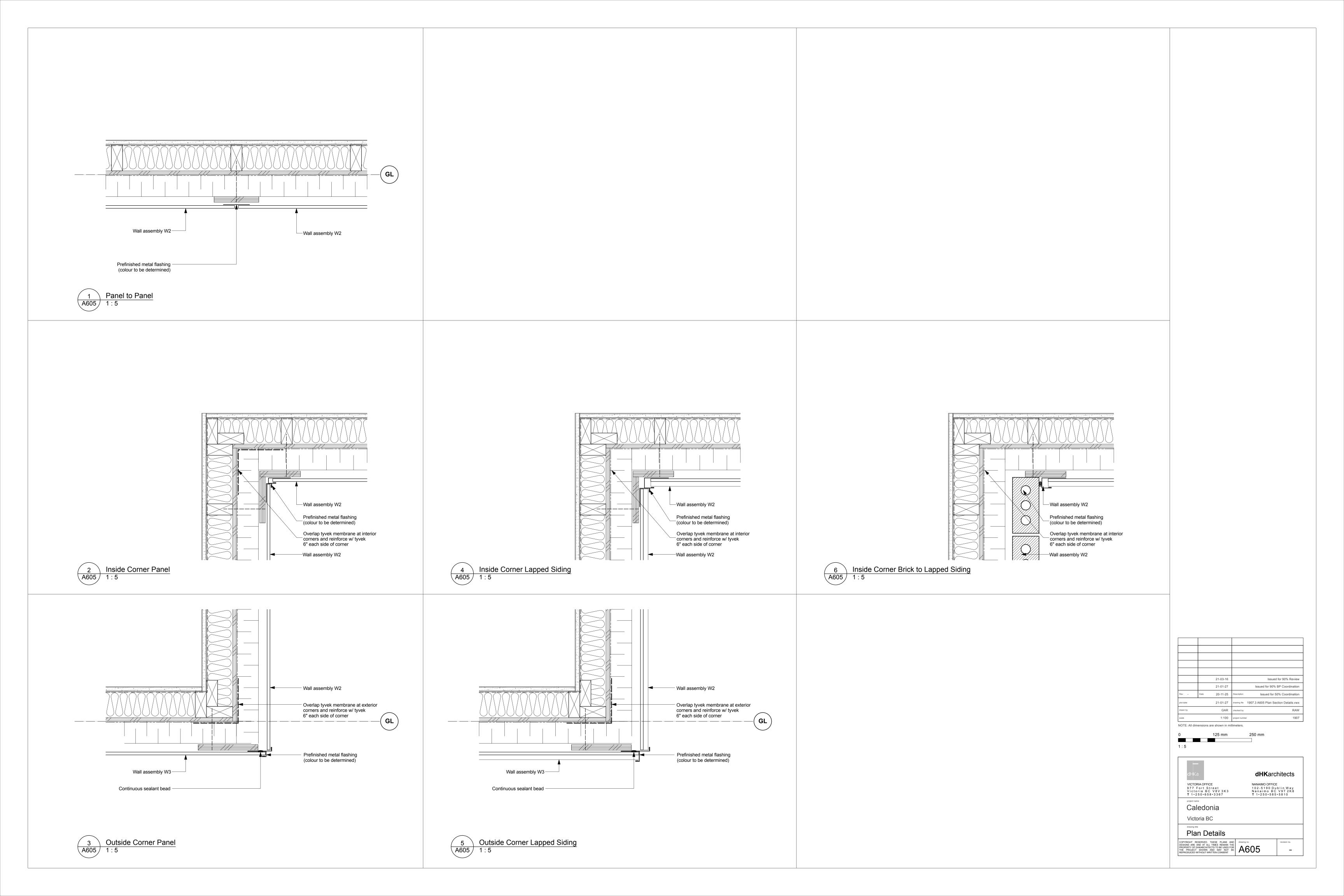
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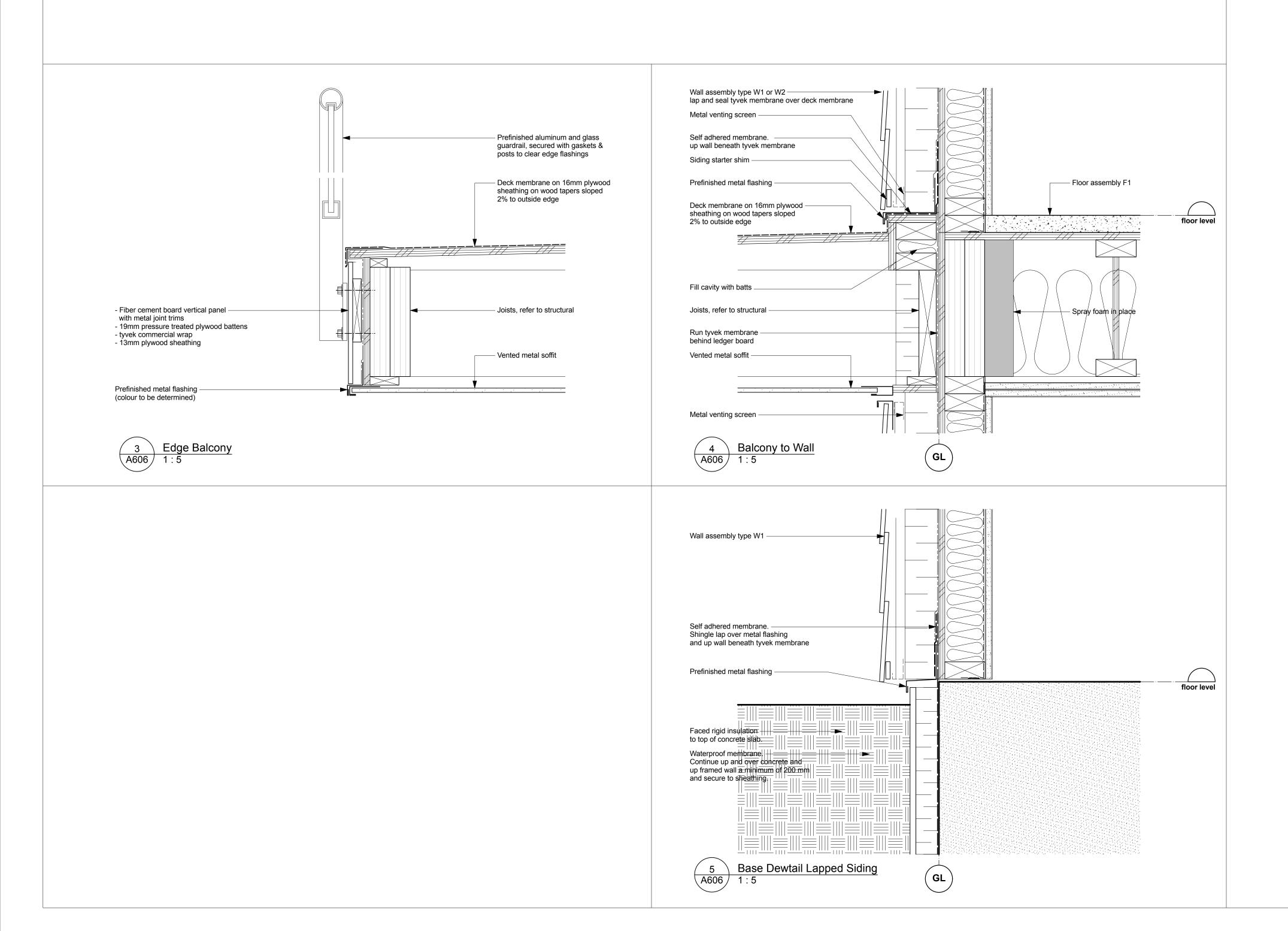
CONCRETE BLOCK.

FRAMED WALL.









		21-03-16	Issued for 90% Rev
		21-01-27	Issued for 90% BP Coordina
Rev -	Date	20-11-25	Description Issued for 50% Coordina
plot date		21-03-16	drawing file 1907.3 A605 Plan Section Details.
drawn by		GAR	checked by R
scale		1:100	project number 1

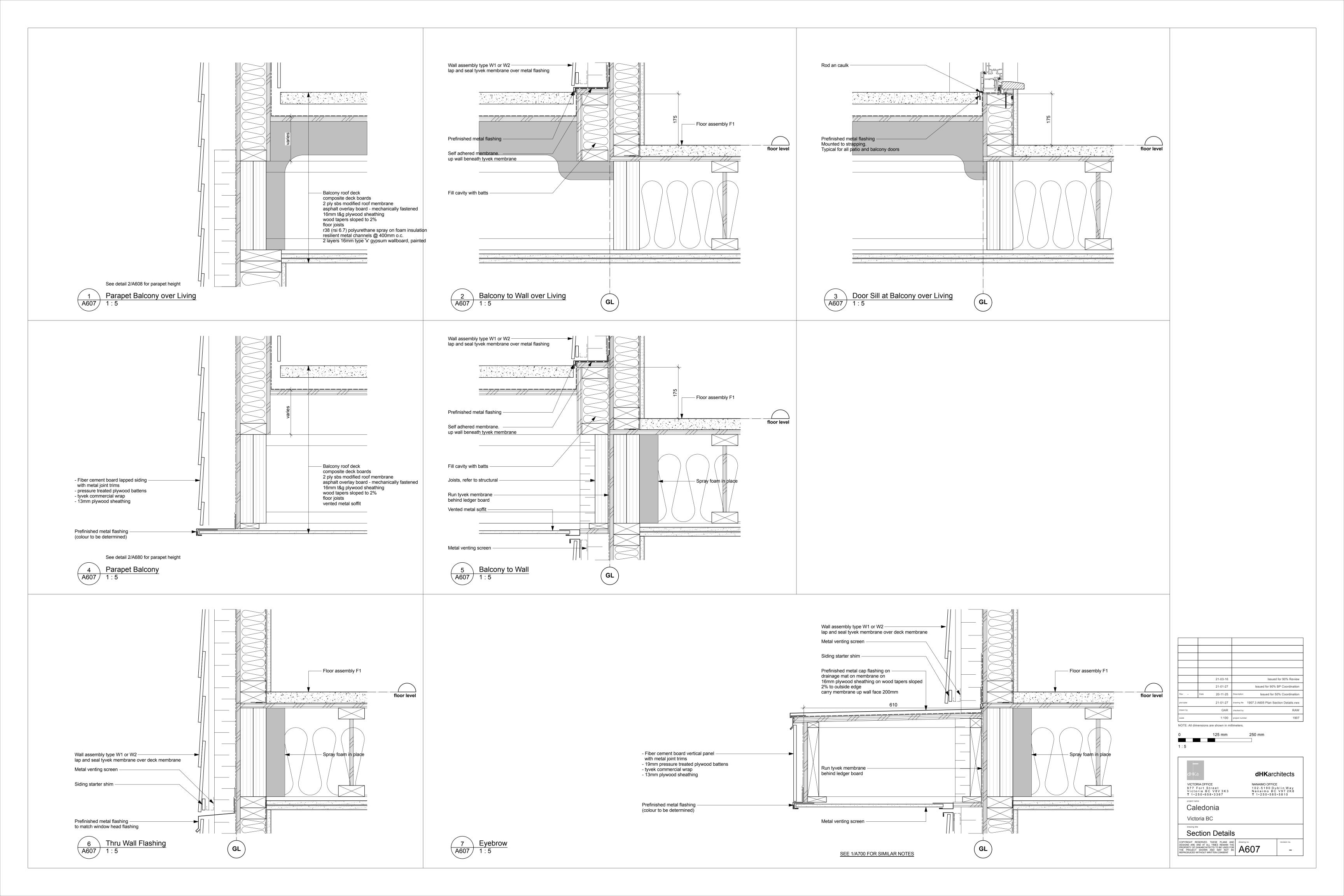
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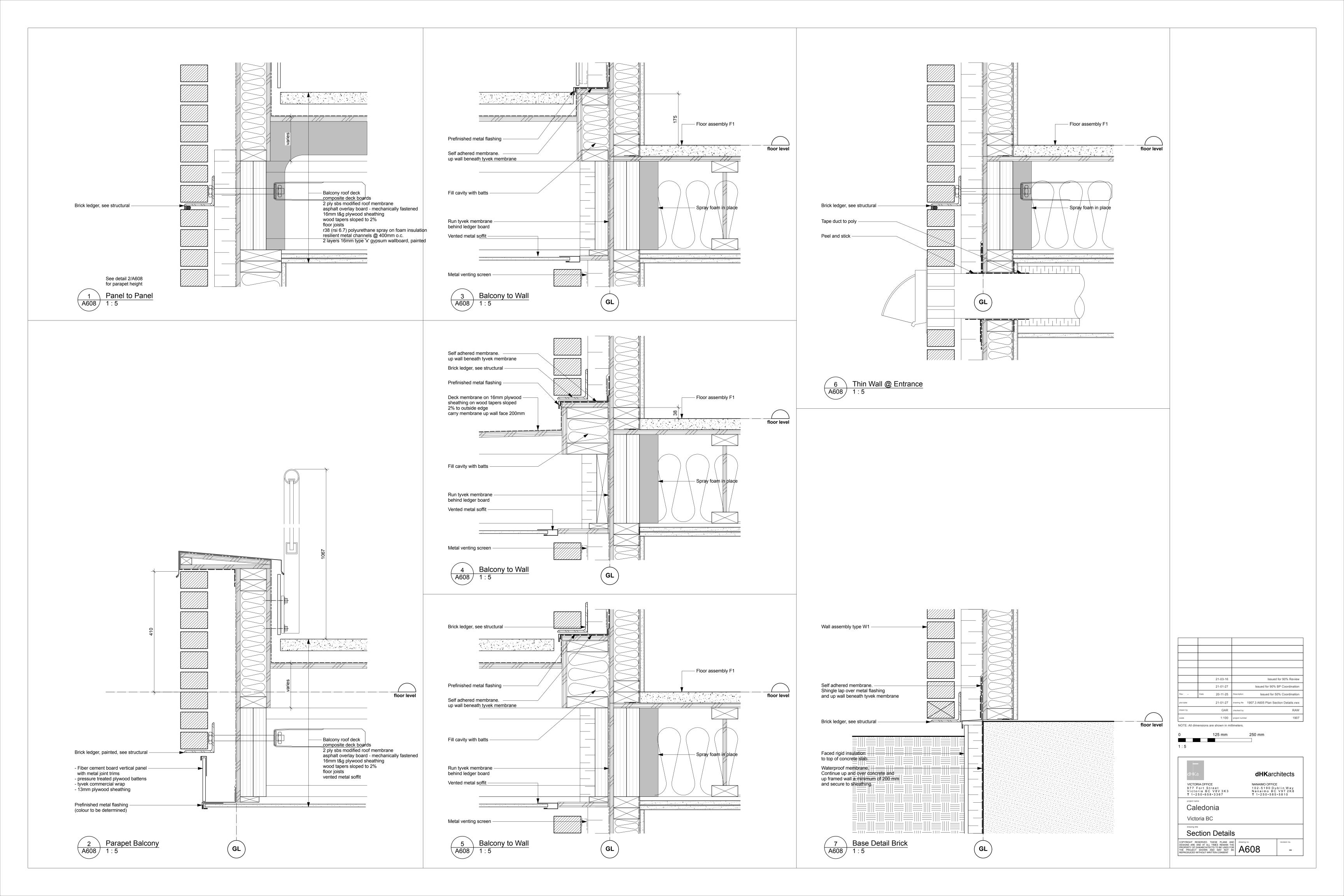
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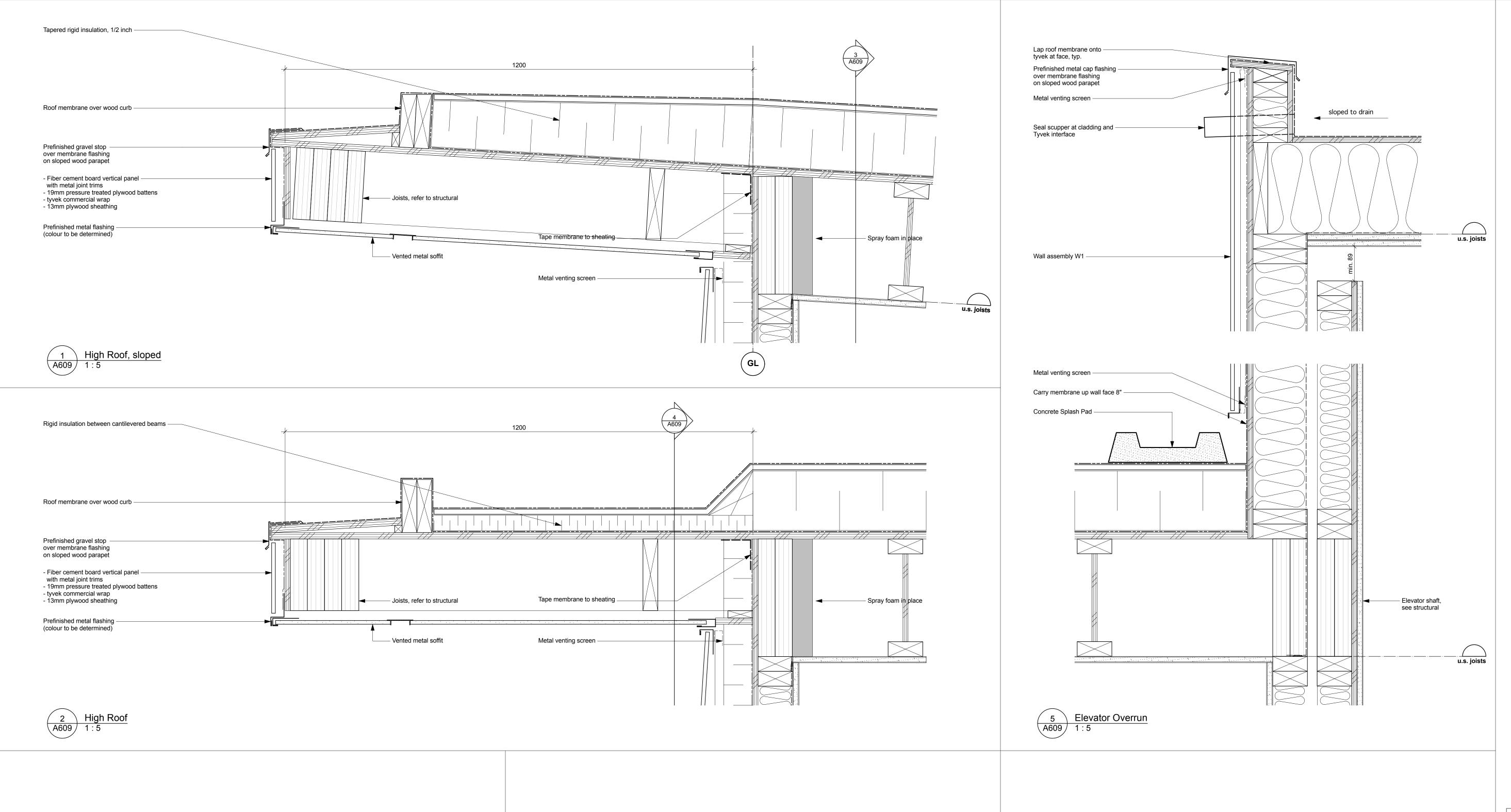
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977 Fort Street
Victoria BC V8V 3K3
T 1+250+658+3367 NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810

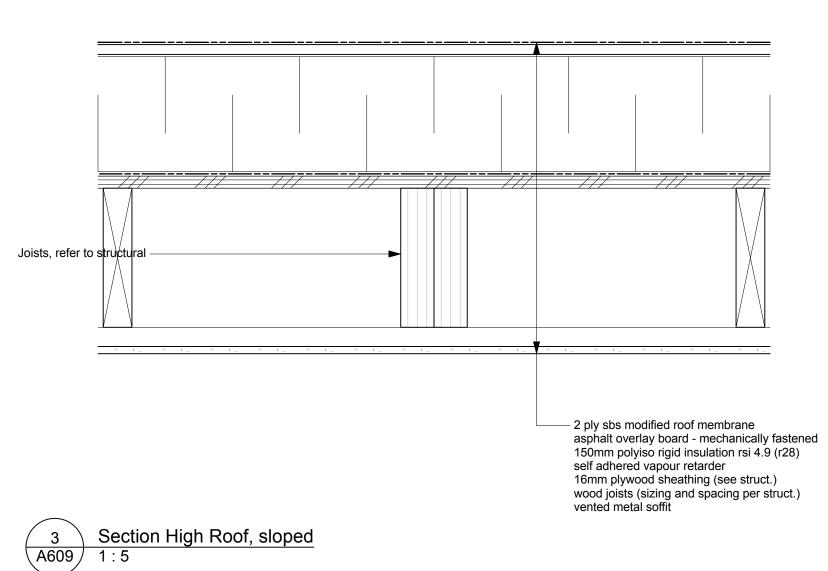
Caledonia Victoria BC

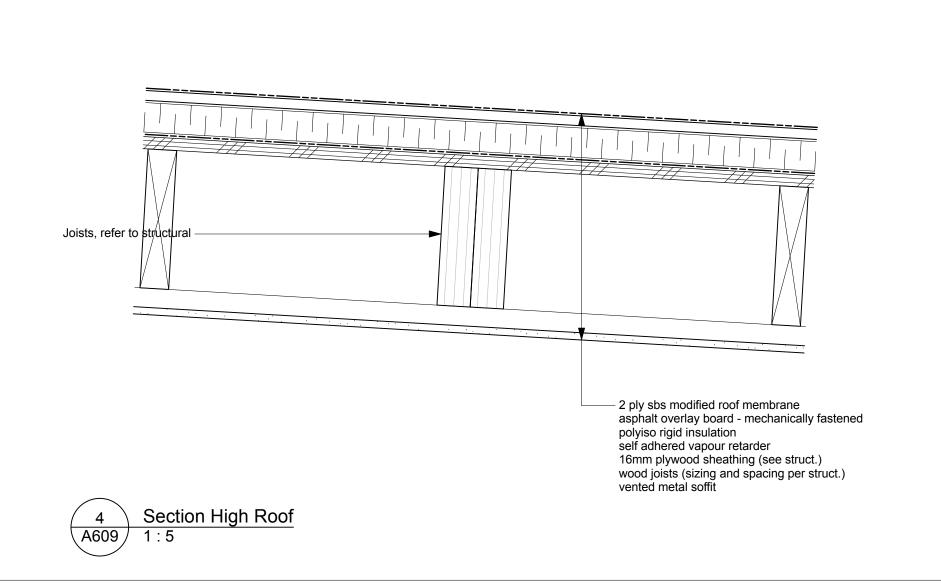
Section Details

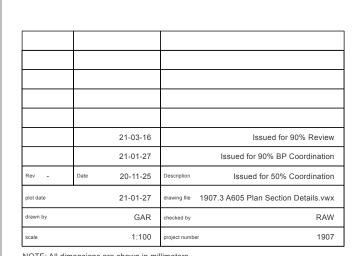










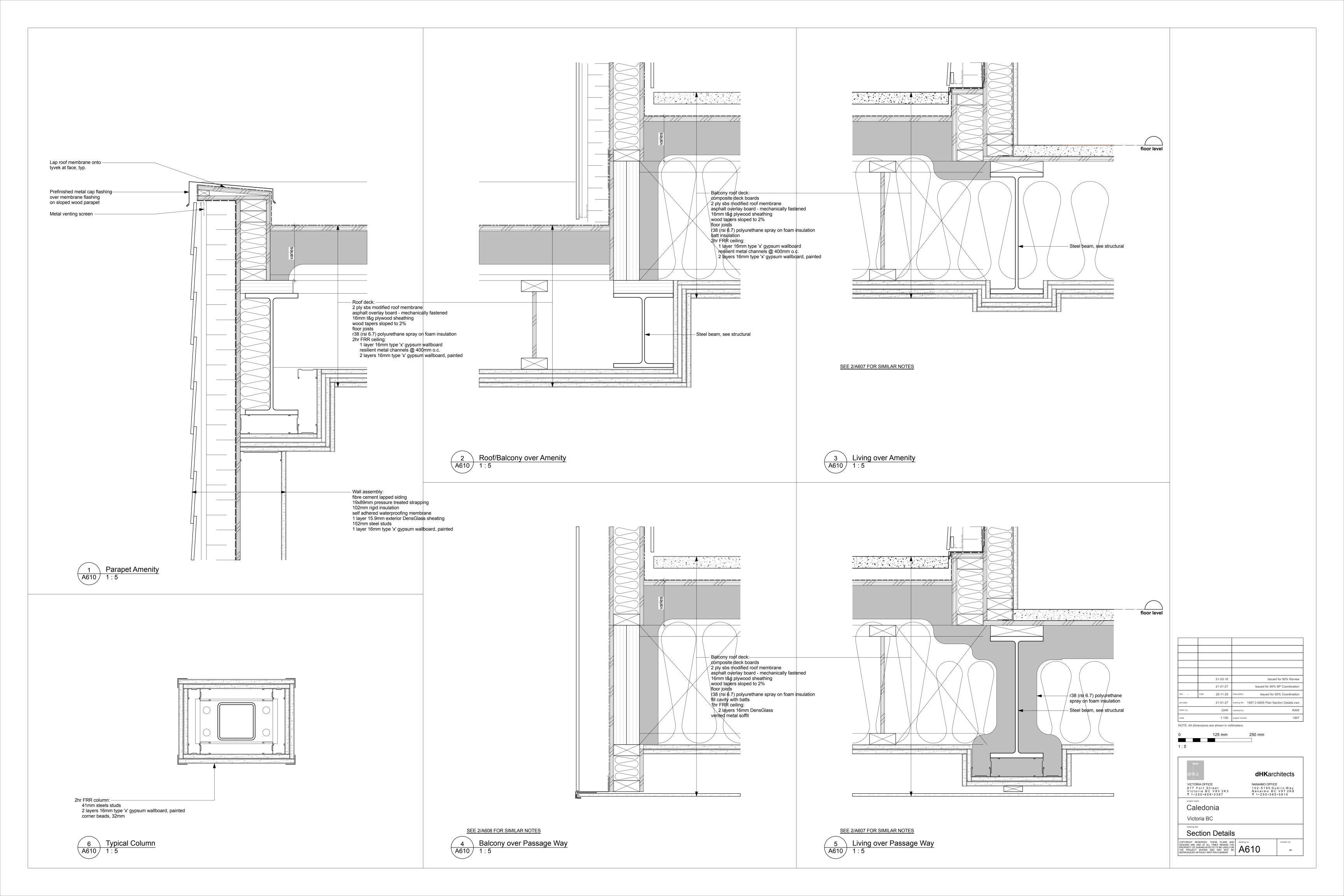


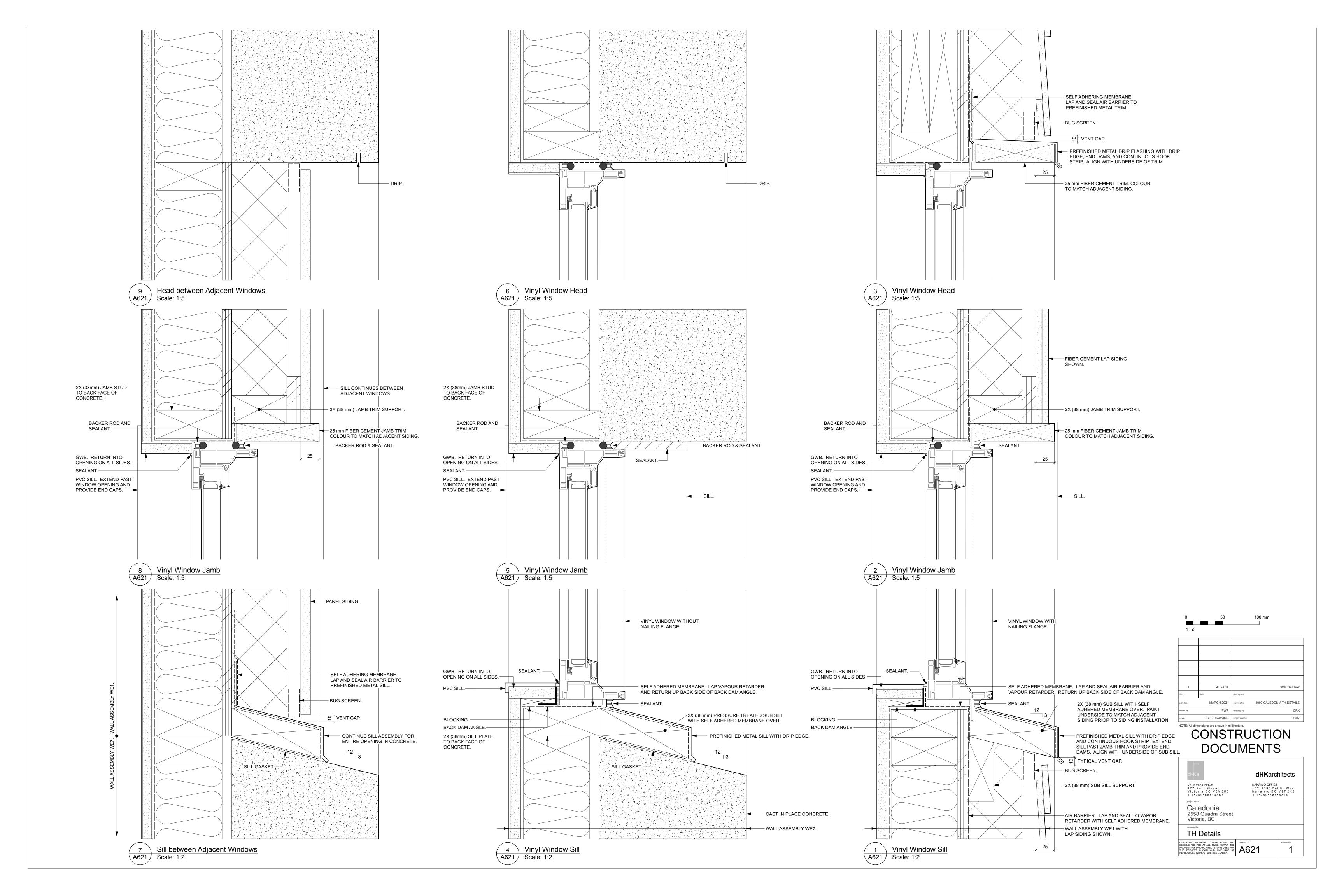
NOTE: All dimensions are shown in millimeters.

