



VIEW FACING WEST

NORR

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Calgary, AB Canada T2G 4Y5
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NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies

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Vince Smith, Architect, AAA, B Arch, MAIBC
Bruce S. Milliken, Architect, AAA, B Arch, MAIBC
A. Simon Bastien, Architect, AAA, B Arch, MAIBC
Adam Tolson, P. Eng., AFPEGA
Chris Fox, P. Eng., AFPEGA

MAISON VICTORIA SENIORS

1900 RICHMOND RD
VICTORIA, B.C.

APRIL 5, 2019

NORR JOB NO: NCCA-17-0221

milliken
DEVELOPMENTS
Perfectly Urban.

REVISED DEVELOPMENT PERMIT

DISCIPLINE (SURVEY)

POLARIS LAND SURVEYING INC.
PO BOX 261
BRENTWOOD BAY, BRITISH COLUMBIA, V8M 1R3

PHONE: 877 603 7198

DISCIPLINE (CIVIL)

McELHANNY CONSULTING SERVICES LTD.
200 858 BEATTY ST
VANCOUVER, BRITISH COLUMBIA, V6B 1C1

PHONE: 250 570 9221

DISCIPLINE (ARCHITECTURE)

NORR ARCHITECTS ENGINEERS PLANNERS
2300 - 411 1ST ST SE
CALGARY, ALBERTA, T2G 4Y5

PHONE: 403 264 4000

DISCIPLINE (LANDSCAPE)

LOMBARD NORTH GROUP (B.C.) INC.
836 CORMORANT ST
VICTORIA, BRITISH COLUMBIA, V8W1R1

PHONE: 250 386 1336

ARCHITECTURE

DP000 PROJECT COVER SHEET
DP001 SURVEY PLAN
DP101 SITE CONTEXT AND SHADOW STUDY
DP102 3D VIEWS
DP103 SITE PLAN AND PROJECT INFORMATION TABLES
DP104 SITE CIRCULATION, WASTE RECYCLING DETAILS

DP200 OVERALL PARKADE PLAN
DP201 PARTIAL PARKADE PLAN
DP202 OVERALL FLOOR PLAN LEVEL 01
DP203 PARTIAL FLOOR PLAN LEVEL 01
DP204 OVERALL FLOOR PLAN LEVEL 02
DP205 PARTIAL FLOOR PLAN LEVEL 02
DP206 OVERALL FLOOR PLAN LEVEL 03
DP207 PARTIAL FLOOR PLAN LEVEL 03
DP208 OVERALL FLOOR PLAN LEVEL 04
DP209 PARTIAL FLOOR PLAN LEVEL 04
DP210 OVERALL FLOOR PLAN LEVEL 05
DP211 PARTIAL FLOOR PLAN LEVEL 05
DP212 OVERALL FLOOR PLAN LEVEL 06
DP213 PARTIAL FLOOR PLAN LEVEL 06
DP214 OVERALL FLOOR PLAN LEVEL 07
DP215 PARTIAL FLOOR PLAN LEVEL 07

LANDSCAPE

L001 LANDSCAPE PLAN

DP101 EXTERIOR ELEVATIONS
DP102 EXTERIOR ELEVATIONS
DP103 EXTERIOR ELEVATIONS
DP104 EXTERIOR ELEVATIONS
DP105 EXTERIOR ELEVATIONS
DP401 BUILDING AND SITE SECTIONS

CIVIL

18 035 01 CONCEPTUAL SERVICE PLAN

Received
City of Victoria

MAY 01 2019

Planning & Development Department
Development Services Division DP00000-00



10 EXISTING SITE PHOTO FROM SOUTHWEST
DP101 NTS



11 SITE ZONING KEY PLAN
DP101 NTS



07 EXISTING SITE PHOTO FROM SOUTHEAST
DP101 NTS



08 EXISTING SITE PHOTO FROM NORTHEAST
DP101 NTS



09 EXISTING SITE PHOTO FROM WEST
DP101 NTS



04 SPRING EQUINOX SHADOW STUDY 10:00 AM
DP101 NTS



05 SPRING EQUINOX SHADOW STUDY 12:00 PM
DP101 NTS



06 SPRING EQUINOX SHADOW STUDY 2:00 PM
DP101 NTS



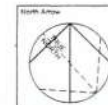
01 SUMMER SOLSTICE SHADOW STUDY 10:00 AM
DP101 NTS



02 SUMMER SOLSTICE SHADOW STUDY 12:00 PM
DP101 NTS



03 SUMMER SOLSTICE SHADOW STUDY 2:00 PM
DP101 NTS



DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D

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Project Component
Maison Victoria
Residential

Consultants
Civil: McPharney Consulting Services Ltd.
Landscape: Lombard North Group (B.C.) Inc.
Architecture: NORR Architects Engineers Planners

Scale:



Project Manager: D. Allen
Project Leader: C. Allen
Checked: C. Allen

Client:
MILLIKEN REAL ESTATE CORPORATION
1500-2485 BELLEVUE AVE
WEST VANCOUVER, B.C. V7V 1E1

Project:
MAISON VICTORIA
1500 RICHMOND RD
VICTORIA, B.C.
VER 4R2

Drawing Title:
SITE CONTEXT
ZONING PLAN
EXISTING SITE CONTEXT
PROPOSAL SHADOW STUDIES

Check Scale (may be photo reduced): 1 inch = 10m

Project No: NCCA-17-0221
Drawing No: DP101



DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D



03 VIEW FACING NORTH
DP102 NTS



04 PERSPECTIVE FACING EAST
DP102 NTS



01 PERSPECTIVE FACING NORTHWEST
DP102 NTS



02 DETAIL- MAIN ENTRY PORTE COCHERE
DP102 NTS



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Project Component
Maison Victoria
Resident

Consultants
Civil: McPherson Consulting Services Ltd.
Landscape: Landmark North Group Inc. Ltd.
Architect: NORR Architects Engineers Planners

Scale:

NORR

2000-4111-1st Street, Suite 100
Vancouver, BC V6J 1A1
www.norr.ca
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of 100+ Companies

Project Manager: C. Abernethy
Project Leader: C. Clark
Drawn: C. Clark
Checked: C. Abernethy

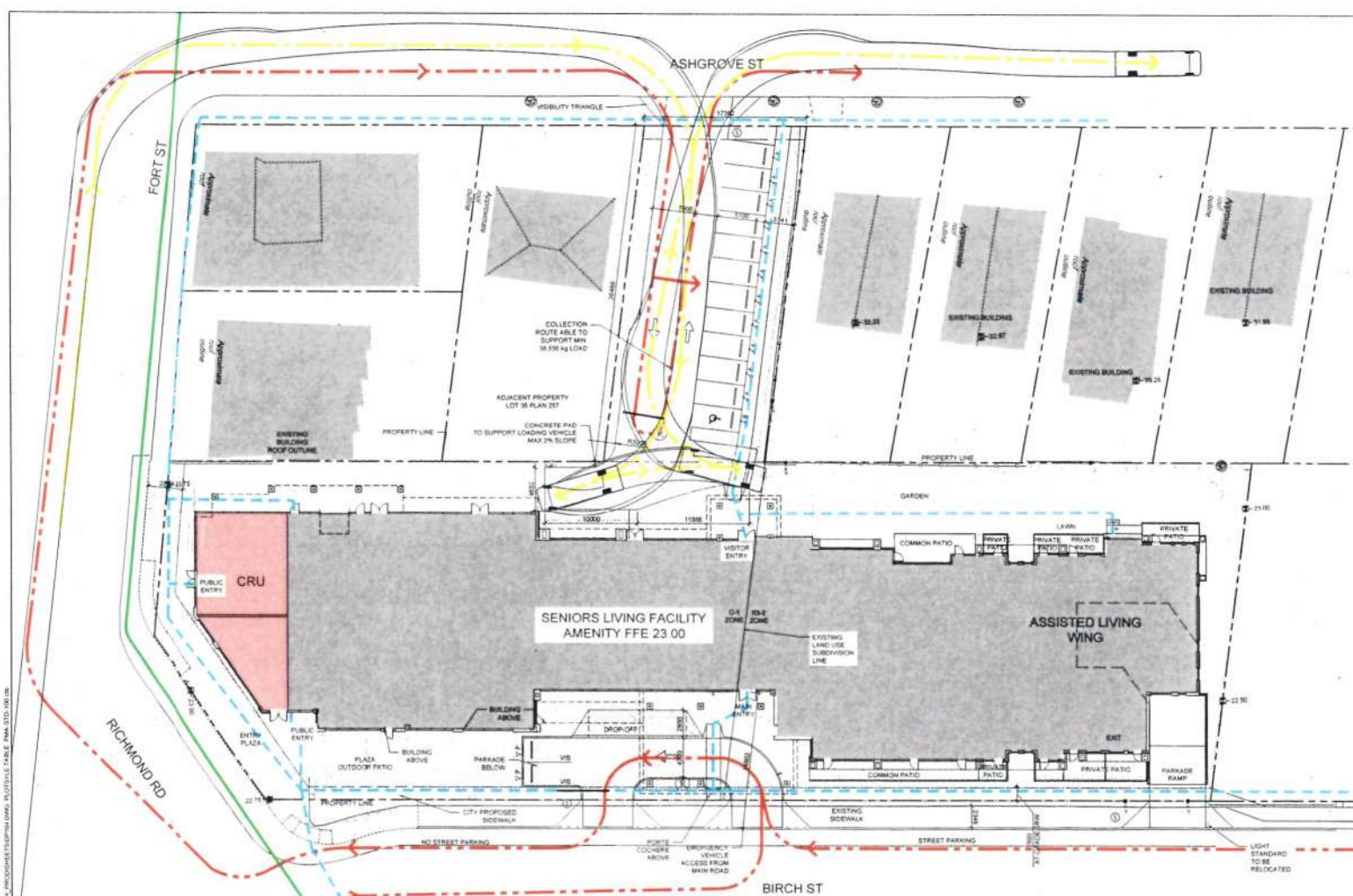
Client: MILLIKEN REAL ESTATE CORPORATION
1900 RICHMOND RD
VICTORIA, B.C.
V8R 4R2

