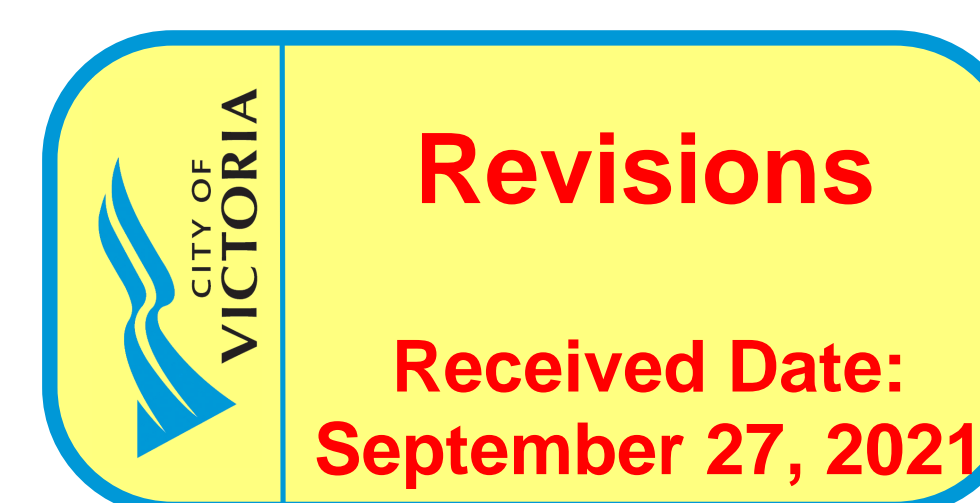


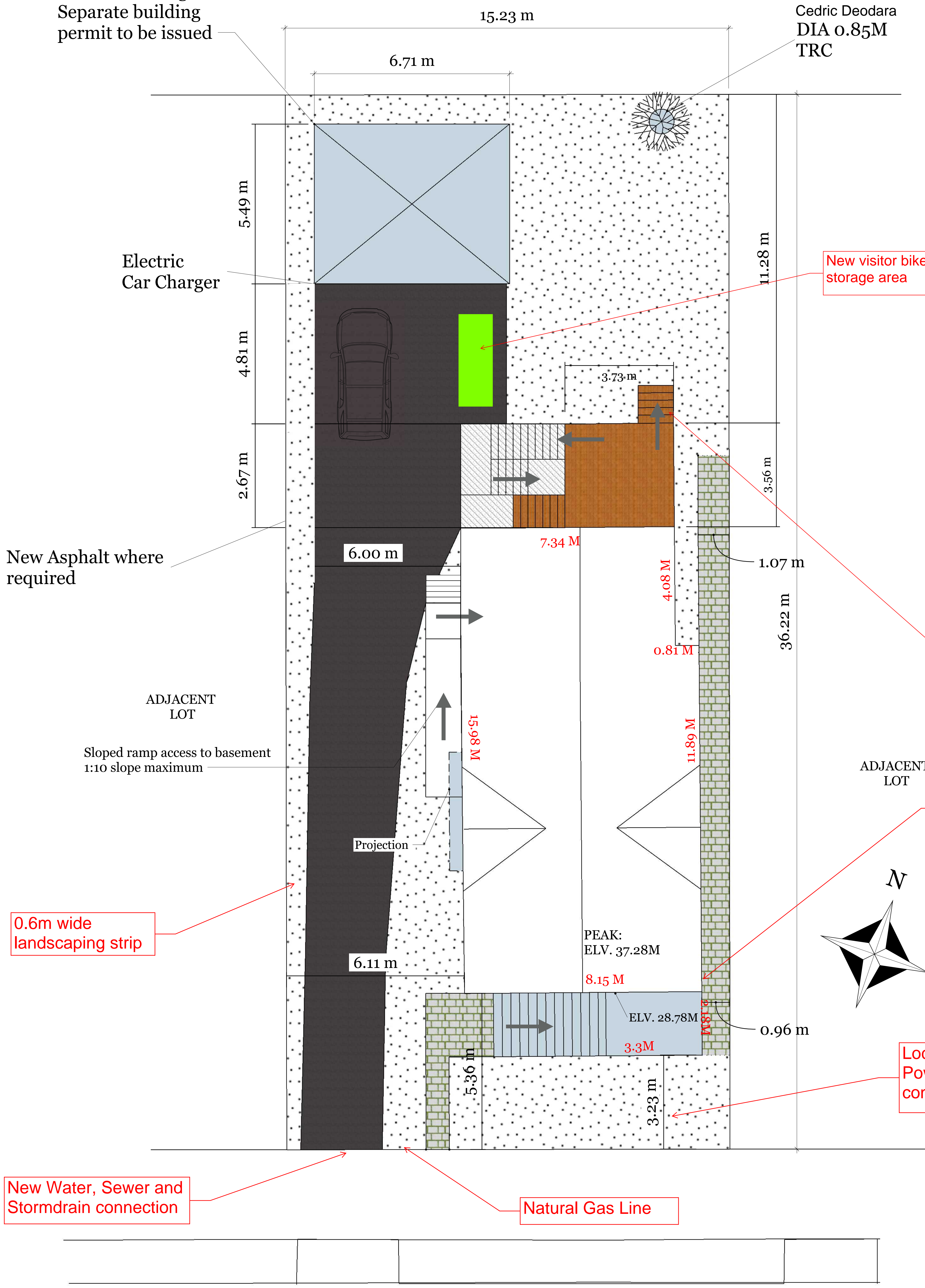
1022 Summit Avenue
Home Renovation



March 31, 2021

Detached Garage
Separate building
permit to be issued

Cedric Deodara
DIA 0.85M
TRC



Electric
Car Charger

New Asphalt where
required

ADJACENT
LOT
Sloped ramp access to basement
1:10 slope maximum

0.6m wide
landscaping strip

New Water, Sewer and
Stormdrain connection

Natural Gas Line

New visitor bike
storage area

Likely location of
new Meter Base

Location of Temporary
Power Pole for
construction power

Note: steps will not protrude
beyond the minimum setback of
9.06m - final dimensions will be
shown on survey when
submitted.

PROJECT DATA TABLE	PROVIDED	PERMITTED
Municipal Address	1022 Summit Ave, Victoria, BC	
Legal Address	LOT 3 BLOCK A PLAN 1283 SECTION 4 VICTORIA	
Zoning		
Site Area	551.6 M2 / 5,783 SF	
Site Coverage	188.7 M2 / 2031 SF	40% x 5783SF = 220.6 M2 / 2,313 SF
SC - Principal Building	137 M2 / 1,475 SF	
