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Surveyor

19R-14677-00	Survey Plan
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D'A
archit

Issued for Rezoning + Development Permit Application Resubmission

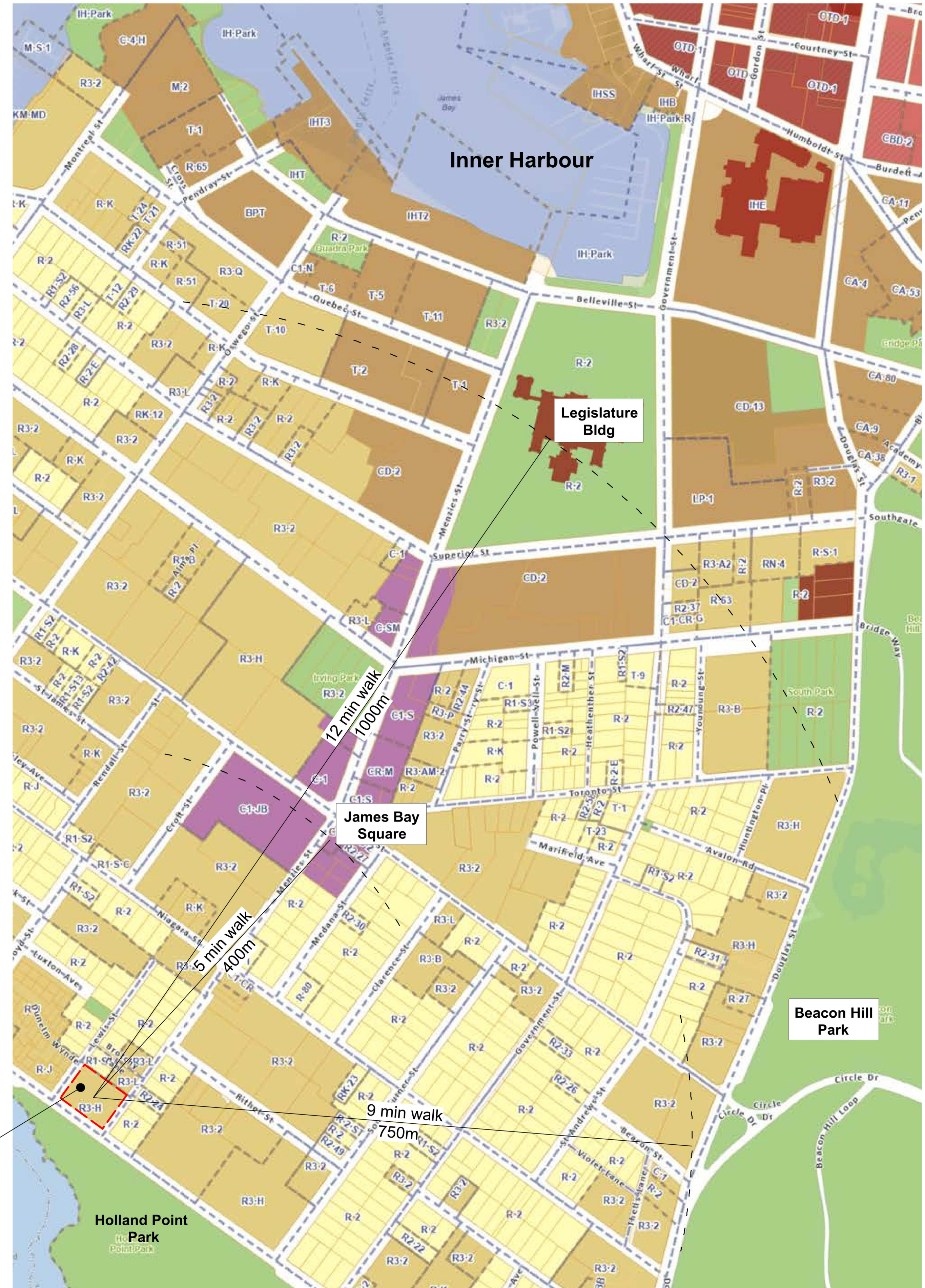
March 24, 2022





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5	Issued for Review / Coord.	03/15/2022
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1	Issued for Comm. Consult.	06/22/2021

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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

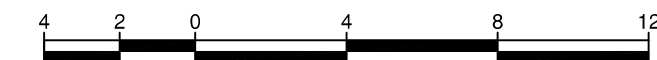
sheet title
Context / Location Plan

project no. 1934
drawing file DAU Drawing Standards
date issued May 20, 2021
scale As Noted
drawn by AC
checked by ES

revision no. sheet no.
A0.1

1 Context Plan
SCALE 1:500

2 Location / Zoning Plan
NTS



The intended plot size of this plan is 841mm in width by 594mm in height (ISO A1 size) when plotted at a scale of 1:200

All distances are in metres and decimals thereof.

- LEGEND**
- denotes catchbasin
 - denotes drain
 - denotes drain manhole
 - denotes drain inspection chamber
 - denotes sewer manhole
 - denotes water meter
 - denotes water valve
 - denotes hydrant
 - denotes standpipe
 - denotes hydro pole
 - denotes hydro pole with light
 - denotes hydro pole with pilaster
 - denotes pole anchor
 - denotes streetlight davit
 - denotes unknown utility manhole
 - denotes bollard
 - denotes gas meter
 - denotes sign
 - denotes pullbox
 - denotes fence
 - denotes non-mountable curb
 - denotes curb slowdown
 - denotes edge of pavement
 - denotes center line of road
 - denotes building overhang
 - denotes overhead wire
 - denotes building outline
 - denotes concrete
 - denotes deciduous tree and diameter
 - denotes tree dripline
 - denotes property line

Legal Description:
Lot 1, Beckley Farm, Victoria City, Plan 16037 (PID: 003-983-943)

Non Financial Charges on Title:
FB346212 Statutory Right of Way
FB444408 Statutory Right of Way

Date of Field Survey: July 13th & 14th, 2020 and August 28, 2021

Contour interval = 0.2 m.

Elevations are to geodetic datum, derived from geodetic control monument GCM 5-26. Published Elevation = 10.581 m.

Vertical Datum CGVD28 (HTV2.0).

Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.

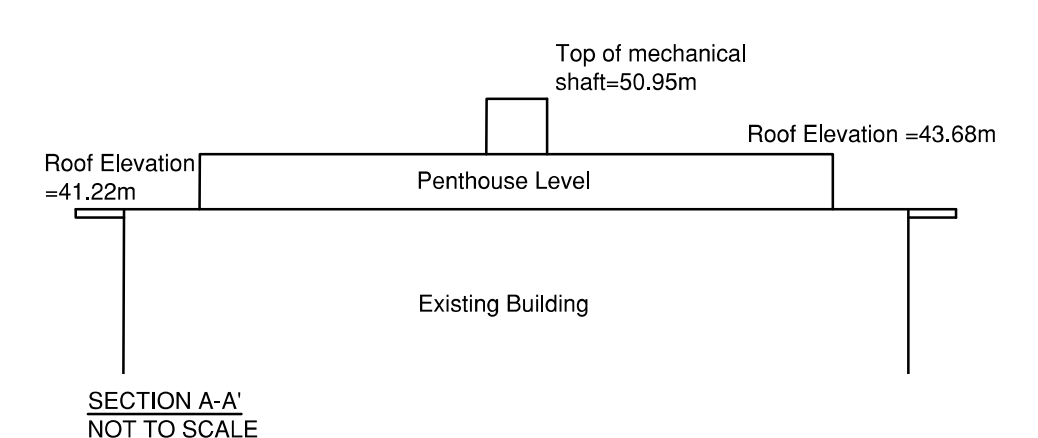
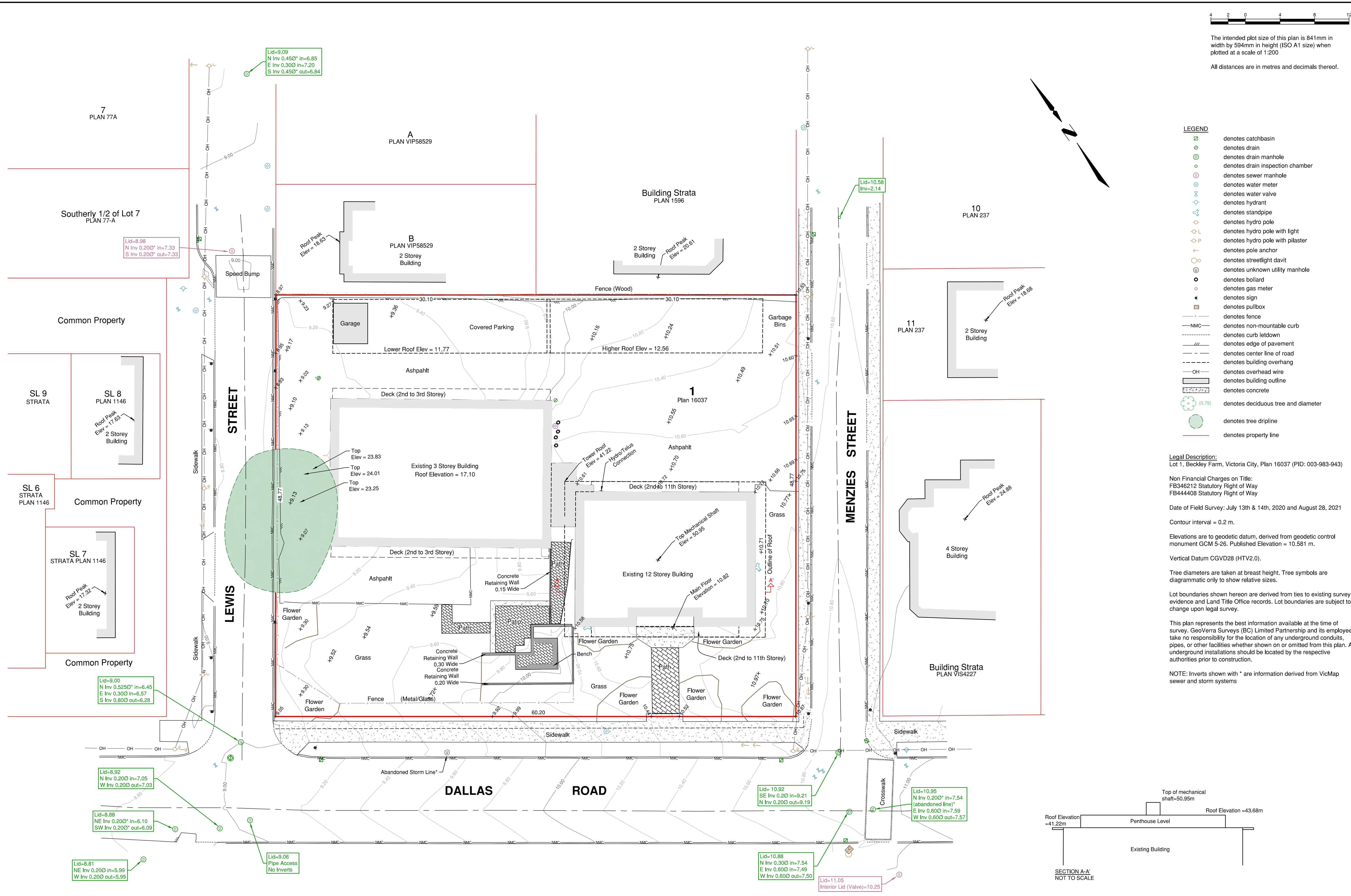
Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

This plan represents the best information available at the time of survey. GeoVerra Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

NOTE: Inverts shown with * are information derived from VicMap sewer and storm systems

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ISSREV	YYYYMMDD	DESCRIPTION	DRN	CHK
2	2021-09-29	ADDITIONAL SURVEY AND INVERTS	MLE	MLR
1	2021-05-18	CLIENT REQUESTED SPOT ELEVATIONS	MLE	
0	2020-07-22	ORIGINAL PLAN PREPARED	MLR	LN

CLIENT:
Reliance Properties

CLIENT REF. NO.:



PROJECT:
450 Dallas Road, Victoria, BC

PROJECT NO.: 19R-14677-00

SCALE: As-Noted

DISCIPLINE: GEOMATICS

TITLE:
Topographic Survey

DRAWING NO.: 19R-14677-00-BSUSI001-R2

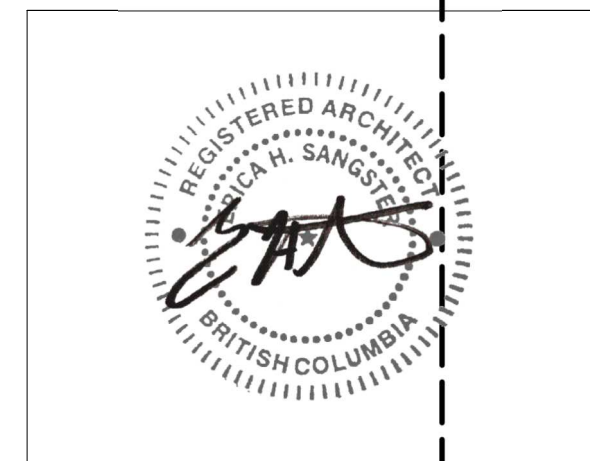
SHEET NO.: 1 OF 1

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6	Issued for Rez. / DP Resub.	03/24/2022
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2	Issued for Rezoning / DP	06/29/2021
1	Issued for Comm. Consult.	06/22/2021

project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Site Survey

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES
revision no.	sheet no.
	A0.2



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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Project Data / Context

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES
revision no.	sheet no.

6 **A0.3**

PROJECT DATA

SITE		
Civic Address: 450 Dallas Road, Victoria, B.C. Legal Address: PID 003-983-943, Lot 1, Beckley Farm, Victoria City, Plan 16037 Site Area: 2,935.95m ² (31,602.3 sq.ft. / 0.72 acres / 0.293 ha)		
OFFICIAL COMMUNITY PLAN (as per Official Community Plan July 2020 (Updated February 27 2020))		
Current OCP Designation: Urban Residential Development Permit Area: DPA-16 (Form and Character)	Proposed OCP Designation: Urban Residential Development Permit Area: DPA-16 (Form and Character)	
ZONING		
Current Zoning: R3-H High Density Multiple Dwelling District (as per Zoning Reg. Bylaw 80-159)	Proposed Zoning: New Site Specific CD Zone (Multi-Family High Density Residential)	
R3-H ALLOWABLE		PROPOSED
Min. Site Area	Minimum Site Area (R3-H): 2,787.00m ²	Proposed Site Area: 2,935.95m ² (31,602.3 sq.ft.)
Use	Single, two family and high density multiple dwellings	High-density multi-family rental housing
Site Coverage	7 storeys or less - 19% 12 storeys or more - 14%	Proposed Total Site Coverage: 66.7% (refer to A1.2 for detailed calculations)
Setbacks	Minimum Open Site Space: 40%	Proposed Open Site Space: 46.14% (refer to A1.3 for detailed calculations)
Building Height	Apartment Building: 34.0m	Existing Tower: 34.0m New Building: 18.85m to top of roof deck (7 storeys - 6 storeys + rooftop patio) 23.85m to top of roof terrace exit stair
Density - Floor Area Ratio (F.A.R.)	Maximum Allowable F.A.R. under current zoning: 1.68 : 1 <i>(can be increased to 2:1 in strategic locations - Policy 6.22.3 - along arterial or secondary arterial roads)</i>	Proposed Combined F.A.R.: 2:41 : 1 Existing 12 Storey Tower 1:22 : 1 New Building 1:19 : 1
Total Floor Area (as defined under Zoning Reg. Bylaw 80-159)	Maximum Allowable Total Floor Area under current zoning: 4,932 m ² (53,091 sq.ft.) Existing Total Floor Area: 4,685 m ² (50,430 sq.ft.) <i>(for Existing 12 Storey Tower & 3 Storey Annex)</i>	Proposed Combined Total Floor Area: 7,077m ² (76,167 sq.ft.) Existing 12 Storey Tower: 3,589 m ² (38,632 sq.ft.) New Building: 3,487 m ² (37,535 sq.ft.) (Additional Total Floor Area being proposed under this application over existing Total Floor Area: 2,391 m ² (25,737 sq.ft.)) <i>(Refer to A0.4 for diagrams showing Total Floor Area Calculations)</i>

VEHICLE PARKING		BIKE PARKING	
Required Off-Street Parking (As per Schedule C): 0.75 space per dwelling unit less than 45m ² 0.90 space per dwelling unit between 45m ² to 70m ² 1.30 space per dwelling unit more than 70m ²	Expected Off-Street Parking Demand under the Parking Study: 0.35 spaces per studio unit x 33 units = 11.55 spaces 0.70 spaces per 1 bdrm unit x 40 units = 28 spaces 0.85 spaces per 2 bdrm unit x 23 units = 19.55 spaces 1.0 space per 3 bdrm unit x 15 units = 15 spaces	Proposed Off-Street Parking: 67 spaces (including visitors) U/G spaces: 50 spaces At grade spaces: 17 spaces	Required Bicycle Parking: Long Term: 1 space per dwelling unit less than 45m ² 1.25 space per dwelling unit more than 45m ² New Building: (19x1)+(35x1.25)=62.75 spaces Existing Tower: (28x1)+(29x1.25)=64.2 spaces Total spaces required: 126.95 spaces
Resident: New Building: (19x0.75)+(25x0.9)+(10x1.3)=49.75 spaces Existing Tower: (28x0.75)+(22x0.9)+(7x1.3)=49.9 spaces Visitor: 111 units x 0.1spaces / unit= 11.1 spaces Total spaces required: 99.65 + 11 spaces = 110.75 spaces	Visitor parking demand: 0.1 spaces per unit x 111 units = 11.1 spaces Total parking demand: 85.1 spaces (without TDM)	Additional Transportation Demand Management Measures (TDM) include: - provision of 2 Modo car-sharing spaces - provision of at least 26% surplus of the long-term bike parking spaces - provision of a bike maintenance area - provision of bike charging access for 50% required bike parking - provision of cargo bike parking for 6% of the long-term bike parking	Provided Bicycle Parking: Long Term: New Building: 96 spaces Existing Tower: 64 spaces Total spaces provided: 160 spaces (horizontal 53%, vertical 47%, cargo bikes 10 spaces or approx. 6%) Short Term: 6 spaces per building for a total of 12 spaces
		Estimated Parking Demand with TDM: 59 spaces (with TDM) (Refer to included report prepared by Watt Consulting Group)	

UNIT MIX

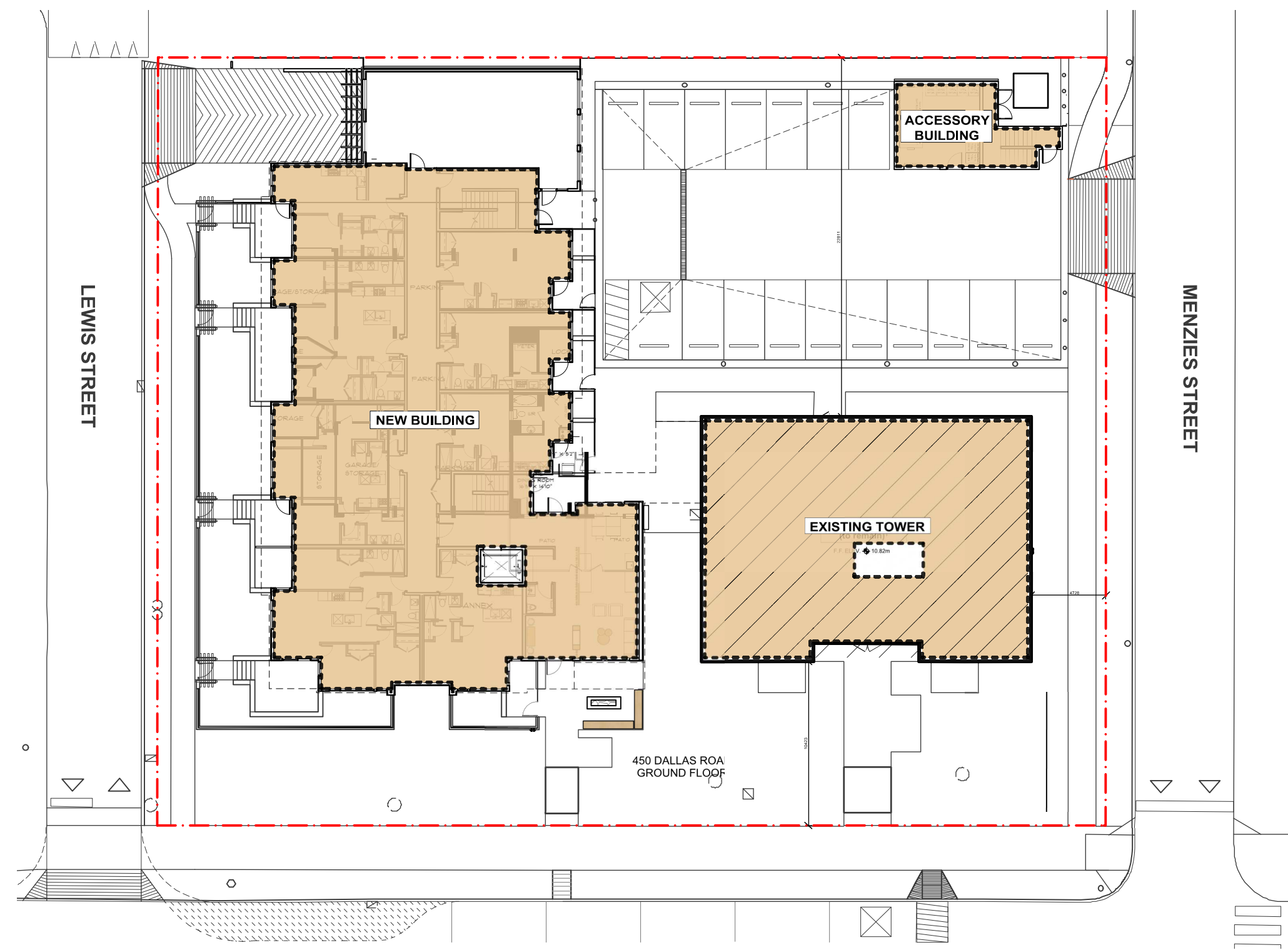
Proposed Combined Unit Yield: 111 rental apartments Existing 12 Storey Tower: 57 apartments New Building: 54 apartments												
Building	Level	Total Floor Area by floor		Total Floor Area by building		Total Floor Area		Unit Typology				
		(m ²)	(sq.ft.)	(m ²)	(sq.ft.)	(m ²)	(sq.ft.)	Studio / Jun. 1 Bdrm (Type A) (405-460 sq.ft.)	1 Bdrm (Type B) (427-610 sq.ft.)	2 Bdrm (Type C) (720-905 sq.ft.)	3 Bdrm (Type D) (980-1264 sq.ft.)	Total # of Units
Existing Tower	Level 1	0	3,261	3,589	38,632			0	0	1	1	2
	Level 2	309	3,326					2	2	0	6	
	Level 3	309	3,326					2	2	0	6	
	Level 4	309	3,326					2	2	0	6	
	Level 5	309	3,326					2	2	0	6	
	Level 6	309	3,326					2	2	0	6	
	Level 7	309	3,326					2	2	0	6	
	Level 8	309	3,326					2	2	0	6	
	Level 9	309	3,326					0	2	0	2	4
	Level 10	309	3,326					0	2	0	2	4
	Level 11	309	3,326					0	2	0	2	4
	Level 12	196	2,111					0	0	1	0	1
Unit Subtotal Total (Existing Tower)								14	20	16	7	57
New Building	Level 1	634	6,822	3,487	37,535	7,077	76,167	3	2	2	1	8
	Level 2	589	6,340					4	4	1	1	10
	Level 3	589	6,340					4	4	1	1	10
	Level 4	589	6,340					4	4	1	1	10
	Level 5	527	5,669					2	3	1	2	8
	Level 6	527	5,669					2	3	1	2	8
	Rooftop	33	355					0	0	0	0	0
Unit Subtotal Total (New Building)								19	20	7	8	54
Unit Mix - New Building (%)								35.2 (%)	37.0 (%)	13.0 (%)	14.8 (%)	100 (%)
Unit Total								33	40	23	15	111
Unit Mix - Total (%)								29.7 (%)	36.0 (%)	20.7 (%)	13.5 (%)	100 (%)