Project: MAISON VICTORIA
1900 RICHMOND RD
VICTORIA, B.C.
V8R 4R2

Drawing Title: AERIAL IMAGERY
3D VIEWS

Check Scale (may be photo reduced): 0 10m

Project No: NCCA-17-0221
Drawing No: DP102

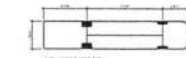


NOTES

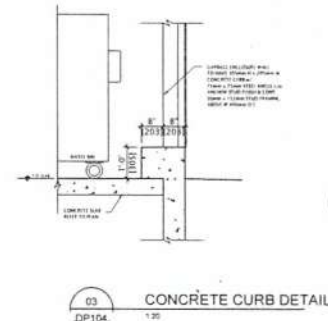
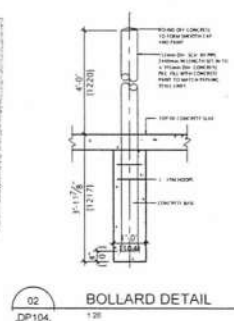
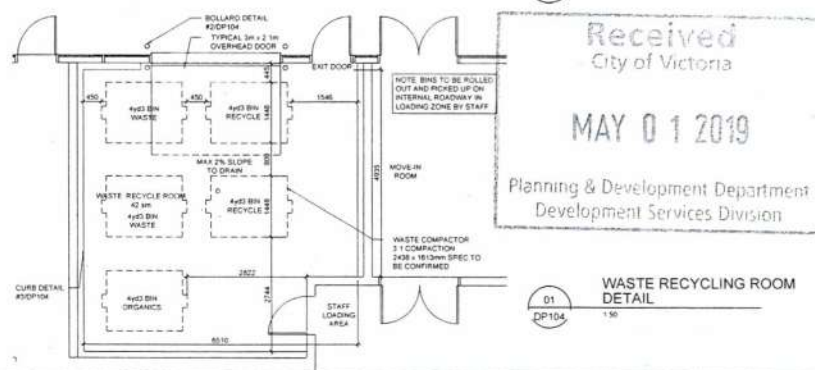
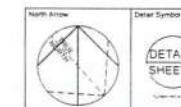
1. ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE WITHIN THE AREA CONCERNING THIS INCIDENT ARE SUBJECT TO VARIATIONS OF THE SUPERVISOR'S APPROVAL AND DISCRETION (11/1/19)
2. VEHICLE DRIVER AND MOVEMENT SHOWN FOR ROUTE IS WITH A STEERING ANGLE OF 12.00°
3. THE COLLECTION VEHICLE WILL NOT STOP OVER A PEDESTRIAN MOVEMENT CROSSING DURING COLLECTION OPERATIONS (AS EXCLUDED)
4. RELEVANT SUPERVISORY STAFF WILL TRANSFER THE RELEVANT MATERIALS AND WASTE CONTAINERS TO THE TRUCK AND STEERING OF THE COLLECTION AREA IN WASTE RECYCLING FROM BEING MECHANICALLY AVOIDED REFER TO THE MECHANICAL DRAWINGS
5. MINIMUM CLEARANCE FOR COLLECTION VEHICLE ALONG ROUTE IS 10.00°
6. TO CLARIFY, WASTE IS NOT BEING COLLECTED

- NOTES:
- 1) STANDARD LIGHTING EQUIPMENT TO ALL BUILDINGS EXCEPT OFFICES AND GARAGES (FACILITIES OVERHEAD AND BASE DOORS)
 - 2) MINIMUM LUX OF 10 TO SITE LIGHTING RATES OF 1 FOR PERMANENT (10 MINIMUM) AND 0.5 FOR OTHER AREAS REQUIRED
 - 3) ALL SITE AND EXTERIOR ILLUMINATED LIGHTING MUST MEET CITY OF VICTORIA LIGHTING STANDARDS
 - 4) ALL EXTERIOR ILLUMINATED LIGHT LOCATIONS REFER TO BUILDING EXTERIOR
 - 5) LIGHTING FIXTURE DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL SIZES AND DIMENSIONS TO BE CONFIRMED ONCE SPECIFIED
 - 6) DIMENSIONS BETWEEN EXTERIOR FACETS OF THE BUILDING AND THE PROPOSED LIGHT AND/OR REFLECTOR ONLY. ACTUAL SIZES AND DIMENSIONS TO BE CONFIRMED ONCE EXTERIOR MATERIAL SIZES SPECIFIED

WASTE & RECYCLING	
BINS / AREA REQUIRED	
1ST UNIT: 10' 3/4" x 41' 1/2" WASTE PRODUCED	
41' 1/2" x 41' 1/2" BINS / 10.28 BINS REQUIRED	
10.28 BINS x 9' 6" x 40' 6" ROOM SIZE	
1 COMPACTOR 2.5 TON (10' 2" x 10' 2" x 2' 42 1/4) BINS	
4 BINS x 9' 6" x 36' 6" ROOM SIZE	
BINS / AREA PROVIDED	
4 x 9' 6" BINS	
2 x 9' 6" x WASTE 1 x 9' 6" x RECYCLING 1 x 9' 6" x ORGANIC	
42 M ³ WASTE & RECYCLING ROOM PROVIDED	
66 M ³ STORAGE CLAYED AREA PROVIDED	



04 SU9 TRUCK DETAILS
DP104 1/200



DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D
2019-04-05	REVISED DEVELOPMENT PERMIT	E

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purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Fixed Component
Maison Victoria
Keyplan

Consultants	
Civil	McIlhenny Consulting Services Ltd
Landscape	Lombard North Group (B C) Inc
Architectural	Reur Architects Engineers Planners

Seal(s)

NORR

2000 AVE. 1st Street SE
Casper, WY 82401 733-6101
www.norr.com

WEIGHT LOSS AND FITTNESS PROGRAMS
A Partnership of 12 medical professionals

Project Manager C Abernethy	Drawn C Clark
Project Leader C Clark	Checked C Abernethy

MILLIKEN REAL ESTATE CORPORATION
#100-2459 BELLEVUE AVE
WEST VANCOUVER, B.C. V7V 1E1

Project
MAISON VICTORIA
 1900 RICHMOND RD
 VICTORIA, B.C.
 V8R 4R2

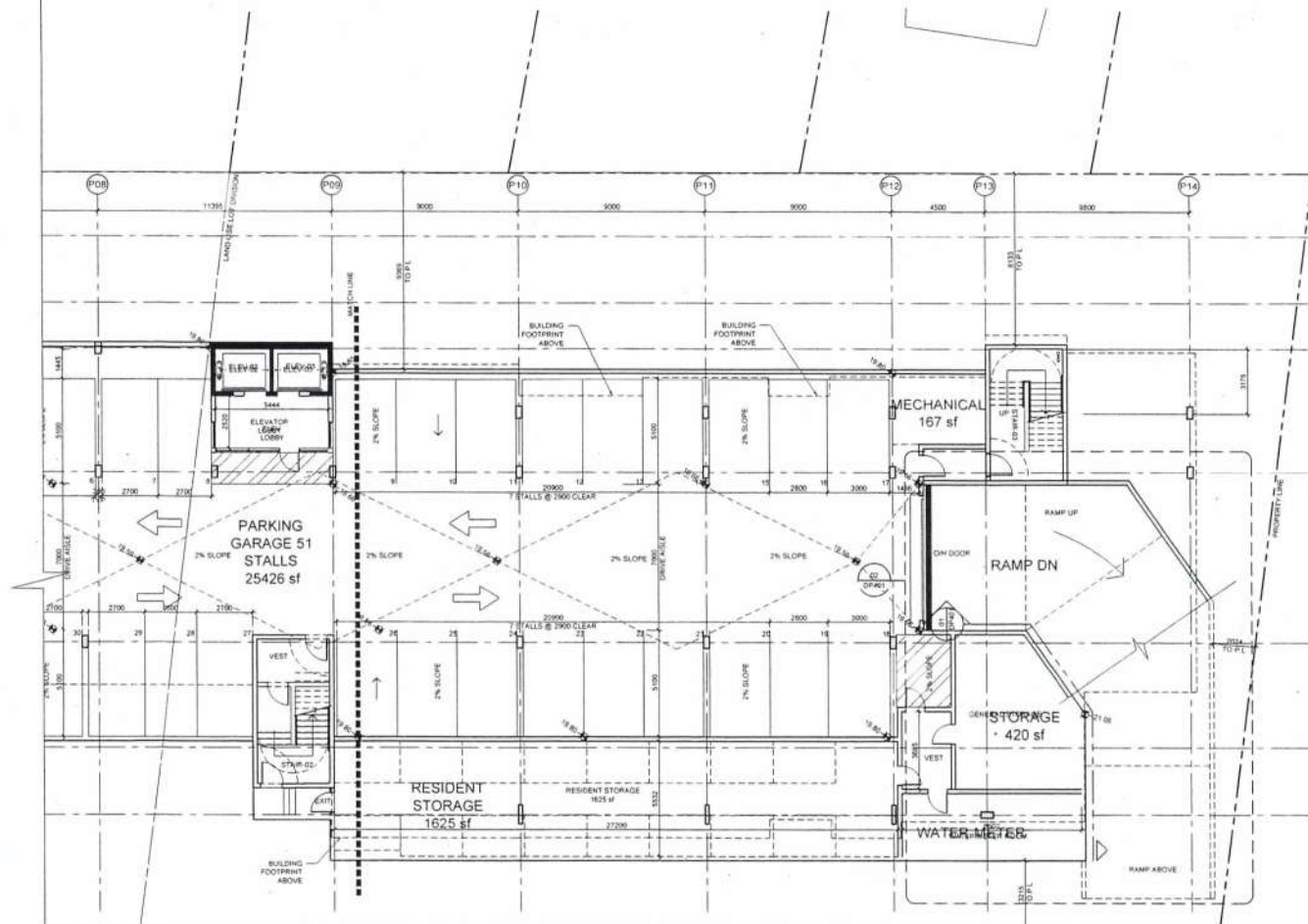
Drawing Title
SITE CIRCULATION WASTE
RECYCLING DETAILS

Check Scale (may be photo reduced)
0 1 inch 2 3 4 5 6 7 8 9 10

Project No. NCCA-87-0334

Drawing No: DP104

PLOT DATE: April 5, 2019 TIME: 2:38 PM FULL PATH AND FILE NAME: P:\MCCAT\0221-MAISON VICTORIA-ONCE-RESEARCH-PROPOSAL\DP201-DWG-LEVEL P1-NORTH.DWG PWA: STB: UNB



01 PARTIAL FLOOR PLAN LEVEL P1- NORTH
DP201 1:100

Received
City of Victoria
MAY 01 2019
Planning & Development Department
Development Services Division



DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D
2019-04-05	REVISED DEVELOPMENT PERMIT	E

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Project Commissioned
Maison Victoria
Client

Consultants
Civil: McElreath Consulting Services Ltd.
Landscape: Lombard North Group (B.C.) Inc.
Architectural: Nor Architects Engineers Planners

Scale(s)

NORR
2100 - 4711 - 1st Street West
Vancouver, BC V6P 4T1
www.norr.ca
NORR ARCHITECTS ENGINEERS PLANNERS
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Project Manager C. Abernethy	Drawn S. Clark
Project Engineer C. Clark	Checked C. Abernethy