SC - Accessory Building (Garage)	36.8 M2 / 396 SF	37 M2 / 398 SF
SC - Attached Deck (At grade)	14.9M2/ 160 SF	
SC - Landscape	204.4M2 / 2199 SF	
Front Yard	3.22 M / 10.6 FT	
Side Yard	0.96M / 6.96M Combined	
Rear Yard	11.11M / 36.4 FT	
Height	8.72M (Roof to grade midpoints)	
Number of Stories	3 stories	
Floor Area:		
Basement	86.6 M2 / 932 SF	
Main Floor	118.4 M2 / 1,274 SF	
Second Floor	116.6 M2 / 1,255 SF	

Project Details:

- Primary building renovation
- Basement to be demolished while house is shored and foundation walls reconstructed to suit.

NOTE: BUILDING LOCATION AND HEIGHT WILL NOT CHANGE FROM ITS CURRENT STATE

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tar.deol@outlook.com

REVISIONS

	MM/DD/YY	REMARKS
1	---/---/---	...
2	---/---/---	...
3	---/---/---	...
4	---/---/---	...
5	---/---/---	...

Project:

1022 Summit
Ave

Drawing Title:

Site Plan

Project Number:

Date:
March 31, 2021

Scale:
3/16" = 1'

Drawn by:

TD

Checked by:

TD

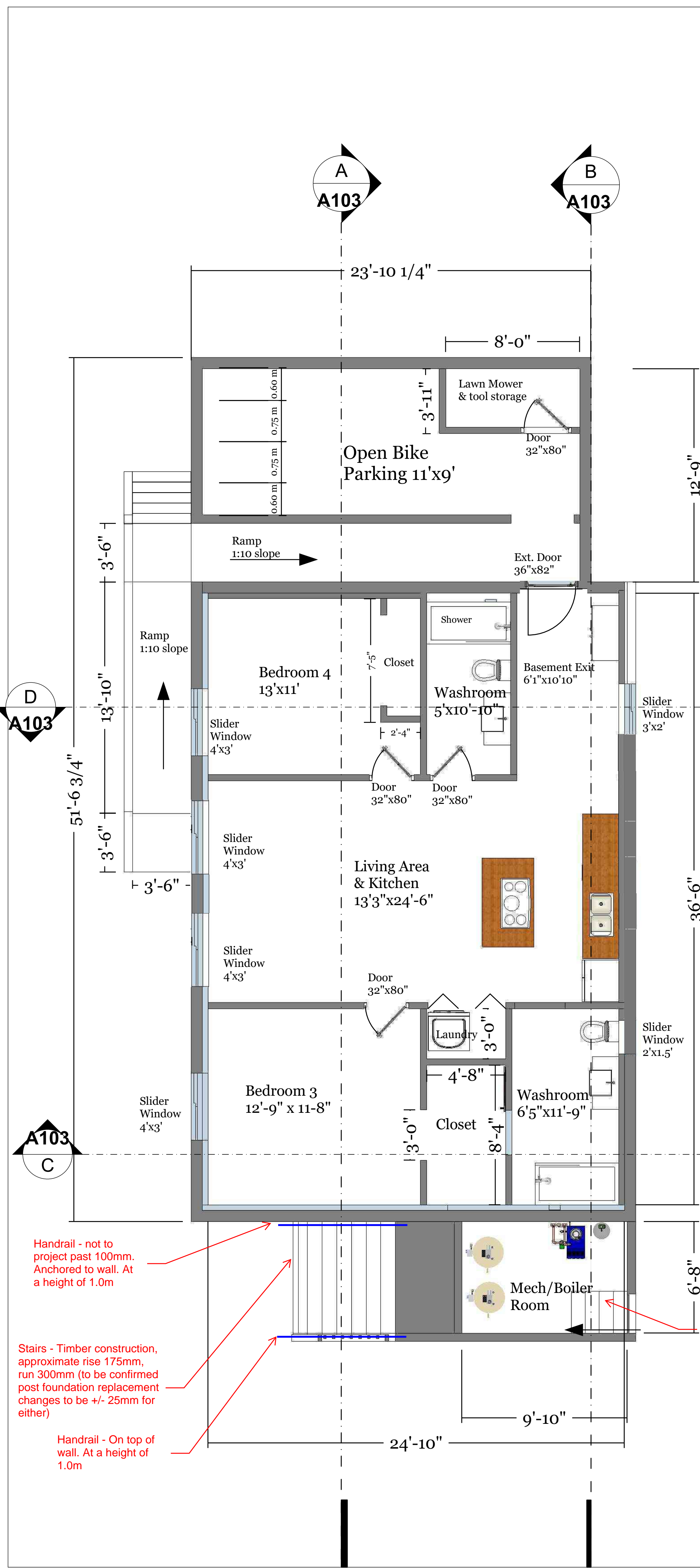
Drawing Number:

A101

Revision:

1

SUMMIT AVE



1 Basement Plan View
Scale: 1/4" : 1'

Basement Finish Schedule:

- **Flooring:** Vinyl/laminate as required
- **Interior Walls:** 2x4 construction & 1/2" drywall all sides
- **Exterior Walls:**

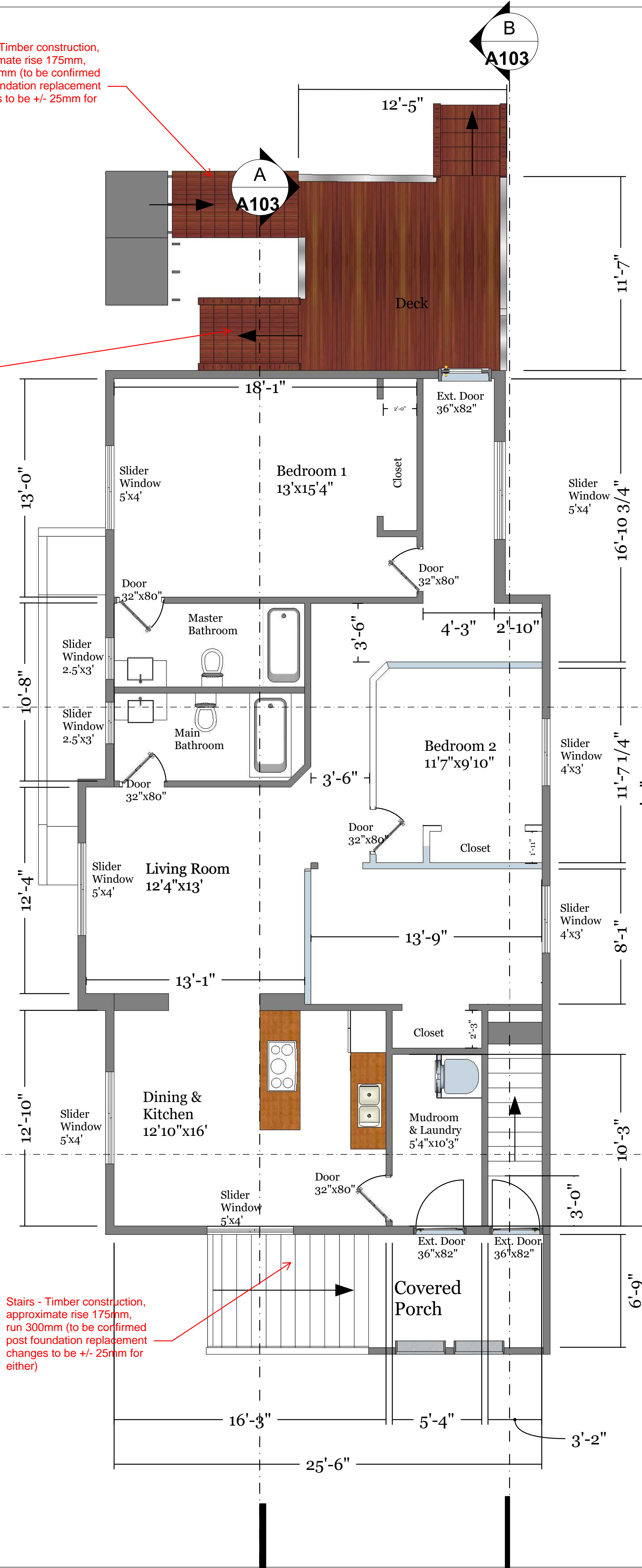
- ~8" concrete walls (as per structural), moisture barrier up wall above exterior grade level and below bottom plate, mechanically fastened by 1x3 on flat
- 2x3 or 2x4 wall construction on interior face of exterior wall
- insulate with fiberglass/rockwool batt insulation
- finished with 1/2" drywall