Residential Unit Summary	
Proposed Combined Number of Units: 111 rental apartments (57 Existing in 12 Storey Tower & 54 in Proposed New Building)	(Current Number of Units: 73 rental apartments (57 in Existing 12 Storey Tower and 16 in 3 Storey Annex))
(Additional rental units being proposed under this application: 38 rental apartments)	
Unit Types: Studios, 1, 2, and 3 bdrm	Ground-oriented units: 8
Family Units: 8	



Project Site

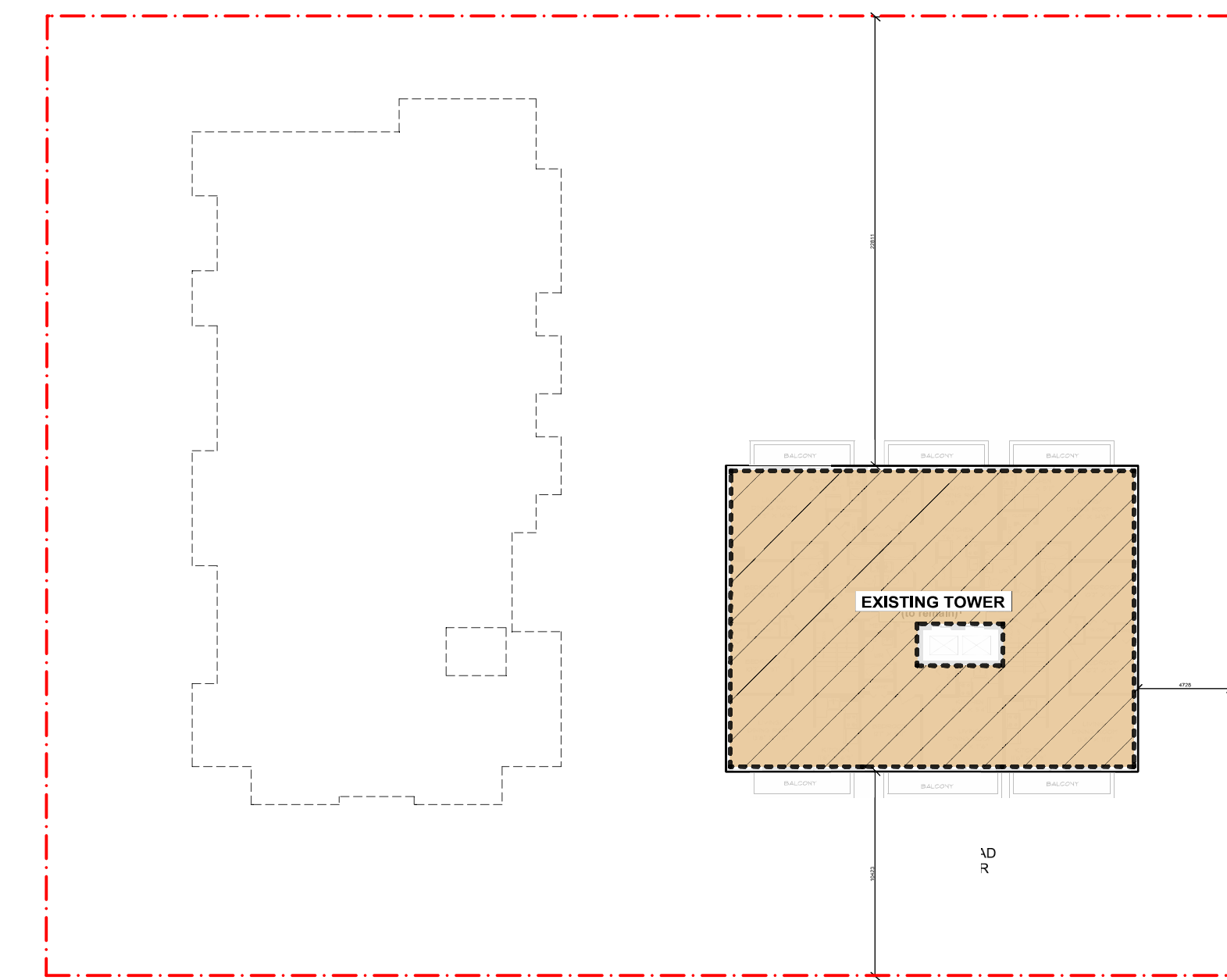
Existing



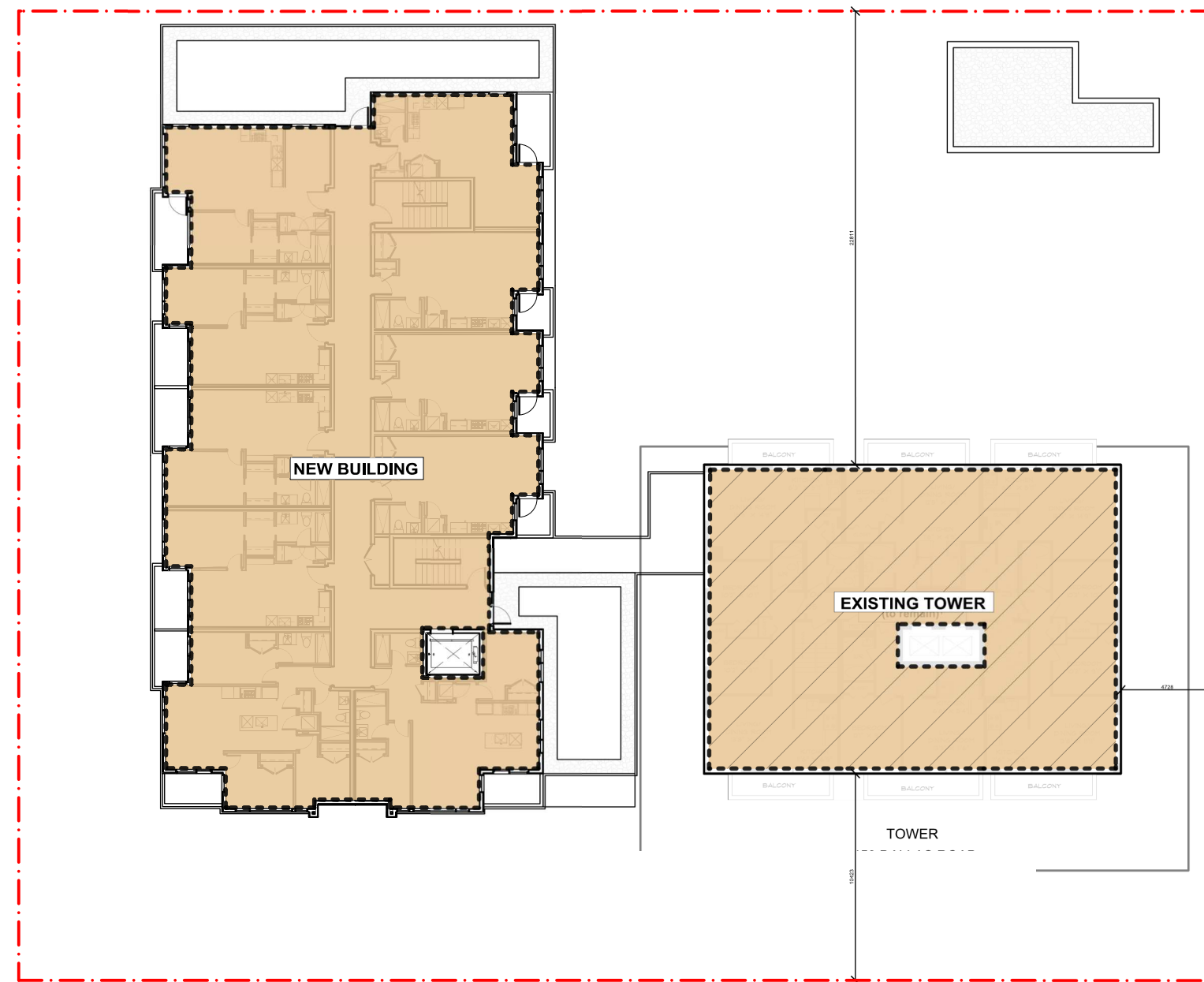
Level 1 - 10,093 s.f. (937.7m²)



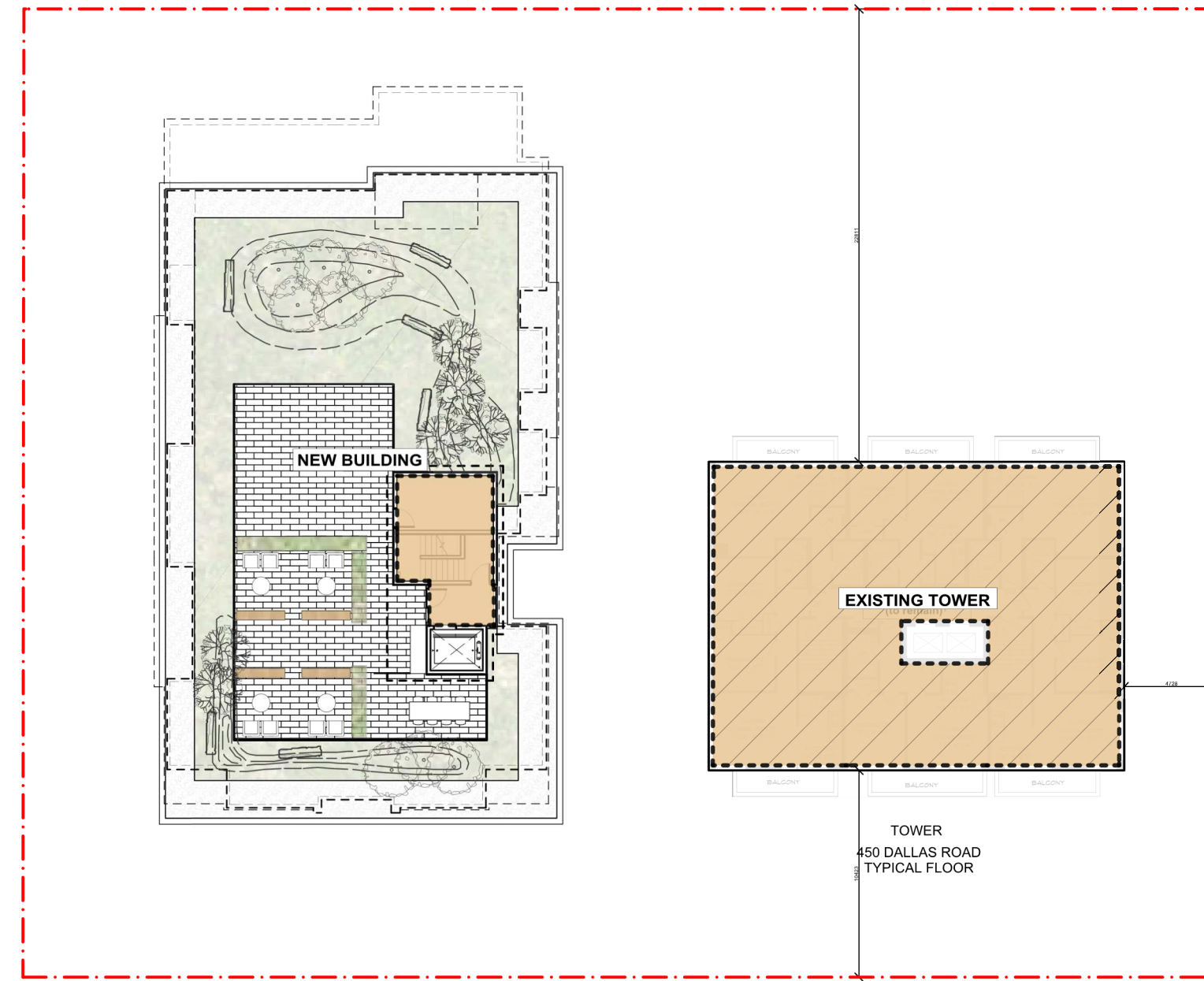
Level 5 - 8,995 s.f. (835.7m²)
Level 6 - 8,995 s.f. (835.7m²)



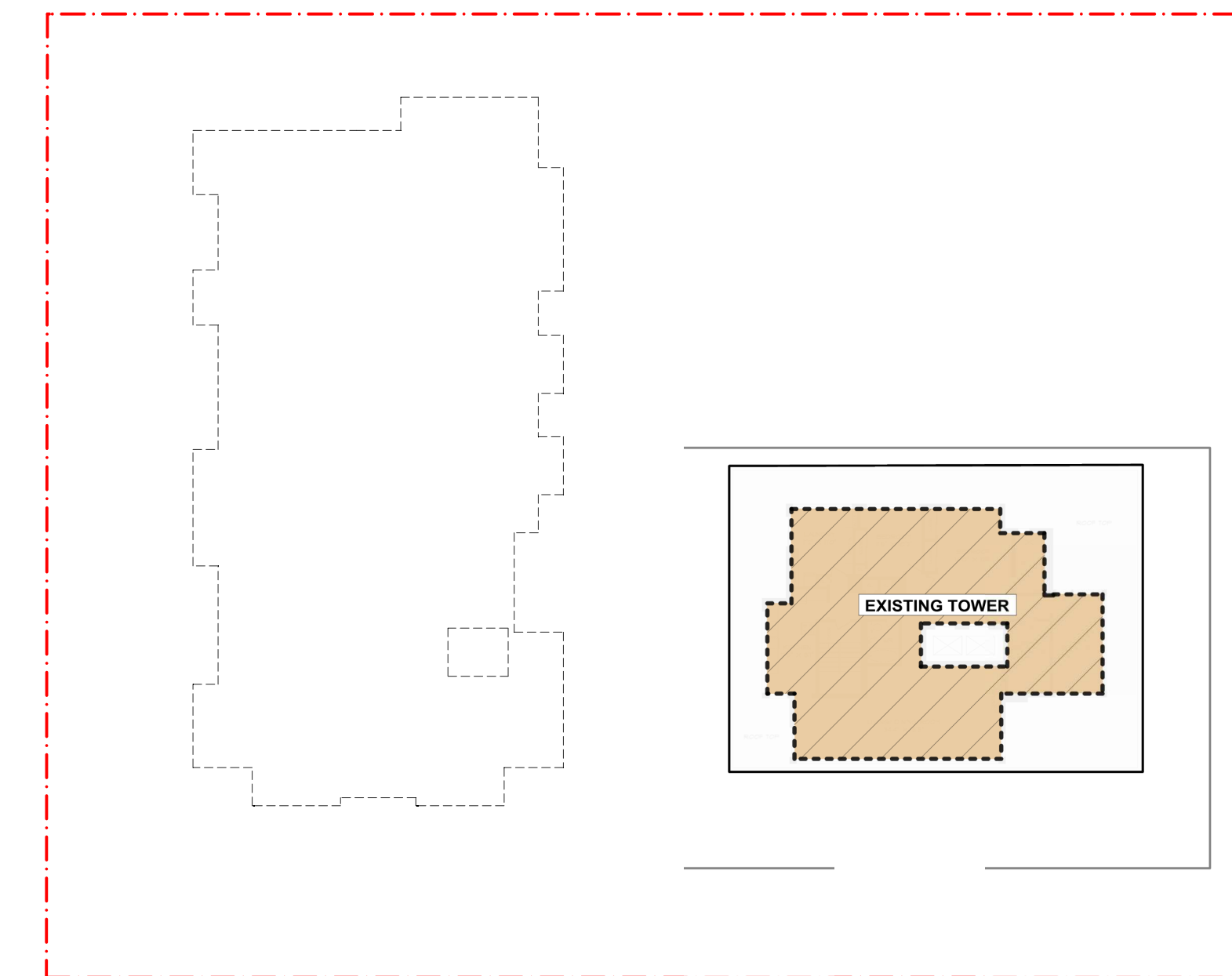
Level 8 - 3,326 s.f. (309.0m²)
Level 9 - 3,326 s.f. (309.0m²)
Level 10 - 3,326 s.f. (309.0m²)
Level 11 - 3,326 s.f. (309.0m²)



Level 2 - 9,666 s.f. (898.0m²)
Level 3 - 9,666 s.f. (898.0m²)
Level 4 - 9,666 s.f. (898.0m²)



Level 7 - 3,681 s.f. (341.9m²)



Level 12 - 2,111 s.f. (196.1m²)

Floor Level	Approx. Total Floor Area
Level L1	10,083 s.f. (936.7 m ²)
Level L2	9,666 s.f. (898.0 m ²)
Level L3	9,666 s.f. (898.0 m ²)
Level L4	9,666 s.f. (898.0 m ²)
Level L5	8,995 s.f. (835.7 m ²)
Level L6	8,995 s.f. (835.7 m ²)
Level L7	3,681 s.f. (341.9 m ²)
Level L8	3,326 s.f. (309.0 m ²)
Level L9	3,326 s.f. (309.0 m ²)
Level L10	3,326 s.f. (309.0 m ²)
Level L11	3,326 s.f. (309.0 m ²)
Level L12	2,111 s.f. (196.1 m ²)
Total	76,167 s.f. (7,077 m²)

Legend:

- Total Floor Area as defined by City of Victoria Zoning Bylaw.
- Existing Floor Area to remain

Note: This information is preliminary and provided for Development Permit review and discussion. Plans and data are subject to confirmation of topographical survey, detailed design and technical requirements.