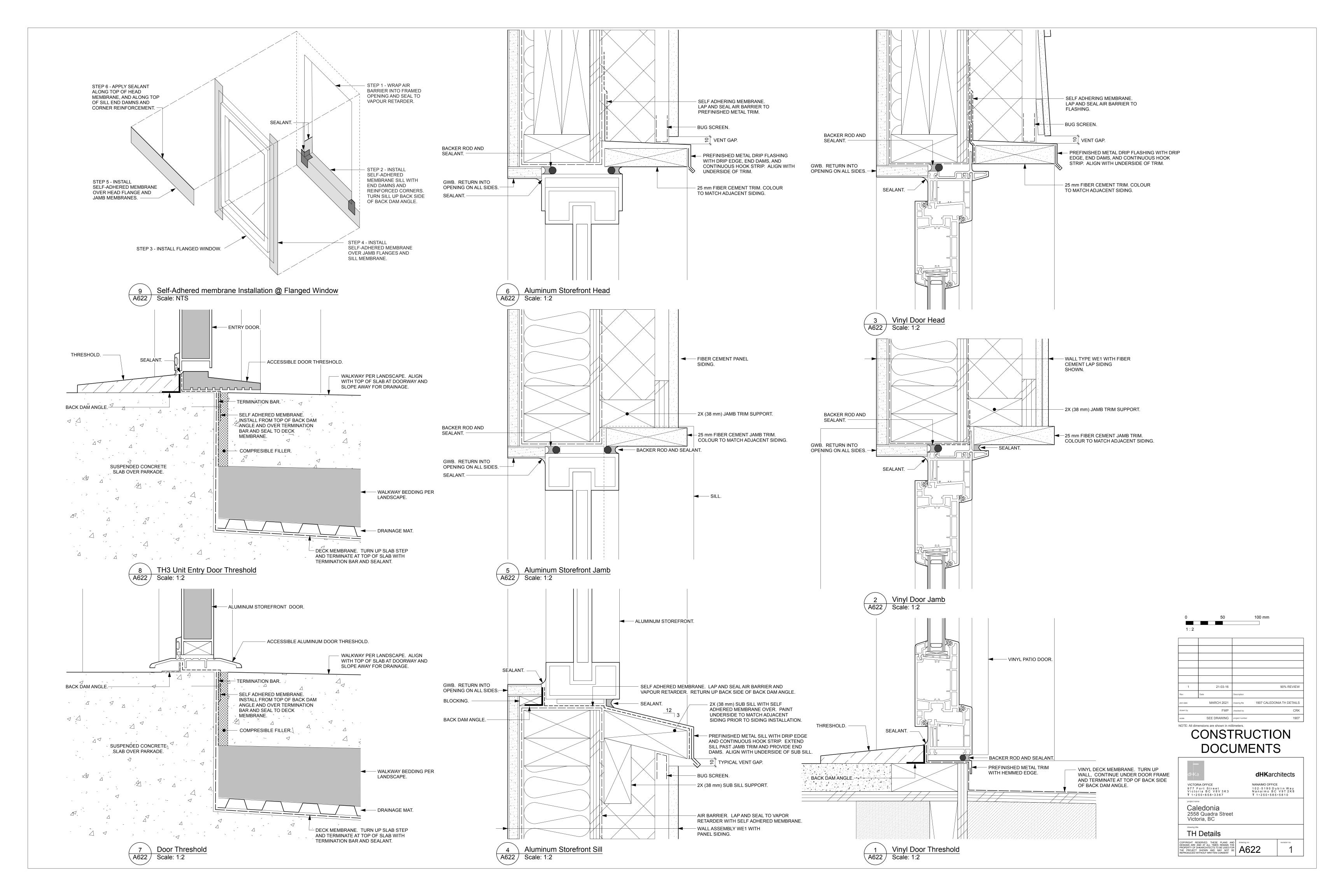
125 mm 250 mm

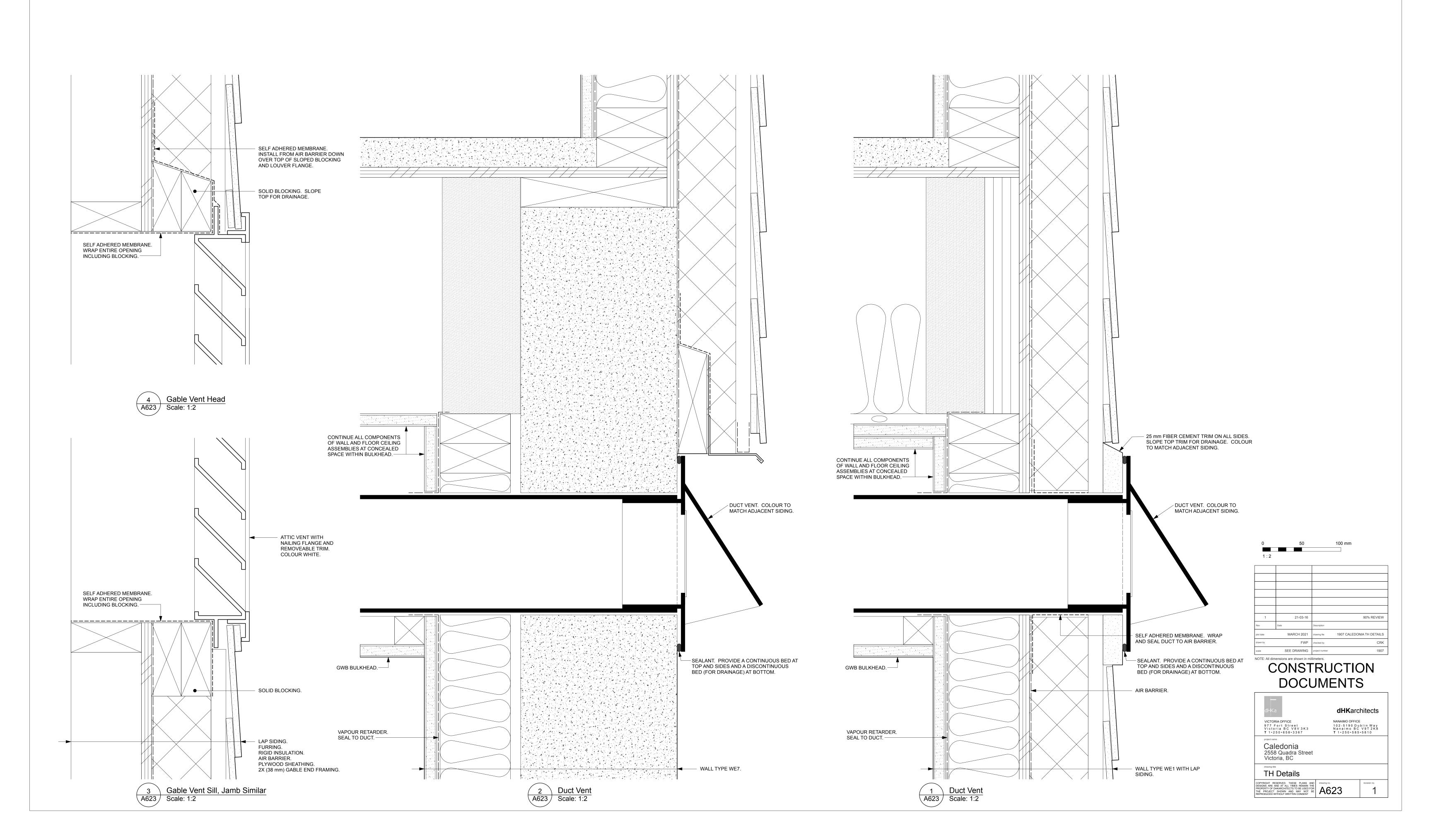


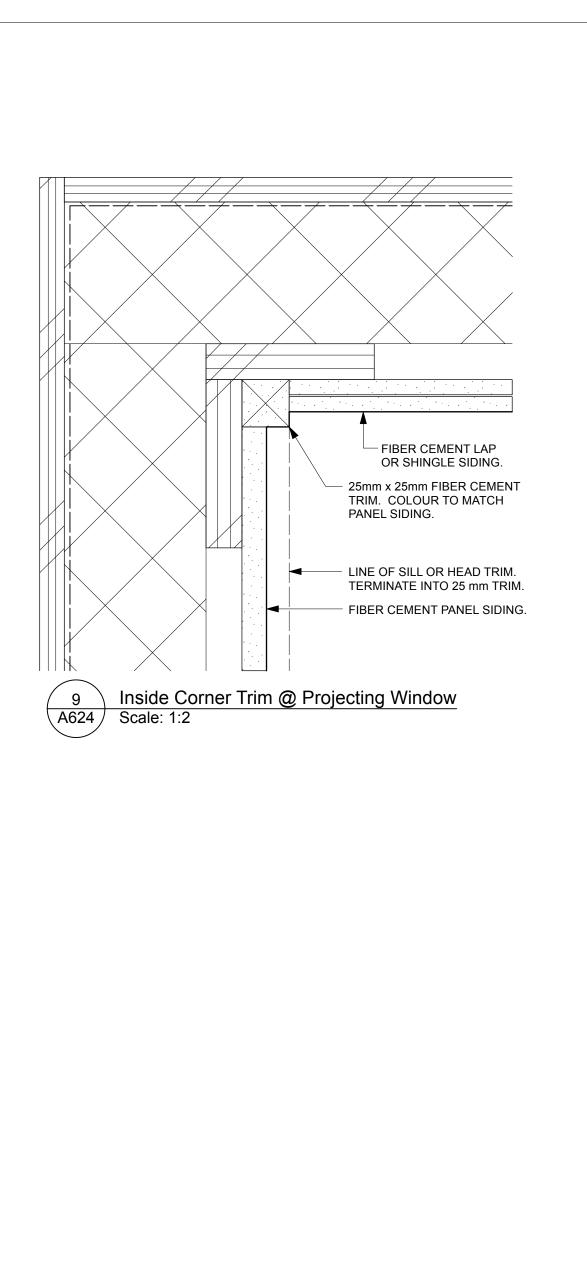
Victoria BC Section Details

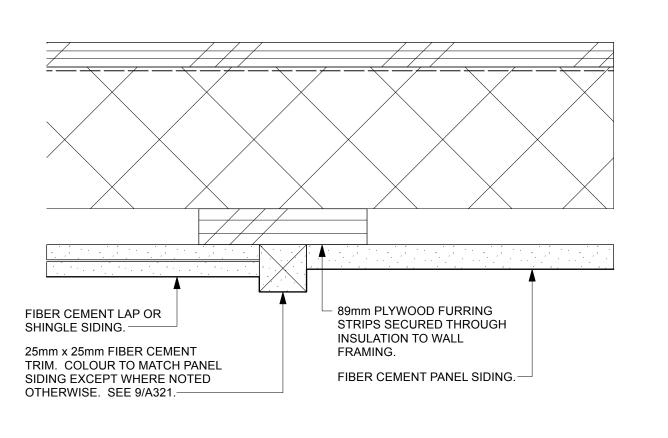


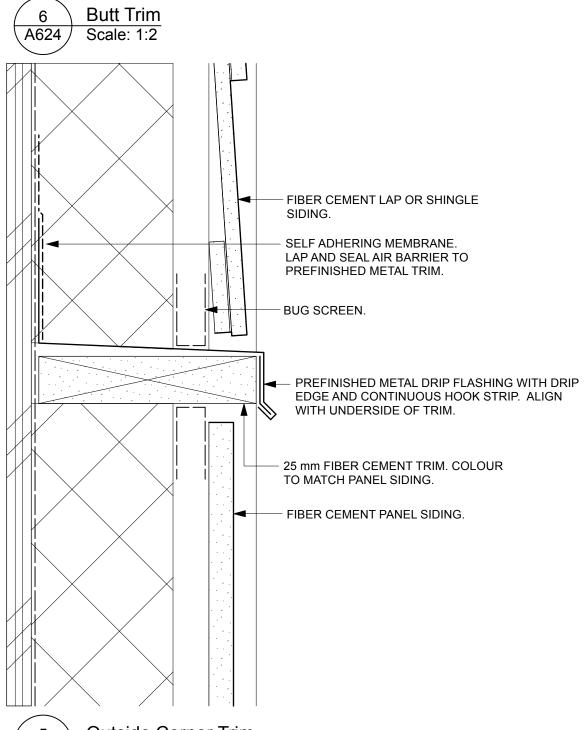


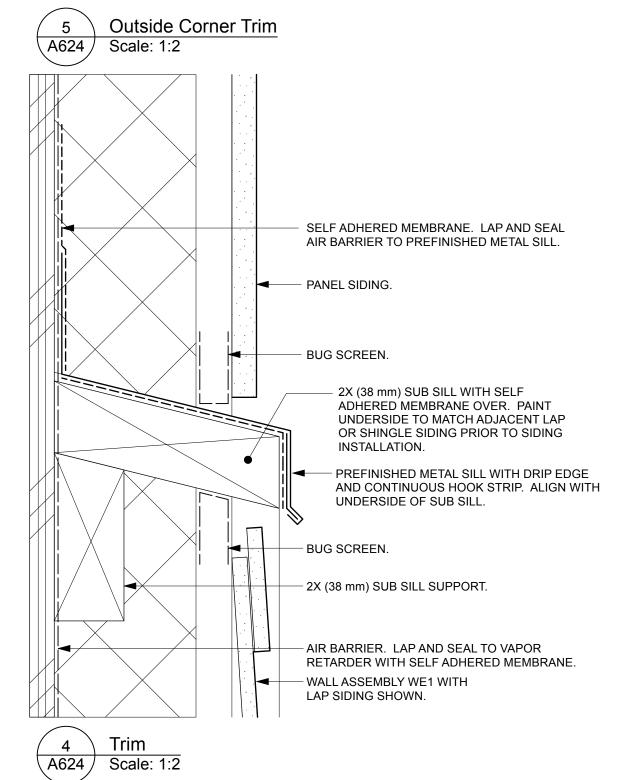


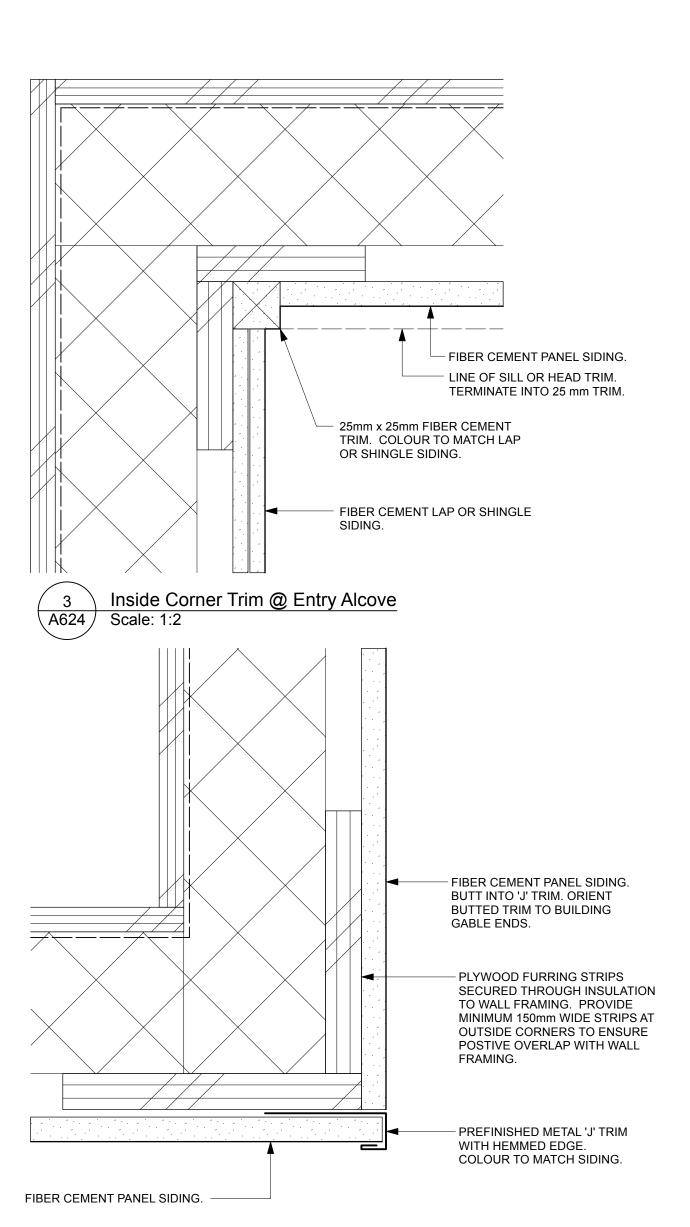


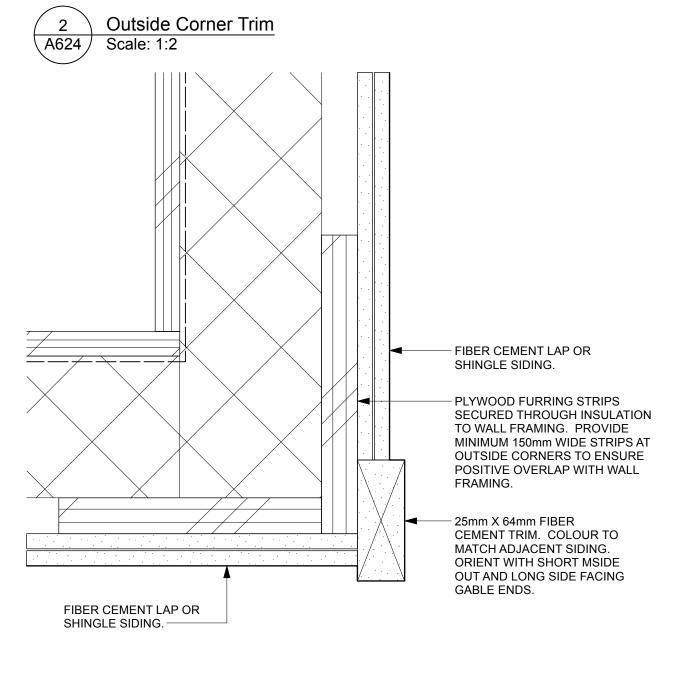




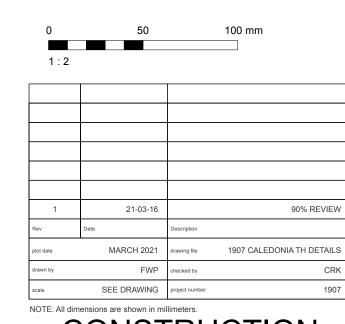






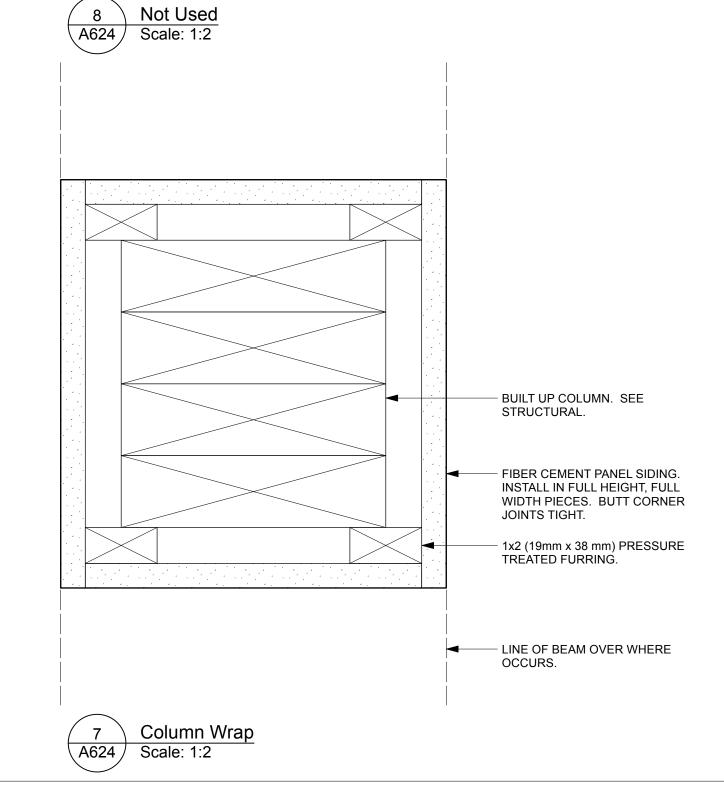


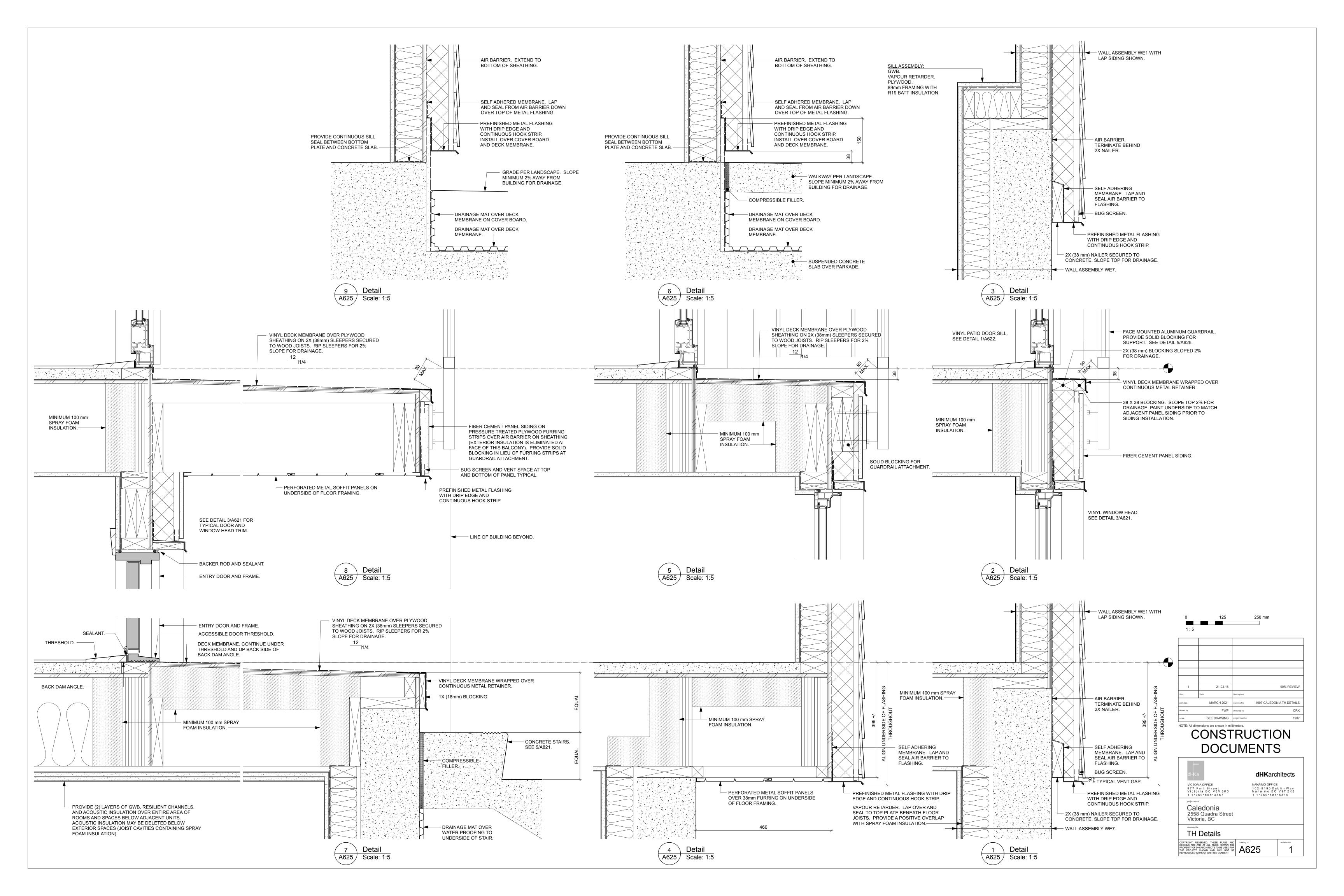
1 Outside Corner Trim A624 Scale: 1:2

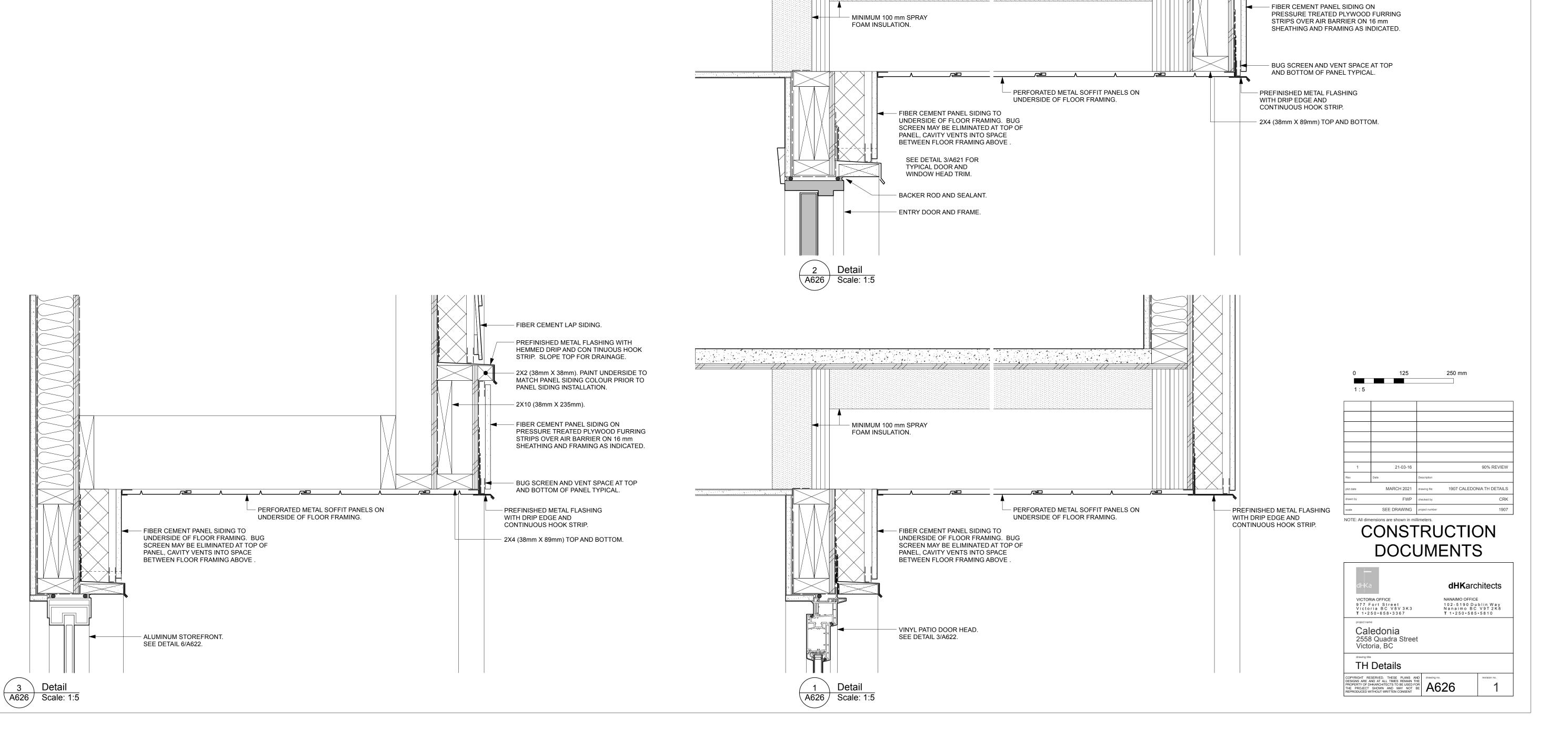


CONSTRUCTION DOCUMENTS









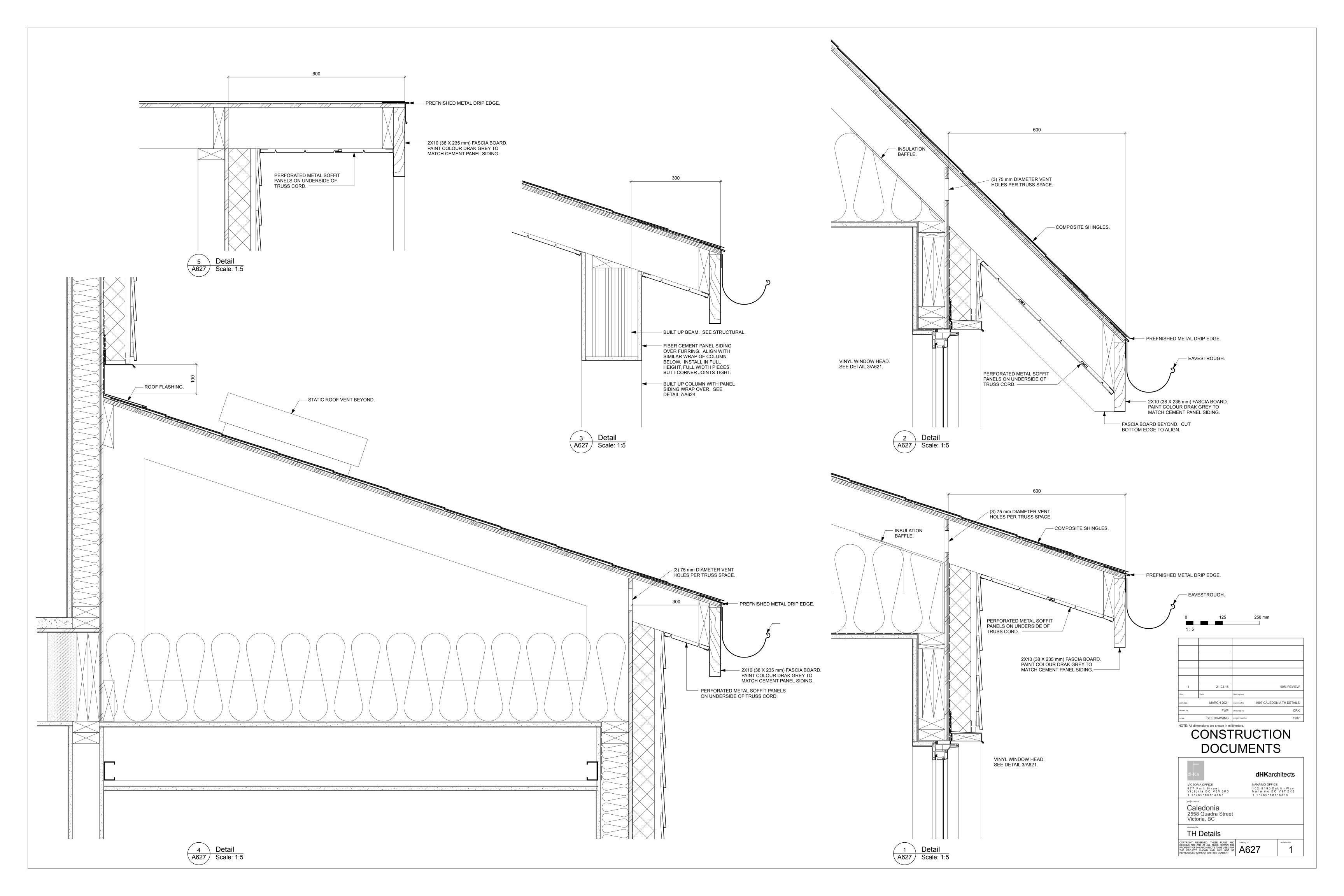
- FIBER CEMENT LAP SIDING.

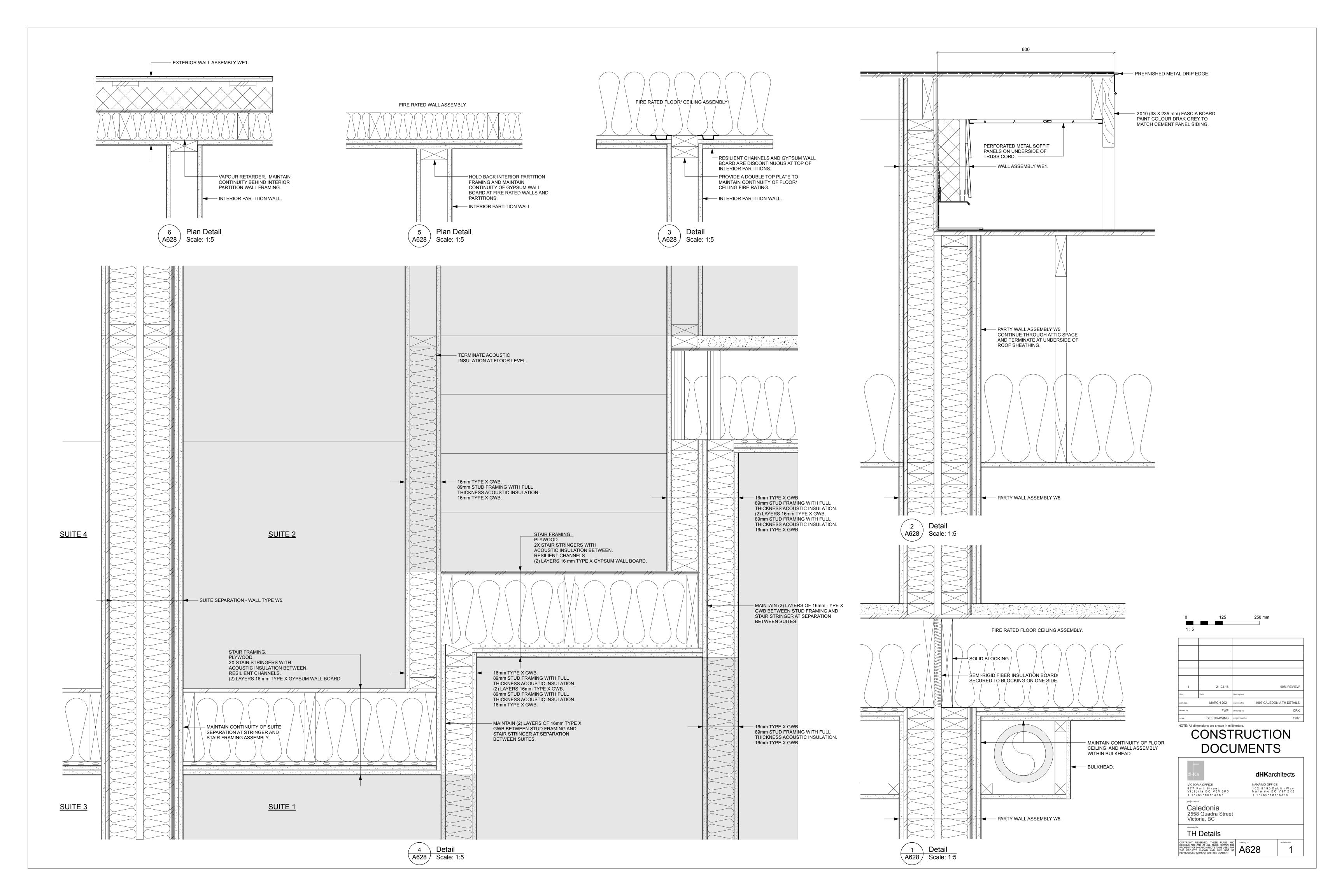
— 2X10 (38mm X 235mm).

PREFINISHED METAL FLASHING WITH
HEMMED DRIP AND CON TINUOUS HOOK

 2X2 (38mm X 38mm). PAINT UNDERSIDE TO MATCH PANEL SIDING COLOUR PRIOR TO PANEL SIDING INSTALLATION.

STRIP. SLOPE TOP FOR DRAINAGE.





	ROOM NAME	DOORS						FRAMES	3			HW		LEVEL 2 201-214	201-214	SUITE	See SUITI	E DOORS	l below, Do	or Type B
EVEL P1		STYLE	HEIGHT	WIDTH	MAT.	FIN.	RATING	RATING	MAT.	FIN.	DETAIL		REMARKS (see Door Hardware Functional Summary		 HOUSE 2	│ 2 - Common Area │	 Doors			
-1	PARKADE PARKADE	12 12	2184 2184	6300 6300	AL/GRIL		-	-	AL AL	PF PF	-		Electric motor, fob Electric motor, fob	DOOR NO.	ROOM NO.	ROOM NAME	DOORS STYLE	HEIGHT	WIDTH	MAT.
001 002	ELEVATOR LOBBY MECHANICAL ROOM	8	2032	914 914	AL/TGL HM	PF PT	smoke 1 HR.	smoke 1 HR.	AL PSF	PF PT	1_3	1	Passage, closer, auto operator Lock, closer	LEVEL 1 101-114	101-114	SUITE		E DOORS		
003	SUB-ELECTRICAL ROOM	1 1	2032	914	НМ	PT PF	1 HR.	1 HR.	PSF	PT	1_2	2	Lock, closer	115a	115	SOILE	1	2032	914	HM
4b 004	ELEVATOR LOBBY ELEVATOR LOBBY	8	2032	914	AL/TGL	PF	smoke smoke	smoke smoke	AL	PF	1_3	1	Passage, closer, auto operator Passage, closer, auto operator	LEVEL 2						
5a 005 5b 005	REFUSE/RECYCLING REFUSE/RECYCLING	1_1	2032 2032	914 2 @ 914	HM HM	PT PT	1 HR. 1 HR.	1 HR. 1 HR.	PSF PSF	PT PT	1 <u>2</u>		Lock, closer, fob Classroom Lock, closer	201-214	201-214	SUITE	See SUITI	E DOORS	below, Do	or Type B
6 006 7 007	ELEVATOR LOBBY STORAGE	8	2032 2032	914 914	AL/TGL HM	PF PT	smoke 1 HR.	smoke 1 HR.	AL PSF	PF PT	1_3		Passage, closer, auto operator Lock, closer	TOWN	HOUSE 3	- Common Area D	Doors		1	
8 008	ELECTRICAL ROOM	1	2032	914	НМ	PT	1 HR.	1 HR.	PSF	PT	1	2	Lock, closer	DOOR NO.	ROOM NO.	ROOM NAME	DOORS STYLE	HEIGHT	WIDTH	MAT.
9 009 0 010	BICYCLE ROOM BICYCLE ROOM	gate gate	2032 2032	914 914	AL AL	PF PF	-	-					Lock, Lever protector Lock, Lever protector	LEVEL 1						
1a 011 1b 011	BICYCLE ROOM BICYCLE ROOM	gate gate	2032 2032	914 914	AL AL	PF PF	-	-					Lock, Lever protector Lock, Lever protector	101-102	101-102	SUITE	See SUITI	E DOORS	below, Do	or Type B
2 012	STORAGE	1	2032	914	НМ	PT	1 HR.	1 HR.	PSF	PT	1	2	Lock, closer	LEVEL 2				<u> </u>		
3 013 4 014	SUB-MECHANICAL ROOI DATA ROOM	1	2032 2032	914 914	HM HM	PT PT	1 HR. 1 HR.	1 HR. 1 HR.	PSF PSF	PT PT	1 <u>2</u> 1 <u>2</u>		Lock, closer Lock, closer	201-204	201-204	SUITE	See SUITI	E DOORS	below, Do	or Type B
5 015 Sa 016	ELECTRICAL CLOSET VESTIBULE	2	2032 2032	914 914	HM HM	PT PT	- smoke	- smoke	PSF PSF	PT PT	2		Passage Passage		DOORS					
6b 016	VESTIBULE	2	2032	914	НМ	PT PT	1.5 HR.	1.5 HR.	PSF PSF	PT PT	1	8	Lock, closer, free access to exit	DOOR TYP	ROOM NO.	ROOM NAME	DOORS STYLE	HEIGHT	WIDTH	MAT.
-1a ST-1 -3a ST-3	STAIR 1 STAIR 3	2	2032 2032	914 914	HM/WG HM/WG	PT	1.5 HR. 1.5 HR.	1.5 HR. 1.5 HR.	PSF	PT	1		Lock, closer, free access to exit Lock, closer, free access to exit	A1	_	CORRIDOR ENTRY	1	2032	914	SCW
5a ST-5	STAIR 5	2	2032	914	HM/WG	PT	1.5 HR.	1.5 HR.	PSF	PT	1	8	Lock, closer, free access to exit	B1	-	TOWNHOUSE ENTRY	10	2032	914	VIN/TG
	- Common Area D		1	•	•	•	•	•	•	•	•			C1 C2	-	PATIO ENTRY PATIO ENTRY	7	2032 2230	914 914	VIN/TG VIN/TG
OR NO. ROOM NO.	ROOM NAME	DOORS STYLE	HEIGHT	WIDTH	MAT.	FIN.	RATING	FRAMES		FIN.	DETAIL	HARDWAR SET NO.	RE REMARKS	D1 E1	-	PATIO, SWING JULIET BALCONY, SLIDE	8 R 11	2032 2032	914 1525	VIN/TG VIN/TG
VEL 1														F1	-	BEDROOM	3	2032	864	HCW
-111 101-111 112	SUITE ENTRANCE VESTIBULE	See SUI 8_8	2032	below, Doc 2 @ 914			-	-	AL	PF	7	9	Lock, fob, closer, auto operator, enterphone, panic bar	F2 G1	-	BEDROOM CLOSET	3	2032 2032	914 711	HCW HCW
a 113	LOBBY	8_8	2032	2 @ 914	AL/TGL	PF	-	-	AL	PF	8	10	Passage, closer, auto operator, panic bar	H1 H2	-	BATHROOM BATHROOM	3	2032 2032	864 914	HCW HCW
b 113 114	LOBBY LAUNDRY	8_8 1	2032	2 @ 914 914	AL/TGL HM	PF PT	smoke smoke	smoke smoke	AL PSF	PF PT	4		Lock, closer, panic bar, free access to exit Lock, fob, closer	J1	-	CLOSET	3_3	2032	2@610	HCW
115 116	VESTIBULE JANITOR	8_8	2032 2032	2 @ 914 914		PF PT	- smoke	- smoke	AL PSF	PF PT	7	13	Lock, closer, panic bar, free access to exit	J2 - J3	-	CLOSET CLOSET	3_3	2032 2032	2@711 2@762	HCW HCW
1b ST-1	STAIR	2	2032	914	HM/WG	PT	45 MIN.	45 MIN.	PSF	PT	4	14	Lock, free access to exit, panic bar	- J4 - K1	-	CLOSET CLOSET	3_3	2032 2032	2@915 450	HCW HCW
1c ST-1 2a ST-2	STAIR STAIR	8	2032 2032	914 914	HM/WG AL/TGL	PT PF	45 MIN. -	45 MIN. -	PSF AL	PT PF	7		Lock, free access to exit, panic bar Lock, free access to exit, panic bar	K2	-	CLOSET	3	2032	610	HCW
2b ST-2	STAIR	2	2032	914	HM/WG		45 MIN.	45 MIN.	PSF	PT	4		Lock, free access to exit, panic bar	K3 K4	-	CLOSET CLOSET	3	2032 2032	815 865	HCW HCW
VEL 2														K5 K6	-	CLOSET CLOSET	3 3	2032 2032	915 2@762	HCW HCW
1-212 201-212 3 213	SUITE ELECTRICAL CLOSET	See SUI	TE DOORS 2032	below, Dod 2 @ 914	7 1	l IPT	45 MIN.	45 MIN.	PSF	Ірт	14	15	Lock	L1	-	LAUNDRY	3	2032	865	HCW
1d ST-1	STAIR	2	2032	914	HM/WG	PT	45 MIN.	45 MIN.	PSF	PT	4		Lock, free access to exit	L2 L3	-	LAUNDRY LAUNDRY		2032 2032	2@535 2@610	HCW HCW
2c ST-2	STAIR	2	2032	914	HM/WG	PI	45 MIN.	45 MIN.	PSF	PT	4	8	Lock, free access to exit	L4 L5	-	LAUNDRY LAUNDRY	3_3	2032 2032	2@762 815	HCW HCW
/EL 3 301-312	SUITE	Coo CUIT	TE DOODS	halaw Day	- T A 4	1										LACINDICI		2002	1010	ITIOVV
313	ELECTRICAL CLOSET	1_1	2032	2 @ 914	HM	PT	45 MIN.		PSF	PT	4		Lock							
1e ST-1 2d ST-2	STAIR STAIR	2	2032	914 914	HM/WG HM/WG		45 MIN. 45 MIN.	45 MIN. 45 MIN.	PSF PSF	PT PT	4		Passage, crossover floor, free access from stair to floor Passage, crossover floor, free access from stair to floor							
/EL 4														1						
IVEL 4 1-409 401-409	SUITE	See SUI	<u> </u> TE DOORS	_ <u> </u> below, Do	<u> </u>	<u> </u>		ļ							or Styles					
0 410 -1f ST-1	ELECTRICAL CLOSET STAIR	1_1	2032 2032	2 @ 914 914	HM HM/WG	PT	45 MIN. 45 MIN.		PSF PSF	PT PT	4		Lock			chedule for sizes.				~
	ISTAIR	12	12002	1914	I I I I I I I I I I I I I I I I I I I	IFI	145 IVIIIV.	ITO IVIII VI.					Lock, free access to exit							
T-2e ST-2	STAIR	2	2032	914	HM/WG			45 MIN.		PT	4	8	Lock, free access to exit Lock, free access to exit	-		Plans for handing.				Ō
		2 2 Doors					_			PT	4	8	·	2. 3.	Refer to Floor P	chedule and Specification				ERIO
PARTMENT 2	STAIR - Common Area D	DOORS	2032	914	HM/WG	PT	45 MIN.	45 MIN.	PSF		DETAIL	8 HARDWAR	Lock, free access to exit	2. 3.	Refer to Floor P Refer to Door S for glazing requ	chedule and Specification				NTERIO
PARTMENT 2 OOR NO. ROOM NO.	STAIR - Common Area D ROOM NAME	DOORS STYLE	HEIGHT	914 	HM/WG	FIN.	_	45 MIN.	PSF	PT FIN.	DETAIL	8 HARDWAR	Lock, free access to exit	2. 3.	Refer to Floor P Refer to Door S for glazing requ Maximum area	chedule and Specification irements.				INTERIO
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110 101-110	STAIR - Common Area D	DOORS STYLE	2032	914 WIDTH below, Doo	MAT. or Type A1	FIN.	45 MIN.	45 MIN.	PSF		DETAIL 7	HARDWAR SET NO.	Lock, free access to exit	2. 3.	Refer to Floor P Refer to Door S for glazing requ Maximum area	chedule and Specification irements. of wired glass panel for				INTERIO
PARTMENT 2 POR NO. ROOM NO. EVEL 1 1-110	STAIR - Common Area D ROOM NAME SUITE LOBBY LOBBY	DOORS STYLE See SUIT	2032 HEIGHT TE DOORS 2032 2032	914 WIDTH below, Doo 2 @ 914 2 @ 914	MAT. or Type A1 AL/TGL AL/TGL	FIN. I PF PF	RATING	FRAMES RATING -	PSF MAT. AL AL		DETAIL	HARDWAR SET NO.	Lock, free access to exit RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar	2. 3.	Refer to Floor P Refer to Door S for glazing requ Maximum area	chedule and Specification irements. of wired glass panel for				INTERIO
PARTMENT 2 OR NO. ROOM NO. VEL 1 1-110 101-110 1a 111 1b 111 2 112 3 113	STAIR - Common Area E ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY	See SUIT	#EIGHT TE DOORS 2032 2032 2032 2032 2032	914 WIDTH below, Doo 2 @ 914 2 @ 914 914 914	MAT. or Type A1 AL/TGL HM HM	FIN. PF PF PT PT	45 MIN.	45 MIN.	PSF MAT. AL AL PSF PSF	FIN. PF PF PT PT	7 8 4	8 HARDWAR SET NO. 9 ?? 2 12	Lock, free access to exit RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock	2. 3.	Refer to Floor P Refer to Door S for glazing requ Maximum area	chedule and Specification irements. of wired glass panel for				INTERIO
PARTMENT 2 POR NO. ROOM NO. VEL 1 1-110	STAIR - Common Area D ROOM NAME SUITE LOBBY LOBBY JANITOR	See SUIT	2032 HEIGHT 2032 2032 2032 2032 2032 2032	914 wiDTH below, Doo 2 @ 914 2 @ 914 914 914 2 @ 914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL	FIN. I PF PF PT	RATING smoke	FRAMES RATING smoke	AL AL PSF PSF AL	FIN. PF PF PT	7 8 4 7 7	9 ?? 2 12	Lock, free access to exit RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock, fob/keypad, auto operator, panic bar	2. 3. 4.	Refer to Floor P Refer to Door S for glazing requ Maximum area	chedule and Specification irements. of wired glass panel for				INTERIO
PARTMENT 2 OR NO. ROOM NO. VEL 1 1-110 101-110 1a 111 1b 111 2 112 3 113 5a 115 5b 115 6c 115	STAIR - Common Area D ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY	See SUIT 8_8 8 8_8 1 1 1 8_8	HEIGHT	914 widenth below, Doo 2 @ 914 2 @ 914 914 914 914 2 @ 914 2 @ 914 2 @ 914	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL	FIN. PF PF PT PF PF PF	RATING smoke	FRAMES RATING smoke	PSF MAT. AL AL PSF PSF AL AL AL AL	PF PF PF PF	7 8 4 7 7 7 7	9 ?? 2 12 17 18 18	Lock, free access to exit REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	2. 3. 4.	Refer to Floor P Refer to Door S for glazing requ Maximum area	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m.	Temp G	ilass	Tem	np Glass
PARTMENT 2 OR NO. ROOM NO. VEL 1 1-110	STAIR - Common Area D ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO	See SUIT 8_8 8_8 1 1 8_8 8_8 1 1 1 8_8 8_8 1 1 1 1	DOORS 2032	914 below, Doo 2 @ 914 2 @ 914 914 914 2 @ 914 2 @ 914 2 @ 914 914 914	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL HM HM AL/TGL HM HM HM HM HM HM	FIN. PF PF PT PF PF PF PF PF PT PT	RATING smoke	FRAMES RATING smoke	PSF MAT. AL AL PSF PSF AL AL AL PSF PSF PSF	FIN. PF PF PT PT PF PF	7 8 4 7 7 7 7 7 4	9 ?? 2 12 17 18 18 2 19	Lock, free access to exit RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	2. 3. 4.	Refer to Floor P Refer to Door S for glazing requ Maximum area	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m.	Temp Gi Panel	ilass	- Tem Pan	np Glass
PARTMENT 2 DOR NO. ROOM NO. EVEL 1 1-110	STAIR - Common Area D ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR	See SUIT 8_8 8_8 1 1 8_8 8_8 1 1 1 8_8 8_8 1 1 1 1	2032 HEIGHT 2032 2032 2032 2032 2032 2032 2032 203	914 WIDTH below, Doo 2 @ 914 2 @ 914 914 914 2 @ 914 2 @ 914 2 @ 914 9 @ 914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL AL/TGL AL/TGL HM	FIN. PF PF PT PF PF PF PF PF	RATING smoke	FRAMES RATING smoke	PSF MAT. AL AL PSF AL AL AL PSF PSF	PF PF PF PT	7 8 4 7 7 7 7 7 4 4 4 4	9 ?? 2 12 17 18 18 2 19 19	Lock, free access to exit RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock, fob/keypad, auto operator, panic bar Lock Lock Lock Lock Lock Lock	2. 3. 4.	Refer to Floor P Refer to Door S for glazing requ Maximum area	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m.		ilass		np Glass
PARTMENT 2 DR NO. ROOM NO. VEL 1 -110	STAIR - Common Area D ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROOM WASHROOM STAIR	See SUIT 8_8 8_8 1 1 8_8 8_8 1 1 1 8_8 8_8 1 1 1 1	2032 HEIGHT 2032 2032 2032 2032 2032 2032 2032 20	914 below, Doo 2 @ 914 914 914 914 2 @ 914 2 @ 914 9 14 914 914 914 914 914 914 914 9	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM HM HM H	FIN. FIN. PF PF PT PF PF PF PF PT PT PT PT PT PT	smoke smoke	FRAMES RATING smoke smoke	PSF MAT. AL AL PSF PSF AL AL AL PSF PSF PSF PSF PSF PSF	FIN. PF PF PT PF PF PT PT PT PT PT PT PT	7 8 4 7 7 7 7 7 4 4 4 4 4	8 HARDWAR SET NO. 9 ?? 2 12 17 18 18 2 19 19 19 19	Lock, free access to exit RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Lock, free access to exit, panic bar	2. 3. 4.	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ri	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m.	Panel	2	Pan	np Glass
PARTMENT 2 DR NO. ROOM NO. VEL 1 -110	STAIR - COMMON AREA ROOM NAME SUITE LOBBY LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROOM WASHROOM WASHROOM STAIR STAIR STAIR	See SUIT 8_8 8_8 1 1 8_8 8_8 1 1 1 8_8 8_8 1 1 1 1	HEIGHT 2032	914 below, Doo 2 @ 914 914 914 914 2 @ 914 2 @ 914 2 @ 914 914 914 914 914 914 914 914	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM HM HM H	FIN. PF PF PF PF PF PT PF	smoke smoke 45 MIN. 45 MIN	smoke smoke 45 MIN 45 MIN	PSF MAT. AL AL PSF PSF AL AL PSF PSF PSF PSF PSF PSF PSF PS	PF PF PF PF PT PT PT PT PT PT PT	7 8 4 7 7 7 7 4 4 4 4 4 4 4 4	8 HARDWAR SET NO. 9 ?? 2 12 17 18 18 2 19 19 19 14 8 8	Lock, free access to exit REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	2. 3. 4.	Refer to Floor P Refer to Door S for glazing requ Maximum area	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m.	Panel	2		np Glass
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110	STAIR - Common Area D ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROOM WASHROOM STAIR STAIR	See SUIT 8_8 8_8 1 1 8_8 8_8 1 1 1 8_8 8_8 1 1 1 1	2032 HEIGHT 2032 2032 2032 2032 2032 2032 2032 2032 2032 2032 2032 2032 2032 2032 2032 2032 2032	914 below, Doo 2 @ 914 914 914 914 2 @ 914 2 @ 914 2 @ 914 914 914 914 914 914 914 914	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM HM HM H	FIN. PF PF PF PF PF PT PF	smoke smoke 45 MIN. 45 MIN	FRAMES RATING smoke smoke	AL AL AL AL AL AL PSF PSF AL AL AL PSF PSF PSF PSF PSF PSF	FIN. PF PF PT PF PF PT PT PT PT PT PT PT	7 8 4 4 7 7 7 7 4 4 4 4 4 4 4 4 4	8 HARDWAR SET NO. 9 ?? 2 12 17 18 18 2 19 19 19 14 8 8	Lock, free access to exit REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Privacy Privacy Privacy Lock, free access to exit, panic bar Lock, free access to exit, panic bar	2. 3. 4.	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ri	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL	Panel	2	Pan	np Glass
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110	STAIR - COMMON ARE ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROOM WASHROOM WASHROOM STAIR STAIR STAIR STAIR	DOORS STYLE	HEIGHT 2032	914 below, Doo 2 @ 914 914 914 914 2 @ 914 2 @ 914 914 914 914 914 914 914 914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM HM HM HM H	FIN. FIN. PF PF PT PF PF PT	smoke smoke 45 MIN. 45 MIN	smoke smoke 45 MIN 45 MIN	PSF MAT. AL AL PSF PSF AL AL PSF PSF PSF PSF PSF PSF PSF PS	FIN. PF PF PT PF PF PT PT PT PT PT PT PT	7 8 4 7 7 7 7 7 4 4 4 4 4 4 4 4 4	8 HARDWAR SET NO. 9 ?? 2 12 17 18 18 2 19 19 19 14 8 8	Lock, free access to exit REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	2. 3. 4. YOUNGER STATE OF THE PROPERTY OF THE	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types I frames within to	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL	Panel	2	Pan	np Glass nel
PARTMENT 2 DR NO. ROOM NO. VEL 1 -110	STAIR - COMMON AREA ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR STAIR STAIR STAIR STAIR STAIR STAIR STAIR SUITE ELECTRICAL CLOSET	DOORS STYLE	HEIGHT	914 WIDTH Delow, Doc 2 @ 914 914	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM HM HM/WG AL/TGL HM/WG AL/TGL HM/WG AL/TGL HM/WG AL/TGL HM/WG AL/TGL	FIN. FIN. PF PF PT PF PF PT PT PT PT PT	45 MIN 45 MIN 45 MIN.	FRAMES RATING smoke smoke 45 MIN 45 MIN.	PSF MAT. AL AL PSF PSF AL AL PSF PSF PSF PSF PSF PSF PSF PS	FIN. PF PF PT PF PF PT PT PT PT PT PT PT	7 8 4 4 7 7 7 7 7 4 4 4 4 4 4 4 4 4	8 HARDWAR SET NO. 9 ?? 2 12 17 18 18 2 19 19 14 8 14 8	Lock, free access to exit REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	2. 3. 4. YONE HARMAN AND THE CONTROL THE C	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans.	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL	Panel	2	Pan	np Glass nel
PARTMENT 2 DR NO. ROOM NO. /EL 1 -110	STAIR - COMMON AREA ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	DOORS STYLE	HEIGHT	914 below, Doo 2 @ 914 914 914 914 2 @ 914 2 @ 914 2 @ 914 914 914 914 914 914 914 914 914 914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM HM HM HM/WG AL/TGL HM/WG AL/TGL HM HM HM HM HM HM/WG AL/TGL HM/WG AL/TGL HM/WG AL/TGL HM/WG HM/WG AL/TGL HM/WG AL/TGL	FIN. FIN. PF PF PT		FRAMES RATING smoke smoke 45 MIN. 45 MIN 45 MIN.	PSF MAT. AL AL AL AL AL PSF PSF PSF PSF PSF PSF PSF PS	FIN. PF PF PT PF PF PT PT PT PT PT PT PT	7 8 4 4 7 7 7 7 7 4 4 4 4 4 4 4 4 4 4 4	9 ?? 2 12 17 18 18 2 19 19 19 14 8 14 8 14 8	Lock, free access to exit RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Privacy Lock, free access to exit, panic bar	2. 3. 4. YONUMENTAL STATE OF Frair Locate on floor Gener 1. '1	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types Inframes within with plans. al Notes 3' for frame de	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated	Panel	2	Pan	np Glass nel
PARTMENT 2 DR NO. ROOM NO. VEL 1 -110	STAIR - COMMON AREA ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR STAIR STAIR STAIR STAIR STAIR STAIR STAIR SUITE ELECTRICAL CLOSET	DOORS STYLE	HEIGHT	914 WIDTH Delow, Doc 2 @ 914 914	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM HM HM/WG AL/TGL HM/WG AL/TGL HM/WG AL/TGL HM/WG AL/TGL HM/WG AL/TGL	FIN. FIN. PF PF PT		FRAMES RATING smoke smoke 45 MIN. 45 MIN 45 MIN.	PSF MAT. AL AL PSF PSF AL AL PSF PSF PSF PSF PSF PSF PSF PS	FIN. PF PF PT PF PT	7 8 4 4 7 7 7 7 7 4 4 4 4 4 4 4 4 4 4 4	9 ?? 2 12 17 18 18 2 19 19 19 14 8 14 8 14 8	Lock, free access to exit REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Privacy Lock, free access to exit, panic bar	2. 3. 4. YONUMENTAL STATE OF Frair Locate on floor Gener 1. '1	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types Inframes within with plans. al Notes 3' for frame de	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated	Panel	2	Pan	np Glass nel
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110	STAIR - COMMON AREA ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	See SUIT 1 2 2 2	HEIGHT 2032	914 below, Doo 2 @ 914 914 914 914 2 @ 914 2 @ 914 2 @ 914 914 914 914 914 914 914 914 914 914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM HM HM/WG AL/TGL HM HM/WG HM/WG AL/TGL HM/WG AL/TGL	FIN. PF PF PF PF PT		FRAMES RATING smoke smoke 45 MIN. 45 MIN 45 MIN.	PSF MAT. AL AL AL AL AL PSF PSF PSF PSF PSF PSF PSF PS	FIN. PF PF PT PF PT	7 8 4 4 7 7 7 7 7 4 4 4 4 4 4 4 4 4 4 4	9 ?? 2 12 17 18 18 2 19 19 19 14 8 14 8 14 8	Lock, free access to exit RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Privacy Lock, free access to exit, panic bar	2. 3. 4. YONUMENTAL STATE OF Frair Locate on floor Gener 1. '1	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types Inframes within with plans. al Notes 3' for frame de	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated etail on schedule indicates the conditions for that door. — concrete wall	Panel	2	Pan	np Glass nel
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110	STAIR - COMM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	See SUIT 1 2 2 2	HEIGHT	914 below, Doc 2 @ 914 914	MAT. or Type A1 AL/TGL AL/TGL AL/TGL AL/TGL AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM HM/WG AL/TGL HM/WG	FIN. FIN. PF PF PT PF PT			PSF AL AL AL PSF PSF AL AL PSF PSF PSF PSF PSF PSF PSF PS	FIN. PF PF PT PF PT	7 8 4 4 7 7 7 7 4 4 4 4 4 4 4 4 4 4 4 4	9 ?? 2 12 17 18 18 2 19 19 19 14 8 14 8 15 8	REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	2. 3. 4. YOIYULXUL Locate on floor Gener 1. '1	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types Inframes within with plans. al Notes 3' for frame de	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated stail on schedule indicates the conditions for that door.	Panel	2	Pan	np Glass nel
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110	STAIR - COMMON AREA ROOM NAME SUITE LOBBY LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	See SUIT 1 2 2 2	HEIGHT	914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM/WG AL/TGL HM HM/WG HM/WG AL/TGL HM/WG Or Type A1 HM/WG HM/WG Or Type A1	FIN. PF			PSF AL AL AL AL PSF PSF PSF PSF PSF PSF PSF PS	FIN. PF PF PF PF PF PT	Temperature	8 HARDWAR SET NO. 9	REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Privacy Lock, free access to exit, panic bar	2. 3. 4. YONE Frai Locate on flood Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types Inframes within with plans. al Notes 3' for frame de	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated etail on schedule indicates the conditions for that door. — concrete wall	Panel	2	Pan	np Glass lel
PARTMENT 2 DR NO. ROOM NO. VEL 1 -110	STAIR - COMM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	See SUIT 1 2 2 2	HEIGHT	914 below, Doc 2 @ 914 9	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM HM HM/WG AL/TGL HM/WG AL/TGL HM HM/WG AL/TGL HM HM/WG AL/TGL HM/WG HM/WG AL/TGL HM/WG HM/WG HM/WG HM/WG HM/WG	FIN. PF			PSF AL AL AL AL PSF PSF PSF PSF PSF PSF PSF PS	PF PF PF PT	The state of the	8 HARDWAR SET NO. 9	RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock, fob/keypad, auto operator, panic bar Lock Lock Lock Lock Privacy Privacy Privacy Privacy Lock, free access to exit, panic bar Lock, free access to exit panic bar	2. 3. 4. YONE Frai Locate on flood Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types Inframes within with plans. al Notes 3' for frame de	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated etail on schedule indicates se conditions for that door. concrete wall—sealant	Panel	STY	Pan	np Glass nel
PARTMENT 2 DR NO. ROOM NO. VEL 1 -110	STAIR - Common Area D ROOM NAME SUITE LOBBY LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	See SUIT 1 1 2 2	HEIGHT	914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM/WG AL/TGL HM HM/WG AL/TGL HM HM/WG AL/TGL HM HM/WG AL/TGL HM/WG HM/WG Or Type A1 HM/WG HM/WG HM/WG HM/WG Or Type A1	FIN. FIN. PF PF PT PF PT			PSF	PF PF PF PT	Temperature	8 HARDWAR SET NO. 9	RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	2. 3. 4. YONE Frai Locate on flood Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types Inframes within with plans. al Notes 3' for frame de	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated etail on schedule indicates the conditions for that door. — concrete wall	Panel	STY	LE 8	DETA
PARTMENT 2 DR NO. ROOM NO. VEL 1 -110	STAIR C - COMMON ARE ROOM NAME SUITE LOBBY LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROOM WASHROOM WASHROOM STAIR	See SUIT 1 1 2 2	HEIGHT	914 below, Doc 2 @ 914 9	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM/WG AL/TGL HM HM/WG AL/TGL HM HM/WG AL/TGL HM HM/WG AL/TGL HM/WG HM/WG Or Type A1 HM/WG HM/WG HM/WG HM/WG Or Type A1	PT			PSF AL AL AL AL AL AL PSF PSF PSF PSF PSF PSF PSF PS	PF PF PF PT	Temperature	8 HARDWAR SET NO. 9	RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock, fob/keypad, auto operator, panic bar Lock Lock Lock Lock Privacy Privacy Privacy Privacy Lock, free access to exit, panic bar Lock, free access to exit panic bar	2. 3. 4. YONE Frai Locate on flood Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans. al Notes 3' for frame de	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated etail on schedule indicates se conditions for that door. concrete wall—sealant	Panel	STY	LE 8	np Glass lel
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110	STAIR - COMM NAME SUITE LOBBY LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	See SUIT 1 1 2 2	HEIGHT	914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM/WG AL/TGL HM/WG AL/TGL HM HM/WG AL/TGL HM HM/WG AL/TGL HM/WG	FIN. FIN. PF PF PF PF PT			PSF	PF PF PF PT	Temperature	8 HARDWAR SET NO. 9	RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	2. 3. 4. YONE Frai Locate on flood Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans. al Notes 3' for frame de ro different frames To different frames The Types Types	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated ctail on schedule indicates the conditions for that door. concrete wall sealant grout	Panel	STY	LE 8	DETA
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110	STAIR - COMMNAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	See SUIT 1 1 2 2	HEIGHT	914 below, Doc 2 @ 914 9	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM HM HM/WG AL/TGL HM/WG AL/TGL HM HM/WG AL/TGL HM/WG Or Type A1 HM HM/WG Or Type A1 HM HM/WG HM/WG Or Type A1 HM HM/WG	FIN. FIN. PF PF PF PF PT			PSF	PF PF PF PT	The state of the	8 HARDWAR SET NO. 9	RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Lock, free access to exit, panic bar Lock Lock, free access to exit Lock Passage, crossover floor, free access from stair to floor Passage, crossover floor, free access from stair to floor Lock Lock	2. 3. 4. YONE Frai Locate on flood Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans. al Notes 3' for frame de	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated ctail on schedule indicates the conditions for that door. concrete wall sealant grout	Panel	STY	LE 8	DETA
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110	STAIR ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	See SUIT 1_1 2 2	HEIGHT	914	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL HM HM HM HM HM/WG AL/TGL HM/WG AL/TGL HM/WG AL/TGL HM/WG HM/WG AL/TGL HM/WG HM/WG AL/TGL HM/WG HM/WG Or Type A1 HM HM/WG HM/WG HM/WG Or Type A1 HM HM/WG HM/WG Or Type A1	PT			PSF	PF PF PF PT	A	8 HARDWAR SET NO. 9	RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Privacy Privacy Lock, free access to exit, panic bar Lock, free access to exit Lock Passage, crossover floor, free access from stair to floor Passage, crossover floor, free access from stair to floor Lock Lock, free access to exit Lock, free access to exit	2. 3. 4. YONE Frai Locate on flood Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans. al Notes 3' for frame de ro different frames To different frames The Types Types	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated ctail on schedule indicates the conditions for that door. concrete wall sealant grout	Panel	STY	LE 8	DETA
PARTMENT 2 OR NO. ROOM NO. VEL 1 -110	STAIR - Common Area E ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR	See SUIT 1_1 2 2	HEIGHT	914	MAT. or Type A1 AL/TGL AL/TGL AL/TGL AL/TGL AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM/WG AL/TGL HM/WG HM/WG AL/TGL HM/WG AL/TGL HM/WG HM/WG HM/WG AL/TGL HM/WG HM/WG HM/WG AL/TGL HM/WG HM/WG HM/WG AL/TGL HM/WG	PT	45 MIN.		PSF	PF PF PF PT	A	8 HARDWAR SET NO. 9	RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Privacy Lock, free access to exit, panic bar Lock, free access to exit panic bar Lock, free access to exit panic bar Lock, free access to exit Lock Lock, free access to exit	2. 3. 4. YONE Frai Locate on flood Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans. al Notes 3' for frame de ro different frames To different frames The Types Types	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated etail on schedule indicates the conditions for that door. concrete wall sealant grout sealant	Panel	STY	LE 8	DETA
PARTMENT 2 DR NO. ROOM NO. VEL 1 -110	STAIR - Common Area E ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR SUITE ELECTRICAL CLOSET STAIR STAIR STAIR SUITE ELECTRICAL CLOSET STAIR STAIR	See SUIT 1_1 2 2	HEIGHT	914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM/WG AL/TGL HM HM/WG AL/TGL HM/WG A	PT	45 MIN.		PSF	PF PF PF PT	A	8 HARDWAR SET NO. 9	RE REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	2. 3. 4. YOIYHAMA Frai Locate on floo Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans. al Notes 3' for frame de ro different frames To different frames The Types Types	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated etail on schedule indicates the conditions for that door. concrete wall sealant sealant masonry tie	Panel LE 7	STY	LE 8	DETA
PARTMENT 2 OR NO. ROOM NO. IVEL 1 I-110	STAIR - Common Area E ROOM NAME SUITE LOBBY LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM STAIR	See SUIT 1_1 2 2	HEIGHT	914	MAT. or Type A1 AL/TGL AL/TGL AL/TGL AL/TGL AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM/WG AL/TGL HM/WG HM/WG AL/TGL HM/WG AL/TGL HM/WG HM/WG HM/WG AL/TGL HM/WG HM/WG HM/WG AL/TGL HM/WG HM/WG HM/WG AL/TGL HM/WG	PT	45 MIN.		PSF	PF PF PF PT	7 8 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4	8 HARDWAR SET NO. 9	REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Privacy Privacy Lock, free access to exit, panic bar Lock, free access to exit Lock Lock, free access to exit	2. 3. 4. YOIYHAMA Frai Locate on floo Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans. al Notes 3' for frame de ro different fram DETAIL 1	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated etail on schedule indicates the conditions for that door. concrete wall sealant sealant masonry tie steel of to schedule indicates to schedule indi	Panel	STY	LE 8	DETA
PARTMENT 2 OR NO. ROOM NO. IVEL 1 I-110	STAIR - Common Area E ROOM NAME SUITE LOBBY LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM STAIR	See SUIT 1	HEIGHT	914	MAT. or Type A1 AL/TGL AL/TGL HM HM AL/TGL AL/TGL HM HM HM HM HM HM HM HM/WG AL/TGL HM/WG HM/WG AL/TGL HM/WG AL/TGL HM/WG	PT	45 MIN.	FRAMES RATING	PSF	PF PF PF PT	7 8 4 4 7 7 7 7 4 4 4 4 4 4 4 4 4 4 4 4	HARDWAR SET NO.	REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Privacy Privacy Privacy Privacy Lock, free access to exit, panic bar Lock, free access to exit Lock Lock, free access to exit	Z. 3. 4. YOIYHAMA Locate on floo Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans. al Notes 3' for frame de ro different fram DETAIL 1	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated stail on schedule indicates the conditions for that door. concrete wall sealant grout sealant sealant masonry tie steel to sch	Panel E 7	STY	LE 8	DETA
PART MENT 2 OOR NO. ROOM NO. EVEL 1 1-110	STAIR - Common Area E ROOM NAME SUITE LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM WASHROOM STAIR SUITE ELECTRICAL CLOSET STAIR STAIR STAIR STAIR SUITE ELECTRICAL CLOSET STAIR STAIR STAIR SUITE ELECTRICAL CLOSET STAIR STAIR STAIR STAIR STAIR T - Common Area ROOM NAME	See SUIT 1	HEIGHT	914	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM HM/WG AL/TGL HM/WG HM/WG AL/TGL HM/WG AL/TGL HM/WG	PT	## ATING RATING	FRAMES RATING	PSF	FIN. PF PF PF PF PF PT	7 8 4 4 7 7 7 7 4 4 4 4 4 4 4 4 4 4 4 4	HARDWAR SET NO.	REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	Z. 3. 4. YOIYHAMA Locate on floo Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types Inframes within word plans. al Notes 3' for frame de vo different fram DETAIL 1	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated real on schedule indicates the conditions for that door. concrete wall sealant sealant grout steel to sch grout grout steel to sch	Panel E 7	STY	LE 8	DETA See wall sched.
PARTMENT 2 DOR NO. ROOM NO. EVEL 1 1-110	STAIR - Common Area E ROOM NAME SUITE LOBBY LOBBY LOBBY JANITOR LAUNDRY AMENITY AMENITY AMENITY JANITOR ACCESSIBLE WASHROO WASHROOM STAIR	See SUIT 1	HEIGHT	914	MAT. or Type A1 AL/TGL HM HM AL/TGL AL/TGL AL/TGL HM HM HM HM HM HM HM HM/WG AL/TGL HM/WG HM/WG AL/TGL HM/WG AL/TGL HM/WG	PT	## ATING RATING	## ## ## ## ## ## ## ## ## ## ## ## ##	PSF	FIN. PF PF PF PF PF PT	7 8 4 4 7 7 7 7 4 4 4 4 4 4 4 4 4 4 4 4	8 HARDWAR SET NO. 9	REMARKS Lock, fob, closer, auto operator, enterphone, panic bar Lock, fob, closer, auto operator, panic bar Lock Lock Lock Lock Lock Lock Lock Lock	Z. 3. 4. YOIYHAMA Locate on floo Gener 1. '1 tw	Refer to Floor P Refer to Door S for glazing requ Maximum area Temperature Ris STY The Types In frames within with plans. al Notes 3' for frame de vo different frame DETAIL 1	chedule and Specification irements. of wired glass panel for se doors = .0645 sq.m. Temp Glass Panel LE 6 STYL walls as indicated real on schedule indicates be conditions for that door. concrete wall sealant sealant sealant masonry tie to sch	Panel E 7	STY	LE 8	DETA See wall sched.