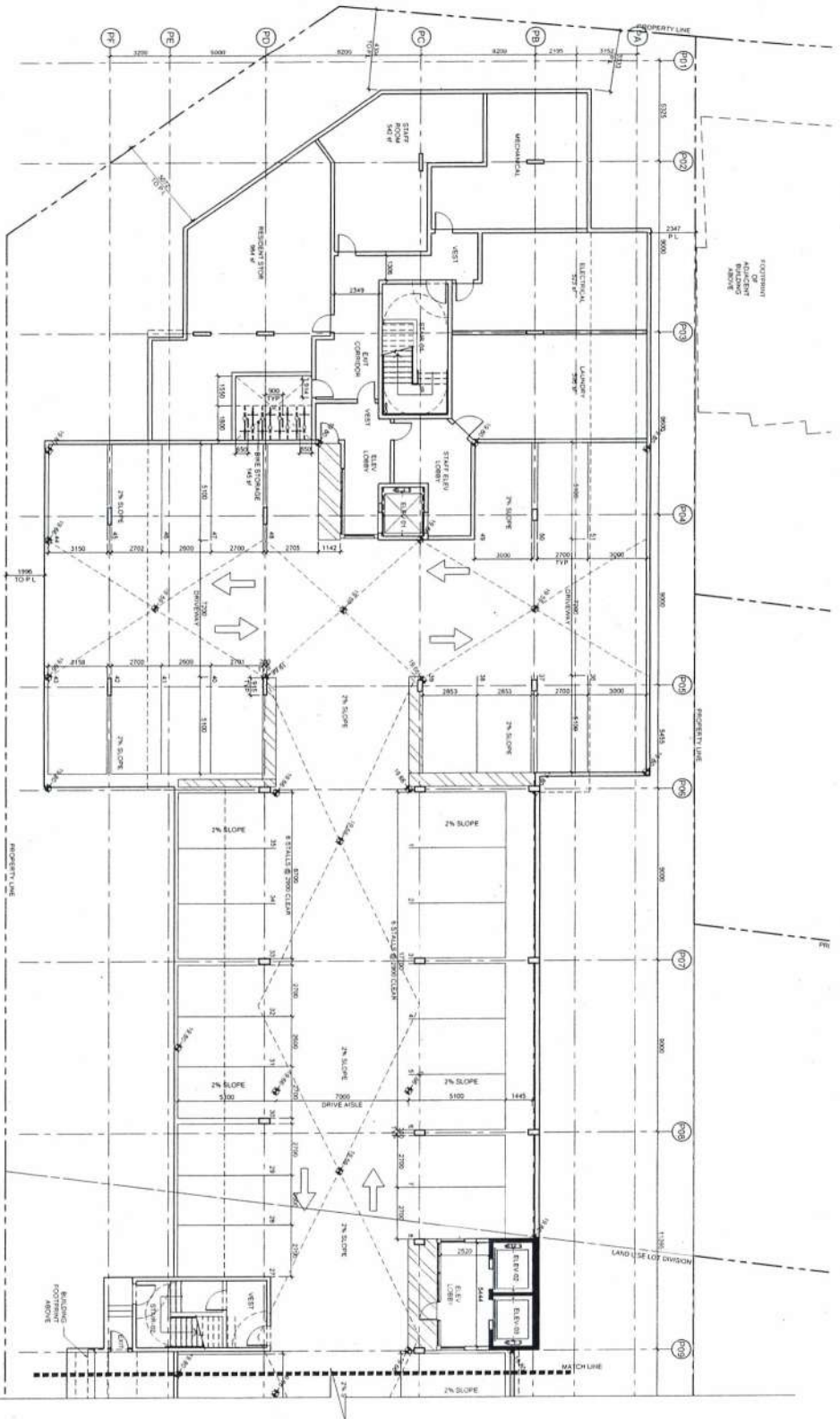
Client
MILIKEN REAL ESTATE CORPORATION
#100-2489 BELLEVUE AVE
WEST VANCOUVER, B.C. V7V 1E1

Project
MAISON VICTORIA
1900 RICHMOND RD.
VICTORIA, B.C.
V8R 4R2

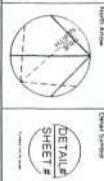
Drawing Title
PARTIAL FLOOR PLAN
LEVEL P1
NORTH

Check Scale (may be photo reduced)
Project No: NCCA-17-0221
Drawing No: DP201

01
DP202
1:100
PARTIAL FLOOR PLAN LEVEL P01 SOUTH



RECEIVED
CHARTERED
MAY 01 2019
Planning & Development Department
Development Services Division



DATE	ISSUED FOR	REV
2018.04.17	DEVELOPMENT PERMIT A	A
2018.04.17	DEVELOPMENT PERMIT B	B
2018.05.22	REVISED DEVELOPMENT PERMIT C	C
2018.05.15	REVISED DEVELOPMENT PERMIT D	D
2018.04.05	REVISED DEVELOPMENT PERMIT E	E

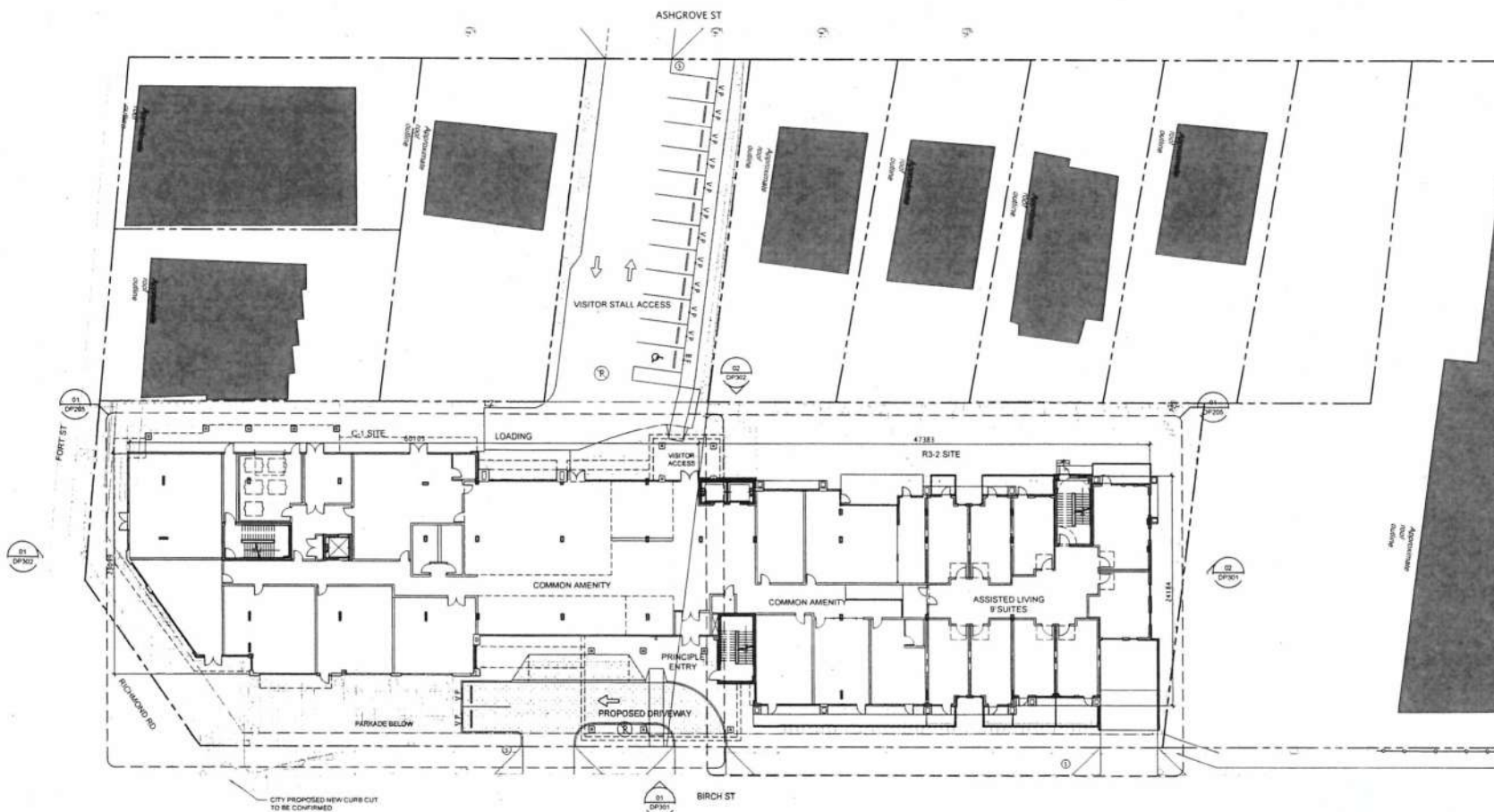
Client: MAISON VICTORIA 1920 RICHMOND RD VICTORIA, B.C. V8M 1K2	Project: MAISON VICTORIA 1920 RICHMOND RD VICTORIA, B.C. V8M 1K2	Partial Floor Plan LEVEL P01 SOUTH
--	---	--

Drawn: [Name] Checked: [Name] C-Check: [Name]	Client: [Name] Project: [Name] Location: [Name]
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Scale: 1:100 North Arrow: [Symbol] Drawing: [Symbol]	Notes: [Text]
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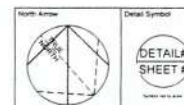
DP202

PLOT DATE: April 5, 2019 TIME: 2:30 PM FULL PATH AND FILENAME: P:\NCCA\17-0221-MAISON VICTORIA\000-000-000\ARCH-PROJ\SHEETS\DP203.DWG PLOT DATE: April 5, 2019



01
DP203
OVERALL FLOOR PLAN LEVEL 01
1:200

Received
City of Victoria
MAY 01 2019
Planning & Development Department
Development Services Division



DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D
2019-04-05	REVISED DEVELOPMENT PERMIT	E

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Project Component	Maison Victoria
Project	Residential

Consultants	McEwen Consulting Services Ltd. Cost Landscape Architecture
	Lombard North Group (B.C.) Inc. Non Architects Engineers Planners

SKANSKA

NORR
2100 4111 1st Street SE
Calgary AB Canada T2C 4T9
www.norr.ca
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
NORR ARCHITECTS
NORR ENGINEERS
NORR PLANNERS

Project Manager	Drawn
C. Alderson	C. Clark
Project Engineer	Checked
C. Clark	C. Alderson

Client
MILIKEN REAL ESTATE
CORPORATION
#100-2489 BELLEVUE AVE
WEST VANCOUVER, B.C. V7V 1E1

Project
MAISON VICTORIA
1500 RICHMOND RD
VICTORIA, B.C.
V8R 4R2

Drawing Title
OVERALL FLOOR PLAN
LEVEL 01

Check Scale (may be photo reduced)	0 10m
Project No	NCCA-17-0221
Drawing No	DP203

