

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
- WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT 2 WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
- OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND TERASEN GAS THROUGH BC 1 CALL AT 1 800 474 6886 A MINIMUM OF 72 HOURS IN ADVANCE OF ANY EXCAVATION ON THE SITE.
- EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS 2 WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
- BED ALL PIPE USING CLASS 'B' BEDDING.
- WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PITRUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
- DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
- AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG DESPARD AVE DURING CONSTRUCTION.
- COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 100% STANDARD PROCTOR DENSITY FOR THE TOP 300mm AND 95% MODIFIED STANDARD PROCTOR BELOW.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
- ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
- CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND NATIONAL BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.

SEWER AND DRAIN

- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 100# PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 150# PVC DR28 UNLESS OTHERWISE NOTED. IF CORNER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
- SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
- ① THE CITY OF VICTORIA SHALL INSTALL A NEW SEWER SERVICE C/W CLEANOUT AT THE PROPERTY LINE FOR LOT 4 AT DEVELOPER'S EXPENSE.
- ③ THE CITY OF VICTORIA SHALL INSTALL A NEW CLEANOUT AT THE PROPERTY LINE FOR LOT 4 AT DEVELOPER'S EXPENSE.

WATER

- ② THE CITY OF VICTORIA SHALL INSTALL TWO 25mm WATER CONNECTION TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE. EXISTING WATER SERVICE TO BE REMOVED AT DEVELOPER'S EXPENSE.

HYDRO, TELEPHONE, SHAW, AND GAS

- HYDRO, TELEPHONE, AND SHAW TO BE SERVICED OVERHEAD
- GAS SERVICE IS TO BE ABANDONED BY TERASEN AT THE GAS MAIN ON DESPARD.

LEGEND

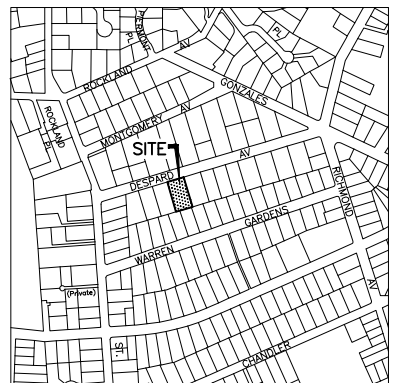
- CONCRETE DRIVEWAY
- APPROXIMATE EXTEND OF ASPHALT
- AS RECORDED ELEVATION

WORKS AND SERVICES CHECK TABLE

	PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
		COMPANY NAME	SIGNATURE	
UTILITY	HYDRO ELECTRIC CO.	BC Hydro	P. [Signature]	Jan 20/10
	TELEPHONE CO.	TELUS	[Signature]	Jan 26/10
	GAS CO.	TERASEN GAS	[Signature]	Jan 21/10
	CABLE CO.	Shaw Cable	[Signature]	Jan 20/10
	FIBRE OPTIC CO.			
MUNICIPAL	UNDERGROUND SERVICES			
	TRAFFIC			
	HIGHWAYS			



Revisions

Received Date:
June 24, 2021

LOCATION PLAN

NTS
PROPOSED DEVELOPMENT OF LOT 4, BLOCK A, SECTION 68,
PLAN 3363, VICTORIA DISTRICT.



RECORD DRAWING

0 4 12m
1:200

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND										
WATER	W	GAS	G	EXISTING U/G UTL.	MANHOLE	⊙	HYDRANT	⊕	MONUMENT	⊕
SEWER	S	CURB	C	PROPOSED U/G UTL.	CLEANOUT	⊙	VALVE	⊕	LOT PIN	•
DRAIN	D	SIDEWALK	S/W	LIGHT STANDARD	CATCHBASIN	⊕	METER	⊕	LEAD PLUG	■
DITCH	→	EDGE PAVE.	—	POWER POLE	ROAD SIGN	⊕	REDUCER	⊕		
CULVERT	→	BUSHLINE	—	ANCHOR						
HEADWALL	→	TREE	⊙							

REVISIONS

No.	DESCRIPTION	DATE	SIGN
1	RECORD DRAWING	21/05/19	Y

DESIGNED	MW
DRAWN	JS
CHECKED	PC
DATE	09/12/21
B.M.	303
ELEV.	25.304
SCALE	Horz. 1:200
	Vert. 1:50



WESTBROOK
Consulting Ltd.

#202 - 774 Goldstream Ave., Victoria, BC V9B 2X3
Telephone: 250-391-8592 Facsimile: 250-391-8593

