

I.1.a 819-823 and 825/827 Fort Street: Development Permit with Variance No. 00169 (Fairfield)

Moved By Councillor Andrew
Seconded By Councillor Young

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00169 for 819-823 and 825/827 Fort Street, in accordance with:

1. Plans date stamped March 9, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 1. reduce the vehicle parking from 80 stalls to 57 stalls.
3. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY

E.4 819-823 and 825/827 Fort Street: Development Permit with Variance No. 00169 (Fairfield)

Committee received a report dated April 22, 2021 from the Director of Sustainable Planning and Community Development regarding the Development Permit with Variance No. 00169 for 819-823 and 825/827 Fort Street. The application proposes minor changes to the exterior of the building and an increase in the number of residential units through conversion of second floor commercial space. The variance is in relation to parking requirements.

Moved By Councillor Alto

Seconded By Councillor Isitt

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00169 for 819-823 and 825/827 Fort Street, in accordance with:

1. Plans date stamped March 9, 2021.
2. Development meeting all Zoning Regulation Bylaw requirements, except for the following variance:
 - i. reduce the vehicle parking from 80 stalls to 57 stalls.
3. The Development Permit lapsing two years from the date of this resolution.”

CARRIED UNANIMOUSLY



Committee of the Whole Report

For the Meeting of May 6, 2021

To: Committee of the Whole **Date:** April 22, 2021

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: Development Permit with Variance No. 00169 for 819-823 and 825/827 Fort Street

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

“That Council authorize the issuance of Development Permit with Variance Application No. 00169 for 819-823 and 825/827 Fort Street, in accordance with:

1. Plans date stamped March 9, 2021.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variance:
 - i. reduce the vehicle parking from 80 stalls to 57 stalls.
3. The Development Permit lapsing two years from the date of this resolution.”

LEGISLATIVE AUTHORITY

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variance Application for the property located at 819-823 and 825/827 Fort Street. The proposal is to make minor changes to the exterior of the building and increase the number of residential units from 103 to 105 through the conversion of second floor commercial space. The additional rental units increase the parking requirement by one stall which triggers a parking variance.

The following points were considered in assessing this application:

- The proposed changes to the exterior of the building are minor in nature and considered consistent with the Design Guidelines for Development Permit Area 7B (HC) – Corridors Heritage and the *Downtown Core Area Plan*
- The proposed parking variance (an increase of one stall over the previously approved variance) is considered supportable because the applicant has committed to providing 45 car share memberships with MODO, an on-site car share parking space registered on the title of the property, and 33 additional long term bicycle parking stalls above the 119 stalls required under Schedule C of the *Zoning Regulations Bylaw* to help mitigate the impacts of the anticipated parking shortfall.

BACKGROUND

Description of Proposal

The proposal is for minor exterior changes to the previously approved building design, interior layout changes that result in additional rental dwelling units and an associated parking variance to reduce the vehicle parking from 80 stalls to 57 stalls. The exterior alterations are limited to minor changes at the residential entrance to accommodate a gas meter enclosure and a slight shift in the location of the parkade entrance gate.

A parking variance was previously approved to reduce the vehicle parking from 79 stalls to 57 stalls. This application would increase the parking variance by one additional stall.

Affordable Housing

The applicant proposes the creation of 105 new residential rental units which would increase the overall supply of housing in the area. This application proposes to add two additional rental units (one two-bedroom unit and one one-bedroom unit) through the conversion of approximately 135m² (1450sqft) of second floor commercial space. All of the residential units are secured as rental in perpetuity through an existing housing agreement. With these additional units, the total unit break down would be:

- four studio units
- 59 one-bedroom units
- 36 two-bedroom units
- six three-bedroom units.

Sustainability

The applicant has not identified any sustainability features associated with this proposal.

Active Transportation

The application proposes one additional bicycle parking stall in addition to the previously approved 151 bicycle parking stalls, bicycle wash area and two bicycle repair stations which support active transportation.

Public Realm

No public realm improvements beyond City standard requirements are proposed in association with this Development Permit Application.

Accessibility

Accessibility measures beyond those contained in the *British Columbia Building Code* are not proposed.

Existing Site Development and Development Potential

The site is presently occupied by three buildings. The facades of two of the buildings (819-823 and 825 Fort Street) are heritage-designated and proposed to be retained with the construction of a ten-storey mixed-use building under the existing RMD-2 Zone, Residential Mixed Use Fort Street District.

Data Table

The following data table compares the proposal with the existing RMD-2 Zone. An asterisk is used to identify where the proposal does not meet the requirements of the existing Zone.

Zoning Criteria	Proposal	Approved	RMD-2 Zone
Density (Floor Space Ratio) – maximum	5.98:1	6.14:1	6.17:1
Number of dwelling units	105	103	-
Parking – minimum	57* (57 residential and 0 commercial)	57* (57 residential and 0 commercial)	80 (74 residential and 6 commercial)
Visitor parking included in the overall units – minimum	10*	10*	11
Bicycle parking stalls – minimums			
Long term	152	151	119
Short term	0*	0*	12

Relevant History

A parking variance was previously approved to reduce the vehicle parking from 79 stalls to 57 stalls. This application would increase the parking variance by one additional stall.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, on January 7, 2021 the application was referred for a 30-day comment period to the Fairfield Gonzales CALUC. At the time of writing this report, a letter from the CALUC had not been received.

This application proposes a variance, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variance.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan* (OCP) identifies this property within Development Permit Area 7B(HC) – Corridors Heritage. The applicable Design Guidelines are the *Downtown Core Area Plan* (2011), *Advisory Design Guidelines for Buildings, Signs and Awnings* (1981) and the *Guidelines for Fences, Gates and Shutters* (2010).

Minor exterior changes are proposed to accommodate a gas meter enclosure near the main residential entrance and to relocate the parkade entrance gate closer to Fort Street. These changes are considered supportable as the gas meter would be screened from view and neither change would detract from the pedestrian experience along Fort Street.

Regulatory Considerations

The increase in the number of residential dwelling units increases the parking requirement from 79 stalls to 80 stalls. The proposed 23 stall parking variance (an increase of one stall over the previously approved variance) is considered supportable because the applicant has committed to providing 45 car share memberships with MODO, an on-site car share parking space registered on the title of the property, and 32 additional long term bicycle parking stalls above the 119 stalls required under the *Zoning Regulations Bylaw* to help mitigate the impacts of the anticipated parking shortfall.

As on-street parking in the area is metered, the impacts on parking availability for surrounding properties resulting from this variance is expected to be minimal.

CONCLUSIONS

This application is considered supportable because the addition of two residential rental units adds to the diversity of housing in the Urban Core; the exterior changes to the building are minor in nature and would not detract from the pedestrian experience along Fort Street; and the applicant has provided sufficient transportation demand management measures to mitigate the proposed parking shortfall. Therefore, staff recommend that Council consider advancing this application to an opportunity for public comment.

ALTERNATE MOTION

That Council decline Development Permit with Variance Application No. 00169 for the property located at 819-823 and 825/827 Fort Street.

Respectfully submitted,

Alec Johnston
Senior Planner
Development Services Division

Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

List of Attachments

- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped March 9, 2021
- Attachment D: Letter from applicant to Mayor and Council dated December 19, 2020.

S A L I E N T



The Salient Group #225 – 209 Carrall Street, Vancouver, BC V6B 2J2
 T: 604.669.5536 F: 604.669.5574 E: info@thesalientgroup.com

Letter to Mayor and Council

December 19, 2020

City of Victoria

1 Centennial Square
 Victoria, BC V8W 1P6

Mayor Lisa Helps
 Members of City Council
 City of Victoria

Dear Mayor and Council,

**Re: Redevelopment at 819-827 Fort Street ("825 Fort") – DDP No.00530, HAV No. 00009
 Development Variance Permit Application**

825 Fort Holdings Ltd. c/o The Salient Group is pleased to enclose a Development Variance Permit Application for the mixed-use development at 819-827 Fort Street ("825 Fort") pursuant to the approved Development Permit (DDP No. 00530) and approved Heritage Alteration Permit (HAV No. 00009):

- Reduction of commercial mezzanine area on level 2, above the westernmost commercial unit ("CRU 1")
- Addition of 2x residential rental homes on level 2, in place of the reduced commercial area. This includes an additional 1x 2BR home and 1x 1BR home, bringing the total number of rental homes to 105 (previously at 103), secured in perpetuity
- Increase the overall parking variance granted under DDP 00530 and HAV No.00009 by 1.2 parking stalls, associated with the addition of 2x additional units

Our understanding is that this change must be brought to Council for approval as staff do not have delegated authority to approve a parking variance related to a residential use.

Community Consultation

Following the process outlined with the "Development Variance Permit Process Flow Chart" as part of the application form, we have consulted with our adjacent neighbours for further comment. We are pleased to confirm support of this minor revision from both of our adjacent neighbours.

The addition of 2 units to the project will create even more secured rental homes within this redevelopment while also creating a better, more leasable area for a future commercial tenant on the ground floor. We believe this is a positive change to the overall project.



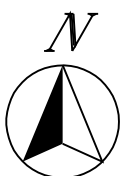
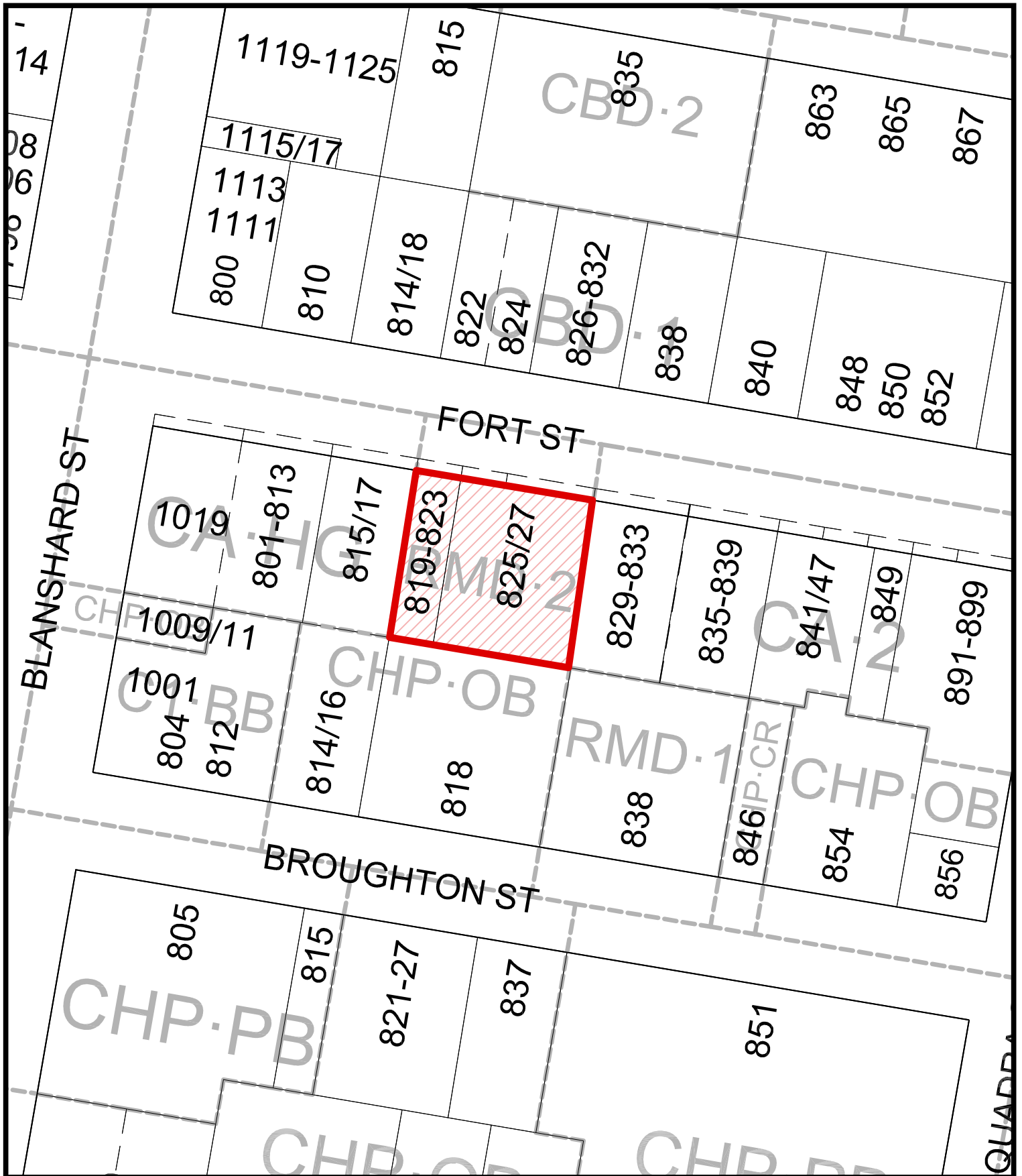
Thank you for the opportunity to submit this minor variance application. We look forward to working with City staff and Council to approve this revision.