Door Schedule General Notes

- 1. See floor plans series A200 for all window and door locations.
- Refer to Specifications in conjunction with Door Schedule for all doors and door hardware.
- Patio doors and operable vents adjacent to patio doors in ground floor dwelling units shall have laminated glass exterior panes.
- Windows, Doors and Skylights shall conform to the requirements of BCBC 5.10.2. Refer to specifications for performance grades.
- Windows in ground floor dwelling units shall conform to the requirements for resistance to forced entry as described in Clause 5.3.5 fo AAMA/WDMA/CSA 101/I.S.2/A440, "NAFS- North American Fenestration Standard/Specification for Windows, Doors and Skylights"
- Refer to Door Functional Summary Spec Section 08 71 00 for door functionality, electronic access and hardware requirements.

Legend

ALUM CH FGL GL HCW HM HM INSUL MR PF PSF SCW STN STL TGL VIN WD

Aluminum Chain link mesh Fibreglass Glass Hollow Core Wood Hollow Metal Hollow Metal Insulated Paint
Prefinished
Pressed Steel Frame
Solid Core Wood

Stained Steel Tempered Glass Vinyl Hollow Core Insulated Wood

eneral Notes											
Refer to Door Schedule for sizes.		ſ	$\check{\mathbf{x}}$ \downarrow		Wired Glass Oog Panel						
Refer to Floor Plans for handing.		(lage				◄	-	-	
Refer to Door Schedule and Specification for glazing requirements.	tion	(NIEKIOK 1500 signage	1500 signage				pocket door	bypass	bypass	
Maximum area of wired glass panel fo Temperature Rise doors = .0645 sq.m	or	:	Z ,	STYLE 1	STYLE 2	STYLE 3	STYL	E 4	STY	/LE 5	
Y Temp Glass Panel	Temp Glass Panel	Temp Glass Panel	EQ EQ	Temp Glass Panel	Temp Gla Panels						
STYLE 6	STYLE 7	STYLE 8	STYLE	N	STYLE 11			TYPE 12			
rame Types			door—	pressec	i steel frame		CLOSET	INTERIOR			
cate frames within walls as indicated floor plans. eneral Notes '1_3' for frame detail on schedule indicativo different frame conditions for that do		 	ETAIL 3		empered glass	varies see wall sched.	DETAIL 6	ж 3 к	(D FIR TI 18 x 12 (D FIR TI		
seala	ant			∕—sealant				seala	50 x 12		
DETAIL 1		varies see wall sch	ETAIL 4	steel door to schedu	frame - refer le for rating	: :	DETAIL 7	ex fra sc	eterior en ame - refe hedule fo		
seal	ant						door	∕— aluminum	n frame		
mas 9 t	steel door frame - refer to schedule for rating	varies wall sched. ∷	······································	,	trim n x width				mpered (

FRAMES

1 HR. 1 HR. PSF

FRAMES

FRAMES

20 MIN. 20 MIN. PSF

VIN VIN PF

VIN PF

VIN PF

WD PT

WD PT

WD PT

WD PT

WD

WD

WD

WD

WD

RATING RATING MAT. FIN.

RATING RATING MAT. FIN. DETAIL SET NO. REMARKS

RATING RATING MAT. FIN. DETAIL SET NO. REMARKS

HARDWARE

HARDWARE

DETAIL SET NO. REMARKS

HARDWARE

Lock, closer

Latch, Deadbolt Latch, Deadbolt

Latch, Deadbolt Latch, Deadbolt

Passage, accessible

Privacy, accessible

Dummy
Dummy
Double Dummy
Dummy, undercut for ventilation

Double Dummy, undercut for ventilation Double Dummy, undercut for ventilation
Double Dummy, undercut for ventilation

Lock Lock

Passage

Dummy Privacy

Bypass

Bypass

Bypass Bypass

Dummy

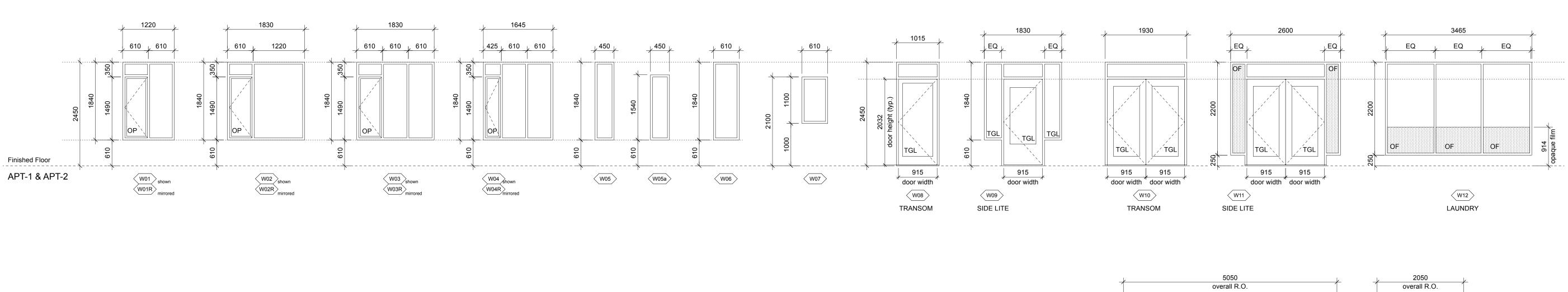
Dummy Dummy

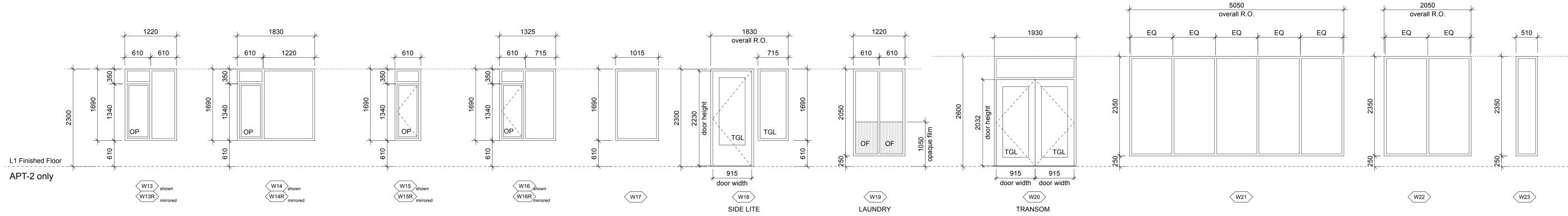
Dummy

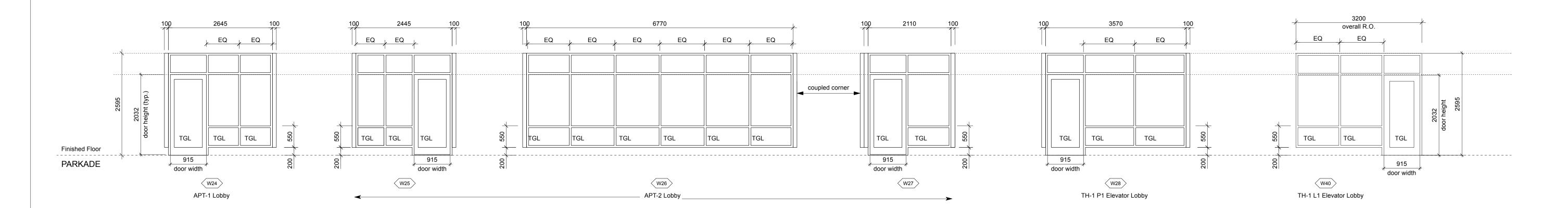
DETAIL 8

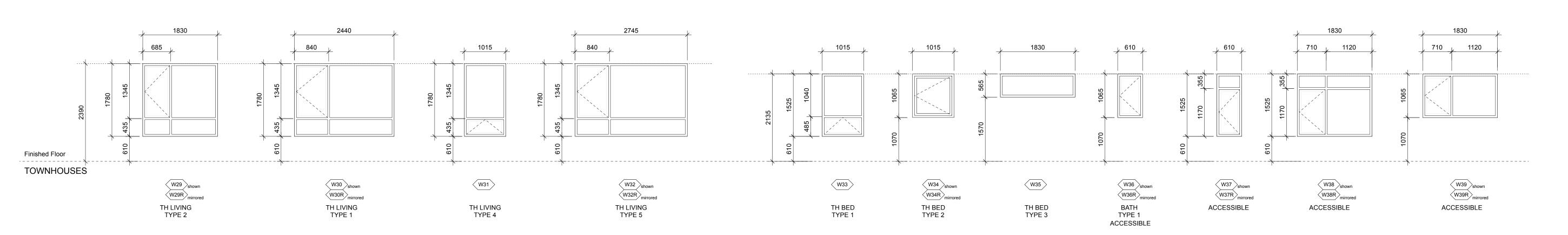
		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A701 Door Schedule.vwx
drawn by		LGF	checked by	CRK
scale		N.T.S.	project number	1907

dHKa	dHK architect
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1.250.658.3367	NANAIMO OFFICE 102-5190 Dublin Wa Nanaimo BC V9T 2K T 1•250•585•5810
project name	
Caledonia	
Victoria BC	
drawing title	
Door Schedule	







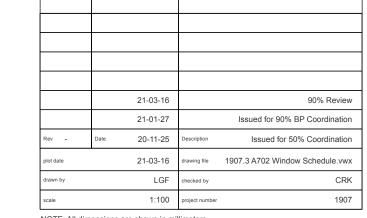


Window Schedule General Notes

- 1. See Floor Plan Series A200 for all window and door locations.
- 2. All windows are shown as viewed from exterior.
- 3. Overall dimensions given are rough openings sizes.
- 4. Dimensions are to centreline of mullion except for window edges (that are to outside of mullion).
- 5. Refer to Specifications in conjunction with Window Schedule.
- 6. Refer to Door Schedule for description of glazed
- 7. All residential suite windows to be charcoal finish on exterior, white finish on interior.
- 8. Contractor to ensure that sill of glass is above 300
- mm AFF if not tempered.
- Operable windows in storeys above the ground floor shall be restricted to a maximum clear opening of not more than 100 mm.
- 10. Patio doors and operable vents adjacent to patio doors in ground floor dwelling units shall have laminated glass exterior panes.
- Windows, Doors and Skylights shall conform to the requirements of BCBC 5.10.2. Refer to specifications for performance grades.
- Windows in ground floor dwelling units shall conform to the requirements for resistance to forced entry as described in Clause 5.3.5 fo AAMA/WDMA/CSA 101/I.S.2/A440, "NAFS- North American Fenestration Standard/Specification for Windows, Doors and Skylights"
- 13. Windows to be structurally designed to resist guard loading when the windows extend lower than 1000 mm above finished floor level and the floor level is more than 600 mm above adjacent ground level.
- 14. Windows in accessible suites to have all operating hardware located between 400mm and 1200mm from finished floor.

LEGEND

- VI = VISION GLASS
- **OP** = OPERABLE WINDOW
- **TGL** = TEMPERED GLASS
- **FG** = FROSTED GLASS
- **MP** = METAL PANEL
- **OF** = OPAQUE FILM (WHITE)



scale			1:1	00)
NOTE: A	II dimensions	are	ehown	in	mil

dHKa	dHK arch	itects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V3K3 T 1 • 250 • 658 • 3367	NANAIMO OFFICE 102-5190 Dub Nanaimo BC V T 1•250•585•8	/9T 2K8
Caledonia		
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Window Sched	ule	
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PARKADE FINISHES

DOOM	DOOM NAME	FLO	OR		NODTU		1	FAOT	WA	LLS	COLITII			WEGT		CEII	LING	DEMARKO
ROOM NO.	ROOM NAME	MAT	FIN	MAT	NORTH FIN	BASE	MAT	EAST FIN	BASE	MAT	SOUTH FIN	BASE	MAT	WEST FIN	BASE	MAT	FIN	REMARKS
	_	•		•		•	•				•				1	•	•	
PARKAD	<u>E</u>	I I		I							1						l	
-	PARKING AREA	CONC	SL	CONC	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	Densifier sealed floor finish. See Specification.
001	ELEVATOR LOBBY	CONC	RES	CONC	GWB	WDB	CONC	GWB	WDB	CONC	GWB	WDB	CONC	GWB	WDB	CONC	GWB	
002	MECHANICAL ROOM	CONC	SL	CBK	UNF	-	CONC	UNF	-	CONC	UNF	-	CBK	UNF	-	CONC	UNF	
003	SUB-ELECTRICAL RM.	CONC	SL	СВК	UNF	-	CBK	UNF	-	CBK	UNF	-	СВК	UNF	-	CONC	UNF	
004	ELEVATOR LOBBY	CONC	RES	CONC	GWB	FCB	CONC	GWB	FCB	CONC	GWB	FCB	CONC	GWB	FCB	CONC	GWB	
005	GARB. & REC.	CONC	SL	СВК	UNF	-	CONC	UNF	-	CBK	UNF	-	СВК	UNF	-	CONC	UNF	
006	TH-1 ELEV. LOBBY	RES	-	CONC	GWB	RES	CONC	GWB	RES	CONC	GWB	RES	CONC	GWB	RES	CONC	GWB	
007	STORAGE	CONC	SL	CONC	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	
008	ELECTRICAL ROOM	CONC	SL	CONC	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	
009	BICYCLE ROOM	CONC	SL	СВК	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	Chain link fencing on east side. See Floor Plans and Specifications.
010	BICYCLE ROOM	CONC	SL	CONC	UNF	-	-	-	-	CONC	UNF	-	CONC	UNF	-	CONC	UNF	Chain link fencing on east side. See Floor Plans and Specifications.
011	BICYCLE ROOM	CONC	SL	CONC	UNF	-	CONC	UNF	-	CBK	UNF	-	CONC	UNF	-	CONC	UNF	Chain link fencing on north and east sides. See Floor Plans and Specifications.
012	CRHC STORAGE	CONC	SL	СВК	UNF	-	СВК	UNF	-	CONC	UNF	-	СВК	UNF	-	CONC	UNF	
EL-1	ELEVATOR CAB #1	CONC	TRS	SS	HPL	MTL	SS	HPL	MTL	SS	SS	MTL	SS	HPL	MTL	SS	HPL	See Specification.
EL-2	ELEVATOR CAB #2	CONC	TRS	SS	SS	MTL	SS	HPL	MTL	SS	HPL	MTL	SS	HPL	MTL	SS	HPL	See Specification.
EL-3	ELEVATOR CAB #3	CONC	TRS	SS	HPL	MTL	SS	HPL	MTL	SS	HPL	MTL	SS	SS	MTL	SS	HPL	See Specification.
ST-01	STAIR #1	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Johnsonite Vinyl Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-03	STAIR #2	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Johnsonite Vinyl Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-05	STAIR #5	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Johnsonite Vinyl Stair System treads, risers, landings and tactile warning strips. See Specifications.

APARTMENT 1 - COMMON AREA FINISHES

		FLOOR	, L						WA	LLS						CEII	LING	
ROOM NO.	ROOM NAME		FIN	MAT	NORTH FIN	BASE	MAT	EAST FIN	BASE	MAT	SOUTH FIN	BASE	MAT	WEST FIN	BASE	MAT		REMARKS
NO.		IVIAT	LIIA	IVIAI	FIIN	DASE	IVIAI	FIIN	DAGE	IVIA	FIIN	DASE	IVIA	FIIN	DASE	IVIAT	FIIN	
	ENT 1 - COMMON AREAS COMMON AREAS																	
LEVEL	COMINION AREAS																	
112	VESTIBULE	CONC	TL	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
113	LOBBY	CONC F	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
114	LAUNDRY ROOM	CONC	SF	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	
115	VESTIBULE	CONC	TL	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
116	JANITOR'S ROOM	CONC	SF	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Rigid vinyl sheet wall protector. See Specification & 5/A954 & 4/A956.
117	CORRIDOR	CONC F	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
118	CORRIDOR	CONC F	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-01	STAIR #1	WD F	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-02	STAIR #2	WD F	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
LEVEL 2 -	COMMON AREAS																	
		CONC	05	OM/D	DT	DWD.	OMD	DT	D)A/D	O)A/D	DT	DWD	OMD	DT	DVVD	OMD	DT	
213	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
214	CORRIDOR	CONC F	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
215	CORRIDOR	CONC F	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-01	STAIR #1	WD F	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
					DT									DT				
ST-02	STAIR #2	WD F	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
LEVEL 3 -	COMMON AREAS	· · · · · · · · · · · · · · · · · · ·				<u> </u>	<u> </u>					<u> </u>	<u> </u>		1	1		
313	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
314	CORRIDOR	CONC F	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
315	CORRIDOR	CONC F	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-01	STAIR #1	WD F	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-02	STAIR #2	WD F	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
I EVEL A	COMMON AREAS																	
410	ELECTRICAL ROOM	CONC	SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
411	CORRIDOR	CONC F	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
412	CORRIDOR	CONC F	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
																		Tarkott Dubbar Stair System treads, risers, landings and tastile warning string. One One sites the re-
ST-01	STAIR #1	WD F	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB		Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-02	STAIR #2	WD F	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.

SHEET NOTES

- Refer to Detail Plans and Interior Elevations for room finish labels and specific finish locations.
- 2. See Specification for complete finish information.
- Refer to BC Housing Design Guidelines and Construction Standards 2019 as required.
- Any substitutions shall be subject to approval by the architect.
- Materials listed herein are for design intent. Warranties are to be supplied by the manufacturer and installer.

ABBREVIATIONS

CONC Concrete
CBK Concrete Block
CPT Carpet
FCB Flash Cove Base
GWB Gypsum Wall Board
HPL High Pressure Laminate
MTL Metal
PT Paint
RBF Rubber Floor Tile
RWB Rubber Wall Base
RES Resilient Sheet Flooring
TRS Textured Rubber Sheet Flooring
SF Sheet Safety Flooring
SL Sealer
SS Stainless Steel
UNF Unfinished
WDB Solid Wood Base

		21-03-16		90% Review
Rev -	Date	21-01-27	Description	Issued for 90% BP Coordinatio
plot date		21-03-16	drawing file	1907.3 A703 Finishes Schedule.vw
drawn by		NLC	checked by	CRI
scale		1:50	project number	190
NOTE: All d	imonoiono (aro obowa in mil	limetere	

NOTE: All dimensions are shown in millimeters.

- dHKa	dHKarchitects
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Caledonia Victoria BC

Finishes Schedule

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APARTMENT 2 - COMMON AREA FINISHES

		FLOOR	1					WA	LLS						CEII	LING	
ROOM NO.	ROOM NAME	MAT FIN	MAT	NORTH FIN	I BASE	MAT	EAST FIN	BASE	MAT	SOUTH FIN	BASE	MAT	WEST FIN	BASE		FIN	REMARKS
-	ENTO COMMON AREAC	1407.11	1717 (1	1 (Brice	1717 (1	1 11 4	Briol	1717 (1	1 111	D/ (OL	100 (1	1 (D/ (OL	1717 (1	1 11 4	
	ENT 2 - COMMON AREAS - COMMON AREAS																
111	VESTIBULE	CONC TL	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
112	JANITOR'S ROOM	CONC SF	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB		Integral flash coved base. Rigid vinyl sheet wall protector. See Specification & 5/A954 & 4/A956.
113	LAUNDRY ROOM	CONC SF	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Homogeneous sheet vinyl flooring with integral flash coved base.
114	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
115	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
	STAIR #4						DT										
ST-04		WD RBF	GWB	PT	RWB	GWB	РІ	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
LEVEL 1	- AMENITY SPACE		1														
116	AMENITY	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
117	JANITOR'S ROOM	CONC SF	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Integral flash coved base. Rigid vinyl sheet wall protector. See Specification & 5/A954 & 4/A956.
118	ACCESSIBLE W/R	CONC RES	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Slip-resistant vinyl sheet flooring.
119	WASHROOM	CONC RES	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Slip-resistant vinyl sheet flooring.
120	WASHROOM	CONC RES	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	FCB	GWB	PT	Slip-resistant vinyl sheet flooring.
121	KITCHEN	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
LEVEL 2	- COMMON AREAS																
211	ELECTRICAL ROOM	CONC SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
212	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
213	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-04	STAIR #4	WD RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
LEVEL 3	- COMMON AREAS		1		1							· · · · · · · · · · · · · · · · · · ·			1		
313	ELECTRICAL ROOM	CONC SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
314	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
315	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-04	STAIR #4	WD RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
	- COMMON AREAS																
	ELECTRICAL ROOM	CONC SF	GWB	DT	RWB	GWB	PT	RWB	GWB	DT	RWB	GWB	PT	RWB	GWB	PT	
413				PT						PT							
414	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
415	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB		PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-04	STAIR #4	WD RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
LEVEL 5	- COMMON AREAS	· · · · · · · · · · · · · · · · · · ·	<u> </u>														
510	ELECTRICAL ROOM	CONC SF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	
511	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
512	CORRIDOR	CONC RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-03	STAIR #3	WD RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
ST-04	STAIR #4	WD RBF	GWB		RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT		GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.
51 UT	O D MIX IIT	1101	V V D	<u>, , , , , , , , , , , , , , , , , , , </u>		O 1 1 D						U11D			U11D		

TOWNHOUSE 1 -COMMON AREA FINISHES

		FLC	ND						VVA	LLO						CEII	LING	
ROOM	ROOM NAME	FLC	OK		NORTH			EAST			SOUTH			WEST			LING	REMARKS
NO.		MAT	FIN	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	
TOWNHO	OUSE 1 - COMMON AREAS																	
LEVEL 1																		
114	TH 1 LOBBY	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	
ST-05	STAIR #5	WD	RBF	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	RWB	GWB	PT	Tarkett Rubber Stair System treads, risers, landings and tactile warning strips. See Specifications.

SHEET NOTES

- Refer to Detail Plans and Interior Elevations for room finish labels and specific finish locations.
- 2. See Specification for complete finish information.
- Refer to BC Housing Design Guidelines and Construction Standards 2019 as required.
- Any substitutions shall be subject to approval by the architect.
- Materials listed herein are for design intent.
 Warranties are to be supplied by the manufacturer and installer.

ABBREVIATIONS

CONC Concrete
CBK Concrete Block
CPT Carpet
FCB Flash Cove Base
GWB Gypsum Wall Board
HPL High Pressure Laminate
MTL Metal
PT Paint
RBF Rubber Floor Tile
RWB Rubber Wall Base
RES Resilient Sheet Flooring
TRS Textured Rubber Sheet Flooring
SF Sheet Safety Flooring
SL Sealer
SS Stainless Steel
UNF Unfinished
WDB Solid Wood Base

		21-03-16		90% Revie
Rev -	Date	21-01-27	Description	Issued for 90% BP Coordination
plot date		21-03-16	drawing file	1907.3 A703 Finishes Schedule.vv
drawn by		NLC	checked by	CF
scale		1:50	project number	190

NOTE: All dimensions are shown in millime

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Victoria BC

Finishes Schedule

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UNIT FINISHES

		FLC)OP						WA	LLS						CEI	LING	
ROOM	ROOM NAME	FLC	JOK		NORTH			EAST			SOUTH			WEST]	LING	REMARKS
		MAT	FIN	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	BASE	MAT	FIN	
UNITS																		
	GENERAL SPACES	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	Vinyl plank flooring.
	WASHROOMS (TYP.)	CONC	RES	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	Slip-resistant vinyl sheet flooring.
	ACC. WASHROOMS	CONC	TL	GWB	PT	TL	GWB	PT	TL	GWB	PT	TL	GWB	PT	TL	GWB	PT	
	BEDROOMS	CONC	CPT	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	WDB	GWB	PT	Low pile carpet in accessible units.

INTERIOR MATERIALS & FINISHES

TAG	LOCATION	DESCRIPTION	MANUFACTURER/SERIES		COLOUD NAME	FINISH	REMARKS
IAG	LOCATION	DESCRIPTION	MANOTACTORER/SERIES	POLOGIK/MIODEL	COLOUR NAME	TIMOTI	INLIMIATING
WAL	_S						
	Common area walls (Vestibules, Corridors, Electrical Closets)	Painted GWB	Cloverdale Paints	t.b.d.	t.b.d.	egg shell	
	W1 doors and trims	Painted GWB	Cloverdale Paints	t.b.d.	t.b.d.	semi-gloss	
	Laundry Room and Janitor's Room walls	Painted GWB	Cloverdale Paints	t.b.d.	t.b.d.	egg shell	
	W2 doors and trims	Paint	Cloverdale Paints	t.b.d.	t.b.d.	semi-gloss	
	Amenity Room walls	Painted GWB	Cloverdale Paints	t.b.d.	t.b.d.	egg shell	
W6	Amenity Room Janitor's Closet and Washroom walls	Painted GWB	Cloverdale Paints	t.b.d.	t.b.d.	egg shell	
W7	W5 and W6 doors and trims	Paint	Cloverdale Paints	t.b.d.	t.b.d.	semi-gloss	
W8	Unit walls	Painted GWB	Cloverdale Paints	t.b.d.	t.b.d.	egg shell	
W9	W8 doors and trims	Paint	Cloverdale Paints	t.b.d.	t.b.d.	semi-gloss	
	Janitor's Rooms	Wall Protector	t.b.d.	t.b.d.	t.b.d.		Rigid vinyl sheet wall protector. See Specification & 5/A954 & 4/A956.
W11	Elevator Cab	Laminate	Tyssen Krupp	t.b.d.	t.b.d.	t.b.d.	Laminate as per Tyssen Krupp standard range.
CEIL							
	Common areas ceilings (where indicated)	Painted GWB	Cloverdale Paints	t.b.d.	t.b.d.	flat	
	Unit ceilings and bulkheads	Painted GWB	Cloverdale Paints	t.b.d.	t.b.d.	flat	
C3	Elevator Cab	Stainless Steel	Tyssen Krupp	-	#4	brushed	Ceiling as per Tyssen Krupp standard.
E1 06							
FLOC		On anni a Tila Flana	411	1 1 1	4 11	4 11	Tile fle an abovinte qual coelle off mach (but a blood)
F1	Vestibule	Ceramic Tile Floor	t.b.d.	t.b.d.	t.b.d.	t.b.d.	Tile floor c/w integral walk-off mat (type t.b.d.).
F2	Lobby and Common Corridor	Linoleum Sheet Flooring	t.b.d.	t.b.d.	t.b.d.	t.b.d.	
F3	Elevator Cab	Textured Rubber Sheet Flooring	t.b.d.	t.b.d.	t.b.d.	t.b.d.	
F4	Janitor's Room, Laundry Room and Electrical Closet	Vinyl Safety Sheet Flooring	t.b.d.	t.b.d.	t.b.d.	t.b.d.	Coordinated with John conite Vinyal Chair Cyatem
F5	Stairs	Rubber Floor Tile	Johnsonite	t.b.d.	t.b.d.	t.b.d.	Coordinated with Johnsonite Vinyl Stair System.
F0	Amenity Room	Linoleum Sheet Flooring	t.b.d.	t.b.d.	t.b.d.	t.b.d.	Clin registant
Γ <i>(</i>	Amenity Room Washrooms	Vinyl Sheet Flooring	t.b.d.	t.b.d.	t.b.d.	t.b.d.	Slip-resistant.
F8	General Unit Areas (excluding washrooms and bedrooms)	Vinyl Plank Flooring	t.b.d.	t.b.d.	t.b.d.	t.b.d.	Clin registant
	Unit Washrooms (typ.) Accessible Unit Washrooms	Vinyl Sheet Flooring Ceramic Tile Floor	t.b.d.	t.b.d.	t.b.d.	t.b.d.	Slip-resistant.
	Unit Bedrooms	Caprpet	t.b.d. t.b.d.	t.b.d.	t.b.d. t.b.d.	t.b.d.	Low pile carpet in accessible units.
1 1 1	Onlit bedrooms	Саргрес	t.b.u.	t.D.u.	ι.υ.u.	t.b.d.	Low pile carpet in accessible units.
WΔI	BASE						
B1	Vestibule	Ceramic Tile Base	t.b.d.	t.b.d.	t.b.d.	t.b.d.	Use F1 material. 140mm high.
B2	Lobby and Common Corridor	Painted Solid Wood Base	t.b.d.	t.b.d.	t.b.d.	t.b.d.	19mm x 140mm. See W2.
B3	Elevator Cab	Metal Base	Tyssen Krupp	t.b.d.	t.b.d.		Paint colour as per Tyssen Krupp standard range.
B4	Janitor's Room and Laundry Room	Integral Flash Cove	t.b.d.	t.b.d.	t.b.d.	-	Use F4 material. 140mm high.
B5	Stairs and Electrical Closets	Rubber Wall Base	Johnsonite	t.b.d.	t.b.d.	t.b.d.	Coordinated with Johnsonite Vinyl Stair System.
B6	Amenity Room	Painted Solid Wood Base	t.b.d.	t.b.d.	t.b.d.	t.b.d.	19mm x 140mm. See W7.
B7	Amenity Room Washrooms	Integral Flash Cove	t.b.d.	t.b.d.	t.b.d.	t.b.d.	Use F4 material. 140mm high.
B8	General Unit Areas (excluding washrooms)	Painted Solid Wood Base	t.b.d.	t.b.d.	t.b.d.	t.b.d.	19mm x 89mm. See W9.
B9	Unit Washrooms (typ.)	Painted Solid Wood Base	t.b.d.	t.b.d.	t.b.d.	t.b.d.	19mm x 89mm. See W9.
D10	Accessible Unit Washrooms	Ceramic Tile Base	t.b.d.	t.b.d.	t.b.d.		Use F10 material. 140mm high.

SHEET NOTES

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ABBREVIATIONS

CONC Concrete
CBK Concrete Block
CPT Carpet
FCB Flash Cove Base
GWB Gypsum Wall Board
HPL High Pressure Laminate
MTL Metal
PT Paint
RBF Rubber Floor Tile
RWB Rubber Wall Base
RES Resilient Sheet Flooring
TRS Textured Rubber Sheet Flooring
SF Sheet Safety Flooring
SL Sealer
SS Stainless Steel
UNF Unfinished
WDB Solid Wood Base

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		21-03-16		90% Review
Rev -	Date	21-01-27	Description	Issued for 90% BP Coordination
plot date		21-03-16	drawing file	1907.3 A703 Finishes Schedule.vwx
drawn by		NLC	checked by	CRK
scale		1:50	project number	1907

NOTE: All dimensions are shown in millimeters.



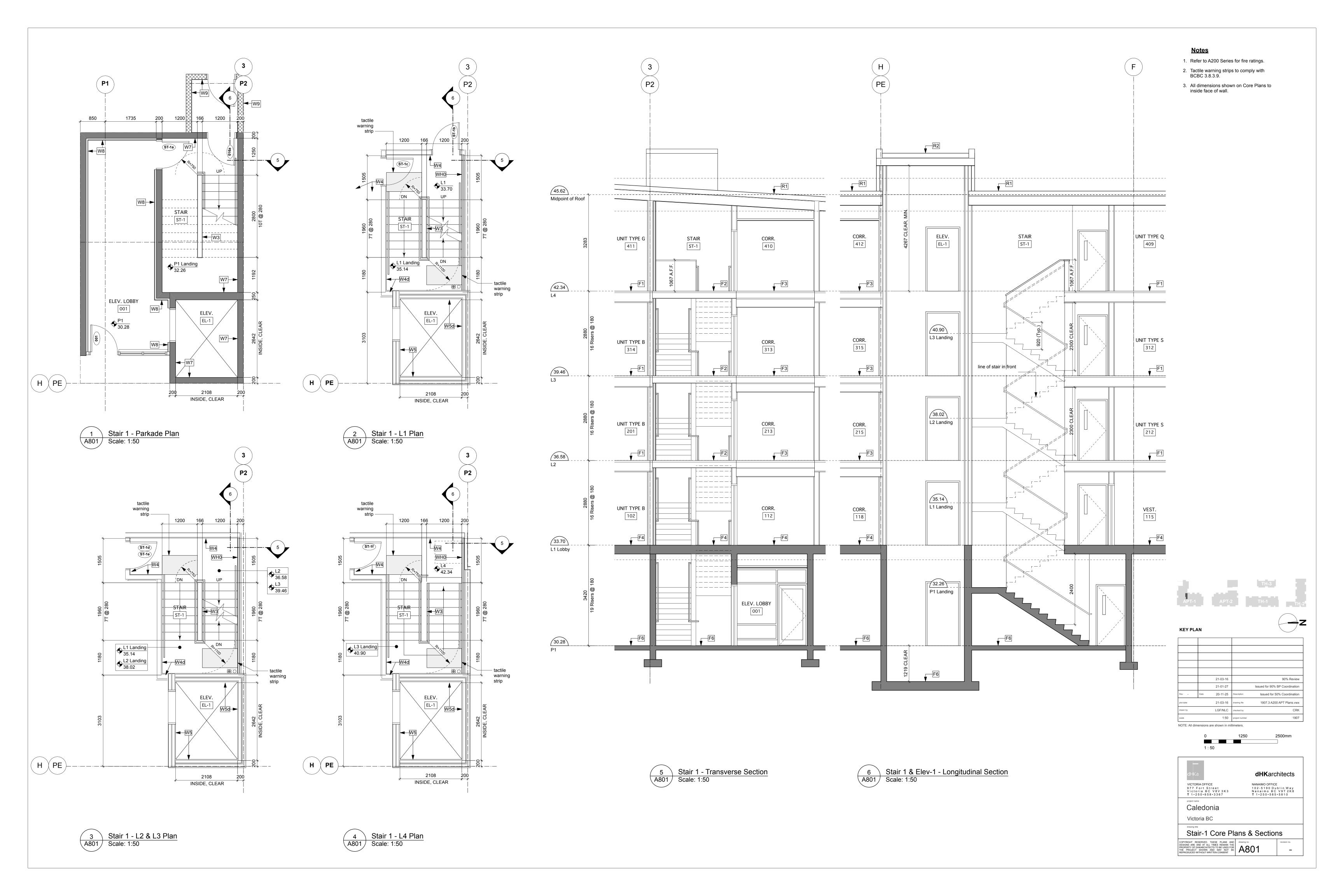
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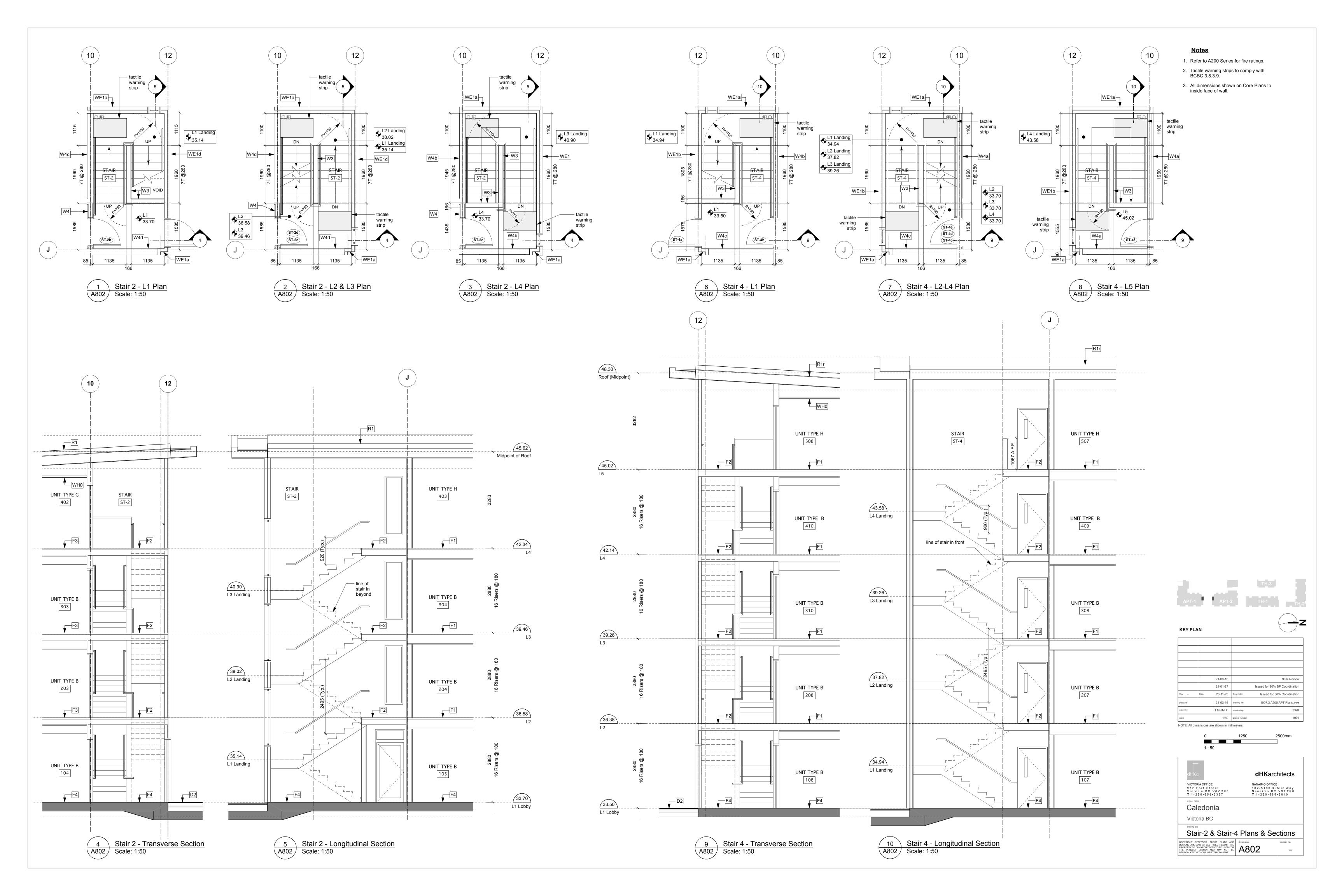
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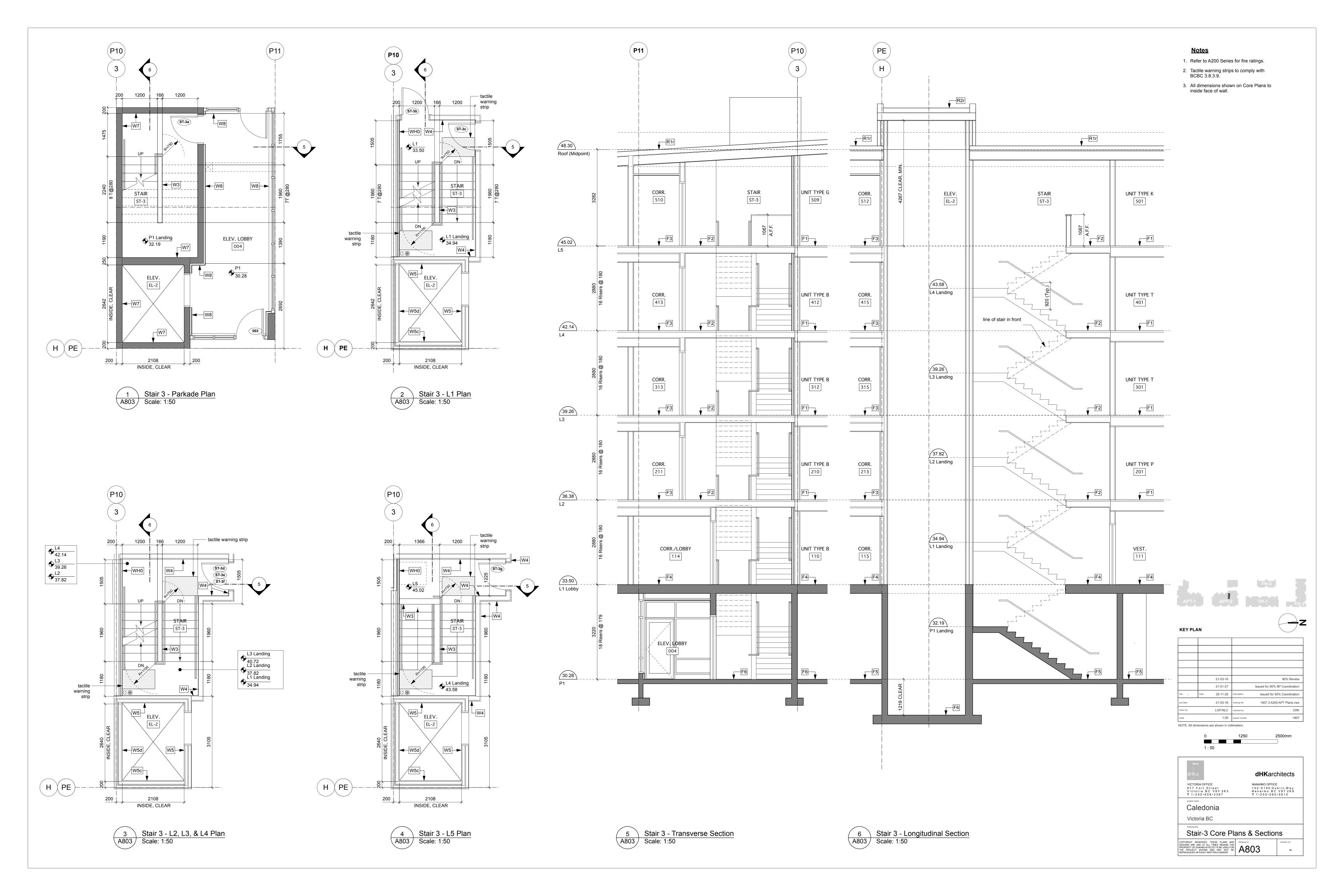
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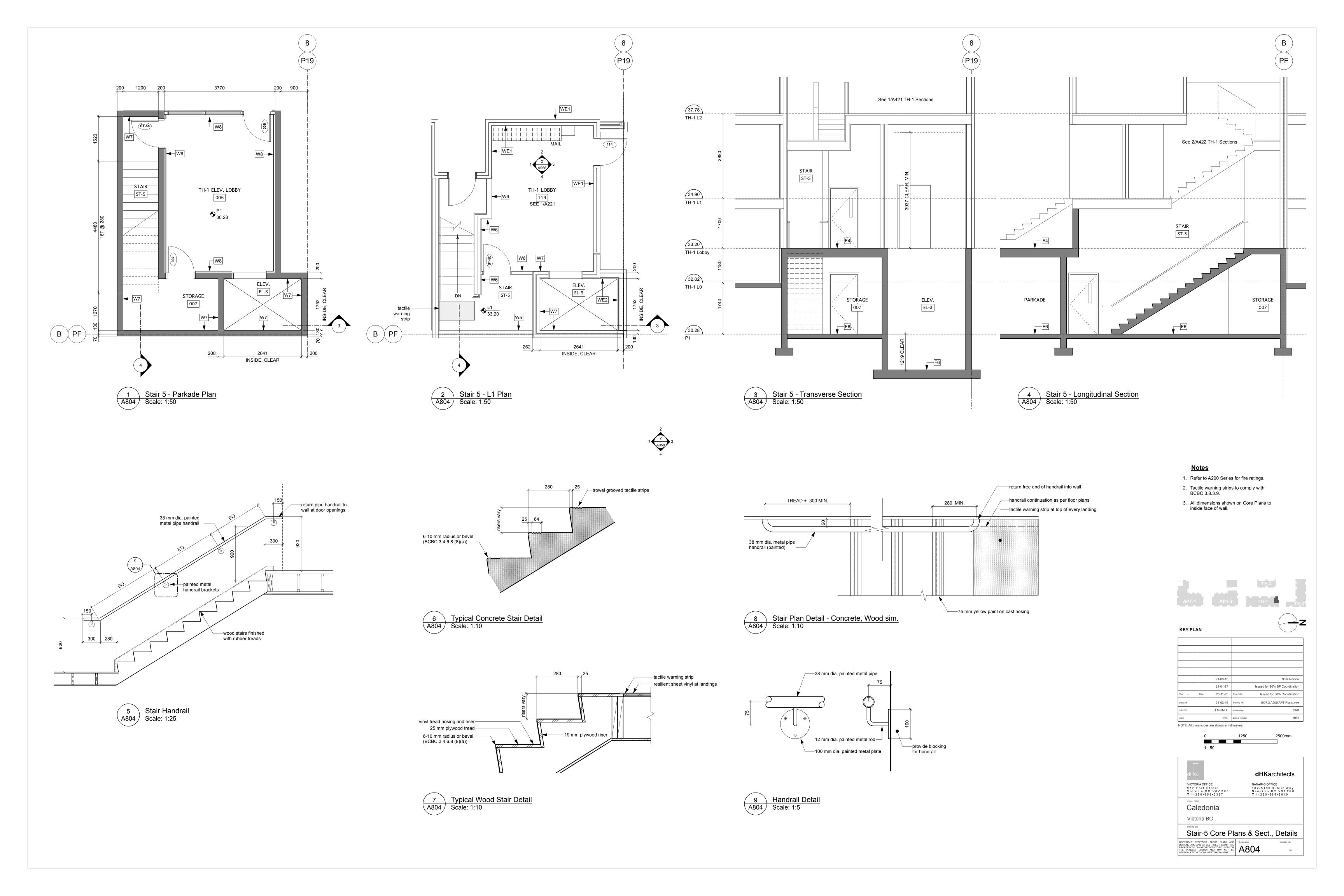
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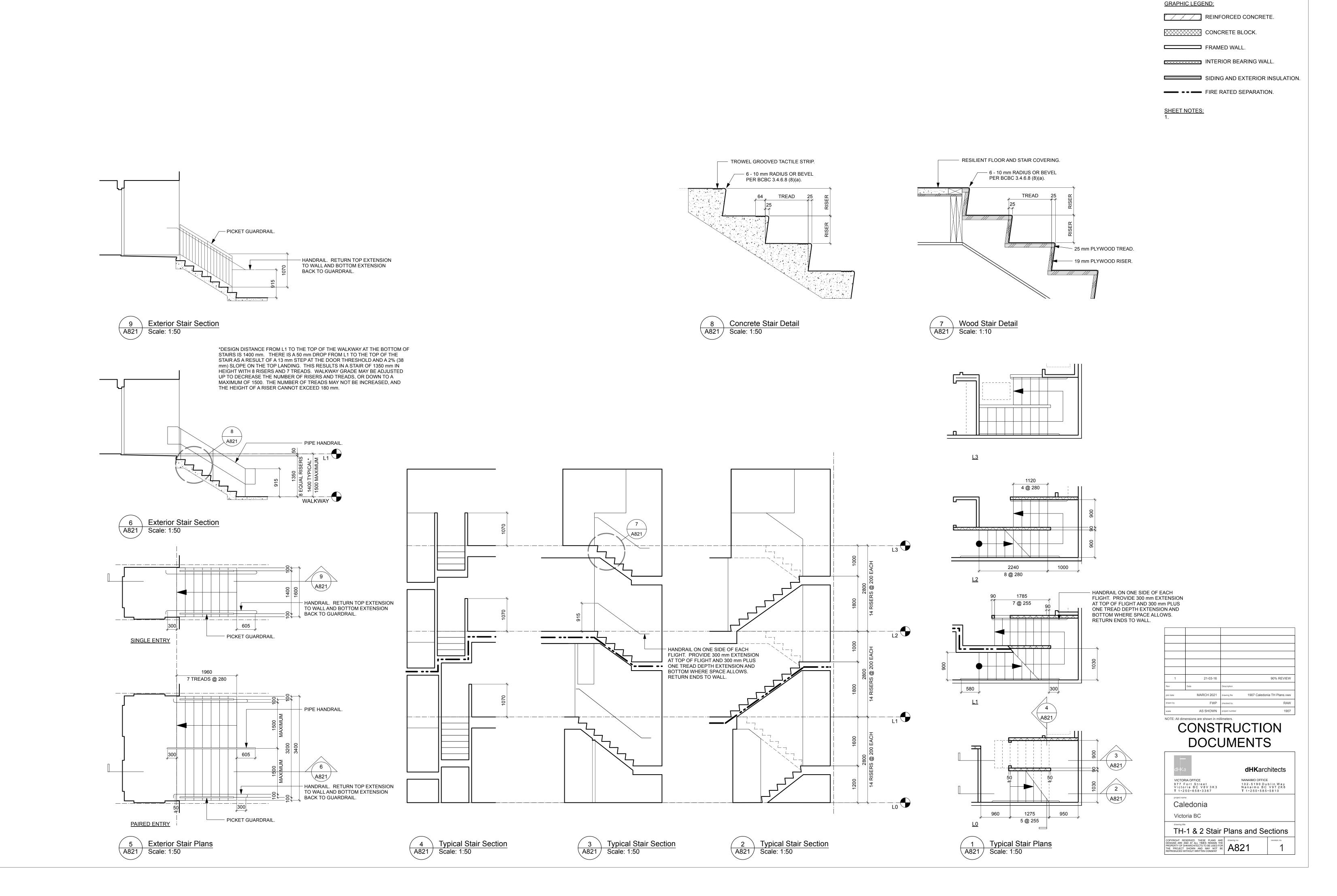
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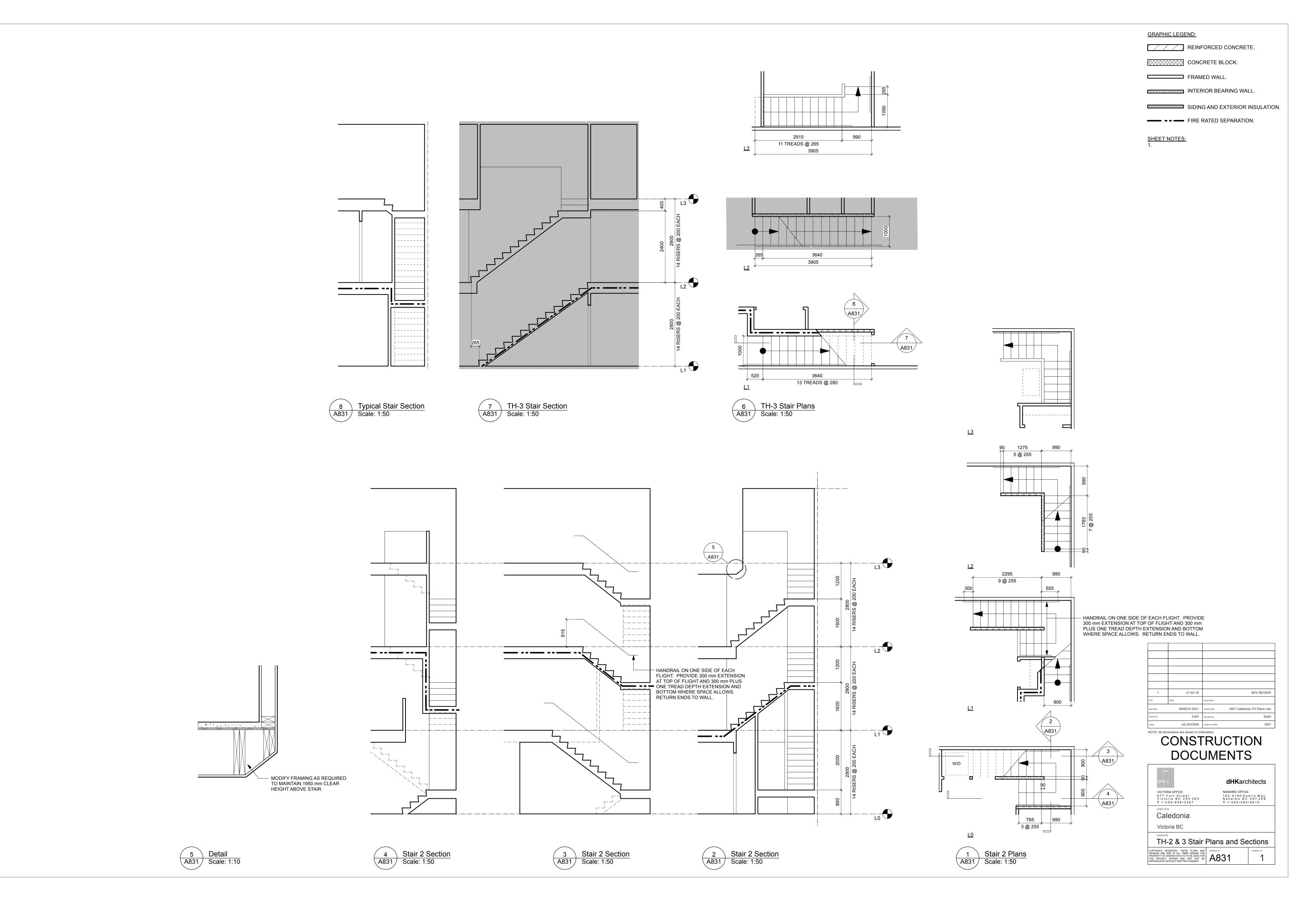


