

**F.2 Bylaws for 975 and 983 Pandora Avenue: Rezoning Application No. 00683 and Development Permit with Variances Application No. 000543**

**Moved By** Councillor Young

**Seconded By** Councillor Loveday

That the following bylaw **be given first and second readings:**

1. Zoning Regulation Bylaw, Amendment Bylaw (No. 1263) No. 21-102

**CARRIED UNANIMOUSLY**

**Moved By** Councillor Alto

**Seconded By** Councillor Loveday

That the following bylaw **be given first, second and third readings:**

1. Housing Agreement (1468 Vancouver) Bylaw (2021) No. 21-103

**CARRIED UNANIMOUSLY**

**Moved By** Councillor Alto

**Seconded By** Councillor Loveday

Development Permit with Variances Application No. 000543

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00683, if it is approved, consider the following motion:

“That Council authorize the issuance of Development Permit with Variances Application No. 000543 for 975 and 983 Pandora Avenue in accordance with:

1. Plans date stamped November 24, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:
  1. Increase the height from 45m to 47.68m.
3. Final plans to be generally in accordance with plans date stamped November 16, 2021.
4. The Development Permit lapsing two years from the date of this resolution.”

**CARRIED UNANIMOUSLY**



## Council Report

For the Meeting of December 9, 2021

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**To:** Council **Date:** November 25, 2021  
**From:** Karen Hoese, Director, Sustainable Planning and Community Development  
**Subject:** Update for Rezoning Application No. 00683 and Development Permit with Variances Application No. 000543 for 975 and 983 Pandora Avenue

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### RECOMMENDATION

That the following bylaws be given introductory readings:

- Zoning Regulation Bylaw, Amendment Bylaw (No. 1263) No. 21-102
- Housing Agreement Bylaw No. 21-103.

and that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00683, if it is approved, consider the following motion:

"That Council authorize the issuance of Development Permit with Variances Application No. 000543 for 975 and 983 Pandora Avenue in accordance with:

1. Plans date stamped November 24, 2021.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
  - i. Increase the height from 45m to 47.68m.
3. Final plans to be generally in accordance with plans date stamped November 16, 2021.
4. The Development Permit lapsing two years from the date of this resolution."

### EXECUTIVE SUMMARY

The purpose of this report is to present Council with an update regarding the Rezoning and Development Permit with Variance Applications for the properties located at 975 and 983 Pandora Avenue. The proposal is to rezone from the CA-43 Zone to a site-specific zone in order to construct a 16-storey mixed use building containing ground level commercial and purpose built rental residential uses above. Attached for Council's initial consideration is a copy of the proposed Zoning Regulation Bylaw No. 21-102 and Housing agreement Bylaw No. 21-103.

## BACKGROUND

The Rezoning and Development Permit with Variance Applications came before Council at a Committee of the Whole meeting on May 13, 2021, and was ratified at a Council meeting on May 20, 2021 where the following resolution was approved:

### **Rezoning Application No. 00683**

*“That Council instruct staff to prepare the necessary Zoning Regulation Bylaw Amendment that would authorize the proposed development outlined in Rezoning Application No. 00683 for 975 and 983 Pandora Avenue and that first and second reading of the Zoning Regulation Bylaw Amendment be considered by Council and a Public Hearing date be set once the following conditions are met:*

- 1. Minor plan revisions as detailed in concurrent Development Permit with Variances Application No. 000543.*
- 2. Preparation and execution of legal agreements, in a form satisfactory to the City Solicitor, to:*
  - i. Secure all of the dwelling units in the building as rental for the greater of 60 years or the life of the building and that rental periods are 30 days or more, to the satisfaction of the Director of Sustainable Planning and Community Development.*
  - ii. Secure the two-bedroom, two-bedroom plus den, three-bedroom, four-bedroom and five-bedroom units generally in accordance with the Plans dated February 16, 2021, to the satisfaction of the Director of Sustainable Planning and Community Development.*
  - iii. Restrict strata titling of the building, to the satisfaction of the Director of Sustainable Planning and Community Development.*
  - iv. Secure the design, supply and installation of the City’s Downtown Public Realm Plan and Streetscape Standards (DPRP) (specifically, the ‘New Town District’), including furnishings, materials and pedestrian lights along the Vancouver Street and Pandora Avenue frontages, to the satisfaction of the Director of Engineering and Public Works.*
  - v. Secure the installation of the protected bike lane improvements adjacent the Vancouver Street frontage, as per the City’s Bicycle Master Plan to the satisfaction of the Director of Engineering and Public Work.*
  - vi. Secure the design, supply and installation of a stormwater management soil cell infiltration system in the boulevard on Vancouver Street for treatment of road runoff, to the satisfaction of the Director of Engineering and Public Works.*
  - vii. Secure soil cells for all municipal street trees on Vancouver Street, to specifications (including soil volume and depth) to the satisfaction of the Director of Parks, Recreation and Facilities.*
- 3. That Council request that the applicant provide more information on the co-living model and information regarding affordability.*

### **Development Permit with Variances Application No. 000543**

*That, subject to minor plan revisions to address the following:*

1. *Corrections to the paving patterns and street furnishings consistent with the Downtown Public Realm and Streetscape Plan to the satisfaction of the Director of Engineering and Public Works.*
2. *Clarification of the details on the preliminary Utilities Plan to the satisfaction of the Director of Engineering and Public Works.*
3. *Further details regarding the double vehicle access gate system and staging area for garbage and waste collection to the satisfaction of the Director of Engineering and Public Works.*
4. *Corrections to irrigation system, street trees and planting schedules, to the satisfaction of the Director of Parks, Recreation and Culture.*
5. *Further consideration of the fence design and application of building materials at the street level along Pandora Avenue to ensure a positive pedestrian experience, to the satisfaction of the Director of Sustainable Planning and Community Development.*
6. *Incorporation of perimeter wind screens on the south side of the lower level amenity spaces and on the terraces of level 14 as recommended in the Pedestrian Wind Assessment.*
7. *Confirmation of whether CREST would be required to occupy equipment on the roof level for a new communication transmission site, to the satisfaction of the Fire Chief.*
8. *Corrections to plans to ensure the compliance with the BC Building Code.*

*And that Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, and after the Public Hearing for Rezoning Application No. 00683, if it is approved, consider the following motion:*

*“That subject to receipt of a letter from the Ministry of Environment confirming that the landowner has met the requirements of Section 557(2) of the Local Government Act with respect to contaminated sites that Council authorize the issuance of Development Permit with Variances Application No. 000543 for 975 and 983 Pandora Avenue in accordance with:*

1. *Plans date stamped February 12, 2021.*
2. *Development meeting all Zoning Regulation Bylaw requirements, except for the following variances:*
  - i. *Increase the height from 45m to 47.68m*
  - ii. *Increase the number of storeys from 15 storeys to 16 storeys*
  - iii. *Increase the height of the proposed breezeway fence from 1.22m to 3.12m.*
3. *Final plans to be generally in accordance with plans date stamped February 12, 2021.*
4. *The Development Permit lapsing two years from the date of this resolution.”*

## **Plan Updates**

The applicant has submitted revised plans (attached) to address minor corrections to the public realm streetscape, including paving patterns, street furnishings, street trees, irrigation system and utilities. The design of the breezeway fence has been lowered in height (and no longer requires a

variance), which improves the pedestrian experience along Pandora Avenue. The applicant has retained the painted architectural concrete along the ground floor, due to the fact that this material is practical to maintain over time. Perimeter wind screens have been added on the upper level terraces and the south side of the lower level amenity spaces as recommended in the Pedestrian Wind Assessment and provision has been made for CREST communication equipment within the roof top mechanical room.

Staff are satisfied that the minor revisions as detailed in the Council resolution from May 20, 2021 have been addressed.

### **Variance Updates**

The Zoning Regulation Bylaw amendment has been based on the standard Downtown (CBD) zones, which utilize building height as the regulatory tool. The variance for one storey has therefore been removed from the Development Permit application.

As noted above, the design of the fence and gate in the breezeway has been redesigned and no longer requires a variance so this variance has been removed from the recommended Council motion.

The applicant has also worked with staff to address the functionality of the waste and loading area and is now proposing to use the single stall located on the main floor, accessed off Pandora Avenue, as the staging area for bins. This replaces an accessible stall which has now been relocated to parking level one within close proximity to the access to the elevators.

### **Co-Living Model Information**

The applicant has provided more information on the co-living model (attached) which was also circulated to Mayor and Council in an email dated May 25, 2021. All the necessary plan revisions have been made to the satisfaction of staff and the necessary legal agreements have been executed.

### **CONCLUSIONS**

The applicant has executed the required legal agreements and have satisfied staff with the further information requested by Council. As such, this application is now ready to advance to a public hearing.

Respectfully submitted,

Charlotte Wain  
Senior Planner – Development Services  
Division

Karen Hoese, Director  
Sustainable Planning and Community  
Development Department

**Report accepted and recommended by the City Manager.**

## List of Attachments

- Attachment A: Zoning Regulation Bylaw, Amendment Bylaw (No. 1263) No. 21-102
- Attachment B: Housing Agreement Bylaw No. 21-103
- Attachment C: Letter from Applicant dated May 25, 2021
- Attachment D: Co-Living Presentation dated May 25, 2021
- Attachment E: Updated Plans dated November 24, 2021

# A BYLAW OF THE CITY OF VICTORIA

The Council of The Corporation of the City of Victoria enacts the following provisions:

- “6.105 CA-94 Harris Green (1468 Vancouver) District”

- |                            |        |      |
|----------------------------|--------|------|
| READ A FIRST TIME the      | day of | 2021 |
| READ A SECOND TIME the     | day of | 2021 |
| Public hearing held on the | day of | 2021 |
| READ A THIRD TIME the      | day of | 2021 |
| ADOPTED on the             | day of | 2021 |

MAYOR



**PART 6.105 – CA-94 ZONE, HARRIS GREEN (1468 VANCOUVER) DISTRICT****6.105.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. Multiple dwelling
- b. Bakery used predominantly for the retail sale of bakery products produced on the premises
- c. Financial service
- d. Launderette
- e. Business and professional offices
- f. Personal services
- g. Restaurant
- h. Retail
- i. Gymnasium
- j. Studio
- k. High tech
- l. Cultural facility
- m. Public Building
- n. Home occupation subject to the regulations in Schedule “D”

**6.105.2 Definitions**

In this Zone:

- a. “Parapet” means a vertical projection of a wall at the outer edge of a roof.
- b. “Rooftop Structure” includes antennas, elevator penthouses, elevator landings, stair access and landings, mechanical equipment, chimneys, ventilation systems, solar heating panels, green roof systems and similar structures that project above a roof, are non-habitable and which may be enclosed or unenclosed.
- c. “Studio” means a purpose-designed work space for an artist or artisan engaged in an art or craft that is compatible with Residential uses, which may include an associated Dwelling Unit and in which works produced in the Studio may be sold.

**PART 6.105 – CA-94 ZONE, HARRIS GREEN (1468 VANCOUVER) DISTRICT****6.105.3 Community Amenities**

As a condition of additional density pursuant to Part 6.105.6, the following amenities must be provided:

- a. Registration of a legal agreement securing that all dwelling units in this Zone will be used only as rental accommodation for the greater of 60 years or the life of the building.

**6.105.4 Siting of Permitted Uses**

- a. The uses permitted under 6.105.1 (c) “financial service”, shall not occupy floor space within 6m of any portion of the building facing a street at street level.
- b. The only use permitted above the second storey is multiple dwelling.

**6.105.5 Lot Area**

- a. Lot area (minimum) 2040m<sup>2</sup>

**6.105.6 Floor Area, Floor Space Ratio**

- a. Floor space ratio where the amenities have not been provided pursuant to 6.105.3 (maximum) 3:1
- b. Floor space ratio where the amenities have been provided pursuant to 6.105.3 (maximum) 5.46:1

**6.105.7 Height**

- a. Principal building height (maximum) 45m
- b. Projections above maximum height (maximum)
  - i. Parapets 1.0m
  - ii. Rooftop Structures 5.0m

**6.105.8 Setbacks**

- a. Front yard setback (Pandora Avenue) (minimum) 1.5m  
except for canopies
- b. Rear yard setback (South) (minimum) 3.0m
- c. Side yard setback (West) (minimum) 0.0m
- d. Side yard setback on a flanking street for a corner lot (Vancouver Street) (minimum) except for canopies 1.5m

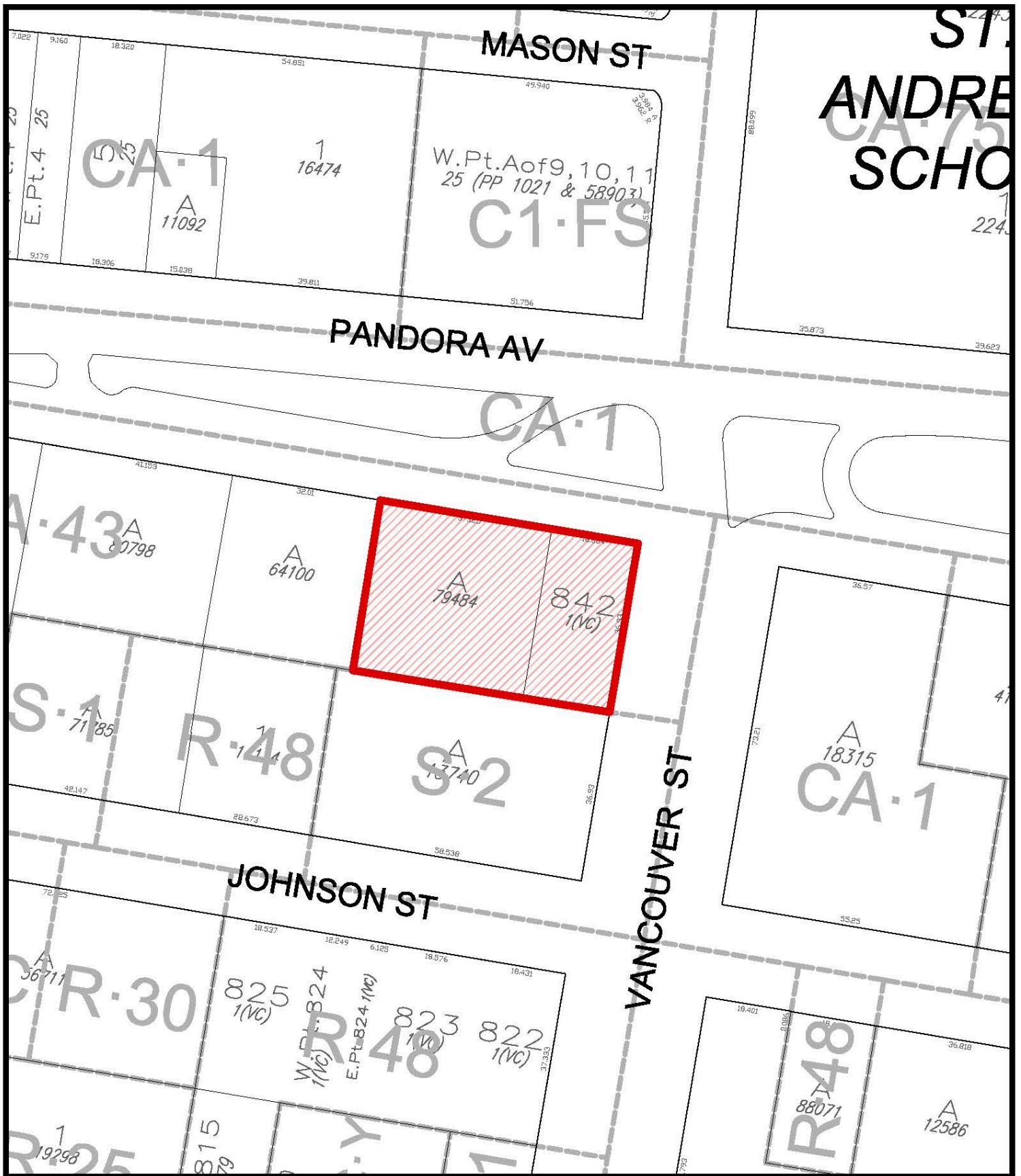
**PART 6.105 – CA-94 ZONE, HARRIS GREEN (1468 VANCOUVER) DISTRICT**

**6.105.9 Site Coverage, Open Site Space**

- |                                   |     |
|-----------------------------------|-----|
| a. <u>Site Coverage</u> (maximum) | 65% |
|-----------------------------------|-----|

**6.105.10 Vehicle and Bicycle Parking**

- |                              |   |
|------------------------------|---|
| a. Vehicle parking (minimum) | Subject to the regulations in<br>Schedule “C” |
| b. Bicycle parking (minimum) | Subject to the regulations in<br>Schedule “C” |



975 & 983 Pandora Avenue  
Rezoning No.00683





# Schedule A

## HOUSING AGREEMENT

(Pursuant to section 483 of the *Local Government Act*)

BETWEEN:

**THE CORPORATION OF THE CITY OF VICTORIA**

#1 Centennial Square  
Victoria, B.C. V8W 1P6

(the "City")

AND:

**975 PANDORA AVENUE HOLDINGS LTD. (INC.NO. BC1167797)**

Suite 1212 – 450 SW Marine Drive  
Vancouver, B.C. V5X 0C3

(the "Owner")

AND:

**COAST CAPITAL SAVINGS FEDERAL CREDIT UNION**

800 – 9900 King George Boulevard  
Surrey, B.C. V3T 0K7

(the "Existing Chargeholder")

## WHEREAS:

- A. Capitalized terms used herein will have the respective meanings ascribed to them in section 1.1 of this Agreement, unless the context otherwise clearly requires or they are elsewhere defined herein.
- B. Under section 483 of the *Local Government Act* the City may, by bylaw, enter into a housing agreement with an owner regarding the occupancy of the housing units identified in the agreement, including but not limited to terms and conditions referred to in section 483(2) of the *Local Government Act*.
- C. The Owner is the registered owner in fee simple of lands in the City of Victoria, British Columbia, with a civic address of 975 and 983 Pandora Avenue, Victoria, B.C. and legally described as:  
  
PID: No PID Available  
Lot 1 Victoria City Plan EPP113118  
  
(collectively, the "Lands").
- D. The Owner has applied to the City to rezone the Lands to permit the construction of the Co-Housing Units and the Market Rental Units within the Development and in accordance with this Agreement.

# Schedule A

- E. The City and the Owner wish to enter into this Agreement, as a housing agreement pursuant to section 483 of the *Local Government Act*, to secure the agreement of the Owner that all Dwelling Units within the Development on the Lands will be used and held only as rental housing.

**NOW THIS AGREEMENT WITNESSES** that pursuant to section 483 of the *Local Government Act*, and in consideration of the premises and covenants contained in this agreement (the "**Agreement**"), the parties agree each with the other as follows:

## 1.0 DEFINITIONS

### 1.1 In this Agreement:

"**Business Day**" means Monday to Friday, other than any such day which is a statutory holiday in Victoria, British Columbia;

"**Co-Housing Units**" means the fifty-four (54) dwelling units within the Development that are comprised of a shared living space and a separated lock-off bedroom for each of the occupants of the co-housing unit, with the total number of co-housing units in the Development being based on the number of shared living areas as opposed to the number of lock-off bedrooms that are connected to any such shared living space;

"**Development**" means the new approximately sixteen (16) storey building to be constructed on the Lands and which will include the Co-Housing Units and the Market Rental Units and related facilities on the Lands;

"**Dwelling Units**" means together, the Co-Housing Units and the Market Rental Units and includes any dwelling unit that is developed on the Lands in future, whether as part of the Development or otherwise, and "**Dwelling Unit**" means any of such units located on the Lands;

"**Immediate Family**" includes a person's spouse, child, grandchild, parent, grandparent, sibling, niece and nephew, and includes the Immediate Family of the person's spouse;

"**Market Rental Units**" means the sixty-seven (67) self-contained residential dwelling units within the Development;

"**Non-owner**" means a person other than a Related Person or the Owner;

"**Owner**" includes a person who acquires an interest in the Lands or any part of the Lands or the Development and is thereby bound by this Agreement, as referred to in section 9.3;

"**Related Person**" includes, where the registered or beneficial owner of the Lands or Dwelling Unit, as applicable, is:

- (a) a corporation or society:
  - (i) an officer, director, shareholder, or member of such corporation or society, or of another entity which is a shareholder or member of such corporation or society; or

# Schedule A

- (ii) an Immediate Family of a person to whom paragraph (i) applies, or
- (b) an individual, an Immediate Family of the registered or beneficial owner;

**"Strata Corporation"** means, for the portions of the Lands or any building on the Lands that is subdivided under the *Strata Property Act*, a strata corporation as defined in that Act, including the Owner while in control of the strata corporation and subsequently the individual strata lot owners collectively acting as the strata corporation.

**"Tenancy Agreement"** means a tenancy agreement pursuant to the *Residential Tenancy Act* that is regulated by that Act.

