



515 FOUL BAY ROAD REZONING APPLICATION

Cover Sheet



Foul Bay Road
City of Victoria

MAY 09 2019

STUDIO53

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GYE + ASSOCIATES
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Drawings List

Architectural

- A1.0 Cover Sheet
- A1.1 Site Information
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- A1.3 Existing Site Plan
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- A2.1 Proposed Site Plan
- A2.2 Proposed Site Elevations
- A3.0 New House Floor Plans
- A3.1 New House Sections & Elevations
- A3.2 Perspective Views & Wall Elevations

Civil

- C01 Conceptual Servicing Plan

Landscape

- L1.01 Landscape Plan

Arboret
T.1 Tree Management Plan

EDWIN LANE
515 Foul Bay Road
Victoria, BC V8S 4G9
Lots 3 + A (DDC82174)
Section 68, Victoria District,
PLAN 12877



Title: Cover Sheet	
Scale:	File:
Date: May 6, 2019	Sheet #
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Reviewed:	

May 6th, 2019

The site is located at 515 Foul Bay Rd, in the Fairfield Gonzales Neighborhood. The neighborhood context offers:

- Close proximity to Margaret Jenkins Elementary School and the community centers of Fairfield Plaza and Oak Bay Ave.
- Close proximity to the ocean and parks such as the Abkhazi Gardens, Pemberton Park, Hollywood Park, Gonzales Hill Regional Park and the Chinese Cemetery.
- Shared site lines with an architecturally diverse community of neighboring homes of heritage.



Address: 515 Foul Bay Road, Victoria BC
 PID: 004-671-899
 Legal: Lot A(DD C82174), Section 68, Victoria, Plan 12877

Current Zone: R1-G Panhandle
 Proposed Zone: R1-G Panhandle (lot subdivision)
 Neighborhood: Gonzales



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Title: Site Information

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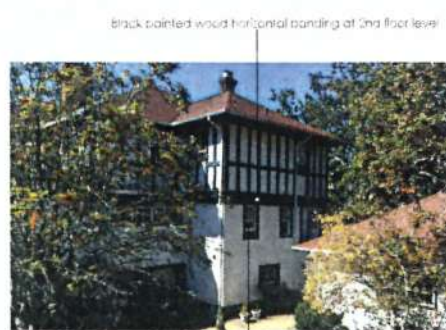
Existing Street Elevation



Proposed Street Elevation



Existing Mansion



Black painted wood horizontal banding at 2nd floor level



Large banked window fenestration in group of 4 in the habitable rooms

Widened Driveway Entry to 515 Foul Bay

Recessed balconies



Cantilevered projections

Single smaller window



White stucco

Stone cladding of front and rear of building

Above-grade balconies



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City of Victoria
Urban Services Division

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Title: Site Context + Existing Mansion	
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Foul Bay Road

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Title: Existing Site Plan

Scale: 1:200

File:

Date: May 6, 2019

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Reviewed:

For existing site servicing information please refer to
Conceptual Servicing Plan, sheet C01.

For complete elevation & tree information
please refer to legal survey attached, completed by:
Brad Cunnin Land Surveyor on May 30th, 2016.

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Existing Site Plan
Scale: 1:200





View from Mansion Looking North



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Section 68, Victoria District,

PLAN 12877



Title: Existing Site Views

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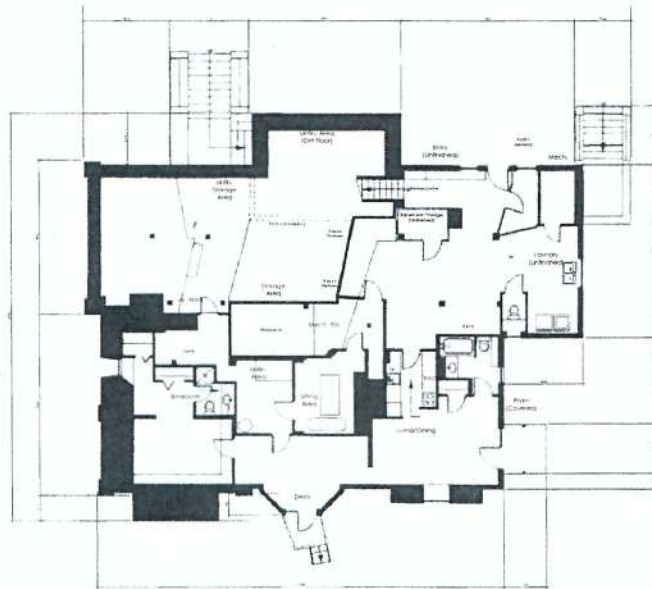
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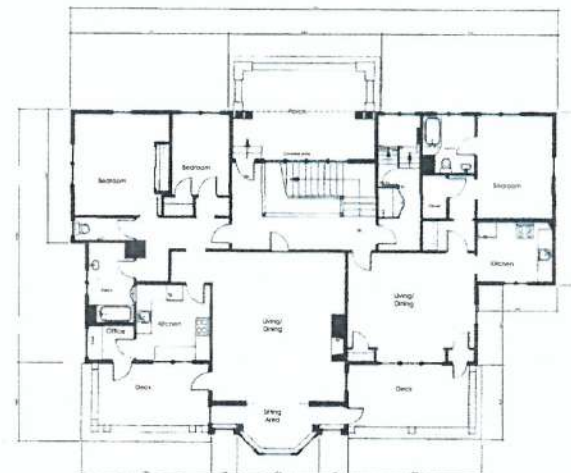
Foul Bay Road



Basement



Level 1



Level 2

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Planning File - 2019-01-10-1000
Design File - 2019-01-10-1000

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Title: Existing Mansion Floor Plans	
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515 Foul Bay Road

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Existing Mansion Elevation
North