- **Ceiling Finish**
- insulate with 2 layers of 2x4 batt insulation (rockwool)
- finish with 5/8" thick drywall
- Include Z bar or equivalent decoupling element

*Note: 6 mil poly to be placed under basement slab for moisture protection

Rockwool safe & sound

Two layers separated by Green glue Noiseproofing compound



2 Main Floor Plan View
Scale: 1/4" : 1'

Main Floor Finish Schedule:

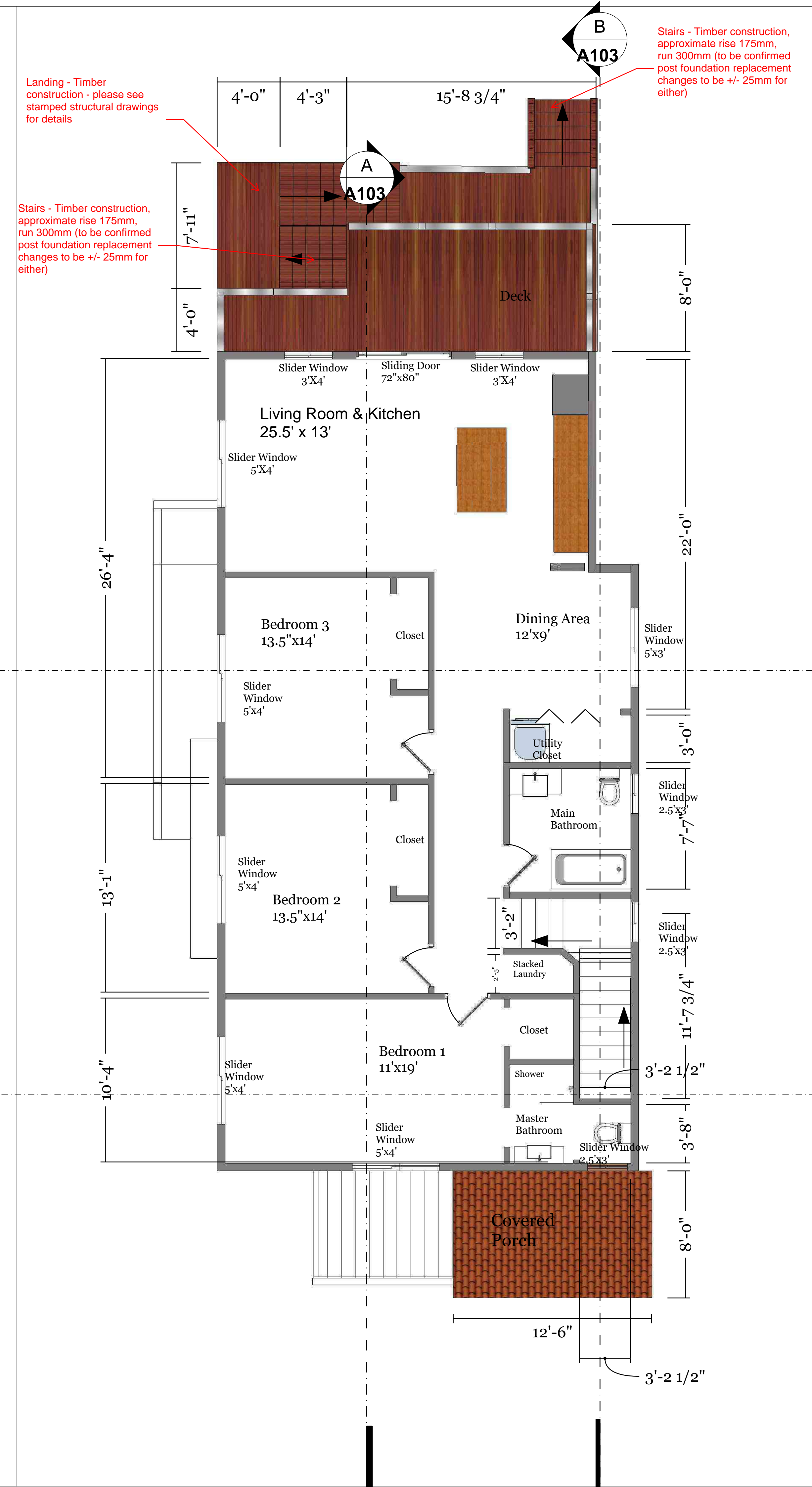
- **Flooring:** Vinyl/laminate as required
- **Interior Walls:** 2x4 construction & 1/2" drywall both sides
- **Exterior Walls:**