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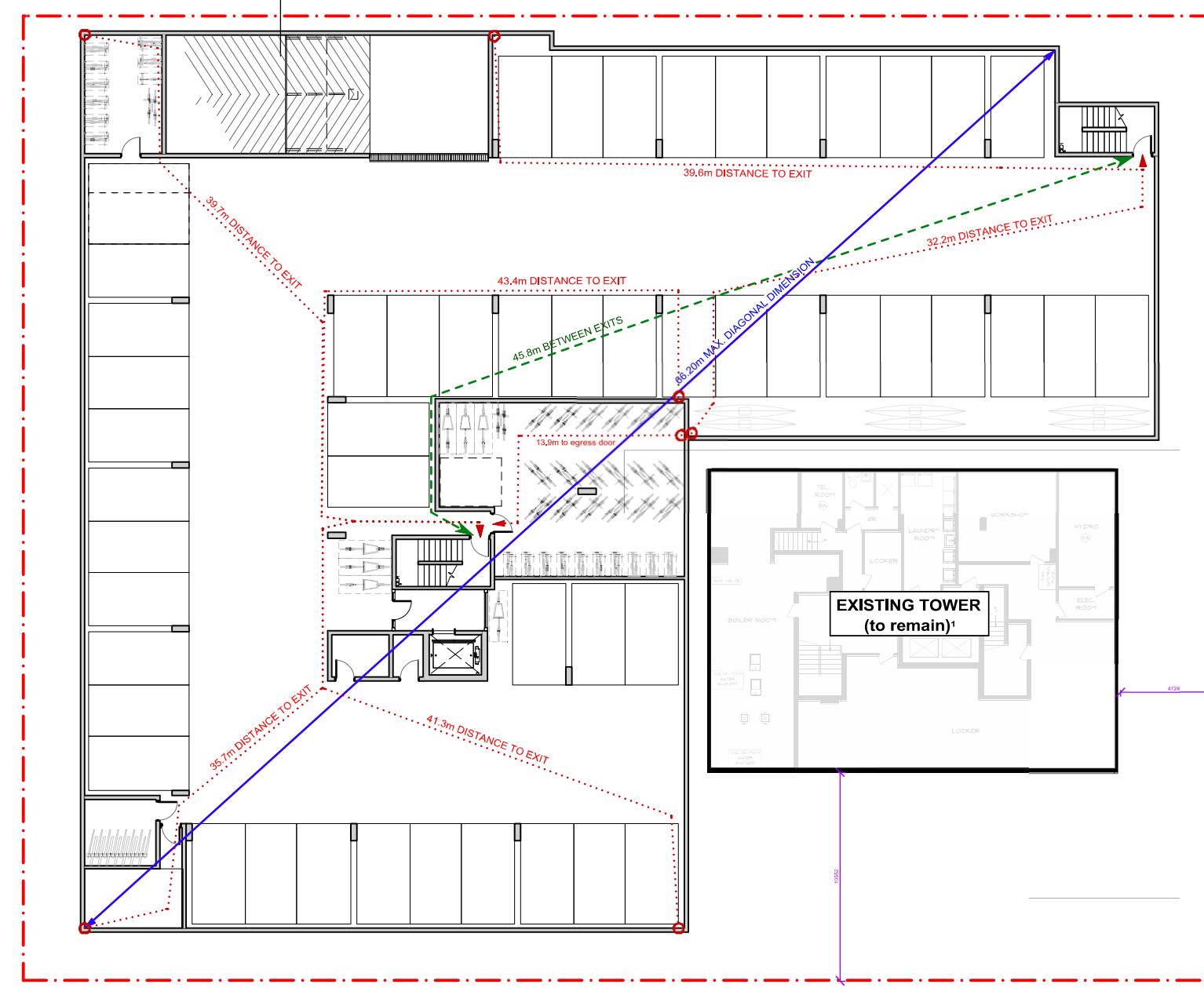
sheet title
Floor Area Diagrams

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES
revision no.	sheet no.

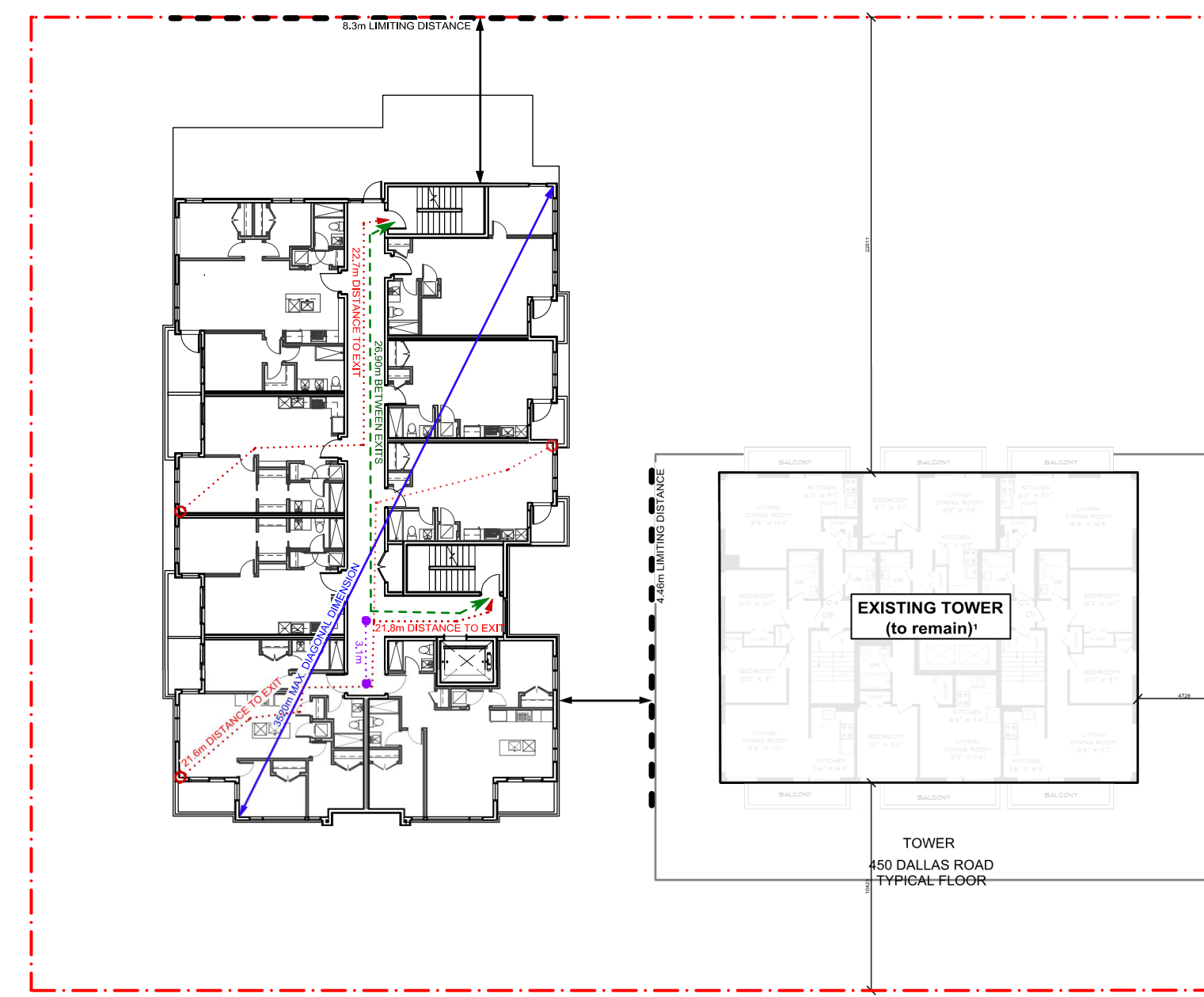


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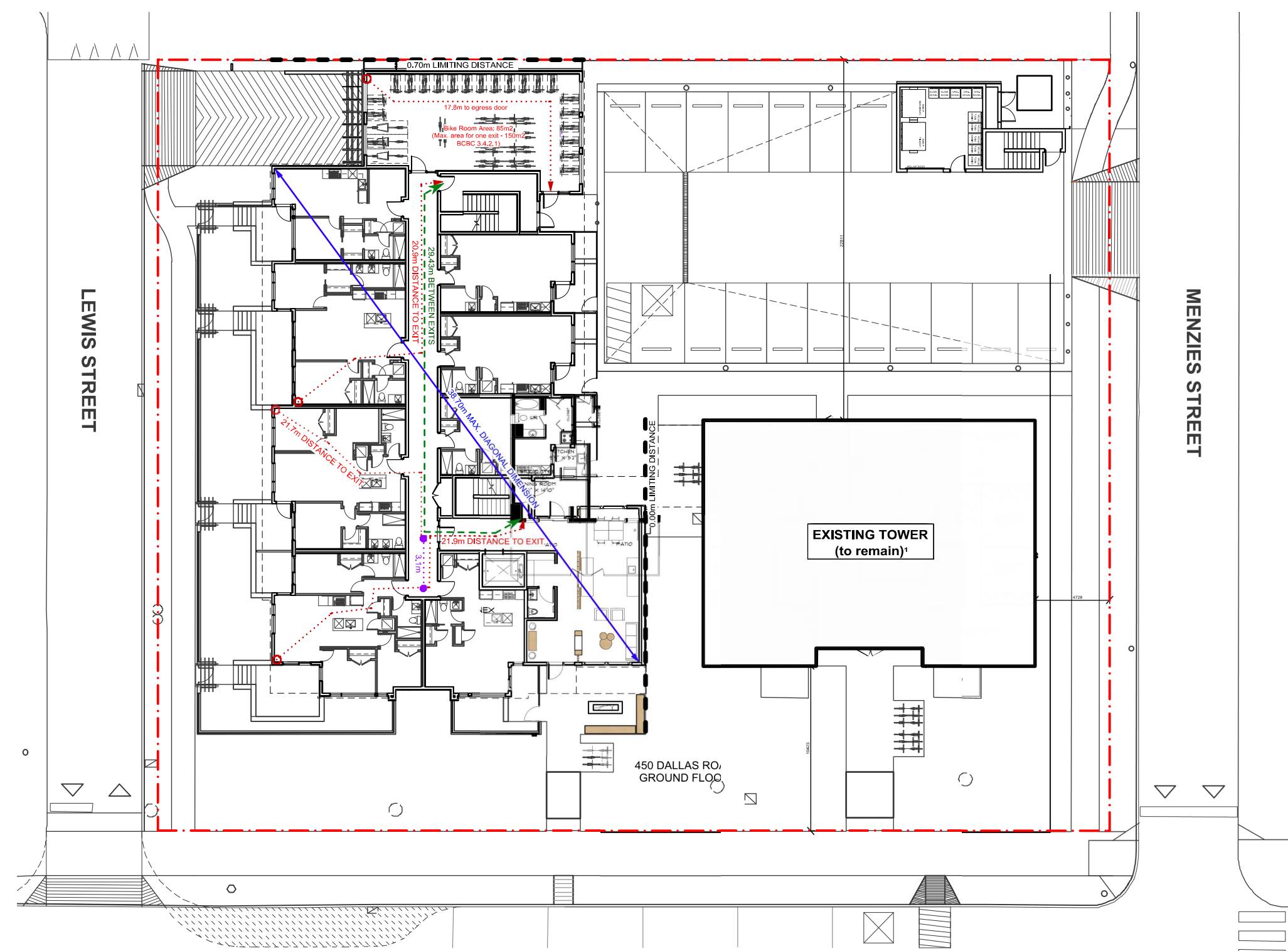
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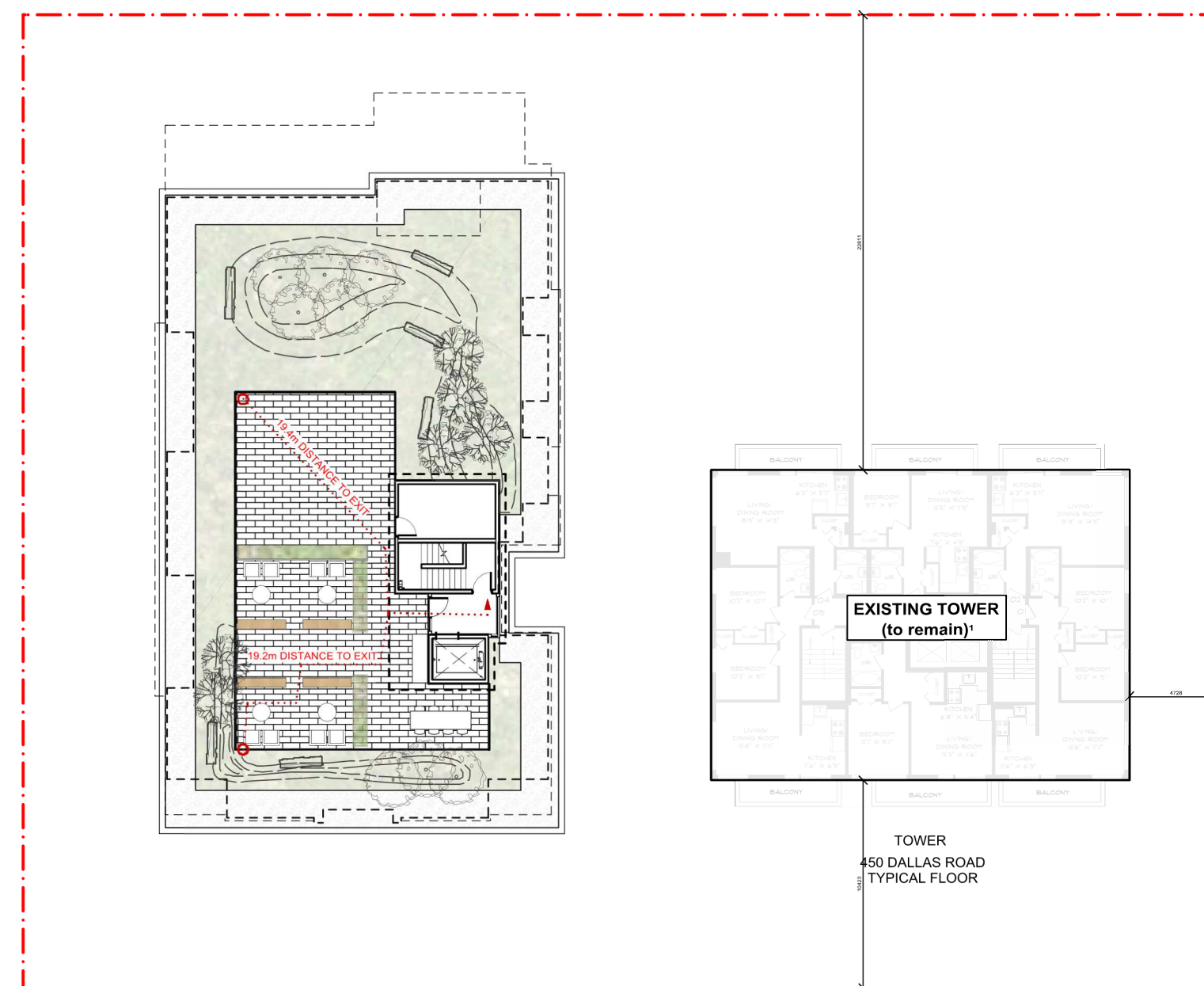
Level P1



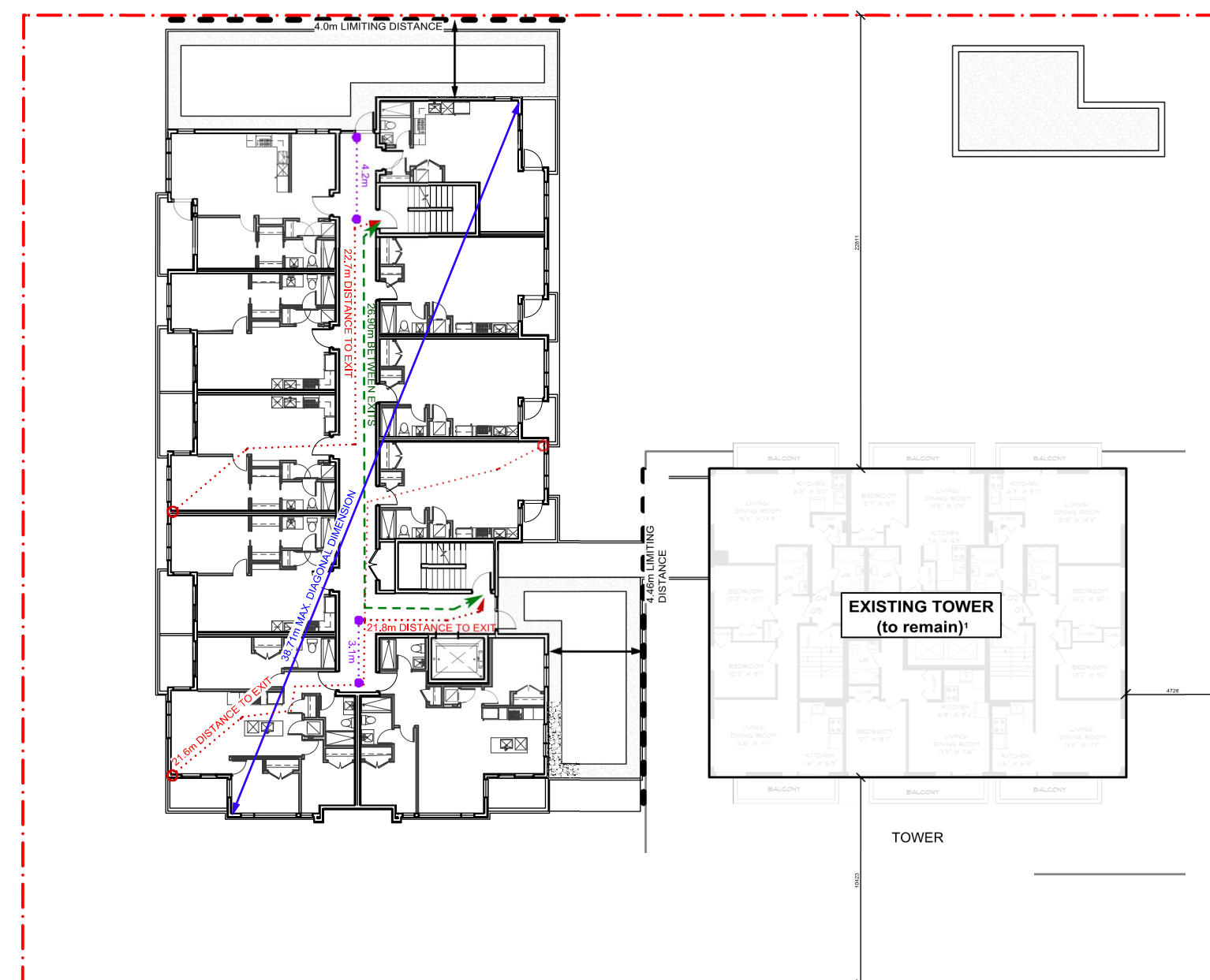
Level 5 / 6



Level 1



Rooftop Patio
Note: (Max. 60 persons occupant load with one exit (BCBC 3.3.1.3 (6)))



Level 2 / 3 / 4

Legend:

- - - Distance between exits
- Maximum diagonal
- - - Distance to exit

Limiting Distance
3.2.3.1

	Area of Exposed Building (m2)	Limiting Distance (m)	% Unprotected Openings Allowed	% Actual Unprotected Openings	Exposed Building Face		
					Cladding (Comb/N.C.)	Construction (Comb/N.C.)	F.R.R.
L1 - North	42.3	0.7	0%	0%	N.C	N.C	1hr
L2-L5 - North	19.3	4	100%	10%	Comb or N.C.	Comb or N.C.	45min
L6 - North	9.0	8.3	100%	22%	Comb or N.C.	Comb or N.C.	45min
L1 - East	28.1	0	0%	0%	N.C	N.C	1hr
L2-L6 - East	24	4.46	100%	32%	Comb or N.C.	Comb or N.C.	45min
L1-L6 South	25.1	18.3	100%	40%	Comb or N.C.	Comb or N.C.	45min
L1-L6 West	24.0	11.3	100%	42%	Comb or N.C.	Comb or N.C.	45min
L1 - Existing Bldg. to New	36.5	3.7	30%	27%	N.C	Comb or N.C.	45min

Note: Calculations show the most restrictive fire compartment

Building Code Summary

NOTE: BUILDING DATA IS GOVERNED BY BCBC 2018

SUMMARY:

THE PROPOSED BUILDING WILL BE A 6-STOREY RENTAL RESIDENTIAL WITH A ROOFTOP PATIO AMENITY AREA, ATOP OF A NEW U/G PARKADE AND SOME ANCILLARY AT-GRADE PARKING. THE BUILDING WILL CONTAIN SIX (6) STOREYS OF WOOD-FRAME CONSTRUCTION WITH RESIDENTIAL (GROUP C) USE.

Governing Code
BCBC 2018 (unless otherwise indicated)

Governing Code Part
Division B Part 3

Major Occupancy Classification / Construction Type
Group C (Residential / Combustible)

Building Area
3,728 m2 (as defined by BCBC 2018)

Building Height
6 Storeys (as defined by BCBC 2018)

Number of Dwelling Units
54 Dwelling Units

Building Code Classification
3.2.2.50 - Group C, up to 6 Storeys, Sprinklered

Sprinklers
To Be Provided (NFPA 13R for Residential)

Stand Pipes
To Be Provided

Fire Resistance Ratings
Roof: 1h
Floor / Occupied Roof: 1h
Load-bearing Structure: 1h
Suite / Suite: 1hr
Corridor / Suites: 1hr

Fire Alarm
To Be Provided

Central Station Monitoring
To Be Provided per 3.2.4.7 (4)

Emergency Lighting & Exit Signs
To Be Provided

Alternative Solutions
None Required

rev no	description	date
6	Issued for Rez. / DP Resub.	03/24/2022
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1	Issued for Comm. Consult.	06/22/2021

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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Code Summary

project no. 1934
drawing file DAU Drawing Standards
date issued May 20, 2021
scale As Noted
drawn by AC
checked by ES

revision no. sheet no.