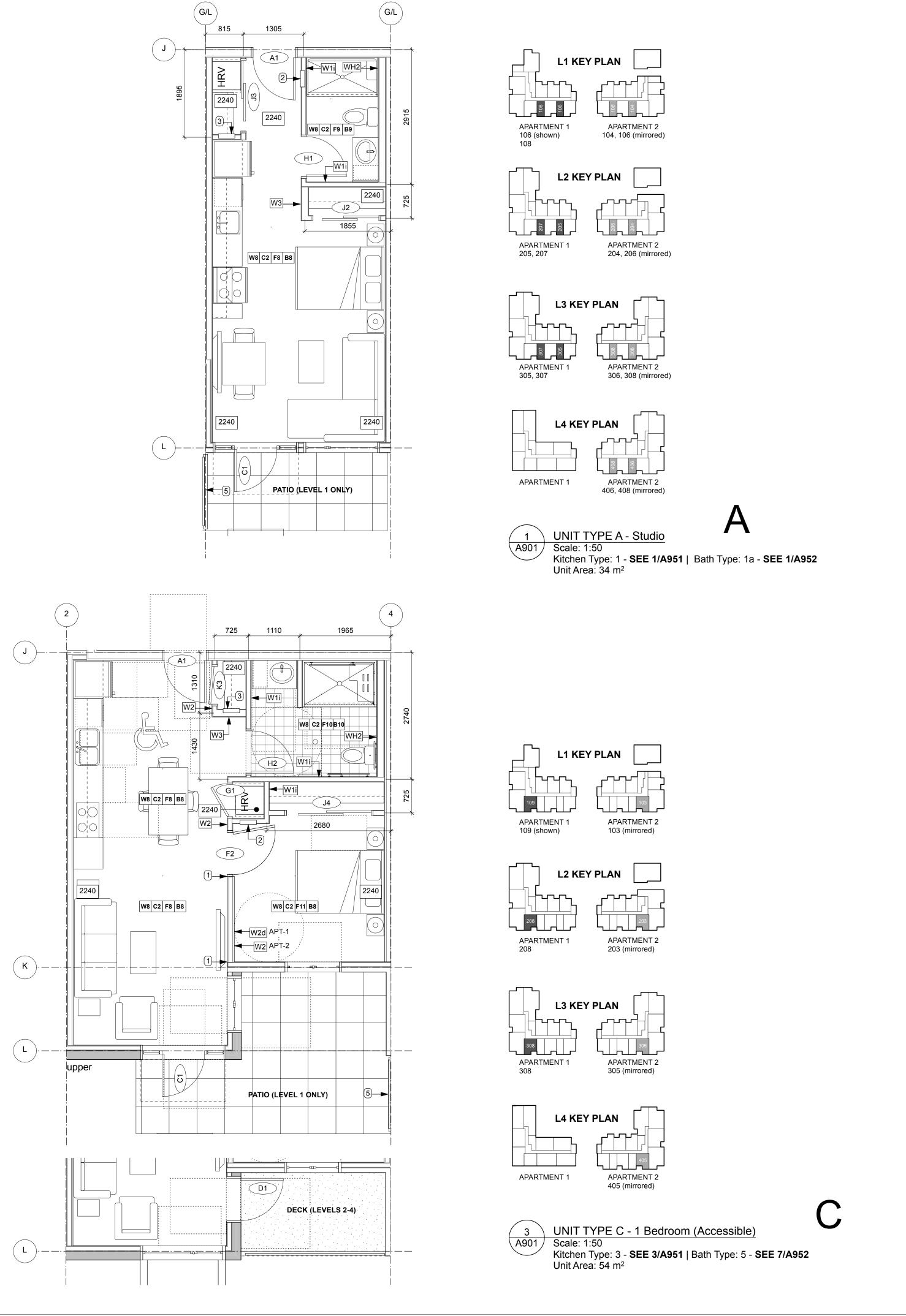


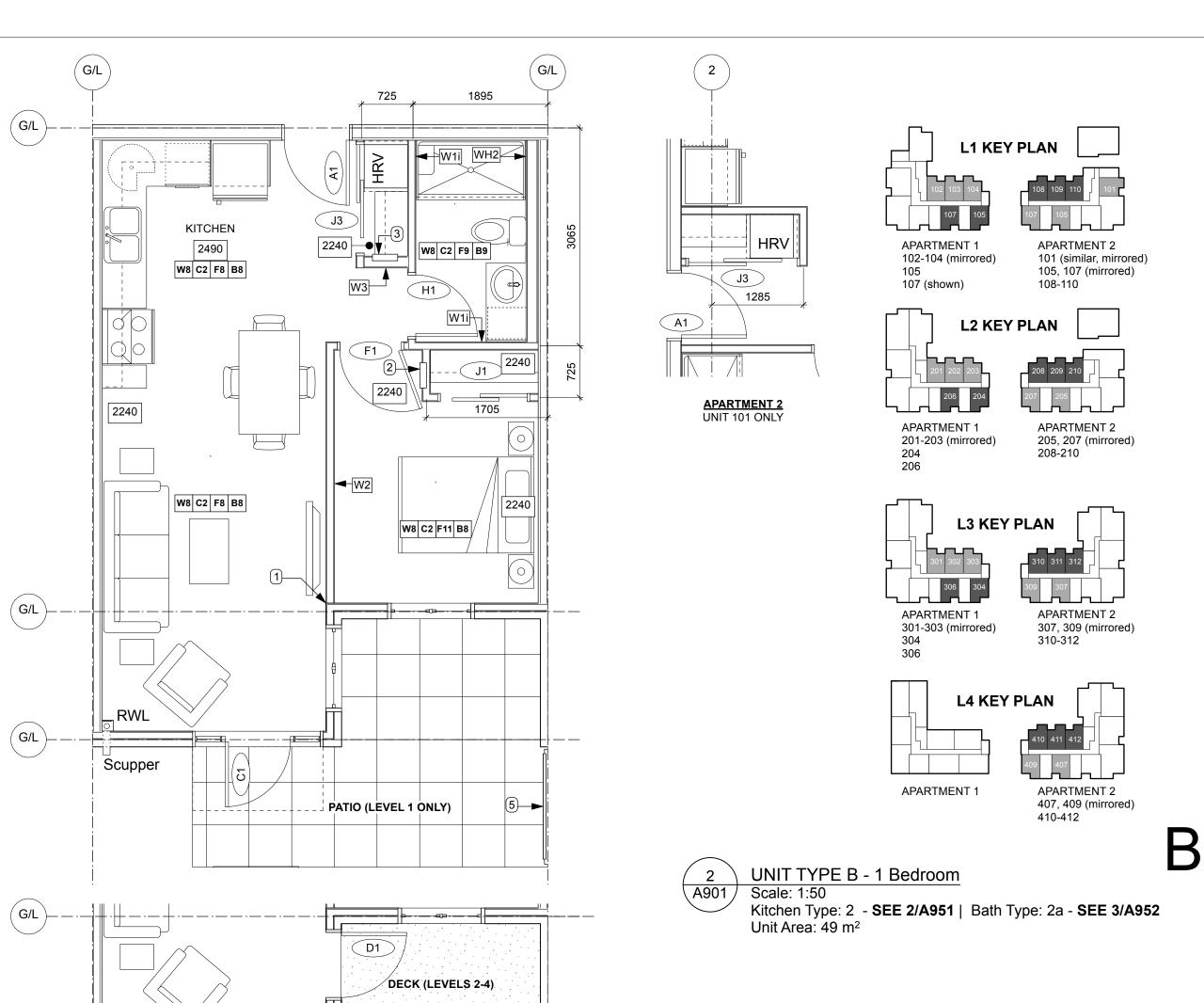


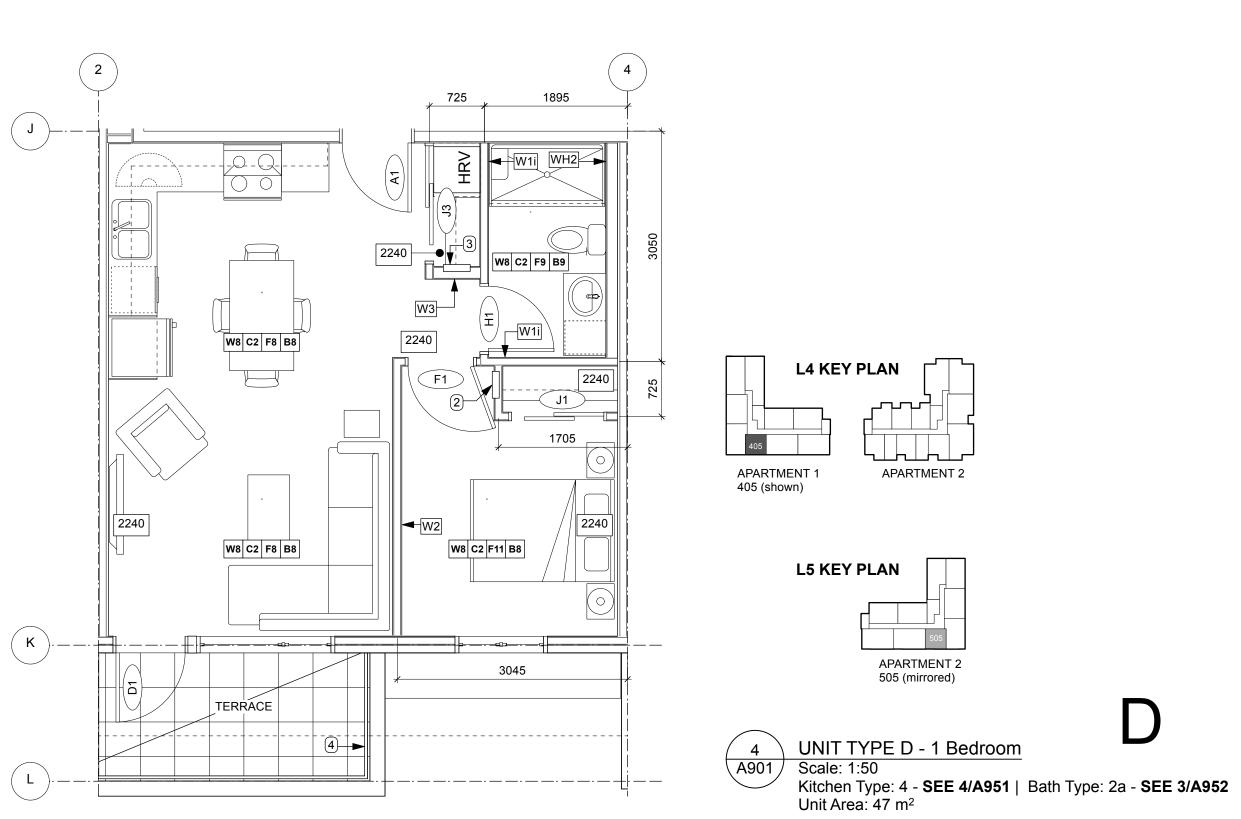












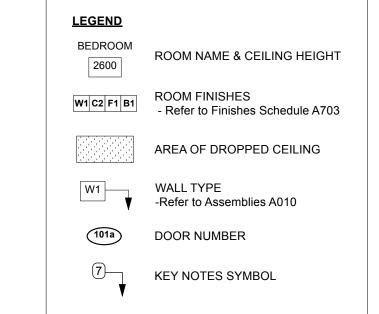
RWL

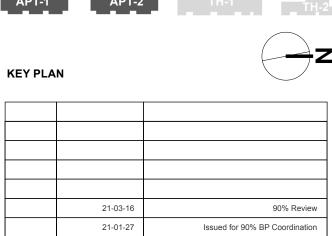


- 1. All dimensions are metric and shown in millimeters.
- 2. Interior dimensions are from grid lines to centre of
- walls, unless noted otherwise. 3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
- discrepancies. 4. All interior suite partitions are type W1, unless noted
- For exterior wall types & dimensions and party/corridor wall dimensions, refer to Floor Plans A201-A241.
- 6. Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted
- otherwise. 7. Water Resistant Gypsum Ceramic Tile Backerboard
- required in place of type "X" GWB at tub & shower 8. Provide appropriate blocking in walls for cabinetry
- and wall hung hardware. 9. Fully insulate wall and ceiling at all locations where
- RWL present. Not all locations may be noted on drawings.
- 10. See Specification and Details for terrace and deck assemblies.
- 11. See Architectural Schedules and Specification for all finishes.
- 12. Install neoprene isolator pads under all laundry

KEY NOTES - UNIT PLANS

- 1 Ensure flush gwb detail at this location.
- 2 Electrical Panel See Electrical
- 3 Tel/CATV Smart Panel see Electrical
- 4 Guard Rail
- 5 Privacy Screen





		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date 21-03-16		drawing file	1907.3 A900 APT Detail Plans.vwx	
drawn by		NLC	checked by	CRK
scale		1:50	project number	1907

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Victoria BC						
APT Unit Plans - 1 Bed						
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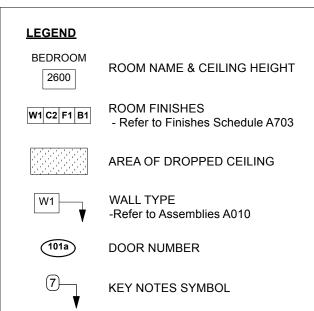


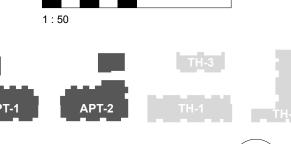
GENERAL NOTES - UNIT PLANS

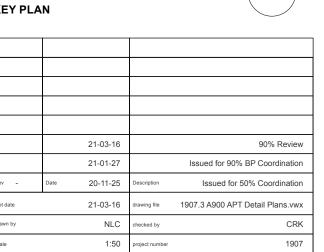
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KEY NOTES - UNIT PLANS

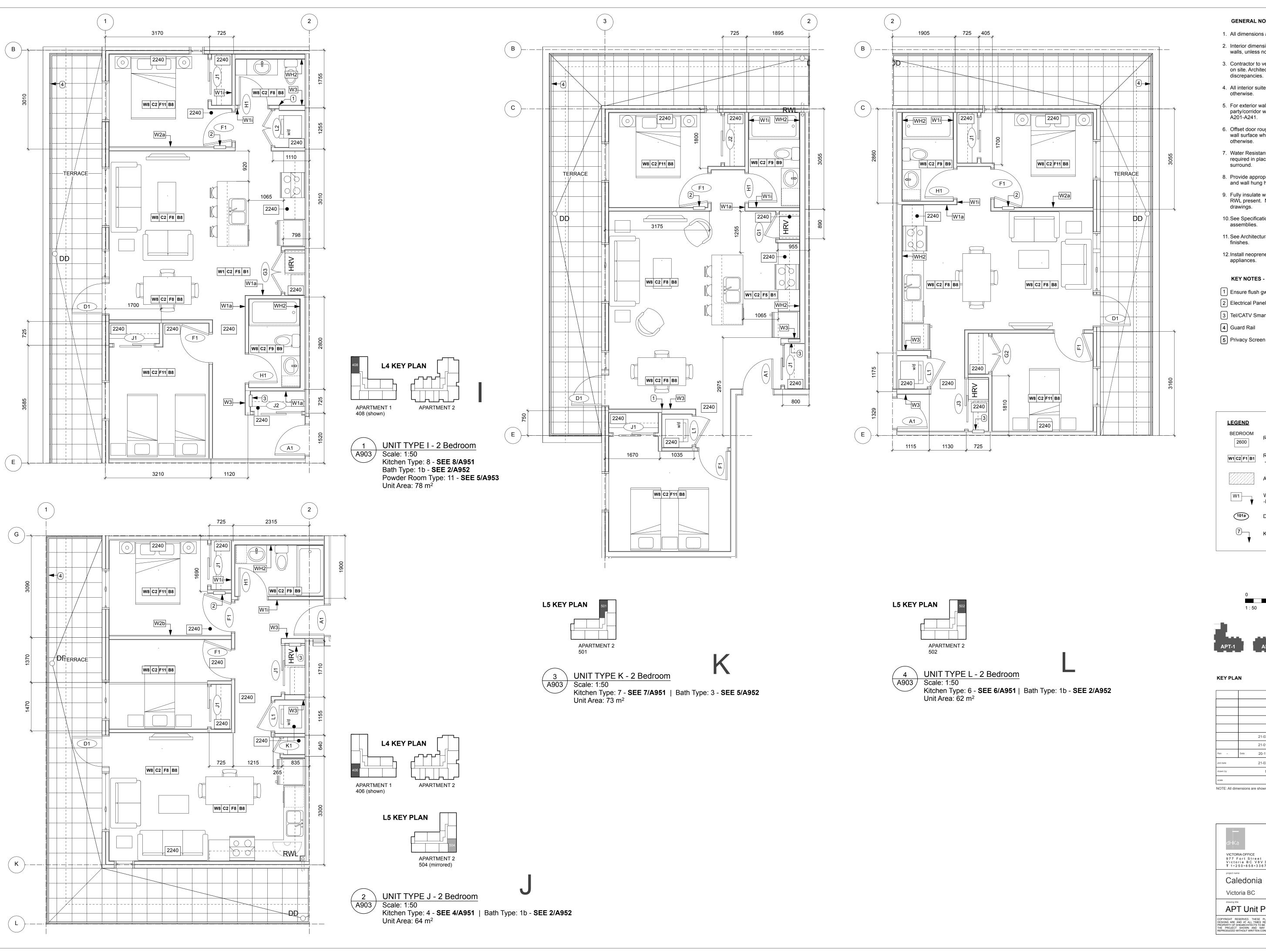
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Caledonia						
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APT Unit Plans - 2 Bed						
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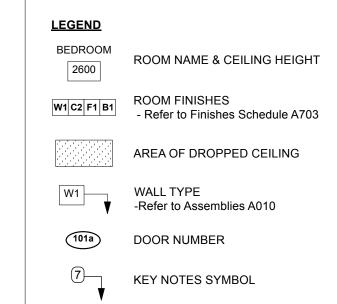


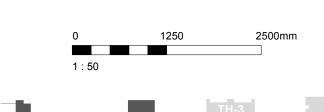
GENERAL NOTES - UNIT PLANS

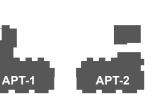
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KEY NOTES - UNIT PLANS

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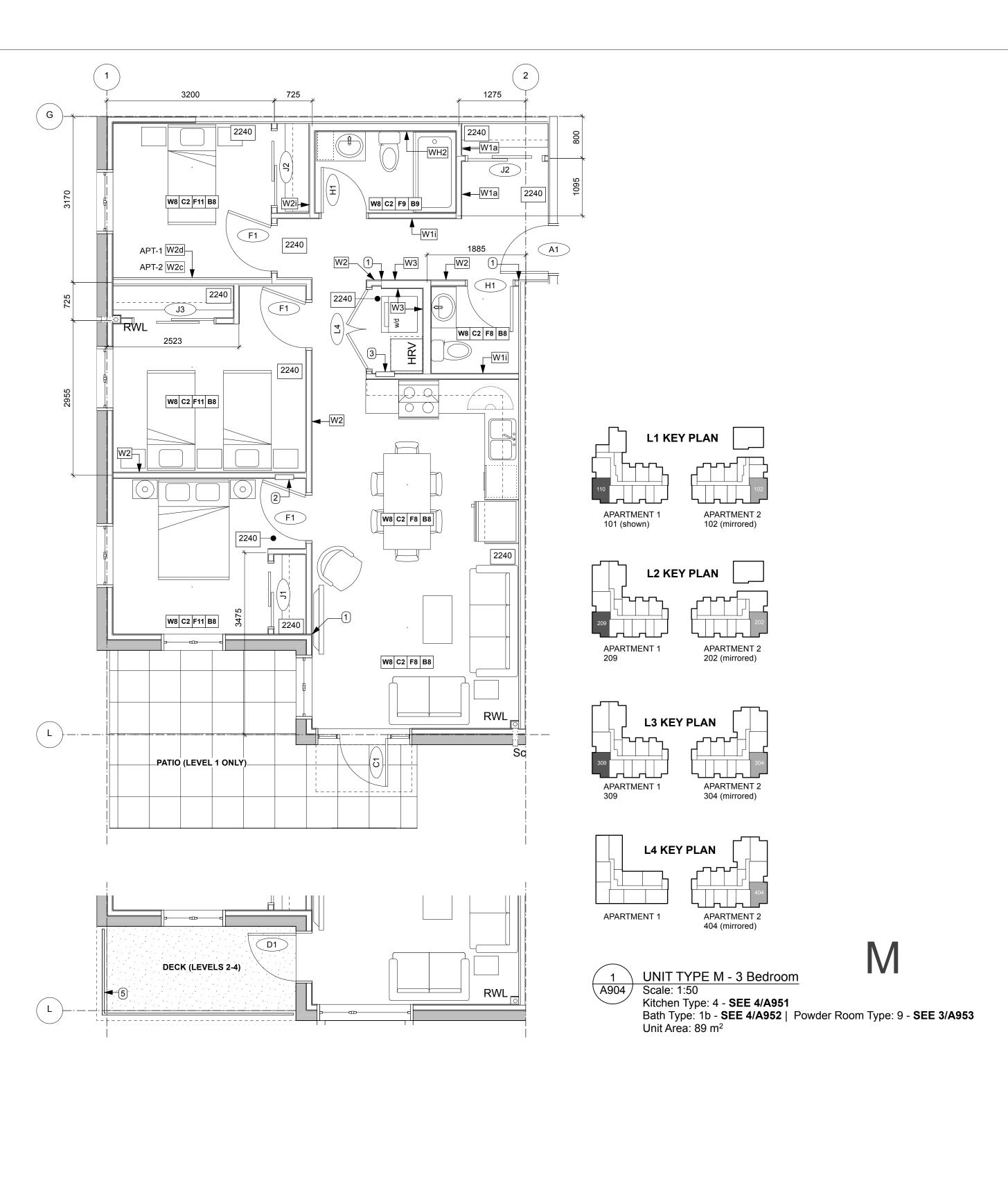


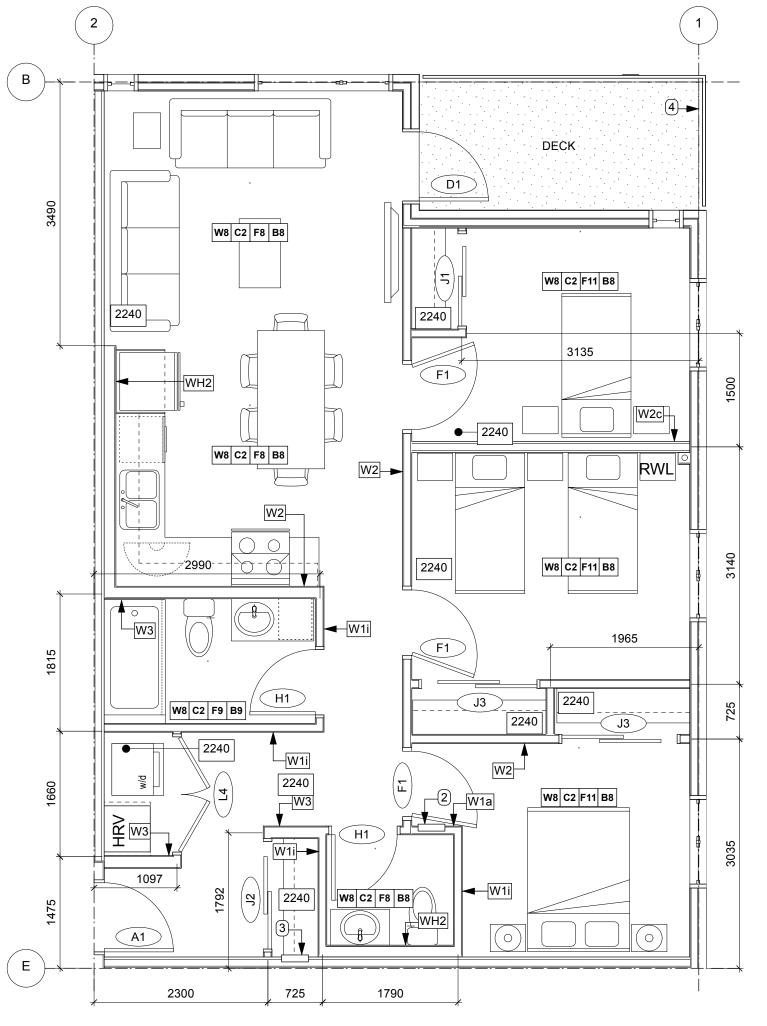


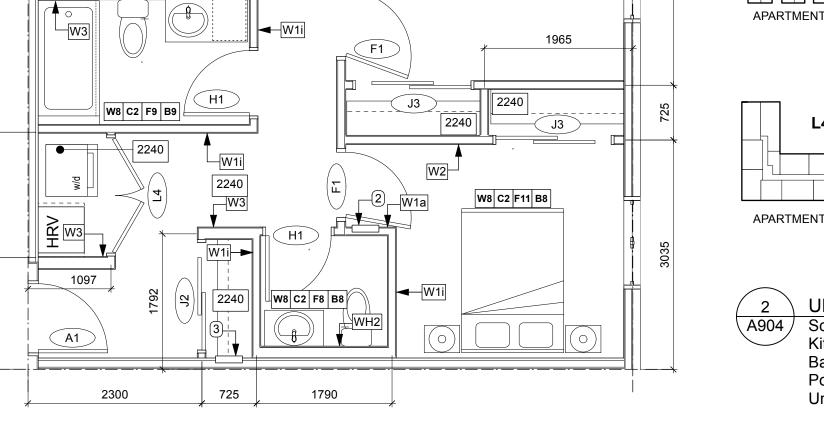


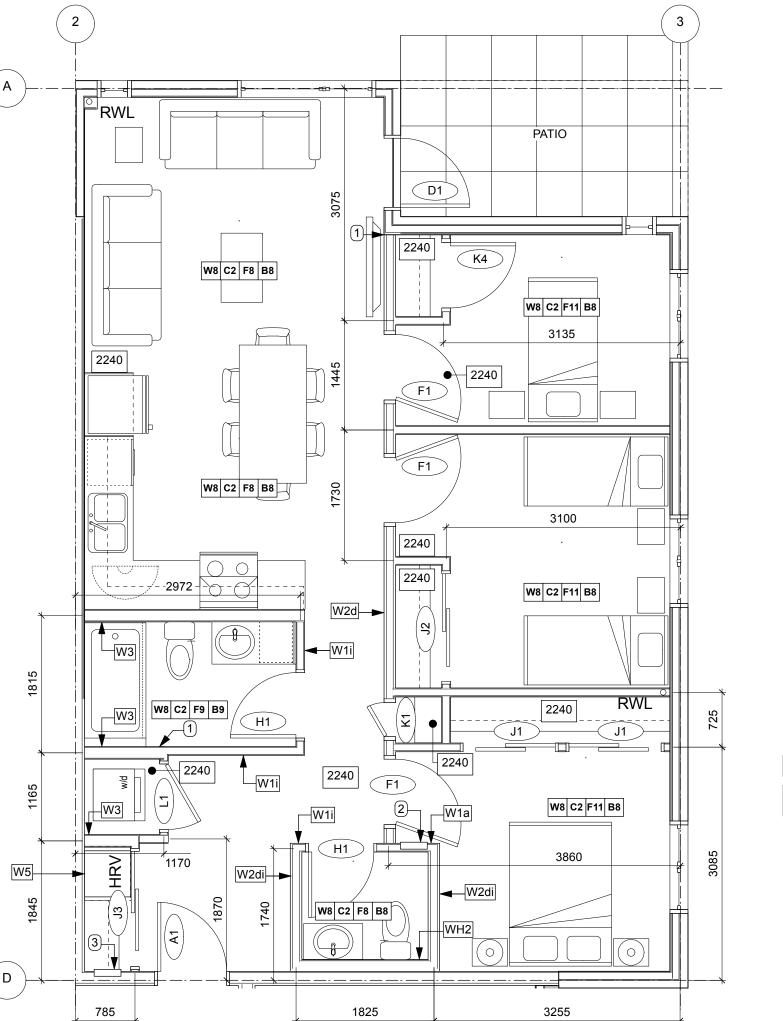
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Rev -	Date	20-11-25	Description	Issued for 50% Coordination
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scale		1:50	project number	1907
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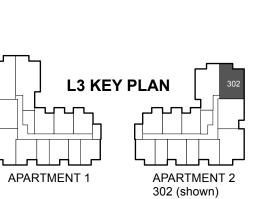
dHKa VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	dHKarci NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1-250-585	blin Way V9T 2K8
project name		
Caledonia		
Victoria BC		
drawing title		
APT Unit Plans	- 2 Bed	
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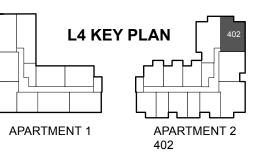


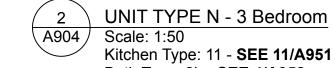












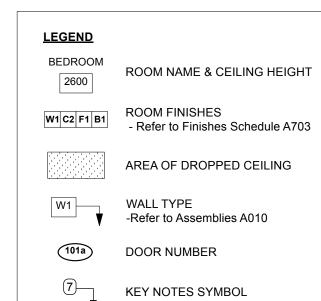
Kitchen Type: 11 - **SEE 11/A951** Bath Type: 2b - **SEE 4/A952** Powder Room Type: 9 - SEE 3/A953 Unit Area: 87 m²

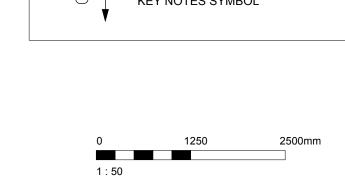
GENERAL NOTES - UNIT PLANS

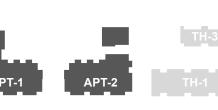
- 1. All dimensions are metric and shown in millimeters.
- 2. Interior dimensions are from grid lines to centre of walls, unless noted otherwise.
- 3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
- discrepancies. 4. All interior suite partitions are type W1, unless noted
- 5. For exterior wall types & dimensions and party/corridor wall dimensions, refer to Floor Plans A201-A241.
- Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted otherwise.
- 7. Water Resistant Gypsum Ceramic Tile Backerboard required in place of type "X" GWB at tub & shower
- Provide appropriate blocking in walls for cabinetry and wall hung hardware.
- 9. Fully insulate wall and ceiling at all locations where RWL present. Not all locations may be noted on drawings.
- 10. See Specification and Details for terrace and deck assemblies.
- 11. See Architectural Schedules and Specification for all finishes.
- 12. Install neoprene isolator pads under all laundry

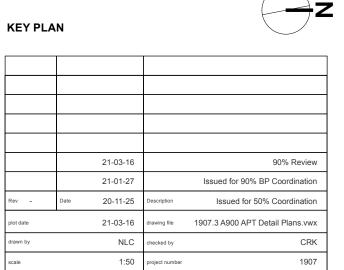
KEY NOTES - UNIT PLANS

- 1 Ensure flush gwb detail at this location.
- 2 Electrical Panel See Electrical
- 3 Tel/CATV Smart Panel see Electrical
- 4 Guard Rail
- 5 Privacy Screen



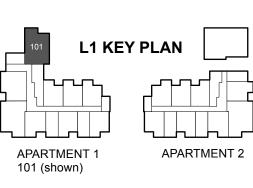




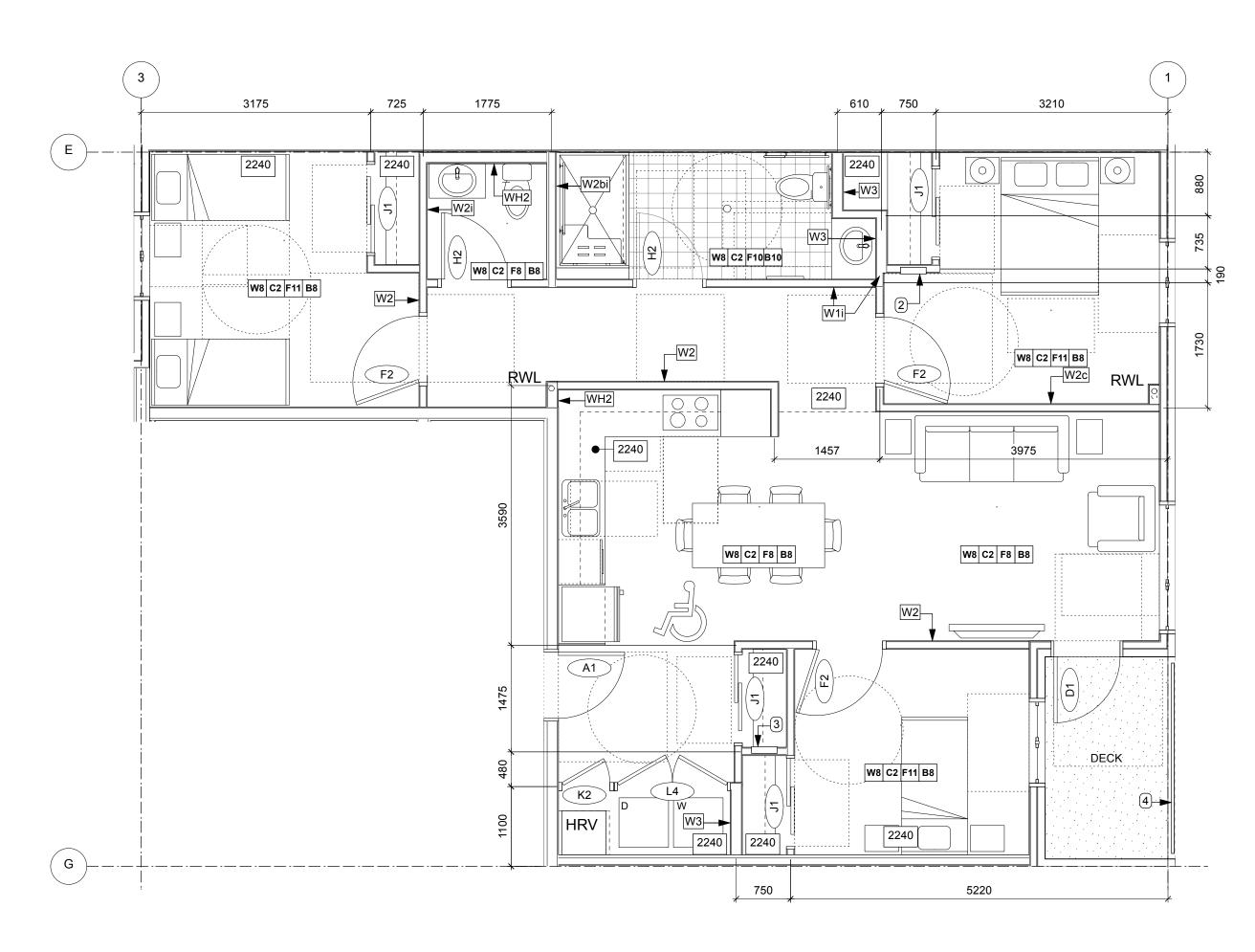


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caledonia		
Victoria BC		
APT Unit Plans	- 3 Bed	
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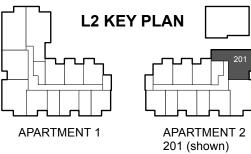
NOTE: All dimensions are shown in millimeters.