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Search

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Calgary, AB Canada T2C 2V5
www.ihc.ca

INTERNATIONAL HEALTH CARE
A Partnership of Limited Companies

Client
MILLIKEN REAL ESTATE
CORPORATION
#100-2489 BELLEVUE AVE
WEST VANCOUVER, B.C. V7V 1E1

Drawing Title
PARTIAL FLOOR PLAN
LEVEL 01
NORTH

Check Scale (may be photo reduced):

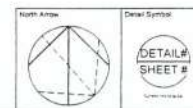
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Project No. NCCA-17-0221

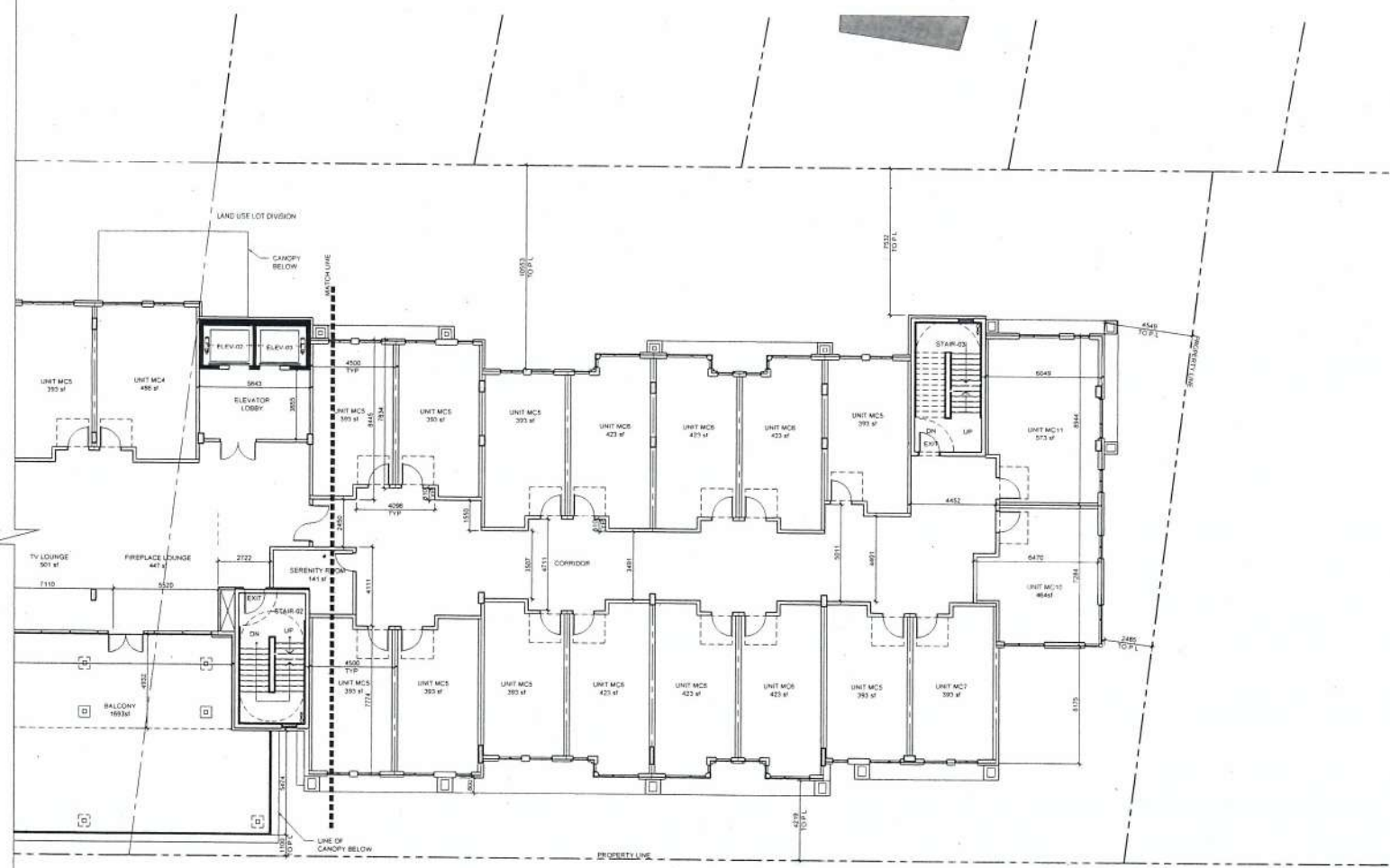
Drawing No. DP204



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City of Victoria
MAY 01 2019
Planning & Development Department
Development Services Division



FILED DATE: February 14, 2019 TIME: 10:28 AM BY: KATHY AND T. CLARKE # REG-017-0221 MAISON VICTORIA 100-2485 BELLEVUE AVE. VICTORIA B.C. V8R 4R2 PLAT/FILE NAME: PMA-570-19-01



01
DP207
PARTIAL FLOOR PLAN LEVEL 02- NORTH
1:100

Received
City of Victoria
MAY 01 2019
Planning & Development Department
Development Services Division



DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D
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Project Component Maison Victoria Residential		
Consultants Civil Landscape Architectural McShannley Consulting Services Ltd. Lombard North Group (B.C.) Inc. Norr Architects Engineers Planners		
Seals:		
NORR 2100 4111 1st Floor SE Vancouver, BC V6J 1Y1 www.norr.ca NORR is a registered professional corporation a member of the NORR Group of companies		
Project Manager C. Abernethy Project Leader C. Clark Client MILLIKEN REAL ESTATE CORPORATION 100-2485 BELLEVUE AVE WEST VANCOUVER, B.C. V8V 1E1 Project MAISON VICTORIA 100-2485 BELLEVUE AVE VICTORIA, B.C. V8R 4R2 Drawing Title PARTIAL FLOOR PLAN LEVEL 02 NORTH Check Scale (may be photo reduced) 1" = 100' Project No. NCCA-17-0221 Drawing No. DP207		



MAY 01 1969

Planning & Development Department
Development Services Division



Detail Symbol

DETAIL
SHEET

Drawing No. DP208

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Project Component	Marion Victoria
Keydon	

Consultants Civil Landscape Architectural	McElhanney Consulting Services Ltd. Lombard North Group (B/C) Inc. Non Architects Engineers Planners
--	---

Seals

NORR

2220 415 - 1st Street SE
Calgary, AB Canada T2D 0V8
www.norri.ca

NORRI ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies

10000 Macleod Trail S. Unit 1000
Calgary, Alberta T2C 0A8
Tel: (403) 243-8888 Fax: (403) 243-8889

10000 Macleod Trail S. Unit 1000
Calgary, Alberta T2C 0A8
Tel: (403) 243-8888 Fax: (403) 243-8889

Project Manager C. Abernethy	Drawn C. Clark
Project Leader C. Clark	Checked C. Abernethy

Client
MILLIKEN REAL ESTATE
CORPORATION
#100-2489 BELLEVUE AVE
WEST VANCOUVER, B C V7V 1E1

Project#
MAISON VICTORIA
 1900 RICHMOND RD
 VICTORIA, B C
 V8R 4R2

Drawing Title
OVERALL FLOOR PLAN
LEVEL 03

Check Source links for photo credits!

Project No.

Document No.

DP209



Circle 5 on Reader Service Card

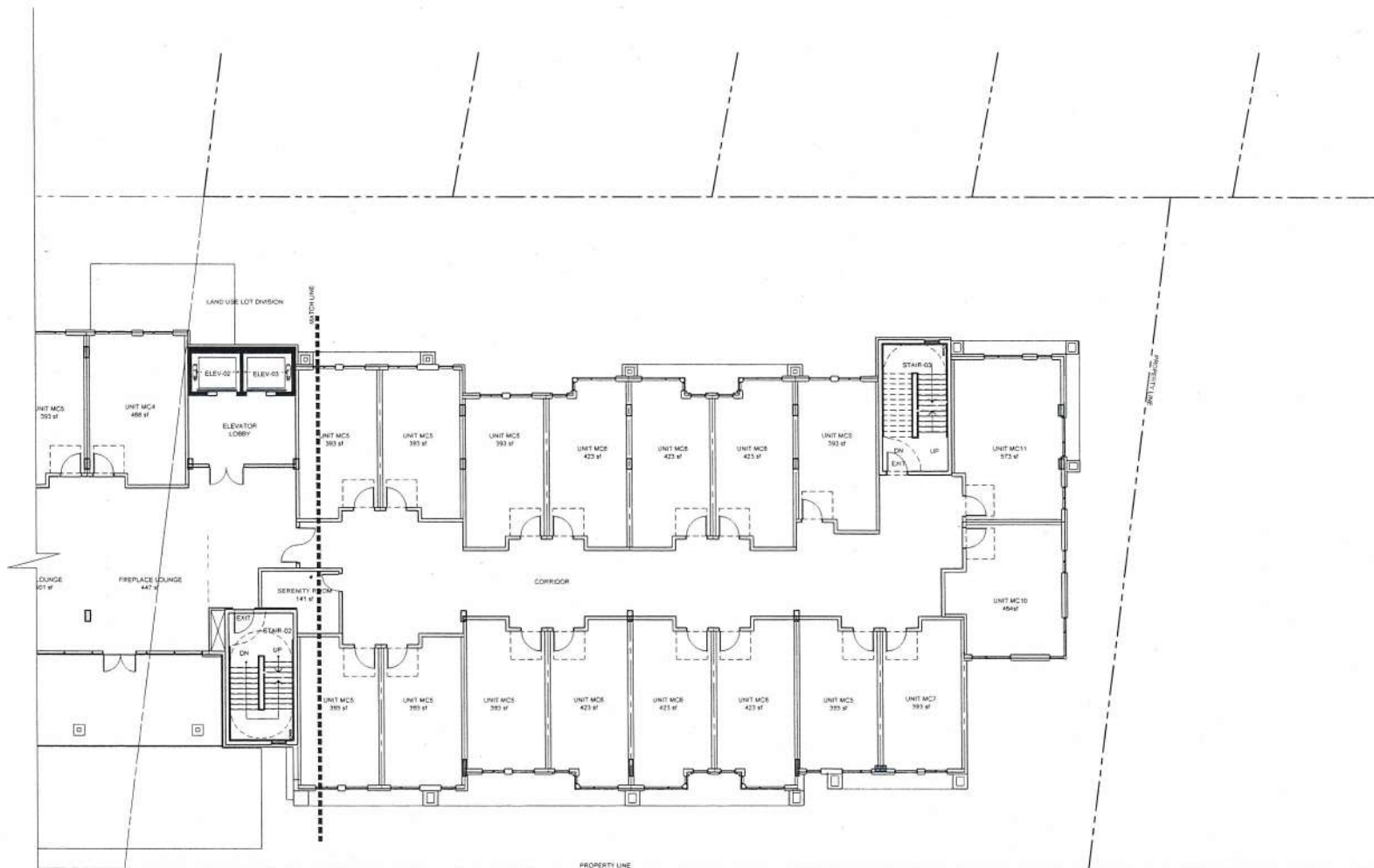
DETAILS
SHEET #

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Received
City of Victoria

MAY 01 2019

Planning & Development Department
Development Services Division



Received
City of Victoria

MAY 01 2019

Planning & Development Department
Development Services Division

DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D

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Project Component

Merson Victoria

Keyplan



Consultants	
Civil	McShannery Consulting Services Ltd
Landscape	Lombard North Group (B C) Inc
Architectural	Neil Architects Engineers Planners

Seas)

NORR

2390-411. LaSalle NE
Tappery, JF Canada 2390-411
mar 2000.