LEGEND

- Shadow generated by existing 12 storey tower
- Shadow generated by proposed new building
- Shadow generated by existing single family house



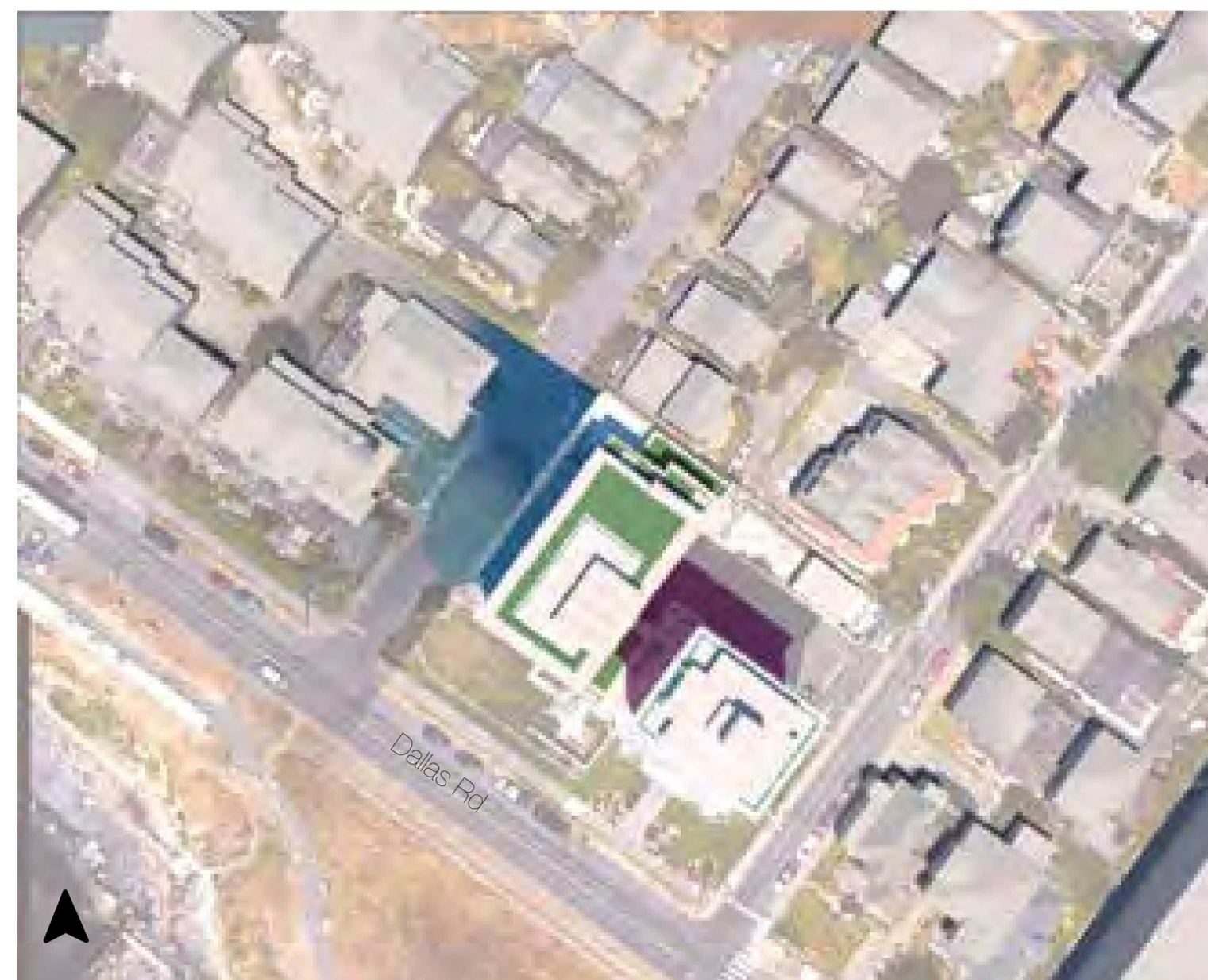
June 21 9:00 AM



March 20/ September 22 9:00 AM



December 21 9:00 AM



June 21 12:00 PM



March 20/ September 22 12:00 PM



December 21 12:00 PM



June 21 1:00 PM



March 20/ September 22 1:00 PM



December 21 1:00 PM



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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Shadow Studies

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES
revision no.	sheet no.

5 **A0.6**

LEGEND

- Shadow generated by existing 12 storey tower
- Shadow generated by proposed new building
- Shadow generated by existing single family house



June 21

2:00 PM



March 20/ September 22

2:00 PM



December 21

2:00 PM



June 21

3:00 PM



March 20/ September 22

3:00 PM



December 21

3:00 PM



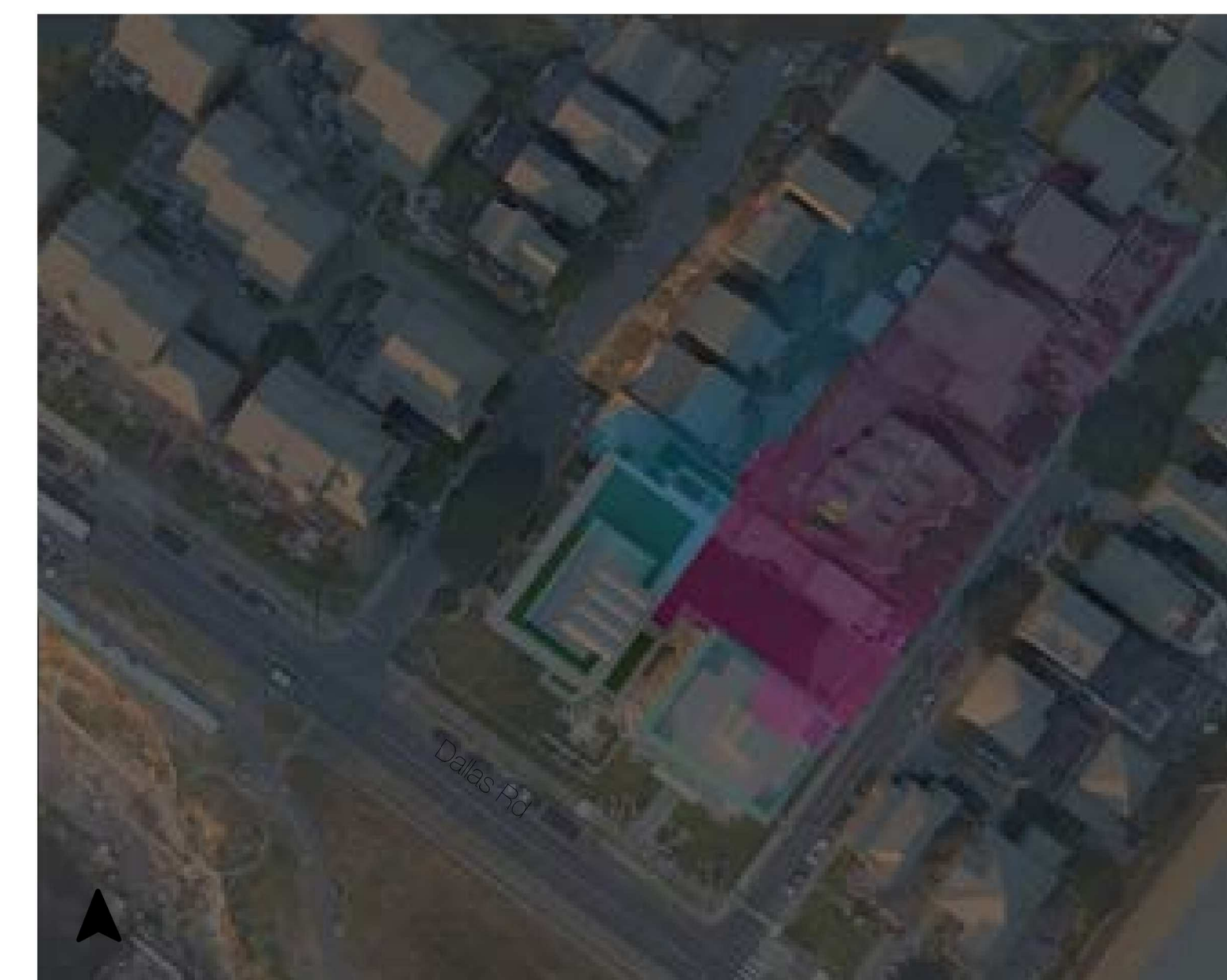
June 21

4:00 PM



March 20/ September 22

4:00 PM



December 21

4:00 PM



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Reliance Properties Ltd.

sheet title
Shadow Studies

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES
revision no.	sheet no.
5	A0.6a

LEGEND

- Shadow generated by existing 12 storey tower
- Shadow generated by proposed new building
- Shadow generated by existing single family house



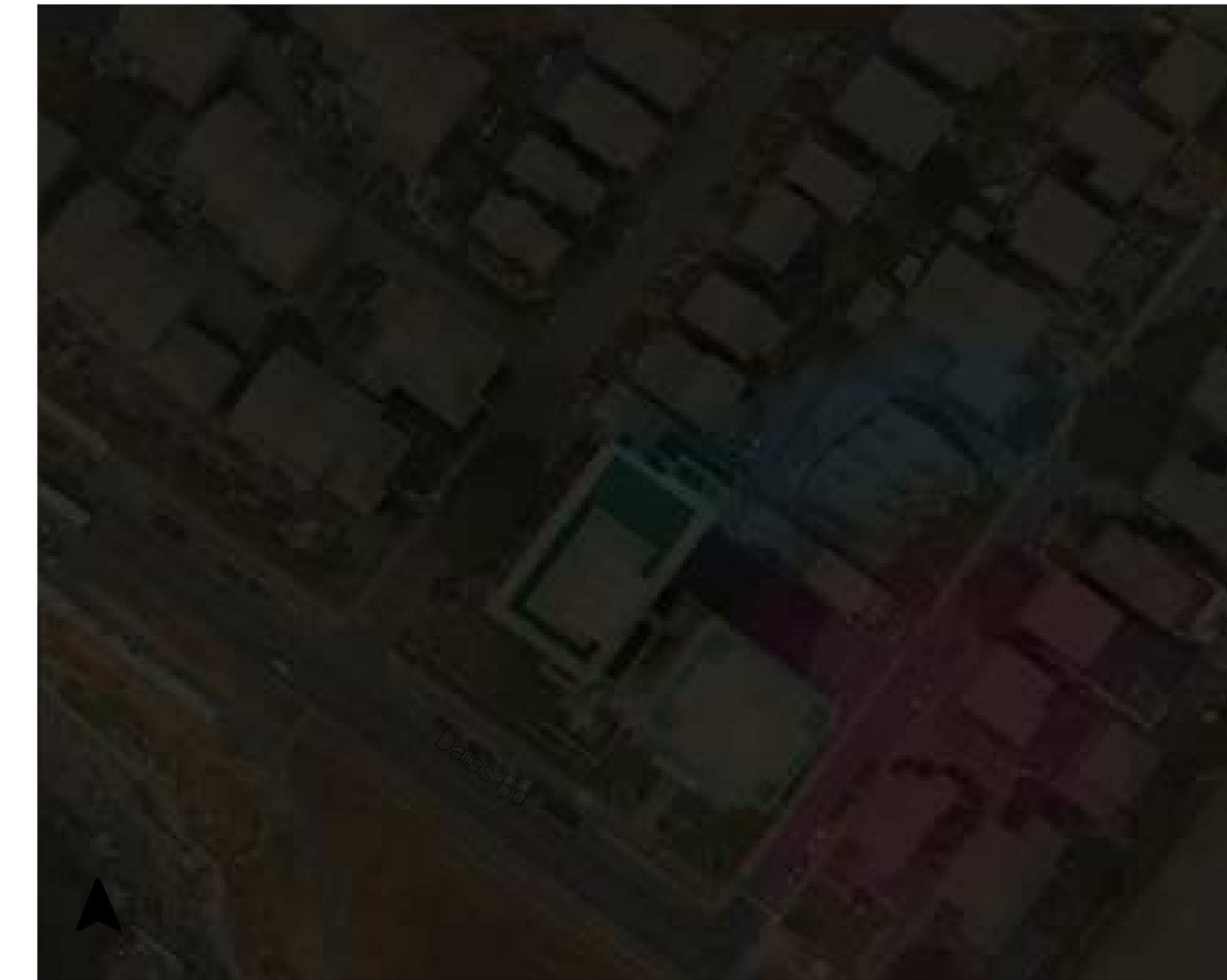
June 21

5:00 PM



March 20/ September 22

5:00 PM



December 21

5:00 PM

EXISTING

LEGEND

- Shadow generated by existing 12 storey tower
- Shadow generated by existing 3 storey annex
- Shadow generated by existing single family house
- Difference between existing & proposed shadows



March 20/ September 22

1:00 PM



March 20/ September 22

2:00 PM



March 20/ September 22

3:00 PM



March 20/ September 22

4:00 PM

PROPOSED

LEGEND

- Shadow generated by existing 12 storey tower
- Shadow generated by proposed new building
- Shadow generated by existing single family house
- Difference between existing & proposed shadows



March 20/ September 22

1:00 PM



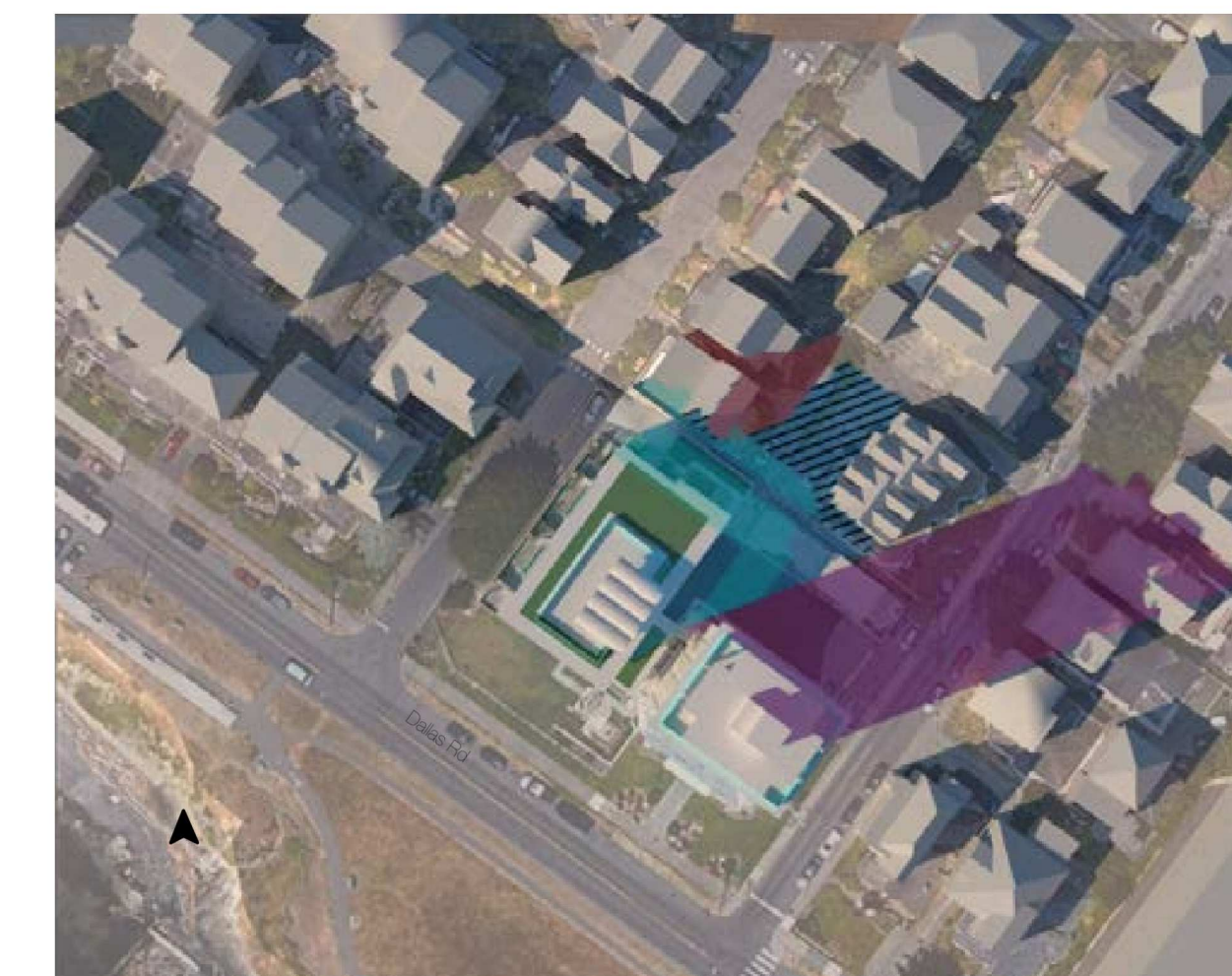
March 20/ September 22

2:00 PM



March 20/ September 22

3:00 PM



March 20/ September 22

4:00 PM



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rev no	description	date
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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Shadow Studies

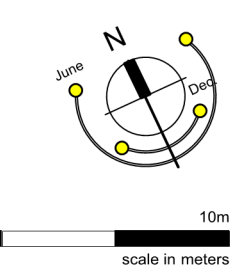
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drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES

revision no.	sheet no.
5	A0.6b



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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Site Plan

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES
revision no.	sheet no.



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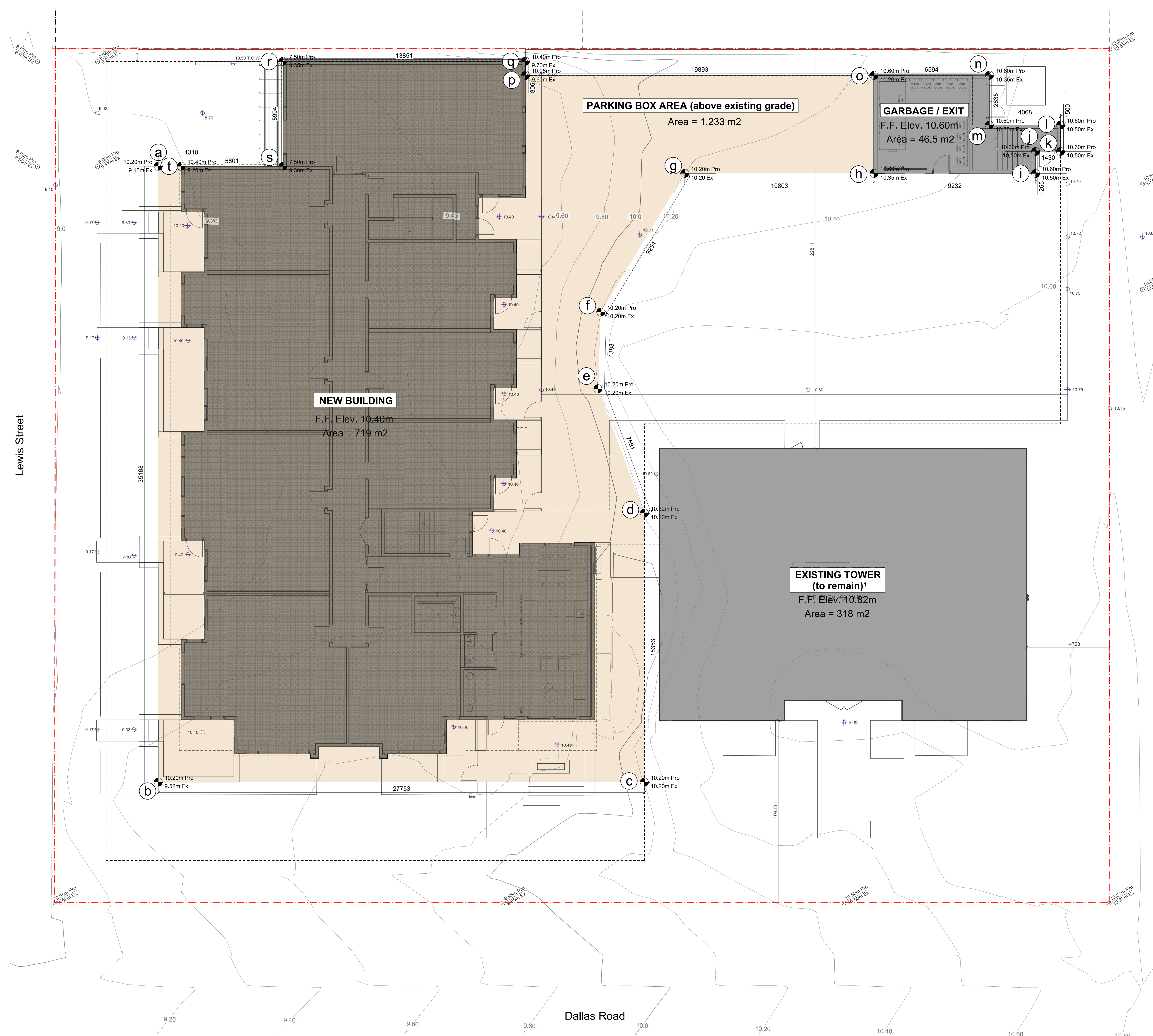
Average Grade Calculations:

Grade Points (m Geodetic)	Existing	Proposed	Interval	Average Grade (m)	Distance (m)	Subtotal
a	9.15	10.20	a-b	9.34	35.17	328.31
b	9.52	10.20	b-c	9.86	27.75	273.62
c	10.20	10.20	c-d	10.20	15.35	156.57
d	10.20	10.82	d-e	10.20	7.58	77.32
e	10.20	10.20	e-f	10.20	4.38	44.68
f	10.20	10.20	f-g	10.20	9.25	94.35
g	10.20	10.20	g-h	10.28	10.80	110.97
h	10.35	10.60	h-i	10.43	9.23	96.22
i	10.50	10.60	i-j	10.50	1.27	13.34
j	10.50	10.60	j-k	10.50	1.43	15.02
k	10.50	10.60	k-l	10.50	1.50	15.75
l	10.50	10.60	l-m	10.43	4.07	52.33
m	10.35	10.60	m-n	10.35	2.84	29.39
n	10.35	10.60	n-o	10.28	6.59	57.95
o	10.20	10.60	o-p	9.90	19.89	196.91
p	9.60	10.25	p-q	9.65	0.81	7.82
q	9.70	10.40	q-r	8.60	13.85	119.11
r	9.35	7.50	r-s	7.50	5.99	44.93
s	9.30	7.50	s-t	8.35	5.80	48.43
t	9.20	10.40	t-a	9.18	1.31	12.02
Total						184.86 1794.88
Geodetic Average Grade (m)						9.71

Site Coverage:

Site Area: 2,395.95 m2
 Parking Box Area: 1,233 m2
 Existing Tower Area: 318 m2
 Garbage / Exit Stair Area: 46.5 m2
 Total: 1,597.5 m2

Site Coverage: 1,597.5m2 / 2,395.95m2 = 0.667 = 66.7%



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project name
450 Dallas Road
 Victoria, B.C.
 Reliance Properties Ltd.

sheet title
Average Grade Calculations

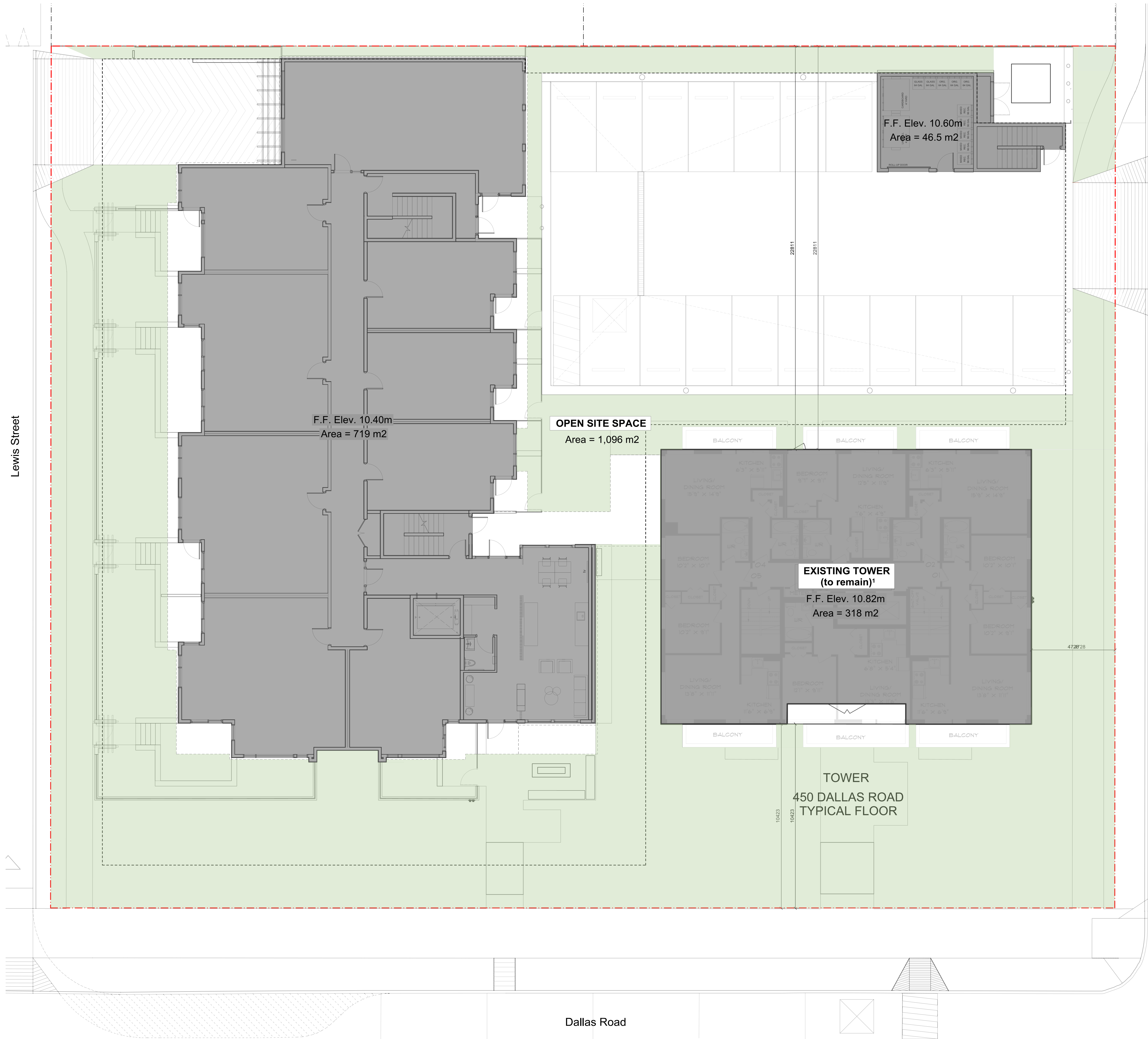
project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
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checked by	ES
revision no.	sheet no.



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NOTES:
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Open Site Space:
Site Area: 2,395.95 m²
Open Site Space: 1,096 m²
Open Site Space Coverage:
1,096m² / 2,395.95m² = 0.457 = 46.14%



rev no	description	date
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project name
450 Dallas Road
Victoria, B.C.
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sheet title
Open Site Space

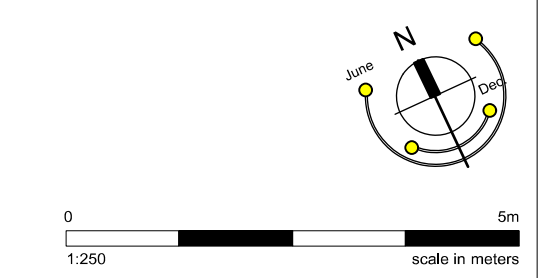
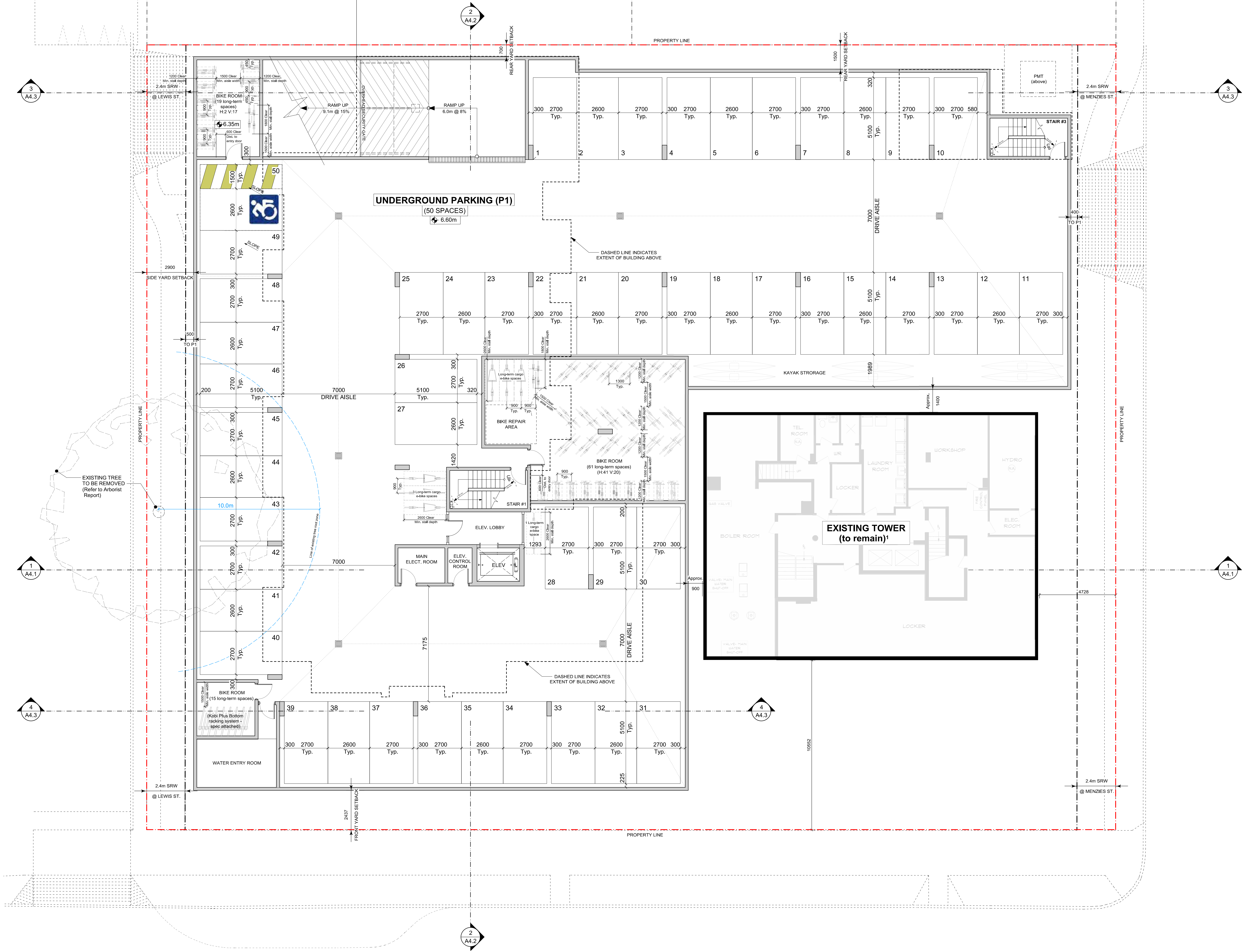
project no. 1934
drawing file DAU Drawing Standards
date issued May 20, 2021
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6 A1.3



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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Parking Level P1
Floor Plan

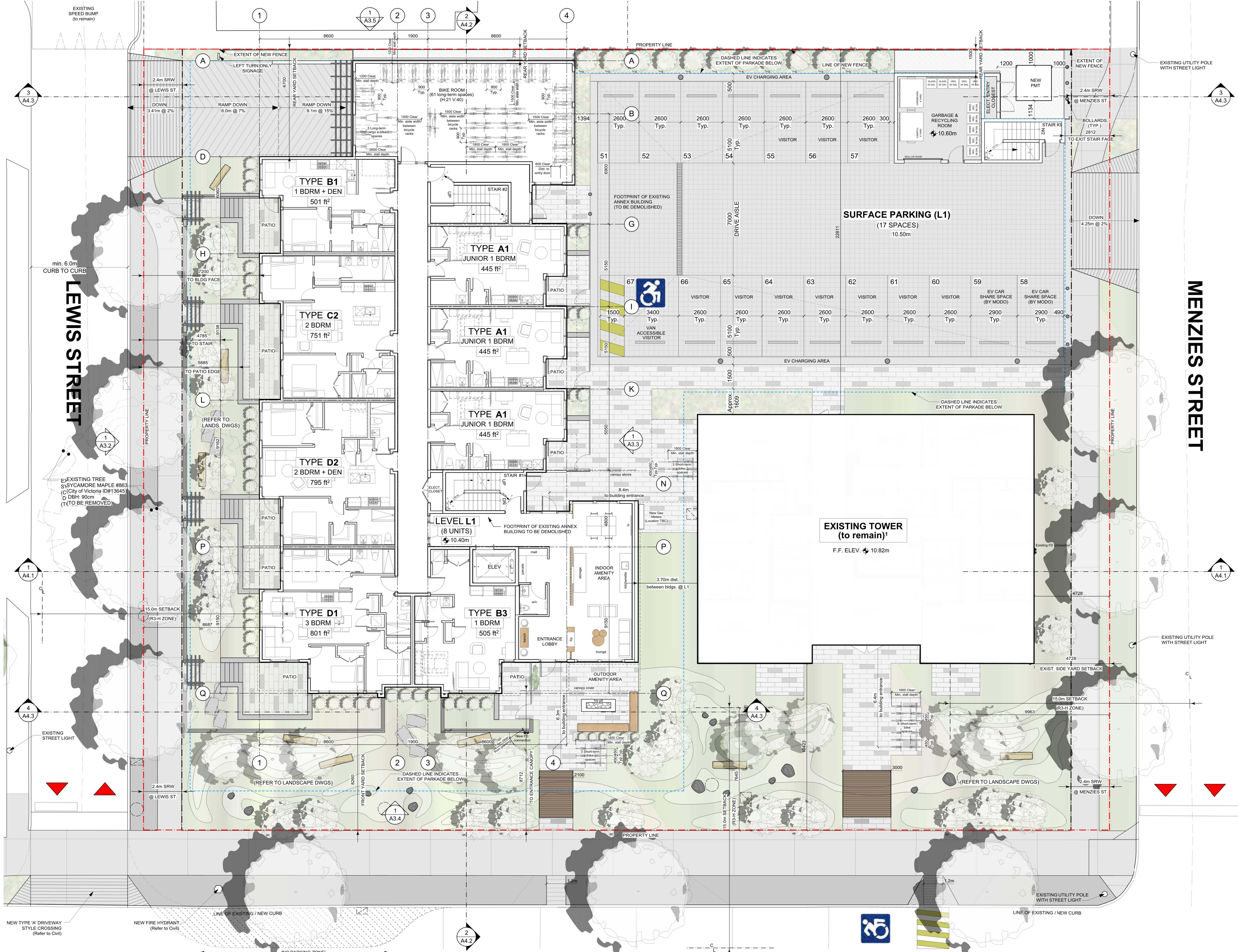
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drawing file DAU Drawing Standards
date issued May 20, 2021
scale As Noted
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revision no. sheet no.
A2.1



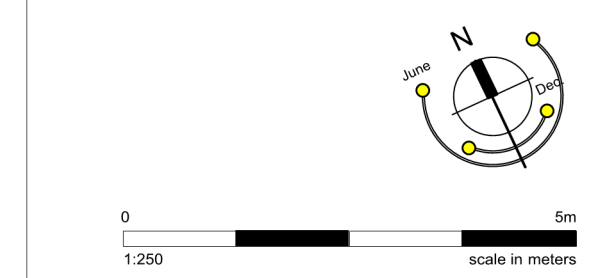
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MENZIES STREET

LEWIS STREET



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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Level 1 Floor Plan

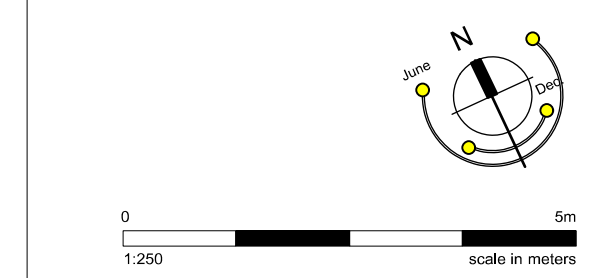
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6 **A2.2**



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project name
450 Dallas Road
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Reliance Properties Ltd.

sheet title
Level 2 Floor Plan

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES

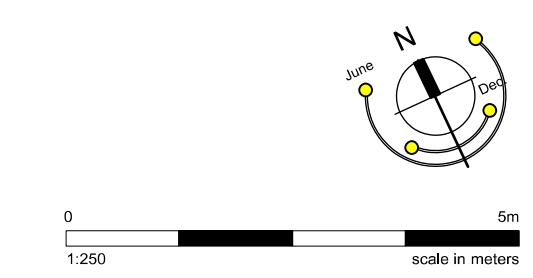
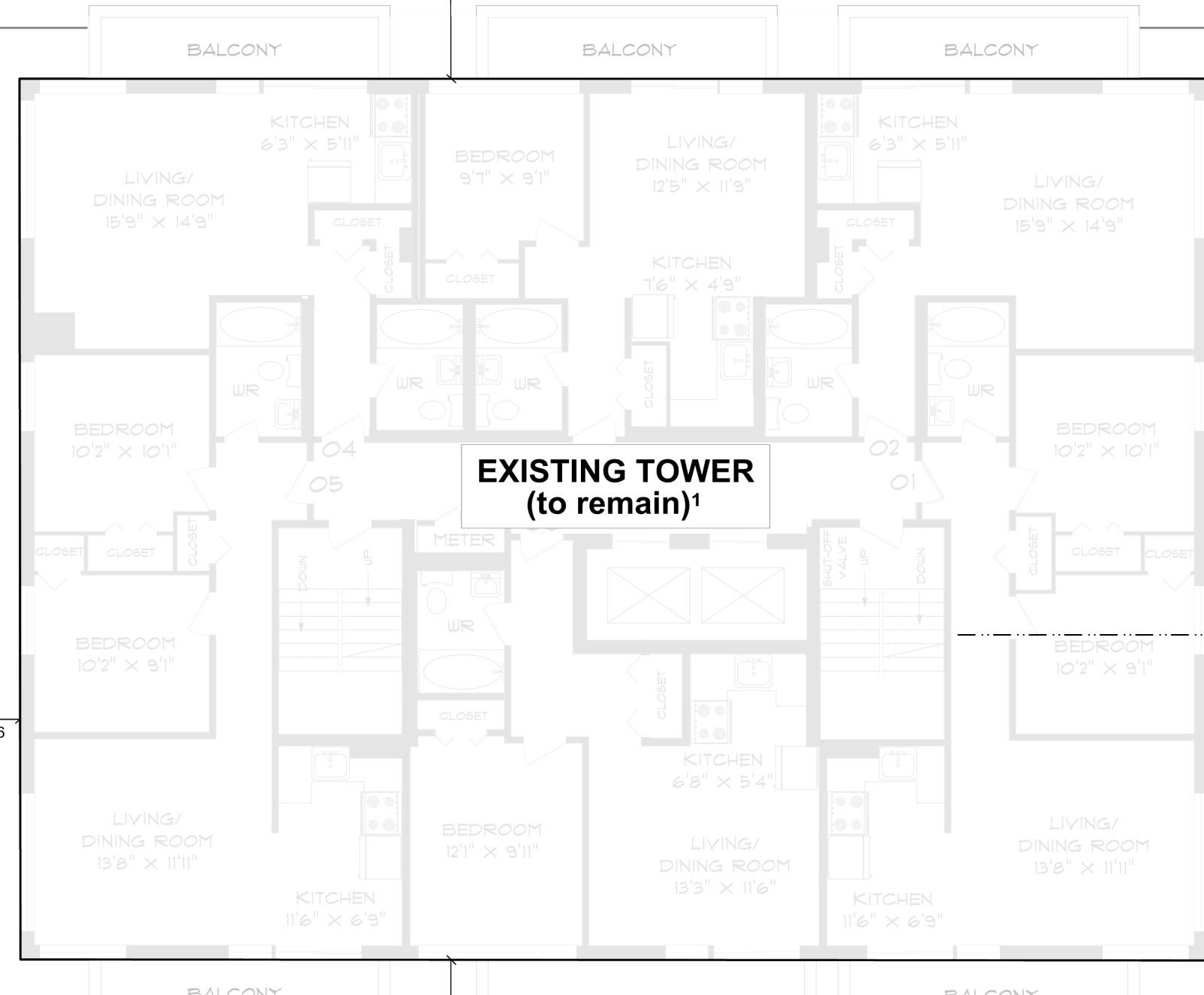
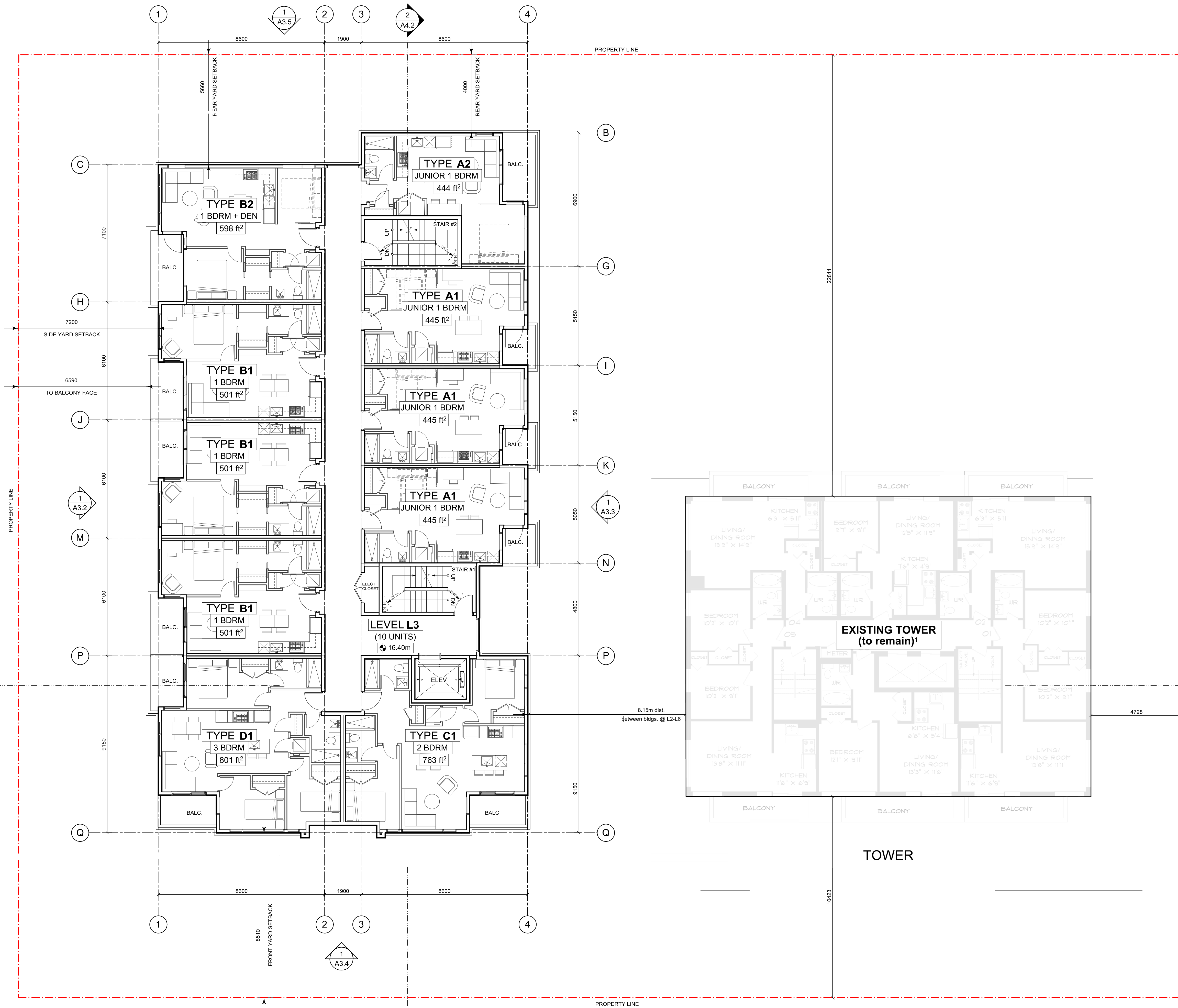
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project name
450 Dallas Road
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sheet title
Level 3 Floor Plan