## 2.0 TERM

**2.1** The term of this Agreement shall be for a period beginning on the date the City issues an occupancy permit for the Development, and expiring on that date that is equal to the later of:

- (a) that date that is sixty (60) years from the date of commencement of this Agreement; and
- (b) that date that the Owner elects to:
  - (i) demolish the Development as a result of material damage or destruction to the Development; or
  - (ii) demolish the Development as a result of the Development being at the end of its useful life.

## 3.0 DWELLING UNITS TO BE USED AND OCCUPIED ONLY AS RENTAL UNITS

**3.1** The Owner covenants and agrees that the Dwelling Units shall only be used as rental housing, and for that purpose shall only be occupied by a Non-owner under the terms of a Tenancy Agreement between the Owner and the Non-owner who occupies the Dwelling Unit.

## 4.0 NO RESTRICTIONS ON RENTALS

**4.1** The Owner covenants and agrees that the Owner shall not take any steps, or enter into any agreements, or impose any rules or regulations whatsoever, the effect of which would be to prevent or restrict the Owner of a Dwelling Unit from renting that Dwelling Unit to a Non-owner under the terms of a Tenancy Agreement.

**4.2** Notwithstanding the covenant set out in section 4.1, the Owner further covenants and agrees that it will not permit any Dwelling Unit on the Lands to be used for the purposes of short term accommodation and any agreement entered into from time to time with respect to rental of the Dwelling Units will be for a term that is greater than 30 days.

## 5.0 REPORTING

## Schedule A

**5.1** The Owner covenants and agrees to provide to the City's Director of Sustainable Planning and Community Development, within thirty (30) days of the Director's written request, a report in writing confirming that:

- (a) all Dwelling Units are being rented to Non-owners or are vacant, and
- (b) all other requirements of this Agreement are being complied with by the Owner and the Development,

along with such other information as may be requested by the Director from time to time.

**5.2** The Owner hereby authorizes the City to make such inquiries as it considers necessary in order to confirm that the Owner is complying with this Agreement.

**5.3** The Owner acknowledges that it is within the City's sole discretion to consent or not to consent to modifications of this Agreement and that such consent may be withheld for any reason.

### **6.0 NOTICE TO BE REGISTERED IN LAND TITLE OFFICE**

**6.1** Notice of this Agreement (the "**Notice**") will be registered in the Land Title Office by the City at the cost of the Owner in accordance with section 483 of the *Local Government Act*, and this Agreement is binding on the parties to this Agreement as well as all persons who acquire an interest in the Lands after registration of the Notice.

### **7.0 LIABILITY**

**7.1** The Owner agrees to indemnify and saves harmless the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from all claims, demands, actions, damages, costs and liabilities, which all or any of them shall or may be liable for or suffer or incur or be put to by reason of or arising out of failure of the Owner to comply with the terms and conditions of this Agreement, or otherwise that would not have arisen "but for" this Agreement.

**7.2** The Owner hereby releases and forever discharges the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from any and all claims, demands, actions, damages, economic loss, costs and liabilities which the Owner now has or hereafter may have with respect to or by reason of or arising out of the fact that the Lands are encumbered by and affected by this Agreement, or otherwise that would not have arisen "but for" this Agreement.

### **8.0 PRIORITY AGREEMENT**

**8.1** The Existing Chargeholder, as the registered holder of a mortgage and assignment of rents registered against the Lands in the Land Title Office at Victoria, British Columbia, under numbers CA6873299 and CA6873300 respectively, and extended by charges CA7043147 and CA7043148 respectively, for and in consideration of the sum of One Dollar (\$1.00) paid by the City (the receipt whereof is hereby acknowledged), agrees with the City that upon filing of a Notice with the Land Title Office that the Lands are subject to this Agreement, pursuant to section 483(5) of the *Local Government Act*, this Agreement

# Schedule A

shall be an encumbrance upon the Lands in priority to the said charges in the same manner and to the same effect as if Notice had been filed prior to the said charges.

## 9.0 GENERAL PROVISIONS

**9.1 NOTICE.** If sent as follows, notice under this Agreement is considered to be received:

- (a) upon confirmation of delivery by Canada Post if sent by registered mail,
- (b) on the next Business Day if sent by facsimile or email with no notice of failure to deliver being received back by the sender, and
- (c) on the date of delivery if hand-delivered, and

in the case of the City, addressed to:

City of Victoria  
#1 Centennial Square  
Victoria, BC V8W 1P6

Attention: Director of Sustainable Planning and  
Community Development  
Fax: 250-361-0386  
Email: [khoese@victoria.ca](mailto:khoese@victoria.ca)

and in the case of the Owner, addressed to:

975 Pandora Avenue Holdings Ltd.  
Suite 1212 – 450 SW Marine drive  
Vancouver, B.C. V5X 0C3

Attention: Dave English  
Fax: \_\_\_\_\_  
Email: [Dave.English@townline.ca](mailto:Dave.English@townline.ca)

If a party identifies alternate contact information in writing to another party, notice is to be given to that alternate address.

If normal mail, email or facsimile service is interrupted by strike, work slowdown, force majeure, or other cause,

- (d) notice sent by the impaired service is considered to be received on the date of delivery, and
- (e) the sending party must use its best efforts to ensure prompt receipt of a notice by using other uninterrupted services, or by hand-delivering the notice.

**9.2 TIME.** Time is of the essence of this Agreement.

**9.3 BINDING EFFECT.** This Agreement will enure to the benefit of and be binding upon the parties hereto and their respective heirs, administrators, executors, successors, and

## Schedule A

permitted assignees. In accordance with section 483(6) of the *Local Government Act*, this Agreement and all obligations hereunder is binding on all who acquire an interest in the Lands, and the Owner only during the Owner's ownership of any interest in the Lands, and with respect only to that portion of the Lands of which the Owner has an interest.

- 9.4 WAIVER.** The waiver by a party of any failure on the part of the other party to perform in accordance with any of the terms or conditions of this Agreement is not to be construed as a waiver of any future or continuing failure, whether similar or dissimilar.
- 9.5 HEADINGS.** The division of this Agreement into articles and sections and the insertion of headings are for the convenience of reference only and will not affect the construction or interpretation of this Agreement.
- 9.6 LANGUAGE.** Words importing the singular number only will include the plural and vice versa, words importing the masculine gender will include the feminine and neuter genders and vice versa, and words importing persons will include individuals, partnerships, associations, trusts, unincorporated organizations and corporations and vice versa.
- 9.7 LEGISLATION.** Reference to any enactment includes any regulations, orders or directives made under the authority of that enactment, and is a reference to that enactment as consolidated, revised, amended, re-enacted or replaced, unless otherwise expressly provided.
- 9.8 EQUITABLE REMEDIES.** The Owner acknowledges and agrees that damages would be an inadequate remedy for the City for breach of this Agreement and that the public interest strongly favours specific performance, injunctive relief (mandatory or otherwise), or other equitable relief, as the only adequate remedy for a default under this Agreement
- 9.9 CUMULATIVE REMEDIES.** No remedy under this Agreement is to be deemed exclusive but will, where possible, be cumulative with all other remedies at law or in equity.
- 9.10 ENTIRE AGREEMENT.** This Agreement when executed will set forth the entire agreement and understanding of the parties as at the date it is made.
- 9.11 FURTHER ASSURANCES.** Each of the parties will do, execute, and deliver, or cause to be done, executed, and delivered all such further acts, documents and things as may be reasonably required from time to time to give effect to this Agreement.
- 9.12 AMENDMENT.** This Agreement may be amended from time to time, by consent of the Owner and a bylaw duly passed by the Council of the City and thereafter if it is signed by the City and the Owner.
- 9.13 LAW APPLICABLE.** This Agreement is to be construed in accordance with and governed by the laws applicable in the Province of British Columbia.
- 9.14 NO DEROGATION FROM STATUTORY AUTHORITY.** Nothing in this Agreement shall:
- (a) limit, impair, fetter or derogate from the statutory powers of the City all of which powers may be exercised by the City from time to time and at any time to the fullest extent that the City is enabled and no permissive bylaw enacted by the City, or permit, licence or approval, granted, made or issued thereunder, or pursuant to

## Schedule A

7

statute, by the City shall estop, limit or impair the City from relying upon and enforcing this Agreement; or

- (b) relieve the Owner from complying with any enactment, including the City's bylaws, or any obligation of the Owner under any other agreement with the City.

**9.15 SEVERABILITY.** If any section, term or provision of this Agreement is found to be partially or wholly illegal or unenforceable, then such sections or parts will be considered to be separate and severable from this Agreement and the remaining sections or parts of this Agreement, as the case may be, will be unaffected thereby and will remain and be enforceable to the fullest extent permitted by law as though the illegal or unenforceable parts or sections had never been included in this Agreement.

**9.16 JOINT AND SEVERAL.** The Owner, if more than one, are jointly and severally obligated to perform and observe each and every of the covenants, warranties and agreements herein contained by the Owner to be observed and performed.

**9.17 COUNTERPARTS.** This Agreement may be executed in counterparts and delivered by emailed PDF file, each of which will have the same effect as if all parties had signed the same document. Each counterpart shall be deemed to be an original. All counterparts shall be construed together and shall constitute one and the same Agreement.

**9.18 EFFECTIVE DATE.** This Agreement is effective as of the date of the signature of the last party to sign.

**IN WITNESS WHEREOF** the parties hereto have set their hands and seals as of the day and year last below written.

THE CORPORATION OF THE CITY OF )  
VICTORIA by its authorized signatory: )

\_\_\_\_\_  
Karen Hoes, Director of Sustainable  
Planning and Community Development )


Date signed: \_\_\_\_\_ )

Schedule A

8

975 PANDORA AVENUE HOLDINGS LTD. )

by its authorized signatory(ies): )

  
\_\_\_\_\_  
Print Name: Richard Ilich )

\_\_\_\_\_  
Print Name: Rick Ilich )

Date signed: November 4/21 )

COAST CAPITAL SAVINGS FEDERAL CREDIT  
UNION )

by its authorized signatory(ies): )

\_\_\_\_\_  
Print Name: \_\_\_\_\_ )

\_\_\_\_\_  
Print Name: \_\_\_\_\_ )

Date signed: \_\_\_\_\_ )

Schedule A

8

**975 PANDORA AVENUE HOLDINGS LTD.** )

by its authorized signatory(ies): )

\_\_\_\_\_)  
Print Name: \_\_\_\_\_)

\_\_\_\_\_)  
Print Name: \_\_\_\_\_)

Date signed: \_\_\_\_\_)

**COAST CAPITAL SAVINGS FEDERAL CREDIT  
UNION** )

by its authorized signatory(ies): )



\_\_\_\_\_)  
Print Name: **PETER ROLLEMAN** )  
Manager, Commercial Lending Operations )  
#800-9900 King George Blvd. )  
Surrey, BC V3T 0K7 )

\_\_\_\_\_)  
Print Name: \_\_\_\_\_)

Date signed: \_\_\_\_\_)



SUITE 1212, 450 SW MARINE DRIVE  
VANCOUVER, BC, CANADA V5X 0C3

604 327 8760  
TOWNLINE.CA

May 25, 2021  
Mayor & Council  
1 Centennial Square  
Victoria, BC V8W 1P6

**Re: Rezoning and Development Permit Application  
975, 983 Pandora Avenue / 1468 Vancouver Street**

Legal Description: LOT A LOTS 842, 843 AND 844 VICTORIA CITY PLAN VIP79484  
LOT 842, VICTORIA CITY, EXCEPT PARCEL B (DD 118179I) THEREOF

Dear Mayor and Council,

Townline has submitted a combined rezoning and development permit application for 1468 Vancouver Street, to permit the construction of a 16-storey mixed-use tower with 121 rental units, consisting of traditional rental units and co-living pods.

Thank you very much for your support at the Committee of the Whole meeting on May 13, 2021, in regards to the project aforementioned.

We understand from Council's response, that further information pertaining to the co-living housing model would be of interest. We have prepared a short presentation explaining co-living – please see attached.

We are thrilled by Council's initial response to the project, and look forward to discussing it further at Public Hearing.

Best Regards,

A handwritten signature in dark ink, appearing to read "DE", is placed above the typed name.

Dave English  
Senior Development Manager  
Townline

# Co-Living

Prepared by Townline  
May 25, 2021

1468 VANCOUVER STREET  
VICTORIA B.C.



## TABLE OF CONTENTS

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1. What is Co-Living?
2. Where do you Find Co-Living?
3. Who does Co-Living Appeal To?
4. Co-Living and COVID-19
5. Existing Co-Living Projects
6. Proposed Co-Living Project
7. Co-Living Pod Sample Layout
8. Rent Targets

# WHAT IS CO-LIVING?

675 NORTH ROAD | SALES  
AND MARKETING  
DEPARTMENTAL UPDATE

## 1. WHAT IS CO-LIVING?

---

- Co-living is a modern form of shared housing for like-minded individuals. Integrating high quality rental rooms with communal living spaces and thoughtful amenity programming. It offers an affordable housing option that fosters connection and community by promoting the sharing of ideas, social interaction, and the blend of different lifestyles and cultures.
- Now more than ever, people crave human connection, community, and flexibility –three foundational tenets of the co-living lifestyle.
- Co-Living is designed with the intent of fostering communities both in-building and community wide through the programming of weekly and monthly curated events.



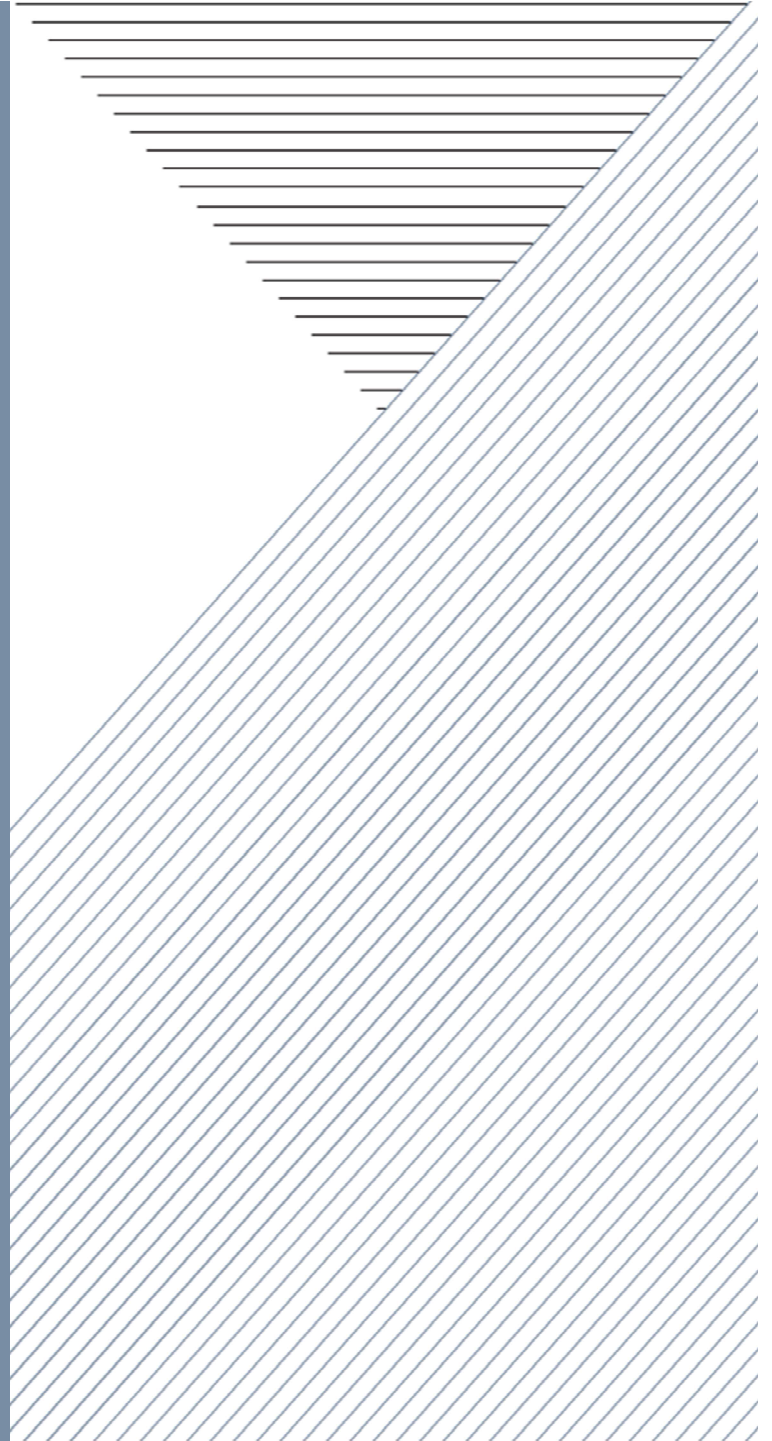
## 1. WHAT IS CO-LIVING?

- Co-living offers a unique sense of community, providing a 'Vertical Neighbourhood' for like-minded individuals. Amenity spaces and common areas foster connection in the same way a traditional block party would, making it easy to meet your neighbours.
- Curated events featuring products and services from local businesses let tenants explore the best their city has to offer, while generating revenue for local providers.



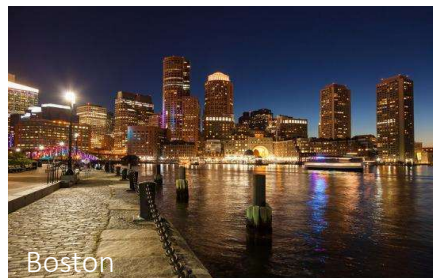
# WHERE DO YOU FIND CO-LIVING?

675 NORTH ROAD | SALES  
AND MARKETING  
DEPARTMENTAL UPDATE



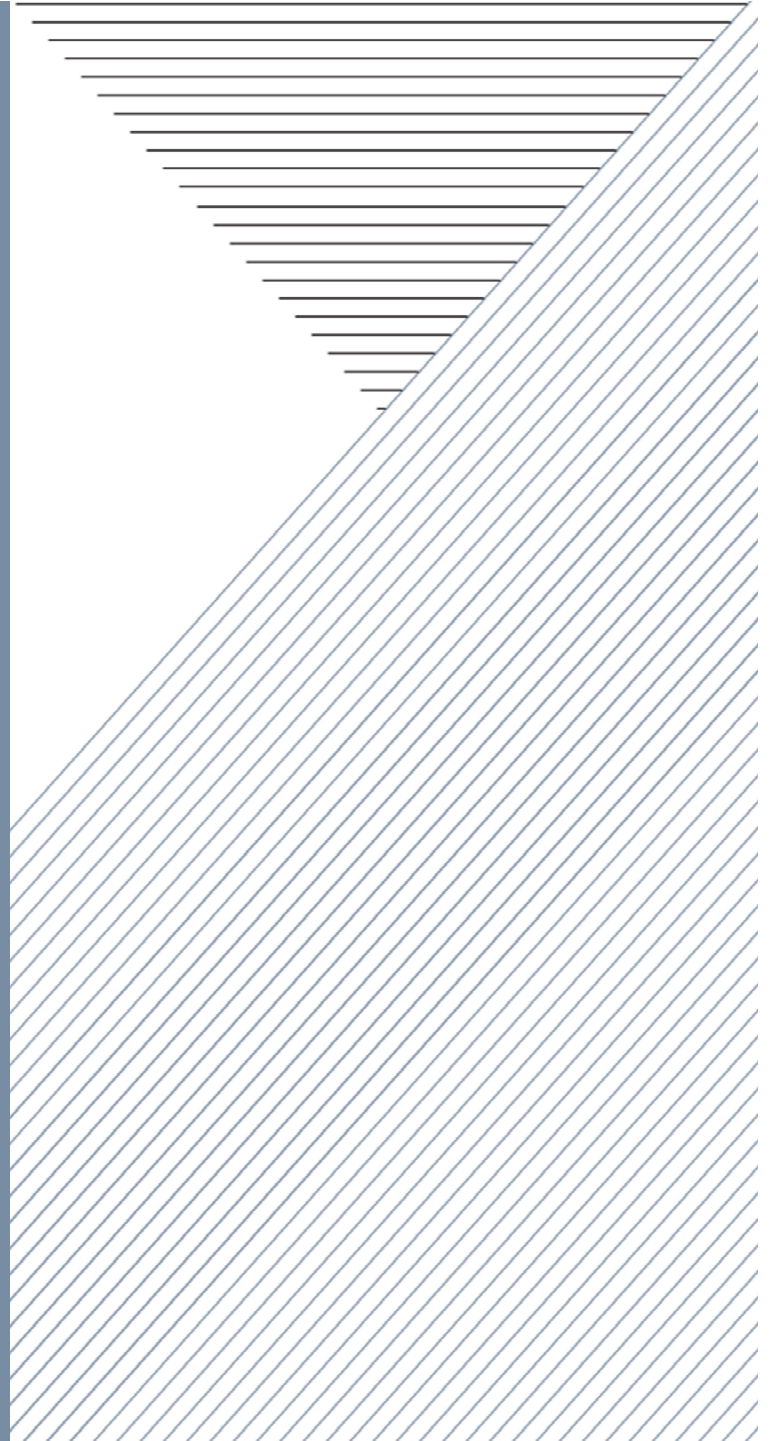
## 2. WHERE DO YOU FIND CO-LIVING?