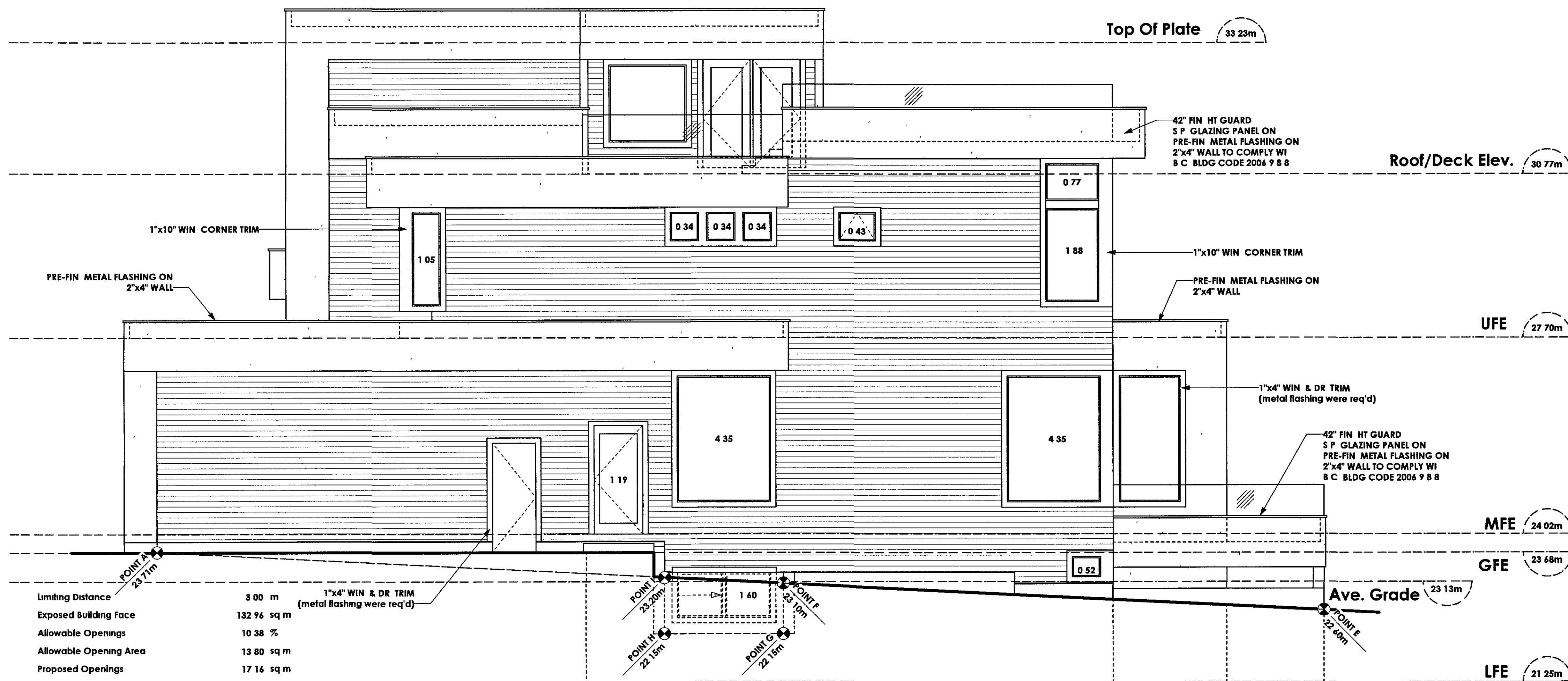
PROJECT
1535 & 1537 DESPARD AVE
NORM EDEN AND KEVIN ALGAR

OFFSITE SERVICING PLAN

WESTBROOK PROJECT No.		3663
GOVERNING AUTHORITY FILE No.		
SHEET	1	REV. 1
WESTBROOK DRAWING No.		3663-01



1 Front Elevation
A2 Scale: 1/4" = 1'-0" AVE GRADE: ((23.43 + 23.43) ÷ 2) X 10.67 = (47.46) X 10.67 = 253.199



2 Right Side Elevation
A2 Scale: 1/4" = 1'-0"

AVE GRADE: ((22.60 + 23.10) ÷ 2) X 9.96 = (45.70 ÷ 2) X 9.96 = 22.85 X 10.16 = 232.156
 ((22.15 + 22.15) ÷ 2) X 4.64 = (44.30 ÷ 2) X 2.24 = 22.15 X 2.24 = 49.616
 ((23.20 + 23.71) ÷ 2) X 9.55 = (46.91 ÷ 2) X 9.55 = 23.46 X 9.55 = 224.04

PROFESSIONAL SEALS

Consultants

List of Drawings

S1	Siteplan
A1	Master Elevations, Trellis Detail
A2	Elevations - Front / Right
A3	Elevations - Rear / Left
A4	Foundation
A5	Lower Floor Plan
A6	Main Floor Plan
A7	Upper Floor Plan
A8	Roof/Deck Plan
A9	Roof Plan
A10	Section A-A, Section B-B, Section C
A11	Section D-D, Details

ISSUED/REVISED

NO.	DATE	DESCRIPTION
01	10/30/09	95% Complete
02	11/25/09	100% Complete
03	12/01/09	Trees on Siteplan
04	12/17/09	City Comments, Rt Vents, Notes, Alarms
05	01/15/10	City Comments Siteplan
06	01/18/10	Page Numbering

General Contractor and/or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plan on site or failure to report discrepancies. Refer to General notes included on plan.