Existing Mansion Elevation
West



Existing Mansion Elevation
East



Existing Mansion Elevation
South



MAY 09 2019

PLANNING DEPARTMENT
CITY OF VICTORIA

Existing Mansion Elevations
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Title: Existing Mansion Elevations

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Date: May 6, 2019

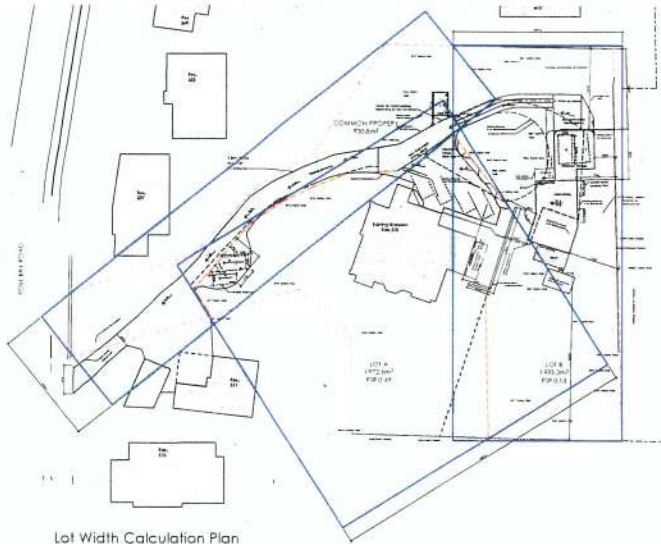
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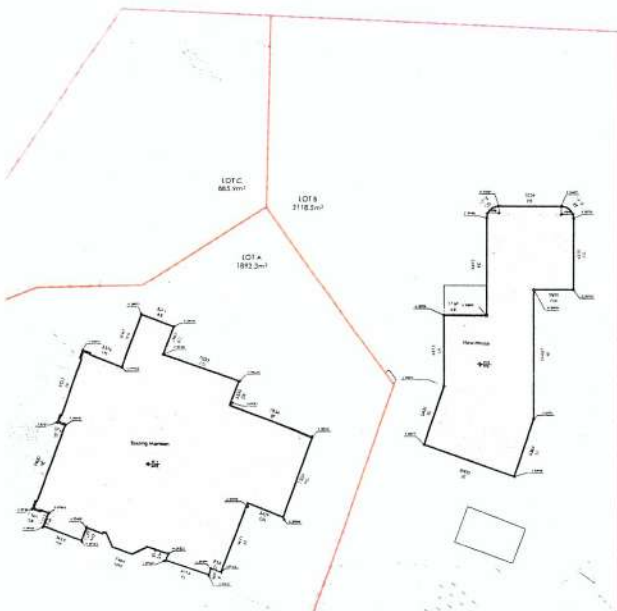
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Reviewed:

515 Foul Bay Road



Lot Width Calculation Plan



Average Grade Calculation Plan

PROJECT INFORMATION TABLE				
	PROPOSED			NOTES
	LOT A	LOT B	LOT C	
Zone	new zone	new zone	new zone	*1-G / Fanchasde Existing Zone
Site Area (m ²)	1972.6	1973.3	1970.8	
Lot width (m)	40.2	32.6	21.8	
Total Floor Area (m ²)	772.3	243	n/a	
Floor space ratio	0.39	0.12	n/a	
Height of building (m)	11.6	7.58	n/a	
Number of storeys	3	2	n/a	
Average Grade (m)	29.43	30.39	n/a	
Setbacks (m)				
Front Yard	0	2.32	n/a	
Eaves	0.64	0.2	n/a	* associated on elevations
Rear	5.38	4	n/a	
Side (N)	2.54	15.45	n/a	
Side (S)	25.89	31.89	n/a	
Combined Side yards	28.43	47.34	n/a	
Site Coverage (%)	16.2	8.7	n/a	
Open Site Space (%)	10	83.2	43.85	
Open Site Space Front Yard	0	15.77	n/a	
Parking Stalls	8	2	1	
Parking Location	on-site	on-site	on-site	
Bicycle parking	3	n/a	n/a	
Driveway Slope (%)	8	5	18	
Driveway Material	permeable	permeable	existing asphalt/new permeable	
Residential Use Details				
Total number of Units	5	1	n/a	
Unit Type	Multi-family	Single Family Home	n/a	
Ground-Oriented units	no	yes	n/a	
Minimum Floor Area	n/a	243	n/a	
Total Residential Floor Area	772.3	243	n/a	
Fire Protection	Existing building to remain unchanged	Proposed building to be constructed	n/a	

Lot A - Unit Areas and Parking Calculation					
Unit	Area (m ²)	Required Vehicle Parking Spaces	Comments (see per Schedule C, Table 2)	Required Long Term Bicycle Parking	Comments (see per Schedule C, Table 2)
Garden Apartment	10.33	1		1.25	
Library Suite	95.39	1	*Multiple Dwelling/Apartments (see area more than 100m ²)	1.25	
Orchid Suite	137.7	1		1.25	
Salisbury Suite	97.15	1		1.25	
Garden View	14.43	0.6	*Multiple Dwelling/Apartments (see area 40m ² to 100m ²)	1.25	
Total	454.3	6.6		6.25	
		5	Required parking stalls	7	Long Term Bicycle spots
				8	Short Term Bicycle spots