- Co-living began in more traditionally expensive urban markets like New York and London, but is growing in prominence worldwide, with a focus on 'gateway' cities and central neighbourhoods.
- Community. Lifestyle. Flexibility. The building blocks of co-living create an exciting, forward-thinking, affordable and convenient accommodation alternative for those seeking the community based and curated lifestyle offered, in a vibrant and rapidly developing city.



# WHO DOES CO-LIVING APPEAL TO?

675 NORTH ROAD | SALES  
AND MARKETING  
DEPARTMENTAL UPDATE



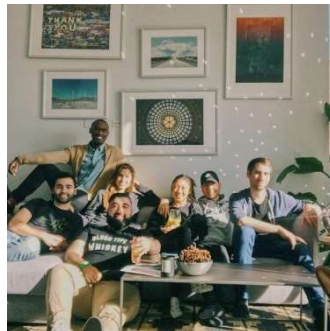
### 3. WHO DOES CO-LIVING APPEAL TO?

- Co-living is for everyone. Although it typically appeals to a younger demographic (25-35-year-olds), it is certainly not limited to this age range, with both middle aged and older demographics also drawn to the model. These individuals are usually professionals looking for a curated lifestyle and a sense of community.
- Prospective renters are drawn to the lifestyle offered by co-living (including high quality amenities, finishes, and scheduled events), the convenience of having utilities, wifi, furniture, kitchenware, toiletries, and housekeeping included in the end rents, and the chance to be a part of a community.



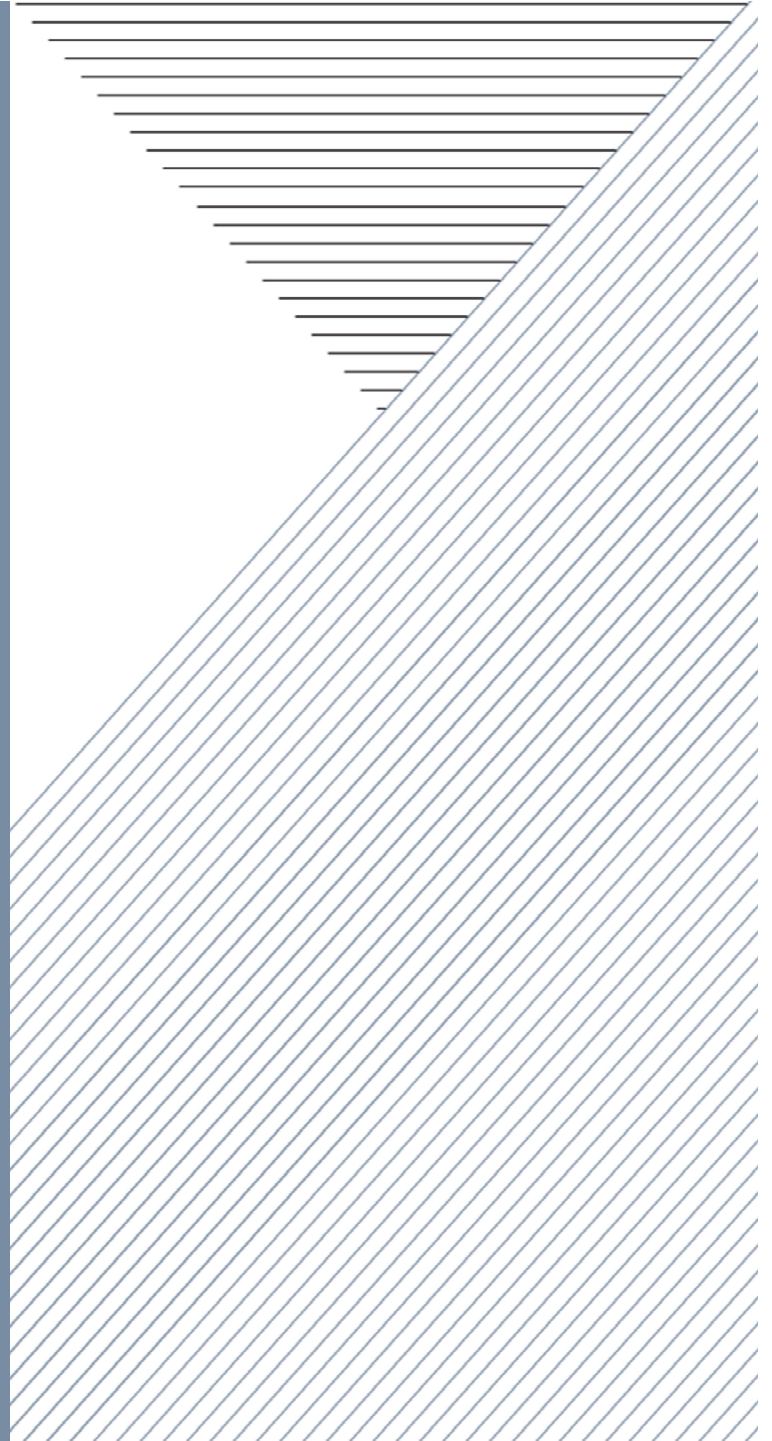
### 3. WHO DOES CO-LIVING APPEAL TO?

- Digital Nomads – Co-living is very appealing to those who live a globetrotting lifestyle. Individuals looking to travel more or who have the ability to work remotely and enjoy the flexibility that co-living programs provide.
- City Newcomers – Arriving in a new city for school, work or travel often presents hurdles such as traditional apartment hunting, finding roommates and satisfying income requirements. Co-living opportunities remove this stress while including cleaning, furniture and utilities as part of the monthly rent, making for an easy transition into a new community.
- Socialites – Co-living is perfect for those looking to combat urban loneliness. Offering an affordable, community-centered environment that promotes in-person socialization and the chance to meet new people and grow their networks.



# CO-LIVING AND COVID-19

675 NORTH ROAD | SALES  
AND MARKETING  
DEPARTMENTAL UPDATE



## 4. COVID-19 AND CO-LIVING

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Through the COVID-19 pandemic, co-living has remained a relatively stable asset and is increasingly sought-after by those working remotely or experiencing loneliness.

“Rent collections for co-living have exceeded performance of both multifamily generally, as well as for Class A comparable product.”

–Cushman & Wakefield “Co-living During COVID 19”

“With remote work growing, more people are exploring the nomadic lifestyle...A section of remote workers will prefer to stay in co-living spaces...to connect with like-minded individuals”

–Forbes, “Co-Living Will Sustain Itself in the Post-Pandemic World”

“Co-Living operators create active communities within their buildings. This means virtual social gatherings, online exercise classes, and support groups...All these are important for single person households facing loneliness and isolation during lockdown.”

–CBRE, “Will Co-Living Survive the Pandemic”

# EXISTING CO-LIVING PROJECTS

675 NORTH ROAD | SALES  
AND MARKETING  
DEPARTMENTAL UPDATE

## 5. EXISTING CO-LIVING PROJECTS

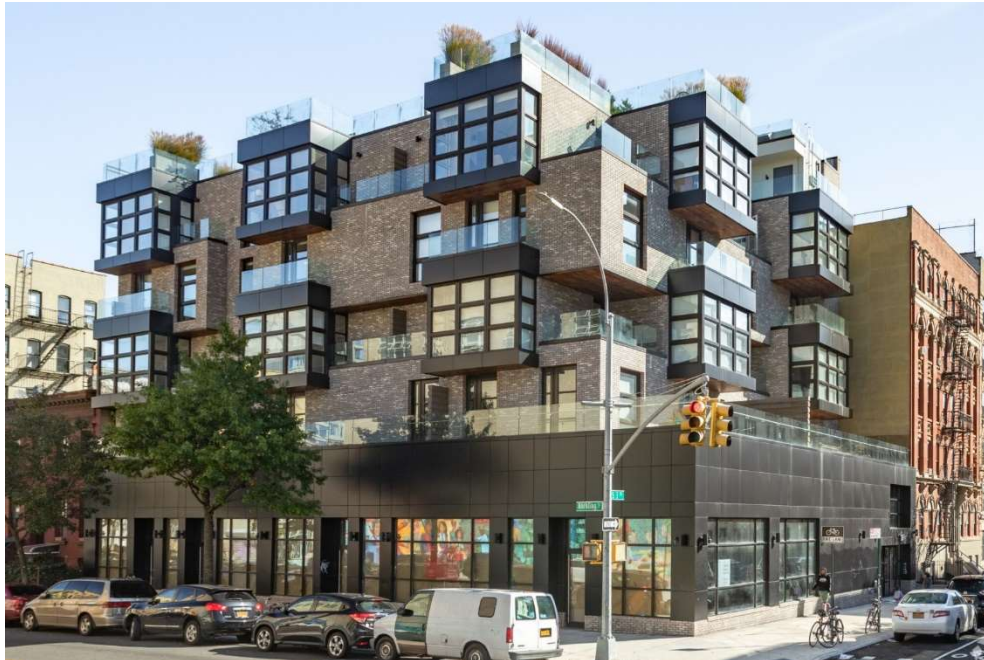
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ollie

- Location: New York
- Built: 2018
- Storeys: 43
- Total Homes: 466
  - 297 traditional homes (367 beds)
  - 169 co-living homes (422 beds)
  - Floors 17-42 traditional
  - Floors 2-16 co-living
- Developer: Ollie
- All amenities shared

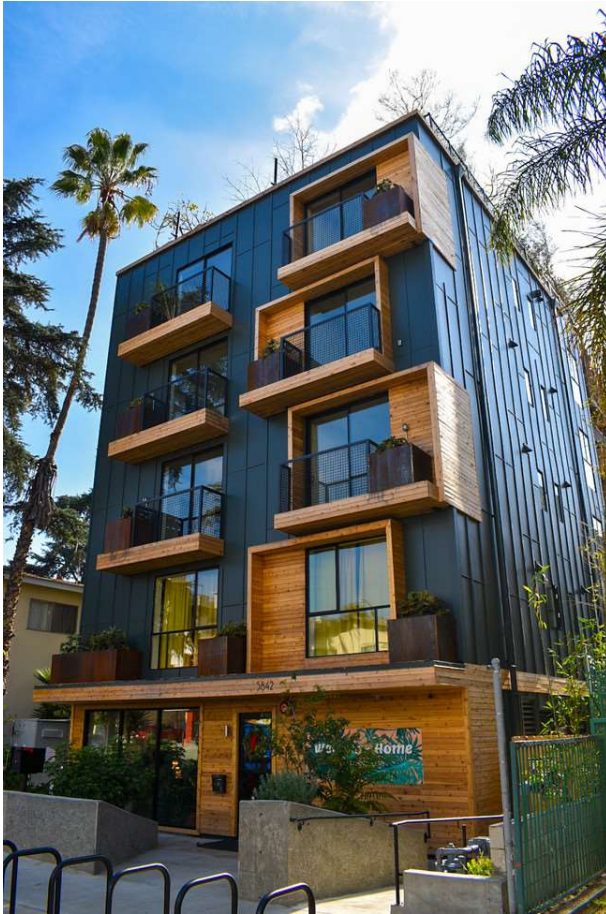
## 5. EXISTING CO-LIVING PROJECTS



- Location: New York
- Built: 2018
- Storeys: 5
- Total Homes: 10 (4 beds per home)
- Operator: Common (not involved in design)



## 5. EXISTING CO-LIVING PROJECTS

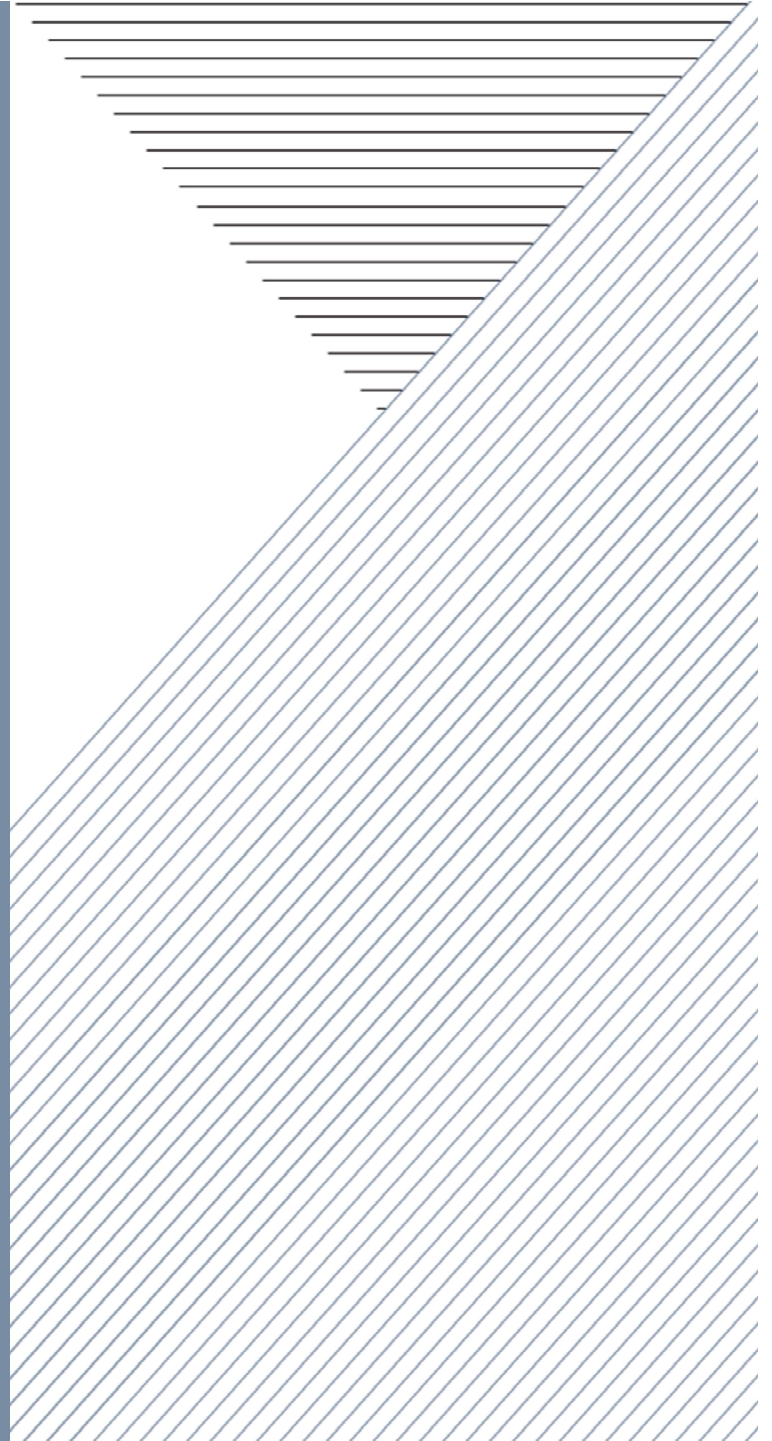


- Location: Los Angeles
- Built: 2019
- Storeys: 5
- Total homes: 18
  - 6 traditional beds
  - 54 co-living beds



# PROPOSED CO-LIVING PROJECT

675 NORTH ROAD | SALES  
AND MARKETING  
DEPARTMENTAL UPDATE



## 6. PROPOSED CO-LIVING PROJECT

---



1468 Vancouver St. – Victoria, BC

- Storeys: 16
- Total Homes: 121
  - 67 traditional homes (91 beds)
  - 54 co-living homes (222 beds)
- Commercial Space: 3,928 Sq. Ft.
- Parking Provided: 120 stalls

# CO-LIVING POD SAMPLE LAYOUT

675 NORTH ROAD | SALES  
AND MARKETING  
DEPARTMENTAL UPDATE

## 7. CO-LIVING POD SAMPLE LAYOUT



# MONTHLY RENT TARGETS

675 NORTH ROAD | SALES  
AND MARKETING  
DEPARTMENTAL UPDATE

## 8. MONTHLY RENT TARGETS

---

### City of Victoria's definition of affordable housing:

Housing where the price does not exceed 30% of the gross annual household income for very-low income to moderate income households.

### Income ranges based on definition of affordability\*:

Co-living units:	\$37,000-\$65,000
Traditional units:	\$63,000-\$96,000

### Based on 2018 Stats Can data:

Victoria median household income = \$98,240 before tax

- 100% of Co-living units / 100% of traditional units are under this average\*

\*Affordability and income ranges are based on today's estimate of market rate rent ranges for both the traditional market apartments and co-live units. These will be subject to change and re-evaluated at occupancy.

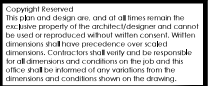


# THANK YOU



# CITY OF VICTORIA

AUGUST 2021  
NOVEMBER 2021

[illegible][illegible]

**Heritage**  
**Donald Luxton & Associates**  
1030-470 Granville Street  
Vancouver, BC V6C 1V5  
Tel: 604 688 1216/604-688-1216  
Email: chelsea@donaldluxton.ca  
Contact: Chelsea Dunk



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Client  TOWNLINE

Project

1468 VANCOUVER ST.

VICTORIA, BC

Drawing Title

COVER

Date: NOVEMBER 2021	Project No. 18-57
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Scale:	N.T.S.	Drawing No.
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REV # & 2021.11.10

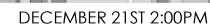
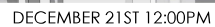
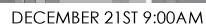
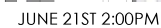
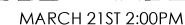
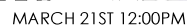
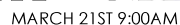
LOT A LOTS 842, 843 AND 844 VICTORIA CITY PLAN VIP79484  
AND  
LOT 842, VICTORIA CITY, EXCEPT PARCEL B (DD 118179i) THEREOF

1468 VANCOUVER STREET, VICTORIA CITY

## PROJECT INFORMATION TABLE

An aerial photograph of a residential neighborhood in Vancouver, BC. The property at 1468 Pandora Ave is highlighted with a red rectangular outline. The address '1468' is printed in white on a red background within the outline. The street names 'PANDORA AVE' and 'VANCOUVER ST' are printed in white on a red background, oriented along their respective streets. The surrounding area consists of various residential buildings, including houses and multi-story apartment complexes, with green trees interspersed throughout the urban landscape.23-Nov-21 Nctyn













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RAFI|ARCHITECTS INC

[illegible]

SUITE ONE  
1600 HOWE ST  
VANCOUVER BC  
V6Z 2L9 CANADA

23-Nov-21 No







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RAFI ARCHITECTS INC

Client

## TOWNLINE

1468 VANCOUVER ST.  
VICTORIA, BC

NORTH EAST  
CLOSE-UP

Project No.	18-57
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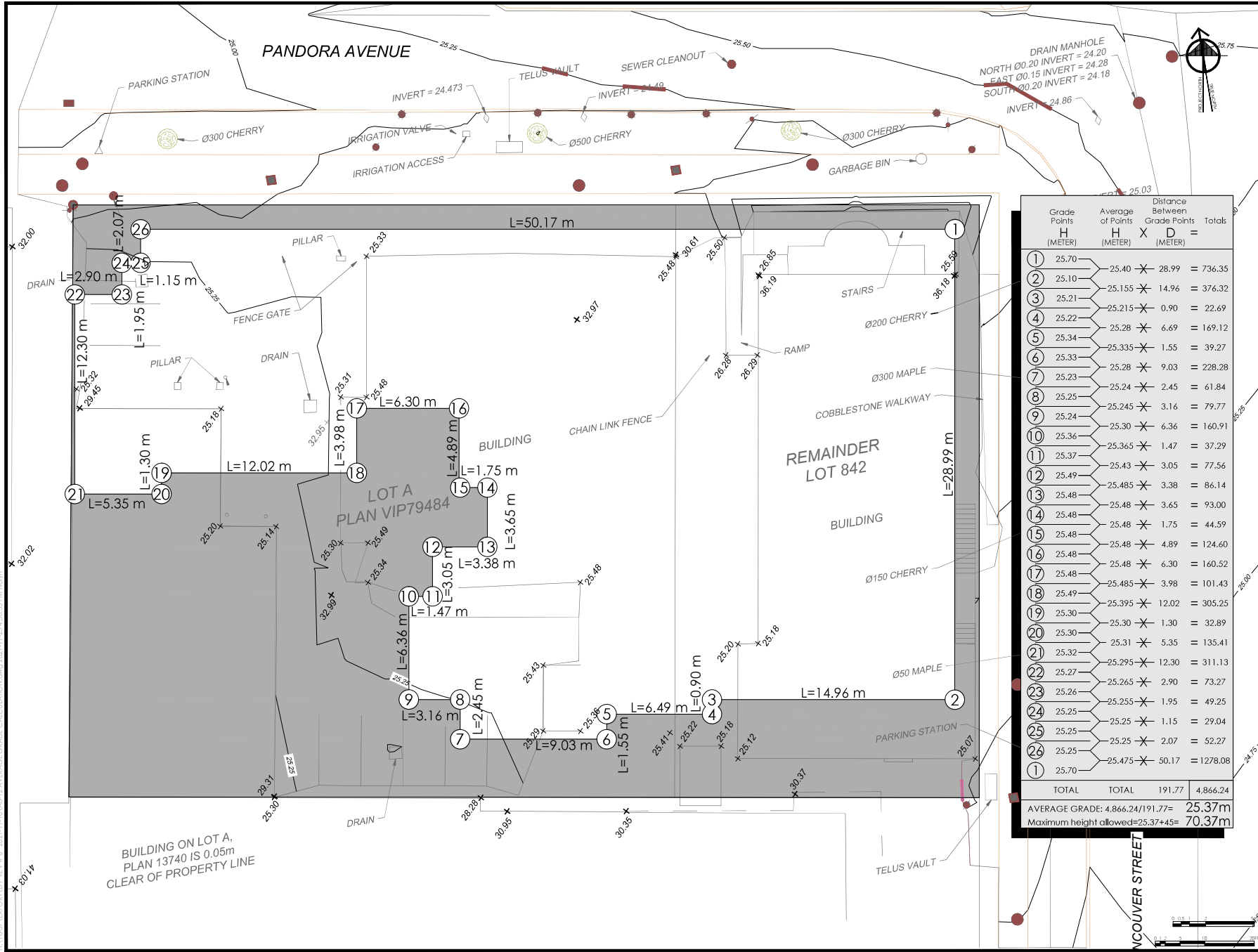
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**REVISED**