UNIT TYPE O - 3 Bedroom A904 Scale: 1:50 Kitchen Type: 4 - SEE 4/A951 Bath Type: 2b - SEE 4/A952 Powder Room Type: 9 - **SEE 3/A953** Unit Area: 88 m²

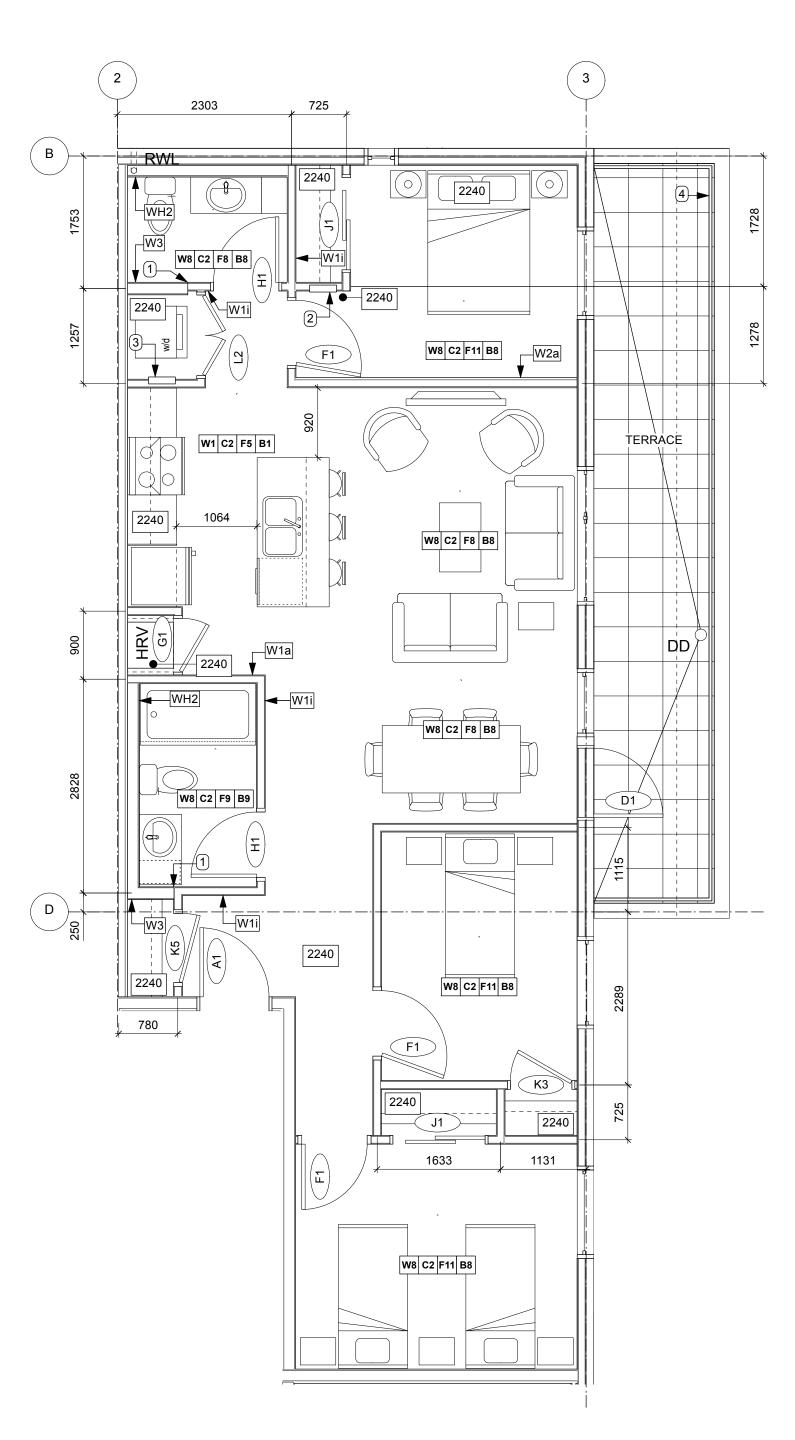


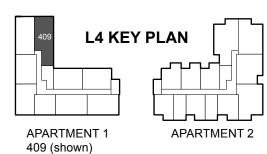
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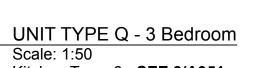


1 UNIT TYPE P - 3 Bedroom (Accessible)

Scale: 1:50
Kitchen Type: 10 - SEE 10/A951
Bath Type: 8 - SEE 1/A953 | Powder Room Type: 9 - SEE 3/A953
Unit Area: 106 m²







A905 Scale: 1:50
Kitchen Type: 8 - SEE 8/A951
Bath Type: 1b - SEE 2/A952 | Powder Room Type: 11 - SEE 5/A953
Unit Area: 89 m²

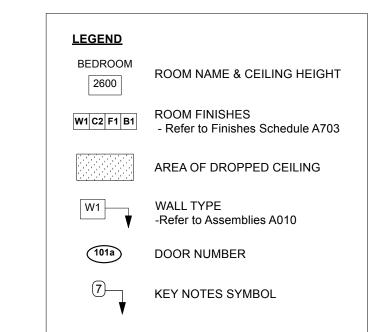
GENERAL NOTES - UNIT PLANS

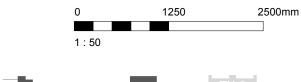
discrepancies.

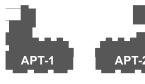
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- 4. All interior suite partitions are type W1, unless noted
- For exterior wall types & dimensions and party/corridor wall dimensions, refer to Floor Plans A201-A241.
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- 7. Water Resistant Gypsum Ceramic Tile Backerboard required in place of type "X" GWB at tub & shower
- Provide appropriate blocking in walls for cabinetry and wall hung hardware.
- Fully insulate wall and ceiling at all locations where RWL present. Not all locations may be noted on drawings.
- 10. See Specification and Details for terrace and deck assemblies.
- 11. See Architectural Schedules and Specification for all finishes.
- 12. Install neoprene isolator pads under all laundry appliances.

KEY NOTES - UNIT PLANS

- 1 Ensure flush gwb detail at this location.
- 2 Electrical Panel See Electrical
- 3 Tel/CATV Smart Panel see Electrical
- 4 Guard Rail
- 5 Privacy Screen







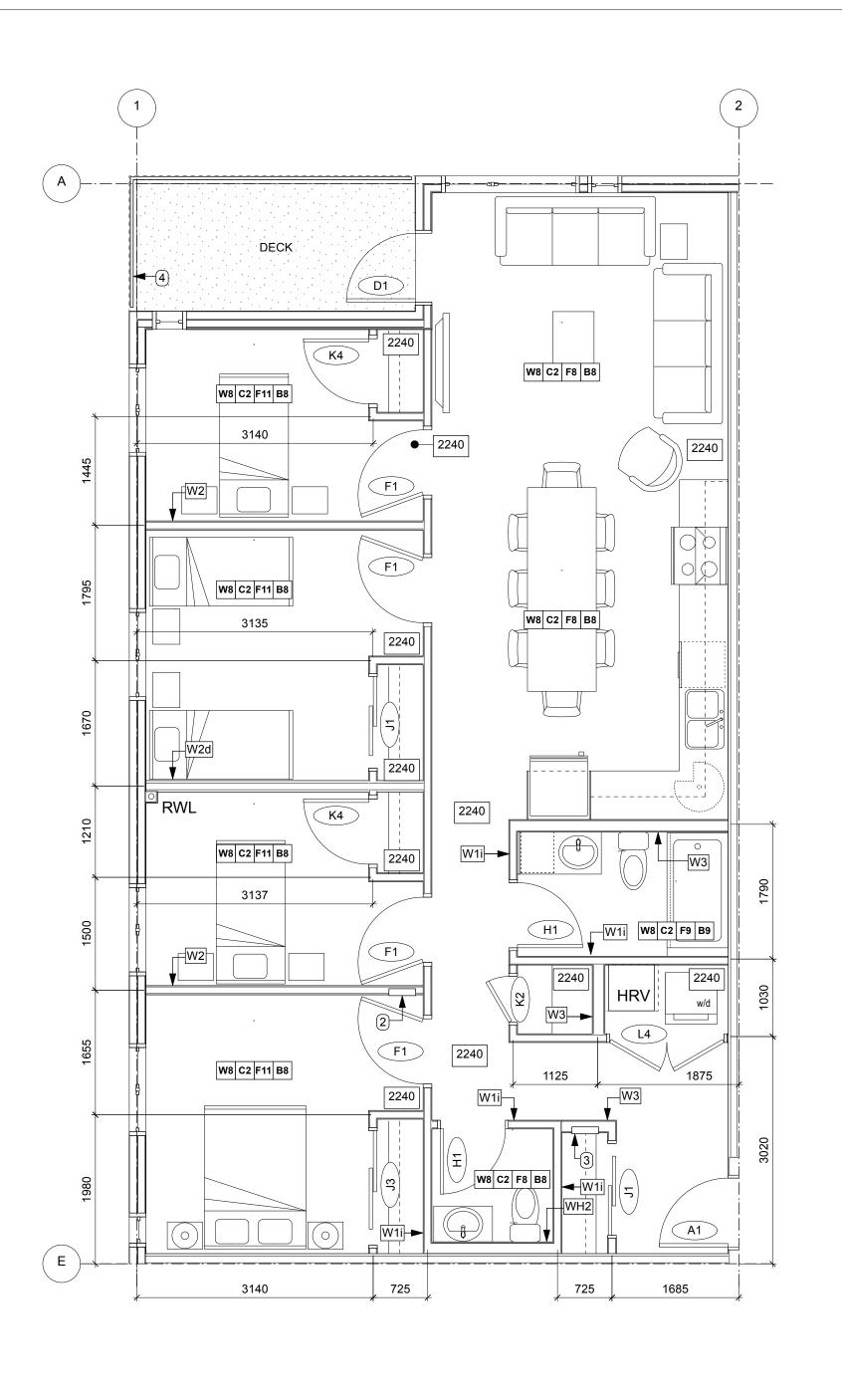


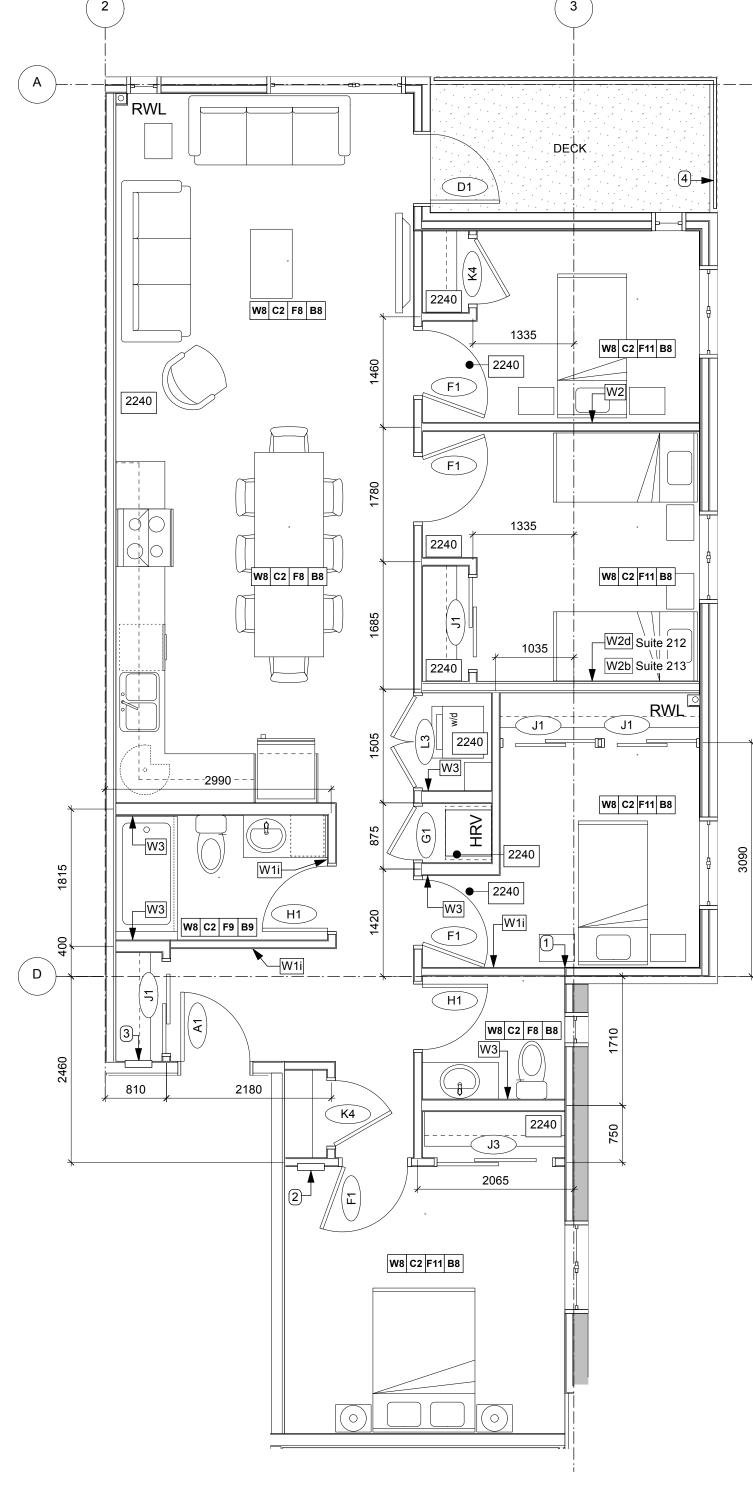


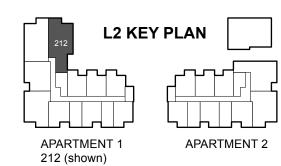
KEY PLAN						
			T			
		21-03-16		90% Review		
		21-01-27		Issued for 90% BP Coordination		
Rev -	Date	20-11-25	Description	Issued for 50% Coordination		
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx		
drawn by		NLC	checked by	CRK		
scale		1:50	project number	1907		

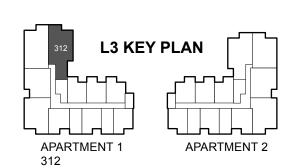
NOTE: All dimensions are shown in millimeters.

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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1•250•658•3367	NANAIMO OFFIC 102-5190 D Nanaimo B(T 1•250•58	E ublin Wa C V9T 2K
caledonia		
Victoria BC		
APT Unit Plans -	3 Bed	
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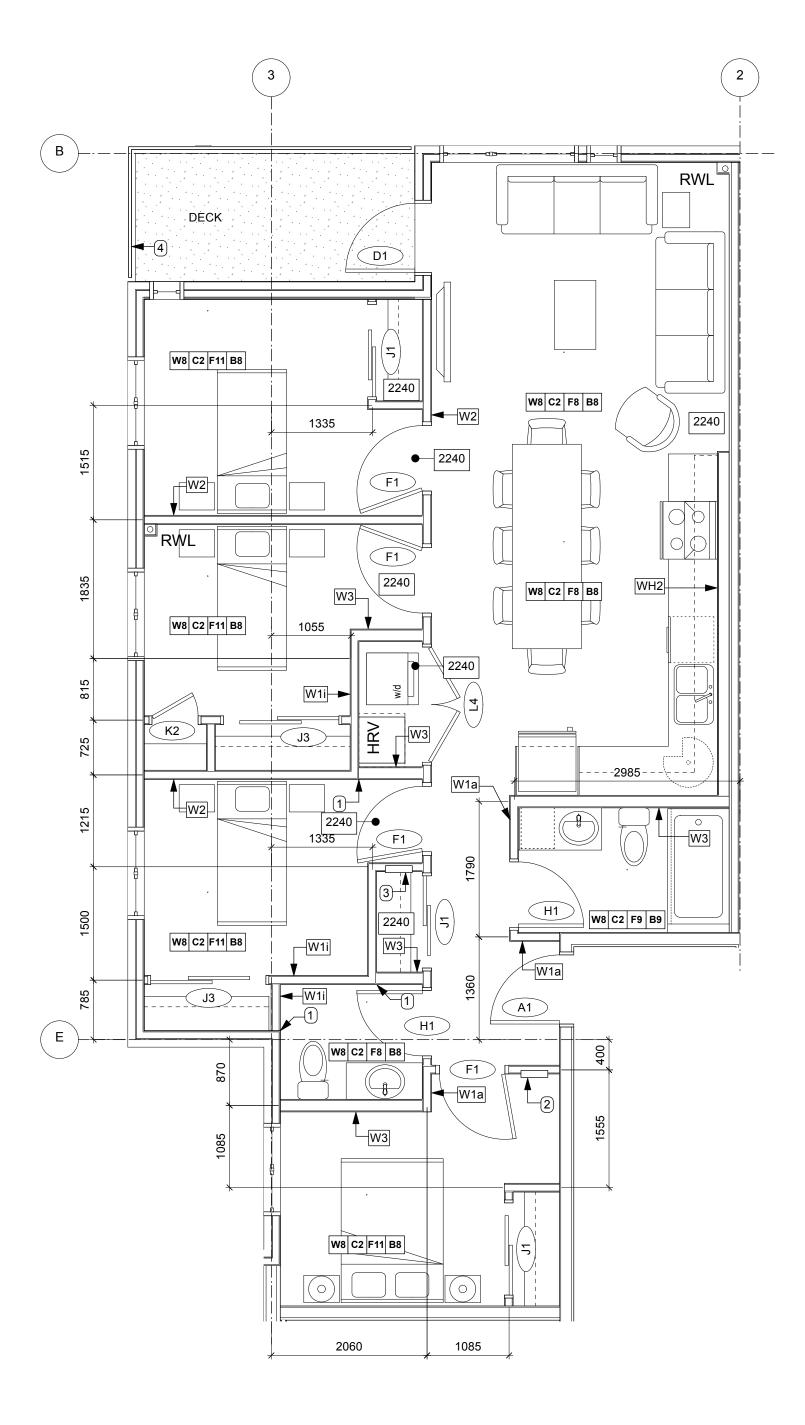


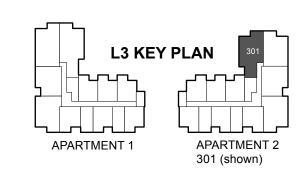


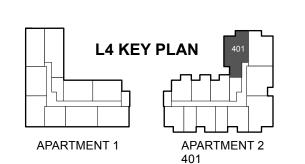












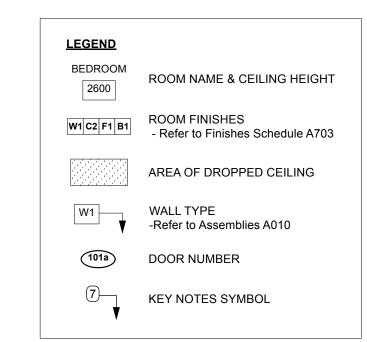


GENERAL NOTES - UNIT PLANS

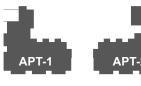
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- 5. For exterior wall types & dimensions and
- party/corridor wall dimensions, refer to Floor Plans A201-A241. Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted
- otherwise.
- 7. Water Resistant Gypsum Ceramic Tile Backerboard required in place of type "X" GWB at tub & shower
- 8. Provide appropriate blocking in walls for cabinetry and wall hung hardware.
- 9. Fully insulate wall and ceiling at all locations where RWL present. Not all locations may be noted on drawings.
- 10. See Specification and Details for terrace and deck assemblies.
- 11. See Architectural Schedules and Specification for all finishes.
- 12. Install neoprene isolator pads under all laundry

KEY NOTES - UNIT PLANS

- 1 Ensure flush gwb detail at this location.
- 2 Electrical Panel See Electrical
- 3 Tel/CATV Smart Panel see Electrical
- 4 Guard Rail
- 5 Privacy Screen

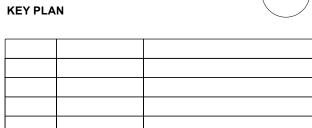








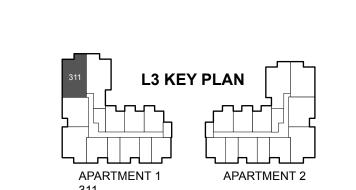




90% Review		21-03-16		
Issued for 90% BP Coordination		21-01-27		
Issued for 50% Coordination	Description	20-11-25	Date	Rev -
1907.3 A900 APT Detail Plans.vwx	drawing file	21-03-16		plot date
CRM	checked by	NLC		drawn by
1907	project number	1:50		scale

NOTE: All dimensions are shown in millimeters.





Unit Area: 108 m²

APARTMENT 1

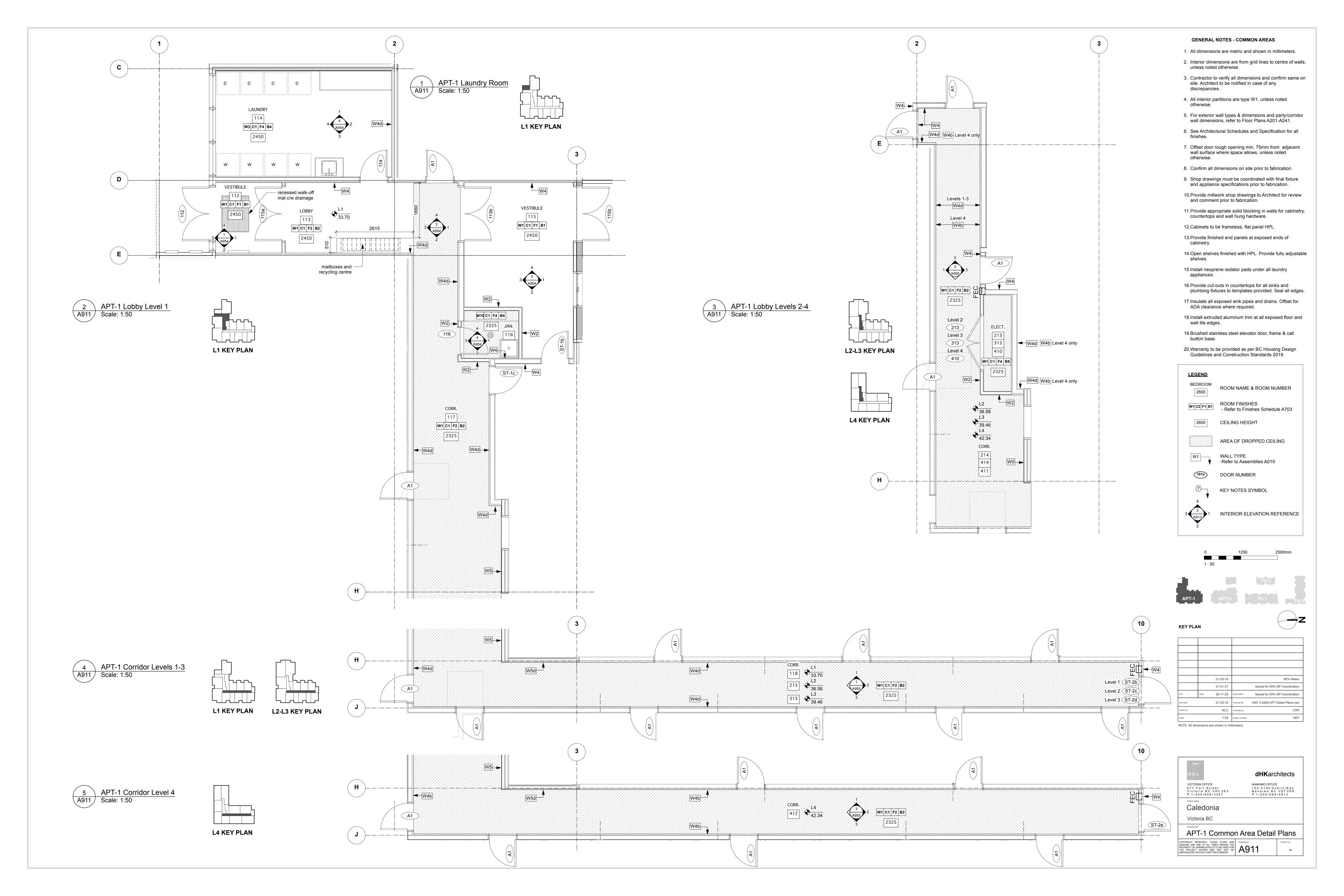
211 (shown)

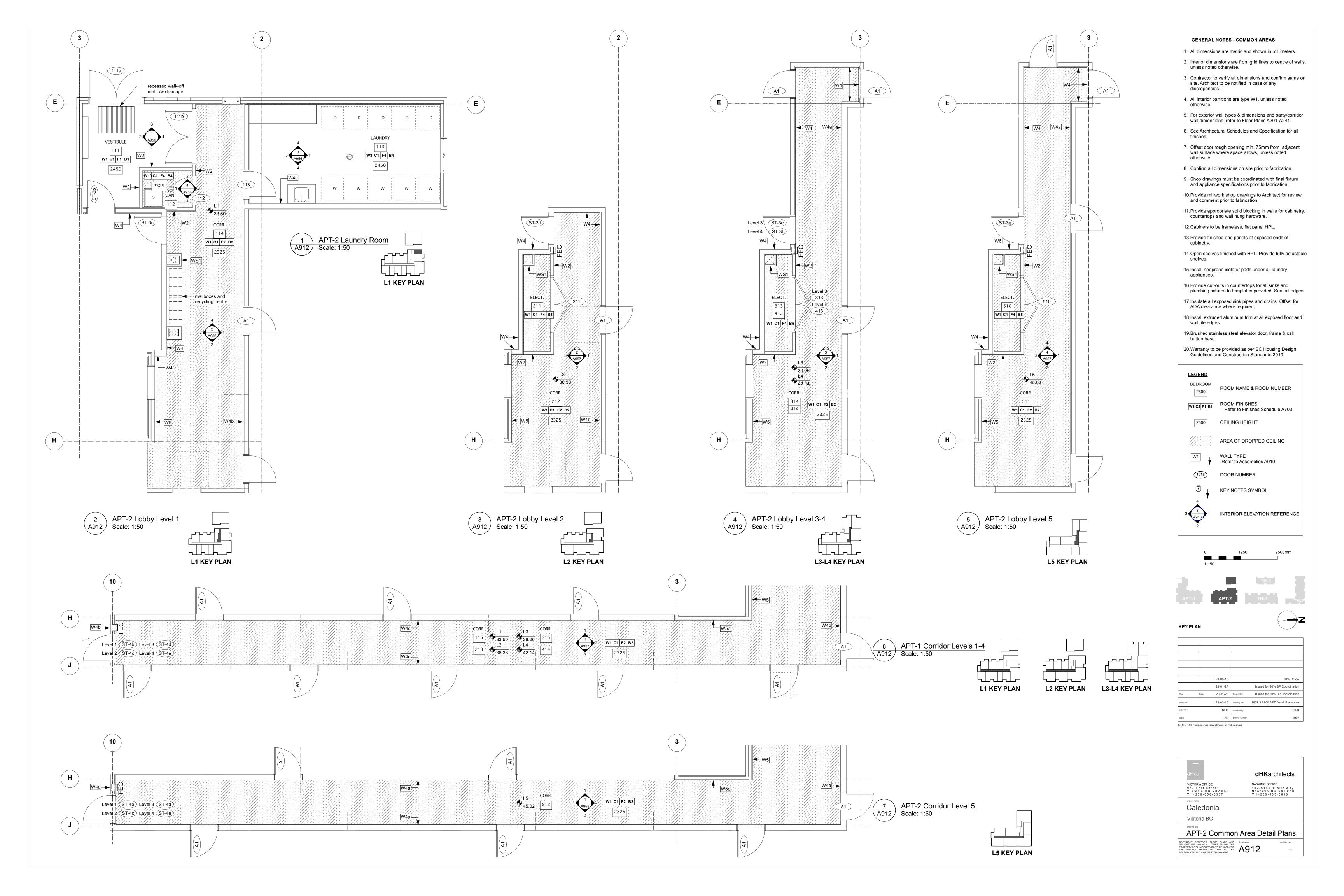
L2 KEY PLAN

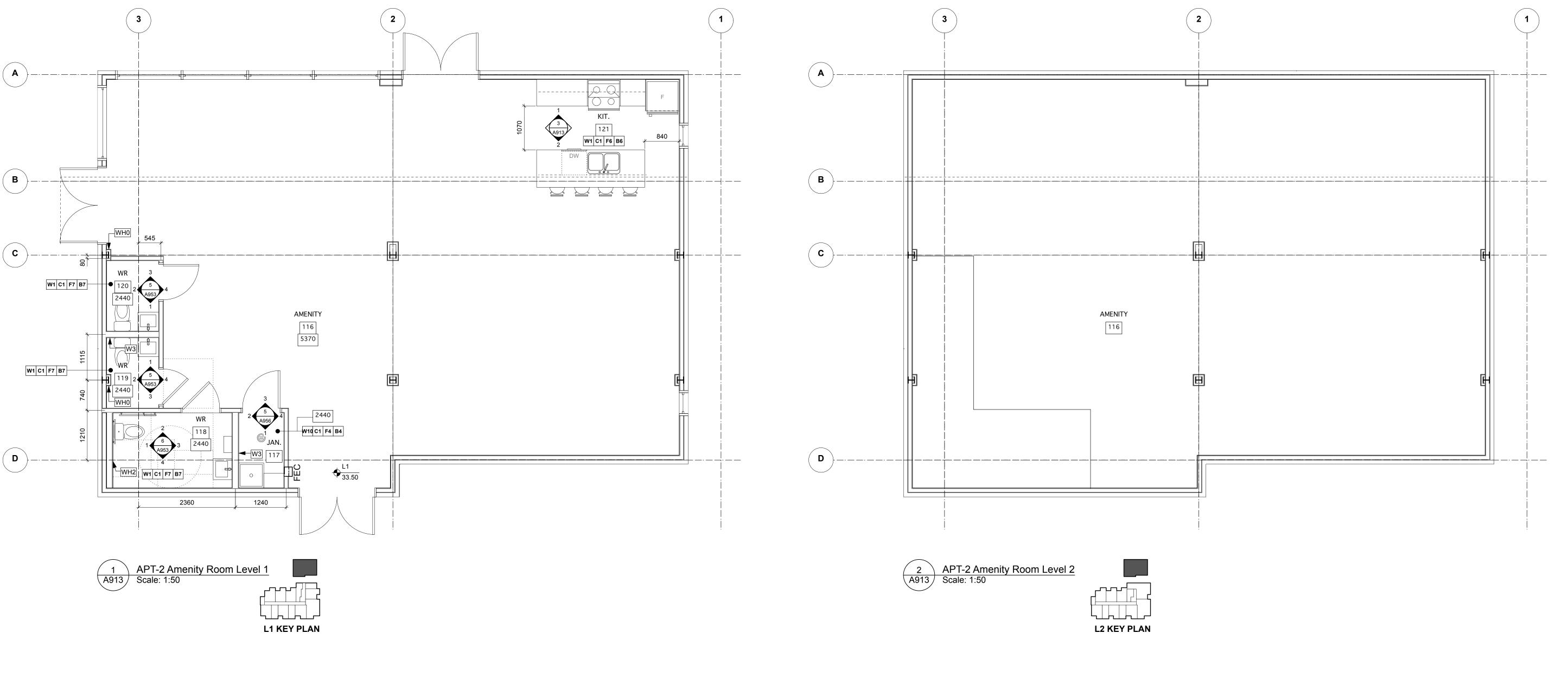
APARTMENT 2

UNIT TYPE R - 4 Bedroom Scale: 1:50 Kitchen Type: 9 Bath Type: 2b - SEE 4/A952 | Powder Room Type: 9 - SEE 3/A953









KITCHEN KEY NOTES

- 1 GWB bulkhead for range hood/mechanical ventilation. 2 610mm deep cabinet above fridge c/w 25mm filler each side.
- 3 Scribe moulding to underside of bulkhead.
- Microwave shelf with outlet to accommodate 457mm wide microwave (not included).
- 16mm wide gable panel at fridge, island & at dishwasher (where required).
- 6 HPL countertop, 38mm overhang. No cove. Refer to Specification.
- 7 Base corner cabinet Lazy Susan with 2 trays.
- 8 Base blind corner cabinet with 2 swing-out trays.
- ADA compliant pull out work surface.
- Outlet provided at this location for countertop microwave. Mount light and fan controls for range hood on front of counter.
- 12 Wall blind corner cabinet.
- 305mm eating bar countertop overhang at kitchen island. Locate HPL or solid wood support brackets where required.



- 1. All dimensions are metric and shown in millimeters.
- 2. Interior dimensions are from grid lines to centre of walls, unless noted otherwise.

GENERAL NOTES - COMMON AREAS

- 3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
- 4. All interior partitions are type W1, unless noted

discrepancies.

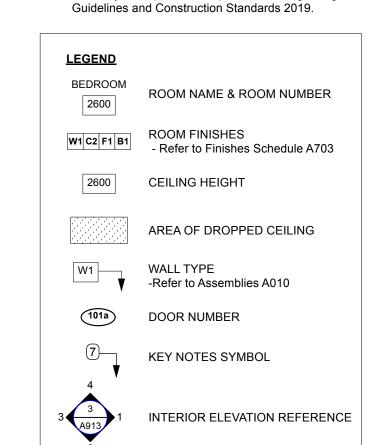
- 5. For exterior wall types & dimensions and party/corridor
- wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all
- Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted otherwise.
- 8. Confirm all dimensions on site prior to fabrication.
- 9. Shop drawings must be coordinated with final fixture and appliance specifications prior to fabrication.
- 10.Provide millwork shop drawings to Architect for review and comment prior to fabrication.
- 11. Provide appropriate solid blocking in walls for cabinetry,
- 12. Cabinets to be frameless, flat panel HPL.

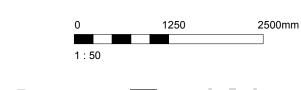
countertops and wall hung hardware.

- 13. Provide finished end panels at exposed ends of cabinetry.
- 14. Open shelves finished with HPL. Provide fully adjustable shelves.
- 15.Install neoprene isolator pads under all laundry appliances.
- 16.Provide cut-outs in countertops for all sinks and

plumbing fixtures to templates provided. Seal all edges.

- 17.Insulate all exposed sink pipes and drains. Offset for ADA clearance where required.
- 18.Install extruded aluminum trim at all exposed floor and
- wall tile edges. 19.Brushed stainless steel elevator door, frame & call
- button base.
- 20. Warranty to be provided as per BC Housing Design

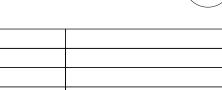












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		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% BP Coordination
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx
drawn by		NLC	checked by	CRK
scale		1:50	project number	1907

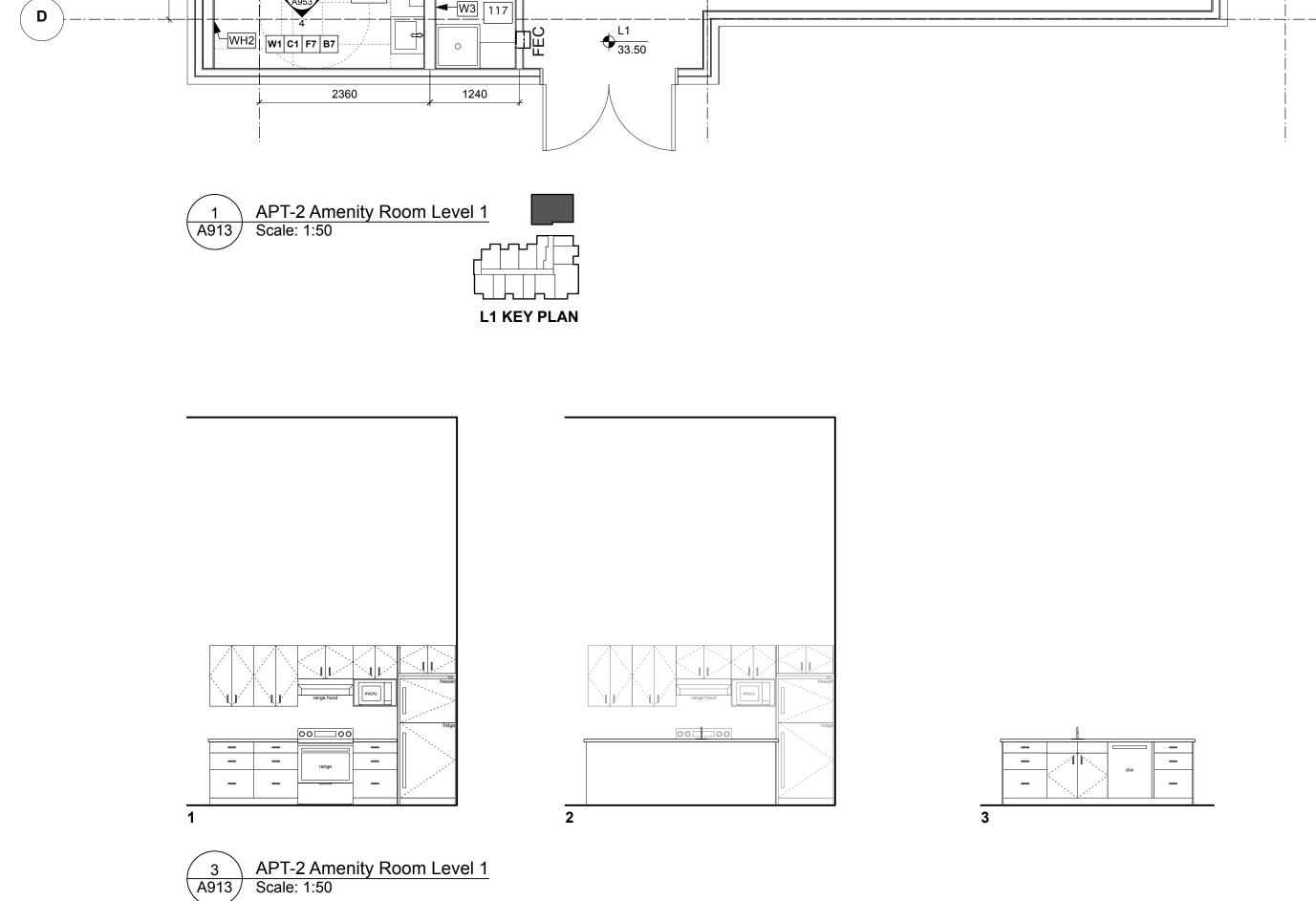


dHKarchitects NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T2K8 T 1•250•585•5810

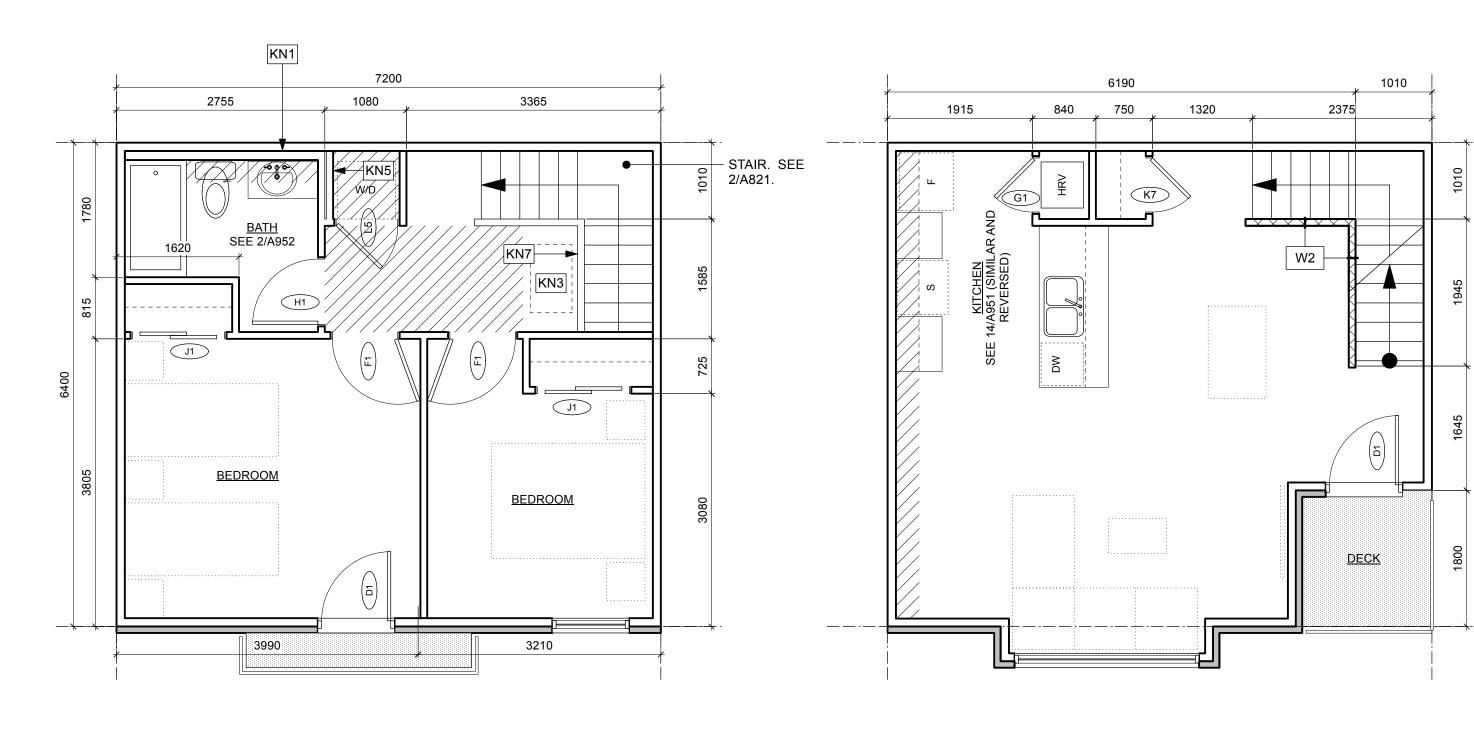
Caledonia Victoria BC

NOTE: All dimensions are shown in millimeters.

APT-2 Amenity Room Detail Plans





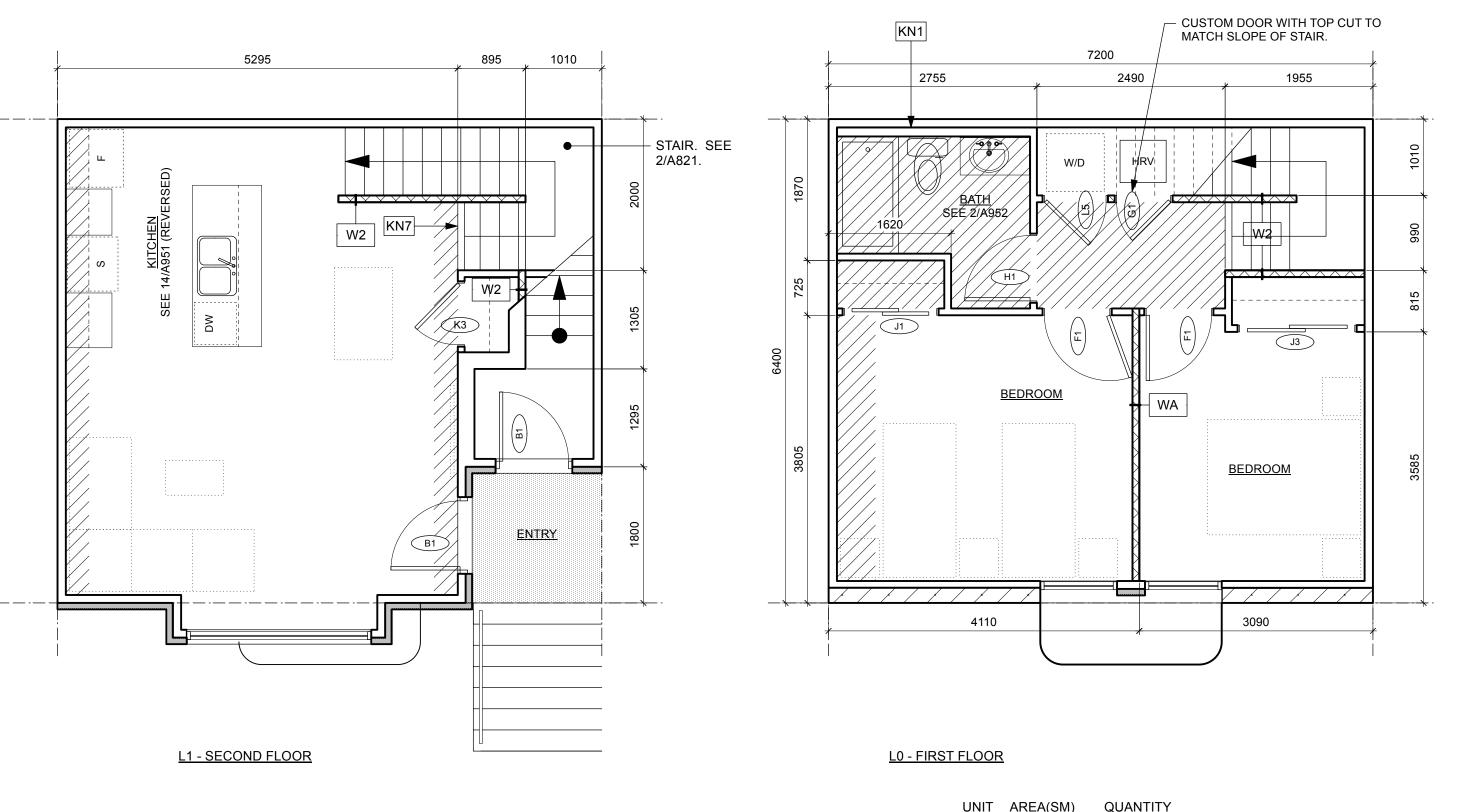


L3 - SECOND FLOOR

L2 - FIRST FLOOR

UNIT AREA(SM) QUANTITY
6A 89 SM 1

2 Bed Type 6A A931 Scale: 1:50



GRAPHIC LEGEND:

REINFORCED CONCRETE.

CONCRETE BLOCK.

FRAMED WALL.

INTERIOR BEARING WALL.

SIDING AND EXTERIOR INSULATION.

FIRE RATED SEPARATION.



...___

SHEET NOTES:

1. DIMENSIONS ARE FROM GRID LINE, FACE OF CONCRETE, AND FACE OF SHEATHING OR FRAMING UNLESS NOTED OTHERWISE.

 ALL EXTERIOR WALLS ARE TYPE WE1 UNLESS NOTED OTHERWISE.
 ALL PARTY WALLS (WALL SEPARATING ADJACENT UNITS) ARE TYPE W5 UNLESS NOTED OTHERWISE.

4. ALL WALLS WITHIN UNITS ARE TYPES W1 OR W1A WHERE ACOUSTIC SEPARATION IS REQUIRED.
5. PROVIDE ACOUSTIC SEPARATION AT ALL TOILET ROOMS AND IN WALLS BETWEEN ADJACENT BEDROOMS.
6. WHERE SPACE ALLOWS OFFSET DOOR JAMBS

BEDROOMS.
6. WHERE SPACE ALLOWS OFFSET DOOR JAMBS
75 mm FROM ADJACENT PERPENDICULAR WALL
UNLESS NOTED OTHERWISE.

UNIT PLAN KEY NOTES:

- PROVIDE 89 mm STUD FRAMED UTILITY WALL WITH 5/8" GWB OVER INDICATED WALL ASSEMBLY. MAINTAIN CONTINUITY OF ALL WALL ASSEMBLY COMPONENTS (GWB AND VAPOR RETARDER WHERE OCCURS) AT EXTERIOR WALLS AND INTERIOR FIRE RATED WALLS.
- PROVIDE 140 mm STUD FRAMING FOR PLUMBING.
- PROVIDE 550 X 900 mm LOCKABLE ATTIC ACCESS HATCH.
- KN4 CONTINUE FRAMING AND GWB FROM BASEMENT WALL UP TO TOP OF SILL PLATE ON CONCRETE WALL AT STAIR WELL AND TERMINATE WITH GWB AND 13 mm MDF TRIM BOARD.
- KN5

 200 mm CHASE FOR 200 mm x 300 mm

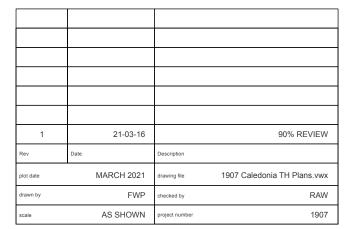
 VERTICAL RUN OF DUCT WORK SEE

 MECHANICAL. PROVIDE (2) 38 X 89 mm

 FRAMED WALLS WITH 22 mm SPACE

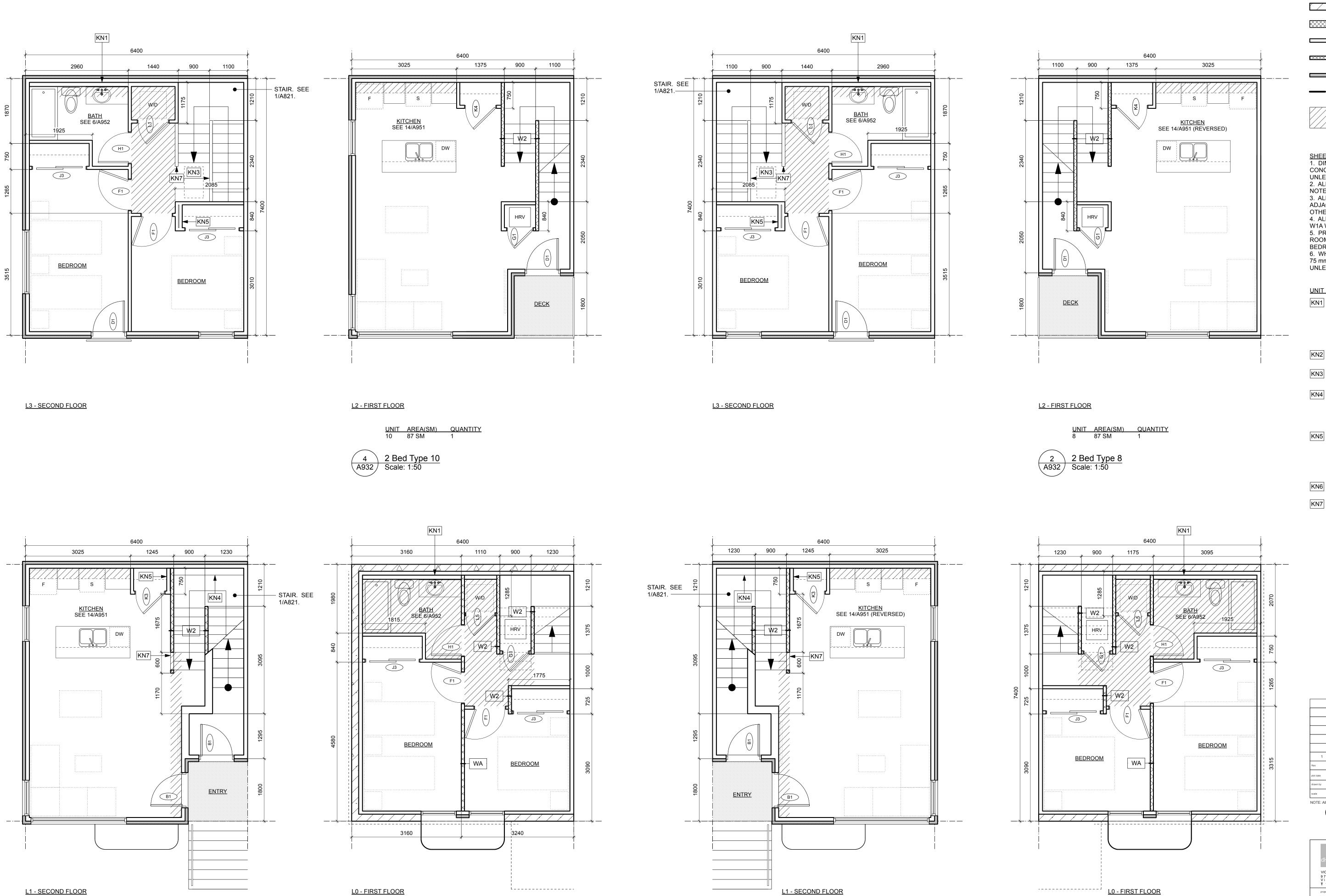
 BETWEEN. COORDINATE STUD LOCATIONS

 WITH DUCT WORK SIZE AND LOCATION.
- KN6 NOT USED.
- KN7 1070 mm HIGH FRAMED WALL/ GUARDRAIL.