NBBB ARCHITECTS ENGINEERS PLANNERS
A Partnership of 11 member companies

Project Manager C. Abernombie	Drawn C. Clark
Project Leader C. Clark	Checked C. Abernombie

Client
MILLIKEN REAL ESTATE
CORPORATION
#100-2489 BELLEVUE AVE
WEST VANCOUVER, B C V7V 1E1

Project
MAISON VICTORIA
1900 RICHMOND RD
VICTORIA, B C
V8R 4R2

Drawing Title
PARTIAL FLOOR PLAN
LEVEL 03
NORTH

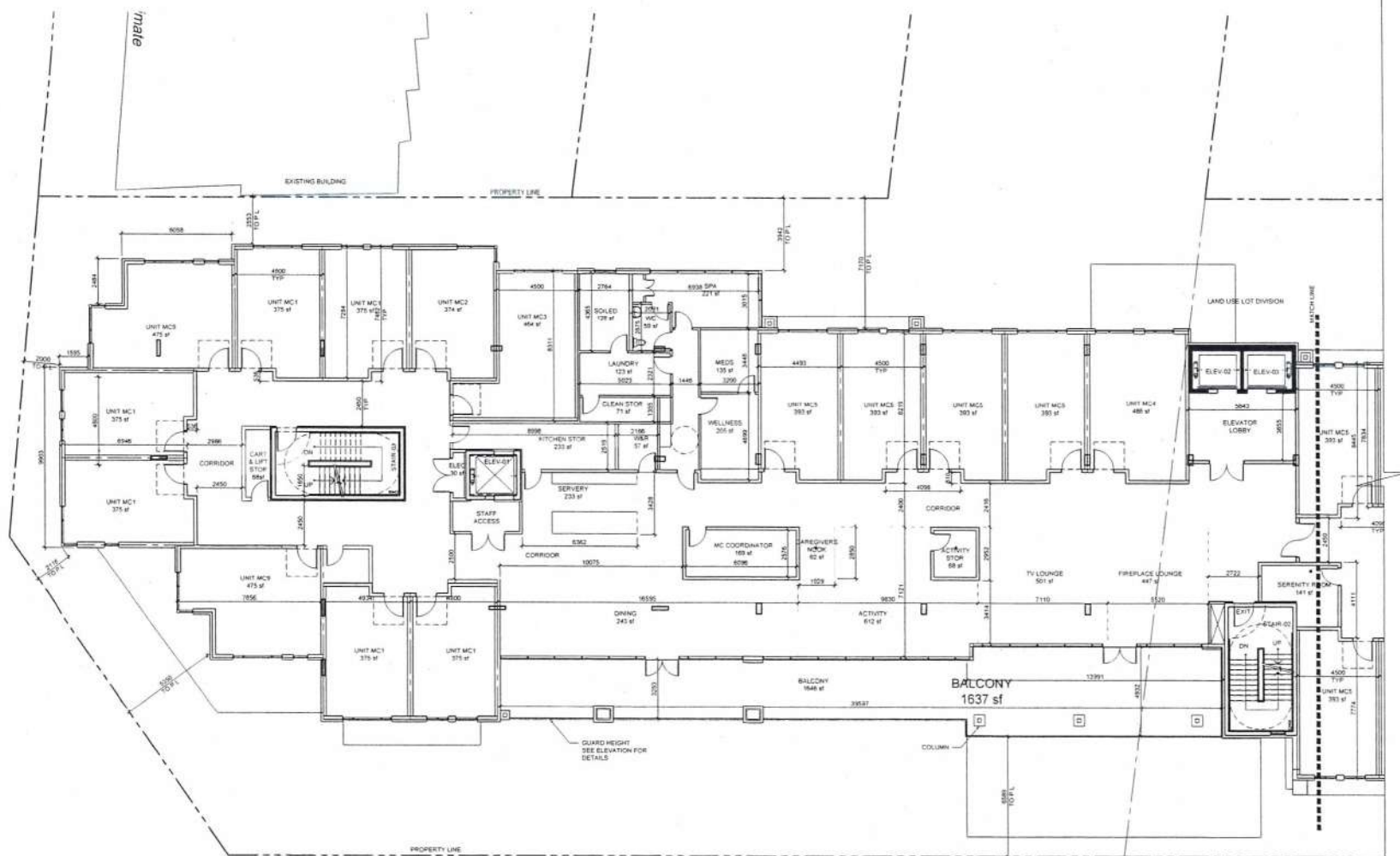


Check Scale (may be photo reduced):

Project No. NCCA-17-0231

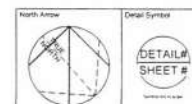
Drawing No. DP210

PLOT DATE: February 14, 2019 TIME: 10:27 AM FULL PATH AND FILENAME: P:\PROJECTS\2019\MAISON VICTORIA\DWG\LEVEL 03 SOUTH PARTIAL FLOOR PLAN.DWG PWA: SJD: 00000



01
DP211
PARTIAL FLOOR PLAN LEVEL 03- SOUTH
1:100

Received
City of Victoria
MAY 01 2019
Planning & Development Department
RECEIVED



DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D

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This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Architect or Engineer.

Project Component
Maison Victoria
Residential

Consultants
Civil: MidThames Consulting Services Ltd.
Landscape: Lombard North Group (B.C.) Inc.
Architectural: Norr Architects Engineers Planners

Seals:
NORR
2280-411, 1st Floor 108
Vancouver, BC Canada V7T 1A1
www.norr.ca
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies

Project Manager: C. Antoniou	Drawn: C. Clark
Project Leader: C. Clark	Checked: C. Antoniou

Client
MILLIKEN REAL ESTATE CORPORATION
1500 RICHMOND RD
VICTORIA, B.C. V8V 1E1

Project
MAISON VICTORIA
1500 RICHMOND RD
VICTORIA, B.C.
V8V 1E1

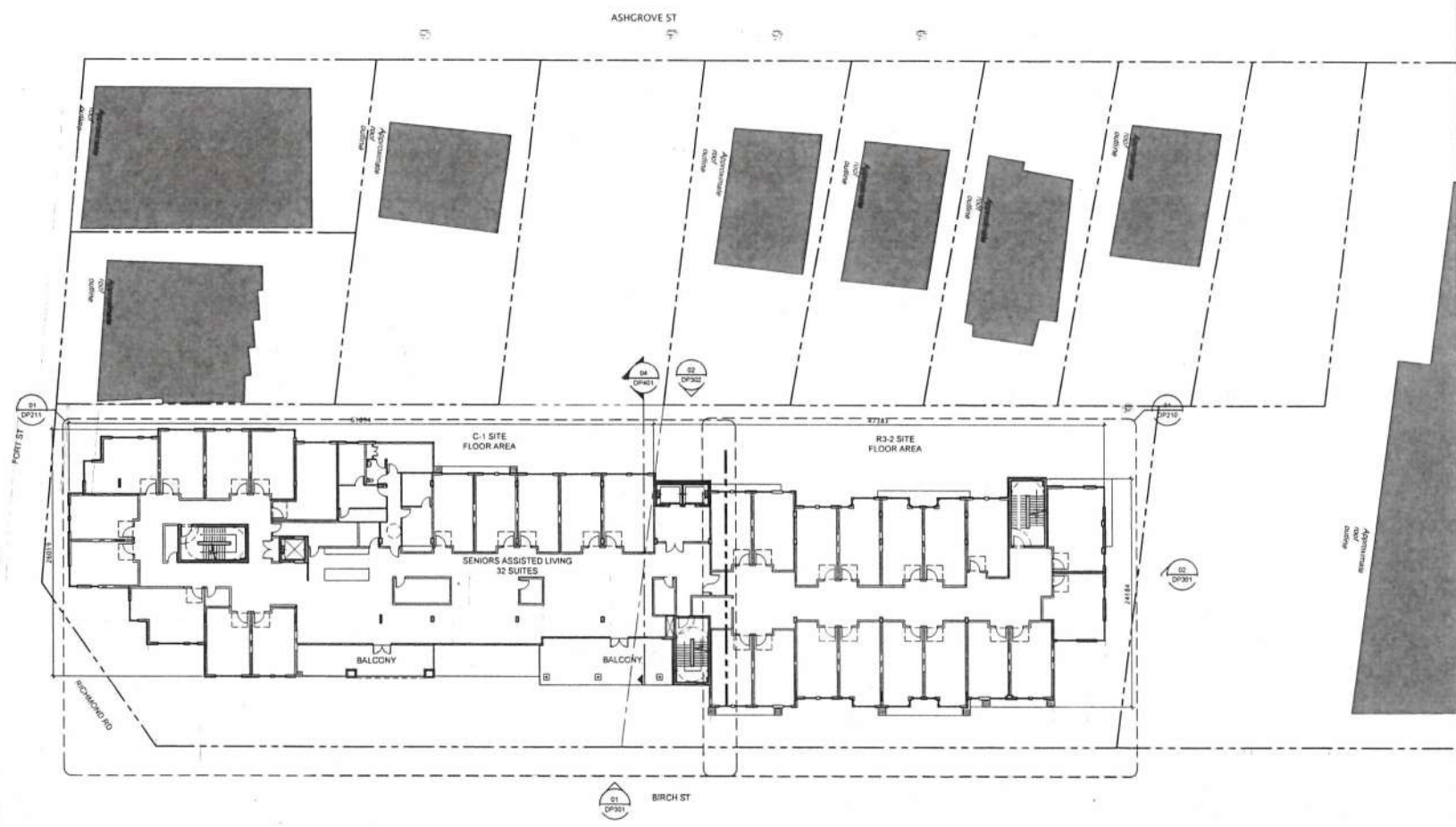
Drawing Title
PARTIAL FLOOR PLAN
LEVEL 03
SOUTH

Check: Scale (may be photo reduced):
1" = 100'