No.	Date	Details	By
1	2018-12-18	ISSUED FOR RETURNING ADP	
2	MAY 2020	ISSUED FOR RETURNING ADP	
3	OCT. 01 2020	ISSUED FOR DP	
4	FEB. 10 2021	REVISION #4	
5	JUNE 2021	REVISION #5	
6	NOV. 2021	REVISION #6	

**RAFI ARCHITECTS INC.**

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 EMAIL: raf@rafiarchitects.com  
 WWW: rafiiarchitects.com

SUITE ONE  
 1600 HOWE ST  
 VANCOUVER BC  
 V6Z 2L9 CANADA

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**TOWNLINE**

Client: **TOWNLINE**

Project: **1468 VANCOUVER ST. VICTORIA, BC**

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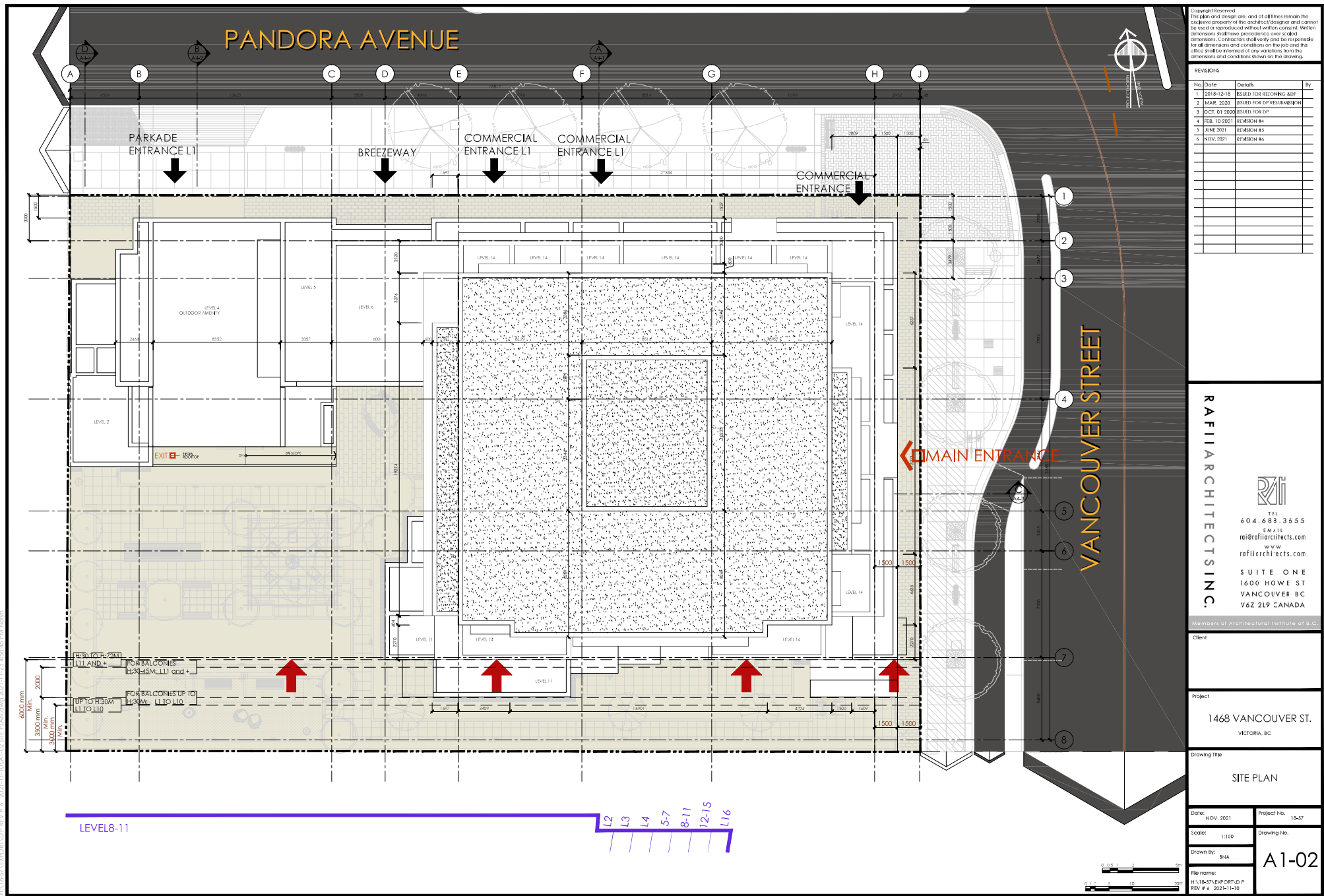
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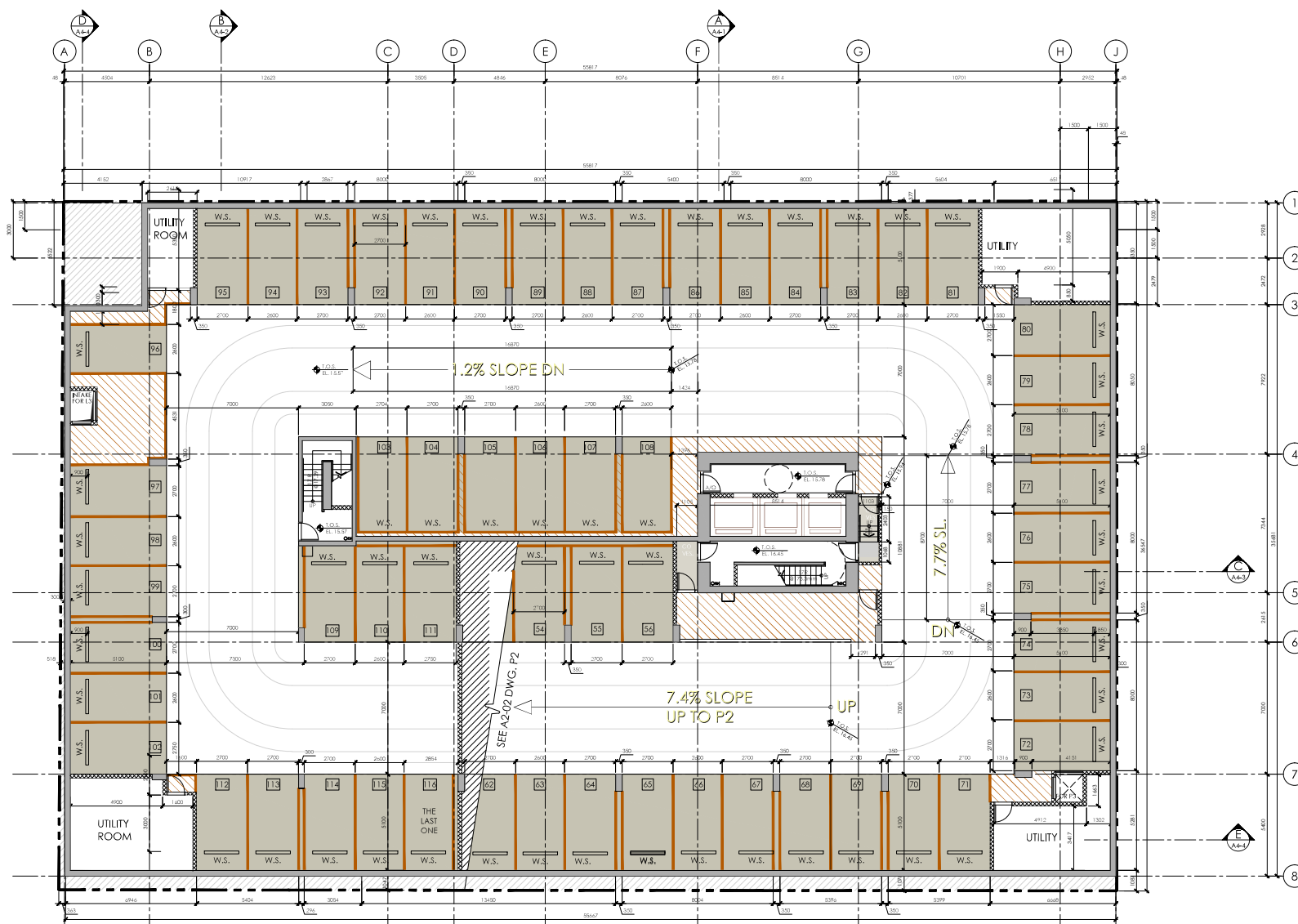
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 REV # 6 2021-11-10



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Project

1468 VANCOUVER ST.

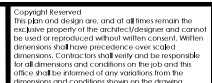
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PANDORA AVENUE ABOVE

[illegible]

RAFI ARCHITECTS INC



EMAIL  
col@softlib.com

rol@rofiaarchitects.com

www.rafiorchiects.com

S U I T E   O N E

1600 HOWE ST

VANCOUVER BC

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Client \_\_\_\_\_

Project

1468 VANCOUVER ST.

VICTORIA, BC

Drawing Title

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Date:	Project No.
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23-Nov-21 NC/Nr

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23-Nov-21 NC/Nr

# PANDORA AVENUE ABOVE



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REV	DATE	DETAILS	BY
1	2018-12-18	ISSUED FOR RETURNING ADP	
2	MAY 2020	ISSUED FOR RETURNING ADP	
3	OCT. 01 2020	ISSUED FOR DP	
4	FEB. 10 2021	REVISION #4	
5	JUNE 2021	REVISION #5	
6	NOV. 2021	REVISION #6	

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V6Z 2L9 CANADA

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Client:

Project:

1468 VANCOUVER ST.  
VICTORIA, BC

Drawing Title:

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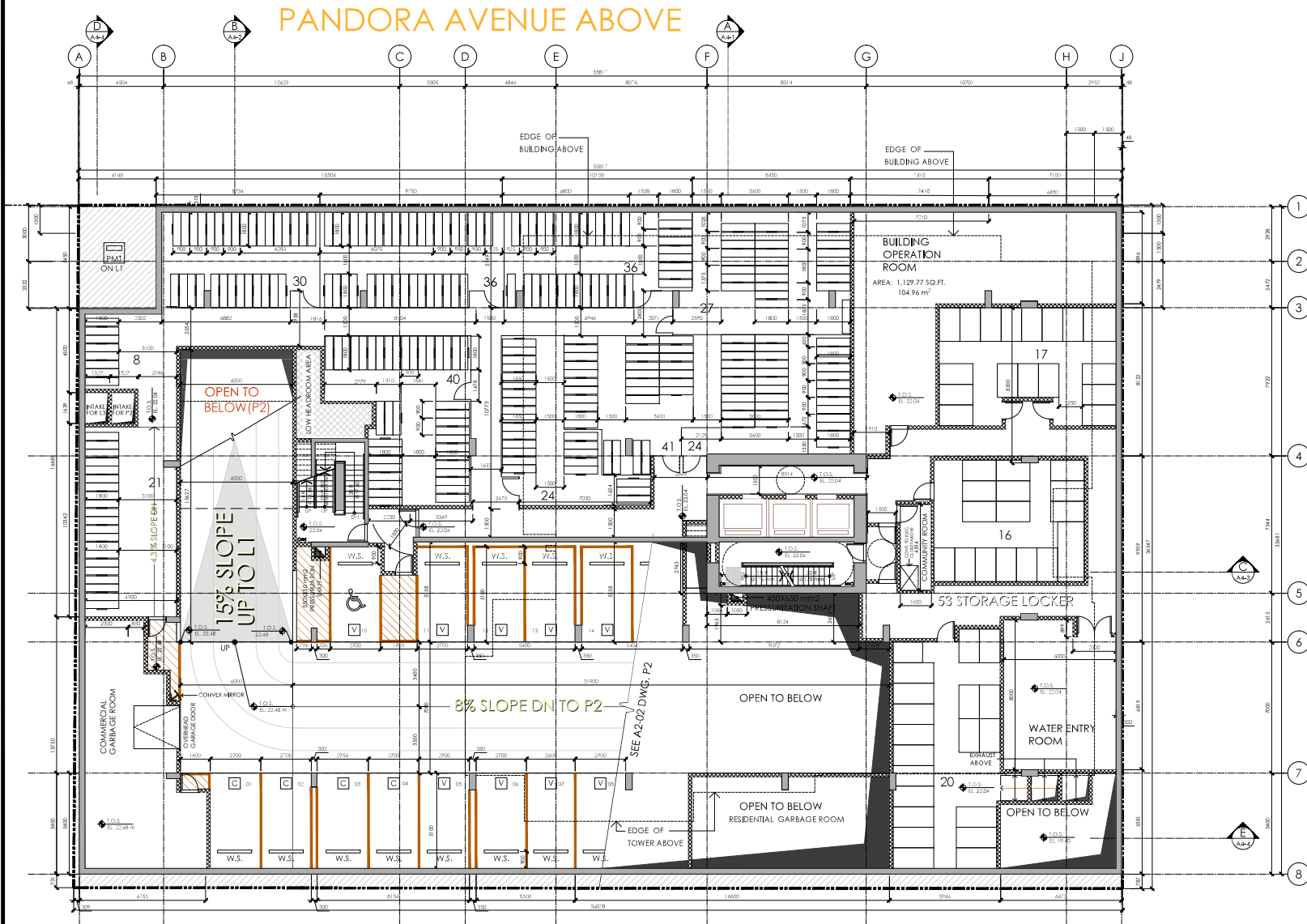
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REV # 4 2021-11-10

A2-03



# PANDORA AVENUE

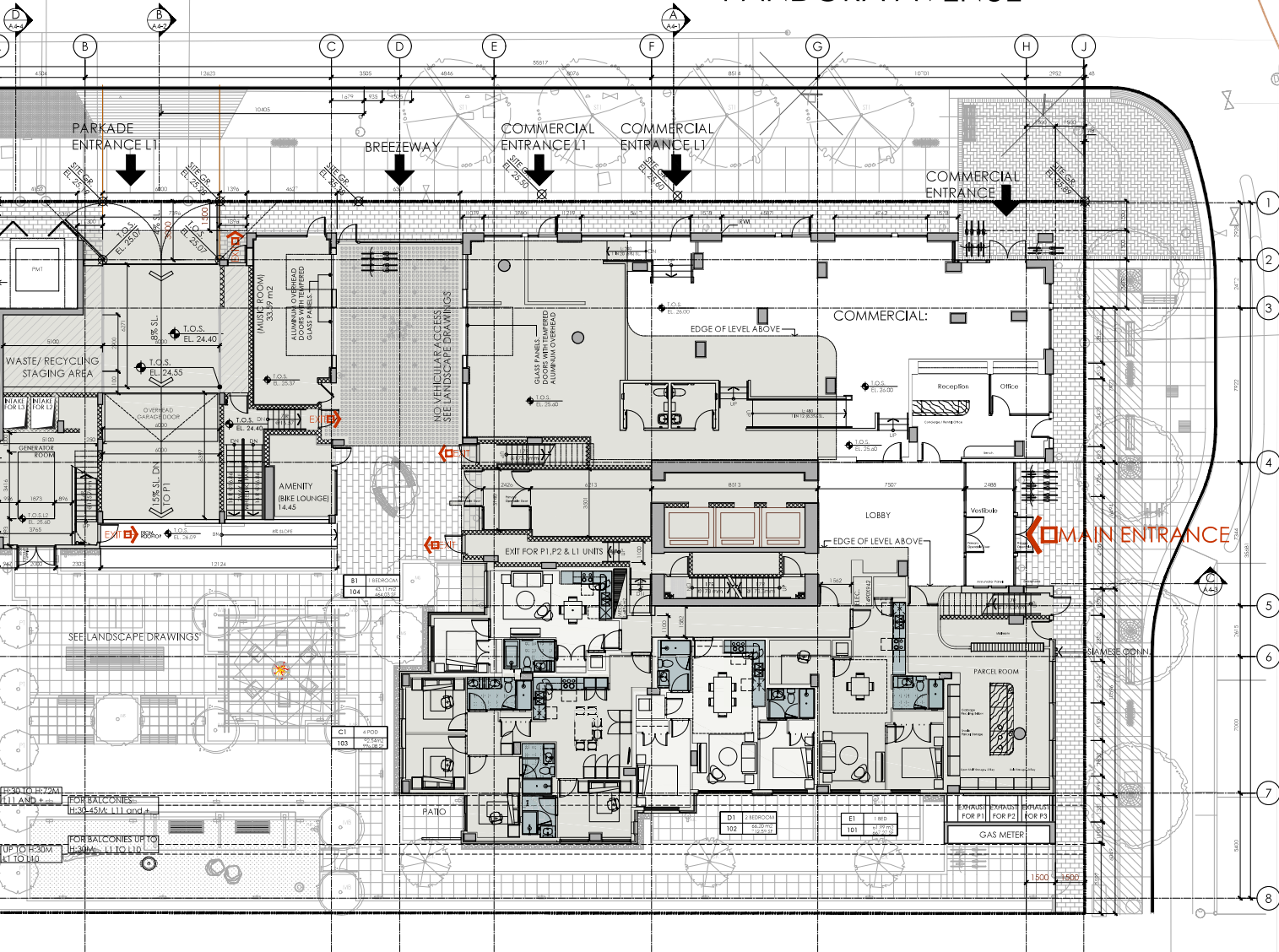
# VANCOUVER STREET

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3	OCT. 01 2020	ISSUED FOR DP	
4	NOV. 10 2021	REVISION #4	
5	JUNE 2021	REVISION #5	
6	NOV. 2021	REVISION #6	

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Project	1468 VANCOUVER ST. VICTORIA, BC
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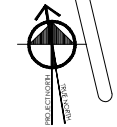
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FLOORPLATE: 12468.21 S.F.  
1,158.33 S.M.