- 2x6 walls with 3/4" exterior sheathing
- insulate with fiberglass/rockwool batt insulation
- finished with 1/2" drywall

- **Ceiling Finish**
- insulate with 2 layers of 2x4 batt insulation (rockwool)
- finish with 5/8" thick drywall
- Include Z bar or equivalent decoupling element

Rockwool safe & sound

Two layers separated by Green glue Noiseproofing compound



3 2nd Floor Plan View
Scale: 1/4" : 1'

2nd Floor Finish Schedule:

- **Flooring:** Vinyl/laminate as required
- **Interior Walls:** 2x4 construction & 1/2" drywall both sides
- **Exterior Walls:**

- 2x6 walls with 3/4" exterior sheathing
- insulate with fiberglass/rockwool batt insulation
- finished with 1/2" drywall

- **Ceiling/Attic Finish**
- insulate with blown fiberglass insulation
- finish with 5/8" thick drywall

6 mil thick poly moisture barrier

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REVISIONS

MM/DD/YY	REMARKS
1	---
2	---
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4	---
5	---

Project:

1022 Summit Ave

Drawing Title:

Plan Views

Project Number: Date: March 31, 2021

Scale: 1/4" = 1'

Drawn by: TD Checked by: TD

Drawing Number: Revision:

A102 1



A Cut Section
Scale: 1/4" : 1'



B Cut Section
Scale: 1/4" : 1'



C Cut Section
Scale: 1/4" : 1'



D Cut Section
Scale: 1/4" : 1'

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REVISIONS

	MM/DD/YY	REMARKS
1	---/---/---	...
2	---/---/---	...
3	---/---/---	...
4	---/---/---	...
5	---/---/---	...

Project:

1022 Summit Ave

Drawing Title:

Cross Section Views

Project Number: Date:
March 31, 2021

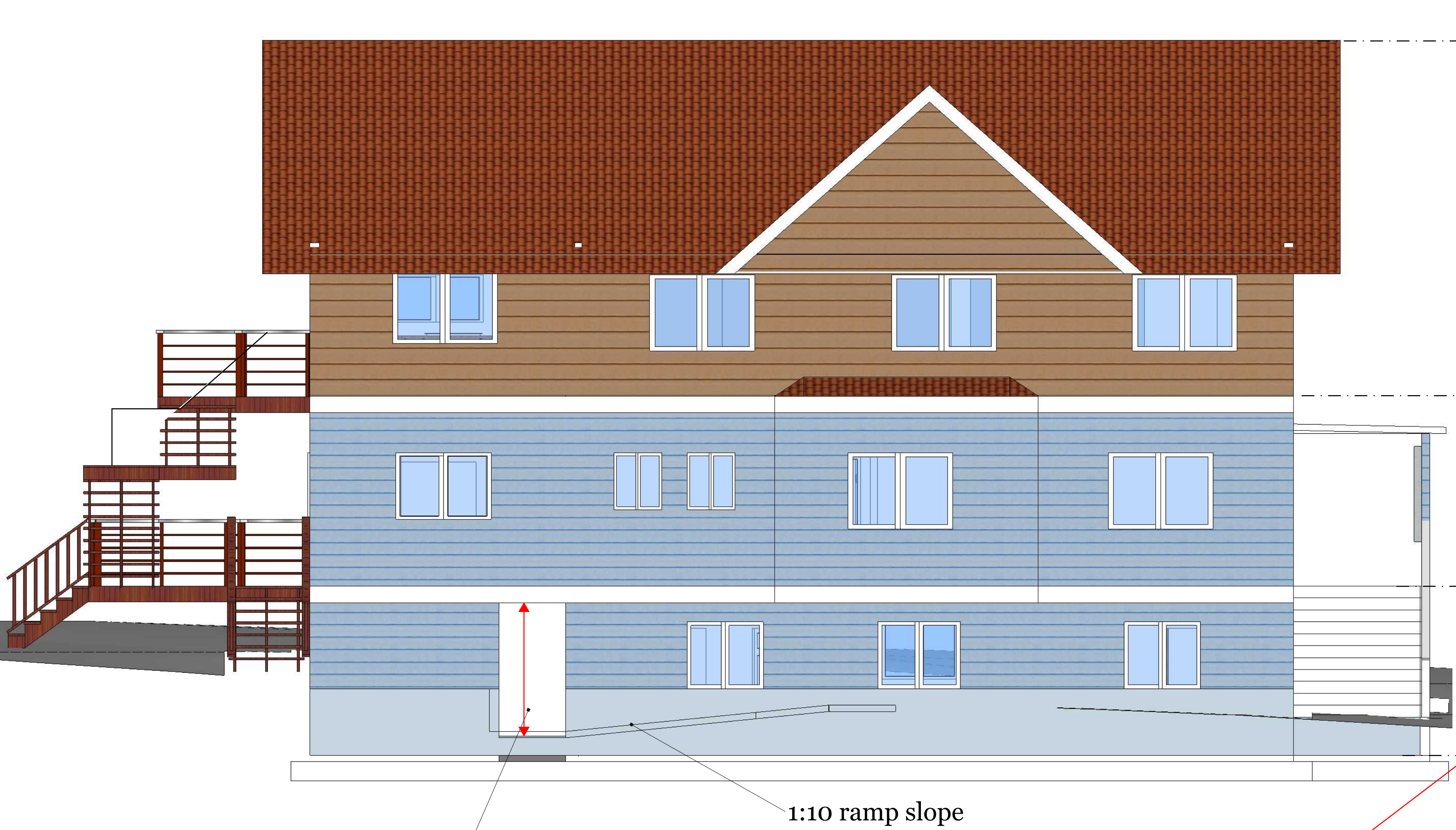
Scale:
1/4" = 1'