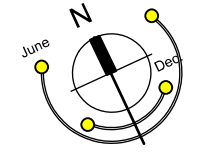
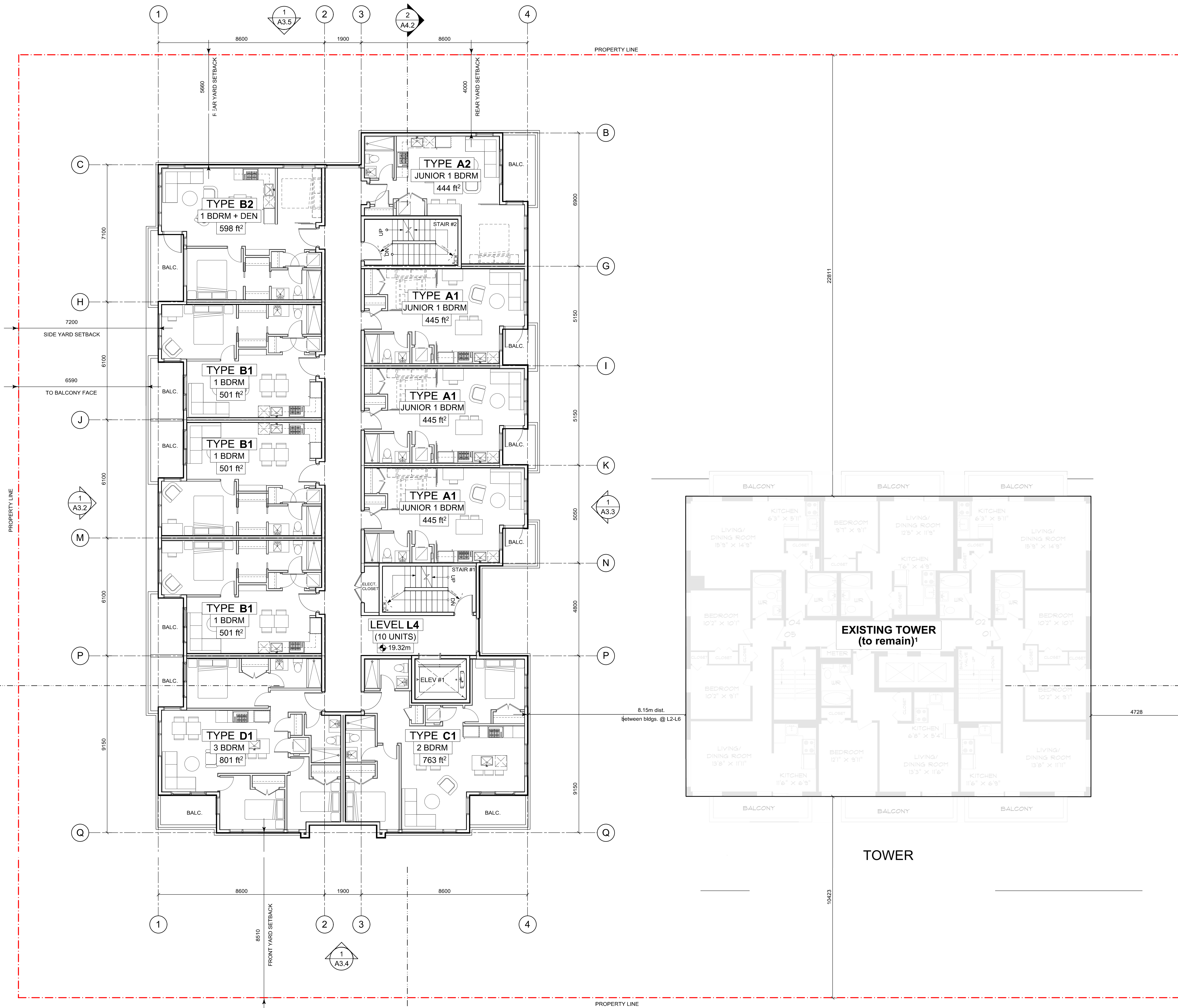
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drawing file	DAU Drawing Standards
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2 **A2.4**



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rev no	description	date
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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Level 4 Floor Plan

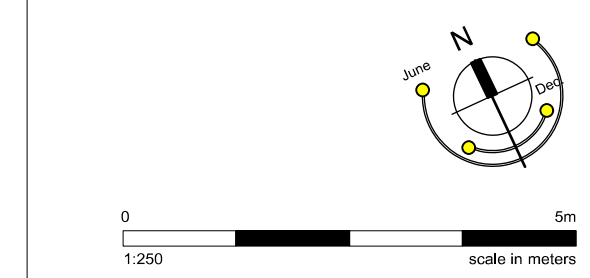
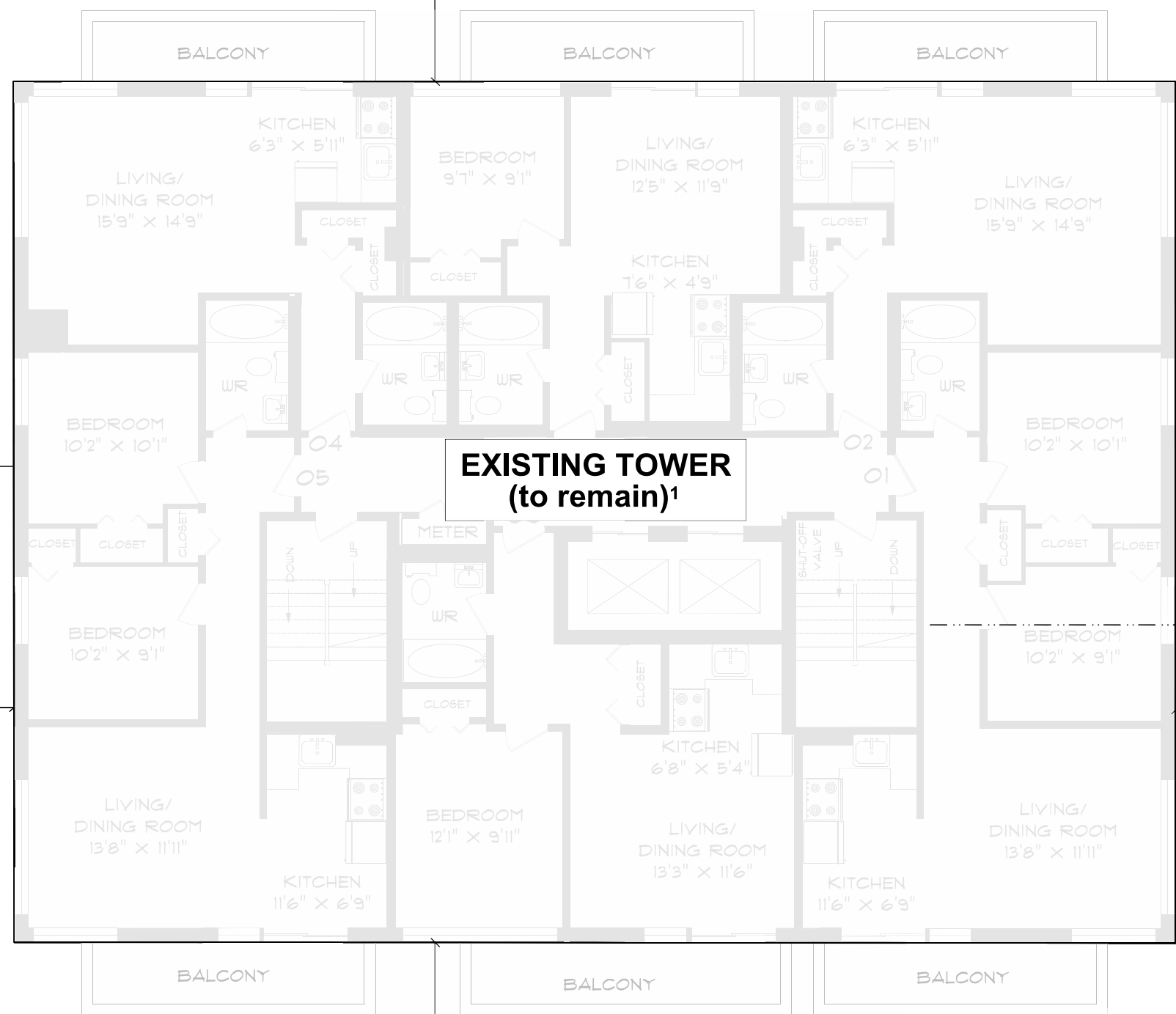
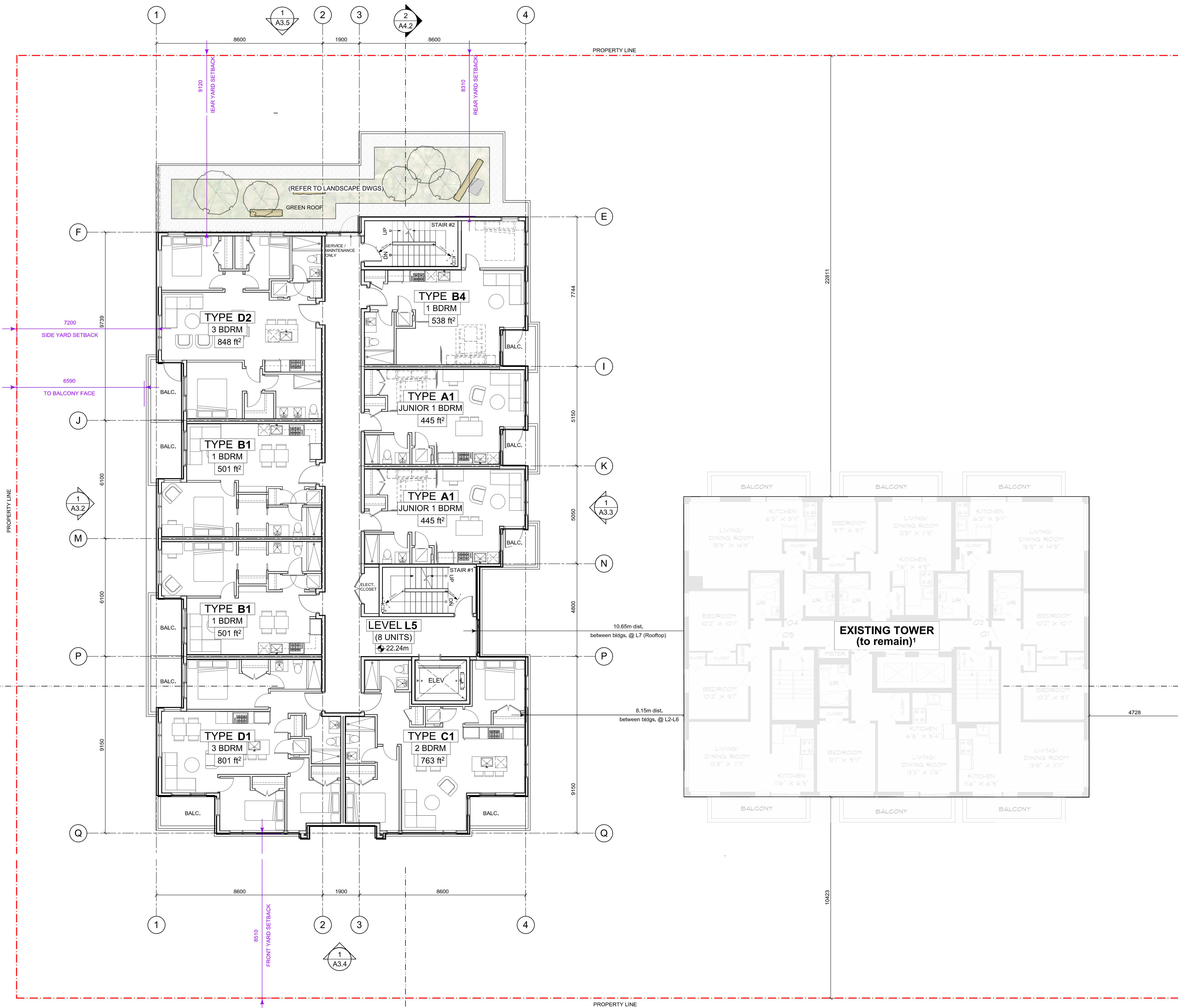
project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES

revision no.	sheet no.
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rev no	description	date
6	Issued for Rez. / DP Resub.	03/24/2022
5	Issued for Review / Coord.	03/15/2022
4	Issued for Rez. / DP Resub.	11/25/2021
3	Issued for ADP	09/03/2021
2	Issued for Rezoning / DP	06/29/2021
1	Issued for Comm. Consult.	06/22/2021

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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Level 5 Floor Plan

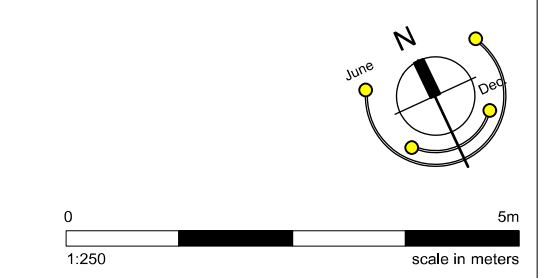
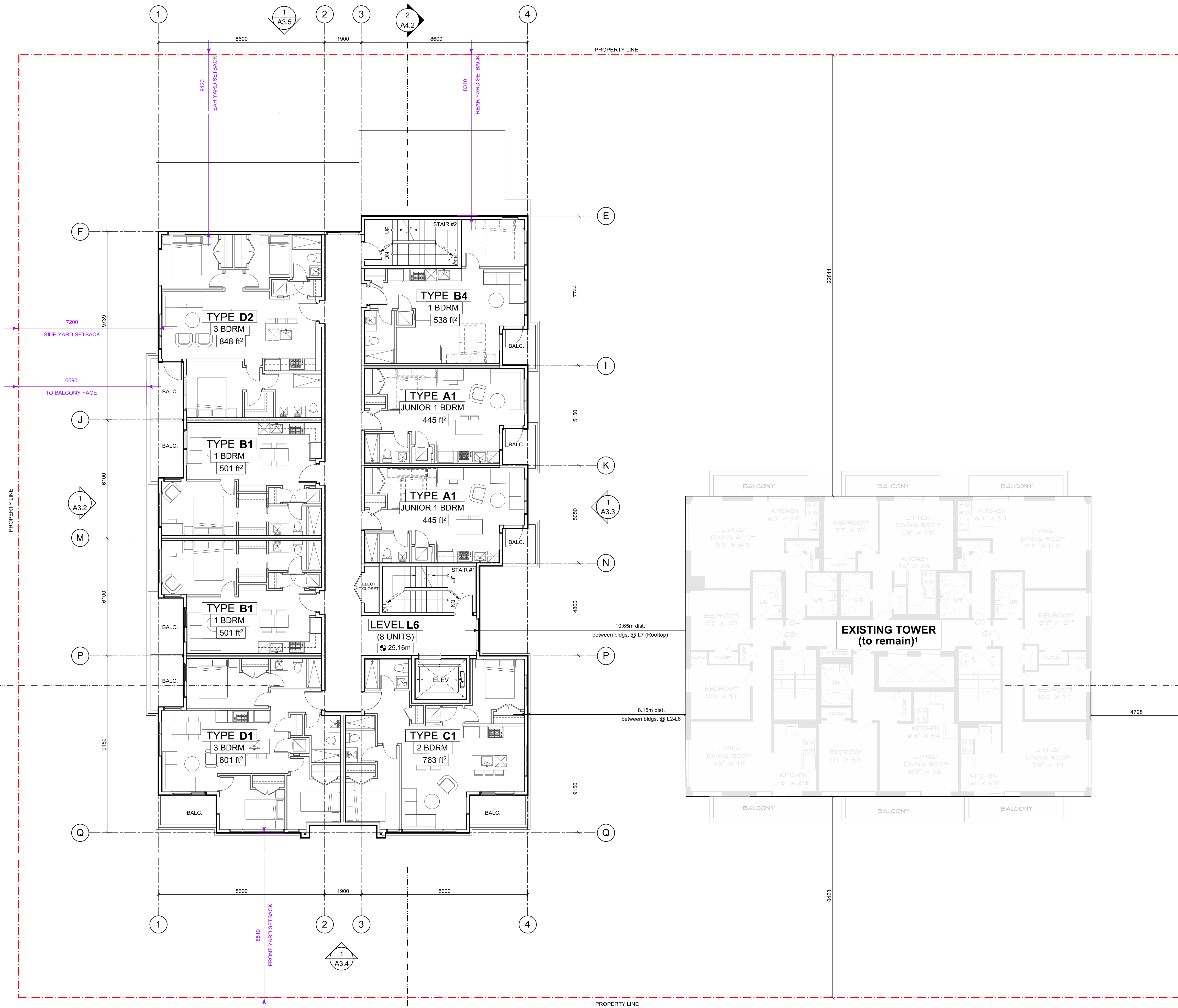
project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES

revision no.	sheet no.
6	A2.6



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2	Issued for Rezoning / DP	06/29/2021
1	Issued for Comm. Consult.	06/22/2021

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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Level 6 Floor Plan

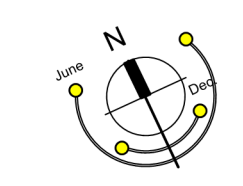
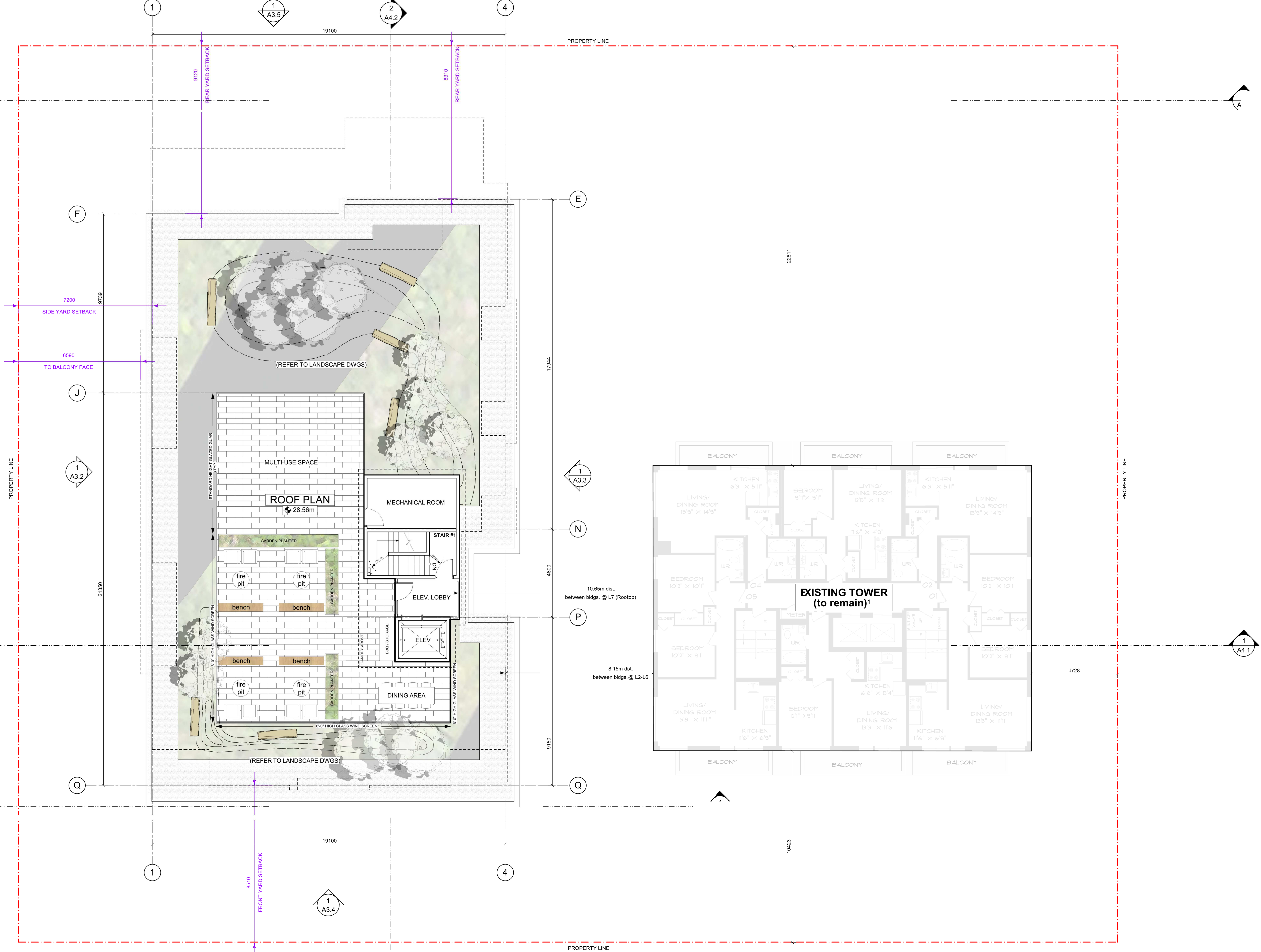
project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES

revision no.	sheet no.
6	A2.7



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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Roof Plan

project no. 1934
drawing file DAU Drawing Standards
date issued May 20, 2021
scale As Noted
drawn by AC
checked by ES

revision no. sheet no.
6 A2.8



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1 Existing Street Elevation
NTS