CONSTRUCTION DOCUMENTS





2 Bed Type 9 Scale: 1:50

GRAPHIC LEGEND: REINFORCED CONCRETE. CONCRETE BLOCK. FRAMED WALL. INTERIOR BEARING WALL. SIDING AND EXTERIOR INSULATION. FIRE RATED SEPARATION. DROP CEILING OR BULKHEAD. SHEET NOTES:

1. DIMENSIONS ARE FROM GRID LINE, FACE OF CONCRETE, AND FACE OF SHEATHING OR FRAMING UNLESS NOTED OTHERWISE. 2. ALL EXTERIOR WALLS ARE TYPE WE1 UNLESS NOTED OTHERWISE. 3. ALL PARTY WALLS (WALL SEPARATING ADJACENT UNITS) ARE TYPE W5 UNLESS NOTED OTHERWISE. 4. ALL WALLS WITHIN UNITS ARE TYPES W1 OR W1A WHERE ACOUSTIC SEPARATION IS REQUIRED. 5. PROVIDE ACOUSTIC SEPARATION AT ALL TOILET ROOMS AND IN WALLS BETWEEN ADJACENT BEDROOMS. 6. WHERE SPACE ALLOWS OFFSET DOOR JAMBS 75 mm FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE. **UNIT PLAN KEY NOTES:** KN1 PROVIDE 89 mm STUD FRAMED UTILITY WALL WITH 5/8" GWB OVER INDICATED WALL ASSEMBLY. MAINTAIN CONTINUITY OF ALL WALL ASSEMBLY COMPONENTS (GWB AND VAPOR RETARDER WHERE OCCURS) AT EXTERIOR WALLS AND INTERIOR FIRE RATED KN2 PROVIDE 140 mm STUD FRAMING FOR PLUMBING. PROVIDE 550 X 900 mm LOCKABLE ATTIC ACCESS HATCH. KN4 CONTINUE FRAMING AND GWB FROM BASEMENT WALL UP TO TOP OF SILL PLATE ON CONCRETE WALL AT STAIR WELL AND TERMINATE WITH GWB AND 13 mm MDF TRIM BOARD. KN5 200 mm CHASE FOR 200 mm x 300 mm VERTICAL RUN OF DUCT WORK - SEE MECHANICAL. PROVIDE (2) 38 X 89 mm FRAMED WALLS WITH 22 mm SPACE BETWEEN. COORDINATE STUD LOCATIONS WITH DUCT WORK SIZE AND LOCATION. KN6 NOT USED. KN7 1070 mm HIGH FRAMED WALL/ GUARDRAIL.

1 21-03-16 90% REVIEW

Rev Date Description

plot date MARCH 2021 drawing file 1907 Caledonia TH Plans.vvvx

drawn by FWP checked by RAW

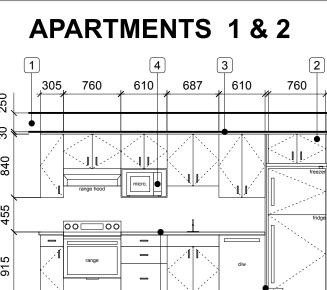
scale AS SHOWN project number 1907

NOTE: All dimensions are shown in millimeters.

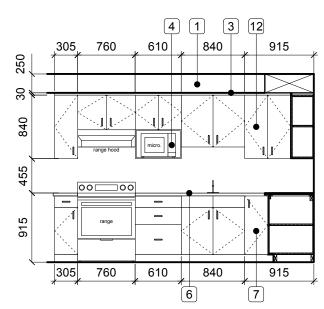
CONSTRUCTION DOCUMENTS



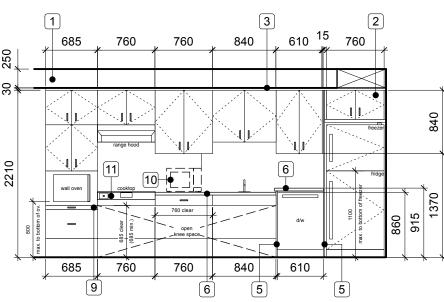




KITCHEN TYPE 1 - Elevation Scale: 1:50 UNIT TYPE: A Counter Frontage: 2220 mm

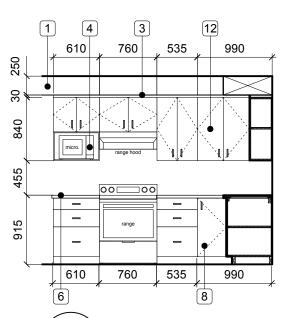


2 \ KITCHEN TYPE 2 - Elevations A951 / Scale: 1:50 UNIT TYPE: B Counter Frontage: 4400 mm



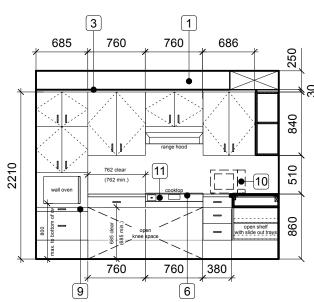
3 \ KITCHEN TYPE 3 (Accessible) - Elevations A951 Scale: 1:50 UNIT TYPE: C

Counter Frontage: 2225 mm

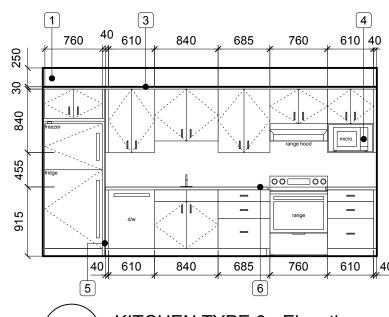


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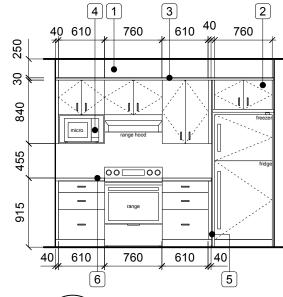
KITCHEN TYPE 4 - Elevations Scale: 1:50 UNIT TYPES: D,F,G,H,J,M Counter Frontage: 4425 mm



KITCHEN TYPE 5 (Accessible) - Elevations Scale: 1:50 UNIT TYPES: E Counter Frontage: 4160 mm

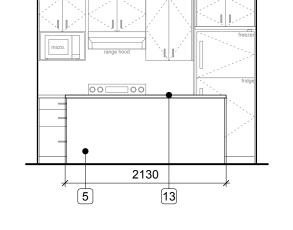


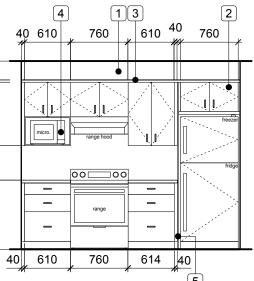
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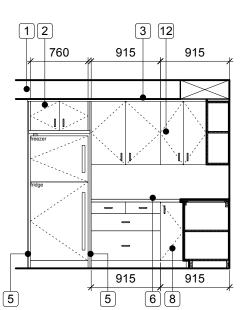
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Counter Frontage: 3430 mm



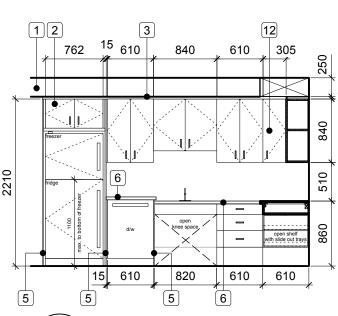


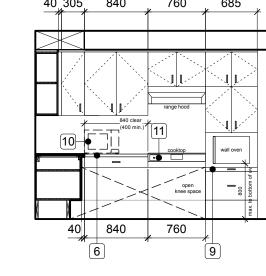
8 KITCHEN TYPE 8 - Elevations A951 Scale: 1:50 UNIT TYPES: I,Q Counter Frontage: 3280 mm



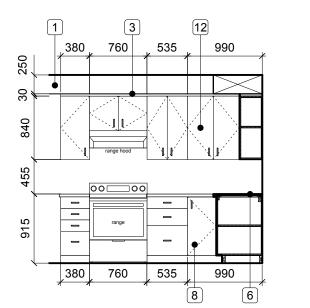
305 840 610 760 760 610

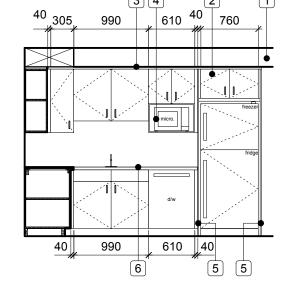
KITCHEN TYPE 9 - Elevations Scale: 1:50 UNIT TYPES: R,S, T Counter Frontage: 5580 mm





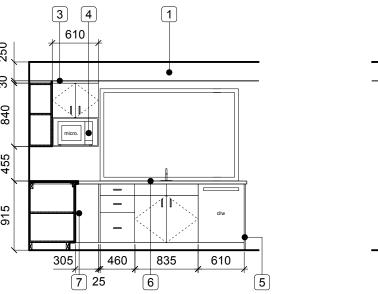
10 KITCHEN TYPE 10 (Accessible) - Elevations Scale: 1:50 UNIT TYPES: P Counter Frontage: 4165 mm





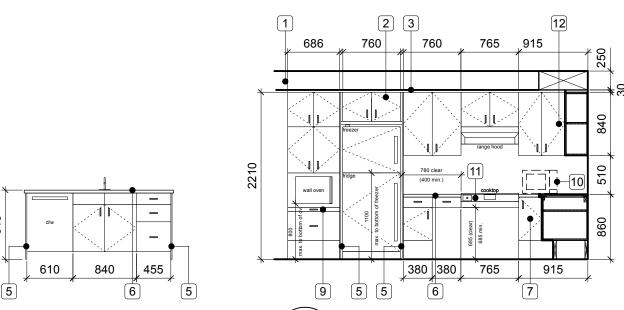
11 \ KITCHEN TYPE 11 - Elevations A951 Scale: 1:50 UNIT TYPES: N Counter Frontage: 4190 mm

TOWNHOUSES 1 - 3



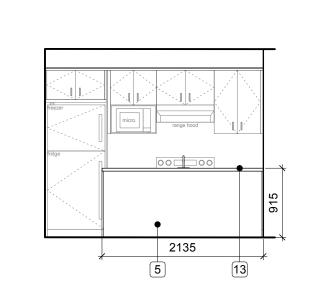
KITCHEN TYPE 13 - Elevations Scale: 1:50

UNIT TYPES: 3B T1, 4B T2 Counter Frontage: 4180 mm



\ KITCHEN TYPE 12 (Accessible) - Elevations A951 Scale: 1:50 UNIT TYPES: 2B T11 Counter Frontage: 4200 mm

760 40 610 760 610 40 | | • 40 610 760 610 40



610 838 610

KITCHEN TYPE 14 - Elevations

A951 Scale: 1:50 **UNIT TYPES:**

2B T1; 2B T1A; 2B T2, 2B T12; 2B T3, 2B T3A, 2B T4, 2B T4A; 2B 5A; 2B6A, 2B T7,2B T8, 2B T9, 2B T10 Counter Frontage: 3450 mm

GENERAL NOTES - KITCHENS & BATHS

3. See plans A201-A215 & A921-A941 for unit window

4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any

5. See Architectural Schedules and Specification for all

6. See Mechanical Specification Section 22 40 00 for

for acceptable washroom accessories.

8. Refer to BC Housing Design Guidelines and

Construction Standards 2019 as required.

acceptable plumbing fixtures and Section 10 28 10

7. See Structural and AXXX for depression in floor slab

walls, unless noted otherwise.

finishes, hardware, and fixtures.

for accessible shower detail.

and door locations.

discrepancies.

- 1. All dimensions are metric and shown in millimeters.
- 1. Confirm all dimensions on site prior to fabrication. 2. Interior dimensions are from grid lines to Centre of
 - 2. Shop drawings must be coordinated with final fixture and appliance specifications prior to fabrication.

GENERAL KITCHEN MILLWORK NOTES

- 3. Provide millwork shop drawings to Architect for review
- and comment prior to fabrication. 4. Shop drawings must show: construction details, general
- arrangements, typical and special installation conditions, materials, connections, attachments, anchorage and location of exposed fastenings as applicable.
- 5. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.
- 6. Base and wall cabinets to be frameless, flat panel HPL.
- cabinetry. 8. Open shelves finished with same material as door and

7. Provide finished end panels at exposed ends of

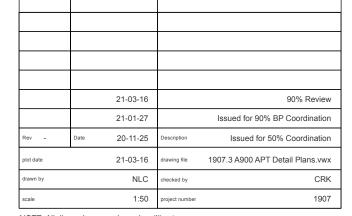
9. All cabinet pulls to be 102mm "D" style .

drawer fronts.

- 10.Provide full extension drawers and sound absorbing
- bumpers on all doors and drawers.
- 11. Provide 15-75mm filler strips for base and upper cabinets to allow for cabinet pull clearance where required.
- 12. Provide one full depth, fully adjustable shelf per base cabinet and 2 full depth, fully adjustable shelves per wall
- 13. Allow adequate space at hinge side of refrigerator to allow door to open fully and to allow the removal of
- internal accessories for cleaning. 14. Provide cut-outs in countertops for all sinks and
- plumbing fixtures to templates provided. Seal all edges.
- 15. Provide each kitchen one (1) single lever faucet.
- 16.Insulate all exposed sink pipes and drains. Offset for ADA clearance where required.
- 17.102mm high toe kicks in typ. kitchens. 250mm high toe kicks in in accessible kitchens.
- 18.Install extruded aluminum trim at all exposed floor and
- wall tile edges.
- 19. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.

KITCHEN KEY NOTES

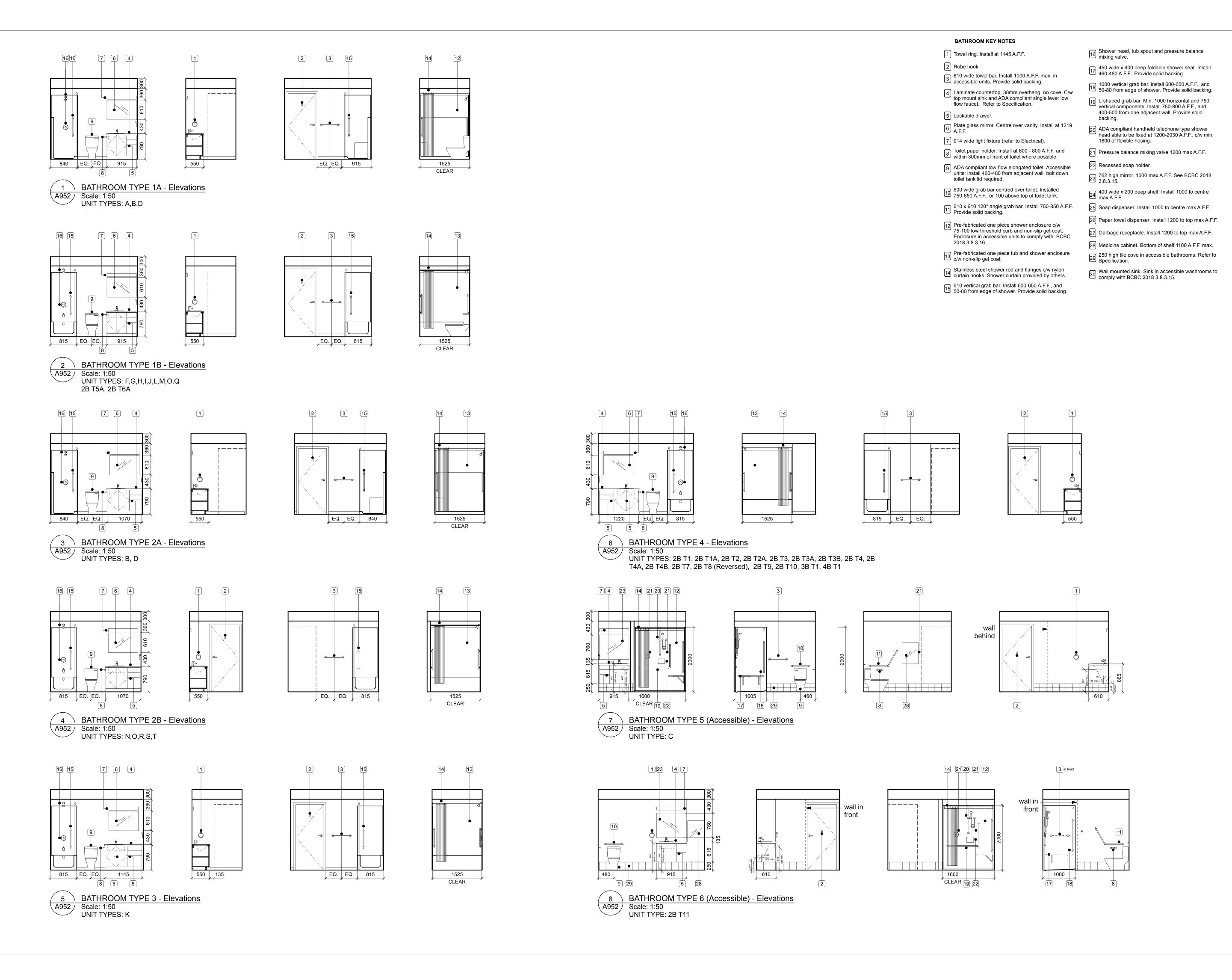
- 1 GWB bulkhead for range hood/mechanical ventilation.
- 2 610mm deep cabinet above fridge c/w 25mm filler each side.
- 3 Scribe moulding to underside of bulkhead.
- Microwave shelf with outlet to accommodate 457mm wide microwave (not included).
- 5 16mm wide gable panel at fridge, island & at dishwasher (where required).
- 6 HPL countertop, 38mm overhang. No cove. Refer to Specification.
- 7 Base corner cabinet Lazy Susan with 2 trays.
- 8 Base blind corner cabinet with 2 swing-out trays.
- 9 ADA compliant pull out work surface.
- Outlet provided at this location for countertop microwave.
- Mount light and fan controls for range hood on front of counter.
- 12 Wall blind corner cabinet.
- 305mm eating bar countertop overhang at kitchen island. Locate HPL or solid wood support brackets where required.



NOTE: All dimensions are shown in millimeters. 2500mm 1:50



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GENERAL NOTES - KITCHENS & BATHS

- 1. All dimensions are metric and shown in millimeters.
- Interior dimensions are from grid lines to Centre of
 walls, unless noted otherwise.
- walls, unless noted otherwise.
- 3. See plans A201-A215 & A921-A941 for unit window and door locations.
- Contractor to verify all dimensions and confirm same
 Architect to be patified in seen of any.
- on site. Architect to be notified in case of any discrepancies.
- See Architectural Schedules and Specification for all finishes, hardware, and fixtures.
- See Mechanical Specification Section 22 40 00 for acceptable plumbing fixtures and Section 10 28 10 for acceptable washroom accessories.
- 7. See Structural and AXXX for depression in floor slab
- 8. Refer to BC Housing Design Guidelines and Construction Standards 2019 as required.

for accessible shower detail.

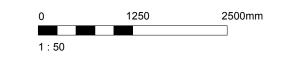
GENERAL BATHROOM MILLWORK NOTES

- 1. Confirm all dimensions on site prior to fabrication.
- 2. Shop drawings must be coordinated with final fixture and appliance specifications prior to fabrication.
- Provide millwork shop drawings to Architect for review
- and comment prior to fabrication.
- Shop drawings must show: construction details, general arrangements, typical and special installation conditions, materials, connections, attachments, anchorage and location of exposed fastenings as applicable.
- 5. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.
- Provide 38 x 26 horizontal blocking A.F.F. around the shower/tub and beside the water closet for future installation of grab bars (typ. suites).
- Grab bars and towel bars shall be designed and installed to withstand a load of 1.3 kN.
- 8. Towel bars shall be located no more than 1100 mm (3'-7") high from above the floor.
- 9. All cabinets to be frameless, flat panel.
- 10.5
- 10. Provide finished end panels at exposed ends of cabinetry.
- 11.All cabinet pulls to be 102mm "D" style
- 12.Provide full extension drawers and sound absorbing bumpers on all doors and drawers.
- 13.Provide 15-75mm filler strips for base and upper
- cabinets to allow for cabinet pull clearance where required.14.Provide cut-outs in countertops for all sinks and
- plumbing fixtures to templates provided. Seal all edges.
- ADA clearance where required.

 16.Accessible showers c/w non-slip gel coat and slope

15.Insulate all exposed sink pipes and drains. Offset for

- 2% to drain. Refer to Mechanical Specification.
- 17.102mm high toe kicks in typ. kitchens. 250mm high
- toe kicks in in accessible kitchens.
- 18.Install extruded aluminum trim at all exposed floor and wall tile edges.
- wall tile edges.
- 19. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.



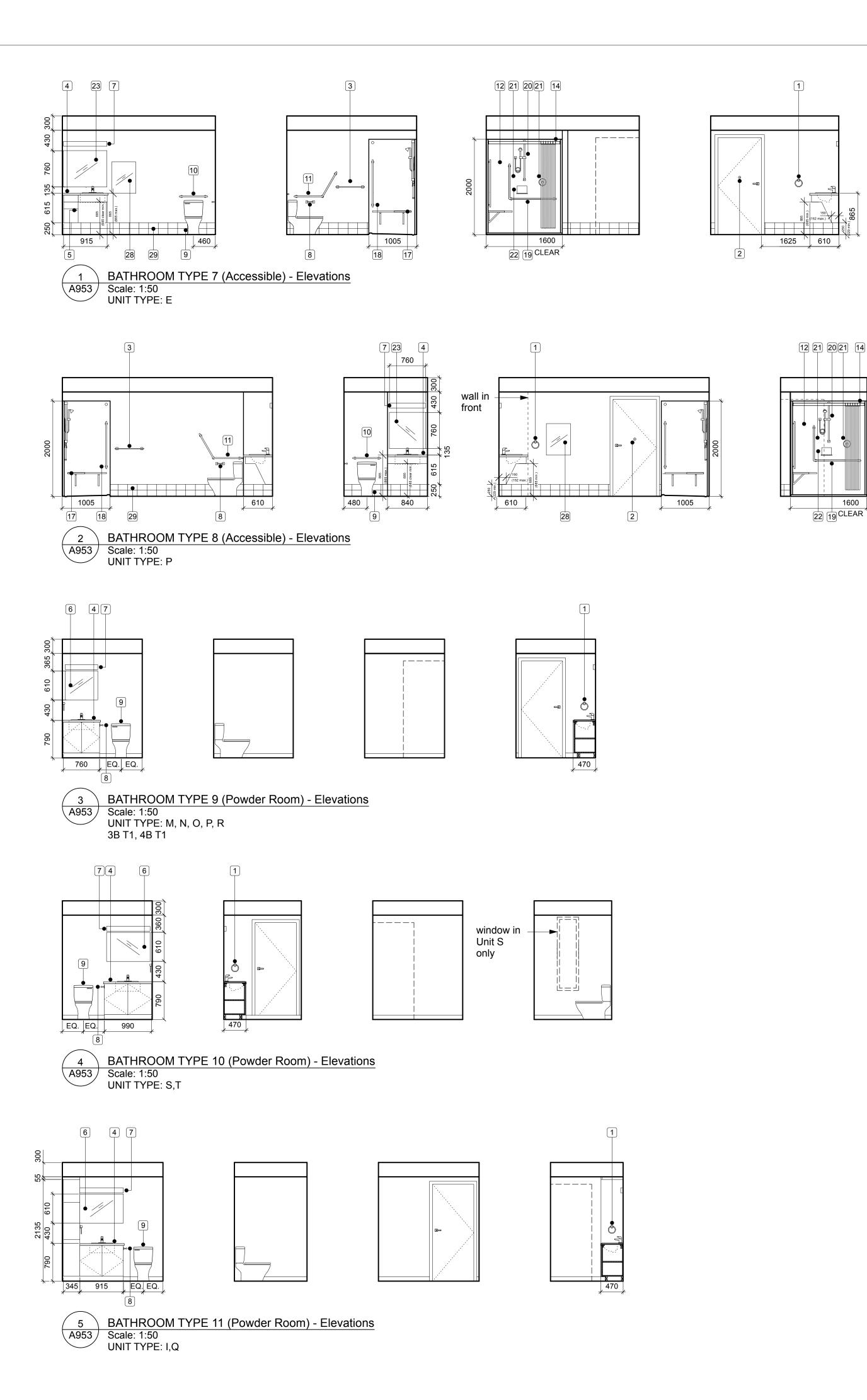
	21-03-16		90% Review
	21-01-27		Issued for 90% BP Coordination
Date	20-11-25	Description	Issued for 50% Coordination
	21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx
	NLC	checked by	CRK
	1:50	project number	1907
	Date	21-01-27 Date 20-11-25 21-03-16 NLC	21-01-27 Date 20-11-25 Description 21-03-16 drawing file NLC checked by

NOTE: All dimensions are shown in millimeters.

Bath Elevations

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dHKa	dHK architects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1 • 2 5 0 • 6 5 8 • 3 3 6 7	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T2K8 T 1•250•585•5810
Caledonia	
Victoria BC	



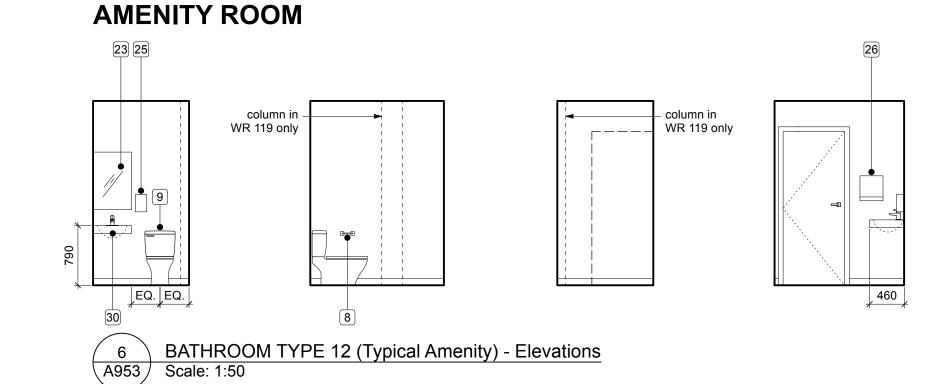
BATHROOM KEY NOTES

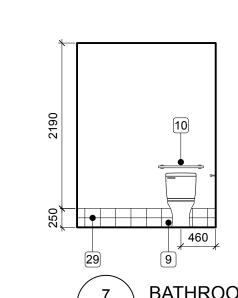
- 1 Towel ring. Install at 1145 A.F.F.
- 2 Robe hook.
- 610 wide towel bar. Install 1000 A.F.F. max. in accessible units. Provide solid backing.
- 4 Laminate countertop, 38mm overhang, no cove. C/w top mount sink and ADA compliant single lever low flow faucet. Refer to Specification.
- 5 Lockable drawer.
- Plate glass mirror. Centre over vanity. Install at 1219 A.F.F.
- 7 914 wide light fixture (refer to Electrical).
- 8 Toilet paper holder. Install at 600 800 A.F.F. and within 300mm of front of toilet where possible.
- 9 ADA compliant low-flow elongated toilet. Accessible units: install 460-480 from adjacent wall, bolt down toilet tank lid required.
- 600 wide grab bar centred over toilet. Installed 750-850 A.F.F., or 100 above top of toilet tank.
- 610 x 610 120° angle grab bar. Install 750-850 A.F.F. Provide solid backing.
- Pre-fabricated one piece shower enclosure c/w 75-100 low threshold curb and non-slip get coat. Enclosure in accessible units to comply with BCBC 2018 3.8.3.16.
- Pre-fabricated one piece tub and shower enclosure c/w non-slip get coat.
- Stainless steel shower rod and flanges c/w nylon curtain hooks. Shower curtain provided by others.
- 610 vertical grab bar. Install 600-650 A.F.F., and 50-80 from edge of shower. Provide solid backing.

- Shower head, tub spout and pressure balance mixing valve.
- 450 wide x 400 deep foldable shower seat. Install 460-480 A.F.F., Provide solid backing.
- 1000 vertical grab bar. install 600-650 A.F.F., and
- 50-80 from edge of shower. Provide solid backing. 19 L-shaped grab bar. Min. 1000 horizontal and 750 vertical components. Install 750-800 A.F.F., and
- 400-500 from one adjacent wall. Provide solid
- ADA compliant handheld telephone type shower head able to be fixed at 1200-2030 A.F.F., c/w min. 1800 of flexible hosing.

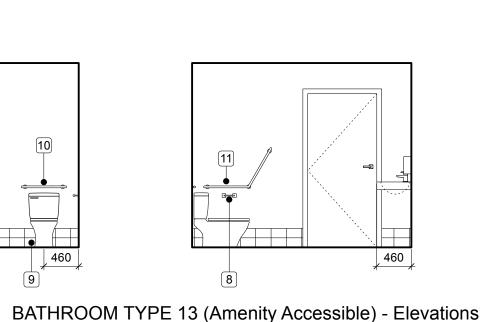
21 Pressure balance mixing valve 1200 max A.F.F.

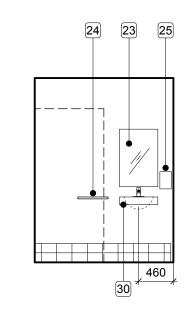
- [22] Recessed soap holder.
- 762 high mirror. 1000 max A.F.F. See BCBC 2018 3.8.3.15.
- 400 wide x 200 deep shelf. Install 1000 to centre max A.F.F.
- 25 Soap dispenser. Install 1000 to centre max A.F.F.
- [26] Paper towel dispenser. Install 1200 to top max A.F.F.
- 27 Garbage receptacle. Install 1200 to top max A.F.F.
- [28] Medicine cabinet. Bottom of shelf 1100 A.F.F. max.
- 29 250 high tile cove in accessible bathrooms. Refer to Specification.
- Wall mounted sink. Sink in accessible washrooms to comply with BCBC 2018 3.8.3.15.

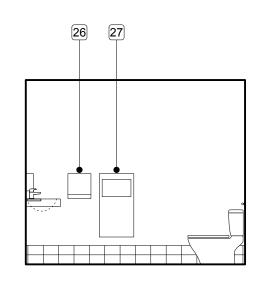




A953 | Scale: 1:50







- 2. Interior dimensions are from grid lines to Centre of

finishes, hardware, and fixtures.

for accessible shower detail.

walls, unless noted otherwise.

GENERAL NOTES - KITCHENS & BATHS

1. All dimensions are metric and shown in millimeters.

- 3. See plans A201-A215 & A921-A941 for unit window and door locations.
- 4. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
- discrepancies. 5. See Architectural Schedules and Specification for all
- 6. See Mechanical Specification Section 22 40 00 for acceptable plumbing fixtures and Section 10 28 10
- for acceptable washroom accessories. 7. See Structural and AXXX for depression in floor slab
- 8. Refer to BC Housing Design Guidelines and Construction Standards 2019 as required.

GENERAL BATHROOM MILLWORK NOTES

- 1. Confirm all dimensions on site prior to fabrication.
- 2. Shop drawings must be coordinated with final fixture
- and appliance specifications prior to fabrication.
- 3. Provide millwork shop drawings to Architect for review and comment prior to fabrication.
- 4. Shop drawings must show: construction details, general arrangements, typical and special installation

conditions, materials, connections, attachments,

anchorage and location of exposed fastenings as

5. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.

applicable.

cabinetry.

- 6. Provide 38 x 26 horizontal blocking A.F.F. around the shower/tub and beside the water closet for future installation of grab bars (typ. suites).
- 7. Grab bars and towel bars shall be designed and installed to withstand a load of 1.3 kN.
- 8. Towel bars shall be located no more than 1100 mm
- 9. All cabinets to be frameless, flat panel.

(3'-7") high from above the floor.

- 10.Provide finished end panels at exposed ends of
- 11. All cabinet pulls to be 102mm "D" style .

bumpers on all doors and drawers.

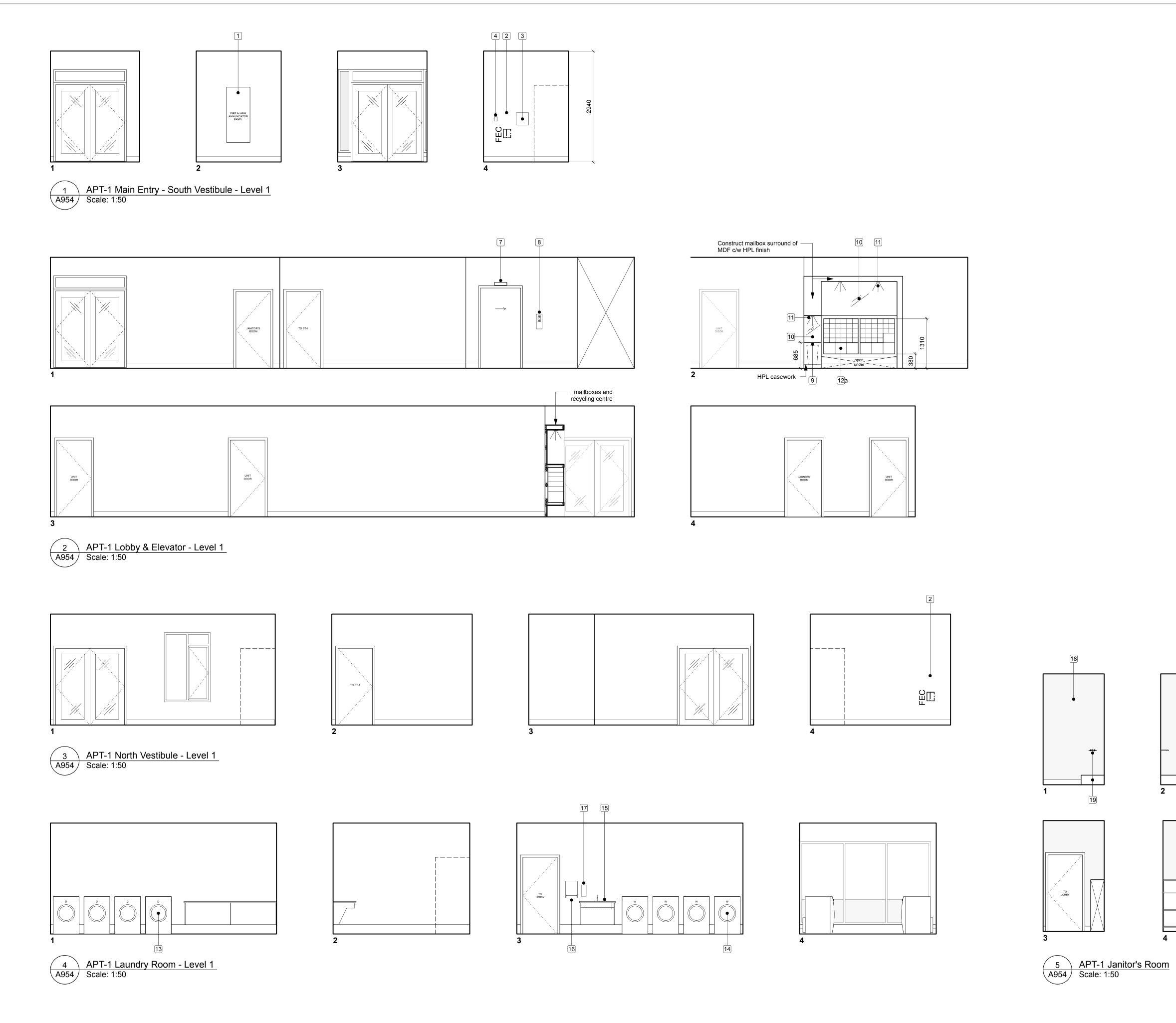
- 12.Provide full extension drawers and sound absorbing
- 13.Provide 15-75mm filler strips for base and upper cabinets to allow for cabinet pull clearance where
- 14. Provide cut-outs in countertops for all sinks and plumbing fixtures to templates provided. Seal all
- 15.Insulate all exposed sink pipes and drains. Offset for ADA clearance where required.
- 16.Accessible showers c/w non-slip gel coat and slope
- 2% to drain. Refer to Mechanical Specification. 17.102mm high toe kicks in typ. kitchens. 250mm high
- toe kicks in in accessible kitchens.
- 18.Install extruded aluminum trim at all exposed floor and wall tile edges.
- 19. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.



		21-03-16		90% Review
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% Coordination
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx
drawn by		NLC	checked by	CRK
scale		1:50	project number	1907

NOTE: All dimensions are shown in millimeters.

dHKa VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	dHKarc NANAIMO OFFICE 102-5190 Du Nanaimo BC T 1-250-585	blin Way V9T 2K8
Caledonia Victoria BC		
Bath Elevations	3	
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- 1 Annunciator panel. See Electrical.
- 2 Fire extinguisher cabinet.
- 3 Fire Safety Plan.
- 4 Door operator button. See Electrical.
- [5] Wall mounted heater. See Electrical.
- 6 fire pull station. See Electrical.
- 7 Elevator hall lantern.
- 8 Elevator call button.
- 9 Lockable cabinet/counter c/w hidden latch hardware and recycling bin.
- 10 Open niche with mirror behind.
- [11] Recessed downlight.
- Mailboxes: Canadian Mailbox Company Model 1230, front load. See Specification.
- 12a: APT-1, 48 letter, 6 parcel boxes 12b: APT-2, 56 letter, 7 parcel boxes 12c: TH-1, 66 letter, 8 parcel boxes
- [13] Dryer. See Mechanical Specification.
- [14] Washer. See Mechanical Specification.
- Laundry sink, faucet, and open base cabinet c/w. HPL countertop, 38mm overhang. No cove. See Architectural and Mechanical Specifications.
- 16 Paper towel dispenser.
- 17 Soap dispenser.
- 18 Rigid vinyl sheet wall protector. See A705.
- 19 Janitor sink and faucet. See Mechanical Specification.
- 20 Broom holder.

—

- 21 Open millwork shelf.
- 22 Sprinkler control valves.

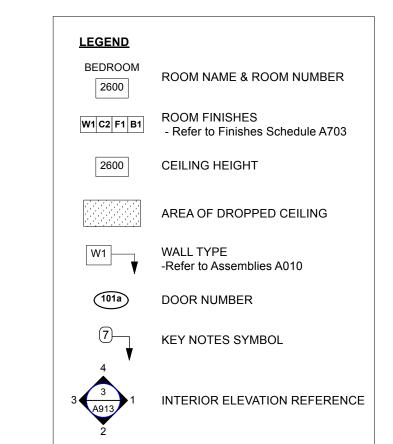
- - 1. All dimensions are metric and shown in millimeters.
 - 2. Interior dimensions are from grid lines to centre of walls,

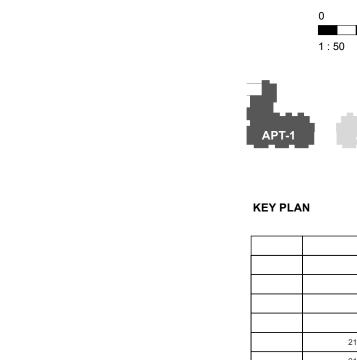
GENERAL NOTES - COMMON AREAS

- unless noted otherwise.
- 3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- 4. All interior partitions are type W1, unless noted otherwise.
- 5. For exterior wall types & dimensions and party/corridor
- wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all
- 7. Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted
- 8. Confirm all dimensions on site prior to fabrication.
- 9. Shop drawings must be coordinated with final fixture and appliance specifications prior to fabrication.
- 10.Provide millwork shop drawings to Architect for review
- and comment prior to fabrication. 11. Provide appropriate solid blocking in walls for cabinetry,
- countertops and wall hung hardware. 12. Cabinets to be frameless, flat panel HPL.

cabinetry.

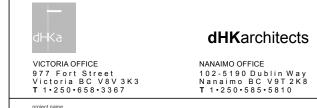
- 13. Provide finished end panels at exposed ends of
- 14. Open shelves finished with HPL. Provide fully adjustable
- shelves. 15.Install neoprene isolator pads under all laundry
- appliances.
- 16.Provide cut-outs in countertops for all sinks and plumbing fixtures to templates provided. Seal all edges.
- 17.Insulate all exposed sink pipes and drains. Offset for ADA clearance where required.
- 18.Install extruded aluminum trim at all exposed floor and wall tile edges.
- 19.Brushed stainless steel elevator door, frame & call button base.
- 20. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.





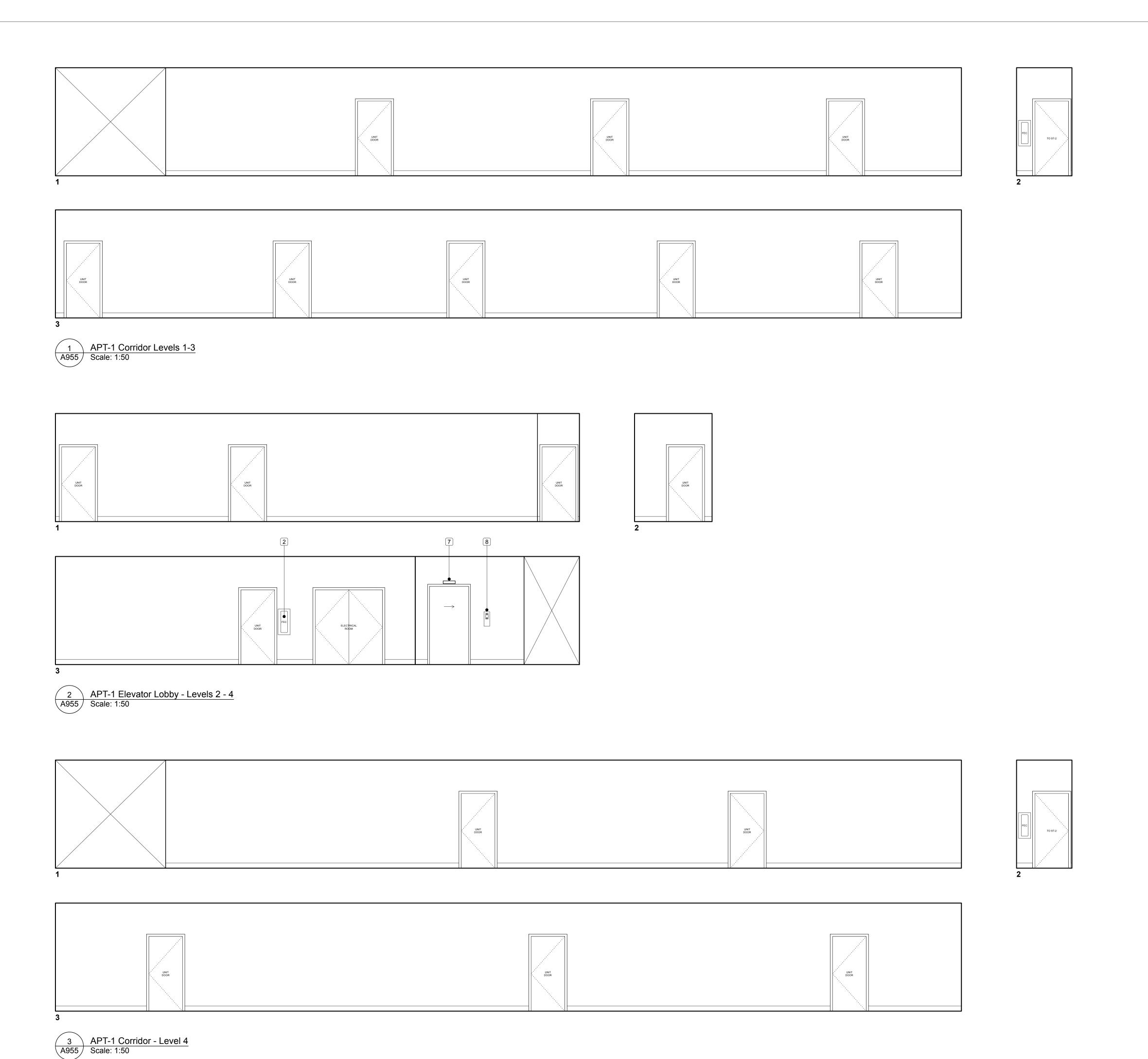
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		21-01-27		Issued for 90% BP Coordinati
Rev -	Date	20-11-25	Description	Issued for 50% BP Coordinati
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.v
drawn by		NLC	checked by	CF
scale		1:50	project number	19





Caledonia Victoria BC

APT-1 Common Interior Elevations



- 1 Annunciator panel. See Electrical.
- 2 Fire extinguisher cabinet.
- 3 Fire Safety Plan.
- 4 Door operator button. See Electrical.
- [5] Wall mounted heater. See Electrical.
- 7 Elevator hall lantern.

- Mailboxes: Canadian Mailbox Company Model 1230, front load. See Specification.
- 12a: APT-1, 48 letter, 6 parcel boxes 12b: APT-2, 56 letter, 7 parcel boxes
- 14 Washer. See Mechanical Specification.
- Laundry sink, faucet, and open base cabinet c/w. HPL countertop, 38mm overhang. No cove. See Architectural and Mechanical Specifications.
- 16 Paper towel dispenser.
- 18 Rigid vinyl sheet wall protector. See A705.
- 19 Janitor sink and faucet. See Mechanical Specification.
- 20 Broom holder.
- 21 Open millwork shelf.
- 22 Sprinkler control valves.

- 6 fire pull station. See Electrical.
- 8 Elevator call button.
- 9 Lockable cabinet/counter c/w hidden latch hardware and recycling bin.
- 10 Open niche with mirror behind.
- [11] Recessed downlight.
- 12c: TH-1, 66 letter, 8 parcel boxes
- [13] Dryer. See Mechanical Specification.

- 17 Soap dispenser.

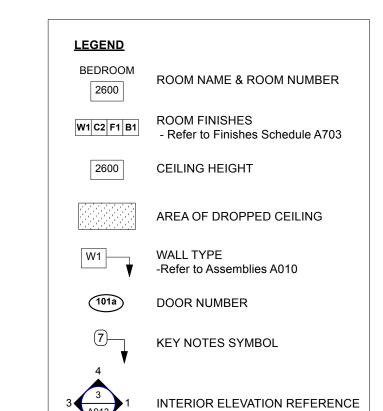
- GENERAL NOTES COMMON AREAS
- 1. All dimensions are metric and shown in millimeters.
- 2. Interior dimensions are from grid lines to centre of walls, unless noted otherwise.
- 3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any
- 4. All interior partitions are type W1, unless noted
- 5. For exterior wall types & dimensions and party/corridor

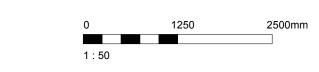
discrepancies.

- wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all
- 7. Offset door rough opening min, 75mm from adjacent

wall surface where space allows, unless noted

- 8. Confirm all dimensions on site prior to fabrication.
- 9. Shop drawings must be coordinated with final fixture and appliance specifications prior to fabrication.
- 10.Provide millwork shop drawings to Architect for review and comment prior to fabrication.
- 11. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.
- 12. Cabinets to be frameless, flat panel HPL.
- 13. Provide finished end panels at exposed ends of cabinetry.
- 14. Open shelves finished with HPL. Provide fully adjustable shelves.
- 15.Install neoprene isolator pads under all laundry
- appliances.
- 16.Provide cut-outs in countertops for all sinks and plumbing fixtures to templates provided. Seal all edges.
- 17.Insulate all exposed sink pipes and drains. Offset for ADA clearance where required.
- 18.Install extruded aluminum trim at all exposed floor and
- wall tile edges. 19.Brushed stainless steel elevator door, frame & call
- button base. 20. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.