AVERAGE GRADE CALCULATION									
MANION					HOUSE				
Point	Elevation (mm)	Average	Length (mm)	Factor	Point	Elevation (mm)	Average	Length (mm)	Factor
A	28123	28983	3011	87267813	A	30328	30414	3768	114599932
B	29043	29282.5	2683	78564947.5	B	30500	30451	8493	258620343
C	29322	29578	7033	308022074	C	30402	30426	1712	52099312
D	29434	29677.5	2320	68851800	D	30450	30573.8	5554	169805219
E	29721	29880.5	7836	234143598	E	30497	30713.5	1712	52581512
F	30040	29947	7550	226097850	F	30730	30732.5	6310	193922075
G	29854	29878.5	3429	102453376.5	G	30735	30664.5	3500	107325750
H	29103	29606.5	6679	197741813.5	H	30594	30663.5	11427	350291815
I	29310	29304.5	918	26842922	I	30733	30787.5	5364	165144150
J	29299	29269.5	589	17239735.5	J	30842	30456.5	8500	260560250
K	29240	29250	4014	117409500	K	30471	30498	5431	165634638
L	29240	29291.5	614	17984981	L	30525	30426.5	6372	193877658
MA	29333	29472.5	7444	219982740	A	30328			
NI	29122	29518	1249	36867982					
O	29414	29378.5	3624	106467684					
P	29343	29354	1225	35758650					
Q	29245	29342.5	1340	39318950					
R	29320	29932.5	7900	236464750					
S	30545	30633	574	17583342					
T	30721	30128	6332	196794096					
U	29335	29640	3576	105992640					
V	29745	29360	5067	148767120					
A	28975								
		Perimeter	Factor Sum						
		43179	127596435						
			Average Grade						
			29534.7						



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Title: Project Data Summary	
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Date: May 6, 2019	Sheet #
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PLAN A

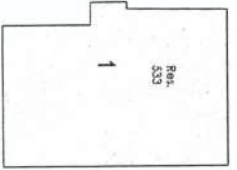
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PLAN

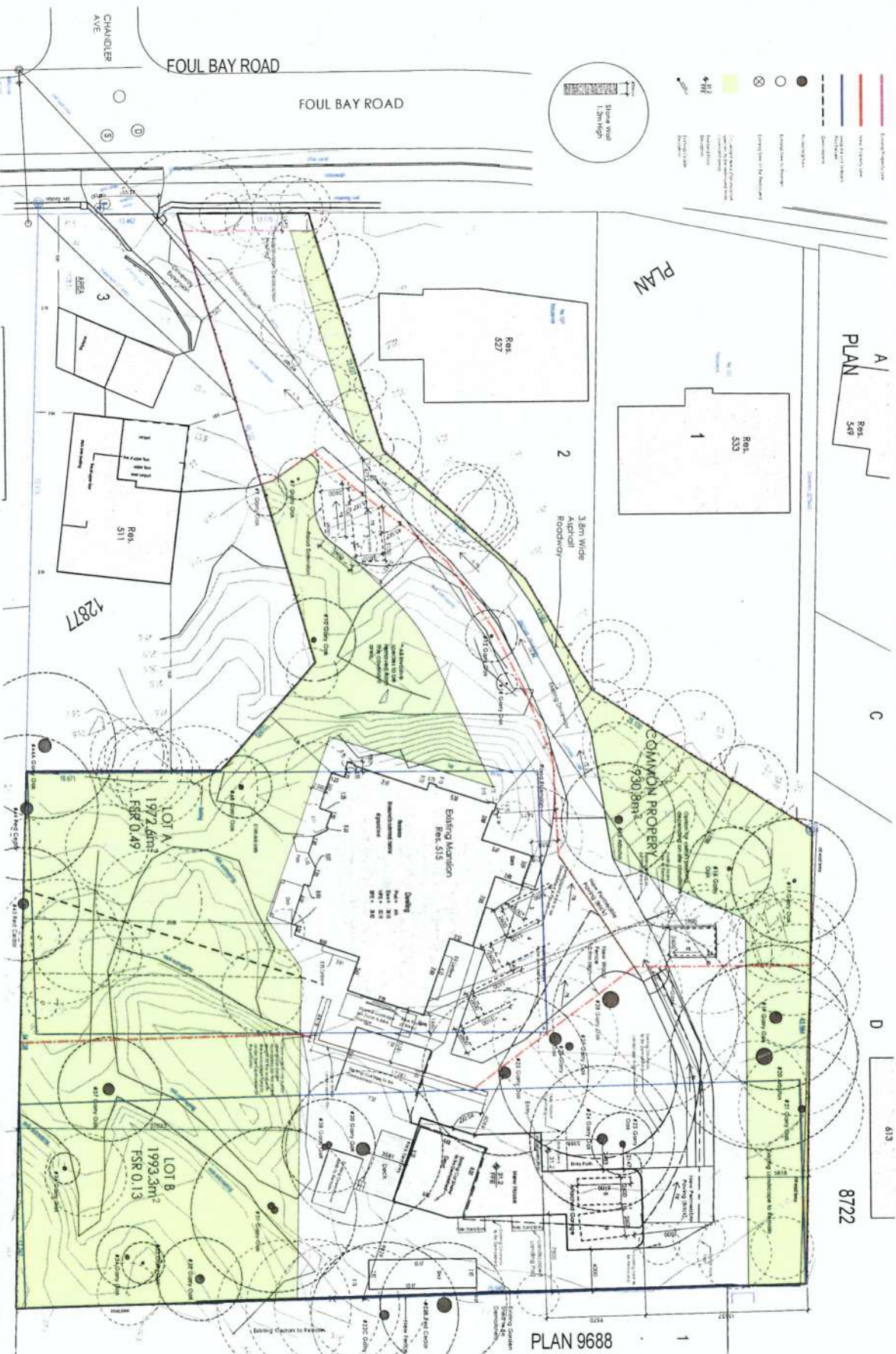


2

3.8m Wide
Apparel
Roadway

Res. 527

PLAN 9688



- Property Boundary Line
- Street Right-of-Way
- Proposed Lot Boundary
- Setback Line
- Utility Line (10m Buffer)
- Utility Line (15m Buffer)
- Utility Line (20m Buffer)
- Utility Line (25m Buffer)
- Utility Line (30m Buffer)
- Utility Line (35m Buffer)
- Utility Line (40m Buffer)
- Utility Line (45m Buffer)
- Utility Line (50m Buffer)
- Utility Line (55m Buffer)
- Utility Line (60m Buffer)
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- Utility Line (70m Buffer)
- Utility Line (75m Buffer)
- Utility Line (80m Buffer)
- Utility Line (85m Buffer)
- Utility Line (90m Buffer)
- Utility Line (95m Buffer)
- Utility Line (100m Buffer)