Project No.
NCCA-17-0221

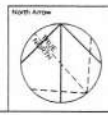
Drawing No.
DP211

PLAT DATE: February 14, 2019 TIME: 10:27 AM FULL PATH AND FILENAME: P:\PROJECTS\2021 - MAISON VICTORIA\04 OVERALL FLOOR PLAN LEVEL 04.DWG PLOT DATE: 14-Feb-2019 10:27 AM



01 OVERALL FLOOR PLAN LEVEL 04
DP209A 1/200

Received
City of Victoria
MAY 01 2019
Planning & Development Department
Development Services Division



DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2018-02-15	REVISED DEVELOPMENT PERMIT	D

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Project Component
Maison Victoria
Keyplan

Consultants
Civil: McElhenny Consulting Services Ltd.
Landscape: Lush Landscape Group Inc.
Architectural: NORR Architects Engineers Planners

Seals:

NORR
2300 411 - 1st Street SE
Calgary, AB Canada T2C 4V1
West Side
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies

Project Manager	Drawn
C. Abernethy	C. Clark

Project Leader	Checked
C. Clark	C. Abernethy

Client:
WILLIKEN REAL ESTATE CORPORATION
#100-2489 BELLEVUE AVE
WEST VANCOUVER, B.C. V7V 1E1

Project:
MAISON VICTORIA
1900 RICHMOND RD
VICTORIA, B.C.
V8R 4R2

Drawing Title:
OVERALL FLOOR PLAN LEVEL 04

Check Scale (may be photo reduced)	Project No.	Drawing No.
1/200	NCCA-17-0221	DP209A

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Consultants	
Civil	McShanney Consulting Services Ltd
Landscape	Lombard North Group (B) Co Inc
Architectural	Non Architects Engineers Planners

NORR

2200 411 - 1st Street SE
Calgary AB Canada T2G 4H9
norrr.com

**NORR ARCHITECTS ENGINEERS PLANNERS
& FARMERS of Limited Companies**

100 - 10th Street SW, Suite 100
Calgary, Alberta T2P 1C1

100 - 10th Street SW, Suite 100
Calgary, Alberta T2P 1C1

100 - 10th Street SW, Suite 100
Calgary, Alberta T2P 1C1

MILLIKEN REAL ESTATE
CORPORATION
#100-2489 BELLEVUE AVE
WEST VANCOUVER, B C V7V 1E1

Overall Floor Plan
Level 05

Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No. NCCA-17-0221

Drawing No. DP212



Received
City of Victoria
MAY 01 2019
Planning & Development Department
Development Services Division



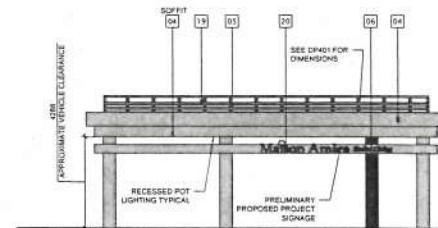


DETAIL#
SHEET #

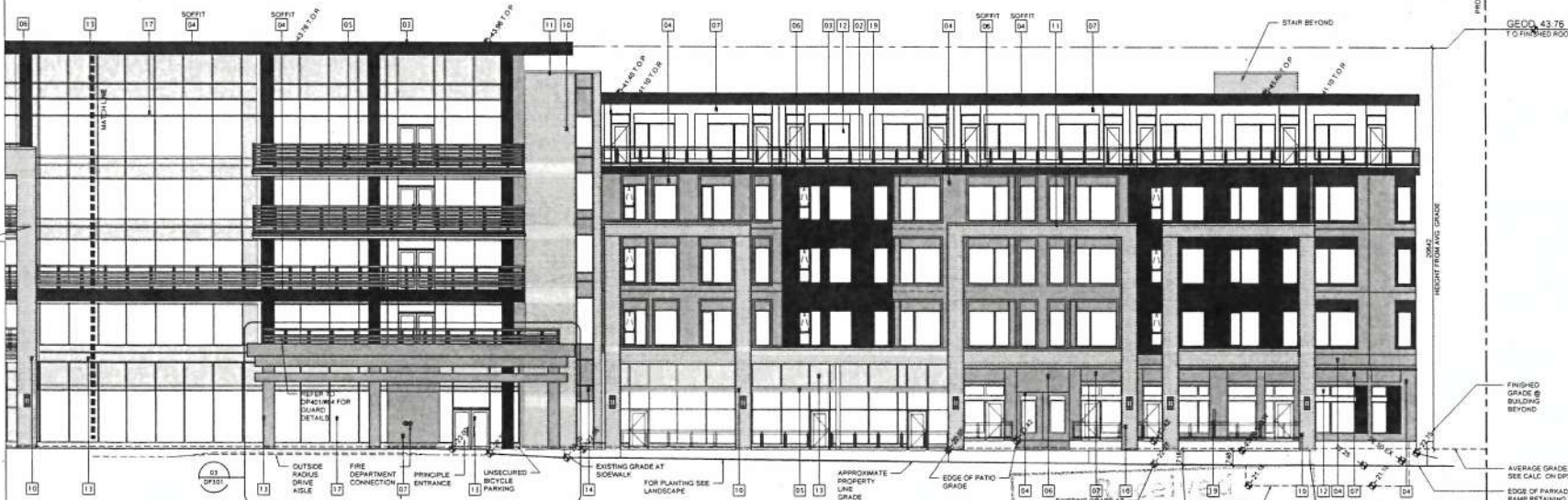
Check Scale (may be photo reduced)
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 Project No. NCCA-17-0221
 Drawing No. DP214



02 PARTIAL EAST ELEVATION
DP301 1:100



03 ENTRY CANOPY DETAIL
DP301 1:100



01 PARTIAL EAST ELEVATION
DP301 1:100

DATE	ISSUED FOR	REV
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D
2019-04-05	REVISED DEVELOPMENT PERMIT	E

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Project Component
Maeson Victoria
Krylon

Consultants
Civil: McEnnamary Consulting Services Ltd.
Landscape: Lushland North Group (B.C.) Inc.
Architectural: Norr Architects Engineers Planners

Scale(s)

NORR

2100 411 1st Street SE
Calgary, AB Canada T2C 4V5
norr.com
NORR ARCHITECTS ENGINEERS PLANNERS
A Partnership of Limited Companies
1. NORR ARCHITECTS ENGINEERS PLANNERS
2. NORR ARCHITECTS ENGINEERS PLANNERS
3. NORR ARCHITECTS ENGINEERS PLANNERS
4. NORR ARCHITECTS ENGINEERS PLANNERS
5. NORR ARCHITECTS ENGINEERS PLANNERS

Project Manager: C. Aderonke
Project Leader: C. Clark
Checked: C. Aderonke

Client: MILLIKEN REAL ESTATE CORPORATION
8100 2445 BELLEVUE AVE
WEST VANCOUVER, B.C. V7V 1E1

Project: MAISON VICTORIA
1900 RICHMOND RD
VICTORIA, B.C. V8R 4R2

Drawing Title: EXTERIOR ELEVATIONS
EAST ELEVATION
ENTRY CANOPY DETAILS & SIGNAGE

Check Scale (may be photo reduced): 1"=10'-0"
Project No: NCCA-17-0221
Drawing No: DP301

MAY 01 2019
Planning & Development Department
Development Services Division

GEOD 43.76
TYPICAL ROOF

PROPERTY LINE

FINISH
HEIGHT FROM FINISH GRADE

AVERAGE GRADE
SEE CALC. ON DP302

EDGE OF PATIO - FOR
PLANTING AT GRADE
SEE LANDSCAPE

02
DP302
1:100
PARTIAL WEST ELEVATION

CANOPY W/
RECESSED
POT LIGHTING

NOTE
GRACES ARE
APPROXIMATE
SUBJECT TO CHANGE
DURING DETAILED
DESIGN

GRADE AT EDGE OF
PATIO

VISITOR ENTRANCE

MATERIAL LEGEND	
01	NOT USED
02	ALUMINUM FASCIA (COLOUR CHARCOAL)
03	PRE FINISHED METAL FLASHING (COLOUR TO MATCH ADJACENT MATERIAL)
04	WOOD LOOK PANEL (COLOUR WALNUT BROWN)
05	WOOD LOOK ACCENT TRIMS (SLATS (COLOUR TO MATCH #04)
06	METAL PANEL AND TRIMS (COLOUR CHARCOAL)
07	METAL PANEL AND TRIMS (COLOUR LIGHT GREY)
08	MASONRY BRICK (COLOUR CHARCOAL)
09	CONCRETE MASONRY CAP (COLOUR BEGGY TO MATCH #04)
10	MASONRY BRICK (COLOUR LIME)
11	CONCRETE MASONRY CAP RECC
12	GLAZING SYSTEM w/ CLEAR ANODIZED WINDOW MULLIONS
13	GLAZING SYSTEM SPANDREL PANEL (COLOUR TO MATCH ADJACENT GLAZING)
14	GLAZING SYSTEM SPANDREL PANEL (COLOUR TO MATCH #05)
15	GLAZING SYSTEM SPANDREL PANEL (COLOUR TO MATCH #04)
16	EXTERIOR GLAZING WHITEDEN MULLION (COLOUR CLEAR)
17	EXTERIOR GLAZING w/ MULLION CAP (COLOUR CLEAR w/ CLEAR ANODIZED CAP)
18	EXTERIOR MOUNTED DIRECTIONAL LIGHTING FEATURE (COLOUR CHARCOAL)
19	PRE-FIN METAL FRAME GLASS PANEL MASONRY (COLOUR CHARCOAL)
20	SCREENING PANEL SYSTEM (COLOUR CHARCOAL)
21	EXTERIOR ENTRY DOOR TO MATCH ADJACENT MATERIAL
22	EXTERIOR OVERHEAD DOOR TO MATCH ADJACENT MATERIAL
23	METAL LOOKING (COLOUR CHARCOAL)

NOTES	
SOFFIT OVERHANG TO BE METAL WOOD GRAIN LAP SOING TO MATCH #04 BALLAST ROOF ON FLAT ROOF	

DATE	ISSUED FOR	RE
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-10	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2019-02-15	REVISED DEVELOPMENT PERMIT	D
2019-04-05	REVISED DEVELOPMENT PERMIT	E

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Project Consultant
Maison Victoria
Resident

Consultants
Civil
Landscape
Architectural
McEnany Consulting Services Ltd.
Landscape North Group (B.C.) Inc.
Non Architects Engineers Planners

Seal(s)

NORR
2300, 411 - 1st Street SE
Calgary, AB Canada T2C 4H1
403.244.4444
NORR ARCHITECTS ENGINEERS PLANNERS
& Interiors is a Limited Company

Project Manager	Drawn
C. Abernethy	C. Chan
Project Leader	Checked
C. Chan	C. Abernethy