Sincerely,

825 FORT HOLDINGS LTD. *c/o The Salient Group*

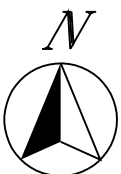
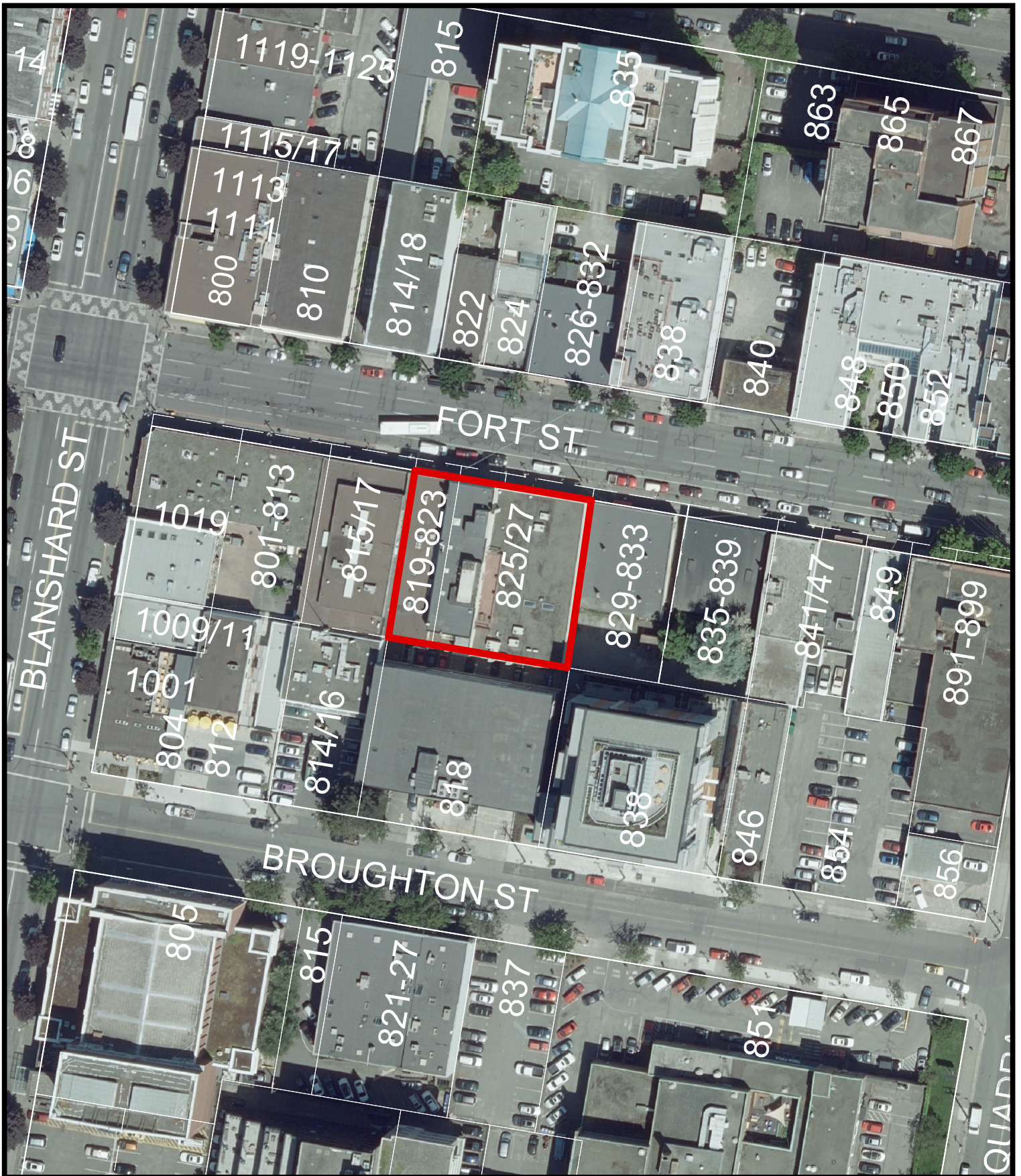
Robert Fung
President

cc: MCM Partnership - Renante Solivar, Tijana Corluka



819-823, 825 and 827 Fort Street
Development Variance Permit No.00257





819-823, 825 and 827 Fort Street
Development Variance Permit No.00257



825 FORT STREET - ISSUED FOR DDP



Drawing Index		REV 2017-11-08	REV 2018-04-19	REV 2018-04-24	REV 2018-08-31	REV 2018-10-24	REV 2019-01-08	REV 2019-05-24	REV 2019-07-26	DDP 2020-06	DDP 2020-07-02	DDP 2020-08-17	DDP 2020-10-07	DDP 2020-12-17	DDP 2021-03-04
Drawing Sheet															
Number	Name														
A001	Cover Sheet														
A002	Project Statistics														
A003	Shadow Study														
A101	Site Plan Existing														
A102	Proposed Site Plan														
A201	Floor Plan Level P2														
A202	Floor Plan Level P1														
A203	Floor Plan Ground Level														
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A213	Roof Plan														
A301	Streetscape Elevation														
A302	North Building Elevation														
A303	East Building Elevation														
A304	South Building Elevation														
A305	West Building Elevation														
A401	Building Section														
A402	Building Section														
C	Preliminary Civil Plan														
L1_1	Ground Floor Landscape General Arrangement														
L2_1	Second Floor General Arrangement														
L3_1	Third Floor General Arrangement														
L4_1	4th Floor to 8th Floor General Arrangement														
L5_1	8th Floor General Arrangement														
L10_1	10th Floor General Arrangement														
L11_1	Roof General Arrangement														



CONTEXT PLAN

ARCHITECTURAL

PROJECT DIRECTORY

OWNER

825 Fort Holdings Ltd.

SALIENT
CLIENT / DEVELOPMENT MANAGER
The Salient Group
Suite 225 - 209 Carrall Street
Vancouver, BC V6B 2J2
T: 604-669-5536
F: 604-669-5574
thesalientgroup.com

ARCHITECT

Musson Cattell Mackey Partnership
Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, BC V6E 3X1
Tel : 604-687-2990

STRUCTURAL

Glottman Simpson
1661 West 5th Avenue
Vancouver, BC V6J 1N5
T: 604-734-8822
F: 604-734-8842
www.glottmansimpson.com

MECHANICAL

Avalon Mechanical
Consultants Ltd.
300 - 1245 Esquimalt Road
Victoria, BC V9A 3P2
T: 250-394-4128
avalonmechanical.com

ELECTRICAL

AES Engineering Ltd.
550-3795 Carey Rd.
Victoria, BC V8Z 6T8
T: 250-940-3495
www.aesengr.com

TRAFFIC

Bunt & Associates
Engineering Ltd.
Suite 421 - 645 Fort Street
Victoria, BC V8W 1G2
T: 250-592-5122
www.bunteng.com

SURVEYOR

J. E. Anderson & Associates
4212 Glenford Avenue
Victoria, BC V8Z 4B7
T: 250-727-2214
F: 250-727-3395
jeanderson.com

LANDSCAPE

Considered Design Inc.
201 - 318 Homer Street
Vancouver, BC V6B 2V2
T: 778-386-4414
F: 250-475-3611
www.considered.com

CIVIL

J. E. Anderson & Associates
4212 Glenford Avenue
Victoria, BC V8Z 4B7
T: 250-727-2214
F: 250-727-3395
jeanderson.com

GEOTECHNICAL

Ryzuk Geotechnical
28 Croisse Avenue
Victoria, BC V8Z 1S3
T: 250-475-3131
F: 250-475-3611
www.ryzuk.com

BUILDING ENVELOPE

RJC Engineers
645 Tyee Road, Suite 220
Victoria, BC V9A 6X5
T: 250-386-7794
F: 250-381-7900
www.rjca.com

825 Fort Street Victoria -

217033

ISSUED FOR DDP: 2020-03-04

A001

Sheet

Revisions
Received Date:
March 9, 2021

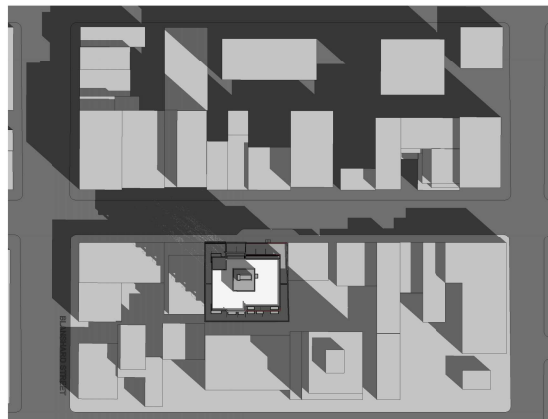
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825 Fort Street
Victoria, BC
Project

ISSUED FOR DDP: March 04, 2021



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3 Spring Equinox 2 PM
A003 SCALE:



4 Summer Solstice 10 AM
A003 SCALE:



5 Summer Solstice 12 PM
A003 SCALE:



6 Summer Solstice 2 PM
A003 SCALE:

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4	Project Date
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6	Project Budget
7	Project Team
8	Project Manager
9	Project Architect
10	Project Engineer
11	Project Designer
12	Project Planner
13	Project Analyst
14	Project Researcher
15	Project Writer
16	Project Editor
17	Project Publisher
18	Project Distributor
19	Project Retailer
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Revisions DO MMM YYYY

Seal

 825 Fort
Street Victoria

 825 Fort Street
Victoria, BC

 Project
Shadow Study

Drawing

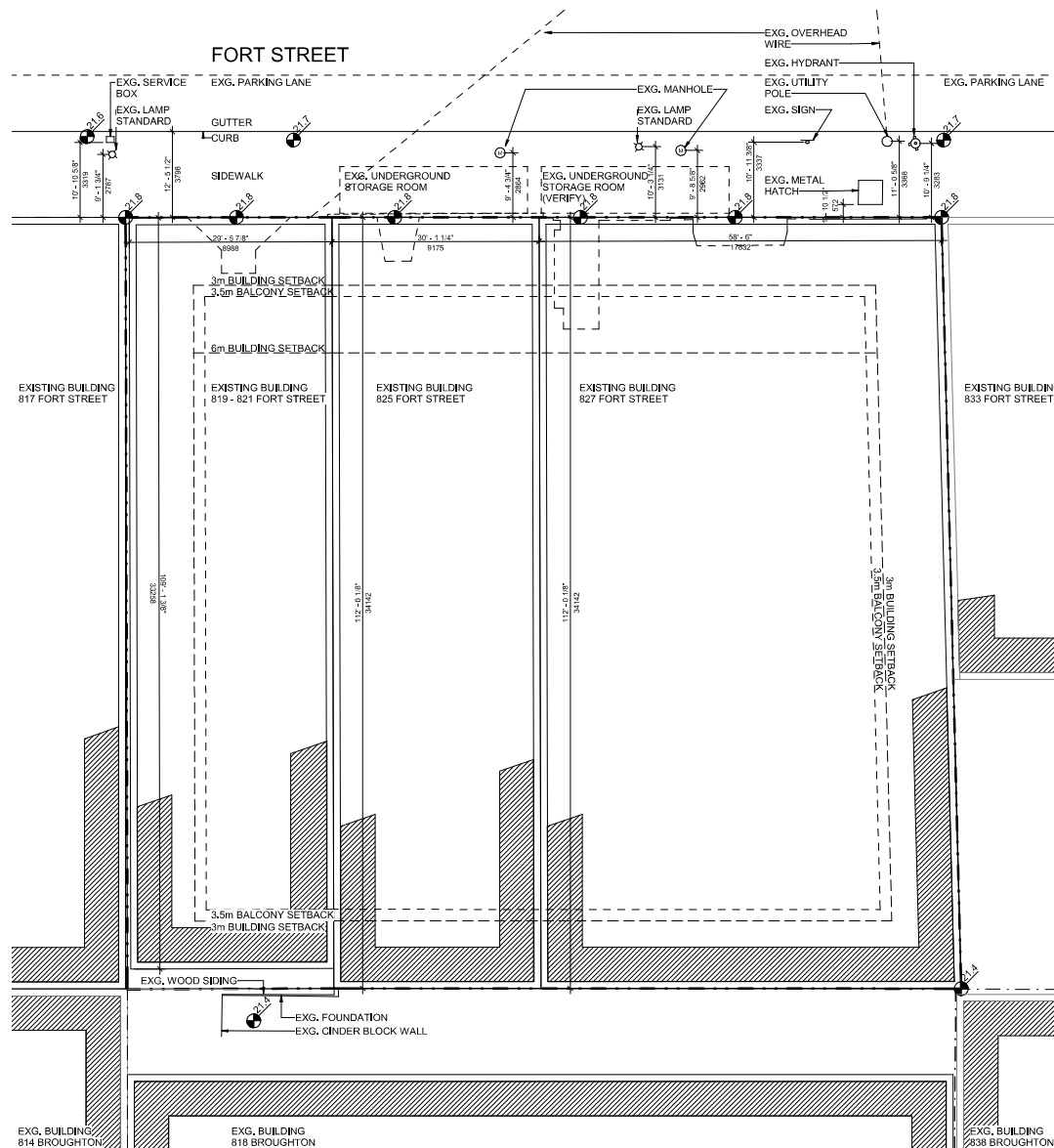
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Project 217688



Sheet

A003



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Revisions DO MMM YYYY

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825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

**Site Plan
Existing**

Drawing	
Scale	1 : 100
Project	217033

Sheet **A101**

ZONE (PREVIOUS)	CA-H CA-2
NEW ZONE	RMD-2 (RESIDENTIAL MIXED USE FRONT STREET DISTRICT)
SITE AREA	1248 SQ.M. (13,434 SQ.FT.)
TOTAL FLOOR AREA	7,457.5 SQ.M. (80,272 SQ.FT.)
COMMERCIAL FLOOR AREA	3897.5 SQ.M. (4,195 SQ.FT.)
FLOOR SPREAD RATIO	5.98
SITE COVERAGE (%)	98.7%
OPEN SITE SPACE	16 SQ.M. (172 SQ.FT.)
HEIGHT OF BUILDING (m)	31.7 M (MAIN ROOF)
NUMBER OF STOREYS	10
PARKING STALLS ON SITE	57
BICYCLE PARKING NUMBER:	
CLASS 1	141
CLASS 2	13
BUILDING SETBACKS (m):	
FRONT YARD	4.2 M - 6.0 M
REAR YARD	4.4 M
SIDE YARD (E)	3.1 M
SIDE YARD (W)	3.0 M
COMBINED SIDE YARDS	6.1 M
RESIDENTIAL USE DETAILS:	
TOTAL NUMBER OF UNITS:	105
STUDIO	4
1 BEDROOM	59
2 BEDROOM	36
3 BEDROOM	6
GROUND-ORIENTATED	N/A
MINIMUM UNIT FLOOR AREA:	
STUDIO	43.0 SQ.M. (463 SQ.FT.)
1 BEDROOM	34.3 SQ.M. (369 SQ.FT.)
2 BEDROOM	55.3 SQ.M. (596 SQ.FT.)
3 BEDROOM	79.5 SQ.M. (855 SQ.FT.)
TOTAL RESIDENTIAL FLOOR AREA	6,512.1 SQ.M. (70,098 SQ.FT.)