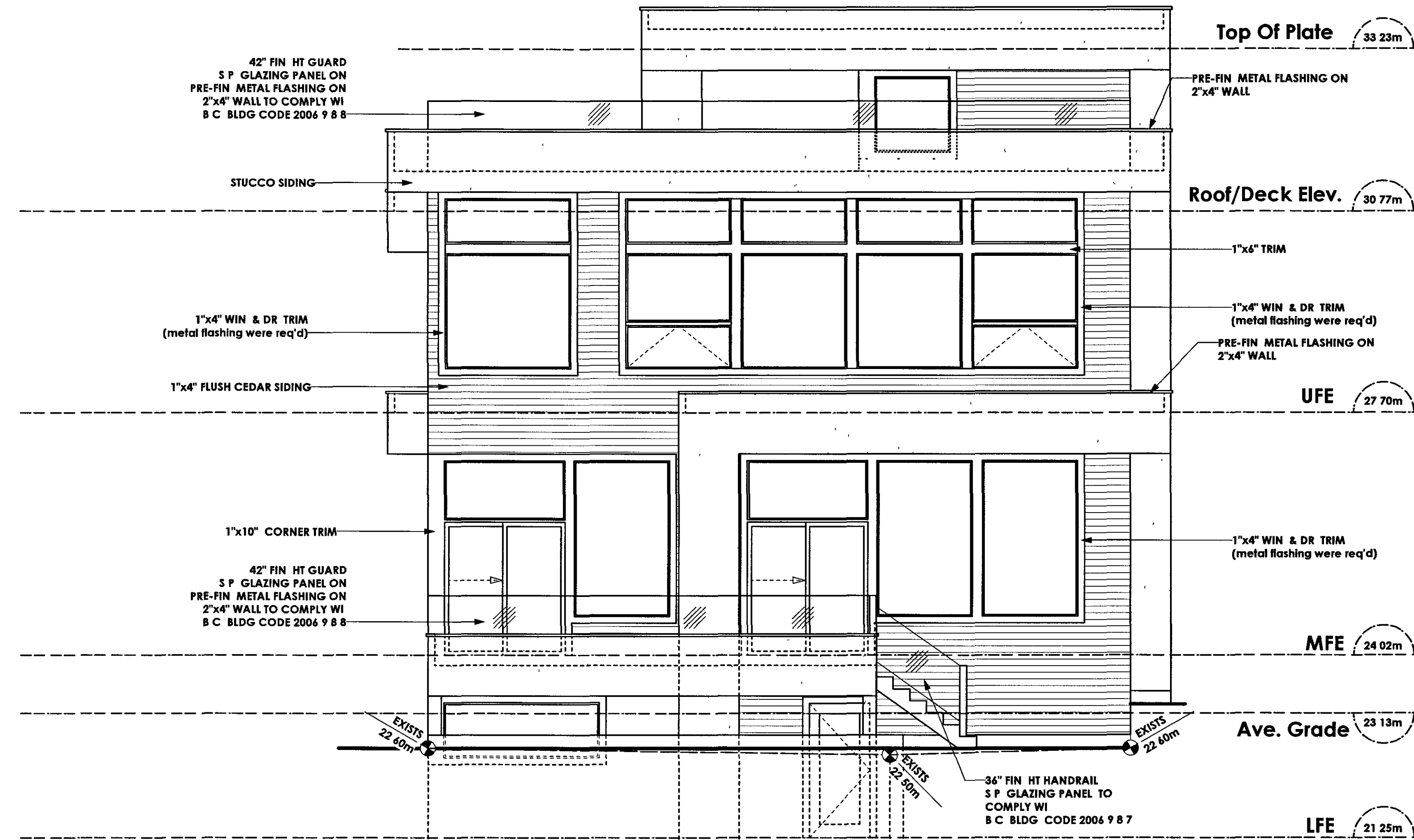
Note: B.C.L.S. to verify placement and siting of all structures on lot. General Contractor to work in conjunction with B.C.L.S. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any encroachments of any kind with regard to siting or placement of structures on lot. Structural Engineer to review plan (where required), and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and commission all engineering requirements with municipal building departments prior to starting work.

Truss Manufacturer to review plans to verify roof design where eng. roof trusses are shown, and to contact building designer to advise if revisions are necessary.

© COPYRIGHT

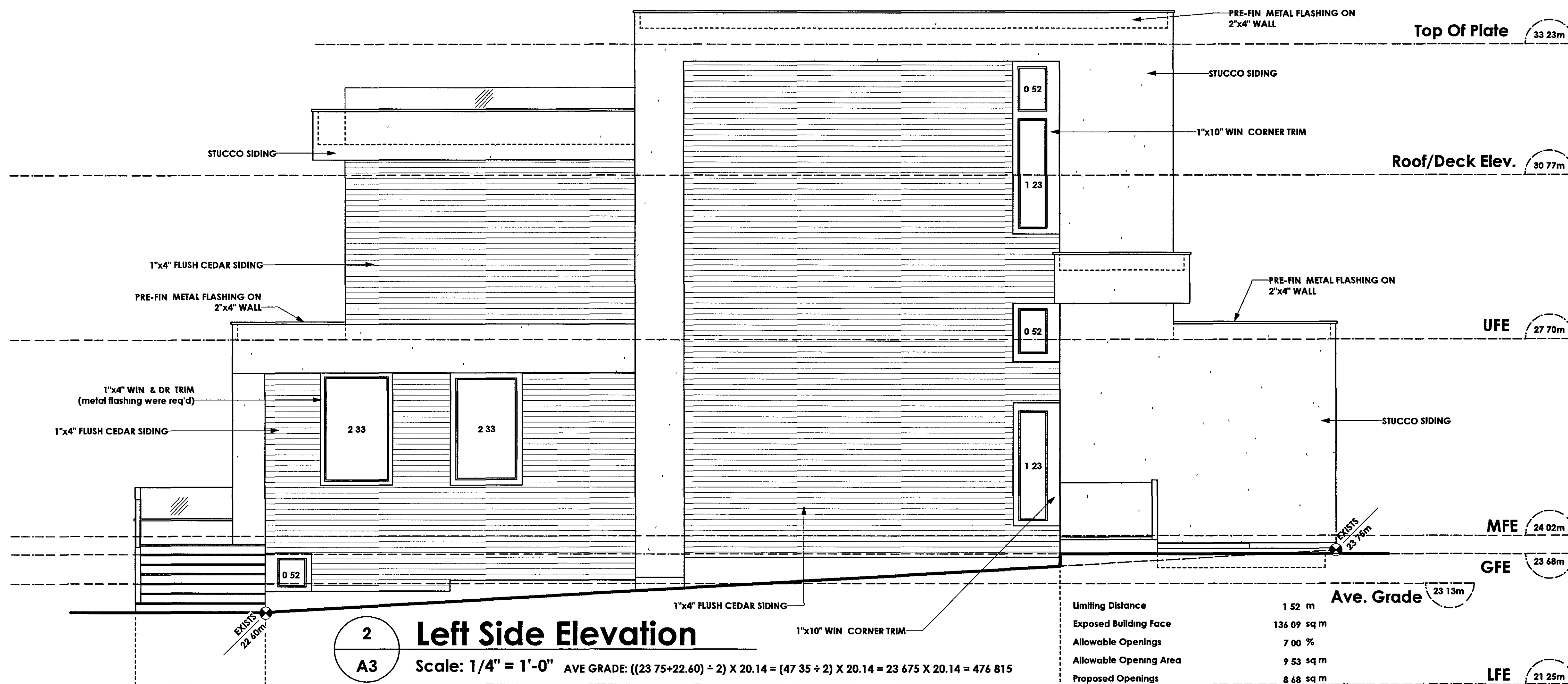
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VICTORIA DESIGN GROUP 205 - 501 JEFFERSON AVENUE VICTORIA, B.C. V8S 0A5 PH 250-382-7374 FAX 250-382-7364 WWW.VICTORIADESIGNGROUP.CA	DRWG NO. 6738 SHT. NO. A2 OF A11 DATE Nov 25, 2009 SCALE As Shown DRAWN M.D.K REVIEWED BY	
	PROJECT Proposed Residence Leonard Cole 1535 Despard Victoria B.C.	
	Date: 1/18/10 Time: 9:41.39 AM	