Client
MILLIKEN REAL ESTATE CORPORATION
#100-2485 BELLEVUE AVE
WEST VANCOUVER, B.C. V7V 1E1

Project
MAISON VICTORIA
1900 RICHMOND RD
VICTORIA, B.C.
V8R 4R2

Drawing Title
**EXTERIOR ELEVATIONS
WEST ELEVATION**

Check Scale (may be photo reduced)
0 1 inch 0 10mm
Project No
NCCA-17-0221
Drawing No
DP302



Received
City of Victoria
MAY 01 2019
Planning & Development Department
Douglas

GEOD 43.76
TYPICAL ROOF

PROPERTY LINE

FINISH
HEIGHT FROM FINISH GRADE

AVERAGE GRADE
SEE CALC. ON DP302

EDGE OF PATIO - FOR
PLANTING AT GRADE
SEE LANDSCAPE

01
DP302
1:100
PARTIAL WEST ELEVATION

CANOPY W/
RECESSED
POT LIGHTING

NOTE
GRACES ARE
APPROXIMATE
SUBJECT TO CHANGE
DURING DETAILED
DESIGN

GRADE AT EDGE OF
PATIO

VISITOR ENTRANCE

MATERIAL LEGEND	
01	NOT USED
02	ALUMINUM FASCIA (COLOUR CHARCOAL)
03	PRE FINISHED METAL FLASHING (COLOUR TO MATCH ADJACENT MATERIAL)
04	WOOD LOOK PANEL (COLOUR WALNUT BROWN)
05	WOOD LOOK ACCENT TRIMS (SLATS (COLOUR TO MATCH #04)
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22	EXTERIOR OVERHEAD DOOR TO MATCH ADJACENT MATERIAL
23	METAL LOOKING (COLOUR CHARCOAL)

NOTES	
SOFFIT OVERHANG TO BE METAL WOOD GRAIN LAP SOING TO MATCH #04 BALLAST ROOF ON FLAT ROOF	





01 OVERALL SITE CONTEXT ELEVATION SOUTH
DP304 1:200 APPROXIMATE



03 OVERALL SITE CONTEXT ELEVATION- EAST
DP304 1:200 APPROXIMATE

NOTE
COLOURED RENDERINGS ARE FOR SITE AND MATERIAL CONTEXT TO DEMONSTRATE INTENT OF MATERIAL FINISHES AND SHOW BUILDING SCALE IN CONTEXT
SCALE INDICATED IS APPROXIMATED FROM ELEVATIONS
SEE DP301-DP303 FOR DETAIL NOTES AND DIMENSIONS (TO SCALE)



DATE	ISSUED FOR	RE
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2018-02-18	REVISED DEVELOPMENT PERMIT	D

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Project Component
Maison Victoria
Keyplan

Consultants
Civil: M/Emergency Consulting Services Ltd
Landscape: Lushmore North Group B/C Inc.
Architecture: Hux Architects Engineers Planners

Scale:

NORR

1001-1111 141 Street SE
Calgary, AB T2C 1P1
403.241.1111
www.norr.ca
NORR is a registered professional corporation
NORR is a member of the Canadian Council of Professional Engineers

Project Manager: C. Abernethy
Project Lead: C. Clark
Checked: C. Clark

Client: MILLIKEN REAL ESTATE CORPORATION
#100-2489 BELLEVUE AVE
WEST VANCOUVER, B.C. V6V 1E1

Project: MAISON VICTORIA
1900 RICHMOND RD
VICTORIA, B.C.
V8R 4R2

Drawing Title: EXTERIOR ELEVATIONS
SITE CONTEXT

Check Scale (may be photo reduced):
Project No: NCCA-17-0221
Drawing No: DP304



01 WEST ELEVATION
DP305 1/200

AVERAGE GRADE CALCULATION					
POINT	GRADE	AVERAGE GRADE	CALCULATION	DISTANCE	CALC TOTAL
A	23.11.88B	22.195		86.544	847.8308
B	23.11.88C	22.985		7.791	63.9765
C	22.99.88D	22.945		29.585	427.871
D	22.99.88C	22.960		8.885	20.5262
E	22.99.88B	22.99		9.93	35.6545
F	22.99.88C	22.96		7.74	14.313
G	22.99.88D	22.955		0.915	0.2061
H	22.99.88B	22.925		5.772	13.6276
I	22.99.88C	23.08		0.833	0.8161
J	22.99.88B	23.09		3.3	7.5555
K	22.99.88C	23.055		0.933	0.95471
L	22.99.88B	23.06		0.872	1.27474
M	22.99.88C	23.045		0.585	0.88384
N	22.99.88B	23.07		0.78	0.918
O	22.99.88C	23.075		0.785	0.94203
P	22.99.88B	23.08		0.652	0.844095
Q	22.99.88C	23.045		0.175	0.214106
R	22.99.88B	23.05		3.3	4.005
S	22.99.88B	23.055		0.875	0.548975
T	22.99.88B	23.055		0.875	0.204422
U	22.99.88B	23.07		8.945	239.0551
V	22.99.88C	23.025		2.225	2.9229
W	22.99.88C	23.06		5.5	5.5125
X	22.99.88B	22.78		5.75	85.422
Y	22.99.88C	22.96		1.968	11.8214
Z	23.01.87A	22.9		3.164	7.7727
1	22.99.88B	23.01		32.98	138.4158
2	22.99.88B	21.625		4.8	3.315
3	22.99.88B	22.075		24.84	5.50275
4	22.99.88B	22.95		1.685	0.21243
5	22.99.88B	22.925		5.085	1.291806
6	22.99.88B	22.94		11.443	287.3769
7	22.99.88B	22.945		10.994	25.444
				TOTAL	277.049
					640.16
					31.378
AVERAGE GRADE					
TOP OF ROOF TO AVERAGE FLAT ROOF					50.84
BUILDING HEIGHT					

Received
City of Victoria
MAY 01 2019
Planning & Development Department
Development Services Division



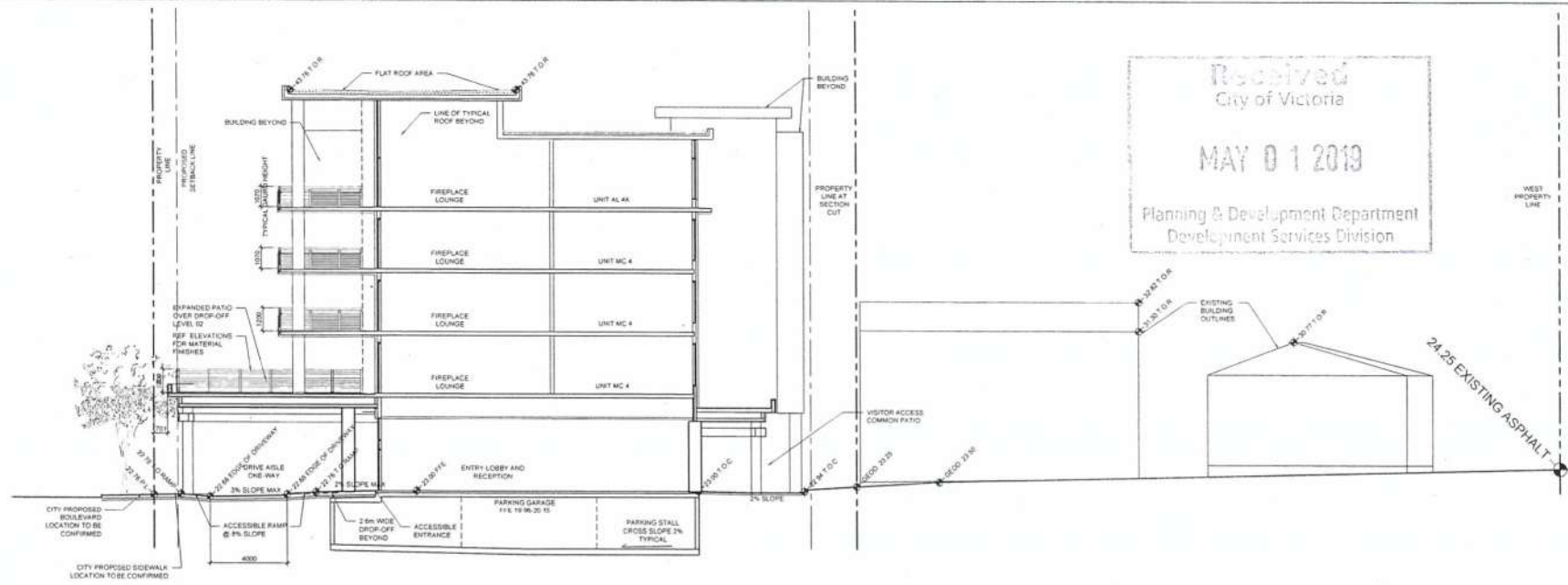
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DETAIL #
SHEET #

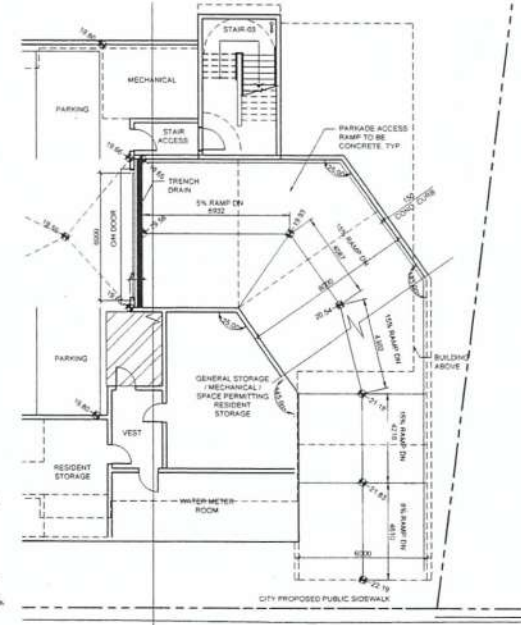
Subject line to match

DATE	ISSUED FOR	RE
2018-05-17	DIGITAL DEVELOPMENT PERMIT	A
2018-06-12	DEVELOPMENT PERMIT	B
2018-10-23	REVISED DEVELOPMENT PERMIT	C
2018-02-15	REVISED DEVELOPMENT PERMIT	D
2019-04-08	REVISED DEVELOPMENT PERMIT	E

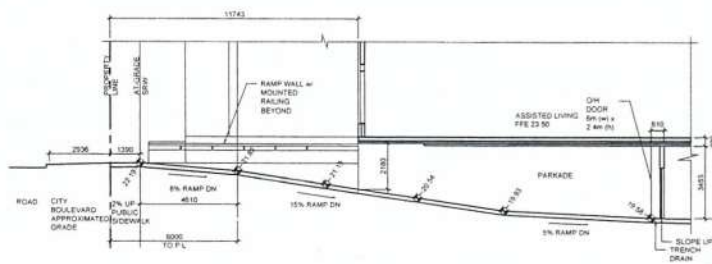
Received
City of Victoria
MAY 01 2019
Planning & Development Department
Development Services Division