NOTE:
ONLY ONE FIRE DEPARTMENT
CONNECTION PROVIDED - APPROVED BY
FIRE DEPARTMENT - CITY OF VICTORIA

FORT STREET

PROPOSED CURB
PROPOSED WIDENED
SIDEWALK
PROPOSED COMMERCIAL VISITOR
BIKE STORAGE
MAIN FIRE
DEPARTMENT
CONNECTION
CRU ENTRIES

EXISTING LOADING STALL
SIDEWALK
EXG. UNDERGROUND STORAGE
ROOM TO BE DECOMMISSIONED
CRU ENTRIES

PROPOSED LOCATION OF
PLANNED MID-BLOCK CROSSWALK
PROPOSED NEW FIRE
HYDRANT LOCATION
RELOCATE EXISTING
HYDRANT
REMOVE EXISTING
UTILITY POLE
TYPE 'B' DRIVEWAY
PROPOSED ENTRY
TO UNDERGROUND
PARKING 6M WIDE
REF. TO CIVIL

3m BUILDING SETBACK
3.5m BALCONY SETBACK
6m BUILDING SETBACK

EXIT
CRU ENTRY

3x3M SIGHT
TRIANGLES PER
CoV STANDARDS
6% SLOPE
15% SLOPE
GATE BELOW

3m MAIN
RESIDENTIAL
ENTRY
CACF
3m BUILDING SETBACK
3.5m BALCONY SETBACK

PROPOSED SHORT TERM
RESIDENTIAL
VISITOR BIKE
STORAGE

3.5m BALCONY SETBACK
3m BUILDING SETBACK

EXISTING BUILDING
817 FORT STREET
EXISTING BUILDING
814 BROADBENT
EXISTING BUILDING
815 BROADBENT

7.15' - 180
121' - 2 3/8"
36942

12	202-09-06	Unassigned IP
11	202-09-07	Unassigned IP
10	202-09-08	Unassigned IP
9	202-09-07	Unassigned IP
8	202-09-08	Unassigned IP
7	2014-03	Poisoning Suspect
6	2014-04	Poisoning Suspect
5	2014-05	Poisoning Suspect
4	2014-06	Poisoning Suspect
3	2014-07	Poisoning Suspect
2	2014-08	Poisoning Suspect
1	2014-09	Poisoning Suspect

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

**Proposed Site
Plan**

Drawing	
Scale	As indicated
Project	217033

Sheet **A102**

LEGEND

- 2 HR FIRE RATED ENCLOSURE H24.2 (REFER TO ASSEMBLY SHEET)
- CL 1 - SPRAY THERMAL INSULATION
- CL 2 - FOIL BACK INSULATION
- DROP CEILING REF. TO ID RCP
- CEILING HEIGHT REF. TO ID RCP

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

Revisions DO MCM YYYY

Sheel

 825 Fort
Street Victoria

 825 Fort Street
Victoria, BC

Project

**Floor Plan
Level P2**

Drawing

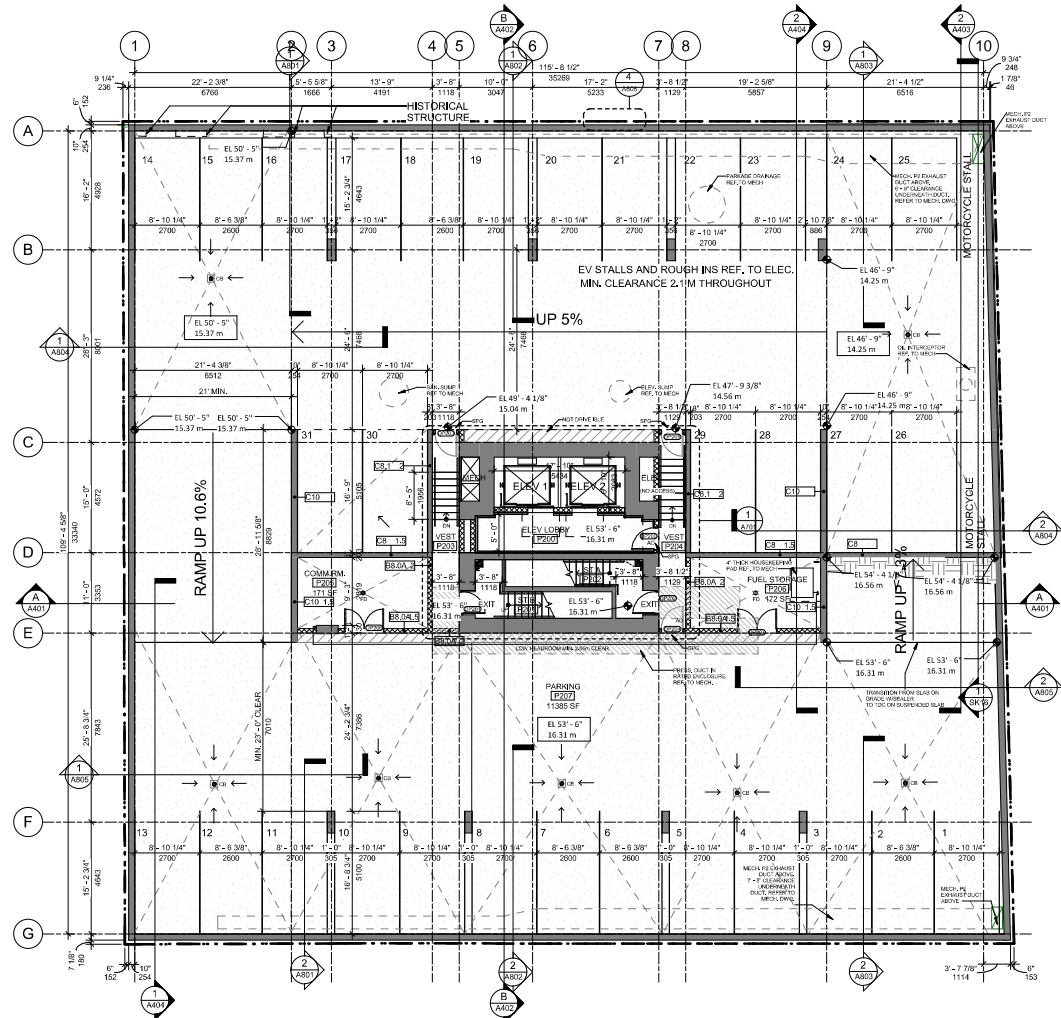
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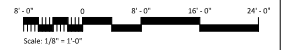
Project 217033

Sheet

A201

Sheet


P2 FLOOR PLAN
 SCALE: 1/8" = 1'-0"

 PARKING COUNT: 31 STALLS
 AREA: 13,265 SQ.FT. 1,232.9 SQ.M.


GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS, SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
- CL 1 - SPRAY THERMAL INSULATION
- CL 2 - FOIL BACK INSULATION
- DROP CEILING REF. TO ID RCP
- CEILING HEIGHT REF. TO ID RCP

12	2020-06-06	Unlabeled DP
11	2020-05-17	Unlabeled DP
10	2020-05-07	Unlabeled DP
9	2020-04-27	Unlabeled DP
8	2020-04-20	Unlabeled DP
7	2020-04-09	Phishing Remediation
6	2020-04-08	Phishing Remediation
5	2020-04-08	Phishing Remediation
4	2020-04-08	Phishing Remediation
3	2020-04-07	Phishing Remediation
2	2020-04-03	Phishing Remediation
1	2021-04-08	Phishing Remediation

Revisions DO MCM YYYY

See

**825 Fort
Street Victoria**

 825 Fort Street
Victoria, BC

Project

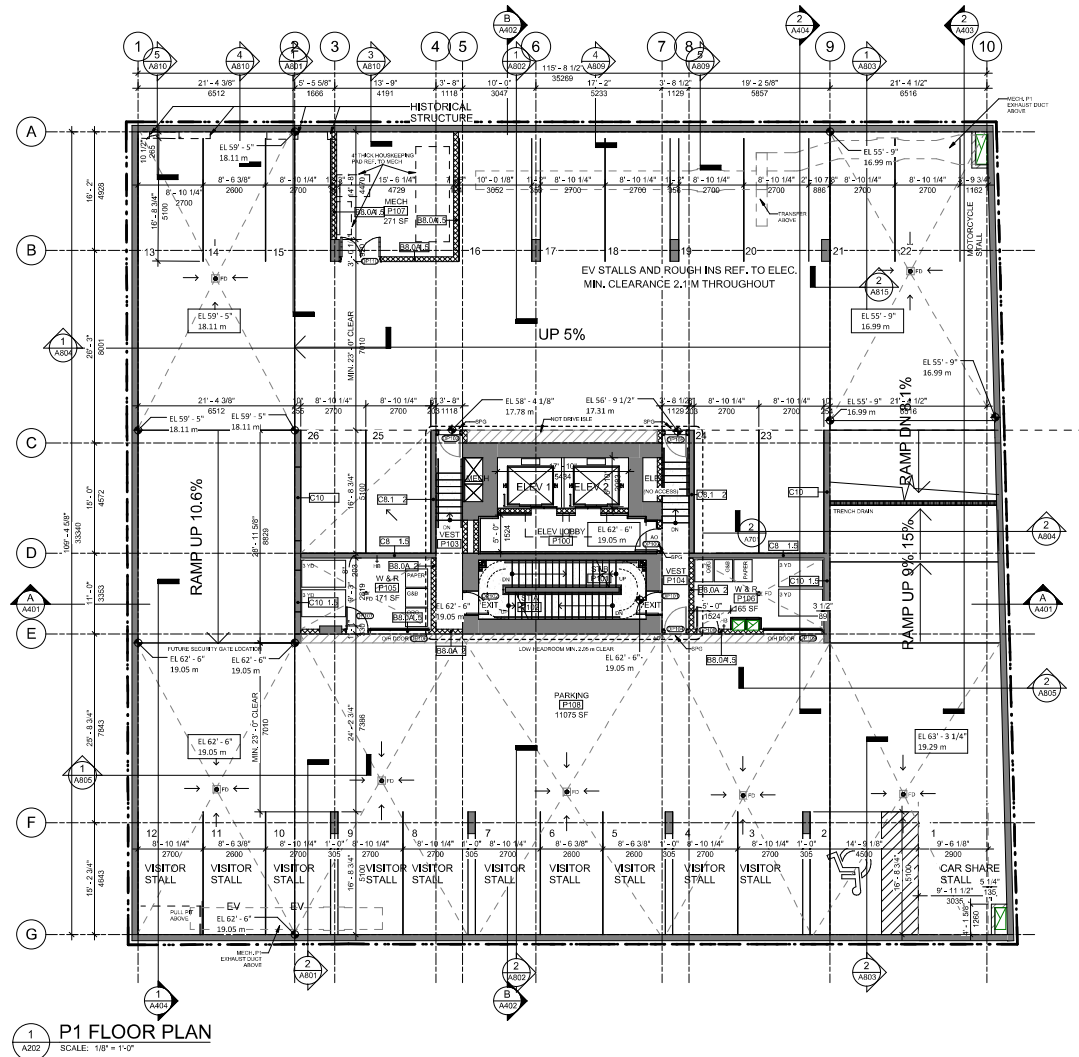
**Floor Plan
Level P1**

Drawing

Scale As indicated

Project 217763

Sheet

A202


LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
- CL 1 - SPRAY THERMAL INSULATION
- CL 2 - FOIL BACK INSULATION
- DROP CEILING REF. TO ID RCP
- CEILING HEIGHT REF. TO ID RCP