1 Rear Elevation
A3 Scale: 1/4" = 1'-0"

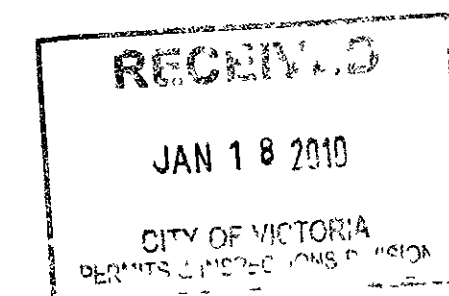
AVE. GRADE: $((22.60 + 22.50) \div 2) \times 10.67 = (45.10 \div 2) \times 10.67 = 22.55 \times 10.67 = 240.609$



2 Left Side Elevation
A3 Scale: 1/4" = 1'-0"

AVE. GRADE: $((23.75 + 22.60) \div 2) \times 20.14 = (47.35 \div 2) \times 20.14 = 23.675 \times 20.14 = 476.815$

Limiting Distance	1.52 m
Exposed Building Face	136.09 sq m
Allowable Openings	7.00 %
Allowable Opening Area	9.53 sq m
Proposed Openings	8.68 sq m



PROFESSIONAL SEALS

Consultants

List of Drawings

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A10	Section A-A, Section B-B, Section C
A11	Section D-D, Details

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NO.	DATE	DESCRIPTION
01	10/30/09	95% Complete
02	11/25/09	100% Complete
03	12/01/09	Trees on Siteplan
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06	01/18/10	Page Numbering

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VICTORIA DESIGN GROUP 103 - 891 17700 AVENUE VICTORIA, B.C. V8N 0A6 PH: 250 382 7374 FAX: 250 382 7364 WWW.VICTORIADESIGNGROUP.CA	DRWG NO.	6738
	SHT. NO.	A3 OF A11
	DATE	Nov 25, 2009
	SCALE	As Shown
	DRAWN	M.D.K.
	REVIEWED BY	

PROJECT

Proposed Residence
Leonard Cole
1535 Despard
Victoria B.C.

Date: 1/18/10
Time: 9:41:39 AM



RECEIVED
AUG 12 2 11 PM
CITY OF VICTORIA
PERMITS & INSPECTIONS DIVISION

Re-issued for permit Aug. 12

1537 DESPARD

CITTA
CONSTRUCTION LTD.
DESIGNERS, BUILDERS &

PROJECT
PROPOSED RESIDENCE
3337 DEEPARD
VICTORIA BC

SHEET TITLE ELEVATIONS	COPYRIGHT All design drawings are the property of The Property of The Construction Ltd. No part of this drawing is to be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from the copyright owner.		DESIGN W.P.	PROJECT NO. 1251
	SHEET NO. A4.1	DRAWN J.A./J.H.	PRINT DATE 17.11.2020	



VICTORIA LAND TITLE OFFICE

Oct-12-2010 15:56:10.002

EPS299

SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA

0599

PAGE 1 OF 6 PAGES

By incorporating your electronic signature into this form you are also incorporating your electronic signature into the attached plan and you

(a) represent that you are a subscriber and that you have incorporated your electronic signature to the attached electronic plan in accordance with section 168.73 (3) of the Land Title Act, RSBC 1996 c.250; and

(b) certify the matters set out in section 168.73 (4) of the Land Title Act, Each term used in this representation and certification is to be given the meaning ascribed to it in part 10.1 of the Land Title Act.

Alan Powell
AR6XRI

Digitally signed
by Alan Powell
AR6XRI

1. BC LAND SURVEYOR: (Name, address, phone number)

Alan Marshall Powell

250-2950 Douglas Street

Victoria

BC V8T 4N4

apbcls@telus.net
(250) 382-8855

2. PLAN IDENTIFICATION:

Control Number: **128-622-4203**Plan Number: **EPS299**This original plan number assignment was done under Commission #: **599**LTO Document Reference: **CA1764457**

3. CERTIFICATION:

☒ Form 9☐ Explanatory Plan

I am a British Columbia land surveyor and certify that I was present at and personally superintended this survey and that the survey and plan are correct.

The field survey was completed on: 2010 September 14 (YYYY/Month/DD)

The plan was completed and checked on: 2010 October 04 (YYYY/Month/DD)

The checklist was filed under ECR#: 115484

I am a British Columbia land surveyor and certify that the buildings included in this strata plan have not been previously occupied as of 2010 October 04 (YYYY/Month/DD)

☐ None☒ Strata Form U1☐ Strata Form U1/U2

I am a British Columbia land surveyor and certify that the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan

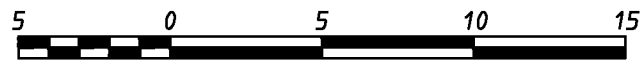
Certification Date: 2010 October 04 (YYYY/Month/DD)

Arterial Highway ☐

4. ALTERATION: ☐

Strata Plan of Lot A, Section 68,
Victoria District, Plan EPP5690
BCGS 92B044

Sheet 1 of 5 Sheets
Strata Plan EPS299



The intended plot size of this plan is 280mm
in width by 432mm in height (B size)
when plotted at a scale of 1:250.