KEY PLAN

		21-03-16		90% Reiew
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% BP Coordination
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx
drawn by		NLC	checked by	CRK
ecale		1:50	project number	1907

NOTE: All dimensions are shown in millimeters.



Caledonia

Victoria BC APT-1 Common Interior Elevations

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- 1 Annunciator panel. See Electrical.
- 2 Fire extinguisher cabinet.
- 3 Fire Safety Plan.
- 4 Door operator button. See Electrical.
- [5] Wall mounted heater. See Electrical.
- 6 fire pull station. See Electrical.
- 7 Elevator hall lantern.
- 8 Elevator call button.
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- 14 Washer. See Mechanical Specification.
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- 17 Soap dispenser.
- 18 Rigid vinyl sheet wall protector. See A705.
- 19 Janitor sink and faucet. See Mechanical Specification.
- 20 Broom holder.
- 21 Open millwork shelf.
- 22 Sprinkler control valves.

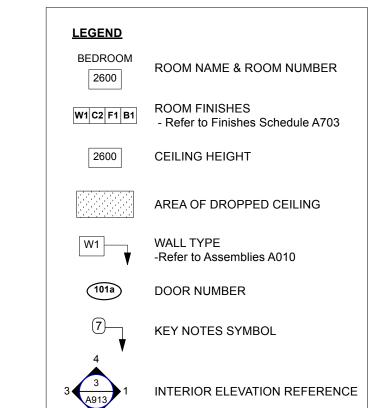
- 1. All dimensions are metric and shown in millimeters.
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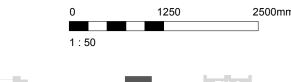
GENERAL NOTES - COMMON AREAS

- unless noted otherwise. 3. Contractor to verify all dimensions and confirm same on
- site. Architect to be notified in case of any discrepancies.
- 4. All interior partitions are type W1, unless noted otherwise.
- 5. For exterior wall types & dimensions and party/corridor
- wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all
- 7. Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted
- 8. Confirm all dimensions on site prior to fabrication.
- 9. Shop drawings must be coordinated with final fixture and appliance specifications prior to fabrication.
- 10.Provide millwork shop drawings to Architect for review
- 11. Provide appropriate solid blocking in walls for cabinetry, countertops and wall hung hardware.
- 12. Cabinets to be frameless, flat panel HPL.

and comment prior to fabrication.

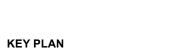
- 13. Provide finished end panels at exposed ends of cabinetry.
- 14. Open shelves finished with HPL. Provide fully adjustable shelves.
- 15.Install neoprene isolator pads under all laundry
- appliances. 16.Provide cut-outs in countertops for all sinks and
- plumbing fixtures to templates provided. Seal all edges.
- 17.Insulate all exposed sink pipes and drains. Offset for ADA clearance where required. 18.Install extruded aluminum trim at all exposed floor and
- wall tile edges. 19.Brushed stainless steel elevator door, frame & call
- button base.
- 20. Warranty to be provided as per BC Housing Design Guidelines and Construction Standards 2019.











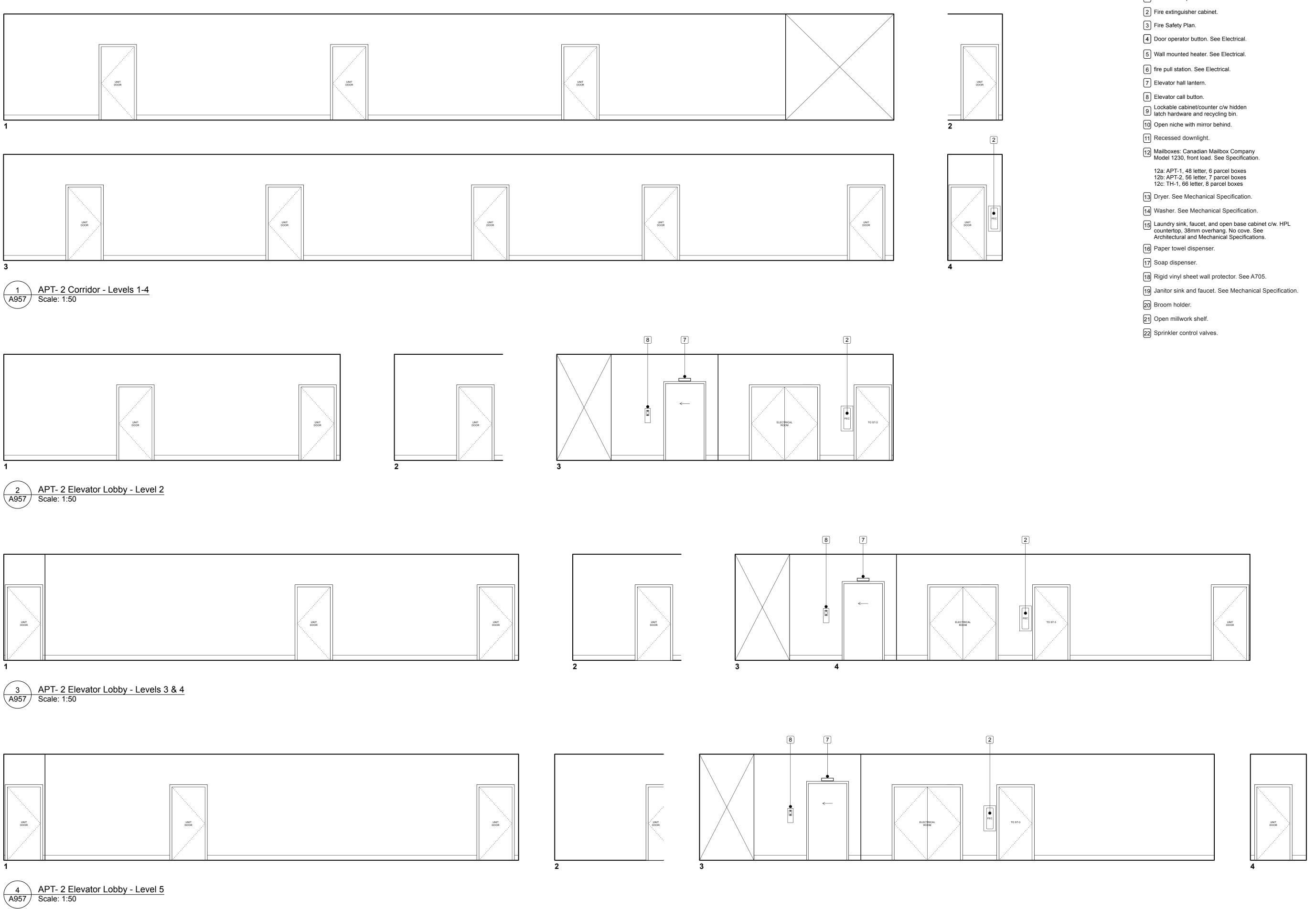
		21-03-16		90% Reiew
		21-01-27		Issued for 90% BP Coordination
Rev -	Date	20-11-25	Description	Issued for 50% BP Coordination
plot date		21-03-16	drawing file	1907.3 A900 APT Detail Plans.vwx
drawn by		NLC	checked by	CRK
ecale		1:50	project number	1907

NOTE: All dimensions are shown in millimeters.



Caledonia Victoria BC

APT-2 Common Interior Elevations



1 Annunciator panel. See Electrical.

- 1. All dimensions are metric and shown in millimeters.
- 2. Interior dimensions are from grid lines to centre of walls,

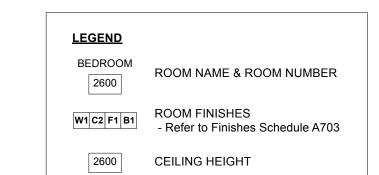
GENERAL NOTES - COMMON AREAS

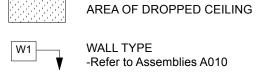
- unless noted otherwise.
- 3. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- 4. All interior partitions are type W1, unless noted otherwise.
- 5. For exterior wall types & dimensions and party/corridor

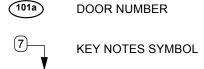
otherwise.

- wall dimensions, refer to Floor Plans A201-A241.
- 6. See Architectural Schedules and Specification for all
- 7. Offset door rough opening min, 75mm from adjacent wall surface where space allows, unless noted
- 8. Confirm all dimensions on site prior to fabrication.
- 9. Shop drawings must be coordinated with final fixture
- and appliance specifications prior to fabrication. 10.Provide millwork shop drawings to Architect for review
- and comment prior to fabrication. 11. Provide appropriate solid blocking in walls for cabinetry,
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Guidelines and Construction Standards 2019.

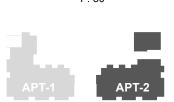


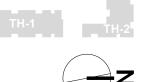




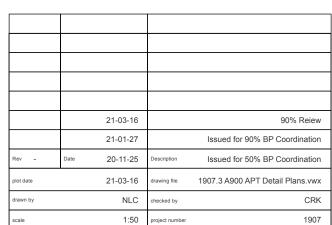




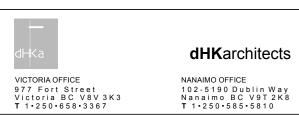






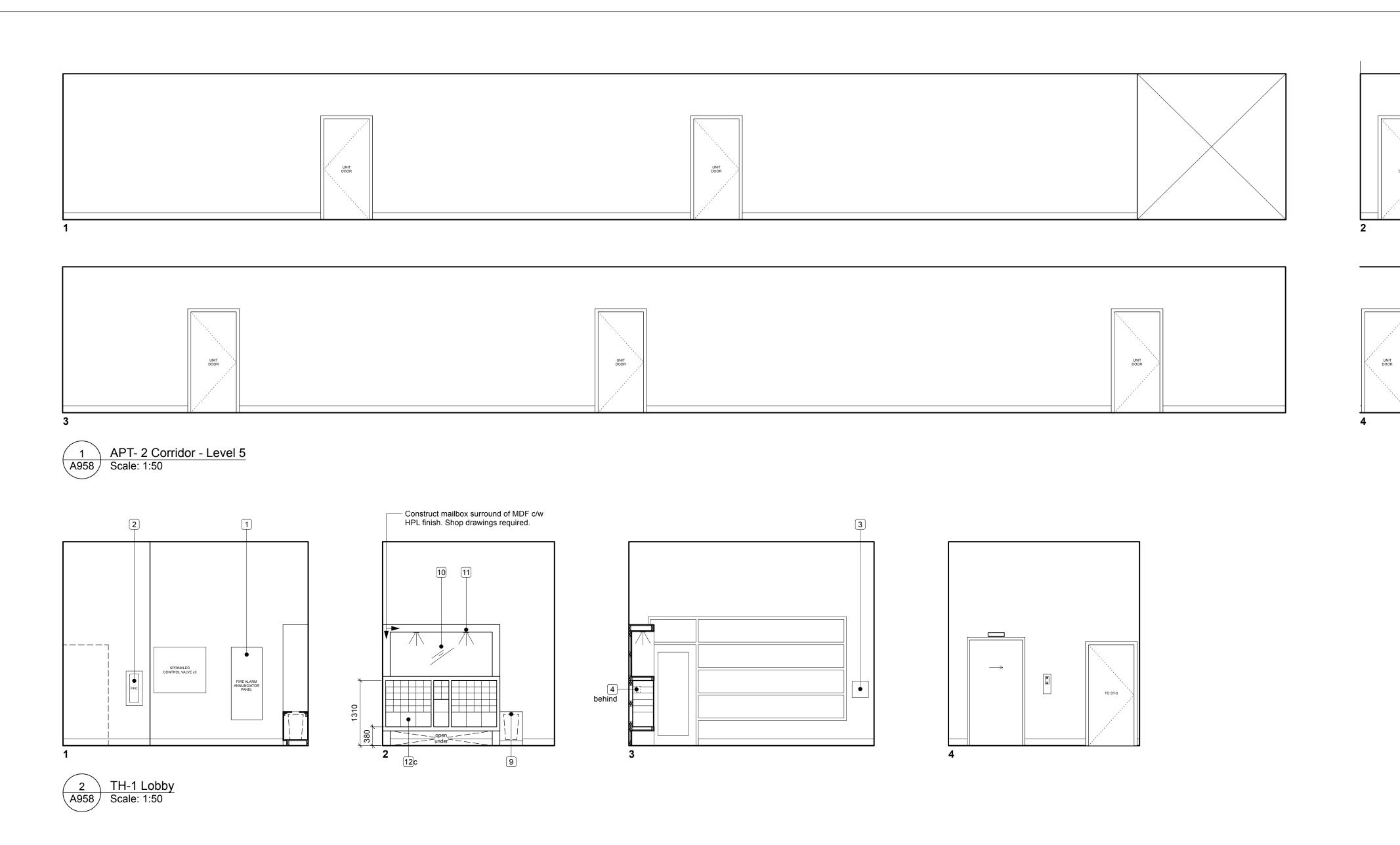


NOTE: All dimensions are shown in millimeters.



Caledonia Victoria BC

APT-2 Common Interior Elevations



- 1 Annunciator panel. See Electrical.
- 2 Fire extinguisher cabinet.
- 3 Fire Safety Plan.
- 4 Door operator button. See Electrical.
- [5] Wall mounted heater. See Electrical.
- 8 Elevator call button.
- 9 Lockable cabinet/counter c/w hidden latch hardware and recycling bin.
- 10 Open niche with mirror behind.

- [13] Dryer. See Mechanical Specification.
- 14 Washer. See Mechanical Specification.
- Laundry sink, faucet, and open base cabinet c/w. HPL countertop, 38mm overhang. No cove. See Architectural and Mechanical Specifications.
- 17 Soap dispenser.
- 19 Janitor sink and faucet. See Mechanical Specification.
- 20 Broom holder.
- 21 Open millwork shelf.

- 6 fire pull station. See Electrical.
- 7 Elevator hall lantern.

- [11] Recessed downlight.
- Mailboxes: Canadian Mailbox Company Model 1230, front load. See Specification.
- 12a: APT-1, 48 letter, 6 parcel boxes 12b: APT-2, 56 letter, 7 parcel boxes 12c: TH-1, 66 letter, 8 parcel boxes

- 16 Paper towel dispenser.
- 18 Rigid vinyl sheet wall protector. See A705.

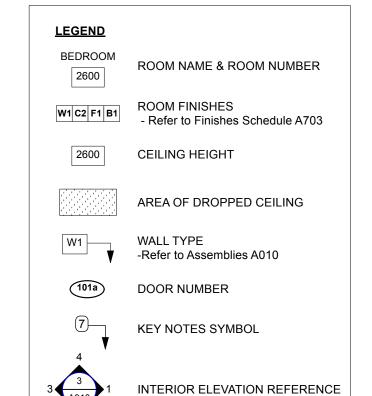
- 22 Sprinkler control valves.

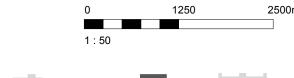
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discrepancies.

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scale		1:50	project number	1907

NOTE: All dimensions are shown in millimeters.



dHKarchitects

NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T2K8 T 1•250•585•5810

Caledonia

Victoria BC

APT-2 & TH-1 Interior Elevations

Capital Region Housing Corporation Society

Caledonia Affordable Housing Project

Capital Budget

Date

08-Sep-21 1211 Gladstone Ave - 1230 Grant St Address

Budget Code #		Total Dudwat
	Budget Description	Total Budget
12100	APPRAISALS/ STUDIES	040.000
10.150	Total Appraisals/ Studies	\$40,000
12150	ACQUISITION/ SERVICING	4
	Total Acquisition and Servicing	\$5,868,061
12200	MUNICIPAL FEES	
	Total Municipal Fees	\$794,137
12250	UTILITY FEES	
	Total Utility Fees	\$360,000
12350	DESIGN CONSULTANTS	
	Total Design Consultants	\$1,340,760
12450	CONSULTANTS	
	Total Consultants	\$2,459,015
12550	MISCELLANEOUS SOFT COSTS	
	Total Miscellaneous Soft Costs	\$1,315,500
12650	BORROWING COSTS	
	Total Borrowing Costs	\$894,788
12700	CONSTRUCTION	
	Total Construction	\$45,261,078
12800	BUILDING START-UP/ COMMISSIONING	
	Total Building Start-up/ Commissioning	\$163,000
12850	CONTINGENCIES	
	Total Contingencies	\$5,883,940
	GROSS CAPITAL BUDGET	\$64,380,279
12900	DEDUCTIONS	·
12910	Land Equity	\$0
12922	CRHC Equity	\$1,000,000
12945	BCH Grant	\$18,475,000
12922	Additional Equity VHRF	\$1,065,000
	Total Deductions	\$20,540,000
	NET CAPITAL BUDGET	\$43,840,279

Society Project Capital Region Housing Corporation
158-Unit Caledonia Affordable Housing Project

10-year operating Budget

Last modified: September 7, 2021
Modified by: Rob Fowles
Template version: March 11, 2021

Existing Cal Towr	nhouse RGI Units
2 Beds	10
3 Beds	4
4 Beds	4

Type mix	19.6%	49.4%	31.0%			
Total	31	78	49	158		137,262
4 Bedrooms	-	4	4	8		-
3 Bedrooms	1	4	9	14		-
2 Bedroom + den	-	-	-	-		-
2 Bedrooms	5	44	28	77		-
1 Bedroom + den	-	-	-	-		-
1 Bedroom	11	26	8	45		-
Studio	14	-	-	14		-
_	Shelter	RGI	Affordable	Total units	Area (sq. ft.)	Total area
UNITS AT A GLANCE:						

INANCES AT A GLANCE:	
Project costs	
Purchase price	4,300,000
Other closing costs	59,641,266
Other financing costs	439,013
	64,380,279
Project funding	
CMHC equity	18,475,000
CRD equity	1,000,000
RHTF grant	1,065,000
CRHC mortgage	43,840,279
	64,380,279
Cost per unit	407,470
Cost per square foot	469

REVENUE

Unit type	Unit size	Qty	Qty accessible	Starting rent	Inflation	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Shelter	Studio	14		375	0.0%	63,000	63,000	63,000	63,000	63,000	63,000	63,000	63,000	63,000	63,000
Shelter	1 Bedroom	11	7	375	0.0%	49,500	49,500	49,500	49,500	49,500	49,500	49,500	49,500	49,500	49,500
Shelter	2 Bedrooms	5	5	570	0.0%	34,200	34,200	34,200	34,200	34,200	34,200	34,200	34,200	34,200	34,200
Shelter	3 Bedrooms	1	1	660	0.0%	7,920	7,920	7,920	7,920	7,920	7,920	7,920	7,920	7,920	7,920
Shelter	4 Bedrooms	-		700	0.0%	-	-	-	-	-	-	-	-	-	-
19.6%		31	13												
RGI	Studio	-		744	2.0%	-	-	-	-	-	-	-	-	-	-
RGI	1 Bedroom	26		744	2.0%	232,128	236,771	241,506	246,336	251,263	256,288	261,414	266,642	271,975	277,414
RGI	2 Bedrooms	44	2	980	2.0%	517,440	527,789	538,345	549,111	560,094	571,296	582,721	594,376	606,263	618,389
RGI	3 Bedrooms	4		1,321	2.0%	63,408	64,676	65,970	67,289	68,635	70,008	71,408	72,836	74,293	75,778
RGI	4 Bedrooms	4		1,479	2.0%	70,992	72,412	73,860	75,337	76,844	78,381	79,949	81,547	83,178	84,842
49.4%		78	2												
Affordable	Studio	-		1,200	2.0%	-	-	-	-	-	-	-	-	-	-
Affordable	1 Bedroom	8		1,500	2.0%	144,000	146,880	149,818	152,814	155,870	158,988	162,167	165,411	168,719	172,093
Affordable	2 Bedrooms	28		1,800	2.0%	604,800	616,896	629,234	641,819	654,655	667,748	681,103	694,725	708,620	722,792
Affordable	3 Bedrooms	9		2,100	2.0%	226,800	231,336	235,963	240,682	245,496	250,406	255,414	260,522	265,732	271,047
Affordable	4 Bedrooms	4		2,400	2.0%	115,200	117,504	119,854	122,251	124,696	127,190	129,734	132,329	134,975	137,675
31.0%		49	-												
	Unit totals	158	15		Total rental revenue	2,129,388	2,168,883	2,209,169	2,250,260	2,292,172	2,334,923	2,378,530	2,423,008	2,468,375	2,514,651
	% accessible		9%												
Less Vacancy-Rent				Γ	2.0%	(42,588)	(43,378)	(44,183)	(45,005)	(45,843)	(46,698)	(47,571)	(48,460)	(49,368)	(50,293)
Parking \$30 pspm		118	30	42,480	2.0%	42,480	43,330	44,196	45,080	45,982	46,901	47,839	48,796	49,772	50,768
Less Vacancy - Parking					2.0%	(850)	(867)	(884)	(902)	(920)	(938)	(957)	(976)	(995)	(1,015)
Operating Subsidy		158	530		0.0%	1,004,880	982,689	960,225	937,312	913,940	890,101	865,785	840,983	815,684	789,880
				E	Effective gross revenue	3,133,311	3,150,658	3,168,523	3,186,745	3,205,331	3,224,289	3,243,627	3,263,351	3,283,469	3,303,990

EXPENSES

EXPENSES														
		Months to												
Per unit per month	PUPM (now)	completion	Inflated PUPM	Inflation	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033
Overhead allocation	100	36	106	2.0%	201,314	205,340	209,447	213,636	217,909	222,267	226,712	231,247	235,872	240,589
Replacement Reserve	72	36	76	2.0%	144,946	147,845	150,802	153,818	156,894	160,032	163,233	166,498	169,828	173,224
Caretaker	85	36	90	2.0%	171,117	174,539	178,030	181,591	185,223	188,927	192,706	196,560	200,491	204,501
Insurance	70	36	74	2.0%	140,920	143,738	146,613	149,545	152,536	155,587	158,699	161,873	165,110	168,412
Water	22	36	23	2.0%	44,289	45,175	46,078	47,000	47,940	48,899	49,877	50,874	51,892	52,930
Electricity	25	36	27	2.0%	50,329	51,335	52,362	53,409	54,477	55,567	56,678	57,812	58,968	60,147
Natural gas	8	36	8	2.0%	16,105	16,427	16,756	17,091	17,433	17,781	18,137	18,500	18,870	19,247
Landscaping	5	36	5	2.0%	10,066	10,267	10,472	10,682	10,895	11,113	11,336	11,562	11,794	12,029
Maintenance	30	36	32	2.0%	60,394	61,602	62,834	64,091	65,373	66,680	68,014	69,374	70,761	72,177
Garbage	18	36	19	2.0%	36,237	36,961	37,701	38,455	39,224	40,008	40,808	41,624	42,457	43,306
Property Tax	-	36	-	2.0%	-	-	-	-	-	-	-	-	-	-
Total operating expenses	435		462		875,717	893,231	911,096	929,317	947,904	966,862	986,199	1,005,923	1,026,042	1,046,562
% of Gross revenue					28%	28%	29%	29%	30%	30%	30%	31%	31%	32%
				Net Operating Income	2,257,594	2,257,427	2,257,427	2,257,427	2,257,427	2,257,427	2,257,427	2,257,428	2,257,427	2,257,427
			Annual debt service	e (mortgage payments) Cash Flow	2,257,427 167	2,257,427 (0)	2,257,427 (0)	2,257,427 0	2,257,427 (0)	2,257,427 0	2,257,427 0	2,257,427 0	2,257,427 (0)	2,257,427 0
		Debt s	ervice coverage (mu	st be greater than 1.0)	1.000	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00



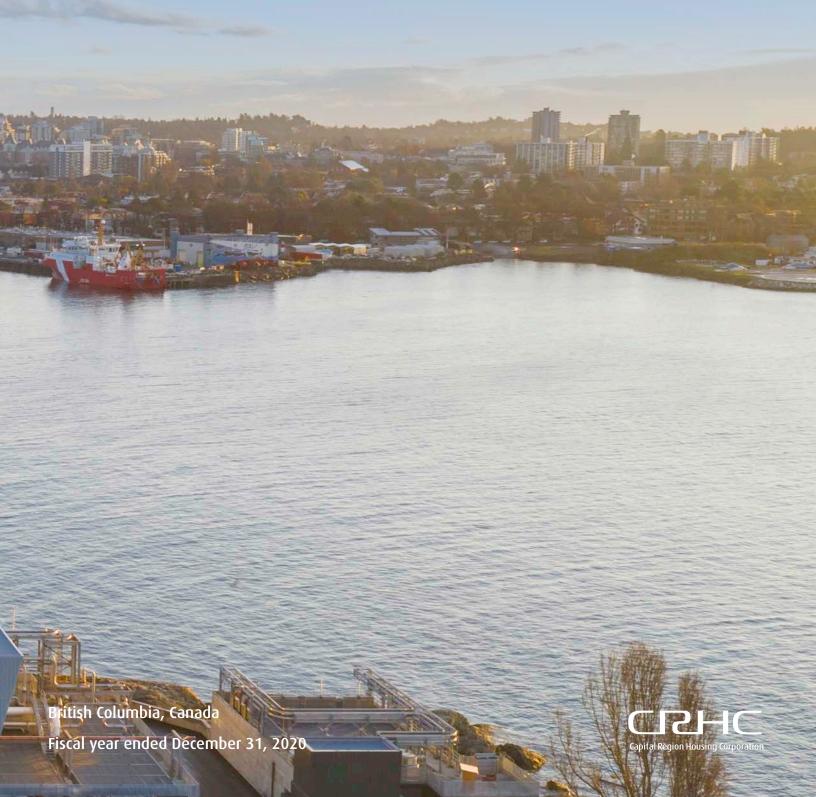




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Operating Fund: Rental Operations



KPMG LLP St. Andrew's Square II 800-730 View Street Victoria BC V8W 3Y7 Canada Telephone 250-480-3500 Fax 250-480-3539

INDEPENDENT AUDITORS' REPORT

To the Shareholder of the Capital Region Housing Corporation

Opinion

We have audited the financial statements of the Capital Region Housing Corporation (the Corporation), which comprise:

- the statement of financial position as at December 31, 2020
- the statement of operations for the year then ended
- the statement of changes in net assets and remeasurement gains and losses for the year then ended
- the statement of cash flows for the year then ended
- and notes to the financial statements, including a summary of significant accounting policies

(Hereinafter referred to as the "financial statements").

In our opinion, the accompanying financial statements present fairly, in all material respects, the financial position of the Corporation as at December 31, 2020, and its results of operations, its changes in net assets and remeasurement gains and losses, and its cash flows for the year then ended in accordance with Canadian public sector accounting standards.

Basis for Opinion

We conducted our audit in accordance with Canadian generally accepted auditing standards. Our responsibilities under those standards are further described in the "Auditors' Responsibilities for the Audit of the Financial Statements" section of our auditors' report.

We are independent of the Corporation in accordance with the ethical requirements that are relevant to our audit of the financial statements in Canada and we have fulfilled our other ethical responsibilities in accordance with these requirements.

We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion.

Other Information

Management is responsible for the other information. Other information comprises:

the information, other than the financial statements and the auditors' report thereon, included in the Annual Report.

Our opinion on the financial statements does not cover the other information and we do not and will not express any form of assurance conclusion thereon.

In connection with our audit of the financial statements, our responsibility is to read the other information identified above and, in doing so, consider whether the other information is materially inconsistent with the financial statements or our knowledge obtained in the audit and remain alert for indications that the other information appears to be materially misstated.

We obtained the information, other than the financial statements and the auditors' report thereon, included in the Annual Report as at the date of this auditors' report.

If, based on the work we have performed on this other information, we conclude that there is a material misstatement of this other information, we are required to report that fact in the auditors' report.

We have nothing to report in this regard.

Responsibilities of Management and Those Charged with Governance for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with Canadian public sector accounting standards, and for such internal control as management determines is necessary to enable the preparation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is responsible for assessing the Corporation's ability to continue as a going concern, disclosing as applicable, matters related to going concern and using the going concern basis of accounting unless management either intends to liquidate the Corporation or to cease operations, or has no realistic alternative but to do so.

Those charged with governance are responsible for overseeing the Corporation's financial reporting process.

Auditors' Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditors' report that includes our opinion.

Reasonable assurance is a high level of assurance, but is not a guarantee that an audit conducted in accordance with Canadian generally accepted auditing standards will always detect a material misstatement when it exists.

Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of the financial statements.

As part of an audit in accordance with Canadian generally accepted auditing standards, we exercise professional judgment and maintain professional skepticism throughout the audit.



We also:

- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, design and perform audit procedures responsive to those risks, and obtain audit evidence that is sufficient and appropriate to provide a basis for our opinion.
 - The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the Corporation's internal control.
- Evaluate the appropriateness of accounting policies used and the reasonableness of accounting estimates and related disclosures made by management.
- Conclude on the appropriateness of management's use of the going concern basis of accounting and, based on the audit evidence obtained, whether a material uncertainty exists related to events or conditions that may cast significant doubt on the Corporation's ability to continue as a going concern. If we conclude that a material uncertainty exists, we are required to draw attention in our auditors' report to the related disclosures in the financial statements or, if such disclosures are inadequate, to modify our opinion. Our conclusions are based on the audit evidence obtained up to the date of our auditors' report. However, future events or conditions may cause the Corporation to cease to continue as a going concern.
- Evaluate the overall presentation, structure and content of the financial statements, including the disclosures, and whether the financial statements represent the underlying transactions and events in a manner that achieves fair presentation.
- Communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and significant audit findings, including any significant deficiencies in internal control that we identify during our audit.

Chartered Professional Accountants

Victoria, Canada May 12, 2021

LPMG LLP

KPMG LLP is a Canadian limited liability partnership and a member firm of the KPMG network of independent member firms affiliated with KPMG International Cooperative ("KPMG International"), a Swiss entity. KPMG Canada provides services to KPMG LLP.



Capital Region Housing Corporation

MANAGEMENT REPORT

The Financial Statements contained in this report have been prepared by management in accordance with Canadian public sector accounting standards. The integrity and objectivity of these statements are management's responsibility. Management is also responsible for all the statements and schedules, and for ensuring that this information is consistent, where appropriate, with the information contained in the financial statements.

Management is also responsible for implementing and maintaining a system of internal controls to provide reasonable assurance that reliable financial information is produced.

The Capital Region Housing Corporation Board of Directors are responsible for approving the financial statements and for ensuring that management fulfills its responsibilities for financial reporting and internal control and exercises this responsibility through the Hospitals and Housing Committee of the Board.

The external auditors, KPMG LLP, conduct an independent examination, in accordance with Canadian public sector accounting standards, and express their opinion on the financial statements. Their examination includes a review and evaluation of the Corporation's system of internal control and appropriate tests and procedures to provide reasonable assurance that the financial statements are presented fairly. The external auditors have full and free access to staff and management. The Independent Auditors' Report outlines the scope of the audit for the year ended December 31, 2020.

On behalf of Capital Region Housing Corporation,

Nelson Chan, MBA, FCPA, FCMA

Chief Financial Officer

May 12, 2021

Statement of Financial Position

As at December 31, 2020

	2020		2019
Assets			
Current assets:			
Cash and cash equivalents (Note 2)	\$ 6,961,868	\$	6,778,570
Accounts receivable	642,886		483,154
Due from Capital Regional Hospital District	-		80,726
Prepaid expenses	541,333		391,831
	8,146,087		7,734,281
Cash and cash equivalents restricted for replacement reserve (Note 2)	5,934,450		5,116,400
Restricted cash held by BCHMC	-		478,892
Capital assets (Note 3 and Schedule C)	161,085,348		99,934,869
	\$ 175,165,885	\$	113,264,442
Liabilities and Net Assets			
Current liabilities:			
Accounts payable and accrued liabilities	1,014,548		2,684,758
Accrued mortgage interest	209,964		229,824
Due to Capital Regional District	104,454		21,539
Deferred revenue	704,008		670,815
Security deposits	795,281		636,614
Short-term capital financing (Note 9)	61,277,457		2,344,958
Mortgages payable principal current portion (Schedule D)	4,828,667		4,568,934
Mortgages payable principal renewal portion (Note 4 and Schedule D)	3,189,847		8,840,245
	72,124,226		19,997,687
Mortgages payable (Note 4 and Schedule D)	71,844,896		64,173,151
Capital stock (Note 5)	1		
Net assets:			
Invested in capital assets (Note 6)	21,351,990		20,840,337
Externally restricted (Note 7)	8,587,302		7,504,594
Internally restricted (Note 7)	623,382		306,064
Unrestricted: Corporation stabilization reserve (Note 8)	498,122		658,224
	31,060,796		29,309,219
Accumulated remeasurement losses	135,966		(215,616)
	31,196,762		29,093,603
Commitments and contingencies (Note 9)	, , , _		, ,
Subsequent events (Note 12)			
	\$ 175,165,885	Ф	113,264,442

See accompanying notes to the financial statements.

On behalf of the Board:

David Sneed

Statement of Operations

For the year ended December 31, 2020

	Operatir	ıg Funds	Restrict	ed Funds		
	Corporation	Rental Housing	Capital Fund	Replacement Reserve Fund	Total 2020	Total 2019
Revenues:						
Tenant rent contributions	\$ -	\$14,483,146	\$ -	\$ -	\$14,483,146	\$ 13,352,665
BCHMC rent subsidy assistance	-	359,792	-	-	359,792	326,494
BCHMC umbrella operating agreement funding	-	3,118,951	-	-	3,118,951	3,348,038
Rental management fees	1,736,610	-	-	-	1,736,610	1,505,344
Rental management fees - other	80,682	-	-	-	80,682	89,328
Investment income	78,422	-	45,427	148,084	271,933	303,915
Guest suites, net	(1,774)	-	-	-	(1,774)	1,320
Miscellaneous	55,890	137,626	-	-	193,516	172,248
Project management fees	273,690	-	-	-	273,690	276,000
Government contributions (Note 9)	-	-	660,000	-	660,000	5,821,264
_	2,223,520	18,099,515	705,427	148,084	21,176,546	25,196,616
Expenses: Administration and property management	2,255,667			_	2,255,667	1,959,882
Amortization - office equipment and vehicles	2,233,007	_	8,970	_	8,970	11,213
	-	_	5,317,385	-	5,317,385	· ·
Amortization - buildings and equipment	-	-	902,205	-	902,205	5,438,880
Amortization - prepaid leases	-	205 670	902,203	-	•	816,830
Property taxes	-	295,670	-	-	295,670	306,316
Insurance	-	845,756	-	-	845,756	632,846
Maintenance	-	949,823	-	-	949,823	1,031,410
Caretakers	-	1,513,770	-	-	1,513,770	1,246,120
Landscape	-	378,861	-	-	378,861	372,714
Electricity	-	264,704	-	-	264,704	323,562
Land and improvement leases	-	294,000	-	-	294,000	294,000
Water	-	1,090,990	-	-	1,090,990	977,216
Oil and gas	-	96,251	-	-	96,251	86,493
Garbage	-	286,381	-	-	286,381	265,337
Rental management fee	-	1,735,790	-	-	1,735,790	1,504,614
Audit and legal	-	31,381	-	-	31,381	28,211
Miscellaneous	-	35,745	-	-	35,745	66,139
Hospitality services (Parry Place)	-	293,690	-	-	293,690	290,262
Interest on mortgages payable	-	2,127,930	-	-	2,127,930	2,209,671
Repayment of BCHMC capital contribution	-	-	700,000	-	700,000	-
	2,255,667	10,240,742	6,928,560	-	19,424,969	17,861,716
Excess (deficiency) of revenues over expenses before:	(32,147)	7,858,773	(6,223,133)	148,084	1,751,577	7,334,900
Reimburse BCHMC subsidy overpayments	-	-	-	-	-	(5,047)
Excess (deficiency) of revenues over expenses	\$ (32,147)	\$ 7,858,773	\$ (6,223,133)	\$ 148,084	\$ 1,751,577	\$ 7,329,853

See accompanying notes to the financial statements.

Statement of Changes in Net Assets & Remeasurement Gains & Losses

For the year ended December 31, 2020

	Operating Funds			Restricted Funds Replacement							
	Co	orporation		Rental Housing		Capital Fund		Reserve Fund	emeasurement ains / (Losses)	Total 2020	Total 2019
Net assets, beginning of year	\$	826,544	\$	2,525,938	\$	20,840,337	\$	5,116,400	\$ (215,616)	\$29,093,603	\$21,718,174
Excess (deficiency) of revenues over expenses		(32,147)		7,858,773		(6,223,133)		148,084	-	1,751,577	7,329,853
Interfund transfers: Mortgage principal											
repayments		-		(5,092,006)		5,092,006		-	-	-	-
Replacement reserve transfers Replacement reserve		-		(2,327,500)		-		2,327,500	-	-	-
expenditures Rental housing fund		-		-		1,657,534		(1,657,534)	-	-	-
transfers		(135,082)		149,836		(14,754)		-	-	-	_
		(135,082)		(7,269,670)		6,734,786		669,966	-	-	-
Unrealized gain (loss) on investments		_		_		_		_	351,582	351,582	45,576
Net assets, end of year	\$	659,315	\$	3,115,041	\$	21,351,990	\$	5,934,450	\$ 135,966	\$31,196,762	\$29,093,603

See accompanying notes to the financial statements.

Statement of Cash Flows

For the year ended December 31, 2020

	2020	2019
Cash provided by (used in):		
Operating activities:		
Excess of revenues over expenses	\$ 1,751,577 \$	7,329,853
Items not involving cash:		
Amortization	6,228,560	6,266,923
Changes in non-cash assets and liabilities:		
(Increase) in accounts receivable	(159,732)	(223,470)
Decrease (increase) in due from Capital Regional Hospital District	80,726	(80,726)
(Increase) in inventory and prepaid expenses	(149,502)	(155,228)
Increase (decrease) in accounts payable and accrued liabilities	(1,670,210)	1,585,256
Increase (decrease) in accrued mortgage interest	(19,860)	72,789
Increase in deferred revenue	33,193	37,488
Increase in security deposits	158,667	113,106
Increase (decrease) due to Capital Regional District	82,915	(145,996)
Net change in cash from operating activities	6,336,334	14,799,995
Investing activities:		
Decrease in restricted cash and cash equivalents	12,424	199,256
Capital activities:		
Acquisition of capital assets	(67,379,039)	(47,445,874)
Net change in cash from capital activities	(67,379,039)	(47,445,874)
Financing activities:		
Repayment of mortgages payable	(5,092,006)	(5,193,349)
Proceeds from short term debt	61,277,457	2,344,958
Proceeds from long term debt	5,028,128	35,499,184
	61,213,579	32,650,793
Net change in cash and cash equivalents	183,298	204,170
Cash and cash equivalents, beginning of year	6,778,570	6,574,400
Cash and cash equivalents, end of year	\$ 6,961,868 \$	6,778,570

See accompanying notes to the financial statements.

Capital Region Housing Corporation

Notes to Financial Statements

For the year ended December 31, 2020

General

The Capital Region Housing Corporation (the "Corporation") is incorporated under the laws of British Columbia and its principal activity is the provision of rental accommodation. As a wholly owned subsidiary of the Capital Regional District ("CRD"), the Corporation is exempt from taxation under the Income Tax Act and is regarded as a municipality for GST purposes.

1. Significant Accounting Policies

The financial statements have been prepared in accordance with Canadian Public Sector Accounting Standards including the 4200 standards for government not-for-profit organizations.

a. Revenue Recognition

The Corporation follows the restricted fund balance method of accounting for contributions. Unrestricted contributions are recognized as revenue of the Operating Fund in the year received or receivable if the amount to be received can be reasonably estimated and collection is reasonably assured. Restricted contributions related to general operations are recognized as revenue of the Operating Fund in the year to which the funding relates. All other restricted contributions are recognized as revenue of the appropriate restricted fund in the year received or receivable.

b. Fund Accounting

i. Operating Funds

The Operating Funds reflect the Corporation's assets, liabilities and transactions relating to the ongoing rental and non-rental operations ("Corporation"). In accordance with the agreements with British Columbia Housing Management Commission (BCHMC), a Portfolio Stabilization Reserve has been established for each portfolio's accumulated operating surplus. The Corporation has also established a reserve for the No Operating Agreement portfolio. These reserves are used in the event that annual rental revenues and government subsidies are inadequate to meet the portfolio's mortgage payments and operating costs. The Corporation can also contribute funds from these reserves to the Replacement Reserve Fund, if required. At the discretion of the Board, the unrestricted Corporate Stabilization Reserve provides funding for administration and special projects.

ii. Capital Fund

The Capital Fund reflects the Corporation's investment in capital assets and related financial activities.

iii. Replacement Reserve Fund

In accordance with the agreements with BCHMC, a Replacement Reserve Fund has been established for each building to pay for the replacement of worn-out capital equipment and other approved items. The Replacement Reserves are funded by an annual transfer from the Rental Housing Operating Fund. Capital expenditures made from the reserve are transferred to the Capital Fund.

1. Significant Accounting Policies (continued)

c. Capital Assets

Land, buildings, equipment and vehicles are stated at cost. Amortization over their estimated useful lives is provided on the straight-line basis at the following rates:

Asset	Rate
Prepaid leases	29-60 Years
Buildings	35 Years
Equipment	10 Years
Vehicles	5 Years

All transfers from the Replacement Reserve Fund and office equipment are stated at cost and amortization is provided on the declining balance basis at 20% per annum.

Amortization is charged upon the asset becoming available for productive use in the year of acquisition.

Capital assets are written down when conditions indicate that they no longer contribute to the Corporation's ability to provide goods and services or when the value of the future economic benefits associated with the asset is less than the book value of the asset.

d. Debt Retirement

Payment of principal on long-term debt is funded by a transfer from the Rental Housing Operating Fund to the Capital Fund.

e. Operating Agreements

i. Umbrella

Effective April 1, 2012, the Corporation signed a thirty-three month Interim Umbrella Operating Agreement (the "Umbrella Agreement") with BCHMC to consolidate three operating agreements to reduce administrative duplication, allow the Corporation more flexibility to determine priorities for the portfolio maintenance and management and create a stable and predictable funding stream for the Corporation. In addition, the parties agreed to work together to develop a long-range capital planning tool to enable the Corporation and BCHMC to determine the capital replacement needs of the portfolio for the next thirty years and to negotiate on the transfer of the land ownership of the BCHMC projects from the Provincial Rental Housing Corporation to the Corporation. The final agreement was signed on December 2, 2014 with an effective date of January 1, 2015, for a five year term, and was renewed in December 2019 for an additional five year term ending 2024.

Effective August 17, 2020, the Umbrella Agreement was modified to remove three properties, Portage Place, Campus View Court, and Royal Oak Square, whose mortgages had matured and

1. Significant Accounting Policies (continued)

e. Operating Agreements (continued)

i. Umbrella (continued)

which were originally part of the CMHC Agreement described below. The properties were moved to the CRHC No Operating Agreement portfolio and their corresponding Replacement Reserve balances were moved to the CRHC No Operating Agreement Replacement Reserve. No transfers were made between Portfolio Stabilization Reserves. As a result of this change, the Umbrella Agreement now contains 39 buildings and 1,142 units.

Except as modified by the Umbrella Agreement, all provisions of the original three operating agreements with CMHC, BCHMC and Homes BC will continue to apply to each project in the portfolio.

a) CMHC

Prior to April 1, 2012 the Corporation had entered into agreements with CMHC pursuant to Section 95 (formerly Section 56.1) of the National Housing Act whereby CMHC will provide mortgage assistance grants to the Corporation that reduce interest costs to not less than 2% on all mortgages payable. As of January 1, 2005 when a mortgage loan is renewed the mortgage assistance grants shall increase or decrease by the same dollar amount as the monthly loan payment of principal and interest changes.

b) BCHMC

Prior to April 1, 2012 the Corporation had entered into agreements with BCHMC whereby BCHMC, on behalf of the Provincial and Federal governments, will provide rent subsidy assistance equal to the BCHMC approved difference between tenant rent contributions and BCHMC defined economic rents.

c) Homes BC Program

Prior to April 1, 2012 the Corporation had entered into agreements with BCHMC under the unilaterally funded Homes BC Program. The Provincial Government agrees to provide rent subsidy assistance for Rent Geared to Income (RGI) units (approximately 60% of total units) based on the difference between the tenant rent contribution and the approved economic rents. The Province also agrees to provide Repayable Assistance equal to the difference between the economic and the approved low-end of market rents for the remaining units.

ii. Independent Living BC II Program

The Corporation has entered into an agreement with BCHMC under the unilaterally funded Independent Living BC II Program. The Provincial Government agrees to provide subsidy assistance for shelter and defined hospitality costs based on the difference between seventy percent (70%) of the residents' net income and the approved operating budget.

1. Significant Accounting Policies (continued)

e. Operating Agreements (continued)

iii. Regional Housing First Program

The Regional Housing First Program (RHFP) is a partnership between the Provincial and Federal governments and the CRD to provide capital funding to affordable housing projects in the region. The Corporation has entered into a 40-year agreement with BCHMC on behalf of the RHFP whereby the Corporation provides shelter-rate and affordable rents to low and moderate income tenants.

iv. Investment in Housing Innovation Program

The Corporation has entered into a 40-year agreement with BCHMC under the Investment in Housing Innovation (IHI) program. Capital funding was provided in the form of a forgivable loan to facilitate the construction of the Westview building. No other financial contribution will be received to subsidize the ongoing operation of the building.

v. CRHC No Operating Agreement

This category includes buildings that receive no mortgage assistance or rent subsidy assistance. Tenant rent contributions are determined by the Corporation.

f. Allocation of Investment Income

Funds available for investment are pooled and interest revenue is allocated to restricted funds at the rate of average prime minus 0.11% (2019: average prime minus 0.45%).

g. Financial Instruments

Financial instruments are recorded at fair value on initial recognition. Derivative instruments, bonds and equity instruments that are quoted in an active market are subsequently reported at fair value. All other financial instruments are subsequently recorded at cost or amortized cost unless management has elected to carry the instruments at fair value. The Corporation has not elected to carry any other such financial instruments at fair value.

Unrealized changes in fair value are recognized in the statement of remeasurement gains and losses until they are realized, when they are transferred to the statement of operations.

Transaction costs incurred on the acquisition of financial instruments measured subsequently at fair value are expensed as incurred. All other financial instruments are adjusted by transaction costs incurred on acquisition and financing costs, which are amortized using the straight-line method.

1. Significant Accounting Policies (continued)

g. Financial Instruments (continued)

All financial assets are assessed for impairment on an annual basis. When a decline is determined to be other than temporary, the amount of the loss is reported in the statement of operations and any unrealized gain is adjusted through the statement of remeasurement gains and losses.

h. Use of Estimates

The preparation of the financial statements requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenses during the year. Significant estimates and assumptions include amortization of capital assets. Actual results could differ from those estimates.

2. Cash and Cash Equivalents

Cash and cash equivalents have a maturity of three months or less at acquisition and are held for the purpose of meeting short-term cash commitments. Included in cash and cash equivalents are investments in the Municipal Finance Authority of British Columbia (MFA) Short Term Bond and Money Market Funds. See Schedule A for details of cash and cash equivalents restricted for replacement reserve.

3. Capital Assets

December 31, 2020	Cost	Accumulated Amortization	Net Book Value
Land	\$ 9,496,053	\$ -	\$ 9,496,053
Prepaid leases	109,499,053	7,233,959	102,265,094
Buildings	122,362,585	81,567,634	40,794,951
Equipment and other	38,956,747	30,427,497	8,529,250
	\$ 280,314,438	\$ 119,229,090	\$ 161,085,348

December 31, 2019	Cost	Accumulated Amortization	Ne	et Book Value
Land	\$ 9,496,053	\$ -	\$	9,496,053
Prepaid leases	48,030,167	6,331,754		41,698,413
Buildings	118,109,960	78,387,702		39,722,258
Equipment and other	37,299,219	28,281,074		9,018,145
	\$ 212,935,399	\$ 113,000,530	\$	99,934,869

Mortgages Payable

Pursuant to Section 5 of the National Housing Act, CMHC has undertaken to insure all mortgages payable by the Corporation except the mortgages on Village on the Green and Vergo. As additional security, the mortgagors hold chattel mortgages and assignments of rent.

Principal due within each of the next five years on these mortgages is approximately as follows:	ssuming no mortgage renewal	Assuming mortgage renewal
2021	\$ 8,018,514	\$ 4,901,224
2022	7,926,882	4,872,303
2023	5,410,602	4,927,348
2024	12,068,342	4,745,516
2025	\$ 6,425,327	\$ 4,291,919

Interest on mortgages ranges from 0.68% to 3.50% with renewal dates February 1, 2021 to September 1, 2030 and maturity dates from February 1, 2021 to September 1, 2055.