1	CRU 1	1437 SF
2	CRU 2	972 SF
3	CRU 3	580 SF
4	CRU 4	585 SF
5	CRU 5	394 SF
6	CRU 6	504 SF
7	CRU 7	504 SF
8	CRU 8	504 SF
9	CRU 9	504 SF
10	CRU 10	504 SF
11	CRU 11	504 SF
12	CRU 12	504 SF
13	CRU 13	504 SF
14	CRU 14	504 SF
15	CRU 15	504 SF
16	CRU 16	504 SF
17	CRU 17	504 SF
18	CRU 18	504 SF
19	CRU 19	504 SF
20	CRU 20	504 SF

Revisions DO MCM YYYY

Issued FOR BP: March 04, 2021

 825 Fort
 Street Victoria

 825 Fort Street
 Victoria, BC

 Project
**Floor Plan
 Ground Level**

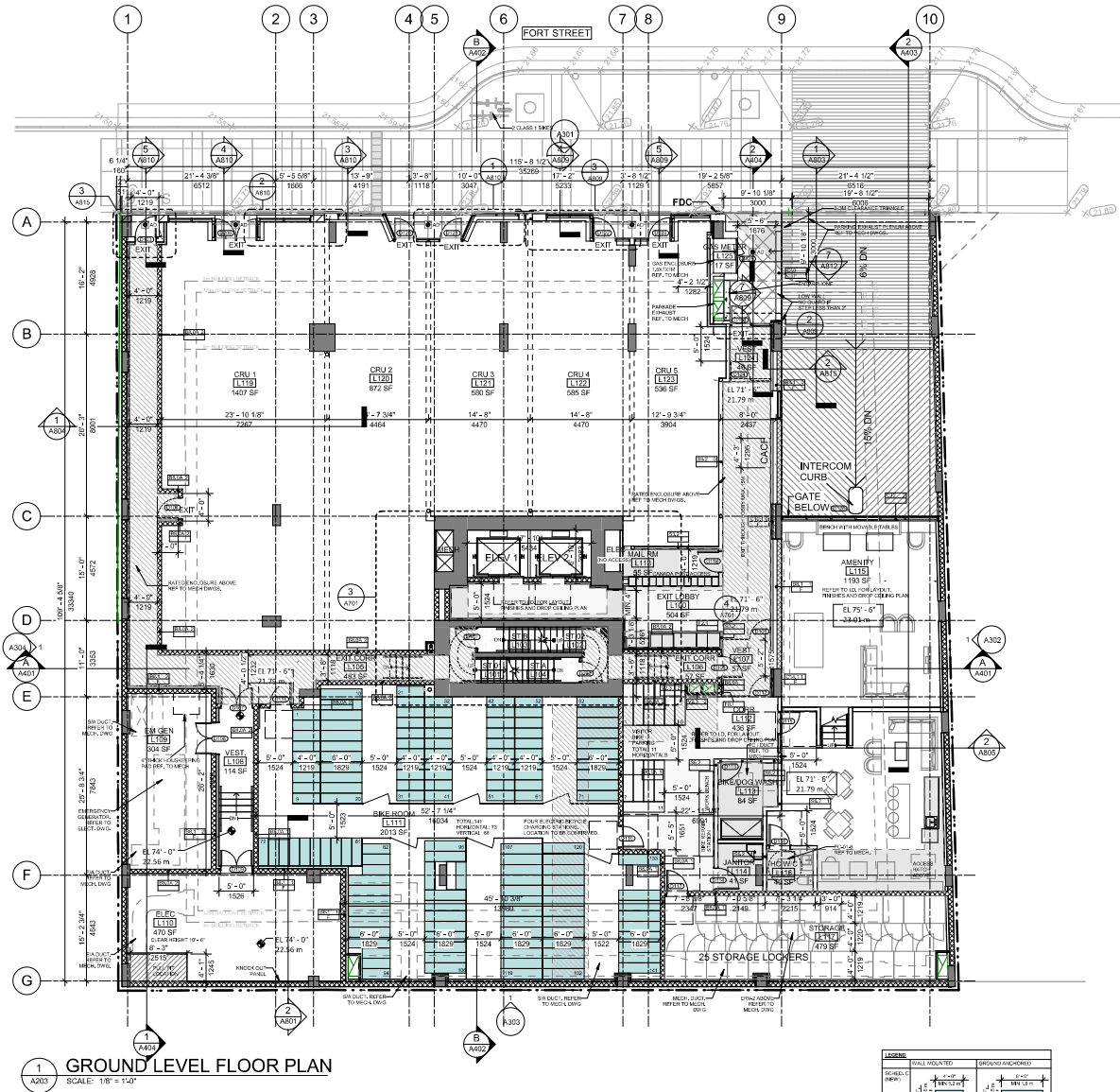
Drawing

Scale As indicated

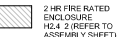
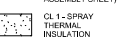
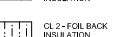
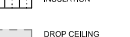
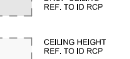
Project 217033

Sheet

A203








LEGEND

-  2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
-  CL 1 - SPRAY THERMAL INSULATION
-  CL 2 - FOIL BACK INSULATION
-  DROP CEILING REF. TO ID RCP
-  CEILING HEIGHT REF. TO ID RCP

12	2521-0306	Outgoing IP
11	2520-0306	Outgoing IP
13	2520-0306	Outgoing IP
9	2520-0267	Outgoing IP
8	2520-0306	Outgoing IP
7	2519-0409	Outgoing IP
6	2519-0409	Outgoing IP
5	2519-0409	Outgoing IP
4	2519-0409	Outgoing IP
3	2519-0409	Outgoing IP
2	2519-0409	Outgoing IP
1	2519-0409	Outgoing IP

LEGEND

	2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
	CL 1- SPRAY THERMAL INSULATION
	CL 2- FOIL BACK INSULATION
	DROP CEILING REF. TO ID RCP
	CEILING HEIGHT REF. TO ID RCP

12	2021-09-06	Unigripster DP
11	2021-09-06	Unigripster DP
10	2021-09-06	Unigripster DP
9	2021-09-06	Unigripster DP
8	2021-09-06	Unigripster DP
7	2021-09-06	Unigripster DP
6	2021-09-06	Unigripster DP
5	2021-09-06	Unigripster DP
4	2021-09-06	Unigripster DP
3	2021-09-06	Unigripster DP
2	2021-09-06	Unigripster DP
1	2021-09-06	Unigripster DP

Revisions DO MCM YYYY

Sd

 825 Fort
 Street Victoria

 825 Fort Street
 Victoria, BC

Project

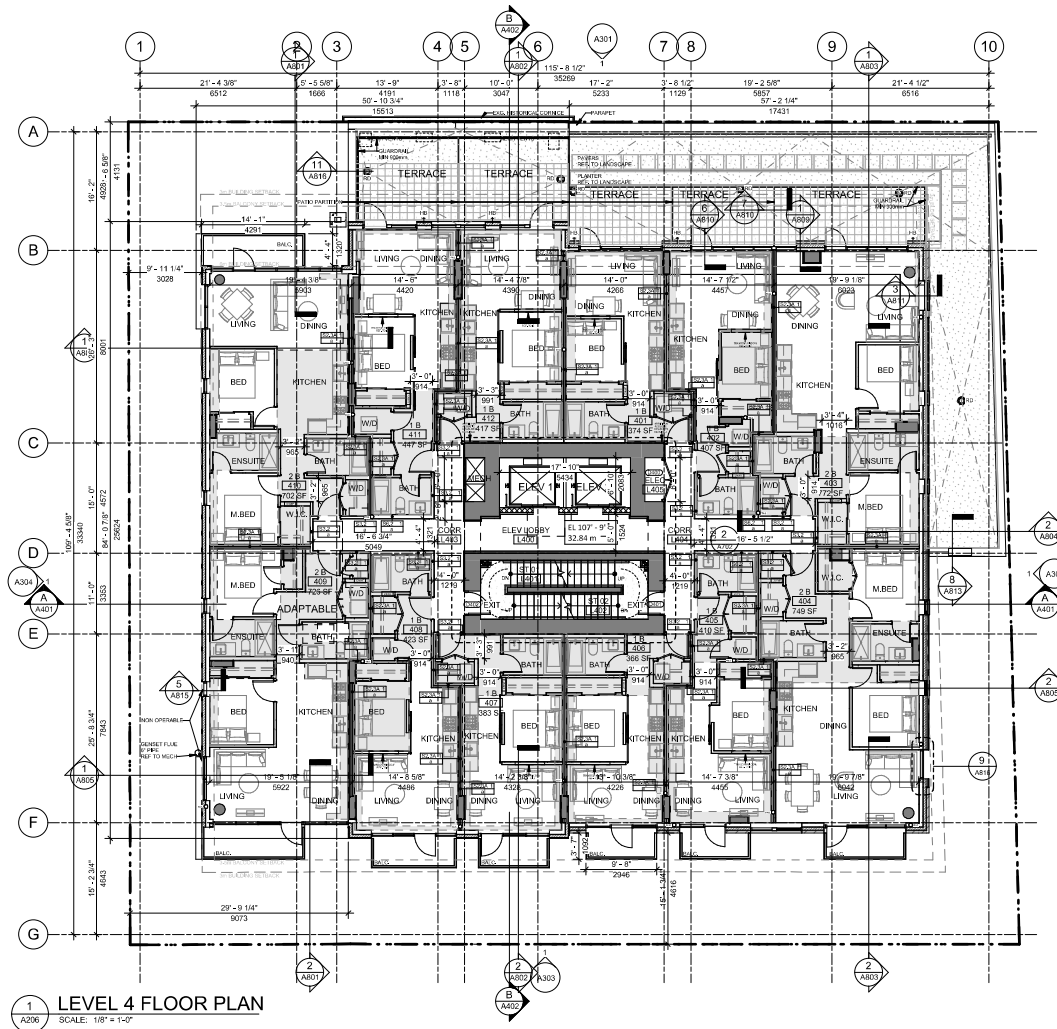
**Floor Plan
 Level 4**

Drawing

Scale As indicated

Project 217033

Sheet

A206

LEVEL 4 FLOOR PLAN

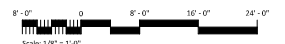
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GENERAL NOTES:

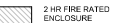
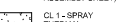


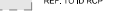
1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS, SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS, DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS, REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

NOTE: ADAPTABLE* AS PER SAANICH GUIDELINES

L 04 UNITS	
1 B	8
2 B	4
Grand total: 12	



LEGEND

-  2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
-  CL 1 - SPRAY THERMAL INSULATION
-  CL 2 - FOIL BACK INSULATION
-  DROP CEILING REF. TO ID RCP
-  CEILING HEIGHT REF. TO ID RCP

12	2021-09-06	Unigripster UP
11	2021-09-06	Unigripster UP
10	2021-09-06	Unigripster UP
9	2021-09-06	Unigripster UP
8	2021-09-06	Unigripster UP
7	2021-09-06	Unigripster UP
6	2021-09-06	Unigripster UP
5	2021-09-06	Unigripster UP
4	2021-09-06	Unigripster UP
3	2021-09-06	Unigripster UP
2	2021-09-06	Unigripster UP
1	2021-09-06	Unigripster UP

Revisions DO MUM YYYY

Seal

 825 Fort
 Street Victoria

 825 Fort Street
 Victoria, BC

Project

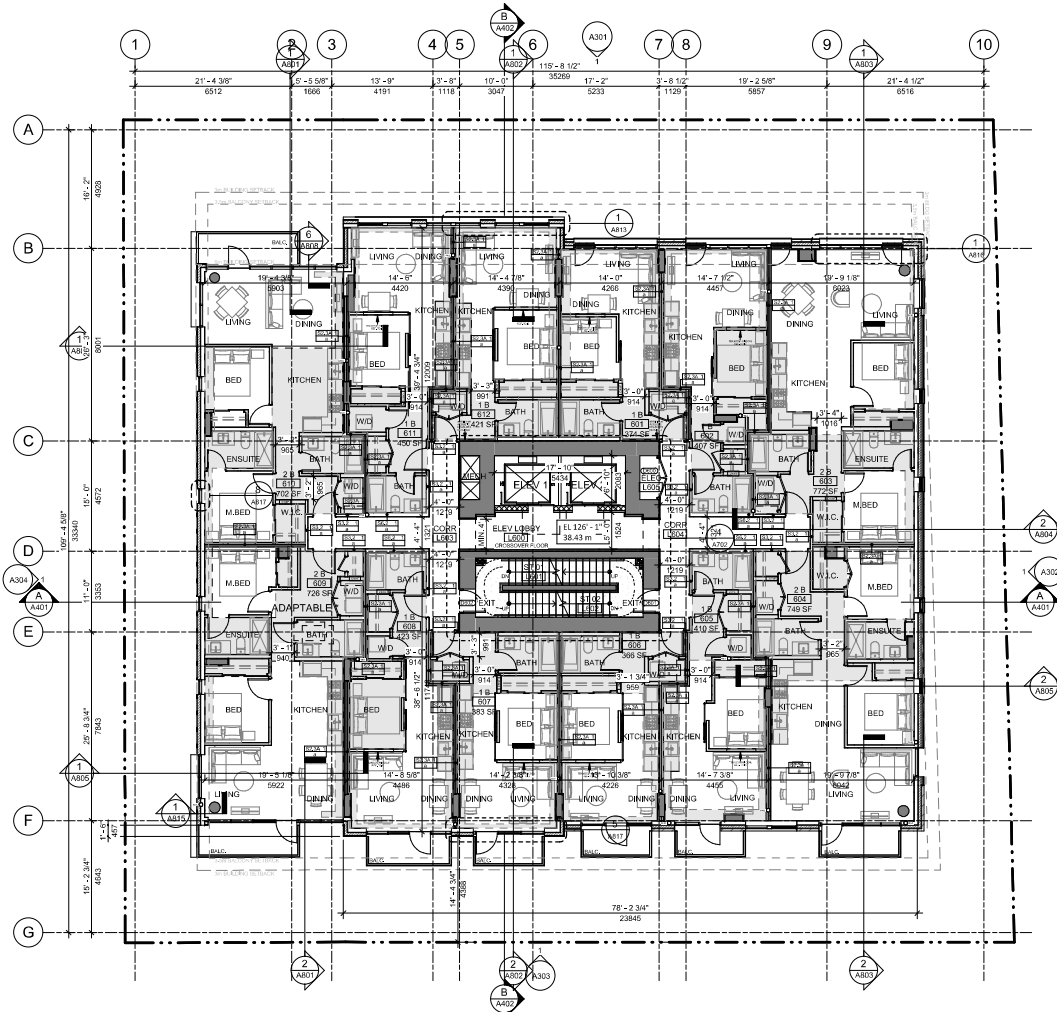
**Floor Plan
 Level 6**

Drawing

Scale As indicated

Project 217033

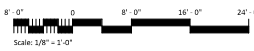
Sheet

A208

1 LEVEL 6 FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE: ADAPTABLE* AS PER SAANICH GUIDELINES






L 06 UNITS	
1 B	8
2 B	4
Grand total: 12	



GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS, SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS, DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS, REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