Drawn by: Checked by:
TD TD

Drawing Number: Revision:

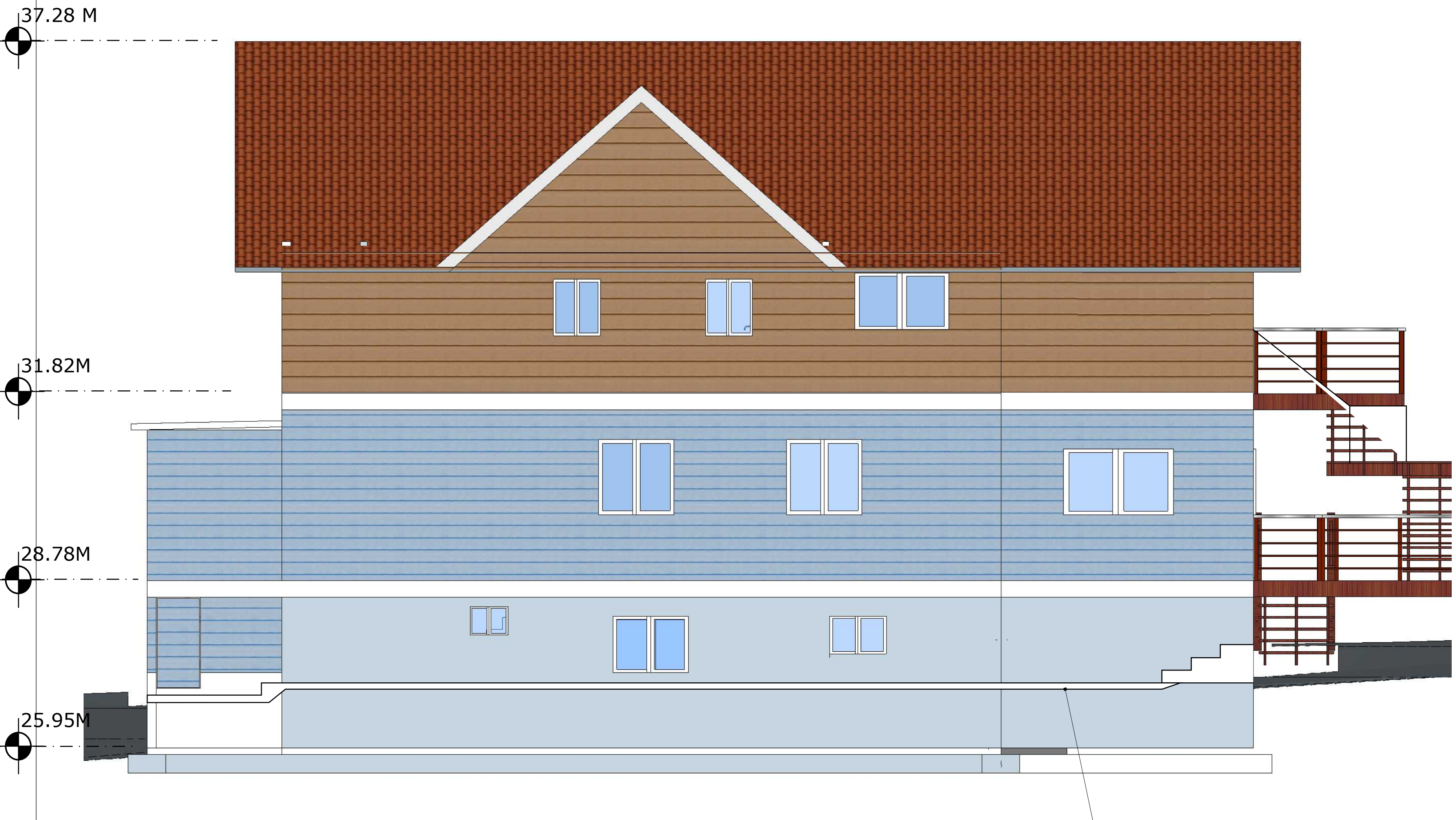
A103 1

- Exterior Siding**
- Sheathing membrane (Tyvek) or similar
 - Strapping secured to sheathing (1x2)