Proposed Site Plan
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Title: Proposed Site Elevations	
Scale: 1:200	File:
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Site Elevation
West



Site Elevation
North

Proposed Site Elevations
Scale: 1:200

City of Victoria

2019 05 08 2019

Planning and Development Department
Regulatory Services Division



Title: New House Floor Plans

Scale: 1:100

File:

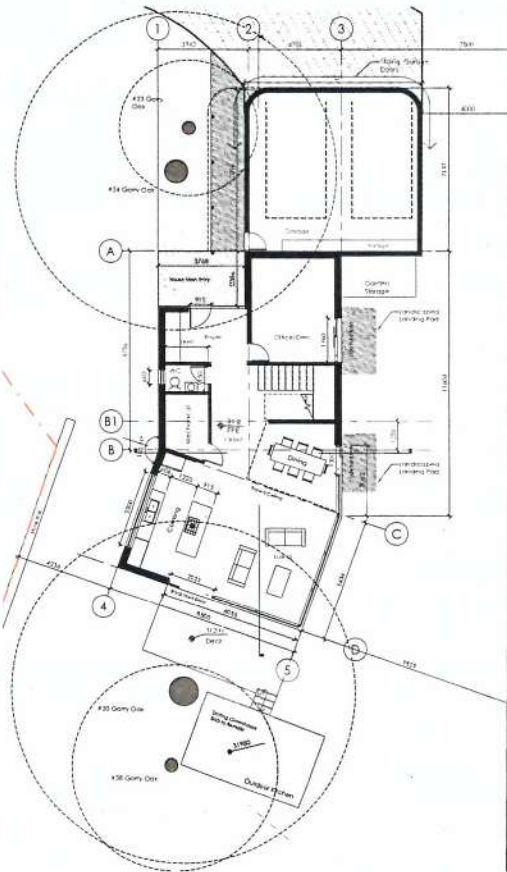
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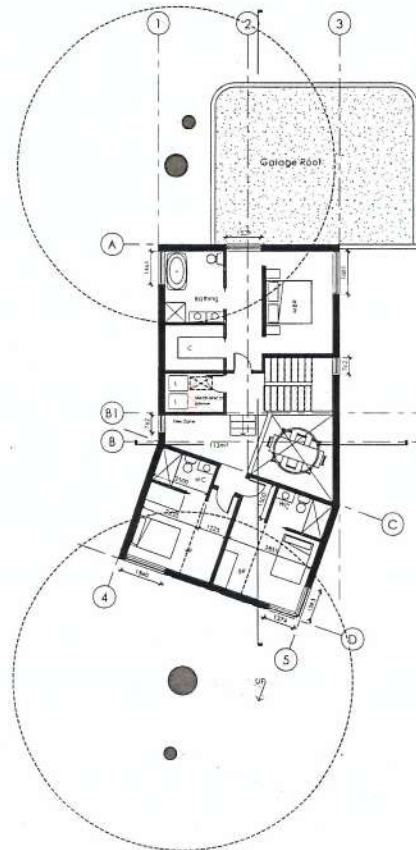
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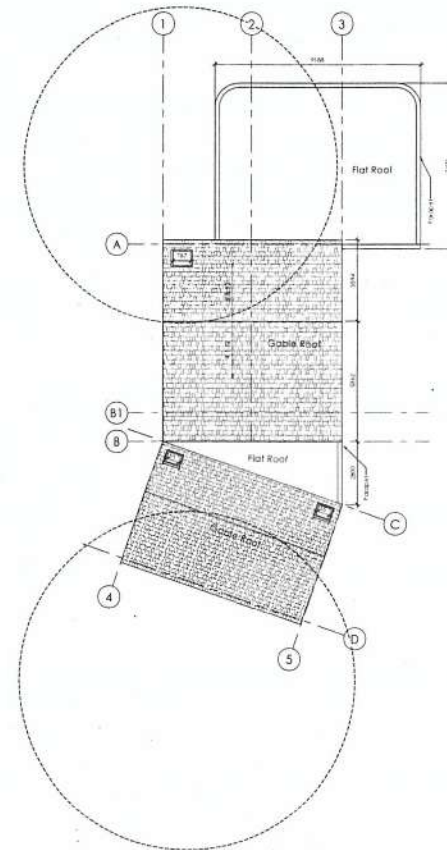
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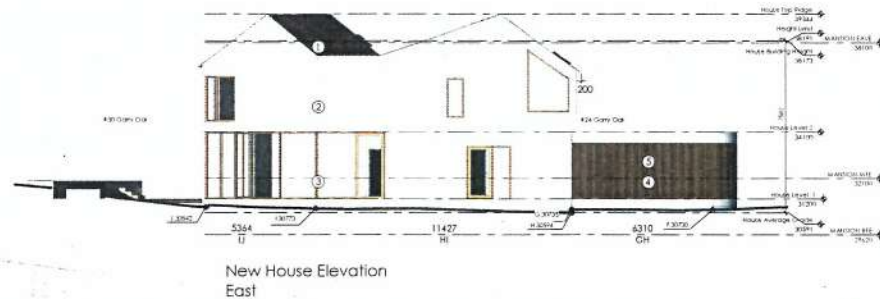
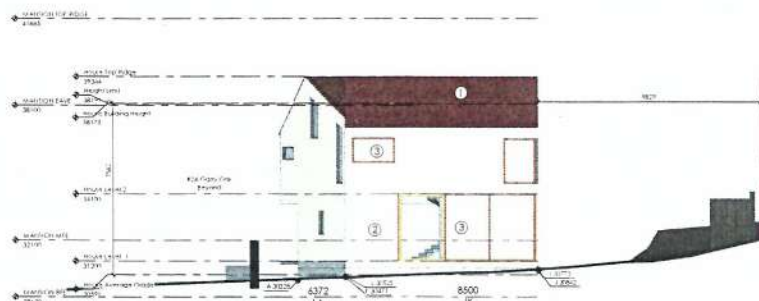
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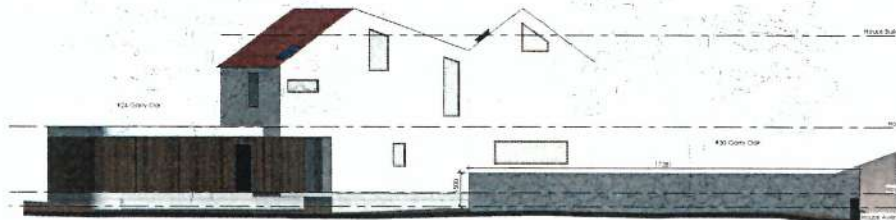