All distances are shown in metres.

Integrated Survey Area No. 17, City of Victoria
NAD83 (CSRS).

Grid bearings are derived from observations between
geodetic control monuments 10-65 and 10-110

This Plan shows horizontal ground-level distances
except where otherwise noted. To compute grid
distances, multiply ground-level distances
by combined factor 0.9996068.

Civic Address:

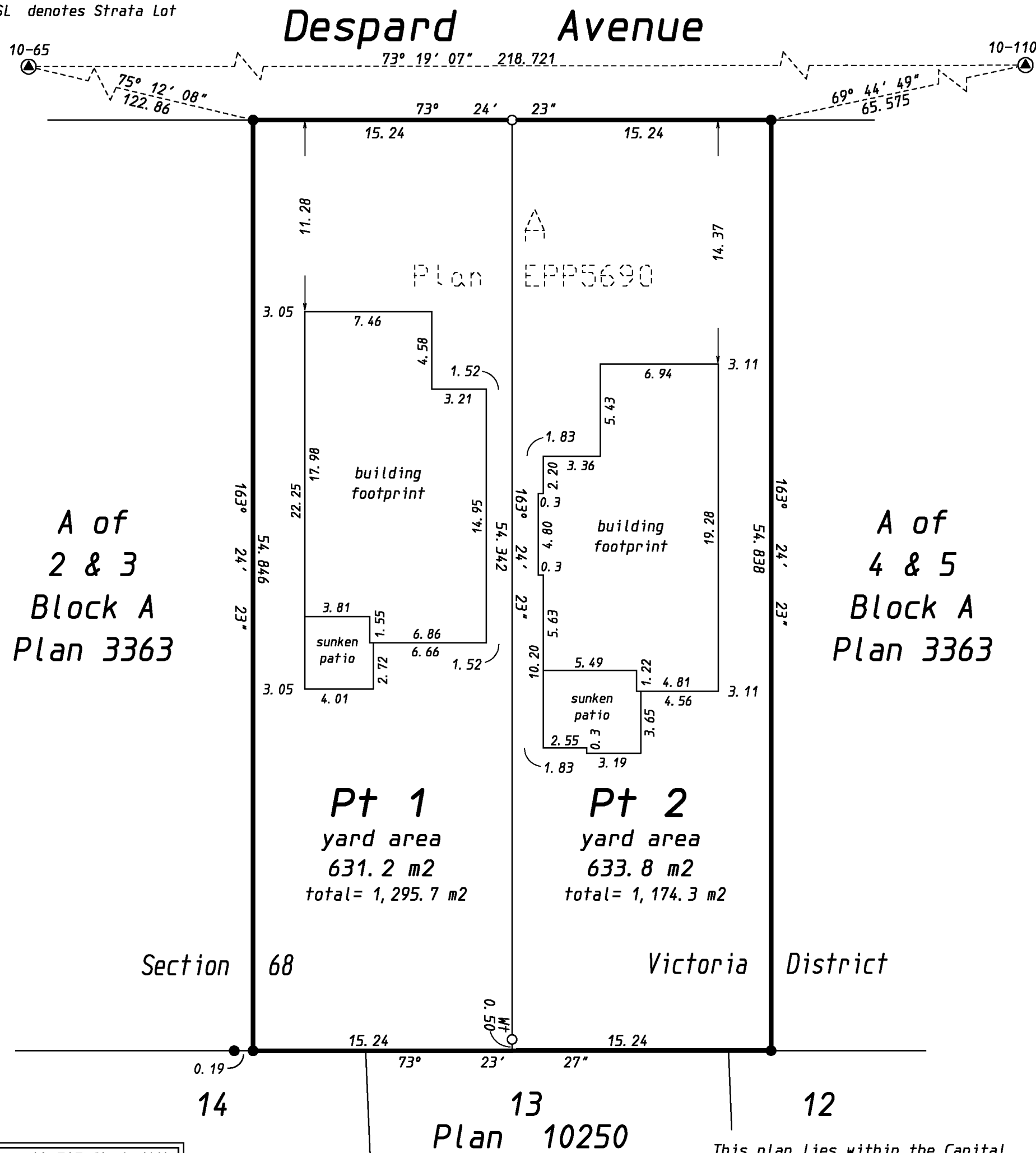
SL 1 - 1535 Despard Avenue
SL 2 - 1537 Despard Avenue
Victoria, B.C. V8S 1T2

Legend

Found Set Denotes

- Control Monument.
- Standard Iron Post.
- Pt denotes part of Strata Lot
- SL denotes Strata Lot

This plan shows one or more witness posts
which are set along the production of the
property boundary unless otherwise noted.



File: 10,705 Sh-1 (10)
POWELL & ASSOCIATES
BC Land SurveyorS
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

The buildings included within this strata
plan have not been previously occupied.
The buildings shown hereon are within the
the external boundaries of the land that
is the subject of this Strata Plan.

This plan lies within the Capital
Regional District within the
City of Victoria

The field survey represented by this plan
was completed by Alan M. Powell BCLS on
the 14th day of September, 2010

Basement



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1: 150.
All distances are shown in metres.