 - Hardy plank secured to strapping



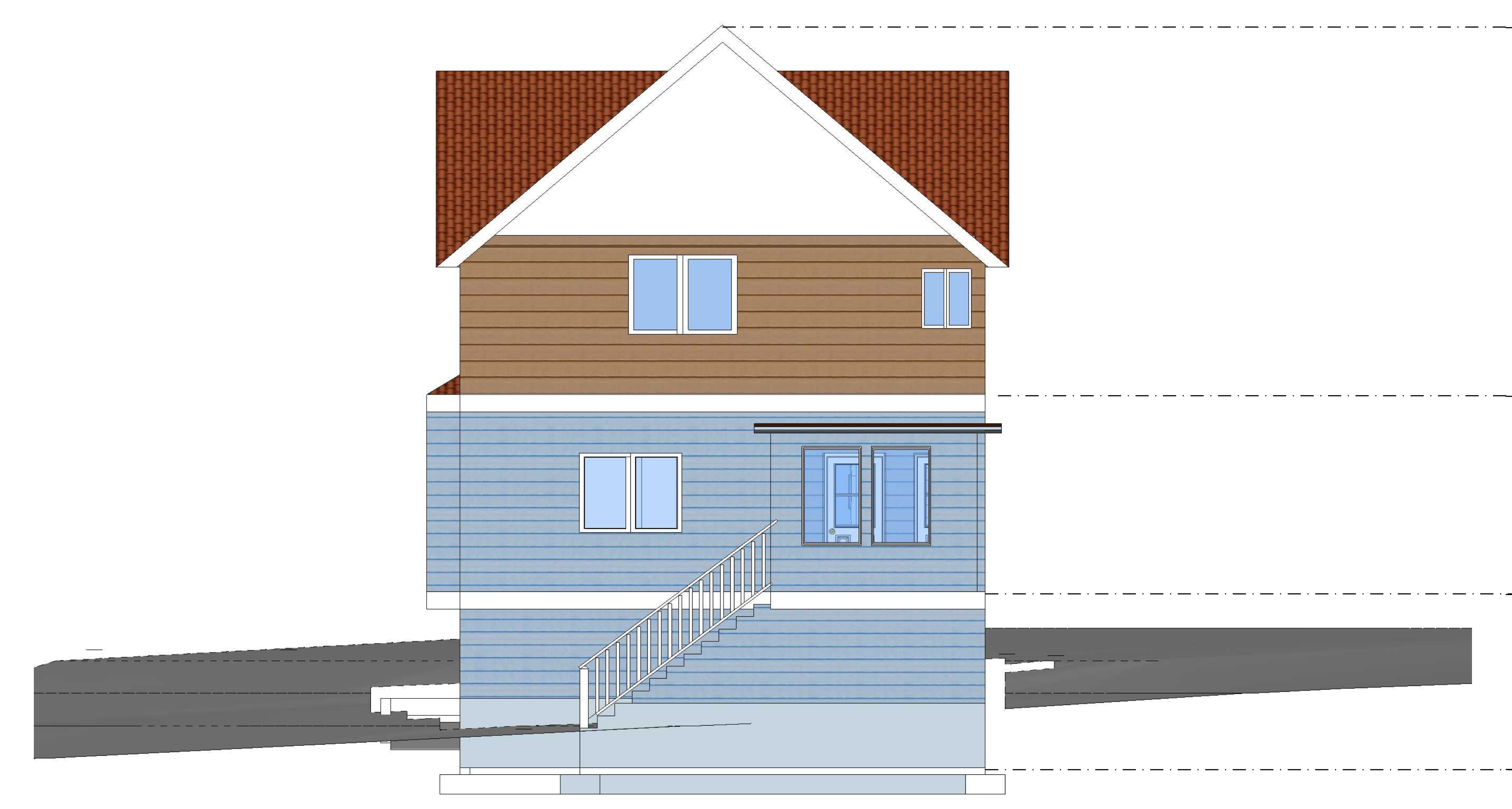
A Elevation West
Scale: 1/4" : 1'

Note: Basement at lower elevation - average depth to lower approximately 60cm.