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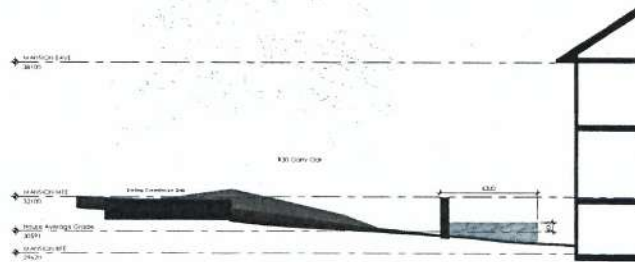


Roof





Wall Elevation West



Retaining Wall Elevation North



House West View



House South West View



House South East View

STUDIO53

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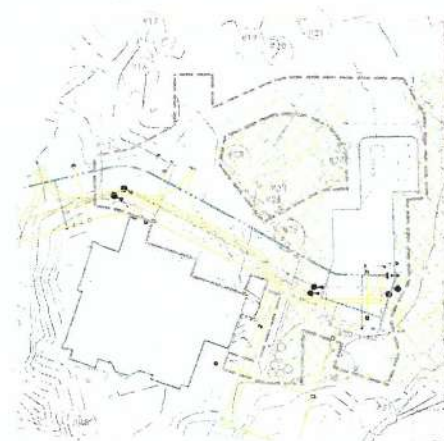
Arborist
GYE + ASSOCIATES
Urban Forestry and Arboriculture
Jeremy Gye
Email: jgye@gyeandassociates.ca
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EDWIN LANE
515 Foul Bay Road
Victoria, BC V8S 4G9
Lots 3 + A (DDC82174)
Section 68, Victoria District,
PLAN 12877



Title: Perspective Views & Wall Elevations

Scale:	File:
Date: May 6, 2019	Sheet #
Drawn:	A3.2
Reviewed:	