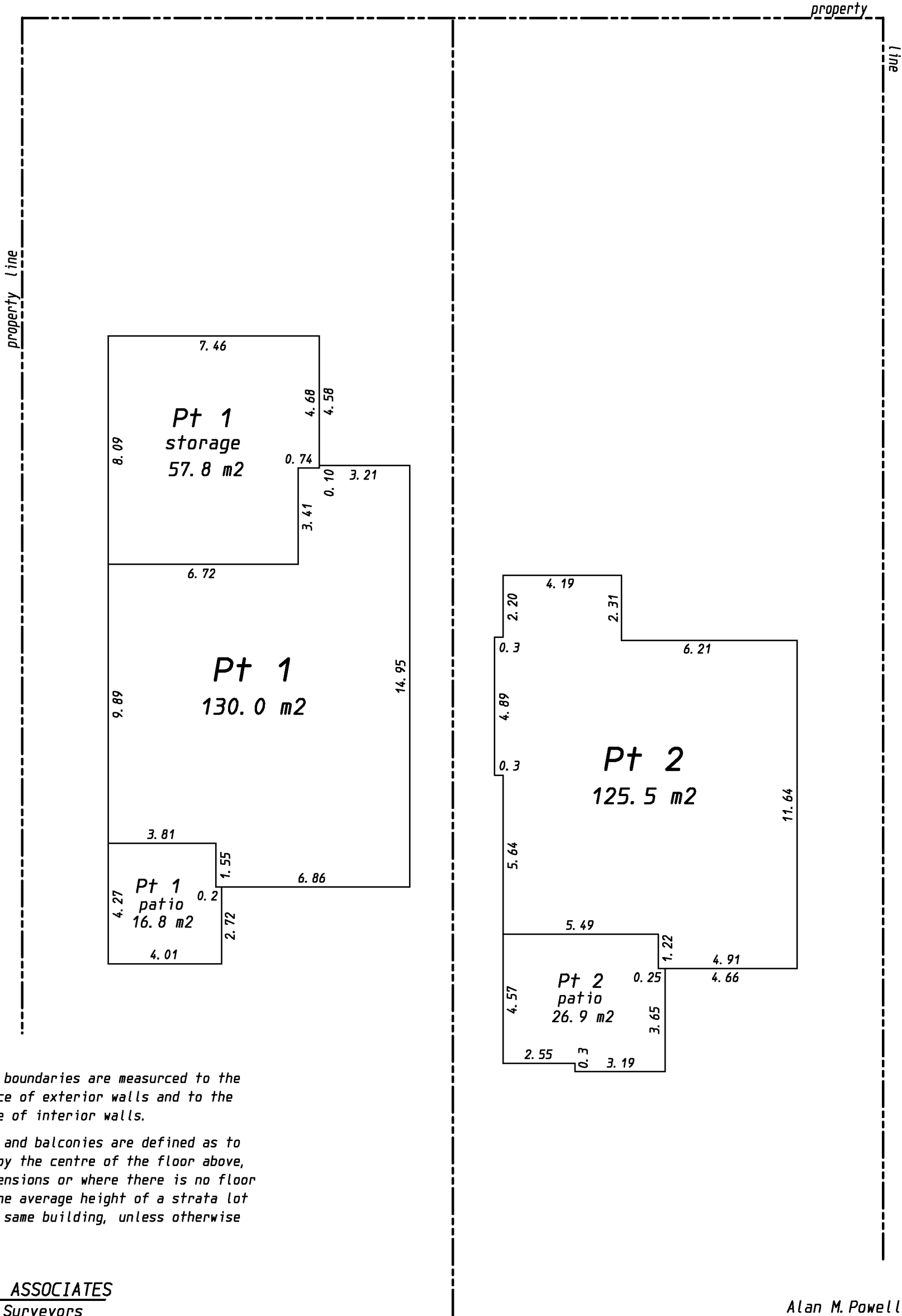
Legend

Pt - denotes Part of Strata Lot___



Sheet 2 of 5 Sheets
Strata Plan EPS299

Despard Avenue



Strata lot boundaries are measured to the outside face of exterior walls and to the centre line of interior walls.
All patios and balconies are defined as to to height by the centre of the floor above, or its extensions or where there is no floor above by the average height of a strata lot within the same building, unless otherwise indicated.

POWELL & ASSOCIATES
B C Land Surveyors
File: 10, 705 Sh-2 (10)

Alan M. Powell, BCLS
September 21st, 2010

Main Floor



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:150.

All distances are shown in metres.