LEGEND

- | | |
|---|---|
|  | 2 HR FIRE RATED ENCLOSURE
REF. 2 (REFER TO ASSEMBLY SHEET) |
|  | CL 1 - SPRAY THERMAL INSULATION |
|  | CL 2 - FOIL BACK INSULATION |
|  | DROP CEILING
REF. TO ID RCP |
|  | CEILING HEIGHT
REF. TO ID RCP |

12	2021-01-06	Delighted OP
11	2021-01-07	Delighted OP
10	2021-01-07	Delighted OP
9	2021-01-07	Delighted OP
8	2021-01-07	Delighted OP
7	2021-01-07	Phishing: Rejected
6	2021-01-08	Phishing: Rejected
5	2021-01-08	Phishing: Rejected
4	2021-01-08	Phishing: Rejected
3	2021-01-08	Phishing: Rejected
2	2021-01-08	Phishing: Rejected
1	2021-01-08	Phishing: Rejected

Revisions DO MMM YYYY

Spa

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

Floor Plan
Level 7

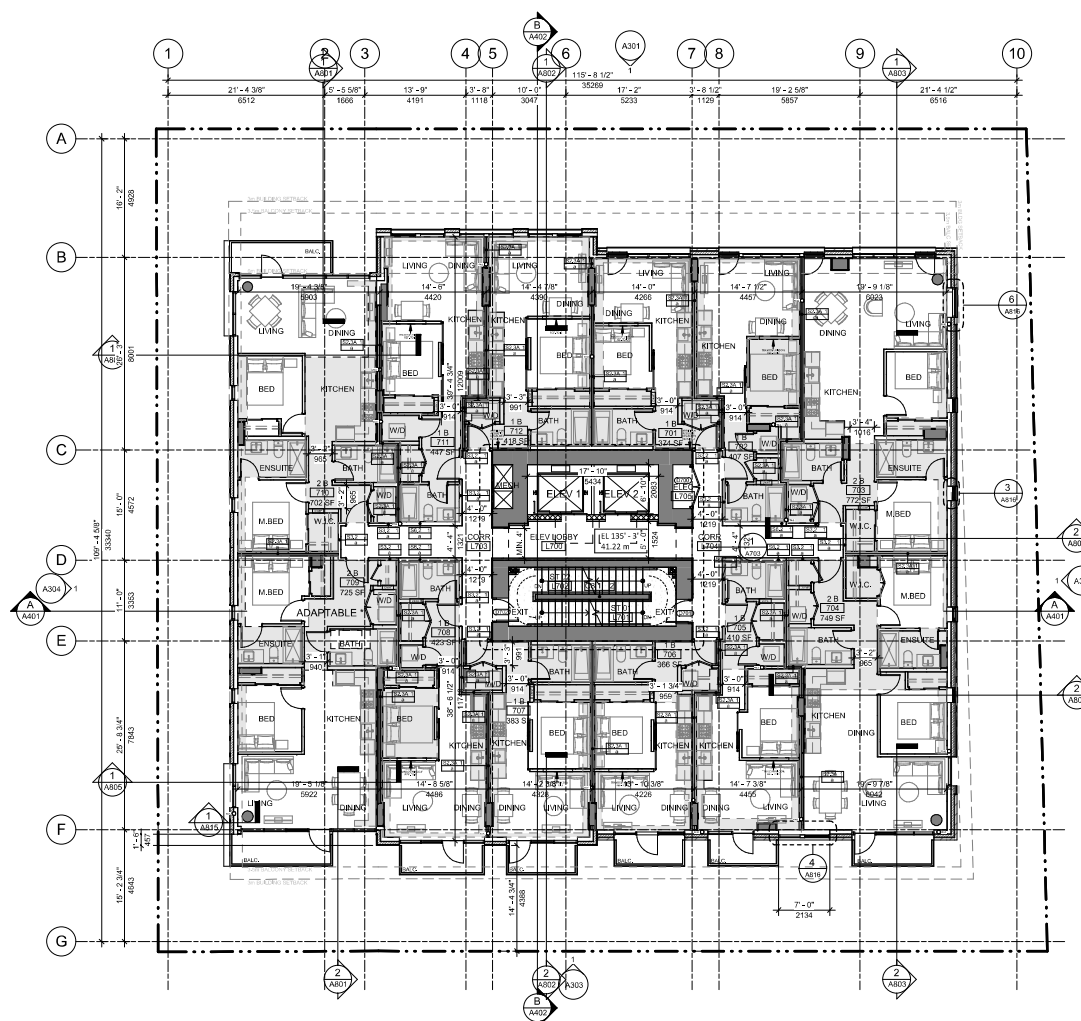
Drawing

Scale	As indicated
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Project	217033
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Sheet **A209**

ISSUED FOR DDP: March 04, 2021



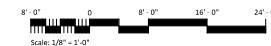
1 LEVEL 7 FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE: ADAPTABLE* AS PER SAANICH GUIDELINES

L 07 UNITS	
1 B	8
2 B	4
Grand total: 12	

Grand total: 12



Scale: 1/8" = 1'-0"

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS, SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS, DOORS/GROUND IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AND/OR GLASS IN FS.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE 1" X 2" WOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR TOP OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ABB, SAN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRAD TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH MECHANICAL CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
- CL 1- SPRAY THERMAL INSULATION
- CL 2- FOIL BACK INSULATION
- DROP CEILING REF. TO ID RCP
- CEILING HEIGHT REF. TO ID RCP

B	2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
C	CL 1- SPRAY THERMAL INSULATION
D	CL 2- FOIL BACK INSULATION
E	DROP CEILING REF. TO ID RCP
F	CEILING HEIGHT REF. TO ID RCP
G	
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Revisions DO MUM YYYY

Seal

**825 Fort
Street Victoria**

825 Fort Street
Victoria, BC

Project

**Floor Plan
Level 8**

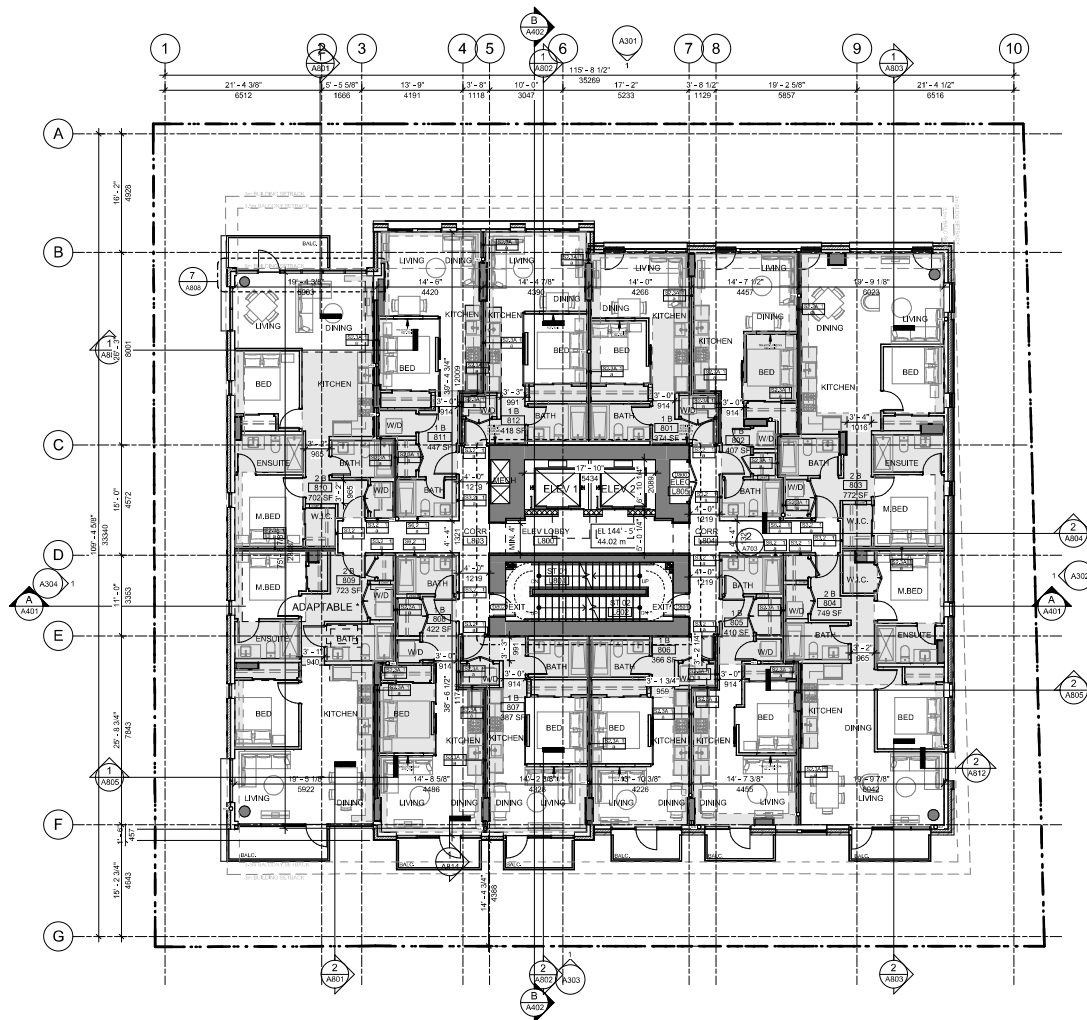
Drawing

Scale As indicated

Project 217033

Sheet

A210

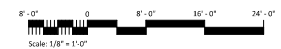

GENERAL NOTES:

- REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
- REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
- GLASS DOORS TO BE TEMPERED GLASS, SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
- LEVEL ALL ENTRIES WHERE NECESSARY.
- SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS, REFER TO DETAILS.
- PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
- PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
- CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
- CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
- REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

1 LEVEL 8 PLAN
 A210 SCALE: 1/8" = 1'-0"

NOTE: ADAPTABLE* AS PER SAANICH GUIDELINES

L 08 UNITS	
1B	8
2B	4
Grand total:	12



LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
- CL 1 - SPRAY THERMAL INSULATION
- CL 2 - FOIL BACK INSULATION
- DROP CEILING REF. TO ID RCP
- CEILING HEIGHT REF. TO ID RCP

12	202-0000	Unlabeled IP
11	202-0001	Unlabeled IP
10	202-0002	Unlabeled IP
9	202-0003	Unlabeled IP
8	202-0004	Unlabeled IP
7	202-0005	Phosphorylation
6	202-0006	Phosphorylation
5	202-0007	Phosphorylation
4	202-0008	Phosphorylation
3	202-0009	Phosphorylation
2	202-0010	Phosphorylation
1	202-0011	Phosphorylation

Revisions DO MMM YYYY

Seal _____ S.