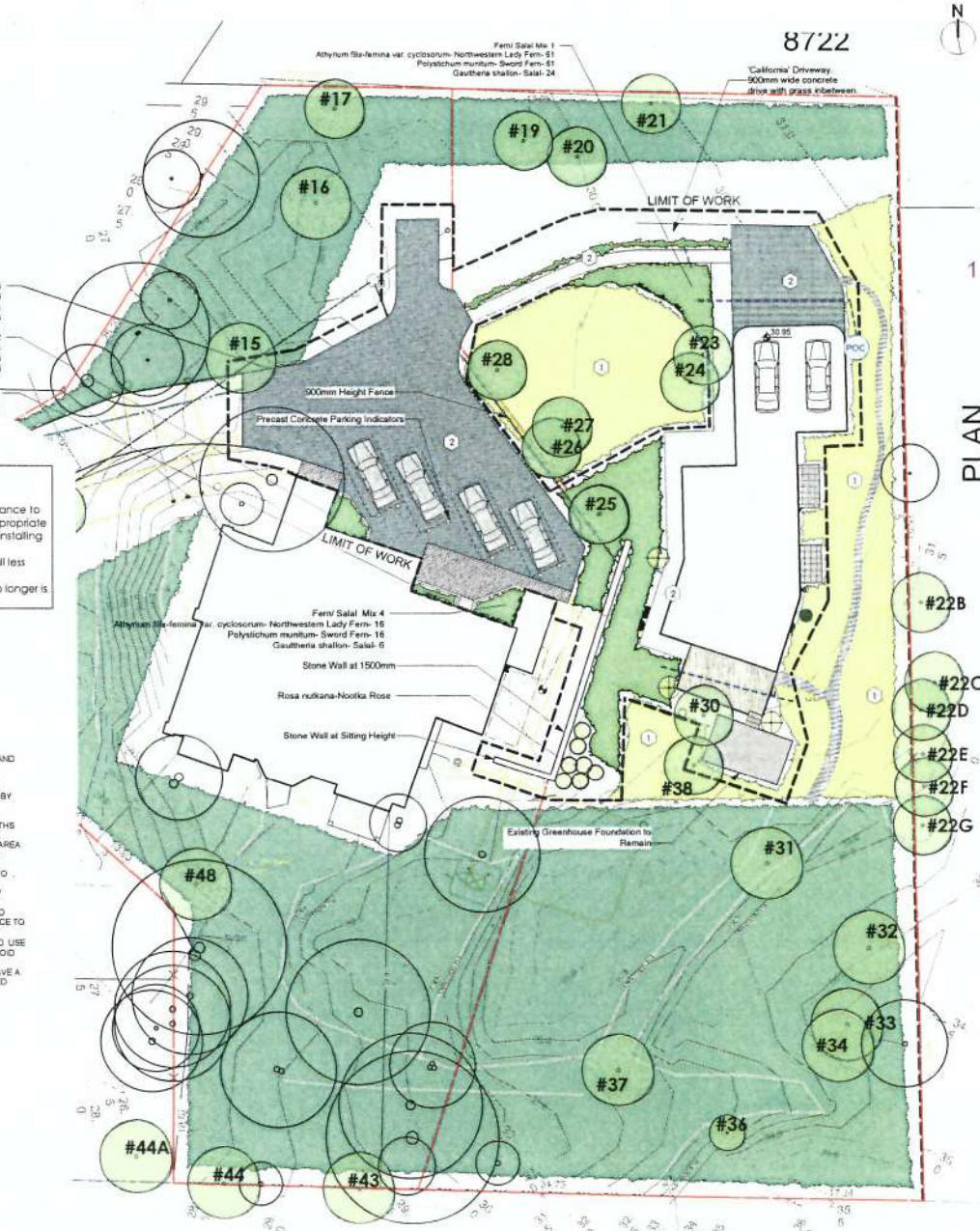
Areas to be irrigated



- (1) Minimize disturbance to all vegetation including grassy areas. All disturbance to grassy areas shall be rehabilitated with approved growing medium and appropriate seed mix. Do not irrigate this landscape area. Minimize disturbance when installing irrigation system.
- (2) Grades of new pavements to meet and match existing. Pathways are at least than 5% slope.
- (3) All construction laydown areas shall occur on disturbed substrate that no longer is vegetated. Laydown areas shall be approved by Contract Administrator.

INSTALLATION NOTES:

- 1. CONTRACTOR TO SUPPLY AND INSTALL A PERMANENT DESIGN BUILT IRRIGATION SYSTEM FOR ALL PLANTING AND OVERSEED AREAS TO CURRENT IASB STANDARDS AND CONTRACT SPECIFICATIONS.
- 2. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AS PER IASB STANDARDS TO THE LANDSCAPE ARCHITECT REVIEWED BY LANDSCAPE ARCHITECT OR ARBORIST PRIOR TO INSTALLATION.
- 3. SLEEPERS SHALL BE INSTALLED AT THE NECESSARY DEPTHS TO SUPPORT PAVEMENT CONSTRUCTION. SLEEPING SHALL EXTEND 300MM FROM EDGE OF PAVING INTO PLANTING AREA. SLEEPERS SHALL BE VERIFIED ABOVE GRADE UNLESS OTHERWISE INDICED.
- 4. CONTRACTOR TO MARK PRESSURE AND FLOW PRIOR TO INSTALLATION OF IRRIGATION AND NOTIFY CITY ENGINEER OF ANY CHANGES IN THE SYSTEM. ANY ADVERSELY AFFECTS THE OPERATION OF THE SYSTEM.
- 5. CONTRACTOR TO FIELD FIT IRRIGATION SYSTEM AROUND EXISTING VEGETATION AND SHALL MINIMIZE DISTURBANCE TO ROOT SYSTEMS.
- 6. OVER SPRAY ON HARDSCAPE AREAS TO BE MINIMIZED. USE OF OVER SPRAY WITHIN SMALL PLANTINGS AREAS TO AVOID OVERSPRAY.
- 7. EXISTING VEGETATION (GRASSY CARP MOWDASH) SHALL HAVE A 10% REMOVAL RATE TO ALLOW FOR NEW PLANTINGS TO BE SCHEDULED TO BE DEVELOPED WITH ARBORIST.
- 8. IRRIGATION PLAN SHALL BE DEVELOPED TO LIMIT DISTURBANCE TO EXISTING CARP ROOTS AND MEADOW SPECIES.



8722



PLAN

NOT FOR CONSTRUCTION

8	Revised DP	19.05.03
7	Revised DP	19.02.03
6	Revised DP	18.07.02
5	For Review	18.07.02
4	CALUC	17.07.02
3	Revised DP	17.03.02
2	Revised DP	16.12.01
1	Dev Permit	16.10.01
rev no	description	date



client
ALPHA PROJECT DEVELOPMENTS
400-931 FORT STREET
VICTORIA, BC

project
515 FOUL BAY ROAD
VICTORIA, BC

sheet title

Landscape Plan

project no.	116.1
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scale	1.15
drawn by	1