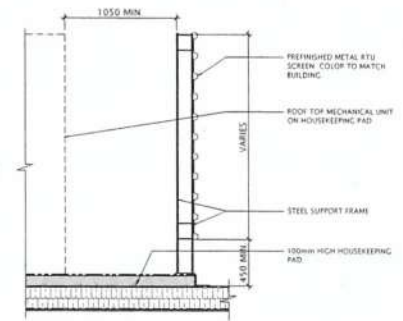
D4 CROSS SECTION PROFILE PLAN
DP401 1:100



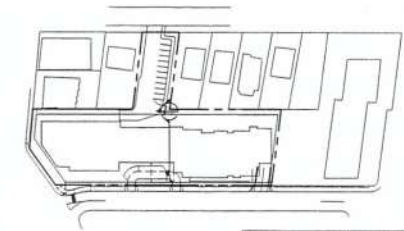
D2 PARKADE RAMP PLAN
DP401 1:100



D1 PARKADE RAMP SECTION
DP401 1:100



D4 ROOF TOP MECHANICAL SCREEN DETAIL
DP401 1:20



D3 CROSS SECTION KEY PLAN
DP401 1:1000

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Project Component
Maison Victoria
Residential

Consultants
Civil: McParham Consulting Services Ltd
Landscape: Limited from Group 18 E Inc
Architecture: Norr Architects Engineers Planners

Series

NORR

2101 411 - 14 Street SE
Calgary, AB T2C 1A7
Phone: 403.275.1111
Fax: 403.275.1112
E-mail: info@norr.ca
Website: www.norr.ca

Project Manager: Drawn
C. Alexander
Project Leader: Checked
C. Alexander

Client
MILLIKEN REAL ESTATE CORPORATION
100-2485 BELLEVUE AVE
WEST VANCOUVER, B.C. V7V 1E1

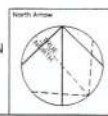
Project
MAISON VICTORIA
1900 RICHMOND RD
VICTORIA, B.C.
V8R 4R2

Drawing Title
CROSS SECTION PLAN
BUILDING SECTION

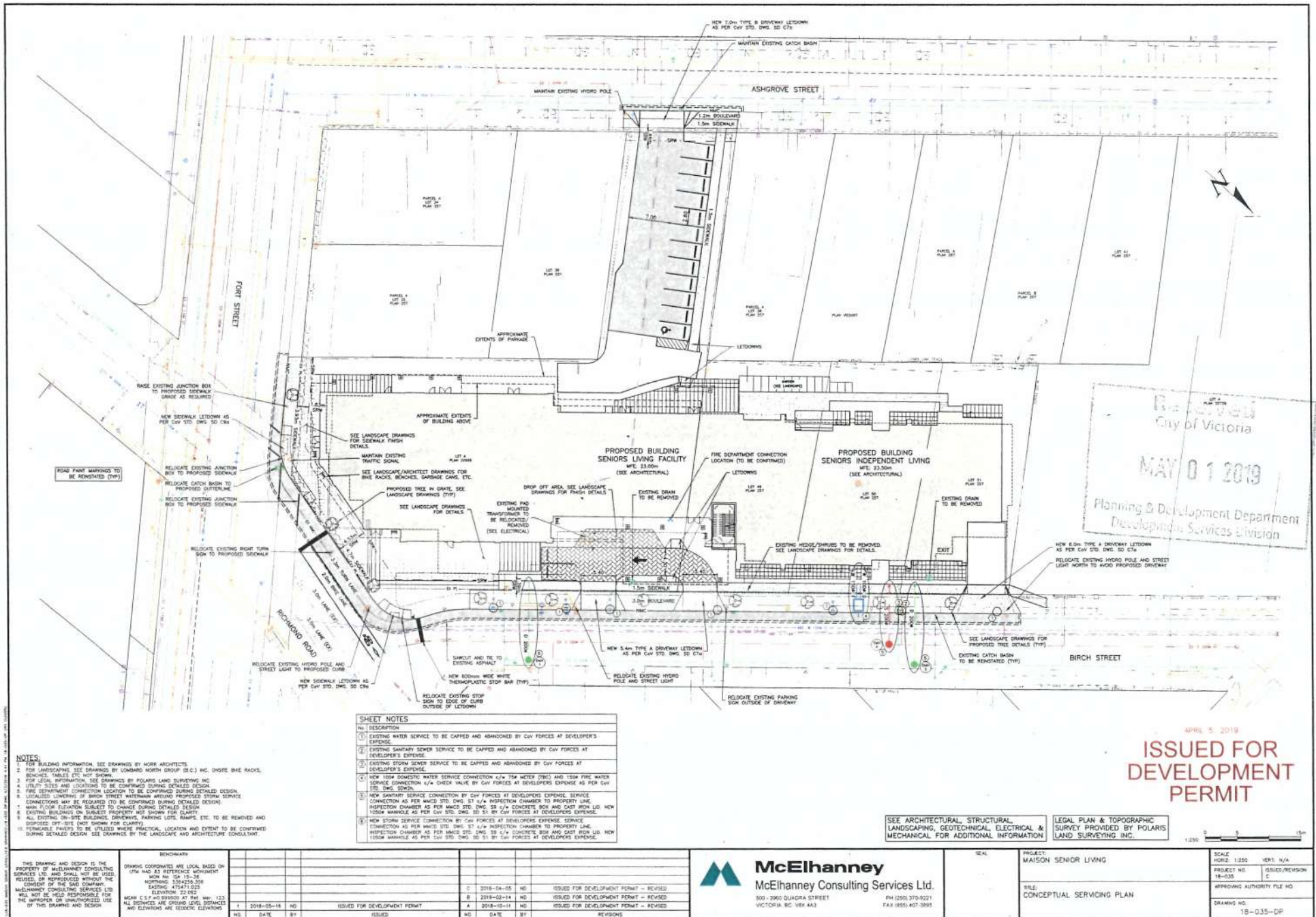
Check Scale (may be photo reduced)
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Project No: NCCA-17-0221
Drawing No: DP401

DETAILS
SHEET #



Plot Date: May 1, 2019 Time: 2:34 PM File Path: P:\Projects\2018\17-0221\17-0221-01\17-0221-01-01.dwg Plot Style Table: PLOTSTYLE TABLE PLOT SCALE: 1:1000



- NOTES:**
- FOR BUILDING INFORMATION, SEE DRAWINGS BY MOORE ARCHITECTS.
 - FOR LANDSCAPING, SEE DRAWINGS BY LORIAN WORTH GROUP (LWG) INC. (INSIDE BIKE RACKS, BENCHES, TABLES ETC NOT SHOWN).
 - FOR LEGAL INFORMATION, SEE DRAWINGS BY POLARIS LAND SURVEYING INC.
 - UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
 - FIRE DEPARTMENT CONNECTION LOCATION TO BE CONFIRMED DURING DETAILED DESIGN.
 - LOCALIZED LUMBERING OF BIRCH STREET WATERMAIN AROUND PROPOSED STORM SERVICE CONNECTIONS MAY BE REQUIRED TO BE COMPLETED DURING DETAILED DESIGN.
 - MINOR FLOOR ELEVATION SUBJECT TO CHANGE DURING DETAILED DESIGN.
 - EXISTING BUILDINGS ON SUBJECT PROPERTY NOT SHOWN FOR CLARITY.
 - ALL EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PARKING LOTS, RAMPS, ETC. TO BE REMOVED AND REDESIGNED OFF-SITE (NOT SHOWN FOR CLARITY).
 - PERMISSIBLE PARKING TO BE UTILIZED WHERE PRACTICAL, LOCATION AND EXTENT TO BE CONFIRMED DURING DETAILED DESIGN. SEE DRAWINGS BY THE LANDSCAPE AND ARCHITECTURE CONSULTANT.

SHEET NOTES

- | NO. | DESCRIPTION |
|-----|---|
| 1 | EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CIV FORCES AT DEVELOPER'S EXPENSE. |
| 2 | EXISTING SANITARY SEWER SERVICE TO BE CAPPED AND ABANDONED BY CIV FORCES AT DEVELOPER'S EXPENSE. |
| 3 | EXISTING STORM SEWER SERVICE TO BE CAPPED AND ABANDONED BY CIV FORCES AT DEVELOPER'S EXPENSE. |
| 4 | NEW 150MM DOMESTIC WATER SERVICE CONNECTION 1/2" x 154 METER (TNC) AND 150M FIRE WATER SERVICE CONNECTION 1/2" x 154 METER (TNC) CHECK VALVE BY CIV FORCES AT DEVELOPER'S EXPENSE. |
| 5 | NEW SANITARY SERVICE CONNECTION BY CIV FORCES AT DEVELOPER'S EXPENSE. SERVICE CONNECTION AS PER MANHOLE STD. DWG. 51 1/2" x 1/2" INSPECTION CHAMBER TO PROPERTY LINE. INSPECTION CHAMBER AS PER MANHOLE STD. DWG. 52 1/2" x 1/2" CONCRETE BOX AND CAST IRON LID. NEW 150MM MANHOLE AS PER CIV STD. DWG. 50 51 BY CIV FORCES AT DEVELOPER'S EXPENSE. |
| 6 | NEW STORM SERVICE CONNECTION BY CIV FORCES AT DEVELOPER'S EXPENSE. SERVICE CONNECTION AS PER MANHOLE STD. DWG. 51 1/2" x 1/2" INSPECTION CHAMBER TO PROPERTY LINE. INSPECTION CHAMBER AS PER MANHOLE STD. DWG. 52 1/2" x 1/2" CONCRETE BOX AND CAST IRON LID. NEW 150MM MANHOLE AS PER CIV STD. DWG. 50 51 BY CIV FORCES AT DEVELOPER'S EXPENSE. |

SEE ARCHITECTURAL, STRUCTURAL, LANDSCAPING, GEOTECHNICAL, ELECTRICAL & MECHANICAL FOR ADDITIONAL INFORMATION

LEGAL PLAN & TOPOGRAPHIC SURVEY PROVIDED BY POLARIS LAND SURVEYING INC.



McElhanney
McElhanney Consulting Services Ltd.

500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3
PH (250) 370-0221
FAX (250) 457-3885

SCALE

PROJECT: MAISON SENIOR LIVING

FILE: CONCEPTUAL SERVICING PLAN

SCALE: HORIZ. 1:250 VERT. 1/4"=1'-0"
PROJECT NO. 18-035
ISSUES/REVISIONS
18-035
APPROVING AUTHORITY FILE NO.
DRAWING NO. 18-035-DP