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VANCOUVER STREET

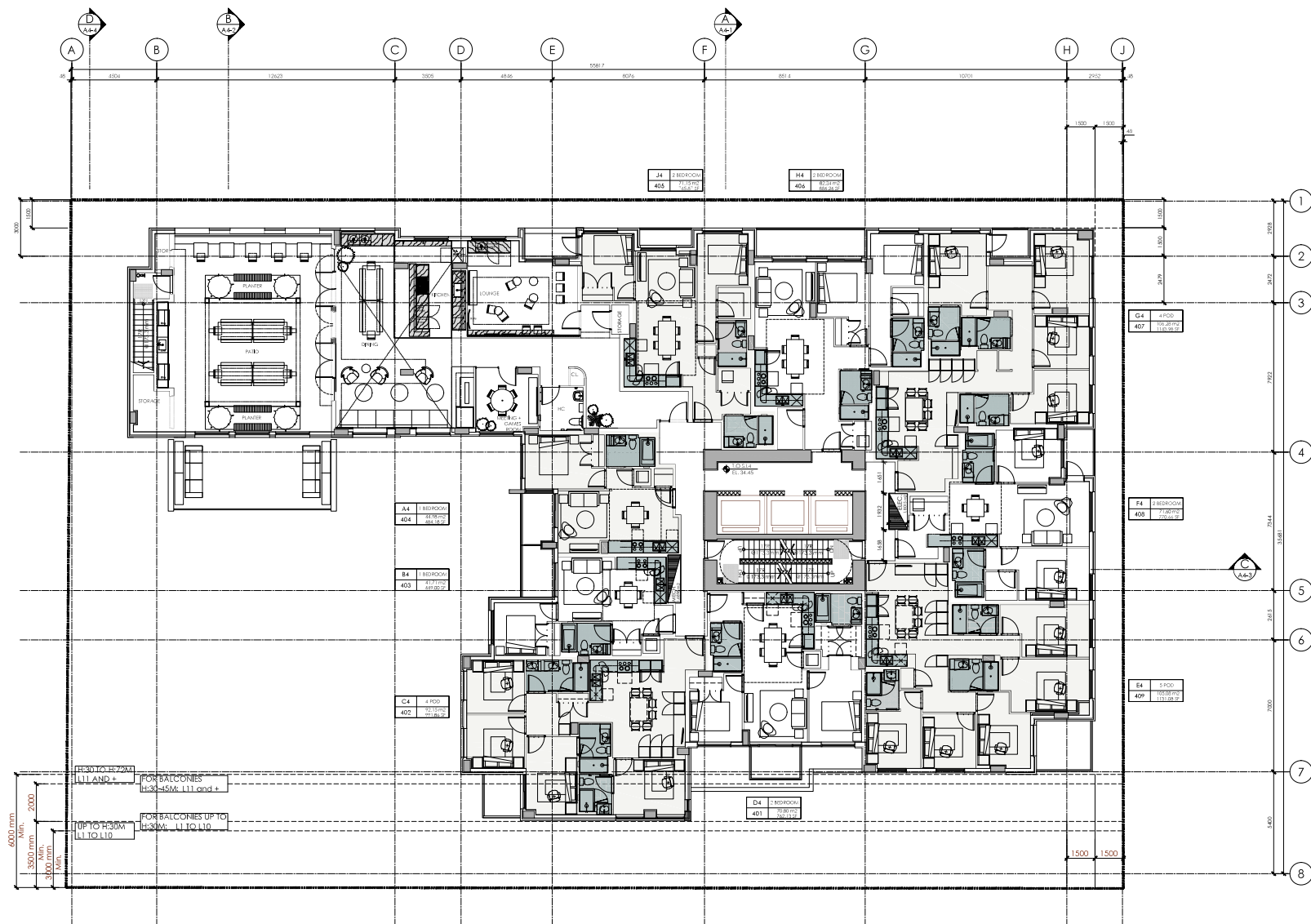
\*FLOORPLATE INCLUDES 2,406.73 S.F. OF OPEN TO BELOW AREA

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\*FLOORPLATE INCLUDES 1289.61 S.F. OF OPEN TO BELOW AREA



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FLOORPLATE: 12253.22 S.F.  
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3	OCT. 01 2020	ISSUED FOR UPD	
4	FEB. 10 2021	REVISION #4	
5	JUNE 2021	REVISION #5	
6	NOV. 2021	REVISION #6	

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Client

Project  
1468 VANCOUVER ST.  
VICTORIA, BC

Drawing Title  
LEVEL 4

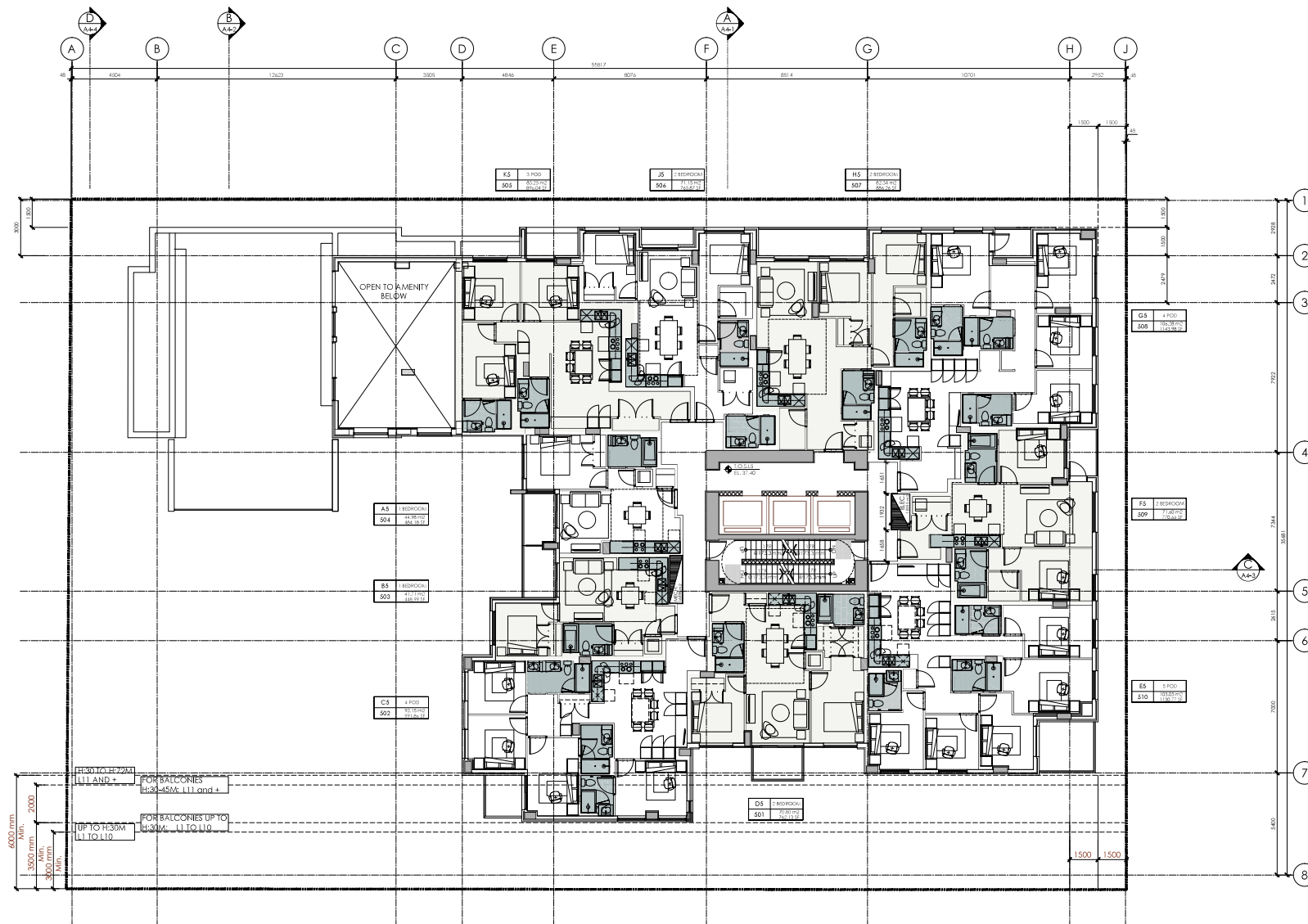
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Scale: 1:100 Drawing No.

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SUITE ONE  
1600 HOWE ST  
VANCOUVER BC  
V6Z 2L9 CANADA

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Client

Project

1468 VANCOUVER ST.  
VICTORIA, BC

Drawing Title

LEVEL 5

Date: \_\_\_\_\_

Project No. 18-57

Scale:

Drawing No.

Drawn By: 8

A2-08

File name:

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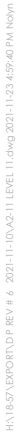
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[illegible]

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rafiierchiects.com  
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1600 HOWE ST  
VANCOUVER BC  
V6Z 2L9 CANADA

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Client

Project

1468 VANCOUVER ST.

VICTORIA, BC

Drawing Title

LEVEL 11

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23-Nov-21 Nctyn

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Figure 1 consists of two horizontal bar charts. The top chart is for 'All respondents' and the bottom chart is for 'Respondents who are poor'. Both charts have a scale from 0 to 5 on the x-axis. The y-axis for both charts is 'Percentage of respondents'.

Level of Agreement	All respondents (%)	Respondents who are poor (%)
0	~10	~10
0.5	~10	~10
1	~10	~10
2	~10	~10
3	~10	~10
4	~10	~10
5	~10	~10

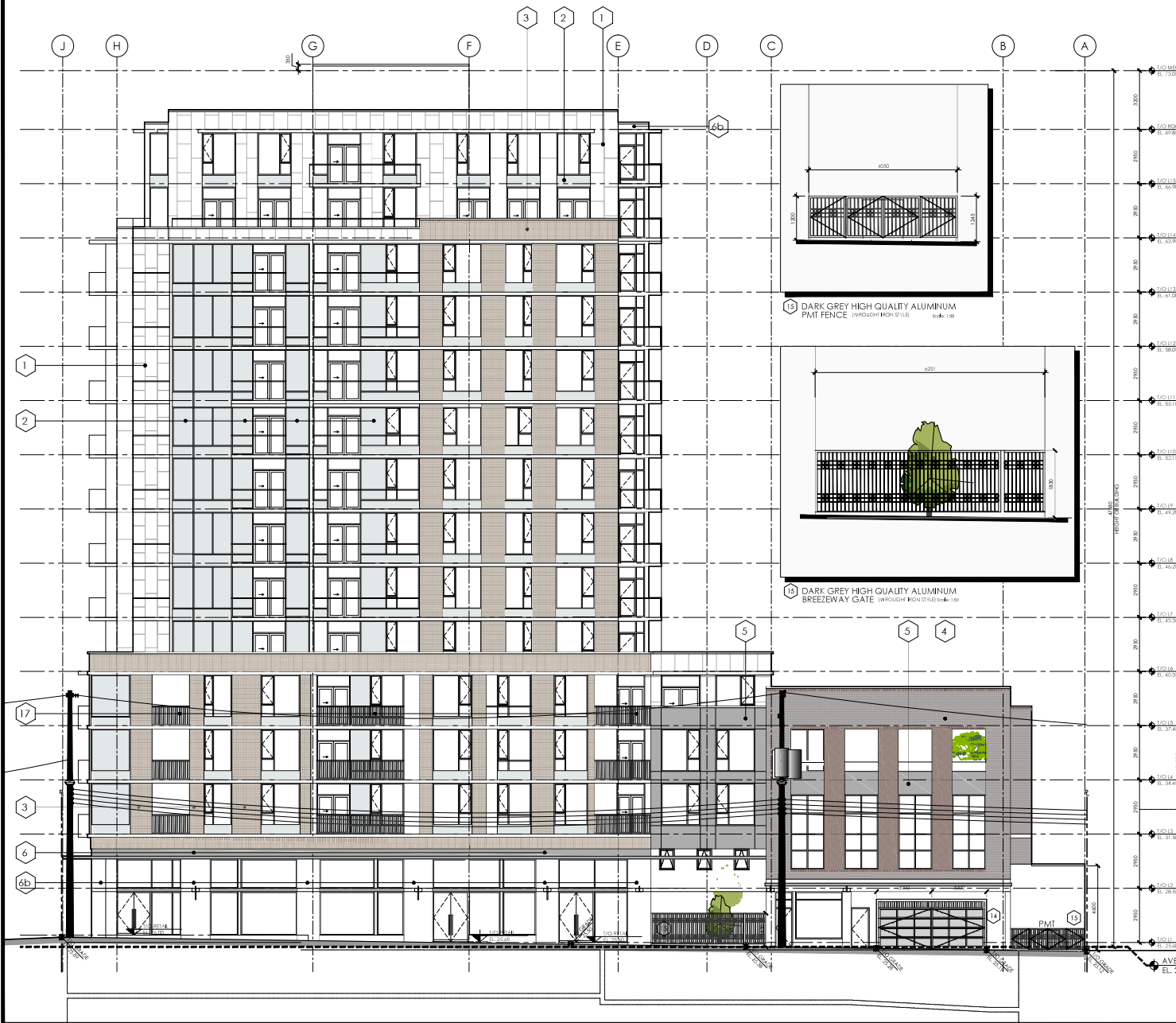
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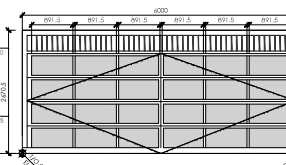
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## MATERIAL SCHEDULE

1	METAL PANEL - BONE WHITE	
2	SPANDREL GLAZING IN DARK GREY PRE-FINISHED ALUMINUM FRAMES	
3	BRICK 1 INTERSTATE BRICK-TUMBLEWEED	
4	BRICK 2 INTERSTATE BRICK-BRONZESTONE	
5	METAL PANEL - CASTLE GREY	
6	COATED ARCHITECTURAL CONCRETE - DARK GREY	
6B	COATED ARCHITECTURAL CONCRETE - BONE WHITE	
7	STOREFRONT CLEAR GLASS WITH DARK GREY MULLION	
8	GLASS RAILING WITH DARK GREY FRAMES	
9	METAL CAP FLASHING - BONE WHITE	
10	CLEAR TEMPERED GLASS IN METAL CANOPY	
11	FRAMELESS GLASS DOOR	
12	ARCHITECTURAL LOUVERS DARK GREY	
13	CLEAR LOW 'E' GLASS IN PRE-FINISHED ALUMINUM FRAMES - DARK GREY	
14	PRE-FINISHED ALUMINUM SECTIONAL OVERHEAD GARAGE DOOR - DARK GREY (TRANSLUCENT TEMPERED GLASS PANELS WITH MULLION FOR OPACITY AND DARK GREY METAL RICH ON TOP FOR VENTILATION)	
15	DARK GREY HIGH QUALITY ALUMINUM GATE/FENCE (WROUGHT IRON STYLE)	
16	LIGHT GREY POWDER COATED ALUMINUM SLAT SCREEN PANEL	
17	PICKET RAILING DARK GREY ALUMINUM	



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REVISIONS			
No.	Date	Details	By
1	2018-12-18	ISSUED FOR RETURNING ADP	
2	MAY 2020	ISSUED FOR RETURNING ADP	
3	OCT. 01 2020	ISSUED FOR DP	
4	FEB. 10 2021	REVISION #4	
5	JUNE 2021	REVISION #5	
6	NOV. 2021	REVISION #6	

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Members of Architectural Institute of B.C.

Client: **TOWNLINE**

Project: **1468 VANCOUVER ST.  
VICTORIA, BC**

Drawing Title: **NORTH ELEVATION**

Date: NOV. 2021 Project No. 18-57

Scale: 1:100 Drawing No.

Drawn By: BNA **A3-01**

File Name: HA/16-ST/EXPORT.DWG REV # 6 2021-11-10



## **MATERIAL SCHEDULE**

- 1 METAL PANEL  
- BONE WHITE
- 2 SPANDREL GLAZING IN DARK GREY  
PREFINISHED ALUMINUM FRAMES
- 3 BRICK 1  
INTERSTATE BRICK-TUMBLEWEED
- 4 BRICK 2  
INTERSTATE BRICK-BRONZESTONE
- 5 METAL PANEL  
- CASTLE GREY
- 6 COATED ARCHITECTURAL CONCRETE  
- DARK GREY
- 6a COATED ARCHITECTURAL CONCRETE  
- BONE WHITE
- 7 STOREFRONT CLEAR GLASS WITH  
DARK GREY MULLION
- 8 GLASS RAILING WITH DARK GREY  
FRAMES
- 9 METAL CAP FLASHING - BONE WHITE
- 10 CLEAR TEMPERED GLASS IN METAL  
CANOPY
- 11 FRAMELESS GLASS DOOR
- 12 ARCHITECTURAL LOUVERS  
DARK GREY
- 13 CLEAR LOW "E" GLASS IN PREFINISHED  
ALUMINUM FRAMES- DARK GREY
- 14 PREFINISHED ALUMINUM SECTIONAL  
OVERHEAD GARAGE DOOR-DARK GREY  
WITH GLASS (HEATED GLASS PANELS ALLOW THE LIGHT  
TO OBSERVE) AND DARK GREY METAL PICTURE TOP FOR VENTILATION
- 15 DARK GREY HIGH QUALITY ALUMINUM  
GATE/FENCE (WITH LIGHT BONE WHITE)
- 16 LIGHT GREY POWDER COATED  
ALUMINUM SLAT SCREEN PANEL
- 17 PICKET RAILING  
DARK GREY ALUMINUM

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Project

1468 VANCOUVER ST.

VICTORIA, BC

Drawing Title

ELEVATION RENDERINGS

Date:	Project No.
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Scale:	1:200	Drawing No.
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Drawn By: BNA A2 010

File name:  
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REV # 6 2021-11-10

23-Nov-21 Nclyn





- 1 METAL PANEL  
- BONE WHITE
- 2 SPANDREL GLAZING IN DARK GREY  
PREFINISHED ALUMINUM FRAMES
- 3 BRICK 1  
INTERSTATE BRICK-TUMBLEWEED
- 4 BRICK 2  
INTERSTATE BRICK-BRONZESTONE
- 5 METAL PANEL  
- CASTLE GREY
- 6 COATED ARCHITECTURAL CONCRETE  
- DARK GREY
- 6B COATED ARCHITECTURAL CONCRETE  
- BONE WHITE
- 7 STOREFRONT CLEAR GLASS WITH  
DARK GREY MULLION
- 8 GLASS RAILING WITH DARK GREY  
FRAMES
- 9 METAL CAP FLASHING - BONE WHITE
- 10 CLEAR TEMPERED GLASS IN METAL  
CANOPY
- 11 FRAMELESS GLASS DOOR
- 12 ARCHITECTURAL LOUVERS  
DARK GREY
- 13 CLEAR LOW "E" GLASS IN PREFINISHED  
ALUMINUM FRAMES- DARK GREY
- 14 PREFINISHED ALUMINUM SECTIONAL  
OVERHEAD GARAGE DOOR-DARK GREY  
TRANSPARENT TINTED GLASS PANELS (OPAK) TOP OF  
CURB CUT AND DARK GREY METAL CLIP ON TOP FOR VENTILATION
- 15 DARK GREY HIGH QUALITY ALUMINUM  
GATE/FENCE (W/OUT GOOD LIGHT STYLE)
- 16 LIGHT GREY POWDER COATED  
ALUMINUM SLAT SCREEN PANEL
- 17 PICKET RAILING  
DARK GREY ALUMINUM

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TOWNLINE

Project

1468 VANCOUVER ST.  
VICTORIA, BC

Drawing Title

EAST ELEVATION

Date:

Project No. \_\_\_\_\_

Scale: 1:100

Drawing No.	
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Drawn By: BNA

By: RNL

File name:  
H:\18-57\EXPORT\D P  
REV # 6 2021-11-10

A3-03

23-Nov-21 Net

[illegible]

- 1 METAL PANEL  
- BONE WHITE
- 2 SPANDREL GLAZING IN DARK GREY  
PREFINISHED ALUMINUM FRAMES
- 3 BRICK 1  
INTERSTATE BRICK-TUMBLEWEED
- 4 BRICK 2  
INTERSTATE BRICK-BRONZESTONE
- 5 METAL PANEL  
- CASTLE GREY
- 6 COATED ARCHITECTURAL CONCRETE  
- DARK GREY
- 6a COATED ARCHITECTURAL CONCRETE  
- BONE WHITE
- 7 STOREFRONT CLEAR GLASS WITH  
DARK GREY MULLION
- 8 GLASS RAILING WITH DARK GREY  
FRAMES
- 9 METAL CAP FLASHING - BONE WHITE
- 10a CLEAR TEMPERED GLASS IN METAL  
CANOPY
- 11 FRAMELESS GLASS DOOR
- 12 ARCHITECTURAL LOUVERS  
DARK GREY
- 13 CLEAR LOW "E" GLASS IN PREFINISHED  
ALUMINUM FRAMES- DARK GREY
- 14 PREFINISHED ALUMINUM SECTIONAL  
OVERHEAD GARAGE DOOR-DARK GREY  
WITH GLASS TEMPERED GLASS PANELS (OPTIONAL TOP  
GLASS) AND DARK GREY METAL INSET ON TOP FOR VENTILATION
- 15 DARK GREY HIGH QUALITY ALUMINUM  
GATE/FENCE (WINDSTOP MODEL 115)
- 16a LIGHT GREY POWDER COATED  
ALUMINUM SLAT SCREEN PANEL
- 17 PICKET RAILING  
DARK GREY ALUMINUM

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1468 VANCOUVER ST.  
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Drawing Title

WEST ELEVATION

Date:

Project No. \_\_\_\_\_

Scale:

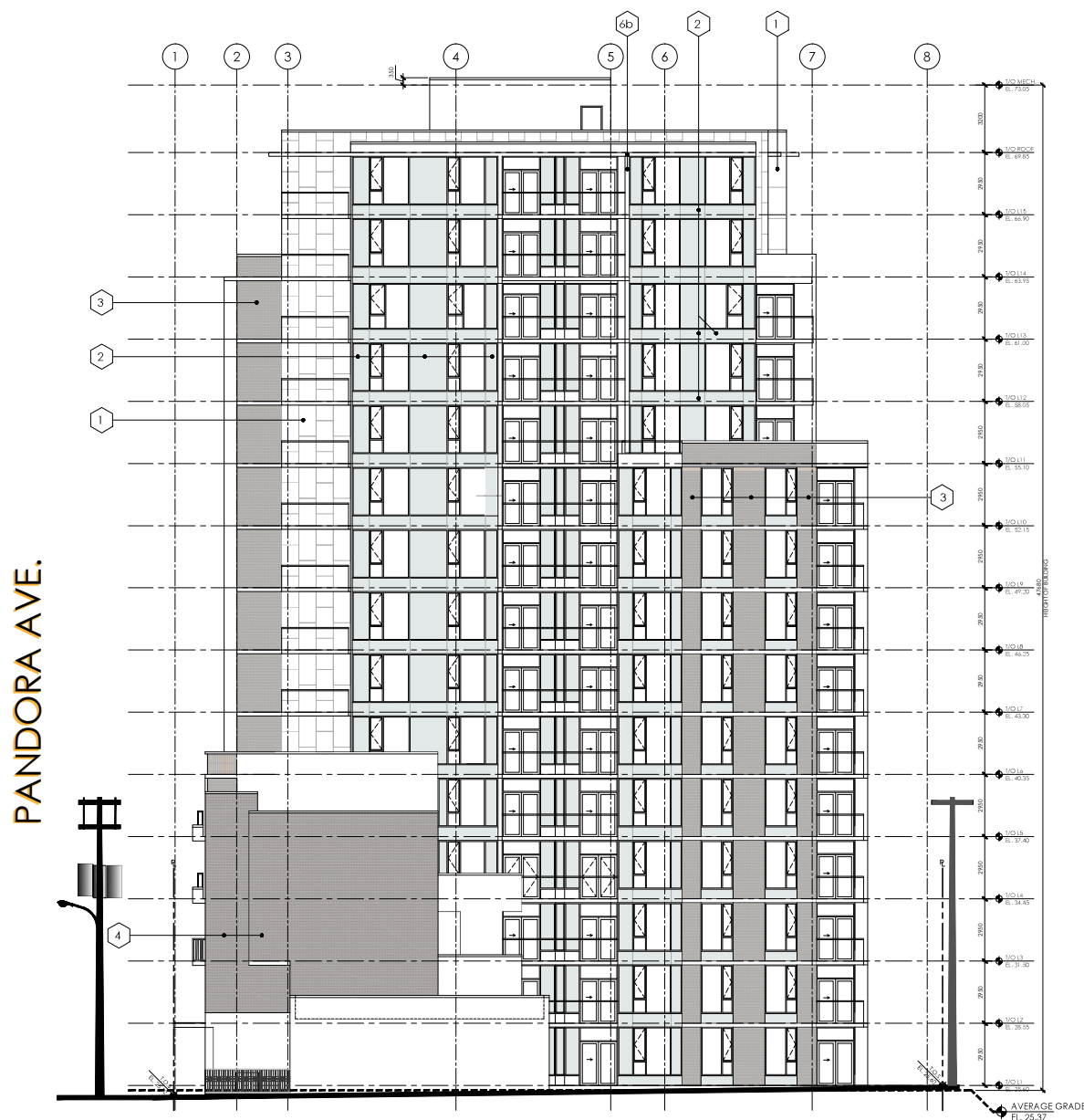
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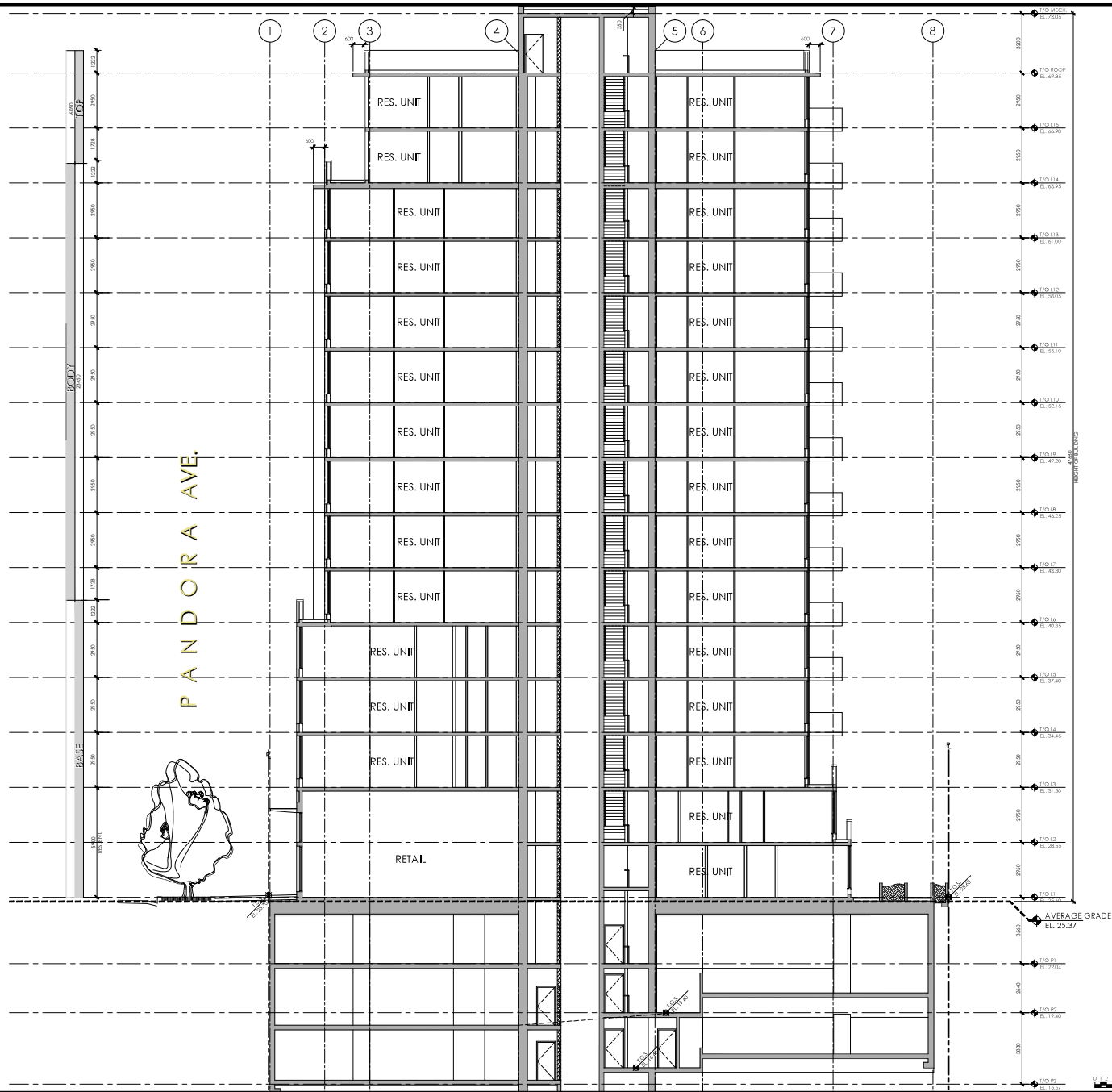
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TOWNLIN E

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VICTORIA, BC

Drawing Title

SECTION A-A

Date: \_\_\_\_\_

Project No. 00-00

Scale: 1:1

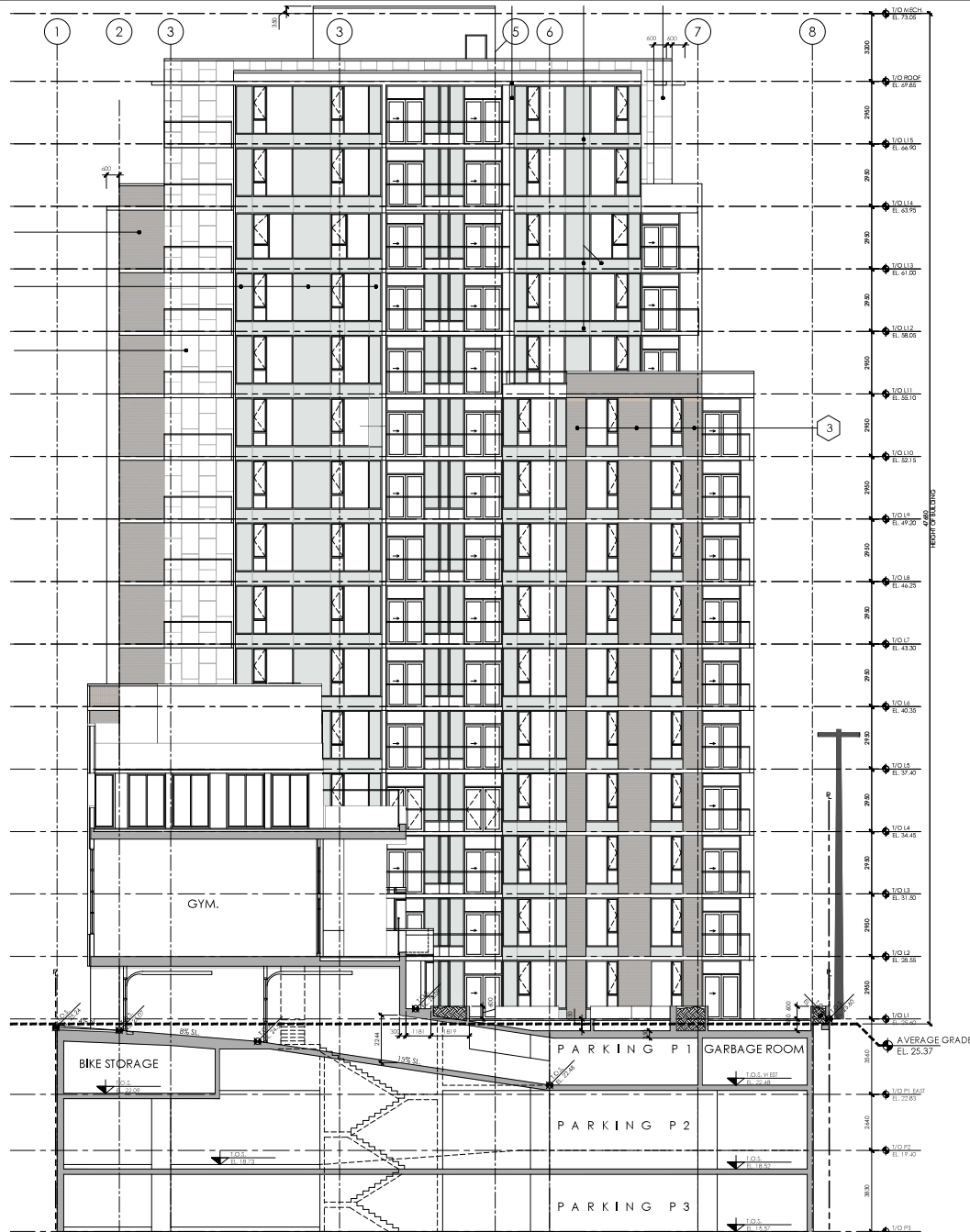
Drawing No.

Drawn By: BN

A4-01

File name:  
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REV # 6 2021-

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Client **TOWNLINE**

Project

1468 VANCOUVER ST.

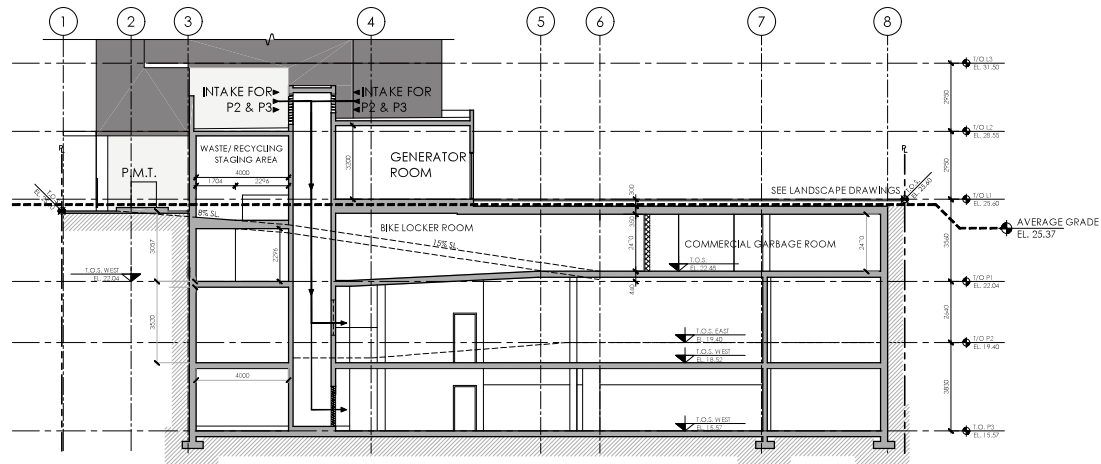
VICTORIA, BC

Drawing Title

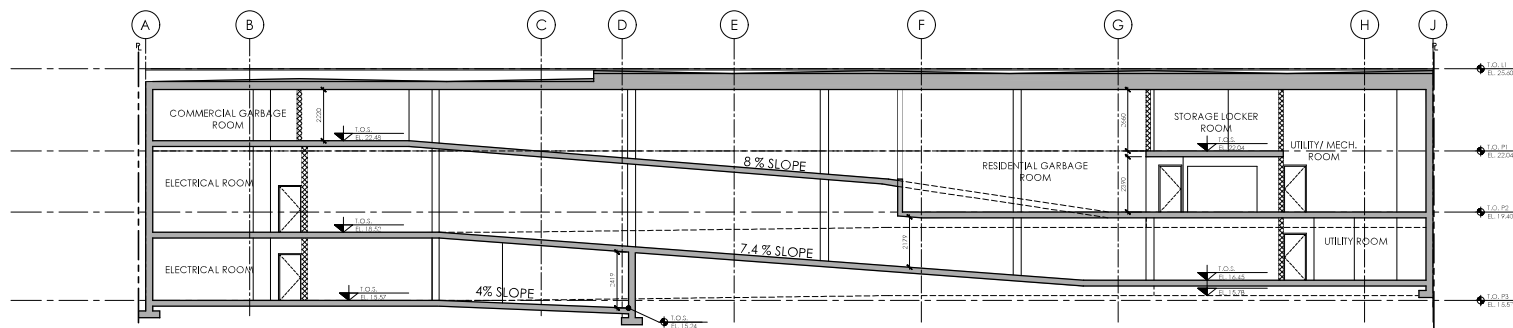
SECTION C-C

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Scale:	1:100	Drawing No.	A4-03
Drawn By:	BNA		
File name:	H:\18-57\EXPORT\DWG P REV # 6 2021-11-10		

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SECTION D-D



## SECTION E-E

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Project

1468 VANCOUVER ST.  
VICTORIA, BC

Drawing Title

SECTIONS D-D & E-E

Date: NOVEMBER 2021

Project No. 18-57

Scale: 1:100

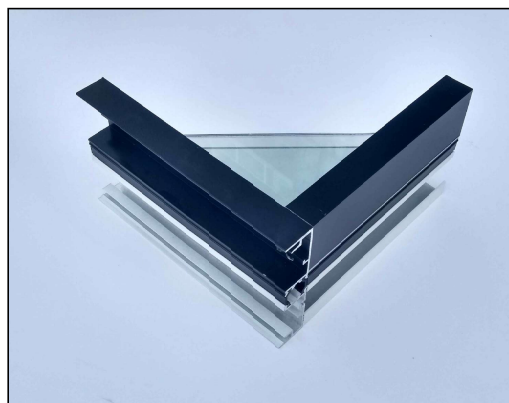
Drawing No.

Drawn By: BNA

A4-04

File name:





## 2 SLIM BRICK VINTAGE MISSION

1 PREFINISHED METAL PANEL - BONE WHITE

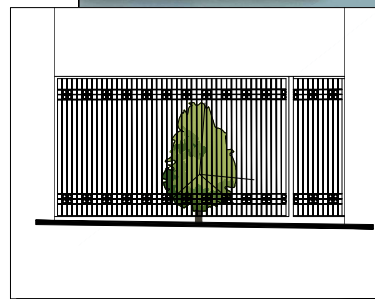


## MATERIAL SCHEDULE

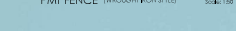
- METAL PANEL  
- BONE WHITE
- SPANDREL GLAZING IN DARK GREY  
- PREFINISHED ALUMINUM FRAMES
- BRICK 1  
- INTERESTATE BRICK-TUMBLEWEED
- BRICK 2  
- INTERESTATE BRICK-BRONZESTONE
- METAL PANEL  
- CASTLE GREY
- COATED ARCHITECTURAL CONCRETE  
- DARK GREY
- COATED ARCHITECTURAL CONCRETE  
- BONE WHITE
- STOREFRONT CLEAR GLASS WITH  
DARK GREY MULLION
- GLASS PAILING WITH DARK GREY  
FRAMES
- METAL CAP FLASHING - BONE WHITE
- CLEAR TEMPERED GLASS IN METAL  
CANOPY
- FRAMELESS GLASS DOOR
- ARCHITECTURAL LOUVERS  
DARK GREY
- CLEAR LOW 'E' GLASS IN PREFINISHED  
ALUMINUM FRAMES, DARK GREY
- PREFINISHED ALUMINUM SLAT  
OVERHEAD GARAGE DOOR-DARK GREY  
HORIZONTAL SLATS AVAILABLE IN BONE WHITE,  
DARK GREY AND DARK GREY MULLION OR CHOP FOR ALUMINUM
- DARK GREY HIGH QUALITY ALUMINUM  
GATEWAY (PREFINISHED BRICK STYLE)
- LIGHT GREY POWDER COATED  
ALUMINUM SLAT SCREEN PANEL
- PICKET FALING  
DARK GREY ALUMINUM

[illegible]

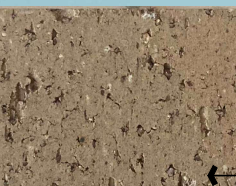
5 METAL PANEL CASTLE GREY



15 DARK GREY HIGH QUALITY ALUMINUM

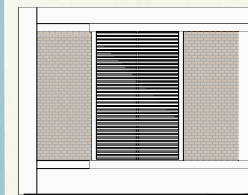


15 DARK GREY HIGH QUALITY ALUMINUM BREEZEWAY GATE (WROUGHT IRON STYLE) See Page 13



BRICK 1

BRICK 2



16 LIGHT GREY POWDER COATED ALUMINUM SLAT SCREEN PANEL

**1** PREFINISHED METAL PANEL  
BONE WHITE

6 COATED ARCHITECTURAL  
CONCRETE (GREY)

**2 SPANDREL GLAZING IN DARK GREY  
PREFINISHED ALUMINUM FRAMES**



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REVISION

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Client  TOWNLINE

Project

1468 VANCOUVER ST.

VICTORIA, BC

Drawing Title

MATERIAL BOARD

Date: NOV. 2021	Project No. 18-57
Scale: 1:100	Drawing No.  A5-01
Drawn By: BNA	
File name: H:\18-57\EXPORT\DP REV # 6 2021-11-10	

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23-Nov-21 Net

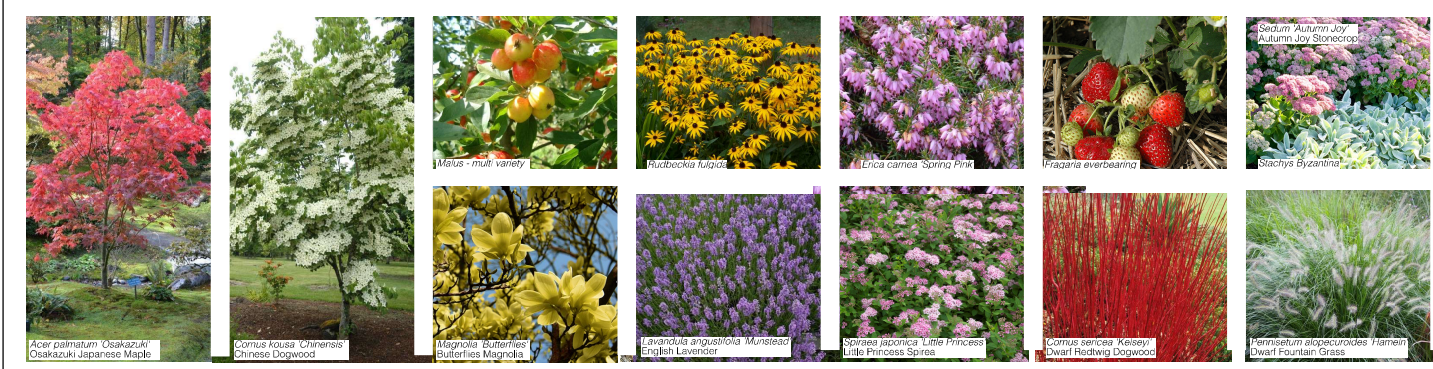
DRAWING LIST	
L - 1.0 LANDSCAPE COVER SHEET	
L - 1.1 LEVEL MATERIAL + GRADING PLAN 1:100	
L - 1.2 LEVEL MATERIAL + PLANTING PLAN 1:100	
L - 2.1 LEVEL PLANTING PLAN 1:100	
L - 3.1 LANDSCAPE SECTION 1:50	
L - 4.1 LANDSCAPE DETAIL As indicated	
L - 4.2 LANDSCAPE DETAIL As indicated	

GRADING + DRAINAGE	
+ TS 20.00m	top of stair
+ BS 18.00m	bottom of stair
+ TW 20.00m	top of wall
+ BW 18.00m	bottom of wall
+ 10.00m	spot elevation
+ FG 18.50m	finished grade
+ BG 18.35m	building grade
+ HP 18.35m	high point
+ LP 18.35m	low point
+ EX 8.75	existing elevation (as per survey)
...2%...	direction/percent slope
-----	break in slope
DN 4R	direction/number of risers down
TD 10.00m	Trench Drain
AD 10.00m	Area Drain

LANDSCAPE IRRIGATION	
	Irrigation Stub-out (point of connection)
	Frost Free Hose Bib
	Drip Line
Note: Landscape lighting shown as reference only. Refer to Mechanical and Electric drawings for full information.	

LANDSCAPE LIGHTING	
	Planter Wall (Cast) Light
	Building Wall Sconce Light
	Catenary Lights
Note: Landscape lighting shown as reference only. Refer to Electric drawings for full information.	