2 Proposed Street Elevation
NTS

rev no	description	date
5	Issued for Rez. / DP Resub.	03/24/2022
4	Issued for Rez. / DP Resub.	11/25/2021
3	Issued for ADP	09/03/2021
2	Issued for Rezoning / DP	06/29/2021
1	Issued for Comm. Consult.	06/22/2021

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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Street / Context Elevations

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES

revision no.	sheet no.
5	A3.1



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ELEVATION MATERIALS KEY:

- 1 Stack Bond Brick
Colour: Platinum; Texture: Mission
- 2 Ceraclad Ceramic Coated Vertical Panels
Profile: Zen Garden Colour: Light Gray
- 3 Prefinished Alucobond Panel
Colour: Champagne Metallic
- 4 Windows and Doors: Clear Glazing in Anodized Aluminum Frames
Colour: Sterling Gray
- 5 Glass Guards:
Aluminum Frames
Colour: Medium Gray
with clear laminated glazing
- 6 Prefinished Metal Fascia
Colour: Light Gray
- 7 Prefinished Steel Fascia
Colour: Light Gray
- 8 Architectural Concrete
- 9 Precast Fibre Cement Sculptural Panels
Colour: Concrete; Texture: Natural
- 10 Overhead Security Gate at Vehicle Ramp:
Prefinished Metal Screen
Colour: Medium Gray
- 11 Glazed Canopies: Diffuse White Laminated Glazing on Painted Steel Structure
Colour: Medium Gray
- 12 Parapet Flashings: Prefinished Metal
Colour: Sterling White
- 13 Hollow Metal Doors:
Colour: Medium Gray
- 14 Painted Metal Pergolas and gates
Colour: Medium Gray
- 15 Horizontal cedar slat fence
Colour: Gray washed cedar



rev no	description	date
6	Issued for Rez. / DP Resubmission Addendum	04/07/2022
5	Issued for Rez. / DP Resub.	03/24/2022
4	Issued for Rez. / DP Resub.	11/25/2021
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2	Issued for Rezoning / DP	06/29/2021
1	Issued for Comm. Consult.	06/22/2021

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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Elevations - West

project no. 1934
drawing file DAU Drawing Standards
date issued May 20, 2021
scale As Noted
drawn by AC
checked by ES

revision no. sheet no.
A3.2

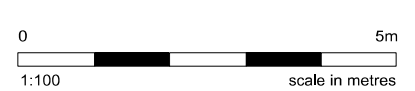




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ELEVATION MATERIALS KEY:

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Colour: Sterling Gray
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Aluminum Frames
Colour: Medium Gray
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Glazing on Painted Steel Structure
Colour: Medium Gray
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Colour: Sterling White
- 13 Hollow Metal Doors:
Colour: Medium Gray
- 14 Painted Metal Pergolas and gates
Colour: Medium Gray
- 15 Horizontal cedar slat fence
Colour: Gray washed cedar



1 East Elevation
Scale: 1:100

rev no	description	date
5	Issued for Rez. / DP Resub.	03/24/2022
4	Issued for Rez. / DP Resub.	11/25/2021
3	Issued for ADP	09/03/2021
2	Issued for Rezoning / DP	06/29/2021
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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Elevations - East

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES

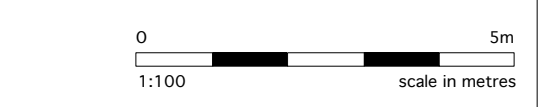
revision no.	sheet no.
5	A3.3



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Colour: Sterling White
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Colour: Medium Gray
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Colour: Medium Gray
- 15 Horizontal cedar slat fence
Colour: Gray washed cedar



rev no	description	date
6	Issued for Rez. / DP Resubmission Addendum	04/07/2022
5	Issued for Rez. / DP Resub.	03/24/2022
4	Issued for Rez. / DP Resub.	11/25/2021
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2	Issued for Rezoning / DP	06/29/2021
1	Issued for Comm. Consult.	06/22/2021

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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Elevations - South

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES

revision no. sheet no.
A3.4



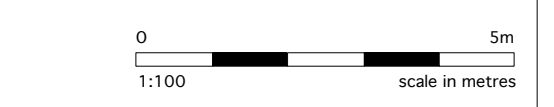
1 South Elevation
Scale: 1:100



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ELEVATION MATERIALS KEY:

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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Elevations - North

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES
revision no.	sheet no.

6 **A3.5**



50.95 APPROX. EXIST. BLDG T.O. ELEVATOR OVER RUN
AS PER SURVEY

43.68 APPROX. EXIST. BLDG T.O. ROOF
AS PER SURVEY

Property Line
CoV SRW 2.4m

BLDG. HEIGHT: 32.93m

EXIST. FIN GRADE: 10.75

Menzies St.

GREEN WALL
NEW FENCE IN THE FOREGROUND
EXISTING TOWER
(to remain)

11

5

8

Lewis St.

AVERAGE GRADE
(Per C.o.V. Zoning) 9.71

8600 1900 8600 1

4 2 6 12 3

8150

6590
TO BALCONY FACE

TO PATIO EDGE
7200
SIDE YARD SETBACK

T.O. ROOF TERRACE 33.51
EXIT STAIR
4450
T.O. ROOF PARAPET 29.20
500
T.O. ROOF 28.56
3441
T.O. L6 FLOOR 25.16
2920
T.O. L5 FLOOR 22.24
2920
T.O. L4 FLOOR 19.32
2920
T.O. L3 FLOOR 16.40
2920
T.O. L2 FLOOR 13.48
3080
T.O. L1 FLOOR 10.40

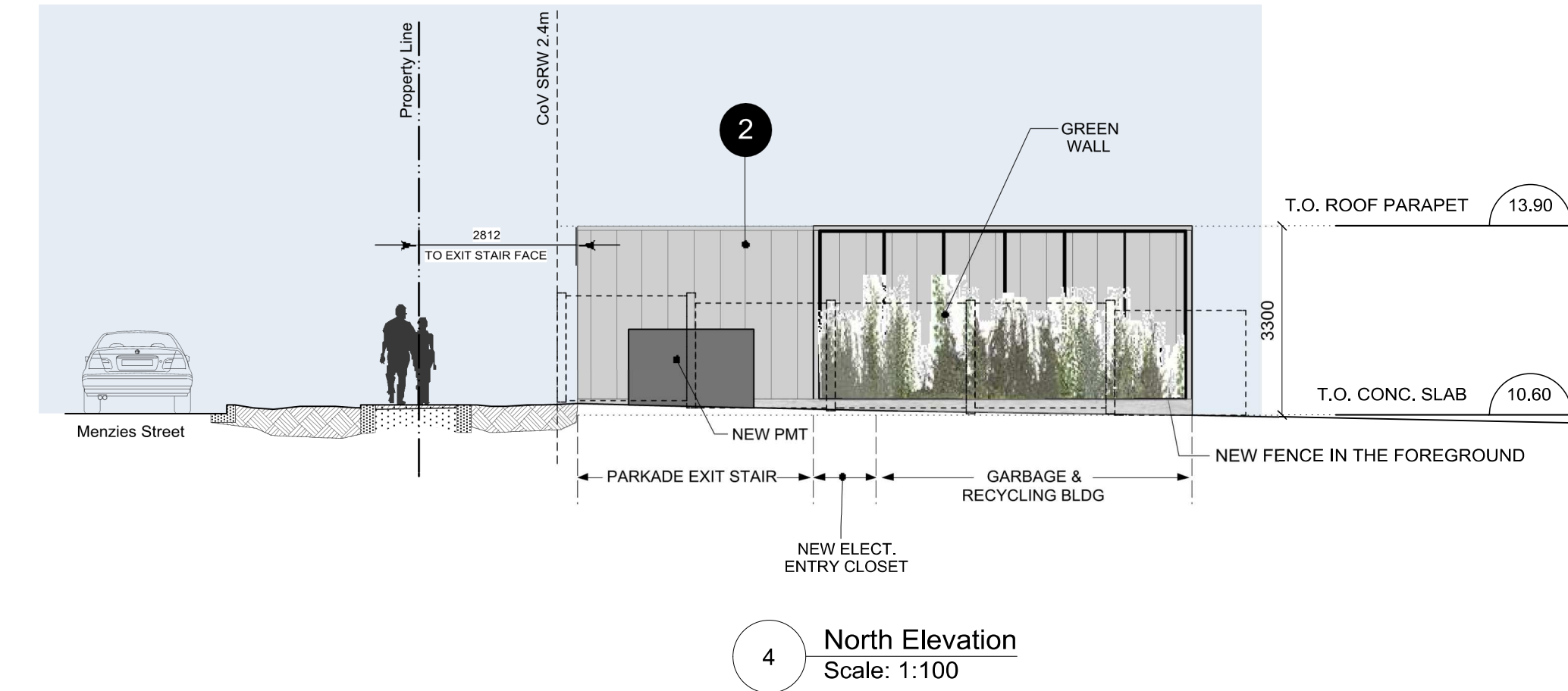
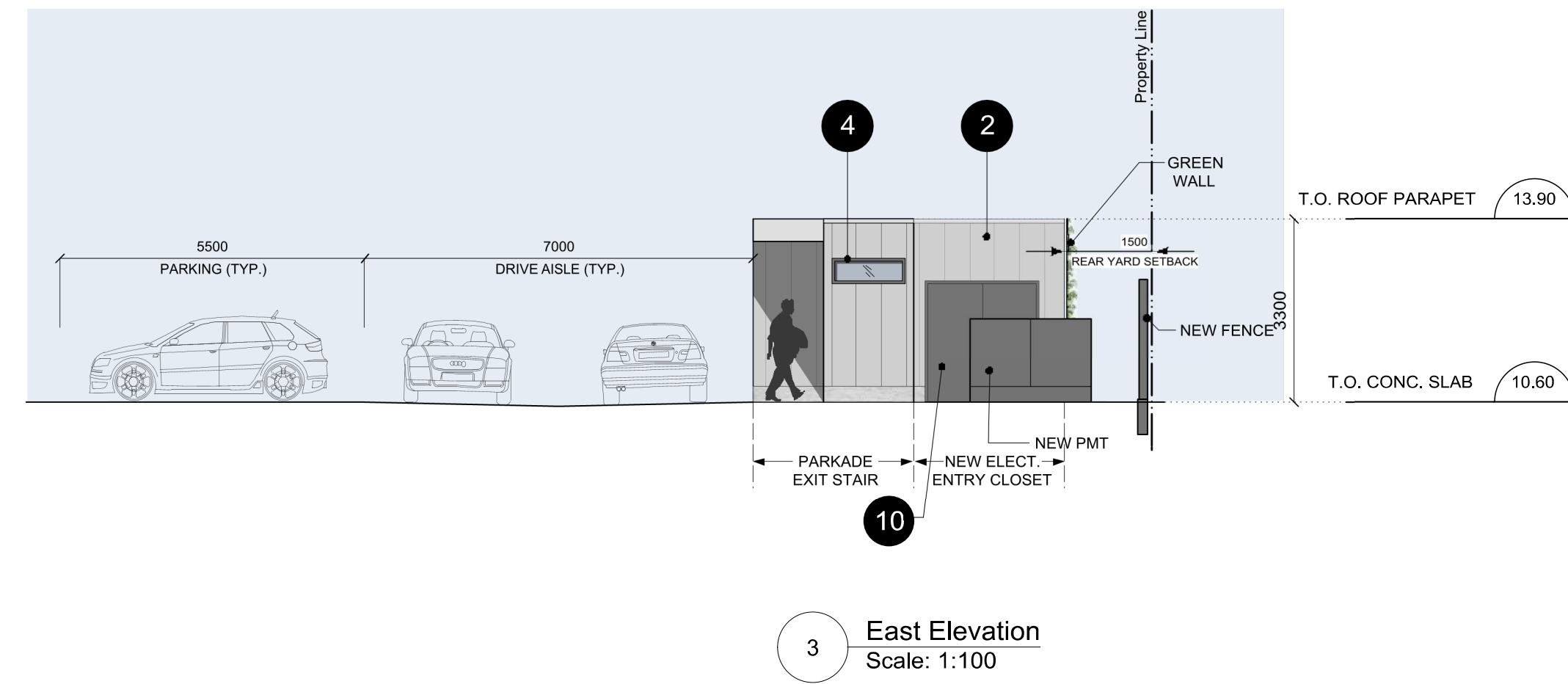
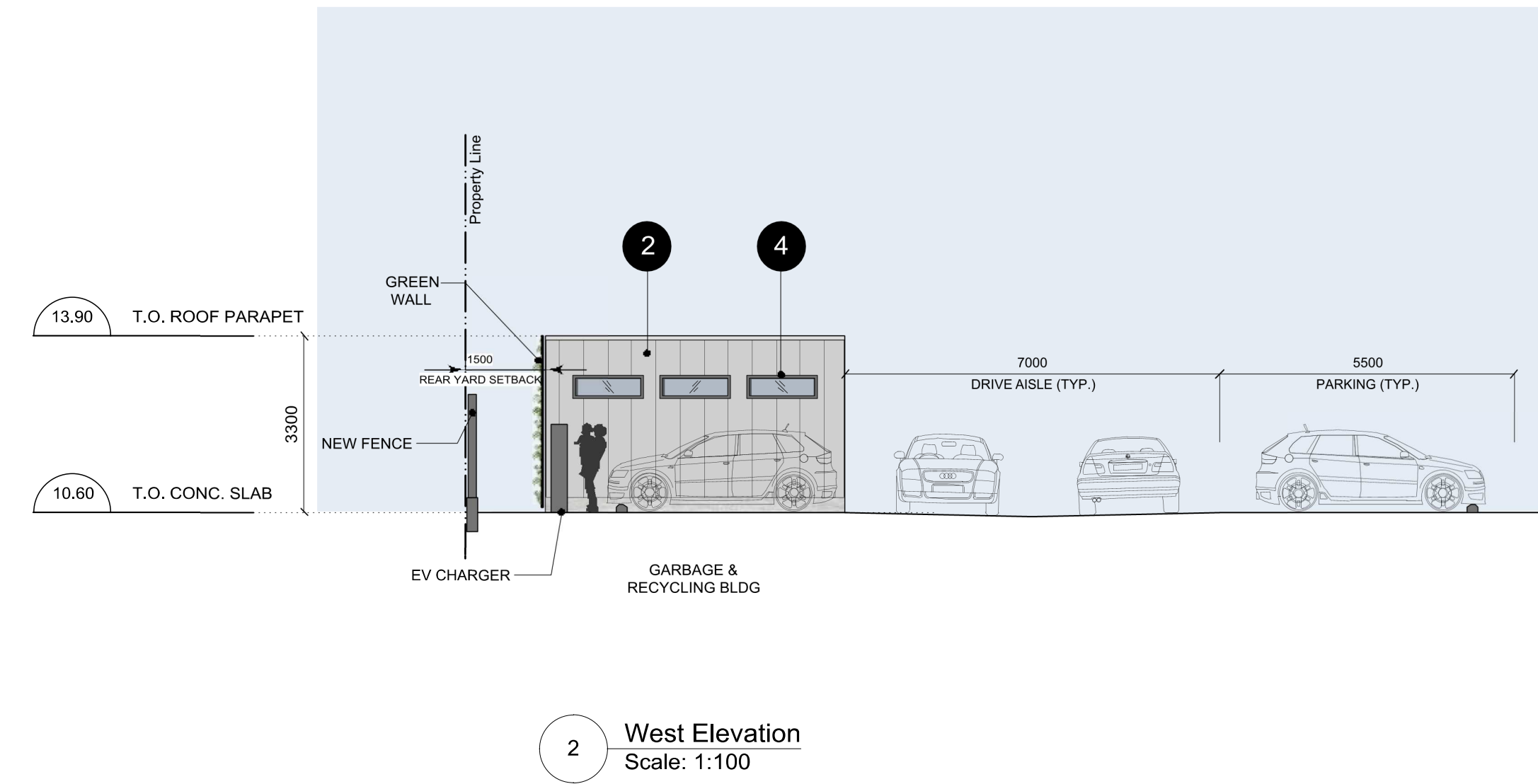
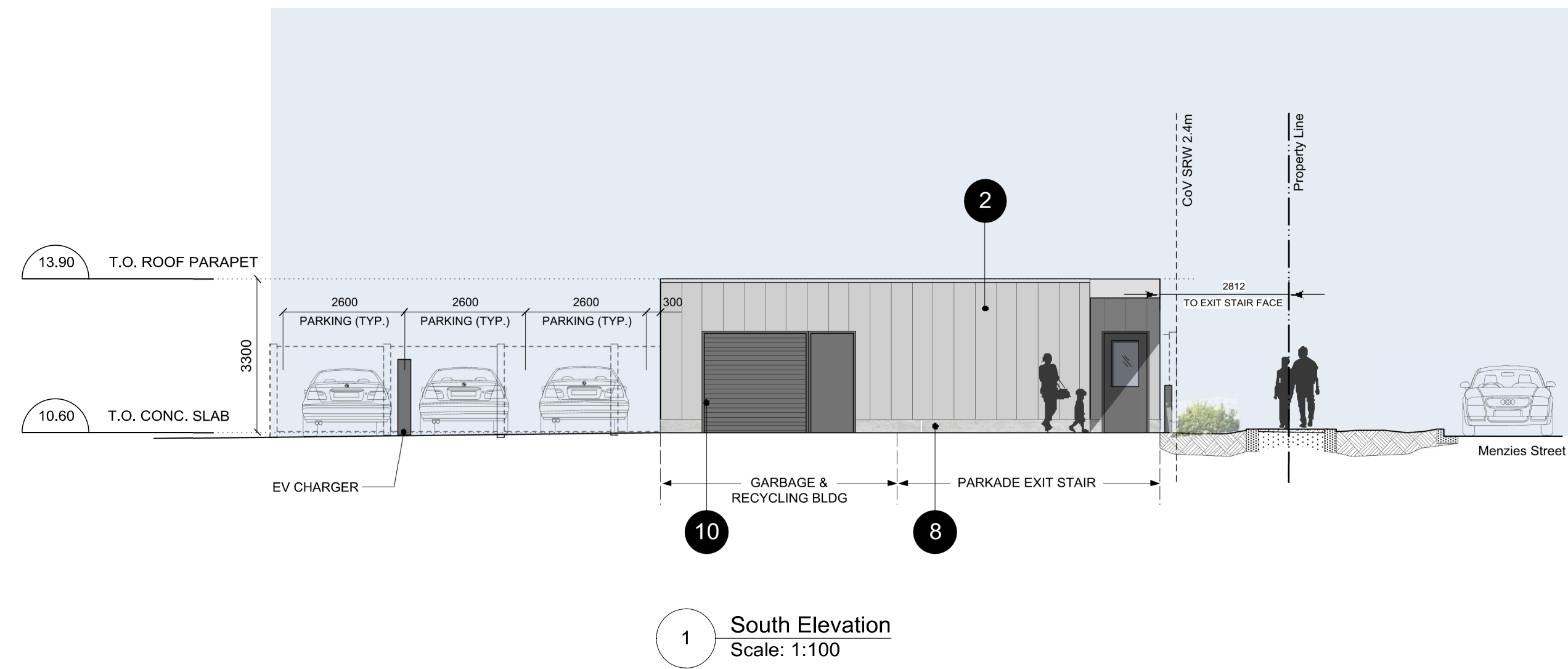
1 North Elevation
Scale: 1:100



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ELEVATION MATERIALS KEY:

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Colour: Gray washed cedar



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4	Issued for Rez. / DP Resub.	11/25/2021
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2	Issued for Rezoning / DP	06/29/2021
1	Issued for Comm. Consult.	06/22/2021

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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Elevations - Garbage + Recycling / Exit Stair Bldg

project no. 1934
drawing file DAU Drawing Standards
date issued May 20, 2021
scale As Noted
drawn by AC
checked by ES

revision no. sheet no.
5 **A3.6**



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1 Section 1-1
Scale: 1:100

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1	Issued for Comm. Consult.	06/22/2021

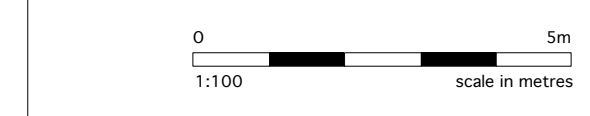
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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Sections

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
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revision no.	sheet no.



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project name
450 Dallas Road
Victoria, B.C.
Reliance Properties Ltd.

sheet title
Sections

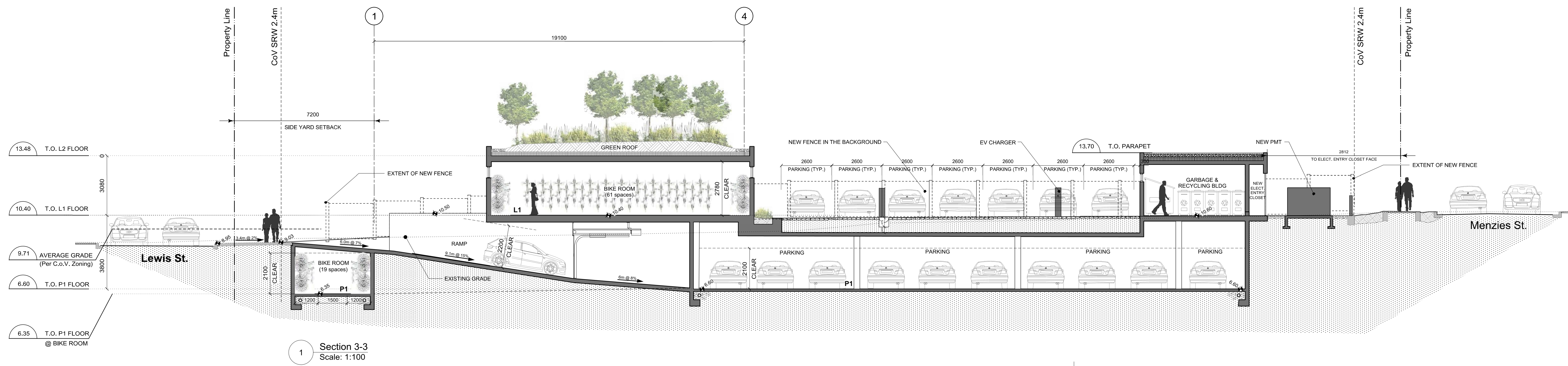
project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES
revision no.	sheet no.