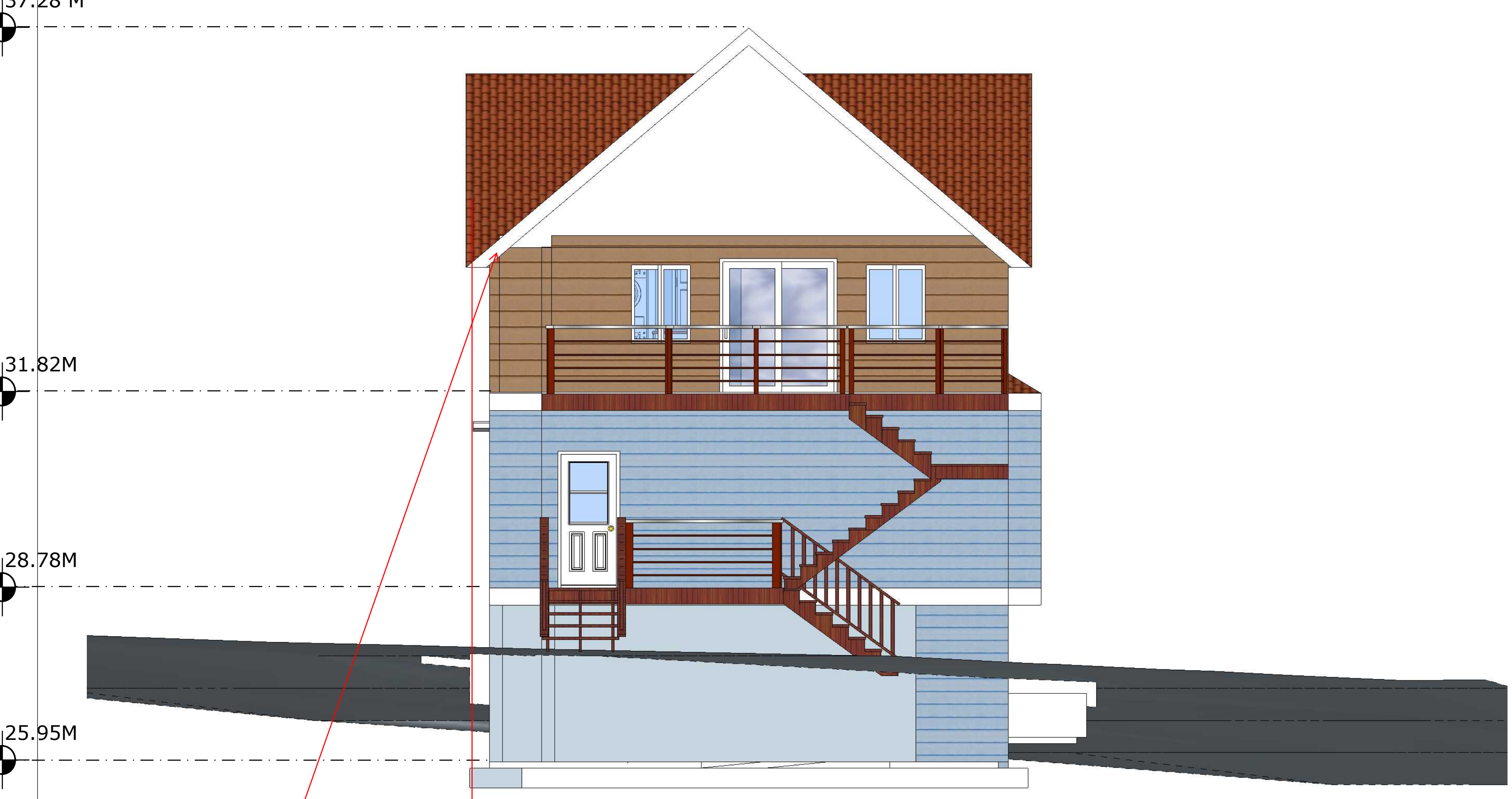


B Elevation East
Scale: 1/4" : 1'

Stepped and pathway as required for pathway 6" below underside of windows



C Elevation Front
Scale: 1/4" : 1'



D Elevation South
Scale: 1/4" : 1'

Note: Edge of soffit projection to be a minimum of 0.5m from the property line. Max projection off the side of the house is 1.0m

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REVISIONS	
MM/DD/YY	REMARKS
1	---/---/---
2	---/---/---
3	---/---/---
4	---/---/---
5	---/---/---

Project:
1022 Summit Ave

Drawing Title:
Building Elevations

Project Number:	Date: March 31, 2021
Drawn by: TD	Scale: 1/4" = 1'
Drawing Number:	Checked by: TD
	Revision:

A104 **1**