#### PLANT MATERIAL REFERENCE IMAGES




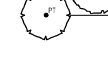
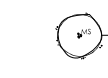




HARD SURFACING	
	Concrete Paving - Vehicular Crossing to City of Victoria Standard. Colour: natural. Finish: light broom. min. 4" thickness
	Concrete Paving - Sidewalk to City of Victoria Standard. Colour: natural. Finish: light broom. min. 4" thickness
	450mm wide Rasall Banding Inset with Street Name to City of Victoria Standard. Finish: flamed/thermal and sawn edges
	Natural Grey Concrete Unit Pavers - to City of Victoria New Town Standard. Size: 225mm x 75mm x 60mm. Pattern: '90' herringbone. Installation: Mortar set. Supplier: Abbotsford Concrete Products
	Concrete Unit pavers Size: 225mm x 101mm x 60mm. Pattern: running bond. Installation: Mortar set. Supplier: Abbotsford Concrete Products
	Heritage Paving Prism Material: glass. Installation: set in chip concrete paving
	Hydropressed Concrete Slabs Size: 600mm x 600mm x 50mm. Colour: charcoal. Pattern: Stacked bond. Installation: on pedestal. Supplier: Abbotsford Concrete Products
	Black Tusk Brush Paver Size: 300mm x 60mm x 38mm. Finish: flamed. Pattern: running bond. Supplier: Seacrock Natural Stone
	Granular Surface
	Cambrion Granite Stone Paver - level 4 Size: 600mm x 300mm x 50mm. Pattern: stacked bond. Supplier: Seacrock Natural Stone

SOFT LANDSCAPE	
	Sand Based Sodded Lawn
	Sodded Lawn with Care Grass System as requested by BC Hydro on Jan 26, 2021. Refer to sheet L-3.1 for cut sheet provided by BC Hydro
	Shrub/Perennial/Groundcover Beds
	Evergreen Hedging
	Pre-vegetated Green Roof

SITE FURNISHING	
	Metal Tree Grate with Guard - Offsite as per DRPP - New Town District
	Metal Bike Rack as per DRPP - New Town District (2 bike racks = 24 bike parking. (Onsite: 10 bike racks; Offsite: 2 bike racks) 600mm away from building face 600mm o.c.
	Backed Feature Bench - Offsite Model: 870. Finish: Ice wood with black metal. Supplier: Maglin (R007 / 4-3046). Note: This model has not yet been updated in the Downtown Public Realm document, but staff would like to implement updated standards in the meantime.
	Backless Feature Bench - Offsite Model: 870. Finish: Ice wood with black metal. Supplier: Maglin (R007 / 4-3046). Note: This model has not yet been updated in the Downtown Public Realm document, but staff would like to implement updated standards in the meantime.
	Backed Feature Chair - Offsite Model: 870. Finish: Ice wood with black metal. Supplier: Maglin (R007 / 4-3046). Note: This model has not yet been updated in the Downtown Public Realm document, but staff would like to implement updated standards in the meantime.
	Metal Trash Bin - Offsite Type A: modern metal bin as per Downtown Public Realm Plan
	Pedestrian Light - Offsite Modern Heritage Style as per DRPP - New Town District
	Salvaged Cedar Log
	Rounded River Boulder
	Fire Hydrant Play Equipment w/ water jets
	Metal Planter with Bench 1-6'W x 6-0'L x 3-6'H

PLANT LIST

	Sym.	Qty.	TREES	Botanical Name	Common Name	Size/Spacing
Sheet Trees along Pandora Street Final species, location and quantity to be decided by the City of Victoria						
	Sym.	Qty.	TREES	Botanical Name	Common Name	Size/Spacing
Sheet Tree along Vancouver Street Final species, location and quantity to be decided by the City of Victoria						
	1		Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	6cm cal. Specimen	
	4		Cornus kousa 'Chinensis' (*)	Chinese Dogwood	6cm cal. Specimen	
	3		Magnolia 'Butterflies'	Butterfly Magnolia (yellow flower)	6cm cal. Specimen	
	3		Magnolia x soulangiana 'Galaxy'	'Galaxy' Saucer Magnolia	6cm cal. Uniformed Specimen	
	5		Populus tremula 'Erecta'	Columnar European Aspen	5cm cal. Specimen	
SHRUBS						
Sym.	Qty.	Botanical Name	Common Name	Size/Spacing		
A1	16	Azalea 'Gumpo White'	Dwarf Azalea (white flower)	#2 pot. 450mm o.c.		
A2	13	Azalea 'Gumpo Pink'	Dwarf Azalea (pink flower)	#2 pot. 450mm o.c.		
G1	77	Gaultheria shallon (*)	Star Magnolia	#3 pot. 600mm o.c.		
Rh	5	Rhododendron 'Royal Star'	Star Magnolia	3m h. multi-stem		
Rh	5	Rhododendron 'English Roseum'	English Roseum Rhododendron	1.2m h. 8-8		
Rh	73	Rhododendron 'Yaku Princess'	Yaku Princess Rhodo. (Pink)	#3 pot. 600mm o.c.		
Sj	9	Spiraea japonica 'Little Princess' (*)	Little Princess Japanese Spirea	#3 pot. 600mm o.c.		
T	300	Ilex x media 'Hilli'	Hill New Hedge (Male Only)	1.2m h. #8 to #8		
GROUND COVERS / PERENNIALS / GRASSES / EMERGENT / SUBMERGENT						
Sym.	Qty.	Botanical Name	Common Name	Size/Spacing		
e	86	Erica carnea 'Springwood Pink' (*)	Winter Heath	#1 pot. 300mm o.c.		
ic	18	Impatiens cylindrica 'Red Rascal'	Japanese Blood Grass	10cm pot. 350mm o.c.		
lp	60	Lupinus angustifolius 'Nunseed' (*)	English Lavender	#2 pot. 450mm o.c.		
li	113	Lupinus muscar 'Variegata'	Variegated Lily-Turf	#1 pot. 300mm o.c.		
ph	98	Penstemon alpestris 'Hemlock' (*)	Dwarf Fountain Grass	#1 pot. 450mm o.c.		
r	40	Rubus x ligula 'Little Goldstar' (*)	Black-eyed Susan	10cm pot. 350mm o.c.		
se	15	Sedum 'Autumn Joy'	Autumn Joy Stonecrop	#1 pot. 400mm o.c.		

<b>General Planting Notes:</b> 1. All work shall meet or exceed the requirements as outlined in the Current Edition of the Canadian Landscape Standard. 2. Plant sizes and related container classes are specified according to the Canadian Landscape Standard Current Edition. For container classes K3 and smaller, plant sizes shall be as shown in the plant list and the Standard. For all other plants, both plant size and container class shall be as shown in the plant list. 3. Specifically, when the plant list call for #5 class containers, these shall be as defined in the BCNIA (ANSI) Standard. 4. All 'Self Landscape Areas' to be irrigated to IABC Standards using a high efficiency irrigation system. 5. All trees to be staked in accordance with BCNIA Standards. 6. All plants with an asterisk (*) are butterfly/bird friendly species.
<b>Irrigation Notes:</b> 1. All 'Self Landscape Planting Areas' are to be irrigated with a high efficiency design/built irrigation system to IABC Standards, complete with Rain and Wind Sensor. 2. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines. 3. Backflow preventer to building code/municipal standards to be provided in mechanical room. 4. Drawings are of schematic nature only. Design built drawings shall be provided to consultant for review prior to construction.
<b>Off-site Irrigation Notes:</b> 1. All irrigation work, including required inspections, shall comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12402, Subdivision Bylaw. 2. Irrigation design shall be submitted for review and approval to City of Victoria Parks Division no less than 30 days prior to scheduled installation. Off-site irrigation shall be sourced separately and independent from on-site irrigation. 3. Refer to Supplementary Specifications for all irrigation work. 4. All new trees shall be irrigated using free drip (rigi independent from and/or in addition to shrub bed/fountain zones. Randomly spray heads shall be used for rain gardens. 5. Irrigation valves shall be Rainbird PGA, not DVF. 6. Commercial Rainbird low flow drip kits used for drip lines, XCC-100-PIB-AC, PES Valve and Pressure Regulating (40 psi) Basket Filter

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03	Mar 26 - 2020	Issued for DP Resubmission
02	Dec 12 - 2018	Mutual for Development Permit
01	Nov 06 - 2018	Progress Set
no.	date:	item:
Revisions:		



Project:  
**1468 VANCOUVER STREET  
VICTORIA, BC**

Drawn by:	LF
Checked by:	PK
Date:	2018-11-02
Scale:	1:100

Drawing Title:  
**LANDSCAPE  
LEGEND / SCHEDULE**

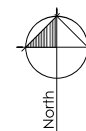
Project No.:	18073
Sheet No.:	

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PANDORA AVENUE

PROPOSED STREET TREE NOTES:

- Street trees must have one dominant central leader or single straight trunk, 4-6 cm diameter caliper measured 1.5m above ground, a well-balanced crown with branching starting at 1.8m - 2.5m above ground, and be planted per the City of Victoria Supplemental Drawing SDP4 (Tree Planting in Boulevards) or SDP5 (Tree Planting in Sidewalks with Tree Guard).
- Required Parks Inspection for street tree planting: 1) Inspection of soil and planting area prior to planting 2) Inspection of tree stock prior to planting 3) Inspection of installed tree with mulch and staking. The trunk flare must be visible and planted at or slightly above grade upon inspection. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standards.



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no.	date:	item:

Revisions:

**dk** Durante Kreutz Ltd.  
102 - 1637 West 5th Avenue  
Victoria BC V8S 1N3  
t: 604 684 4011  
f: 604 684 0577  
www.dk.ca

Project:  
**1468 VANCOUVER STREET  
VICTORIA, BC**

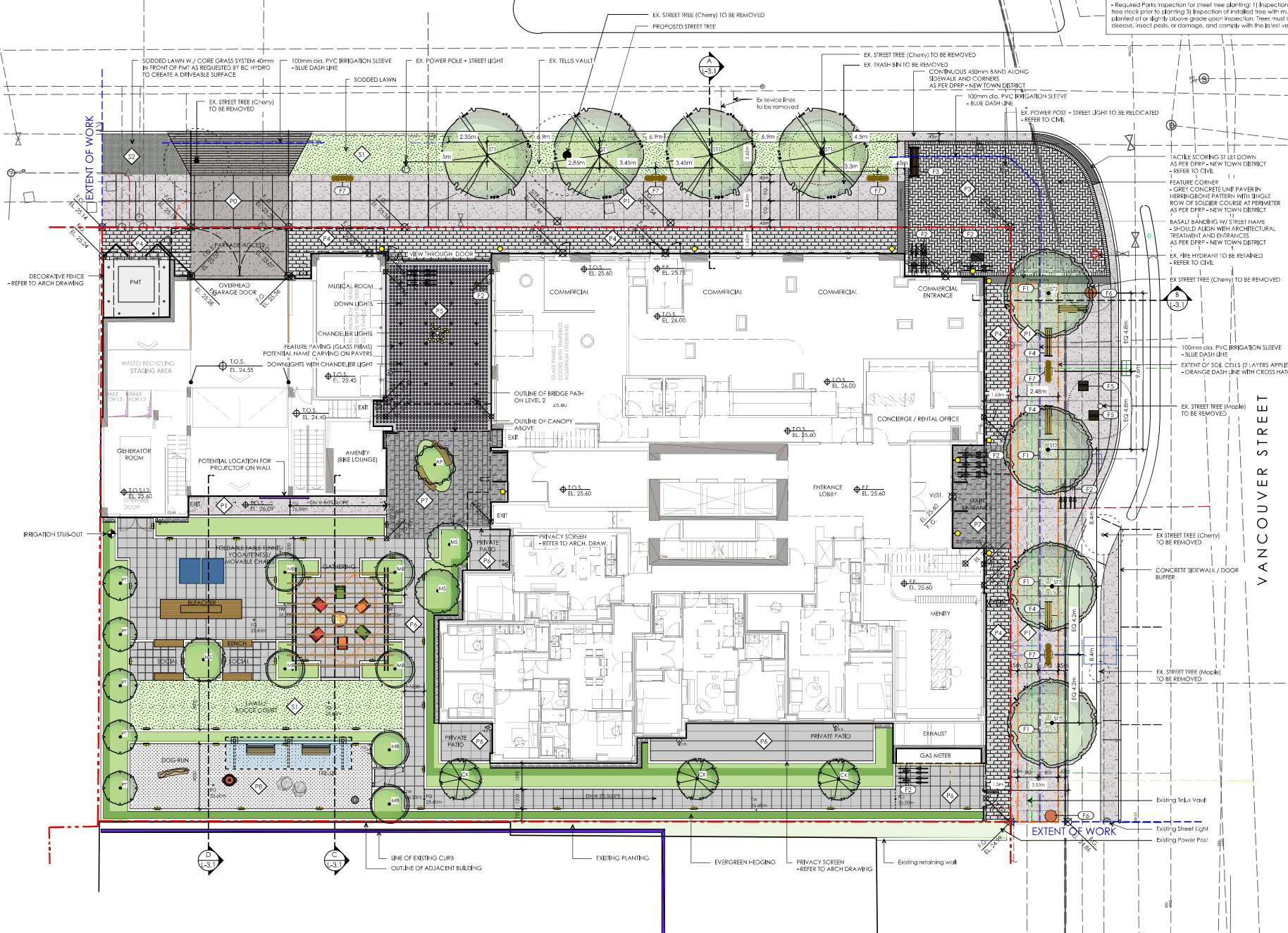
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Checked by: PK  
Date: 2018-11-02  
Scale: 1:100

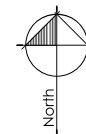
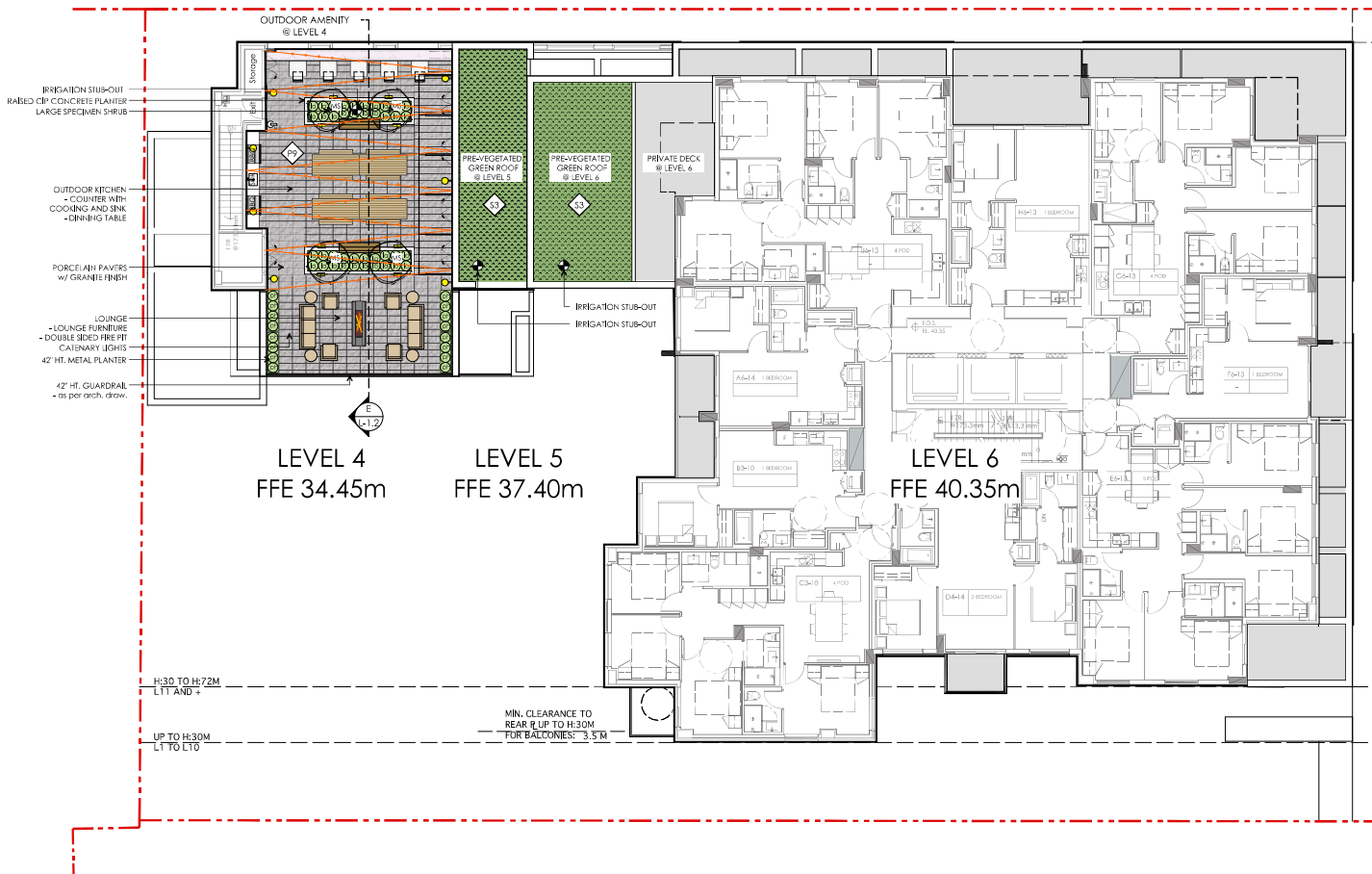
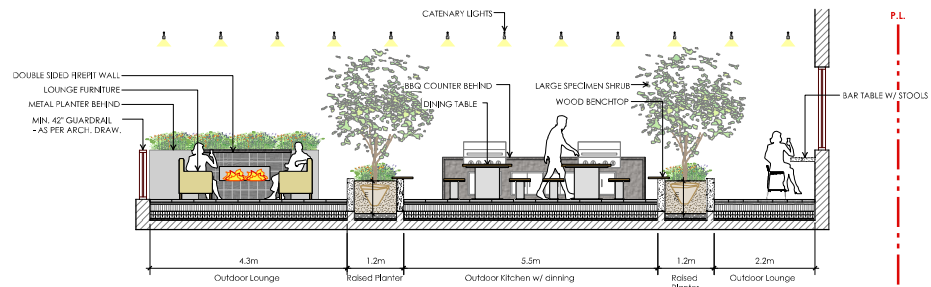
Drawing title:  
**Level 1**

**MATERIAL + GRADING PLAN**

Project No.:  
**18073**  
Sheet No.:

L - 1.1





07	Nov 22 - 2021	Issued for DP Resubmission
06	Aug 12 - 2021	Response to City Comments
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Revisions:



Project:

**1468 VANCOUVER STREET  
VICTORIA, BC**

Drawn by: LF

Checked by: PK

Date: 2018-11-02

Scale: 1:100

0 1m 2m 5m 8m

Level 4 Level 4

MATERIAL + MATERIAL + PLANTING

Project No.:

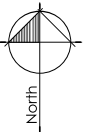
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Sheet No.:

L - 1.2

PANDORA AVENUE

VANCOUVER STREET



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Revisions:



Project:

**1468 VANCOUVER STREET  
VICTORIA, BC**

Drawn by: LF

Checked by: PK

Date: 2018-11-02

Scale: 1:100



Drawing title:

**Level 1  
PLANTING PLAN**

Project No.:

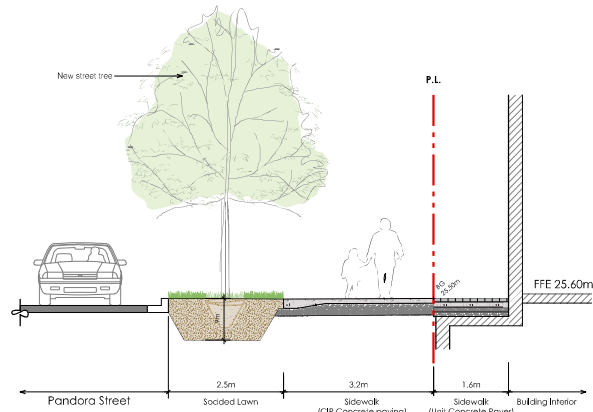
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Sheet No.:

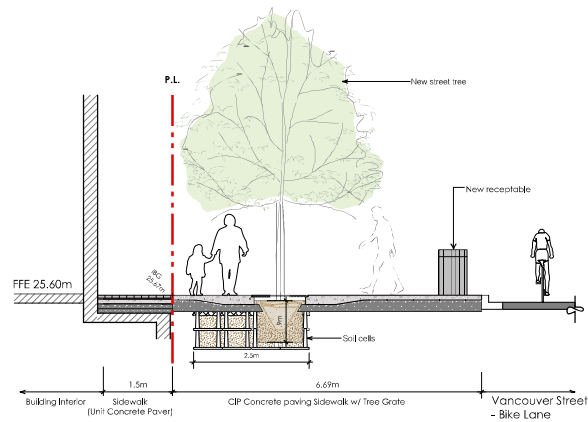
**L - 2.1**

EXTENT OF WORK

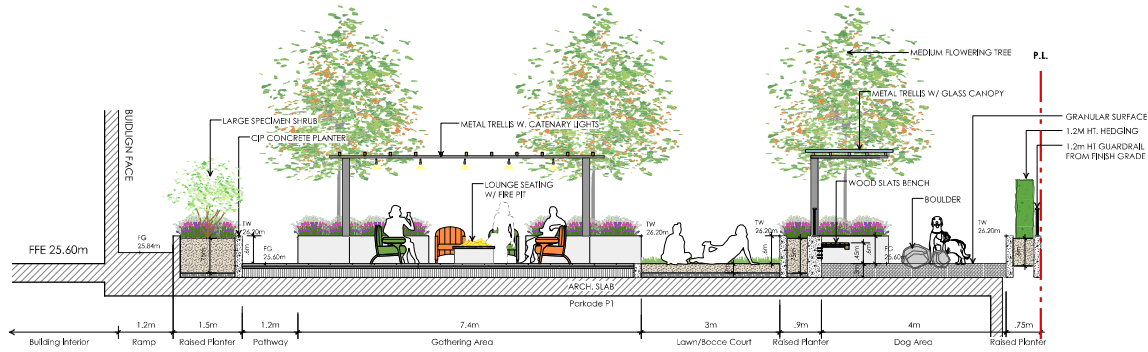
EXTENT OF WORK



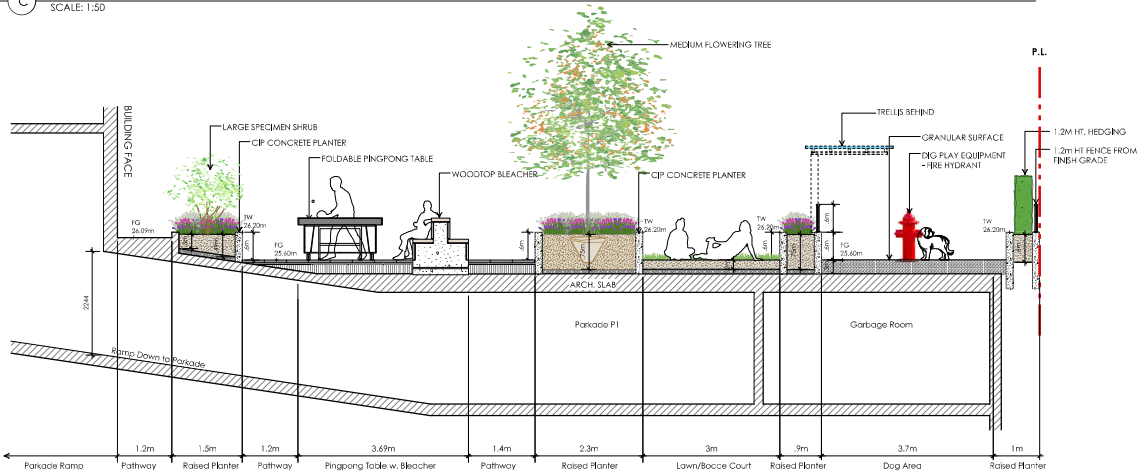
**A** SECTION THROUGH SIDEWALK ALONG PANDORA STREET  
SCALE: 1:50



**B** SECTION THROUGH SIDEWALK ALONG VANCOUVER STREET  
SCALE: 1:50



**C** SECTION THROUGH COURTYARD - EAST SIDE  
SCALE: 1:50



**D** SECTION THROUGH COURTYARD - WEST SIDE  
SCALE: 1:50

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no.	date	item

Revisions:



Project:

**1468 VANCOUVER STREET  
VICTORIA, BC**

Drawn by:

LF

Checked by:

PK

Date:

AUG 2021

Scale:

AS Indicated

Drawing Title:

**LANDSCAPE SECTION**

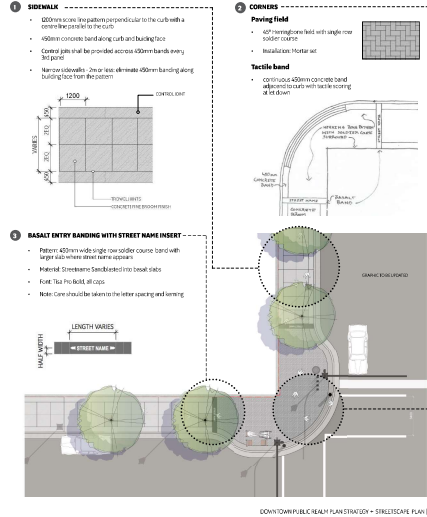
Project No.:

**18073**

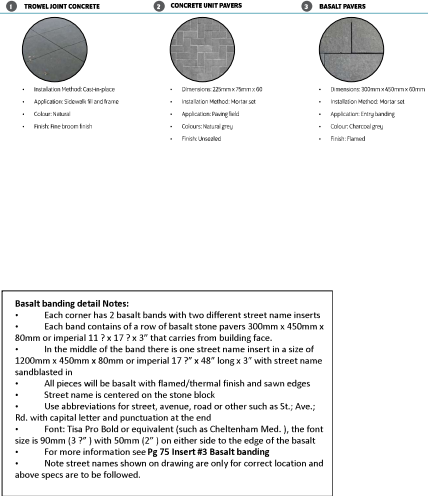
Sheet No.:

L - 3,1

NEW TOWN PAVING APPLICATIONS

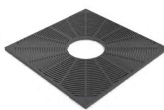


NEW TOWN PAVING MATERIALS



SQUARE TREE GRATE

PRODUCT TYPE: Tree Grate  
PRODUCT NAME: Square Tree Grate  
DESIGN STYLE: Contemporary  
MATERIALS: Metal  
COLOUR FINISH: 45° W  
DIMENSIONS: 45" W  
DISTRIBUTION: Dübney Foundry Ltd.  
SPECIAL NOTES: See Character area section of Streetscape Standards for specific location guidelines.



METAL TREE GUARD

PRODUCT TYPE: Tree Guard  
PRODUCT NAME: Metal Tree Guard  
DESIGN STYLE: Contemporary  
MATERIALS: Metal  
COLOUR FINISH: Gloss Black (RAL 9007) Based on Powder Coat  
DIMENSIONS: Inner Harbour, Old Town, Rock Bay, New Town, Government Street, Douglas Street  
DISTRIBUTION: City of Victoria  
MANUFACTURER: See Character area section of Streetscape Standards for specific location guidelines.  
SPECIAL NOTES:



01 Downtown Public Realm Plan & Streetscape Standards - New Town Paving Materials and Applications  
L-4.1 NTS

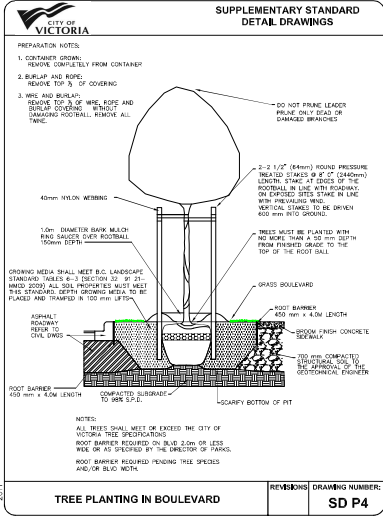
NEW TOWN FURNISHING AND LIGHTING

New Town furnishing suite is a modern heritage style. It has the most diversity in street character from long Douglas Street and Blanshard Street to quiet residential streets with planned boulevards. Proposed elements can accommodate for both condition giving flexibility to how and where to use them.

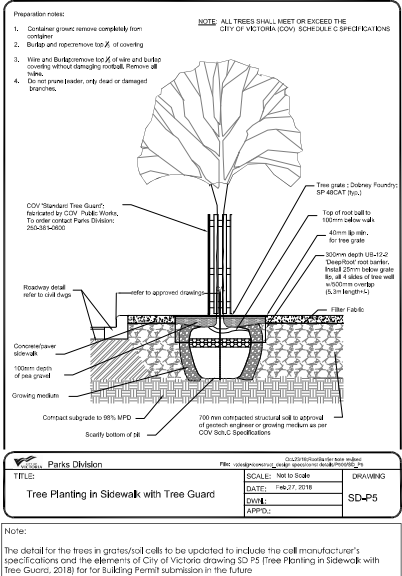


02 Downtown Public Realm Plan & Streetscape Standards - New Town District  
L-4.1 NTS

02 Downtown Public Realm Plan & Streetscape Standards - New Town Tree Tree Grate  
L-4.1 NTS



REVISIONS: DRAWING NUMBER: SD P4



NOTE: The detail for the trees in grates/toll cells to be updated to include the call manufacturer's specifications and the elements of City of Victoria drawing SD-P5 (Tree Planting in Sidewalk with Tree Guards, 2018) for Building Permit submission in the future.

03 Tree Planting in Sidewalk with Tree Guard  
L-4.1 NTS

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Revisions:



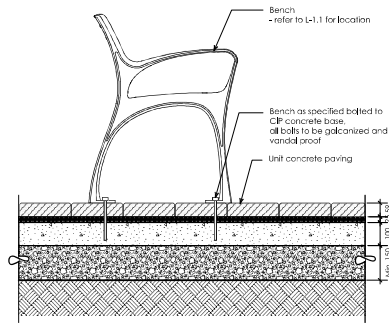
Project: 1468 VANCOUVER STREET VICTORIA, BC

Drawn by: LF  
Checked by: PK  
Date: AUG 2021  
Scale: As Indicated

Drawing Title: LANDSCAPE DETAILS

Project No.: 18073  
Sheet No.:

L - 4.1



City comments dated on April 2021:

Please indicate the Maglin 870 series for the benches. This has not yet been updated in the Downtown Public Realm document, but staff would like to implement updated standards in the meantime.

The benches would be IPE wood with black metal for both chairs and benches.

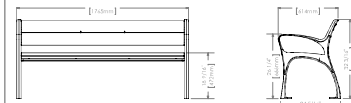
#### MBE-0870-00025

Legacy # MLC00025-14



**MATERIALS:** Bench ends are made from solid cast aluminum. The seat employs box wood slats.  
**FINISH:** All metal components are protected with SeCoat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.  
**INSTALLATION:** The bench is delivered pre-assembled. Holes (Ø.5") are provided in each foot for securing to base.  
**TO SPECIFY:** Select MBE-0870-00025  
 Choices:  
 • Powdercoat Color

HEIGHT: 32.2" (81.9cm) LENGTH: 66.5" (168.9cm) DEPTH: 24.2" (61.4cm) WEIGHT: 42 lbs (19.1kg)

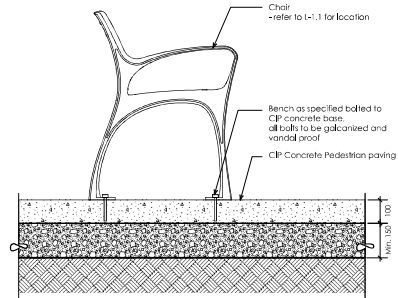


MAGLIN

• All drawings, specifications, notes and details are subject to change without notice. All materials and components are made to order.  
 • Lead times for materials and components are subject to change without notice.

01 Backed Bench Fixture

L-4.2 Scale: 1"=1'-0"



City comments dated on April 2021:

Please indicate the Maglin 870 series for the benches. This has not yet been updated in the Downtown Public Realm document, but staff would like to implement updated standards in the meantime.

The benches would be IPE wood with black metal for both chairs and benches.

#### MCH-0870-00002

Legacy # MLC00025-14



**MATERIALS:** Bench ends are made from solid cast aluminum. The seat employs box wood.  
**FINISH:** All metal components are protected with SeCoat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.  
**INSTALLATION:** The bench is delivered pre-assembled. Holes (Ø.5") are provided in each foot for securing to base.  
**TO SPECIFY:** Select MCH-0870-00002  
 Choices:  
 • Powdercoat Color

HEIGHT: 32.2" (81.9cm) LENGTH: 25.5" (64.8cm) DEPTH: 24.2" (61.4cm) WEIGHT: 35 lbs (15.9kg)

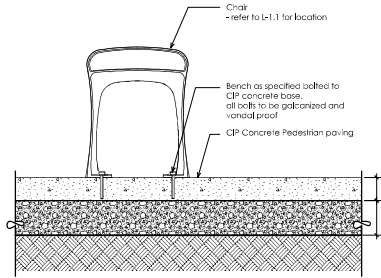


MAGLIN

• All drawings, specifications, notes and details are subject to change without notice. All materials and components are made to order.  
 • Lead times for materials and components are subject to change without notice.

03 Chair Fixture

L-4.2 Scale: 1"=1'-0"



City comments dated on April 2021:

Please indicate the Maglin 870 series for the benches. This has not yet been updated in the Downtown Public Realm document, but staff would like to implement updated standards in the meantime.

The benches would be IPE wood with black metal for both chairs and benches.

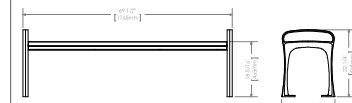
#### MBE-0870-00062

Legacy # MLC00025-14



**MATERIALS:** Bench ends are made from solid cast aluminum. The seat employs box wood.  
**FINISH:** The Maglin Powdercoat System provides a durable finish on all metal surfaces.  
**INSTALLATION:** The bench is delivered pre-assembled. Holes (Ø.5") are provided in each foot for securing to base.  
**TO SPECIFY:** Select MBE-0870-00062  
 Choices:  
 • Powdercoat Color

HEIGHT: 32.2" (81.9cm) LENGTH: 66.5" (168.9cm) DEPTH: 24.2" (61.4cm) WEIGHT: 42 lbs (19.1kg)



MAGLIN

• All drawings, specifications, notes and details are subject to change without notice. All materials and components are made to order.  
 • Lead times for materials and components are subject to change without notice.

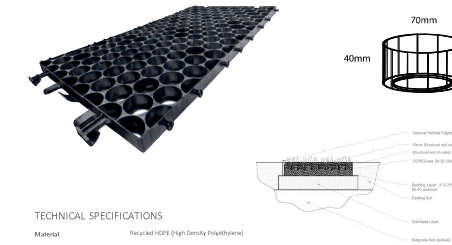
02 Backless Bench Fixture

L-4.2 Scale: 1"=1'-0"

## CORE LANDSCAPE PRODUCTS

GREEN LANDSCAPING ALTERNATIVES FOR A SUSTAINABLE FUTURE

CORE GRASS™ 70-40



### TECHNICAL SPECIFICATIONS

**Material:** Recycled HDPE (High Density Polyethylene)  
**Color:** Black  
**Grid Dimension (in):** 40.5" x 33.2" x 1.2" (1029mm x 848mm x 40mm)  
**Grid Weight (lbs):** 8.5 lbs (3.8 kg)  
**Cell Shape:** Circle  
**Cell Dimension (in):** 3.75" x 3.75" (95mm x 95mm)  
**Cell Wall Thickness:** 0.12" (3mm)  
**Load Bearing Capacity (in field):** >800 lbs/sq ft  
**Temperature Range:** -52°C to +90°C  
**Chemical Resistance:** Excellent  
**UV Resistance:** Excellent

### SUITABLE FOR

Home gardens, foundation base, commercial green applications, gravel slope stabilization, & temporary ground stabilization for vehicles.

### CERTIFICATES/COMPLIANT

DIN 16890 Approved (Fire Service Access)  
 LEED Used in LEED and LEED compliant porous paving BMPs for ideal drainage and minimal environmental impact.

**ADA Compliant:** Used in ADA disability compliant surfaces for pedestrians, bicycles, & wheelchair traffic.  
**Environmentally Approved:** Maryland Department of the Environment, Montgomery County, and City of Victoria, British Columbia.



Web: coregravel.ca  
 Email: info@coregravel.ca  
 Phone: 1.855.777.2673 (CORE)

04 Core Grass

L-4.2 NTS

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Revisions:



Project:

1468 VANCOUVER STREET  
 VICTORIA, BC

Drawn by:

LF

Checked by:

PK

Date:

AUG 2021

Scale:

As Indicated

Drawing Title:

LANDSCAPE DETAILS

Project No.:

18073

Sheet No.:

L - 4.2



The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Starlinec without delay.

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Project

Drawing Title

	Project No. 111720070
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Project No.	111720070
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C201



1. REFER TO LANDSCAPE AND ARCHITECTURAL DESIGN FOR DETAILS ASSOCIATED WITH SIDEWALK PATTERNS, STREET TREES, BOULEVARD TREATMENTS, SOIL CELLS AND OFF-SITE FURNISHINGS SUCH AS BENCHES, BIKE RACKS, ETC...
2. ASPHALT REPLACEMENT TO ROAD CENTRELINE FOR BOTH PANDORA AND VANCOUVER STREETS.

- ① CITY OF VICTORIA FORCES TO INSTALL 150mm Ø DOMESTIC WATER SERVICE AT DEVELOPERS EXPENSE.
- ② CITY OF VICTORIA FORCES TO INSTALL 200mm Ø FIRE SERVICE AT DEVELOPERS EXPENSE
- ③ CITY OF VICTORIA FORCES TO INSTALL DOMESTIC AND FIRE WATER VALVE INSPECTION ASSEMBLY PER CITY OF VICTORIA SD WQ AND SD WB AND CAP AT PROPERTY LINE. AT DEVELOPERS EXPENSE, REFER TO MECHANICAL FOR CONTINUATION.
- ④ CITY OF VICTORIA FORCES TO INSTALL 200mm Ø PVC SANITARY SERVICE CHAMBER INSPECTION CHAMBER AT PROPERTY LINE AND CONNECT TO EXISTING 200mm Ø SANITARY AT DEVELOPERS EXPENSE, FOR CONTINUATION REFER TO MECHANICAL DRAWINGS.
- ⑤ CITY OF VICTORIA FORCES TO INSTALL 200mm Ø PVC SANITARY SERVICE CHAMBER INSPECTION CHAMBER AT PROPERTY LINE AND CONNECT TO EXISTING 200mm Ø SANITARY AT DEVELOPERS EXPENSE, FOR CONTINUATION REFER TO MECHANICAL DRAWINGS.
- ⑥ CITY OF VICTORIA FORCES TO INSTALL 200mm Ø PVC STORM SERVICE CHAMBER INSPECTION CHAMBER AT PROPERTY LINE AND CONNECT TO EXISTING 200mm Ø STORM AT DEVELOPERS EXPENSE, FOR CONTINUATION REFER TO MECHANICAL DRAWINGS.
- ⑦ BC HYDRO PROPOSED OFF SITE SERVICE ROUTING TO BE CONFIRMED BY BC HYDRO, REFER TO ELECTRICAL FOR CONTINUATION.
- ⑧ TELUS PROPOSED SERVICE ROUTING TO BE CONFIRMED BY TELUS.
- ⑨ PROTECT AND RETAIN EXISTING UTILITY POLE AND STREETLIGHT.
- ⑩ PROTECT AND RETAIN EXISTING FIRE HYDRANT.
- ⑪ PROTECT AND RETAIN EXISTING ACTIVE BIRCH OPTICS COMMUNICATION INFRASTRUCTURE.
- ⑫ PROTECT AND RETAIN EXISTING TELUS INFRASTRUCTURE.
- ⑬ CATCH UP DOWN PER CITY OF VICTORIA SUPPLEMENTARY STD DWG CATCH UP DOWN TO EXISTING TROMBLY.
- ⑭ GUTTERBANKS FOR TREE SOIL, CLASS B SW 200mm OVERFLOW COMPLETION, SEDIMENT SUMP AND TRAPPING HOOD PER CITY OF VICTORIA SD 31C.
- ⑮ 150mm Ø PERFORATED PVC RAINWATER DISTRIBUTION LINE PIPING SERVING TREE CELLS.
- ⑯ 150mm Ø PVC PERFORATED RAINWATER DISTRIBUTION OUTLET PIPING SERVING TREE CELL TO EXISTING COLLECTION DUCTION TO EXISTING STORM BY CITY OF VICTORIA AT DEVELOPERS EXPENSE.
- ⑰ GAS SERVICE TO GAS METER ENCLOSURE, REFER TO MECHANICAL FOR CONTINUATION.
- ⑱ NON-ADJUSTABLE CURB PER MACM SD DWG C4.
- ⑲ COMMERCIAL LOADING ZONE C/W SIGN POST ELEVATE AND BASE TO CITY OF VICTORIA STANDARDS, SIGN TO READ "LOADING ZONE 7 DAYS WEEK"
- ⑳ SHAW CABLE PROPOSED SERVICE ROUTING TO BE CONFIRMED BY SHAW.
- ㉑ POTENTIAL PANDORA ST BOULEVARD AREA INFILTRATION SYSTEM, TO BE CONFIRMED BY CITY OF VICTORIA.
- ㉒ 25mm Ø FIBRATION SERVICE AND METER BOX BY CITY OF VICTORIA AT DEVELOPERS EXPENSE.
- ㉓ 100mm Ø PVC IRRIGATION SLEEVE C/W LONG SWEEP 45° BENDS AS REQUIRED
- ㉔ REINFORCE BOULEVARD SODDED LAWN, REFER TO LANDSCAPE DRAWINGS.
- ㉕ EXISTING COMMUNICATION DUCTING CONDUIT TO BE CONCRETE ENCASED WITHIN 1.0m OF STREET TREES AS PER TRULY REQUIREMENTS.
- ㉖ CITY OF VICTORIA TYPE A SEPARATED SIDEWALK DRIVEWAY CROSSING FOR EXISTING STORM.