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project _____

Floor Plan
Level 9

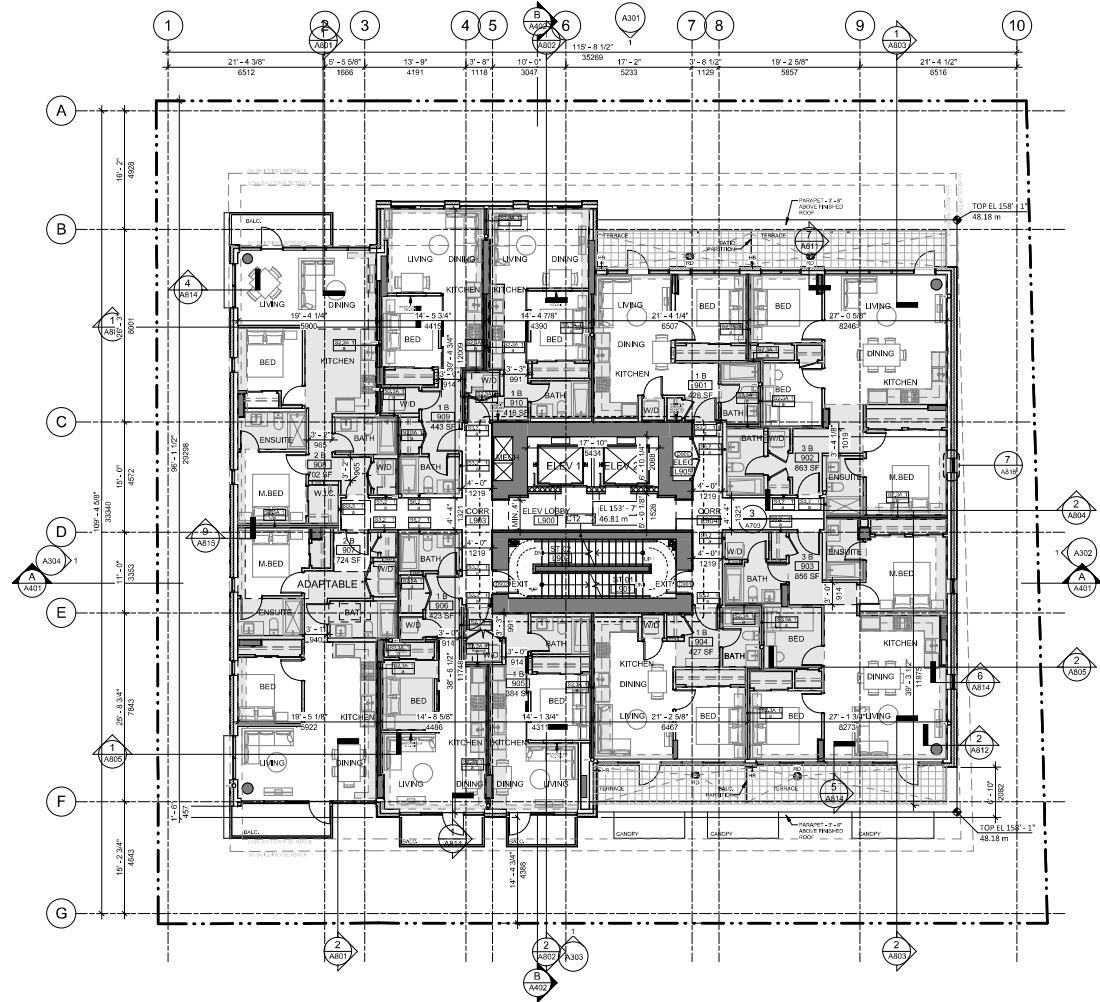
Drawing

Scale	As indicated
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Project 217033

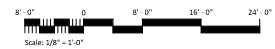
A211

Sheet _____



NOTE: ADAPTABLE* AS PER SAANICH GUIDELINES

L 09 UNITS	
1 B	6
2 B	2
3 B	2
Grand total: 10	



GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS, SLIDING ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS, DOORS/GLASS IN FISH WITH SPRINKLER HOLES SLIDING (RSP) TO BE TEMPERED GLASS.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS FOR CEMENT CORKS REFINISH AND COME UP PANELS, 8" HIGH FOR WIDTH OF PANELS.
6. PREPARE SITE MOCK UPS OF THE WALLS FOR REVIEW BY BUILDING INSPECTOR, WALLS TO BE SMOOTH AND SUB TRADE TO HANDS FOR REVIEW OF ALL PLUMBING, DRUM, SINKS AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
7. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
8. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.






1
A211

LEVEL 9 FLOOR PLAN

SCALE: 1/8" = 1'-0"

3/4/2021 4:51:13 PM

LEGEND

 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 CL 1 - SPRAY THERMAL INSULATION
 CL 2 - FOIL BACK INSULATION
 DROP CEILING REF. TO ID RCP
 CEILING HEIGHT REF. TO ID RCP

12	2021-01-06	Delighted OP
11	2021-01-07	Delighted OP
10	2021-01-20	Delighted OP
9	2021-02-07	Delighted OP
8	2021-02-08	Delighted OP
7	2019-04-02	Phishing: Rejected
6	2019-04-08	Phishing: Rejected
5	2019-07-20	Phishing: Rejected
4	2019-07-24	Phishing: Rejected
3	2019-09-02	Phishing: Rejected
2	2019-09-03	Phishing: Rejected
1	2019-09-03	Phishing: Rejected

Revisions DO MMM YYYY

22

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

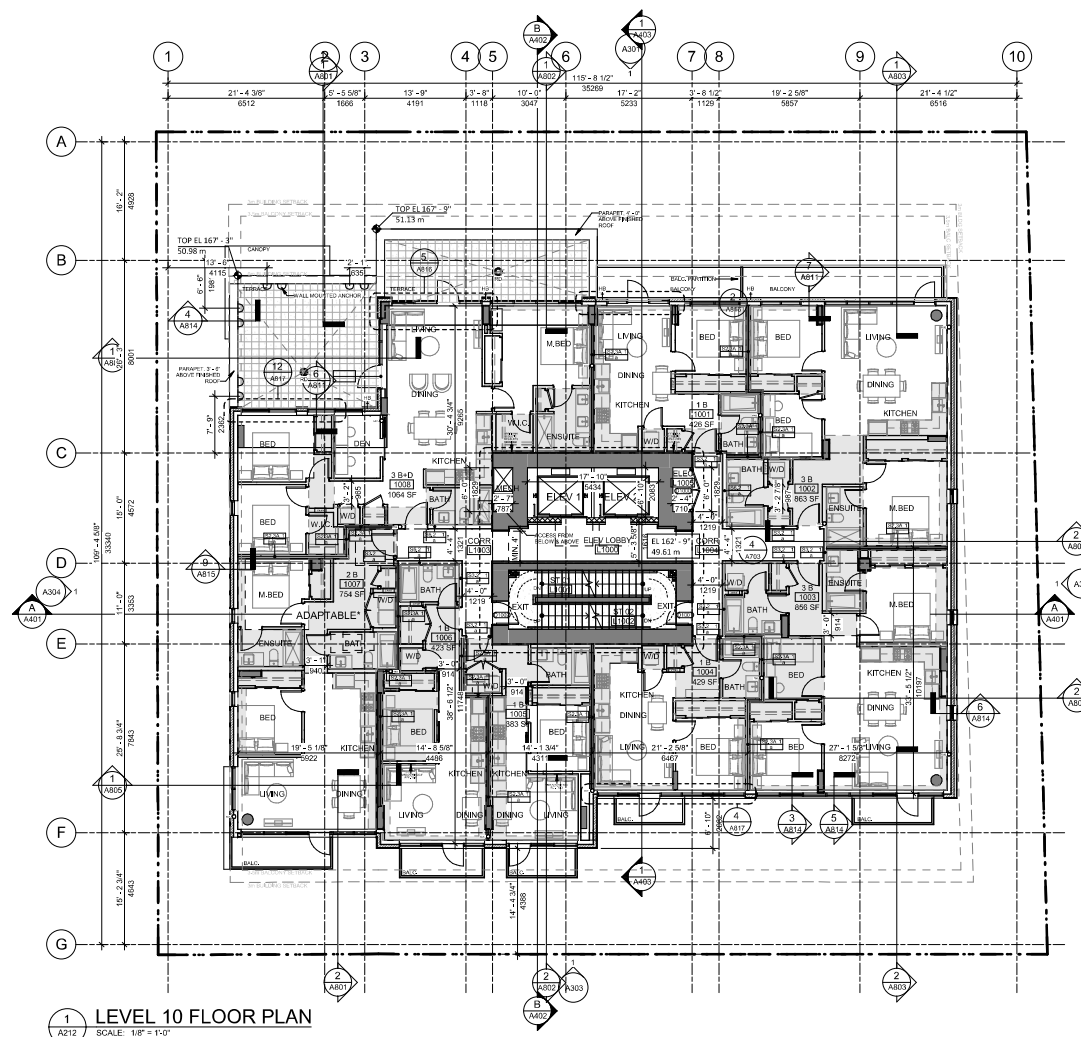
Project

Floor Plan

Drawing

Scale	As indicated
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Project	217033
---------	--------

Sheet **A212**

NOTE: ADAPTABLE* AS PER SAANICH GUIDELINES

L 10 UNITS	
1 B	4
2 B	1
3 B	2
3 B+D	1

Grand total: 8



GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS, SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS, DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS, REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR, CONTRACTOR AND TRADES PRIOR TO INSTALLATION.
8. PROVIDE ALL SANITARY AND TRADES PRIOR TO INSTALLATION.
9. SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
10. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
11. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

1	ROOF	ROOF
2	ROOF	ROOF
3	ROOF	ROOF
4	ROOF	ROOF
5	ROOF	ROOF
6	ROOF	ROOF
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98	ROOF	ROOF
99	ROOF	ROOF
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Revisions DO MUM YYYY

Seal

 825 Fort
 Street Victoria

 825 Fort Street
 Victoria, BC

Project

Roof Plan

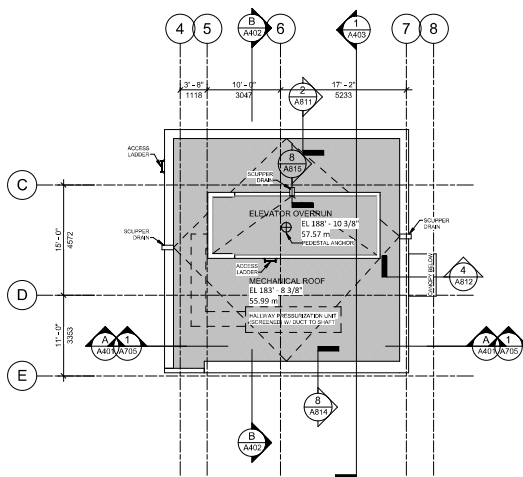
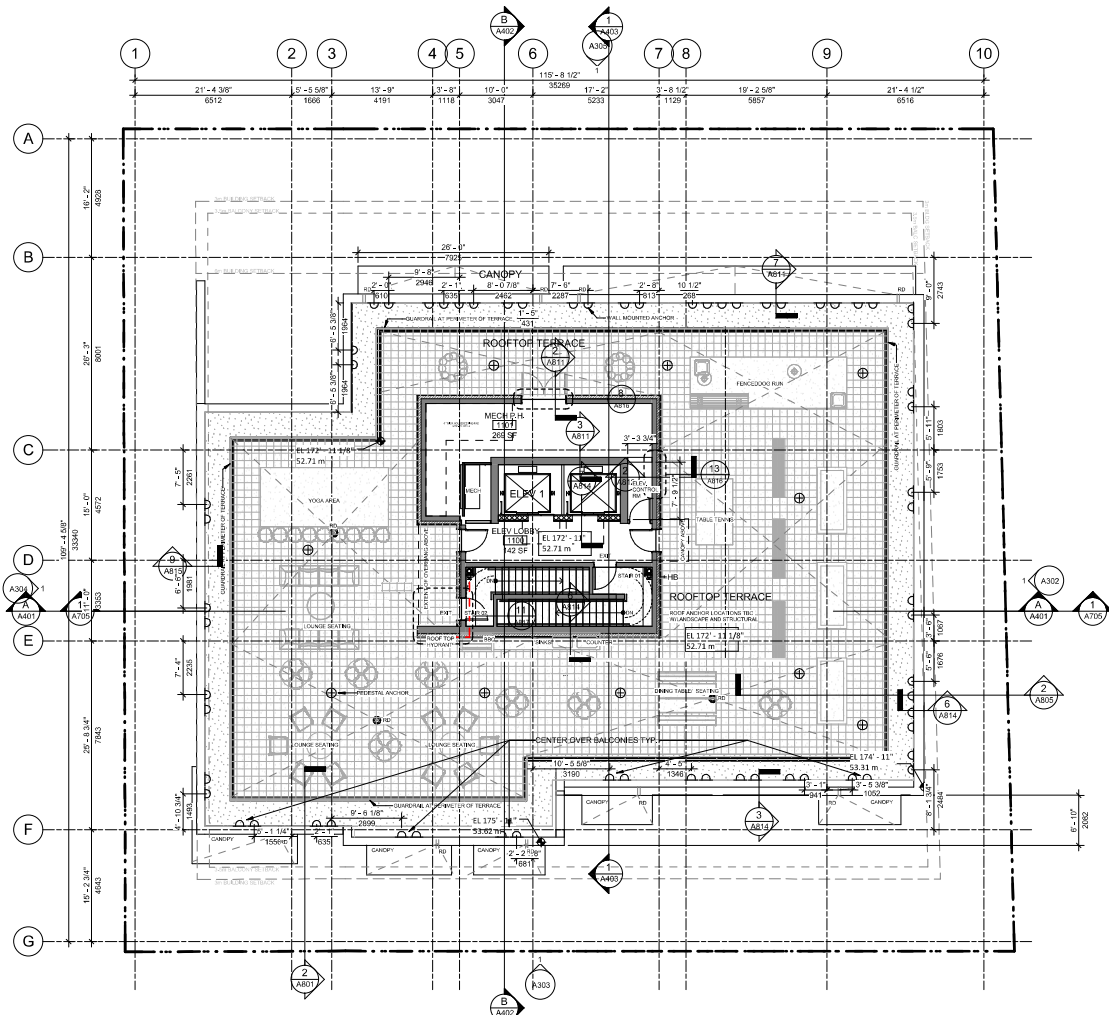
Drawing