6 **A4.2**

1 Section 2-2
Scale: 1:100



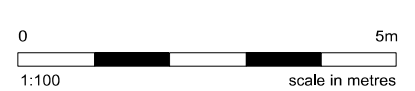
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1 Section 3-3
Scale: 1:100



1 Section 4-4
Scale: 1:100



rev no	description	date
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project name
450 Dallas Road
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Reliance Properties Ltd.

sheet title
Sections

project no. 1934
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checked by ES

revision no. sheet no.
5 **A4.3**



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1 View north looking across Dallas Road
NTS



3 View west looking along Dallas Road
NTS



2 View south looking along Lewis Street
NTS



4 View east looking along Dallas Road
NTS

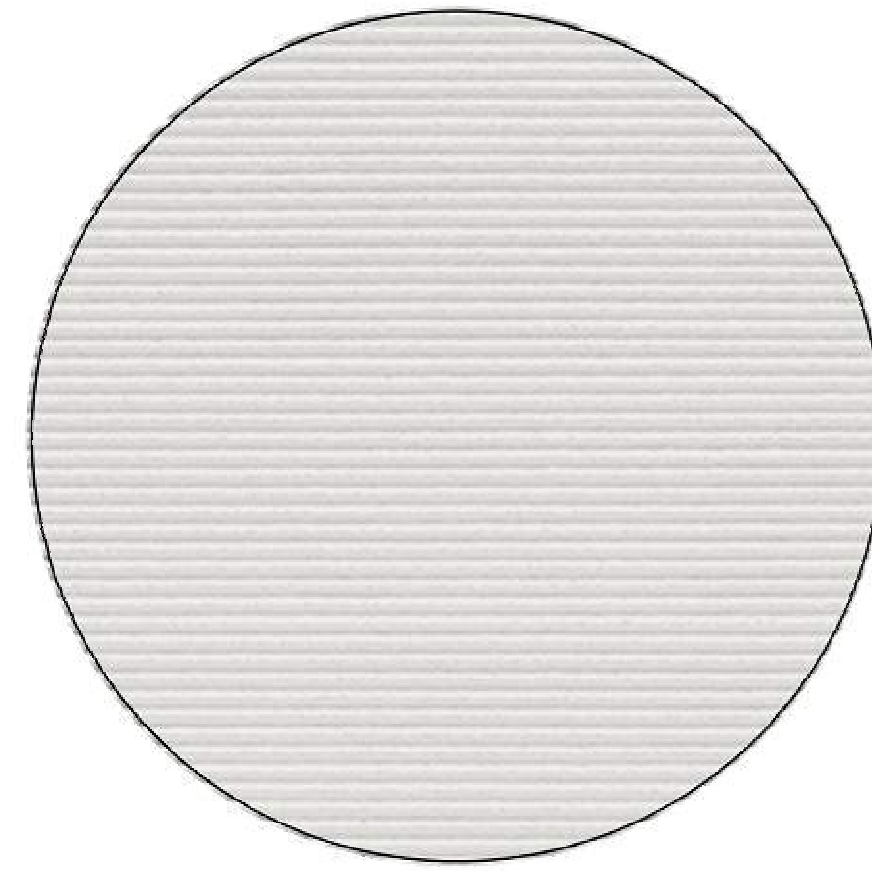
5	Issued for Rez. / DP Resub.	03/24/2022
4	Issued for Rez. / DP Resub.	11/25/2021
3	Issued for ADP	09/03/2021
2	Issued for Rezoning / DP	06/29/2021
1	Issued for Comm. Consult.	06/22/2021
rev no	description	date
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project name		
450 Dallas Road Victoria, B.C. Reliance Properties Ltd.		
sheet title		
Renderings		
project no.	1934	
drawing file	DAU Drawing Standards	
date issued	May 20, 2021	
scale	As Noted	
drawn by	AC	
checked by	ES	
revision no.	sheet no.	
5	A5.1	



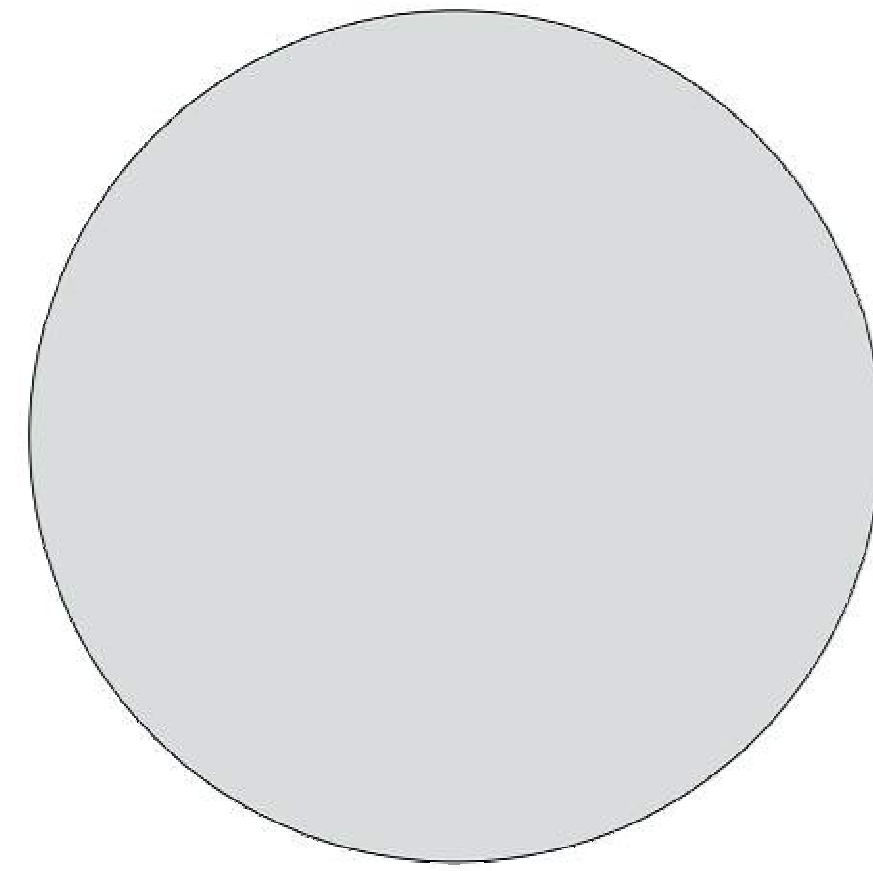
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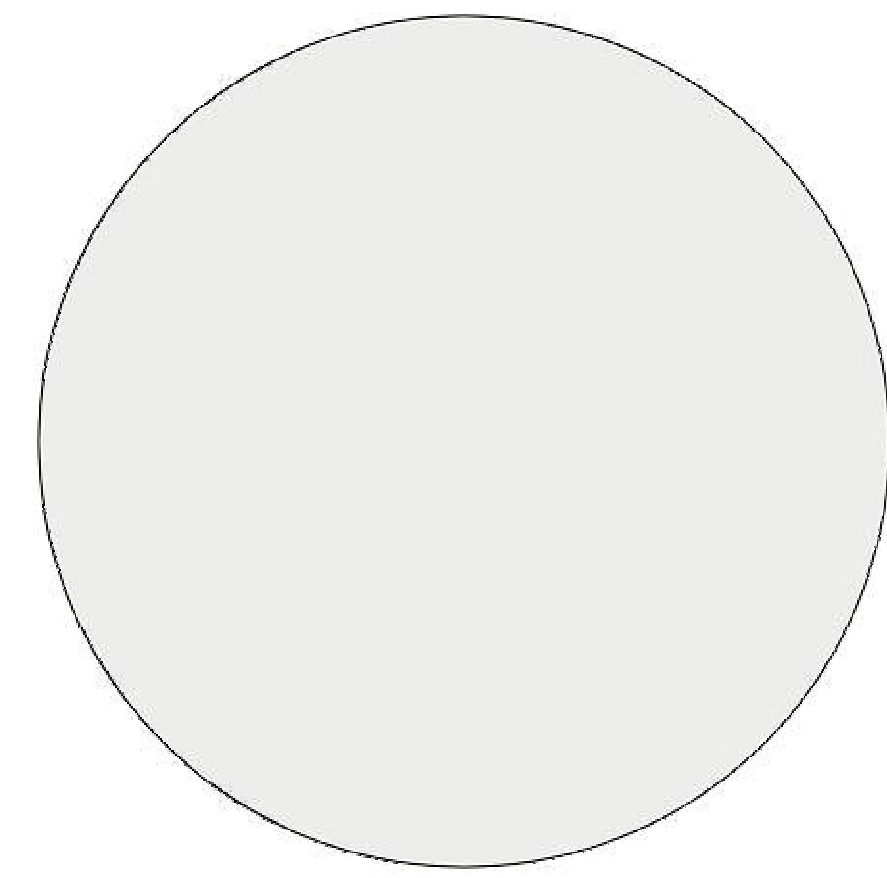
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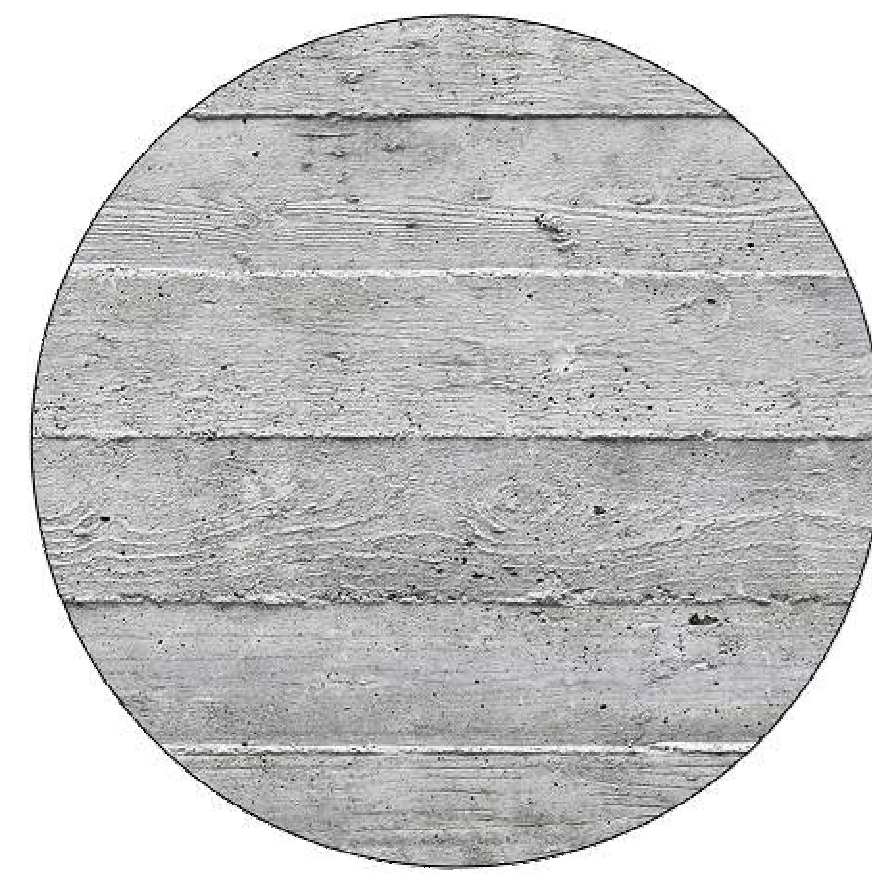
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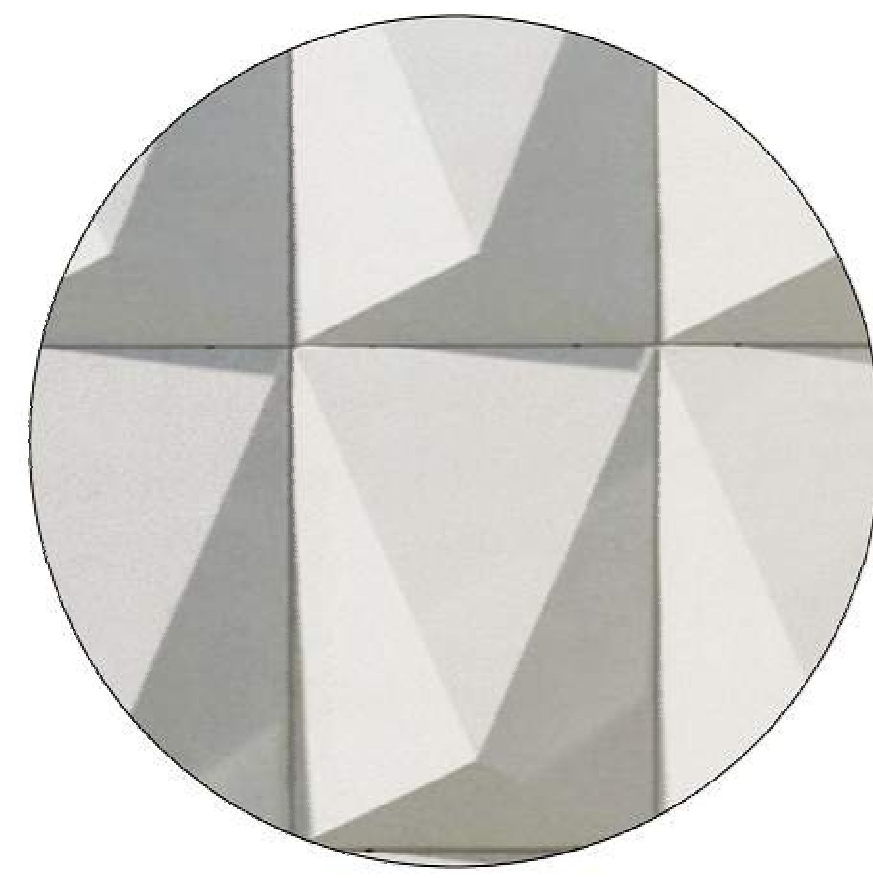
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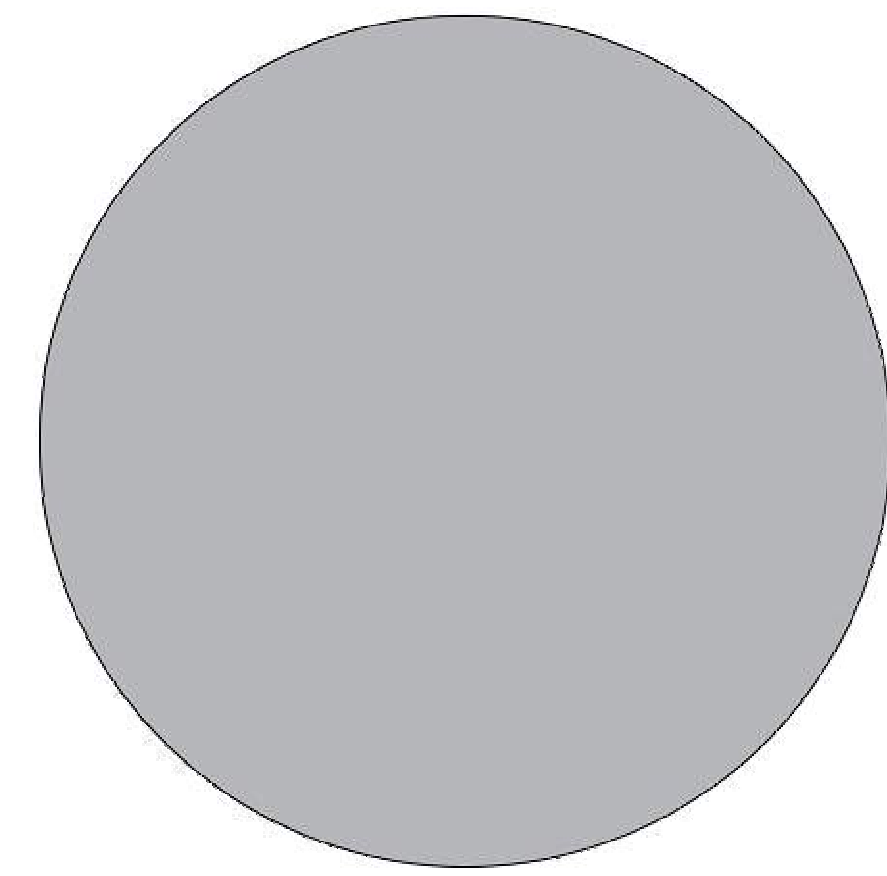
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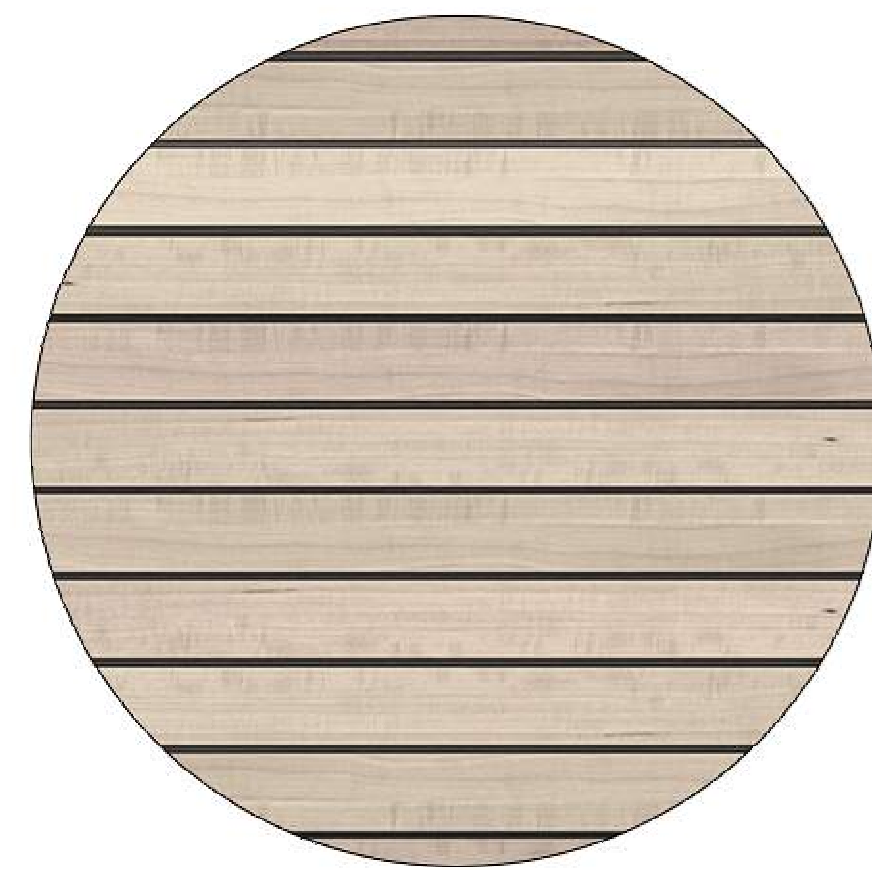
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10 13 14



15



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11

ELEVATION MATERIALS KEY:

- 1 Stack Bond Brick
Colour: Platinum; Texture: Mission
- 2 Ceraclad Ceramic Coated Vertical Panels
Profile: Zen Garden Colour: Light Gray
- 3 Prefinished Alucobond Panel
Colour: Champagne Metallic
- 4 Windows and Doors: Clear Glazing in Anodized Aluminum Frames
Colour: Sterling Gray
- 5 Glass Guards:
Aluminum Frames
Colour: Medium Gray
with clear laminated glazing
- 6 Prefinished Metal Fascia
Colour: Light Gray
- 7 Prefinished Steel Fascia
Colour: Light Gray
- 8 Architectural Concrete
- 9 Precast Fibre Cement Sculptural Panels
Colour: Concrete; Texture: Natural
- 10 Overhead Security Gate at Vehicle Ramp:
Prefinished Metal Screen
Colour: Medium Gray
- 11 Glazed Canopies: Diffuse White Laminated Glazing on Painted Steel Structure
Colour: Medium Gray
- 12 Parapet Flashings: Prefinished Metal
Colour: Sterling White
- 13 Hollow Metal Doors:
Colour: Medium Gray
- 14 Painted Metal Pergolas and gates
Colour: Medium Gray
- 15 Horizontal cedar slat fence
Colour: Gray washed cedar



3	Issued for Rez. / DP Resub.	03/24/2022
2	Issued for Rez. / DP Resub.	11/25/2021
1	Issued for ADP	09/03/2021

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project name
Reliance Properties
450 Dallas Road, Victoria, B.C.

sheet title
Exterior Finish & Colour Palette

project no.	1934
drawing file	DAU Drawing Standards
date issued	May 20, 2021
scale	As Noted
drawn by	AC
checked by	ES

revision no.	sheet no.
5	A6.1