Legend

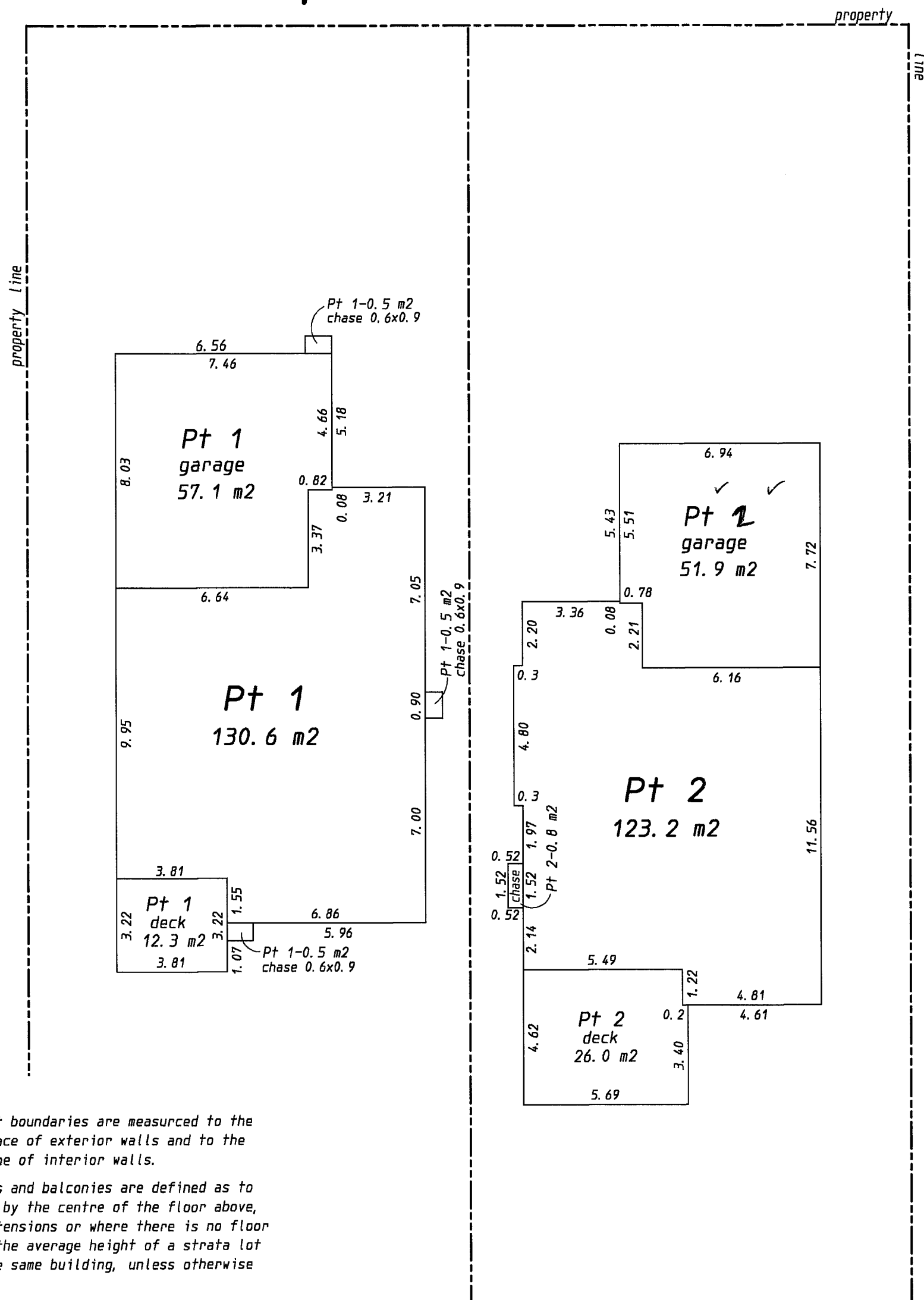
Pt - denotes Part of Strata Lot___



Sheet 3 of 5 Sheets
Strata Plan EPS299

Corrected this 22ND
day of October, 2013
See CA3415494.

Despard Avenue



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POWELL & ASSOCIATES
B C Land Surveyors
File: 10,705 Sh-2 (10)

Alan M. Powell, BCLS
September 21st, 2010

Upper Floor



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All distances are shown in metres.