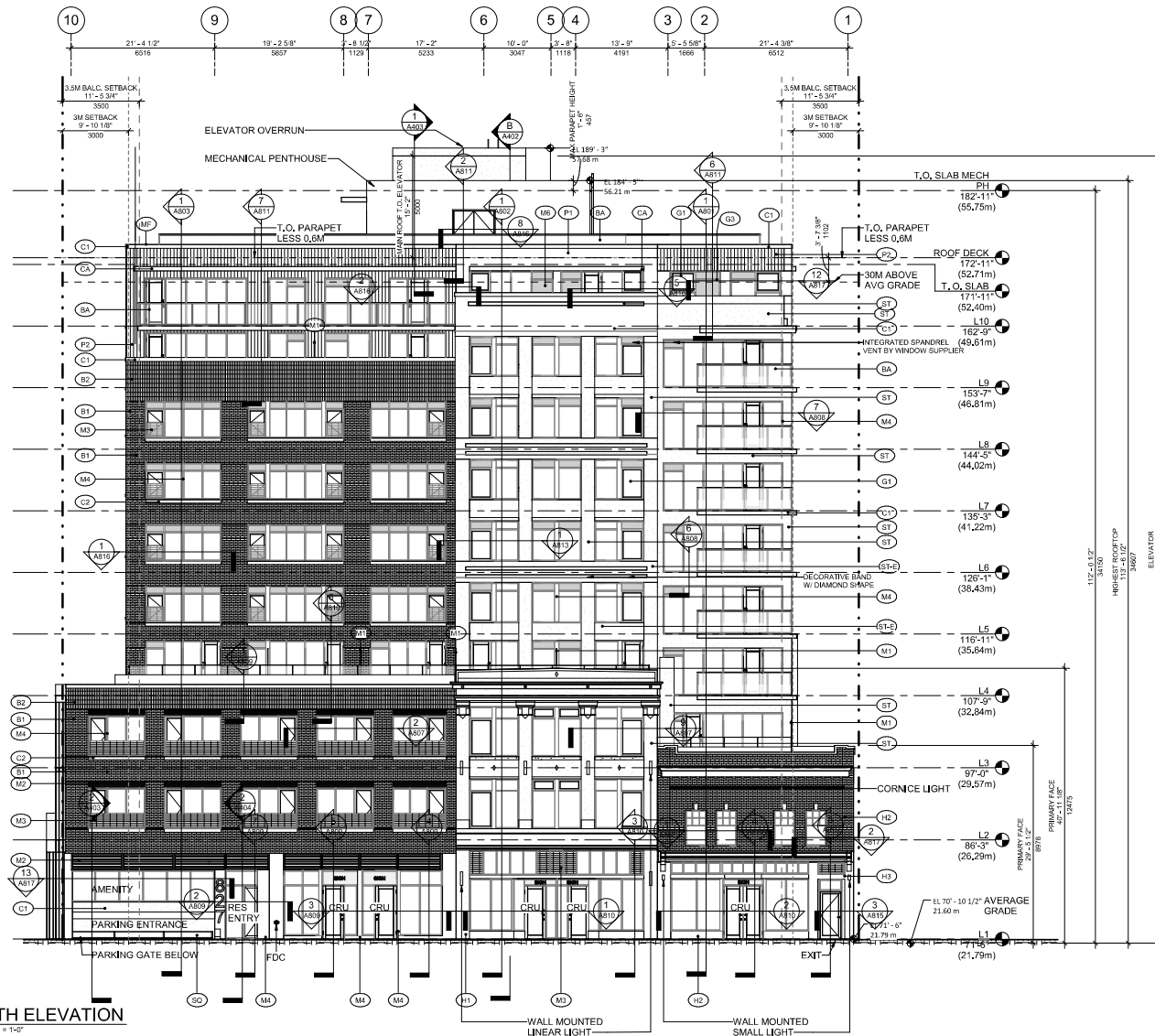
Scale 1/8" = 1'-0"

Project 217033

Sheet

A213


 2
 A213
 ELEV. ROOF PLAN
 SCALE: 1/8" = 1'-0"

 1
 A213
 MAIN ROOF PLAN
 SCALE: 1/8" = 1'-0"

MCM

**Musson
Cattell
Mackey
Partnership**

Architects Designers Planners
Oceanic Plaza
1056 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3K1
T. 604.687.2990
F. 604.687.1771
MCMPartnership.com

SALIENT

1	2020-04-01	Initial
2	2020-04-01	Revised
3	2020-04-01	Revised
4	2020-04-01	Revised
5	2020-04-01	Revised
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7	2020-04-01	Revised
8	2020-04-01	Revised
9	2020-04-01	Revised
10	2020-04-01	Revised
11	2020-04-01	Revised
12	2020-04-01	Revised
13	2020-04-01	Revised
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15	2020-04-01	Revised
16	2020-04-01	Revised
17	2020-04-01	Revised
18	2020-04-01	Revised
19	2020-04-01	Revised
20	2020-04-01	Revised

Revisions DO MMM YYYY

ISSUED FOR BP: March 04, 2021

825 Fort Street Victoria

825 Fort Street
Victoria, BC
Project
**North Building
Elevation**

Drawing
Scale As indicated
Project 217033

Sheet **A302**

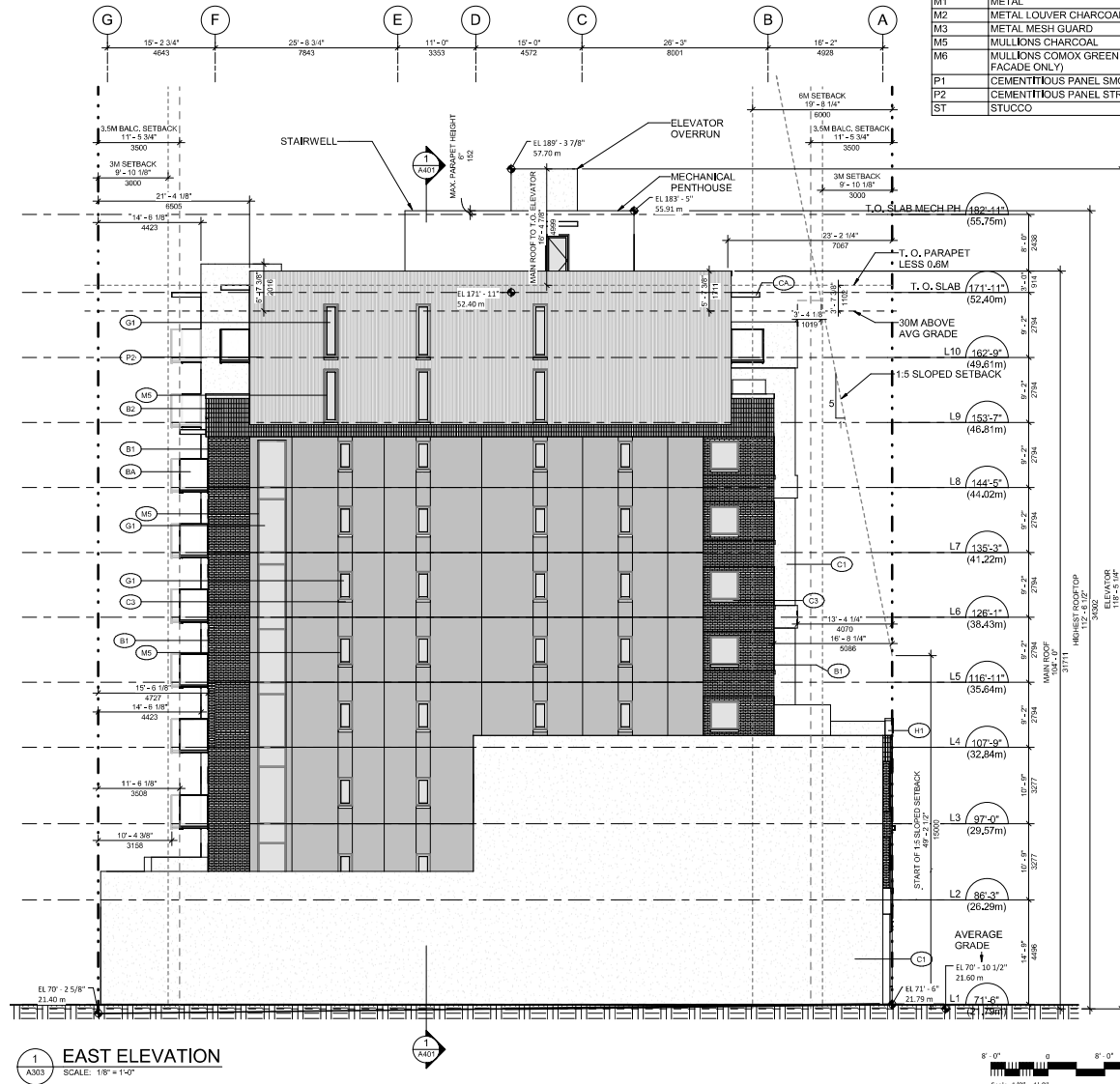
Keynote Legend - Exterior Elevation Materials	
Key Value	Keynote Text
B1	BRICK
B2	BRICK, STACKED VERTICAL
BA	BALCONY CLEAR GLASS WITH METAL RAIL
C1	CONCRETE
C3	CONCRETE SILLS
CA	CANOPY
G1	GLAZING
G5	GLASS SPANDREL
H1	EXISTING CONCRETE HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	METAL
M2	METAL LOUVER CHARCOAL
M3	METAL MESH GUARD
M5	MULLIONS CHARCOAL
M6	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
P1	CEMENTITIOUS PANEL SMOOTH FINISH
P2	CEMENTITIOUS PANEL STRIPED FINISH
ST	STUCCO

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1056 West Hastings Street
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SALIENT



1	8/20/21	8/20/21
2	8/20/21	8/20/21
3	8/20/21	8/20/21
4	8/20/21	8/20/21
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16	8/20/21	8/20/21
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18	8/20/21	8/20/21
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Revisions DO MUM YYYY

ISSUED FOR BP: March 04, 2021

825 Fort Street Victoria

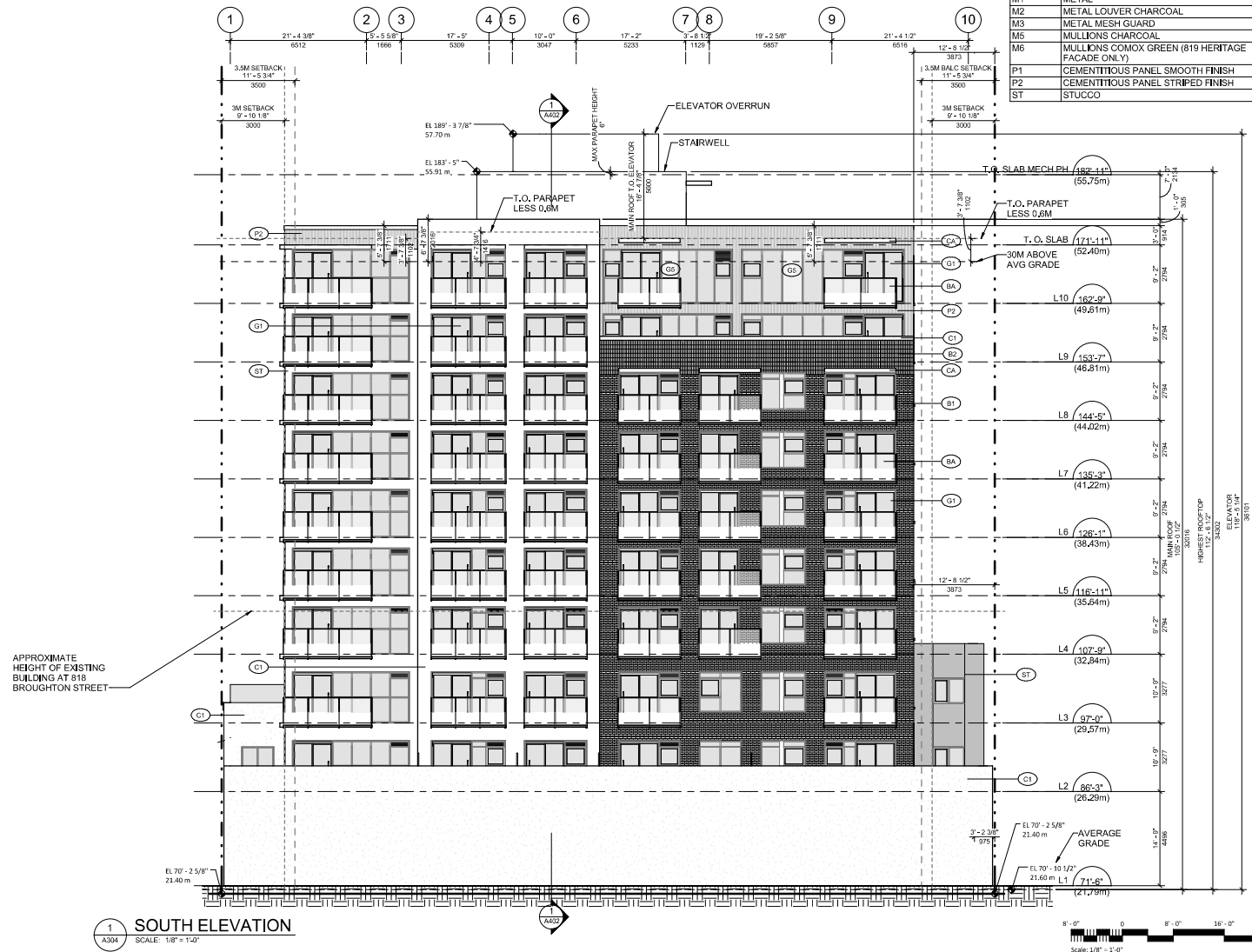
825 Fort Street
Victoria, BC

East Building
Elevation

Drawing
Scale 1/8" = 1'-0"
Project 217635

Sheet
A303

Keynote Legend - Exterior Elevation Materials	
Key Value	Keynote Text
B1	BRICK
B2	BRICK, STACKED VERTICAL
BA	BALCONY CLEAR GLASS WITH METAL RAIL
C1	CONCRETE
C3	CONCRETE SILLS
CA	CANOPY
G1	GLAZING
G5	GLASS SPANDREL
H1	EXISTING CONCRETE HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	METAL
M2	METAL LOUVER CHARCOAL
M3	METAL MESH GUARD
M5	MULLIONS CHARCOAL
M6	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
P1	CEMENTITIOUS PANEL SMOOTH FINISH
P2	CEMENTITIOUS PANEL STRIPED FINISH
ST	STUCCO