Capital Stock

Authorized capital: 2,000 shares with par value of \$1 each

1 share of \$1 par value, owned by the Capital Regional District. Issued capital:

Invested in Capital Assets

Investment in capital assets is calculated as follows:

	December 31, 2020	December 31, 2019
Capital assets	\$ 161,085,348	\$ 99,934,869
Accounts receivable	454,156	202,254
Interfund due (to)/from rental housing operating fund	953,353	151,610
Restricted cash	-	478,892
Mortgages payable	(79,863,410)	(77,582,330)
Short-term loan	(61,277,457)	(2,344,958)
	\$ 21,351,990	\$ 20,840,337

7. Restricted Net Assets

Externally restricted net assets:

	De	cember 31, 2020	De	ecember 31, 2019
Replacement reserve fund	\$	5,934,450	\$	5,116,400
CMHC/BCHMC/Homes BC operating agreements		(3,949)		(3,948)
Portfolio stabilization reserve - umbrella agreement		2,588,625		2,472,613
Portfolio stabilization reserve - ILBC2 agreement		(38,827)		(80,509)
Portfolio stabilization reserve - RHFP agreement		(13,589)		38
Portfolio stabilization reserve - IHI		120,592		-
	\$	8,587,302	\$	7,504,594

Internally restricted net assets:

	Dec	ember 31, 2020	Ded	cember 31, 2019
Portfolio stabilization reserve - no operating agreement	\$	462,189	\$	137,744
Guest suite surplus		36,425		38,199
Vehicle replacement reserve		94,584		92,142
Equipment replacement reserve		30,184		37,979
	\$	623,382	\$	306,064

Rental housing operating fund balance:

	De	cember 31, 2020	December 31 2019	
Portfolio stabilization reserve - umbrella agreement	\$	2,588,625	\$	2,472,613
Portfolio stabilization reserve - ILBC2 agreement		(38,827)		(80,509)
Portfolio stabilization reserve - RHFP agreement		(13,589)		38
Portfolio stabilization reserve - IHI		120,592		-
Portfolio stabilization reserve - no operating agreement		462,189		137,744
CMHC/BCHMC/Homes BC operating agreements		(3,949)		(3,948)
	\$	3,115,041	\$	2,525,938

8. Unrestricted Net Assets

Unrestricted net assets - corporation stabilization reserve:

	Dec	ember 31, 2020	De	cember 31, 2019
Operating net assets, ending balance	\$	659,315	\$	826,544
Less: Internally restricted net assets				
Guest suite surplus		(36,425)		(38,199)
Vehicle replacement reserve		(94,584)		(92,142)
Equipment replacement reserve		(30,184)		(37,979)
	\$	498,122	\$	658,224

9. Commitments and Contingencies

a. Related Party Transactions

The Corporation is a wholly owned subsidiary of the Capital Regional District (CRD). In 1997, the Corporation committed to a sixty year prepaid land lease at 625 Superior Street from the CRD at the agreed upon price of \$525,000 which was recognized as an acquisition in the Corporation Capital Fund. In 2017, the Corporation committed to a sixty year land lease at 3816 Carey Road from the CRD for one dollar, with the land use restricted to affordable housing.

In 2018, a RHFP project management office was created to support the delivery of the Program. During the year the Corporation contributed \$63,520 (2019: \$62,275) to the CRD, to cost share in administrative support and project management services.

On January 25, 2019, as part of the RHFP, the CRD purchased Millstream Ridge and entered into a 60-year prepaid lease in the amount of \$33,250,194 and a 35-year operator agreement with the Corporation. The Corporation secured 35-year mortgage financing to fund the prepaid lease.

On November 2, 2020, as part of the RHFP, the CRD purchased West Park and entered into a 60-year prepaid lease in the amount of \$29,430,822 and a 35-year operator agreement with the Corporation. The CRD's Regional Housing Trust Fund provided a capital grant to the Corporation in the amount of \$660,000 for this project. The Corporation secured short-term capital financing from BCHMC to fund the prepaid lease. This short-term financing was converted to a 35-year mortgage subsequent to year-end for a 10-year term at 1.519% interest.

On November 20, 2020, as part of the RHFP, the CRD purchased Spencer Close and entered into a 60-year prepaid lease in the amount of \$28,419,513 and a 35-year operator agreement with the Corporation. The Corporation secured short-term capital financing from BCHMC to fund the prepaid lease. This short-term financing was converted to a 35-year mortgage subsequent to year-end for a 10-year term at 1.519% interest.

9. Commitments and Contingencies (continued)

b. Sublease of Kings Place Housing Development

The Corporation entered into agreement with the Cridge Housing Society and the Provincial Rental Housing Corporation to sublease the land and improvements at 1070 Kings Road, Victoria for a term of thirty years commencing August 1, 1997. The Homes BC Program Operating Agreement was assigned to the Corporation from the Cridge Housing Society with the approval of the BCHMC. Current annual lease payments amount to \$231,000 and are based on the annual mortgage payments.

c. Building Envelope Remediation (BER)

Prior to the signing of the Umbrella Agreement in 2012, BCHMC provided funding for building envelope failure remediation for BCHMC and Homes BC buildings. BCHMC may require repayment of certain BER subsidies. Repayment would be funded by second mortgages. Funding for future BER for all buildings except No Operating Agreement buildings, Village on the Green and Vergo, is subject to future negotiations with BCHMC. In 2014, BCHMC entered into an agreement with the Corporation to fund the Heathers BER with a 35 year forgivable mortgage of \$1,258,358.

10. Pension Liability

The Corporation and its employees contribute to the Municipal Pension Plan (the Plan), a jointly trusteed pension plan. The Board of Trustees, representing plan members and employers, is responsible for administering the Plan, including investment assets and administration of benefits. The Plan is a multi-employer defined benefit pension plan. Basic pension benefits provided are based on a formula.

As at December 31, 2019, the Plan has about 213,000 active members and approximately 106,000 retired members. Active members include approximately 32 contributors from the Corporation.

Every three years an actuarial valuation is performed to assess the financial position of the Plan and the adequacy of plan funding. The actuary determines an appropriate combined employer and member contribution rate to fund the Plan. The actuary's calculated contribution rate is based on the entry-age normal cost method, which produces the long-term rate of member and employer contributions sufficient to provide benefits for average future entrants to the Plan. This rate may be adjusted for the amortization of any actuarial funding surplus and will be adjusted for the amortization of any unfunded actuarial liability.

The most recent valuation for the Municipal Pension Plan as at December 31, 2018 indicated a \$2,866 million funding surplus for basic pension benefits on a going concern basis.

The Corporation's employer contributions to the Plan for the fiscal year ended December 31, 2020 is \$222,396 (2019: \$183,804). The next valuation will be as at December 31, 2021, with results available in 2022.

Employers participating in the Plan record their pension expense as the amount of employer contributions made during the fiscal year (defined contribution pension plan accounting). This is because the Plan records accrued liabilities and accrued assets for the Plan in aggregate, resulting in no consistent and reliable basis for allocating the obligation, assets and cost to individual employers participating in the Plan.

11. Financial risks and concentration of risk

a. Credit risk

Credit risk refers to the risk that a counter party may default on its contractual obligations resulting in a financial loss. The Corporation is exposed to credit risk with respect to the accounts receivable, cash, and cash equivalents. The Corporation assesses, on a continuous basis, accounts receivable and provides for any amounts that are not collectible in the allowance for doubtful accounts. The maximum exposure to credit risk of the Corporation at December 31, 2020 is the carrying value of these assets. The carrying amount of accounts receivable is valued with consideration for an allowance for doubtful accounts. The amount of any related impairment loss is recognized in the statement of operations. Subsequent recoveries of impairment losses related to accounts receivable are credited to the statement of operations. The balance of the allowance for doubtful accounts at December 31, 2020 is \$0 (2019: \$0). There have been no significant changes to the credit risk exposure from 2019.

b. Liquidity risk

Liquidity risk is the risk that the Corporation will be unable to fulfill its obligations on a timely basis or at a reasonable cost. The Corporation manages its liquidity risk by monitoring its operating requirements. The Corporation prepares budget and cash forecasts to ensure it has sufficient funds to fulfill its obligations.

Accounts payable and accrued liabilities are generally due within 30 days of receipt of an invoice. The contractual maturities of mortgages payable are disclosed in Note 4. There have been no significant changes to the liquidity risk exposure from 2019.

c. Market risk:

Market risk is the risk that changes in market prices, such as foreign exchange rates or interest rates will affect the Corporation's income or the value of its holdings of financial instruments. The objective of market risk management is to control market risk exposures within acceptable parameters while optimizing return on investment.

i. Foreign exchange risk:

The Corporation does not enter into foreign exchange transactions and therefore is not exposed to foreign exchange risk. There have been no significant changes to foreign exchange risk exposure from 2019.

ii. Interest rate risk:

Interest rate risk is the risk that the fair value of future cash flows or a financial instrument will fluctuate because of changes in the market interest rates.

The Corporation holds cash equivalents in MFA Short Term Bond and Money Market Funds where changes in fair value have parallel changes in unrealized gains or losses until realized on disposal.

11. Financial risks and concentration of risk (continued)

c. Market risk: (continued)

The Corporation's mortgage interest rates are fixed and are subject to interest rate risk upon renewal. The interest rate risk is mitigated by the subsidy assistance received for most properties from BCHMC and CMHC, which is based on mortgage principal and interest payments. At December 31, 2020, there are four properties which do not receive subsidy assistance based on mortgage interest rates: Village on the Green, Vergo, Millstream Ridge, and Westview. The Corporation entered into a fixed rate 10-year mortgage for Millstream Ridge in 2019 which will be subject to unsubsidized interest rate risk upon renewal.

12. Subsequent Events

Subsequent to December 31, 2020, the short-term capital financing provided by BCHMC to acquire the prepaid leases of West Park and Spencer Close was converted to 35-year mortgage financing at a fixed rate for a 10-year term at 1.519% interest.

On March 22, 2021, the Corporation obtained short-term financing from BCHMC and entered into a prepaid lease of Hockley House from the CRD in the amount of \$23.8 million. The financing will be converted to a 35-year mortgage after being placed with a lender by BCHMC.

On April 14, 2021, the Corporation's Board authorized staff to enter into a pre-paid lease agreement with the CRD in the amount of \$10.1 million for an affordable housing project in the region.

13. COVID-19

On March 11, 2020, the COVID-19 outbreak was declared a pandemic by the World Health Organization. This resulted in governments worldwide, including the Canadian federal and provincial governments enacting emergency measures to combat the spread of the virus. The economic conditions and the Corporation's response to the pandemic did not have a material impact on the Corporation's operating results and financial position in 2020. The situation is dynamic and the ultimate duration and magnitude of the impact on the economy and the financial effect on the Corporation is not known at this time.

Changes in Replacement Reserve Fund

	Balance at December 31 2019	Transfer from Rental Operating Fund	Contribution from UOA Stabilization Reserve	Contribution from Capital Trust Account	Interest	Transfer to Capital Fund	2020
Umbrella Agreement	_			_	_		
Oakwinds	\$ 742,608	\$ 89,454	\$ -	\$ -	\$ 19,938	\$ (69,941) \$	782,059
James Yates Gardens	119,434	14,313	-	-	3,350	(375)	136,722
Pinehurst	404,624	35,782	-	-	11,069	(9,597)	441,878
The Brambles	135,687	32,203	-	-	3,934	(6,645)	165,179
The Terraces	496,814	35,782	-	-	13,595	(3,357)	542,834
Michigan Square	360,602	-	-	-	9,437	(9,015)	361,024
Olympic View	165,189	107,345	-	_	3,144	(199,928)	75,750
Swanlea	125,914	25,047	-	_	3,650	` (1,381)	153,230
Firgrove	4,561	57,251	-	_	780	(7,480)	55,112
Beechwood Park	(51,378)	85,876	-	-	_	(40,811)	(6,313)
Grey Oak Square	(19,013)	42,938	-	-	_	(8,756)	15,169
Willowdene	2,932	26,836	_	_	403	(2,249)	27,922
Rosewood	59,919	78,720	-	_	2,228	(29,917)	110,950
Gladstone	31,279	25,047	_	_	969	(14,475)	42,820
Camosun Place	73,466	14,313	_	_	1,763	(28,174)	61,368
Parkview	99,636	46,516	_	_	2,769	(36,836)	112,085
Carey Lane	17,087	39,360	_	_	225	(56,580)	92
Colquitz Green	(20,849)	35,782	_	_		(45,288)	(30,355)
Springtide	21,566	85,876	_	_	1,565	(10,260)	98,747
Greenlea	19,730	37,571	_	_	357	(50,073)	7,585
Arbutus View	(5,509)	41,149	_	_	-	(39,533)	(3,893)
Amberlea	228,217	78,720	_	_	6,000	(82,327)	230,610
Cloverhurst	38,512	17,891	_	_	1,228	(2,211)	55,420
Hamlet	(485)	17,891	_	_	1,220	(38,882)	(21,476)
Viewmont	119,254	64,407	_	_	2,937	(73,684)	112,914
Creekside	5,657	42,938	_	_	2,007	(62,115)	(13,520)
The Birches	23,925	100,188	_	_	1,406	(41,942)	83,577
Caledonia	16,802	100,100	_	_	445	(+1,5+2)	17,247
The Heathers	136,991	46,516	_	_	3,691	(41,930)	145,268
Heron Cove	89,060	42,938	- -	_	2,572	(26,939)	107,631
Castanea Place	370,261	105,556	_	_	9,419	(134,390)	350,846
Leblond Place	(79,845)	76,930	_	_	-	(75,569)	(78,484)
Rotary House	7,371	73,352	_	_	862	(23,040)	58,545
Cairns Park	11,127	10,734	_	_	39	(30,017)	(8,117)
Kings Place	17,676	62,618	_	_	956	(25,815)	55,435
Carillon Place	19,919	26,836	_	_	565	(24,053)	23,267
Brock Place	132	53,672	_	_	-	(53,902)	(98)
Harbour Lane	189,407	50,094	_	_	5,378	(22,991)	221,888
Tillicum Station	220,397	71,560	_	_	5,975	(61,400)	236,532
ILBC2 Agreement	220,037	7 1,500	_	_	3,313	(01,400)	200,002
Parry Place	101,705	16,600	_	_	2,507	(3,287)	117,525
No Operating Agreement	101,703	10,000	-	-	2,307	(3,201)	117,020
Village on the Green	312,419	78,719			8,467	(64,570)	335,035
Vergo	33,707	37,288	-	-	1,329	(4,419)	67,905
Portage Place	122,702	35,217	-	-	3,666	(3,928)	157,657
			-	-	,		
Campus View Court	126,804 138,774	24,859 78,719	-	-	3,474	(16,277) (45,001)	138,860 175,704
Royal Oak Square	130,174	10,119	-	-	4,112	(45,901)	175,704
RHFP Agreement							
Millstream Ridge	81,612	114,048	_	-	3,374	(23,385)	175,649
· ·	5.,512	, . 10			5,57	(=3,000)	,
IHI Agreement							
Westview	<u>-</u>	42,048			506	(3,889)	38,665
	\$ 5,116,400	\$ 2,327,500	\$ -	\$ -	\$ 148,084	\$(1,657,534) \$	5,934,450

Changes in Portfolio Stabilization Reserves

	Balance at ecember 31, 2019	Reimburse BCHMC		Transfer (to) Replacement Reserve Fund	Transfer from/(to) Rental Operating Fund	Transfer (to) Capital Fund	Balance at ecember 31, 2020
				(Schedule A)	(Schedule E)		
Umbrella Agreement CMHC	\$ 3,978,668	\$	_	\$ -	\$ 1,121,581	\$ -	\$ 5,100,249
BCHMC	(1,464,774)		-	-	(924,026)	_	(2,388,800)
Homes BC	(41,281)		-	-	(81,543)	-	(122,824)
	2,472,613		_	_	116,012	_	2,588,625
ILBC2 Agreement							
Parry Place	 (80,509)		_		41,682	-	 (38,827)
RHFP Agreement Millstream Ridge	38		-	_	(24,418)	-	(24,380)
Spencer Close	_		_	-	10,791	_	10,791
West Park	-		-	-	-	-	-
	38		-	-	(13,627)	-	(13,589)
IHI Agreement Westview	-		-	-	120,592	-	120,592
No Operating Agreement Portage Place	_		_	_	86,140	_	86,140
Campus View Court	-		_	_	58,149	-	58,149
Royal Oak Square	-		-	-	227,697	-	227,697
Village on the Green	583,734		-	-	46,280	-	630,014
Vergo	(445,990)		-		(93,821)		(539,811)
	137,744		-	-	324,445		462,189
	\$ 2,529,886	\$	-	\$ -	\$ 589,104	\$ -	\$ 3,118,990

Capital Assets

	Completed	Land	Prepaid Lease	Buildings	Equipment and Other	Transfer from Replacement Reserve Fund	Total	Accumulated Amortization	2020	2019
In Operation										
Umbrella Agreement										
Oakwinds	Feb/85 \$	₽	\$ 30,075 \$	2,835,407 \$	1,449,152	\$ 69,941 \$	5,184,575	\$ (4,776,238) \$	408,337 \$	435,420
James Yates Gardens	Oct/84	103,200	•	387,934	285,944	375	777,453	(607,347)	170,106	186,459
Pinehurst	Feb/85	277,692		1,188,811	660,916	9,597	2,137,016	(1,739,255)	397,761	452,147
The Brambles	Jun/85	275,975		1,048,104	737,519	6,645	2,068,243	(1,679,764)	388,479	409,961
The Terraces	May/85	356,532	•	1,087,668	861,279	3,357	2,308,836	(1,821,889)	486,947	516,194
Michigan Square	Sep/85	784,763	•	3,154,222	2,485,008	9,015	6,433,008	(5,381,795)	1,051,213	1,108,811
Olympic View	Apr/86	900,000	•	3,288,908	2,045,415	199,928	6,434,251	(4,984,526)	1,449,725	1,481,198
Swanlea	Dec/85	230,215	•	746,556	451,510	1,381	1,429,662	(1,126,319)	303,343	320,244
Firgrove	Feb/86	480,000	•	1,763,183	1,147,074	7,480	3,397,737	(2,756,555)	641,182	724,374
Beechwood Park	Feb/86	888,000		2,317,623	2,988,251	40,811	6,234,685	(4,812,566)	1,422,119	1,581,057
Grey Oak Square	Apr/86	409,015		1,290,394	942,375	8,756	2,650,540	(2,045,066)	605,474	682,700
Willowdene	Sep/87	•	•	884,186	650,139	2,249	1,536,574	(1,381,491)	155,083	204,235
Rosewood	Oct/88	•	255,000	1,864,715	787,119	29,917	2,936,751	(2,553,619)	383,132	451,202
Gladstone	Jan/89		197,000	912,600	480,483	14,475	1,604,558	(1,358,499)	246,059	279,916
Camosun Place	Mar/89	•	108,000	489,700	195,585	28,174	821,459	(680,295)	141,164	140,978
Parkview	May/89	•	283,250	1,795,567	877,127	36,836	2,992,780	(2,544,574)	448,206	507,923
Carey Lane	Aug/89		283,250	1,443,751	860,411	56,580	2,643,992	(2,206,230)	437,762	472,608
Colquitz Green	Nov/89	,	160,250	1,504,000	738,220	45,288	2,447,758	(2,072,579)	375,179	418,402
Springtide	May/90	,	324,500	2,519,309	866,820	10,260	3,720,889	(3,121,895)	598,994	704,680
Greenlea	Feb/90	,	305,750	1,560,300	788,168	50,073	2,704,291	(2,215,852)	488,439	528,627
Arbutus View	06/Inf		370,250	1,592,750	924,257	39,533	2,926,790	(2,320,654)	606,136	679,562
Amberlea	May/90		447,501	2,578,479	781,907	82,327	3,890,214	(3,171,364)	718,850	769,620
Cloverhurst	May/90		197,000	651,500	235,714	2,211	1,086,425	(873,588)	212,837	243,314
Hamlet	Oct/90	1	152,000	803,000	360,812	38,882	1,354,694	(1,088,304)	266,390	278,273
Viewmont	Aug/91	•	402,140	2,378,046	737,657	73,684	3,591,527	(2,864,552)	726,975	774,484
Creekside	Apr/92		388,250	2,363,830	878,085	62,115	3,692,280	(2,897,628)	794,652	853,754
The Birches	Aug/92		675,000	3,684,874	847,918	41,942	5,249,734	(4,092,359)	1,157,375	1,276,198
Caledonia	Apr/93		403,473	1,452,777	439,163		2,295,413	(1,729,557)	565,856	629,118
The Heathers	Apr/93		436,279	1,974,683	388,764	41,930	2,841,656	(2,122,030)	719,626	764,389
Heron Cove	Oct/93	•	270,000	2,274,691	504,560	26,939	3,076,190	(2,340,964)	735,226	811,851
Castanea Place	Feb/95	•	1,277,000	4,841,879	987,008	134,390	7,240,277	(4,959,212)	2,281,065	2,384,390
Leblond Place	Sep/96		900,000	4,506,231	1,139,539	75,569	6,621,339	(4,263,598)	2,357,741	2,562,240
Rotary House	Nov/06	•	256,600	2,994,000	581,051	23,040	4,154,691	(2,532,119)	1,622,572	1,777,552
Cairns Park	Dec/96	•	240,000	415,314	162,140	30,017	847,471	(518,550)	328,921	332,336
Kings Place	A/N	•	•	•	653,812	25,815	679,627	(510,218)	169,409	185,948

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Cualitor Place Julige 525,000 1,280,386 689,270 2,168,773 (180,086) 1,017,871 1,102,879 Brook Place Julido - 540,000 3,465,886 1,040,985 5,312,713 (180,086) 2,475,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583 2,445,583		Completed	Land	Prepaid Lease	Buildings	Equipment and Other	Transfer from Replacement Reserve Fund	Total	Accumulated Amortization	2020	2019
Junior - 840,000 3.46,896 1,404,996 55,907,733 (3.081,536) 2.319,197 2.31,183 2.31,183 2.39,141 3.31,183 3.33,194 <t< td=""><td>Carillon Place</td><td>96/Inf</td><td></td><td>525,000</td><td>1,280,389</td><td>689,270</td><td>24,053</td><td>2,518,712</td><td>(1,500,885)</td><td>1,017,827</td><td>1,102,878</td></t<>	Carillon Place	96/Inf		525,000	1,280,389	689,270	24,053	2,518,712	(1,500,885)	1,017,827	1,102,878
Oct/01 - RED, DOM 3.697,266 3.09.371 2.3891 474,428 (2.586,986) 2.178,529 2.776,230 2.776,234 2.776,230	Brock Place	Jan/00		840,000	3,465,836	1,040,995	53,902	5,400,733	(3,081,536)	2,319,197	2,475,035
num May/20 - 948/750 4,300,764 501,799 61,400 5,812,713 (3,036,433) 2,776,290 2,776,290 2,776,290 2,776,290 2,776,290 2,776,290 2,776,290 2,776,290 2,776,290 2,776,290 2,776,290 2,776,290 2,776,274 (1,175,435) 24,1787 <	Harbour Lane	Oct/01		825,000	3,607,266	309,371	22,991	4,764,628	(2,585,995)	2,178,633	2,293,124
2008 1,105,204 2,367,415 1,105,204 1,105,204 1,105,204 241,787 241,787 2008 1,106,204 1,105,204 1,105,204 1,105,204 1,105,204 1,105,204 241,787 241,787 2007 1,176,313 1,176,314 1,176,439 979,511 1,176,314 1,176,439 979,511 1,176,314 1,176,439 979,511 1,146,204 1,146,204 1,146,203 1,146,204 1,146,204 1,146,203 1,146,204 1,146,203 1,146,203 1,146,203 1,146,203 1,146,203 1,146,203 1,146,203 1,146,203 1,146,203 1,146,003 1,144,003	Tillicum Station	Jul/02	•	948,750	4,300,764	501,799	61,400	5,812,713	(3,036,433)	2,776,280	2,894,049
2008 - 2.367,415 - 2.367,415 - 2.367,415 - 2.367,415 - 2.367,415 4.116,204 - 2.367,415 (1,846,284) 221,187 2008 - - 1.165,204 - - 1.165,204 - - 1.165,439 441,787 2007 - - 1.766,314 - 1.766,314 (1,175,439) 469,178 1.1 2007 - - 2.531,350 - - 2.531,360 - 1.766,314 1.167,203) 469,178 1.1 2009 - - 2.531,350 - - 2.531,360 (1,462,389 4762,384 1,462,384 1,462,384 1,462,384 1,462,384 1,462,384 1,462,384 1,462,324 1,1 Nov/20 - - 35,428,849 - - 1,268,386 (1,143,722) 4,523,787 4,422,377 4,434,169 4,444,476 4,444,476 4,444,476 4,444,476 4,444,476 4,444,476 </td <td>Building Envelope Remediation</td> <td>c</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>	Building Envelope Remediation	c									
2008 1,105,204 1,105,204 1,105,204 460,175 2006 1,085,610 1,105,204 1,105,204 460,175 2007 1,756,374 1,756,374 1,175,439 540,171 2007 1,281,378 1,281,380 1,175,439 579,171 1,175,439 2009 - 2,531,380 - 2,531,380 1,140,2020 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,146,294 1,149,294 <	Amberlea	2008	ı		2,367,415	,	•	2,367,415	(1,846,264)	521,151	651,439
2006 460,175 460,175 460,175 2007 - 1,756,374 - 1,756,374 - 1,756,374 1,197,203 559,171 2007 - - 2,531,356 - - 1,756,374 1,197,203 559,171 2009 - - 2,531,356 - - 2,531,359 97,541 1,197,203 559,171 2009 - - 1,258,358 - - 2,531,369 1,146,202 1,175,017 1,462,324 1,175,203 1,258,388 1,175,017 1,462,324 1,175,203 1,175,023 1,175,023 3,287,414 1,175,023 3,287,414 1,146,327 4,522,797 4,450,997 4,450,997 4,450,997 4	Cloverhurst	2008	•		1,105,204	,	•	1,105,204	(863,417)	241,787	302,234
2007 - 1,756,374 - 1,756,374 - 1,756,374 - 1,756,374 - 1,756,374 (1,197,203) 569,171 1,175,203 569,171 1,175,203 979,511 1,175,203 1,175,203 1,175,203 1,146,204 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004 1,146,004	The Birches	2006			1,635,610			1,635,610	(1,175,435)	460,175	536,871
2007 - 2,531,350 - 2,531,350 - 979,511 1,1 2009 - - 3,337,941 - 3,337,941 - 1,460,070 1,258,358 - 1,258,358 1,190,551 1,462,344 1,190,551 1,462,344 1,190,551 1,462,347 4,523,797 4,11,14	Heron Cove	2007	,		1,756,374	•		1,756,374	(1,197,203)	559,171	639,053
2009 - 3,337,941 - - 3,337,941 - 1,258,358 1,158,358 1,158,358 1,158,379 1,158,379 1,158,379 1,158,379 1,158,379 1,158,379 1,158,379 1,158,379 1,150,201 1,150,20	Castanea Place	2007	,		2,531,350	•		2,531,350	(1,551,839)	979,511	1,088,345
2016 - 1,258,358 - 1,258,358 (521,149) 737,209 Jun/08 1,400,000 - 4,794,268 226,793 3,287 6,424,348 (1,900,551) 4,523,797 4,790,000 Now/20 - 30,218,969 - 12,769 23,385 35,465,003 (1,190,236) 34,274,767 34,274,767 34,274,767 34,249,917 4,190,236 34,274,767 34,274,767 34,274,767 34,249,917 4,190,236 34,274,767 34,249,917 4,190,236 34,274,767 34,249,917 4,400,327 11,449,037 31,249,917 4,400,327 11,440,927 4,400,527 11,440,927 4,410,927 4,419,032 4,4	Leblond Place	2009	,	•	3,337,941	•	•	3,337,941	(1,875,017)	1,462,924	1,609,216
Jun/08 1,400,000 - 4,794,268 226,793 3,287 6,424,348 (1,900,551) 4,523,797 4,623,797 Feb/19 - 36,428,849 - 12,769 23,385 36,465,003 (1,190,236) 34,274,767 34, Nov/20 - 30,218,969 - 10,176 - 30,218,969 (41,972) 30,176,997 34,126,997 Nov/20 - 31,249,917 - - 30,218,969 (41,972) 30,176,997 31,206,514 Nov/20 - - 31,249,917 - 31,249,917 (43,403) 31,206,514 11, Nov/20 - - 14,844,032 - - 31,249,917 (43,403) 31,206,514 11, May/20 - - - 2,002,921 903,639 64,570 3,881,301 (2,47,400) 14,600,521 11,124,019 May/12 1,144,372 - 2,002,921 903,639 64,570 3,881,301 (1,490,98) 316,776	The Heathers	2016	•	•	1,258,358	•	•	1,258,358	(521,149)	737,209	842,524
Jun/08 1,400,000 4,794,268 226,793 3,287 6,424,348 (1,900,551) 4,523,797 4,523,797 Feb/19 - 36,428,849 - 12,769 23,385 35,465,003 (1,190,236) 34,274,767 34, Nov/20 - 30,218,989 - - 14,844,037 - 30,218,989 (41,972) 30,176,997 34, Nov/20 - 31,249,917 - - 31,249,917 (43,403) 31,206,514 31,206,514 Nov/20 - - 14,844,032 - - 31,249,917 (43,403) 31,206,514 11,143,027 11,143,782 11,144,372 11,144,372 11,144,372 11,144,372 11,144,372 11,144,372	<u>ILBC2 Agreement</u>										
Feb/19 - 35,428,849 - 12,769 23,385 35,465,003 (1,190,236) 34,274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 34, 274,767 36, 274,907 41, 97,21 30, 176,997 41, 97,21 30, 176,997 41, 97,21 30, 176,997 41, 3206,514 41, 41, 41, 41, 42, 42, 42 41, 41, 41, 41, 42, 42 41, 41, 41, 41, 42, 42 41, 41, 41, 42, 42 41, 41, 41, 42, 42 41, 41, 41, 42, 42 41, 41, 41, 42, 42 41, 41, 41, 42 41, 41, 41, 42 41, 41, 41, 42 41, 41, 41, 42 41, 41, 41, 42 <	Parry Place	30/un	1,400,000		4,794,268	226,793	3,287	6,424,348	(1,900,551)	4,523,797	4,677,834
Nov/20 - 30,218,969 30,218,969 (41,972) 30,176,997 (43,403) 31,206,514 (60,544) - 60,544 (60,544) - 60,544 (60,544) - 60,544	RHFP Agreement Millstream Ridge	Feb/19	,	35 478 840	,	12 760	23 385	35 465 003	(1 100 236)	34 274 767	34 848 583
May/20 - 14,844,032 - - 31,249,917 (43,403) 31,206,514 May/20 - - - - - - 14,847,921 (247,400) 14,600,521 11 May/20 -	Spencer Close	Nov/20	•	30.218.969	,) ; į		30,733,969	(41.972)	30.176.997	
May/20 - 14,844,032 - 3,889 14,847,921 (247,400) 14,600,521 11. May/84 910,171 - 2,002,921 903,639 64,570 3,881,301 (2,757,282) 1,124,019 1,1 May/12 1,144,327 - 4,226,787 78,334 4,419 5,453,867 (1,143,782) 4,310,085 4,310,085 4,410,085 5,453,867 (1,143,782) 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 4,310,085 515,716 5,5716 5,5716 5,5716 5,5716 5,5716 5,5716 5,5716 5,5716 5,5716 5,5716 5,5716 5,5716 4,508,287 (1,158,447) 4,508,477 4,508,287 1,190,017 1,190,017 1,190,017 1,190,017 1,190,017 1,547,359 - - - - - - - - - - - - - - - - - - -	West Park	Nov/20	•	31,249,917	•	•		31,249,917	(43,403)	31,206,514	•
May/84 910,171 - 2,002,921 903,639 64,570 3,881,301 (2,757,282) 1,124,019 11 May/12 1,144,327 - 4,226,787 78,334 4,419 5,453,867 (1,143,782) 4,310,085 4,419 4,419 5,453,867 (1,143,782) 4,310,085 4,310,085 4,410 4,419 5,453,867 (1,143,782) 4,410,085 4,419 5,453,867 4,1480,988 515,716 4,510 515,716 4,510 5,453,867 4,1480,988 515,716 4,510 4,510 4,510 4,510 4,510 4,510 4,510 4,510 4,510 4,510 4,510 1,190,017 1,190,0	IHI Agreement Westview	May/20			14,844,032		3,889	14,847,921	(247,400)	14,600,521	11,293,916
May/84 910,171 - 2,002,921 903,639 64,570 3,881,301 (2,757,282) 1,124,019 1, May/12 1,144,327 - 4,226,787 78,334 4,419 5,453,867 (1,143,782) 4,310,085 4, Aug/83 328,659 - 965,774 698,343 3,928 1,996,704 (1,480,988) 515,716 Sep/83 341,224 - 688,111 576,313 16,277 1,621,925 (1,158,447) 463,478 Mar/84 666,280 - 2,051,834 1,744,272 45,901 4,508,287 (3,318,270) 1,190,017 1, - 1,547,359 - 1,547,359 - 535,869 (499,991) 35,878 - 60,544 (60,544) (60,544) - 60,544	No Operating Agreement										
May/12 1,144,327 - 4,226,787 78,334 4,419 5,453,867 (1,143,782) 4,310,085 4, Aug/83 328,659 - 965,774 698,343 3,928 1,996,704 (1,480,988) 515,716 Sep/83 341,224 - 688,111 576,313 16,277 1,621,925 (1,158,447) 463,478 Mar/84 666,280 - 2,051,834 1,744,272 45,901 4,508,287 (3,318,270) 1,190,017 1, - 1,547,359 - 1,547,359 - 535,869 (499,991) 35,878 - 60,544 (60,544) - 60,544	Village on the Green	May/84	910,171		2,002,921	903,639	64,570	3,881,301	(2,757,282)	1,124,019	1,112,911
Aug/83 328,659 - 965,774 698,343 3,928 1,996,704 (1,480,988) 515,716 Sep/83 341,224 - 688,111 576,313 16,277 1,621,925 (1,158,447) 463,478 Mar/84 666,280 - 2,051,834 1,744,272 45,901 4,508,287 (3,318,270) 1,190,017 1. - 1,547,359 - 1,547,359 - 535,869 (499,991) 35,878 - 60,544 (60,544) - 60,544	Vergo	May/12	1,144,327	•	4,226,787	78,334	4,419	5,453,867	(1,143,782)	4,310,085	4,435,629
Sep/83 341,224 - 688,111 576,313 16,277 1,621,925 (1,158,447) 463,478 1 Mar/84 666,280 - 2,051,834 1,744,272 45,901 4,508,287 (3,318,270) 1,190,017 1 - - - - - - - 1,547,359 - - 1,547,359 - - - - 535,869 - 535,869 (499,991) 35,878 - - - 60,544 (60,544) - -	Portage Place	Aug/83	328,659		965,774	698,343	3,928	1,996,704	(1,480,988)	515,716	558,552
Mar/84 666,280 - 2,051,834 1,744,272 45,901 4,508,287 (3,318,270) 1,190,017 1,	Campus View Court	Sep/83	341,224		688,111	576,313	16,277	1,621,925	(1,158,447)	463,478	477,763
. 1,547,359 . 1,547,359 . 1,547,359 . 1,547,359 1,547,359 35,869 535,869 535,869	Royal Oak Square	Mar/84	666,280		2,051,834	1,744,272	45,901	4,508,287	(3,318,270)	1,190,017	1,275,050
Sites - 1,547,359	Buildings Under Construction		٠	٠	•	•	•	1	•		•
535,869 - 535,869 (499,991) 35,878 	Redevelopment Sites		•	•	1,547,359	•	•	1,547,359	•	1,547,359	844,850
60,544 - 60,544	Office Equipment			ı	•	535,869	•	535,869	(499,991)	35,878	44,848
	Vehicles		·			60,544		60,544	(60,544)		'

Capital Fund: Mortgages Payable

Rental Property	Interest Rate	Renewal Date	Maturity Date		2020		2019
Umbrella Agreement						_	
Oakwinds	1.390%		February 1, 2020	\$	_	\$	38,790
Pinehurst	1.390%		March 1, 2020	Ψ	_	Ψ	22,859
The Brambles	1.040%		June 1, 2020		_		40,334
The Terraces	1.040%		May 1, 2020		_		36,746
Michigan Square	1.020%		September 1, 2020		_		181,257
Olympic View	2.930%		April 1, 2021		88,571		349,002
Swanlea	3.430%		December 1, 2020		-		62,817
Firgrove	3.150%		February 1, 2021		23,899		164,373
Beechwood Park	3.150%		February 1, 2021		34,235		235,461
Grey Oak Square	3.150%		March 1, 2021		27,083		133,150
Willowdene	2.580%		September 1, 2022		90,076		139,761
Rosewood	2.610%		November 1, 2023		342,135		453,603
Gladstone	2.610%		·		189,340		247,565
Camosun Place	1.860%		January 1, 2024 March 1, 2024		101,074		130,967
Parkview	1.690%		May 1, 2024		396,503		508,304
	1.690%		•				
Carey Lane	1.730%		August 1, 2024		351,189		443,266 451,699
Colquitz Green			November 1, 2024		363,422		
Springtide	0.680%		May 1, 2025		689,317		834,317
Greenlea	0.690%		March 1, 2025		443,747		542,704
Arbutus View	0.680%		July 1, 2025		485,329		583,483
Amberlea	0.680%		May 1, 2025		736,384		891,285
Cloverhurst	0.680%	F-1	May 1, 2025		205,717		248,990
Hamlet	3.430%	February 1, 2021	October 1, 2025		253,602		301,086
Viewmont	2.490%	October 1, 2021	August 1, 2026		803,591		934,059
Creekside	2.600%	April 1, 2027	April 1, 2027		862,697		986,452
The Birches	2.550%	August 1, 2027	August 1, 2032		1,406,451		1,597,662
Caledonia	2.500%	April 1, 2028	April 1, 2033		652,595		732,716
The Heathers	2.600%	April 1, 2028	April 1, 2033		836,379		938,629
Heron Cove	2.610%	October 1, 2028	October 1, 2033		929,292		1,034,901
Castanea Place	0.690%		February 1, 2030		2,681,978		2,945,716
Leblond Place - 1st mortgage	2.490%	October 1, 2021	September 1, 2031		2,104,815		2,273,605
Leblond Place - 2nd mortgage	2.150%	March 1, 2025	March 1, 2045		2,522,835		2,601,372
Rotary House	2.510%	March 1, 2028	March 1, 2033		1,327,521		1,492,469
Cairns Park	1.698%	December 1, 2021	December 1, 2031		317,549		343,595
Carillon Place	3.220%	June 1, 2024	July 1, 2033		967,327		1,028,796
Brock Place	2.840%		January 1, 2035		2,643,524		2,899,890
Harbour Lane	2.200%	October 1, 2026	October 1, 2036		2,655,676		2,794,500
Tillicum Station	3.270%	July 1, 2024	July 1, 2037		3,456,281		3,611,010
ILBC2 Agreement							
Parry Place	3.480%	May 1, 2024	May 1, 2043		3,462,633		3,562,711
RHFP Agreement							
Millstream Ridge	2.860%	February 1, 2029	March 1, 2054		34,441,936		35,053,436
IHI Agreement		_					
Westview	1.631%	September 1, 2030	September 1, 2055		7,440,758		-
CRHC No Operating Agreement							
Village on the Green	3.500%	October 1, 2021	October 1, 2039		1,857,077		1,925,741
Vergo	3.450%	August 1, 2022	August 1, 2042		3,670,872		3,783,251
					79,863,410		77,582,330
Principal Current Portion					(4,828,667)		(4,568,934)
Principal Renewal Portion					(3,189,847)		(8,840,245)
				\$	71,844,896	\$	64,173,151
				_			

Operating Fund: Rental Operations

Operating Fund: Rental Operations

				Revenues				Expenditure	Expenditures and Interfund Transfers	Transfers			
	Number of units	Tenant rent contributions	BCHMC Rental Subsidy	BCHMC fixed funding	Other	Total	Operating costs	Transfer to Replacement Reserve [Debt charges	Other Interfund Transfers	() Total	Surplus (Deficit) from operations after interfund transfers	Allocation from/(to) Portfolio Stabilization Reserves
Umbrella Agreement													
СМНС													
Oakwinds	20	\$ 654,602 \$	· ·	\$ 4,811 \$	\$ 2,907 \$	\$ 662,320 \$	280,399	\$ 89,454 \$	\$ 38,913	· •	\$ 408,766 \$	253,554	\$ (253,554)
James Yates Gardens	∞	76,410	'	•	169	76,579	42,276	14,313	ı	•	56,589	19,990	(19,990)
Pinehurst	20	285,635	,	3,865	1,898	291,398	99,603	35,782	23,086	•	158,471	132,927	(132,927)
The Brambles	18	239,249	•	7,500	1,901	248,650	112,785	32,203	40,521	•	185,509	63,141	(63,141)
The Terraces	20	254,063	•	6,627	1,912	262,602	112,215	35,782	36,808	•	184,805	77,797	(77,797)
Michigan Square	62	420,737	•	35,171	5,875	461,783	221,590	٠	181,971	•	403,561	58,222	(58,222)
Olympic View	09	800,126	•	70,610	4,512	875,248	335,023	107,345	266,496	•	708,864	166,384	(166,384)
Swanlea	4	197,193	•	16,605	1,126	214,924	74,880	25,047	63,900	•	163,827	51,097	(51,097)
Firgrove	32	402,886	•	37,102	2,551	442,539	151,536	57,251	143,243		352,030	609'06	(60,209)
Beechwood Park	48	612,810	•	53,052	7,413	673,275	246,532	85,876	205,192		537,600	135,675	(135,675)
Grey Oak Square	24	321,885		27,979	2,459	352,323	128,659	42,938	108,441		280,038	72,285	(72,285)
	356	4,265,596	•	263,322	32,723	4,561,641	1,805,498	525,991	1,108,571	•	3,440,060	1,121,581	(1,121,581)
BCHMC													
Willowdene	15	109,018	•	56,415	454	165,887	137,717	26,836	52,691	•	217,244	(51,357)	51,357
Rosewood	4	245,916	•	83,724	2,921	332,561	221,726	78,720	121,926	•	422,372	(89,811)	89,811
Gladstone	4	124,914	•	63,368	228	188,510	77,441	25,047	63,964	•	166,452	22,058	(22,058)
Camosun Place	80	74,714	•	33,432	133	108,279	49,300	14,313	32,068		95,681	12,598	(12,598)
Parkview	26	185,590	•	114,811	868	301,299	125,730	46,516	119,503	•	291,749	9,550	(9,550)
Carey Lane	22	188,975	•	83,364	1,200	273,539	115,202	39,360	98,835	•	253,397	20,142	(20,142)
Colquitz Green	20	171,282	•	76,241	992	248,515	113,126	35,782	96,371	•	245,279	3,236	(3,236)
Springtide	48	260,135	•	118,997	2,725	381,857	244,156	85,876	165,287	•	495,319	(113,462)	113,462
Greenlea	21	161,043	,	44,624	1,045	206,712	115,603	37,571	108,912	•	262,086	(55,374)	55,374

	Number of units	Tenant rent contributions	BCHMC Rental Subsidy	BCHMC fixed funding	Other	Total	Operating costs	Transfer to Replacement Reserve	Debt charges	Other Interfund Transfers	Total	Surplus (Deficit) from operations after interfund transfers	Allocation from/(to) Portfolio Stabilization Reserves
Arbutus View	23	183,661		53,476	627	237,764	106,483	41,149	112,373	•	260,005	(22,241)	22,241
Amberlea	44	287,367	•	119,408	2,768	409,543	233,682	78,720	176,573	•	488,975	(79,432)	79,432
Cloverhurst	10	64,827	•	42,920	133	107,880	50,596	17,891	49,327	•	117,814	(9,934)	9,934
Hamlet	10	100,935	٠	53,091	233	154,259	58,050	17,891	57,004	•	132,945	21,314	(21,314)
Viewmont	36	175,090	٠	166,536	2,555	344,181	176,634	64,407	152,138	•	393,179	(48,998)	48,998
Creekside	24	207,604	•	111,686	1,200	320,490	129,221	42,938	147,813	•	319,972	518	(518)
The Birches	26	292,515	•	163,537	3,048	459,100	222,212	100,188	229,534	•	551,934	(92,834)	92,834
Caledonia	18	25,586		79,981	556	106,123	95,459	•	97,439	•	192,898	(86,775)	86,775
The Heathers	26	141,578		108,372	1,822	251,772	130,239	46,516	125,324	•	302,079	(50,307)	50,307
Heron Cove	24	182,963	٠	63,582	818	247,363	103,293	42,938	131,230	•	277,461	(30,098)	30,098
Castanea Place	29	376,237	•	196,456	3,112	575,805	304,680	105,556	319,154	•	729,390	(153,585)	153,585
Leblond Place	43	254,618	•	342,600	3,534	600,752	267,020	76,930	356,669	•	700,619	(99,867)	99,867
Rotary House	41	246,477		216,649	1,467	464,593	220,263	73,352	200,345	•	493,960	(29,367)	29,367
	632	4,061,045		2,393,270	32,469	6,486,784	3,297,833	1,098,497	3,014,480	•	7,410,810	(924,026)	924,026
Homes BC													
Caims Park	9	50,941	٠	22,315	240	73,496	36,768	10,734	31,658	•	79,160	(5,664)	5,664
Kings Place	35	381,346	•	152,041	2,118	535,505	474,156	62,618	•	•	536,774	(1,269)	1,269
Carillon Place	15	184,052	•	33,478	542	218,072	92,882	26,836	93,480	•	213,198	4,874	(4,874)
Brock Place	30	332,593	•	69,892	3,838	406,323	165,824	53,672	227,708	•	447,204	(40,881)	40,881
Harbour Lane	28	287,804	•	88,749	3,115	379,668	155,880	50,094	198,635	•	404,609	(24,941)	24,941
Tillicum Station	40	471,994		95,884	1,884	569,762	242,141	71,560	269,723		583,424	(13,662)	13,662
	154	1,708,730		462,359	11,737	2,182,826	1,167,651	275,514	821,204		2,264,369	(81,543)	81,543
	1,142	10,035,371	1	3,118,951	76,929	13,231,251	6,270,982	1,900,002	4,944,255	•	13,115,239	116,012	(116,012)

Operating Fund: Rental Operations continued

				Revenues				Expenditure	Expenditures and Interfund Transfers	Transfers			
	Number of units	Tenant rent contributions	BCHMC Rental Subsidy	BCHMC fixed funding	Other	Total	Operating costs	Transfer to Replacement Reserve	Debt charges	Other Interfund Transfers	Total	Surplus (Deficit) from operations after interfund transfers	Allocation from/(to) Portfolio Stabilization Reserves
ILBC2 Agreement													
Parry Place	21	299,038	359,792	•	861	659,691	379,813	16,600	221,596	•	618,009	41,682	(41,682)
RHFP Agreement													
Millstream Ridge	132	2,087,297	٠	ı	38,791	2,126,088	571,821	114,048	1,599,719	(135,082)	2,150,506	(24,418)	24,418
Spencer Close	130	36,806	•	i	210	37,016	26,225	•	•	•	26,225	10,791	(10,791)
West Park	152				480	29,909	44,663		'	(14,754)	29,909		'
	414	2,153,532	ı	ı	39,481	2,193,013	642,709	114,048	1,599,719	(149,836)	2,206,640	(13,627)	13,627
IHI Agreement Westview	73	398,793	1	,	10,504	409,297	166,478	42,048	80,179	1	288,705	120,592	(120,592)
No Operating Agreement													
Portage Place	17	222,685	•	İ	925	223,610	102,253	35,217	1	•	137,470	86,140	(86,140)
Campus View Court	12	150,291	•		1,688	151,979	68,971	24,859	ı	•	93,830	58,149	(58,149)
Royal Oak Square	38	507,018	•	ı	2,716	509,734	203,318	78,719	•	•	282,037	227,697	(227,697)
Village on the Green	38		,	1	4,376	447,472	188,183	78,719	134,290	•	401,192	46,280	(46,280)
Vergo	18		'	'	146	273,468	90,105	37,288	239,896		367,289	(93,821)	93,821
	123	1,596,412		'	9,851	1,606,263	652,830	254,802	374,186		1,281,818	324,445	(324,445)
	1.773	1.773 \$14.483.146 \$		359.792 \$ 3.118.951 \$		\$18.099.515	\$ 8.112.812	137.626 \$18.099.515 \$ 8.112.812 \$ 2.327.500 \$ 7.219.935 \$ (149.836) \$17.510.411	\$ 7.219.935	\$ (149.836)		\$ 589.104	589.104 \$ (589.104)



| Capital Region Housing Corporation

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