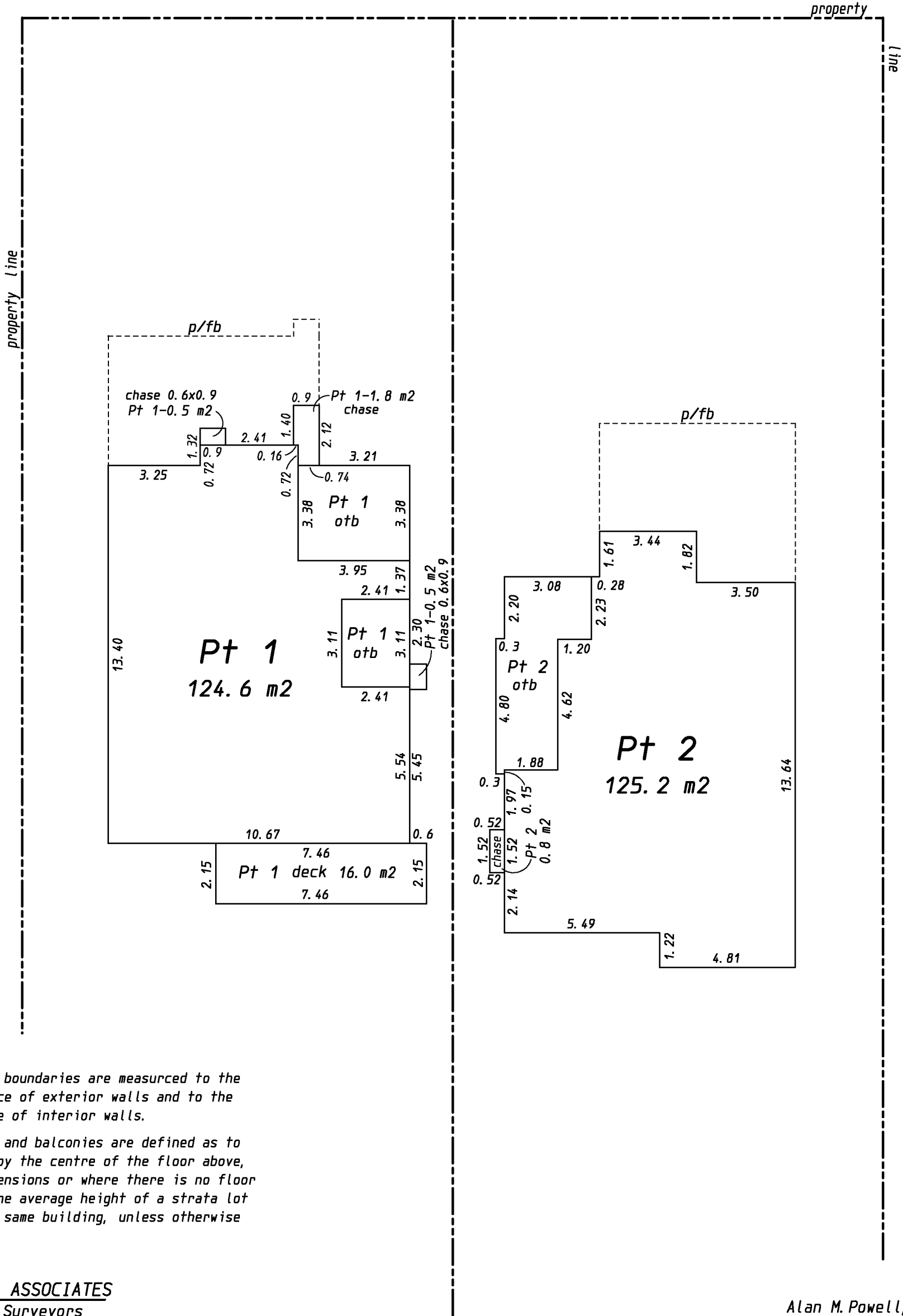
Legend

- Pt - denotes Part of Strata Lot___
- p/fb - denotes perimeter of floor below
- otb - denotes open to below



Sheet 4 of 5 Sheets
Strata Plan EPS299

Despard Avenue



Strata lot boundaries are measured to the outside face of exterior walls and to the centre line of interior walls.

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POWELL & ASSOCIATES
B C Land Surveyors
File: 10, 705 Sh-2 (10)

Alan M. Powell, BCLS
September 21st, 2010

Roof – Deck



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1: 150.
All distances are shown in metres.

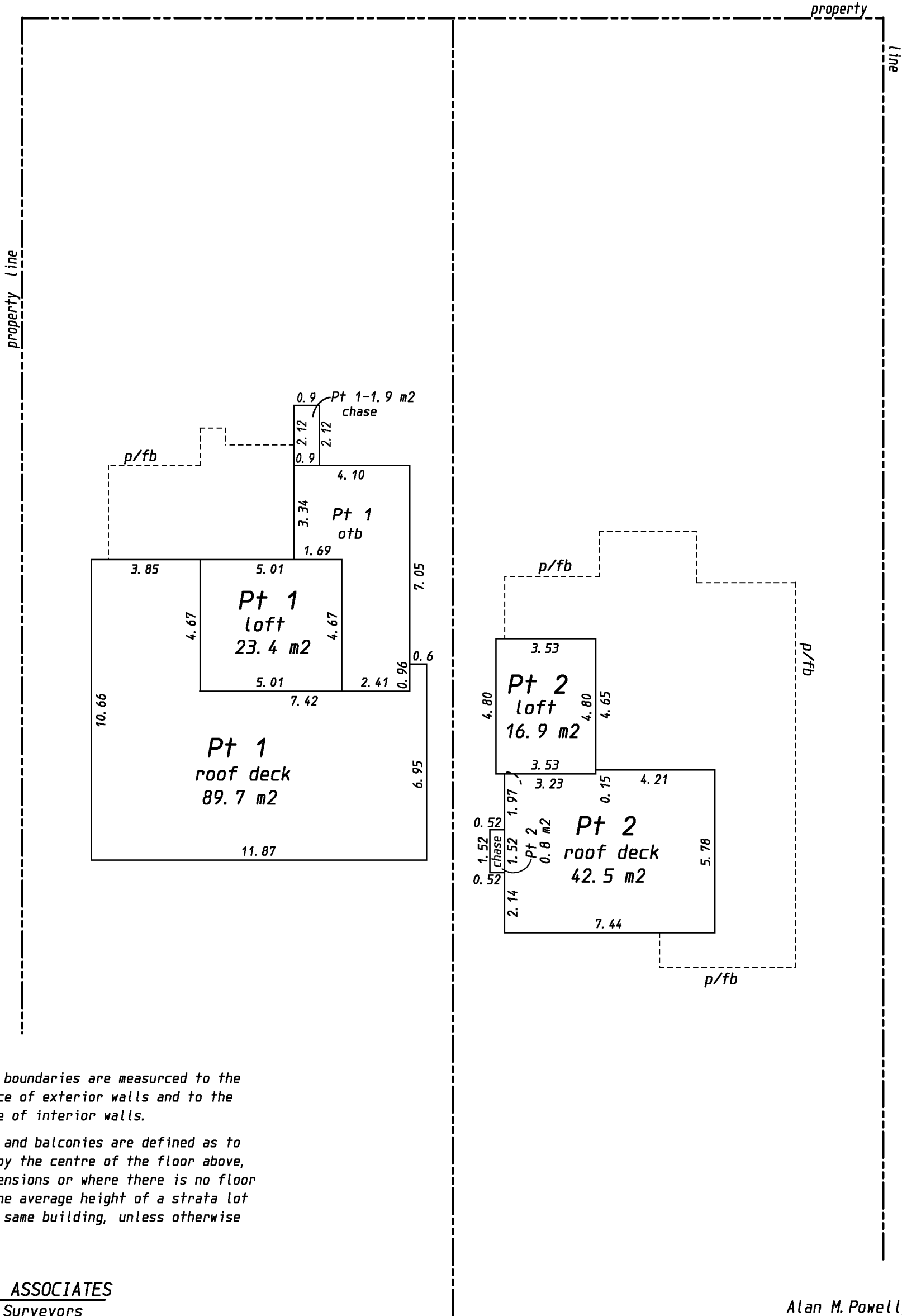
Legend

- Pt - denotes Part of Strata Lot___
- p/fb - denotes perimeter of floor below



Sheet 5 of 5 Sheets
Strata Plan EPS299

Despard Avenue



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POWELL & ASSOCIATES
B C Land Surveyors
File: 10, 705 Sh-2 (10)

Alan M. Powell, BCLS
September 21st, 2010