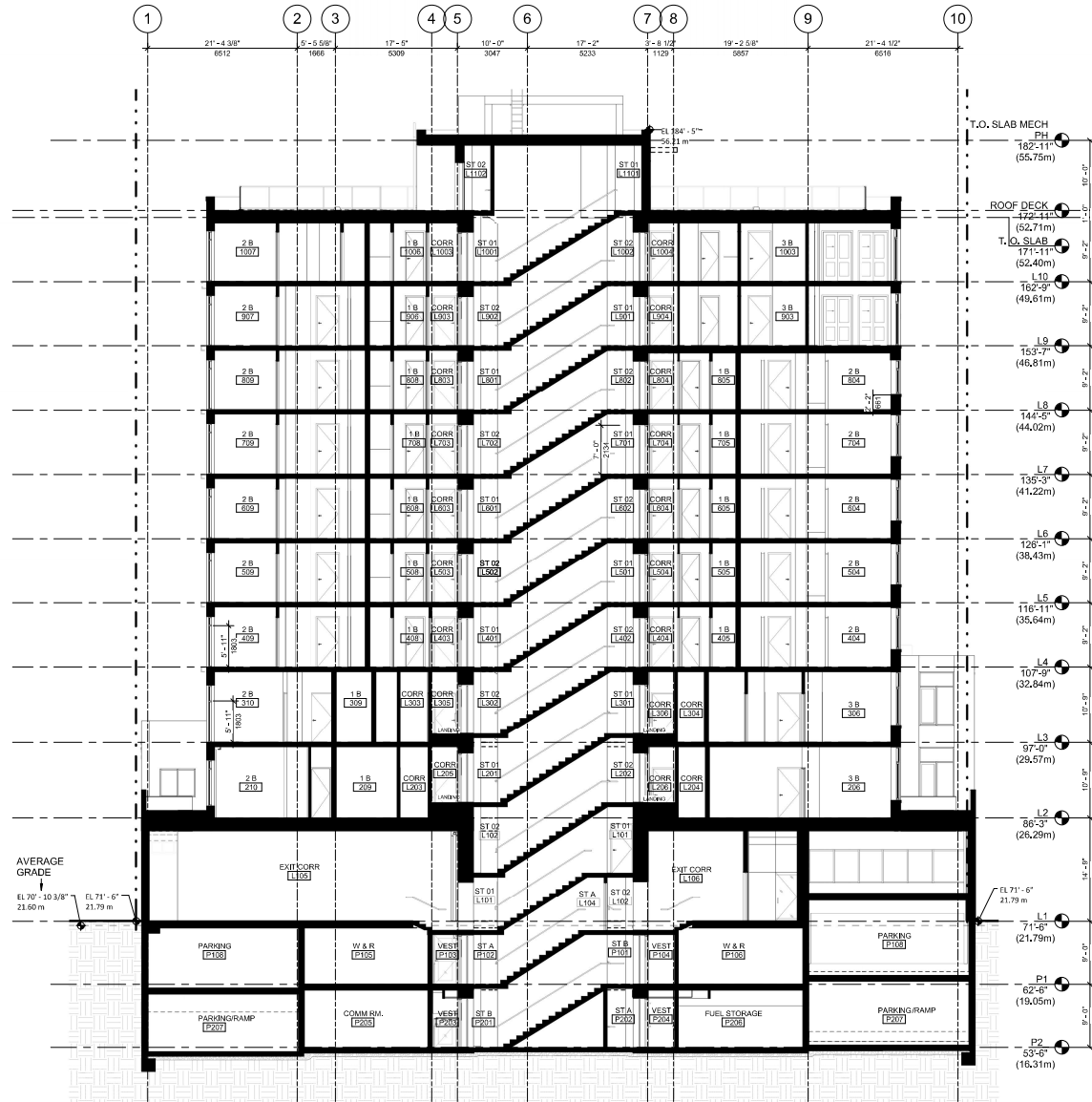
MCM

Architects Designers Planner
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T. 604.687.2990
F. 604.687.1771
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14	2021-02-04	Unassigned DP
13	2021-02-04	Unassigned DP
12	2021-02-04	Unassigned DP
11	2021-02-04	Unassigned DP
10	2021-02-04	Unassigned DP
9	2019-04-03	Phishing: Suspicious
8	2019-04-03	Phishing: Suspicious
7	2019-04-03	Phishing: Suspicious
6	2019-04-03	Phishing: Suspicious
5	2019-04-03	Phishing: Suspicious
4	2019-04-03	Phishing: Suspicious
3	2019-04-03	Phishing: Suspicious
2	2019-04-03	Phishing: Suspicious

ISSUED FOR BP: March 04, 2021

A305



A-A Building Section A-A
 SCALE: 1/8" = 1'-0"

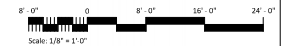
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8	REVISION	DATE
9	REVISION	DATE
10	REVISION	DATE

Revisions DO MUM YYYY

 825 Fort
 Street Victoria

 825 Fort Street
 Victoria, BC

**Building
 Section**

 Drawing
 Scale 1/8" = 1'-0"
 Project 217033

 Sheet **A401**

12	252-42-1	Unassigned IP
11	252-42-1	Unassigned IP
10	252-42-1	Unassigned IP
9	252-42-1	Unassigned IP
8	252-42-1	Phishing: Random
7	252-42-1	Phishing: Random
6	252-42-1	Phishing: Random
5	252-42-1	Phishing: Random
4	252-42-1	Phishing: Random
3	252-42-1	Phishing: Random
2	252-42-1	Phishing: Random
1	252-42-1	Phishing: Application

Revisions DO MUM YYYY

Issued FOR BP: March 04, 2021

825 Fort Street Victoria

825 Fort Street Victoria, BC

Project

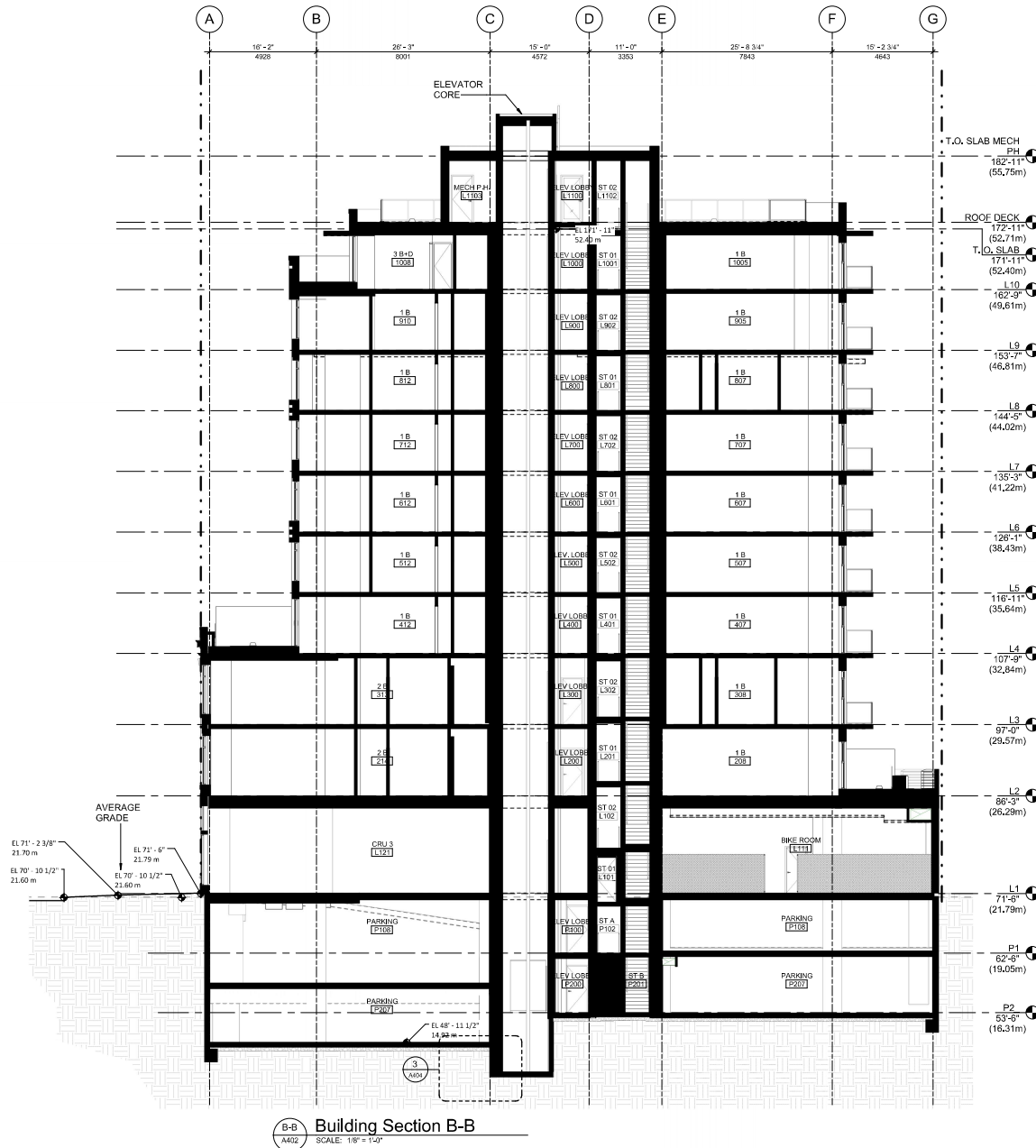
Building Section

Drawing

Scale 1/8" = 1'-0"

Project 217033

Sheet



1

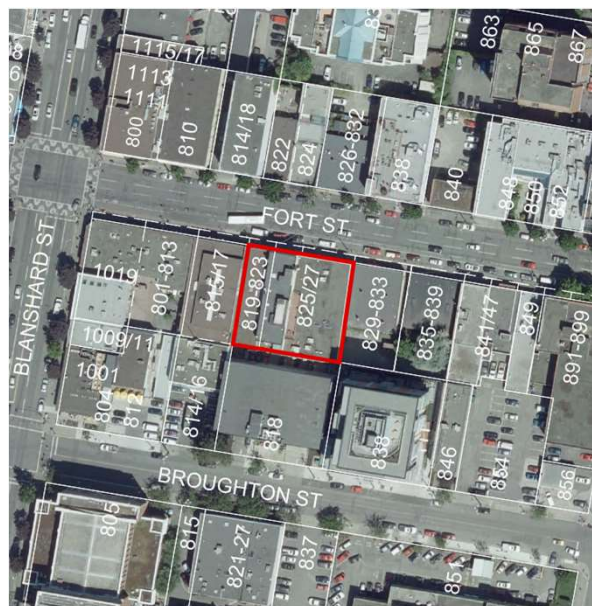
Development Permit with Variance Permit Application for 825 Fort Street



1

Aerial View

2



2

Proposal

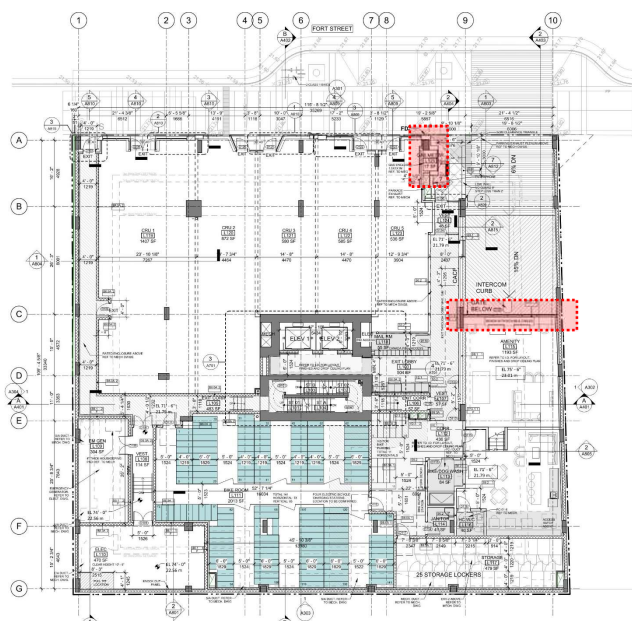
3



3

Floor Plan – Level 1

4



4

Floor Plan – Level 2

5



5

6



6