checked by	JW/Pd
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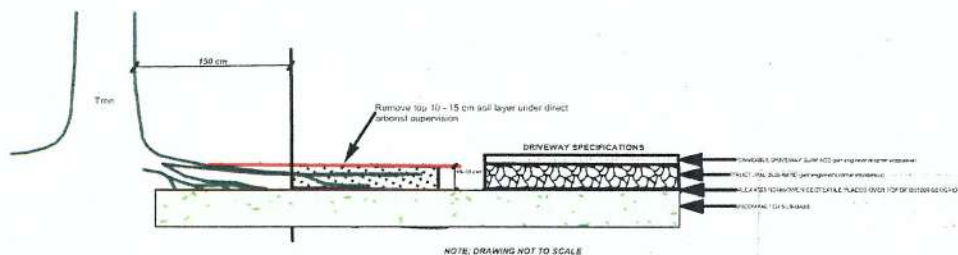
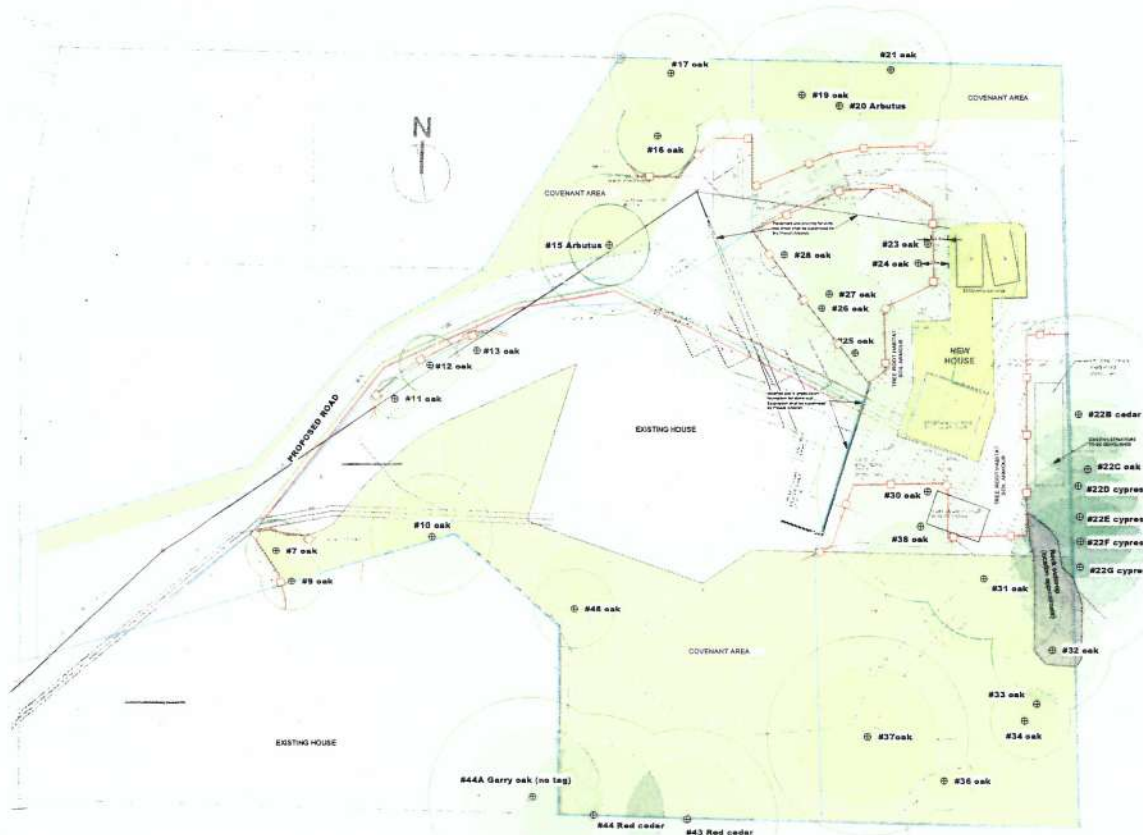


Fig-1 Cross-section detail of driveway and parking construction within sensitive tree areas

TREE TABLE										
GAA Tree ID	Common Name	DBH (mm)	Protected Root Zone Radius (m)	Crown Radius (m)	Health (Good, Fair, Poor)	Structural Condition (Good, Fair, Poor)	Bylaw Protected Tree?	Comments / Notes	Action	
7	Garry oak	16	3	3	Good	Good	Yes		RETAIN	
8	Garry oak	12	2	2	Good	Good	Yes	Boundary tree	RETAIN	
10	Garry oak	32	6	6	Fair	Fair	Yes		RETAIN	
11	Garry oak	16	3	3	Good	Fair	Yes	Under utility lines	RETAIN	
12	Garry oak	16	3	3	Good	Fair	Yes	Under utility lines, enclosed bark	RETAIN	
13	Garry oak	16	3	3	Good	Fair	Yes	Under utility lines	RETAIN	
15	Arbutus	38	7	4	Poor / Fair	Poor / Fair	Yes	Large from oak, under utility lines	RETAIN	
16	Garry oak	24	4	4	Good	Fair	Yes		RETAIN	
17	Garry oak X3	32/24/24	3	5	Fair	Fair	Yes		RETAIN	
19	Garry oak	80	11	5	Good	Fair	Yes	Two large trees above, debris isolated bark	RETAIN	
20	Arbutus	118	21	8	Good	Good	Yes	Included electrical cord	RETAIN	
21	Garry oak	36	5	4N13.3W56	Fair	Fair	Yes		RETAIN	
22B	Red cedar	66	10	6	Good	Good	Yes	Off-site tree, No tag	RETAIN	
22C	Garry oak	62	9	7	Good	Good	Yes	Off-site tree, No tag	RETAIN	
22D	Monterey cypress	68	8	6	Good	Good	No	Off-site tree, No tag	RETAIN	
22E	Monterey cypress	46	7	6	Good	Good	No	Off-site tree, No tag	RETAIN	
22F	Monterey cypress	48	9	7	Good	Good	No	Off-site tree, No tag	RETAIN	
22G	Monterey cypress X3	48/32/45	9	7	Good	Fair	No	Off-site tree, No tag	RETAIN	
23	Garry oak	42	8	8	Good	Good	Yes		RETAIN	
24	Garry oak	70	13	4N16.5W106	Good	Good	Yes		RETAIN	
25	Garry oak	74	13	4N16.5W126	Good	Good	Yes		RETAIN	
26	Garry oak	71	13	4N16.5W106	Good	Good	Yes		RETAIN	
27	Garry oak	47	8	11N13.3W106	Good	Good	Yes		RETAIN	
28	Garry oak	104	19	12N16.5W106	Good	Fair	Yes		RETAIN	
29	Garry oak	76	14	10N16.5W106	Good	Fair	Yes		RETAIN	
31	Garry oak X2	42/39	8	2N16.5W106	Poor	Poor	Yes		RETAIN	
32	Garry oak X3	32/14/24	8	5	Poor	Poor	Yes		RETAIN	
33	Garry oak	16	3	2	Fair	Fair	Yes		RETAIN	
34	Garry oak	20	4	3	Fair	Fair	Yes		RETAIN	
36	Garry oak	14	3	1	Fair	Fair	Yes		RETAIN	
37	Garry oak	66	12	7	Good	Good	Yes		RETAIN	
38	Garry oak X2	38/34	6	1N16.5W145	Fair	Fair	Yes		RETAIN	
43	Red cedar	68	12	6	Good	Good	Yes	Boundary tree	RETAIN	
44	Red cedar	78	14	7	Good	Good	Yes	Boundary tree	RETAIN	
44A	Garry oak	80	16	7	Good	Good	Yes	Off-site tree, No tag	RETAIN	
48	Garry oak	22	4	5N13.3W145	Good	Fair	Yes		RETAIN	

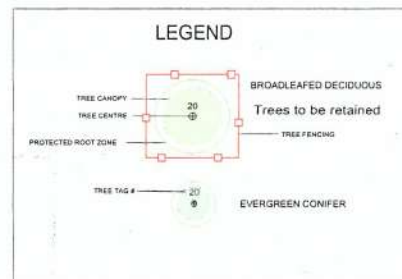
SUMMARY TREE STATISTICS	
CATEGORY	# OF TREES
Total number of trees indicated on drawing and table:	36
(On-site bylaw-protected trees)	26
(Boundary trees)	3
(Off-site trees)	7
Total number of bylaw-protected and off-site trees to be retained	36



Fig-2 East facing image of Oak 30



Fig-3 South facing image of Oak 24 (background)



TREE PRESERVATION MEASURES

- Before any site work commences, the general contractor shall meet with the arborist to review the Tree Protection Plan and associated measures.
- Tree fencing and soil amending shall be completed to the satisfaction of the project arborist and the City of Victoria before other site work commences and remain in good condition throughout the duration of the project. Modular steel fencing resistant to the ground with "knee" at all corners and every third panel is recommended.
- Temporary access within a TPA must be approved and supervised by the project arborist. This includes landscaping. The Landscape Architect and Landscape Contractor shall meet with the project arborist to review the landscaping work plan prior to any site preparation within the TPA.
- If it should prove necessary to reduce the tree fencing, the exposed TPA outside the fencing shall be amended with 10" (placed) or a temporary cover of geo-textile and 300mm of mulch, moisture-retentive with a place connector.
- All forms of disturbance to the protected trees or their habitat within the fenced protection areas (TPAs) is prohibited.
- Where buildings encroach into the root zone of protected trees, reinforced slab foundations will be amended above the tree root horizon and supported by dense pier footings secured to bedrock where possible. Excavation and grading for footings and foundations shall be supervised by the project arborist.
- No equipment, materials, waste products or excavated soil shall be placed or stored within the TPA. THIS PARTICULARLY INCLUDES HOARDING OF EXCAVATED SOILS NEEDED FOR BACKFILLING OF THE HOUSE FOUNDATION.
- The arborist shall be present to oversee excavation, service trenching, site grading, driveway reconstruction, staking, stump removal, utility emplacement and landscaping, or adjacent to the tree protection areas (TPAs). This includes the replacement of driveway and parking areas and the foundation for a modified building for the proposed store wall.
- Any damaged tree roots or branches shall be pruned back to undamaged tissue by the arborist.
- The vertical face of the excavation adjacent to the TPA shall be covered with heavy gauge plastic sheeting, securely fastened, to prevent soil degradation and erosion.
- The contractor and steering sub-contractor shall meet with the arborist to review the steering plan prior to drilling. Modified building plans or sub-removal techniques shall be utilized where considered necessary by the arborist to minimize steering impacts to protected trees.
- Procedure for blocking new tree root zones:
 - The steering contractor shall work with the arborist to develop a steering plan and being tested to ensure the steering impacts to protected trees.
 - "Tree-steering" shall be used in place of steering for rock removal in sensitive tree areas at the direction of the project arborist.
 - Steering vibrations in the vicinity of the Tree Protection Areas are not to exceed a peak particle velocity of 25 mm/sec.
 - Use DYNAMITE as the explosive product. No fertilizer-based explosive is permitted due to its toxicity to tree roots.
 - The contractor shall prevent root damage from the blast site from eroding the TPA.
- In areas where the root zone of the tree has been retained by excavation or rock removal, the remaining area shall be topsoiled with 10cm of top soil much for the duration of the build.
- Retained trees shall be inspected twice weekly during the dry summer period to a minimum effective depth of 30cm.
- The new driveway and parking area will be constructed to bridge across the top of the tree root horizon, minimizing root loss. The root loss excavation for these elements shall be supervised by the arborist.
- The General Contractor, Landscape Contractor and Landscape Architect shall meet with the arborist to review the landscaping work plan prior to landscape construction or site preparation commencing. Potential impacts to sensitive tree habitat will be identified and measures provided to address or mitigate the impacts.
- The routing of the irrigation water supply to the various areas of distribution has been developed in consultation with the arborist to avoid tree root impacts.
 - The irrigation contractor shall meet with the arborist prior to developing a detailed irrigation layout design.
 - The irrigation layout design shall be reviewed and must be approved by the arborist prior to implementation.
 - The arborist shall supervise the watering associated with irrigation zones within sensitive areas.
- The Project Arborist shall regularly monitor the site during the site preparation, construction and landscaping phases to ensure ongoing and effective compliance with the tree protection measures specified in this tree plan and in private meetings with the General Contractor and relevant sub-contractors. Site inspection reports will be provided to the contractor and City of Victoria.
- A full-size all-weather copy of the Tree Plan shall be posted in the site office in plain site.
- A post-construction inspection and assessment of the site and protected trees shall be conducted by the Project Arborist in the company of the General Contractor. Any deficiencies will be identified. Once all deficiencies have been addressed to the satisfaction of the Project Arborist and the City of Victoria, a post-construction letter of completion will be prepared by the arborist and submitted to the City.



PROJECT
515 Foul Bay Rd,
Victoria, BC

SHEET TITLE
Tree Management Plan

1 1 2019

REV NO DESCRIPTION DATE

PROJECT NO 16-085

DATE February 5, 2019

SCALE 1:250

DRAWN BY JO

SHEET NO T - 1