

SYMBOL LEGEND				
NAME	SYMBOLS	NAME	SYMBOLS	
DRAWING TITLE	1 DRAWING TITLE Scale	DETAIL REFERENCE	1/A4.01	
SECTION MARKER	#/A#.## ELEVATION MARKER #/A#.##	GRID LINE		
INTERIOR ELEVATION	1 4 A# .# # 2 WINDOW SCHEDULE (# # .#)	PLAN ELEVATION MARKER	(##.###) ROOM NUMBER 00-000	
DETAIL REFERENCE	4 A# .# # 2 BOOR SCHEDULE ##.#	REVISION NUMBER	HEIGHT MARKER 375 TOC	
ELEVATION MARKER	+/- 0.00m ELEVATION	WALL TYPE	W0.0 W0.0 W0.0 F2 W0.0 F2	
NOTES		BUILDING GRADE	NEW GRADE         EXISTING GRADE           00.000         00.000           00.000 T.O.W.         00.000 T.O.W.	
NORTH ARROW		EGRESS	PRIMARY EXIT     # # m   EGRESS PATH EGRESS PATH	

ABBRE	ABBREVIATIONS				
APPRO		PL	PROPERTY LINE		
-	-				
B.G.	BUILDING GRADE	REQ'D	REQUIRED		
B.O.	BOTTOM OF	SS	STAINLESS STEEL		
DIA	DIAMETER	THRU	THROUGH		
DIM	DIMENSION	Т.О.	TOP OF		
DWG	DRAWING	T.O.P.	TOP OF PARAPET		
E.G	EXISTING GRADE	T.O.S.	TOP OF SLAB		
N.G.	NEW BUILDING GRADE	E T.O.W.	TOP OF WALL		
NIC	NOT IN CONTRACT	TYP	TYPICAL		
NIS	NOT IN SCOPE	VIF	VERIFY IN FIELD		
0.C.	ON CENTRE	W/	WITH		
ASL	ABOVE SEA LEVEL				

## **PROJECT INFORMATION**

**Civic Address** Legal Description Zone (Existing) Site Area (m²) Total Floor Area (m<sup>2</sup>) Commercial Floor Area (m<sup>2</sup>) Floor Space Ratio Site Coverage % Open Site Space % Number of Storeys Parking Stalls On Site **Bicycle Parking** 

Property Setbacks Property Line (West) Property Line (North) Property Line (East)

**Residential Use Details** 

## SHEET LIST

SHEET NO.	DRAWING TITLE	SCALE	ISSUE DATE	NOTES
0.00	COVER SHEET	NTS	FEB 25, 2022	DEVELOPMENT + REZONING PERMIT
0.01	EXISTING SURVEY	1:1000 @ ARCH D	FEB 25, 2022	DEVELOPMENT + REZONING PERMIT
0.02	CONTEXT PLANS	1:2000 @ ARCH D	FEB 25, 2022	DEVELOPMENT + REZONING PERMIT
1.00	ENLARGED SITE PLAN	1:200 @ ARCH D	FEB 25, 2022	DEVELOPMENT + REZONING PERMIT
1.01	LOWER DECK PLAN	1:64 @ ARCH D	FEB 25, 2022	DEVELOPMENT + REZONING PERMIT
1.02	UPPER DECK PLAN	1:64 @ ARCH D	FEB 25, 2022	DEVELOPMENT + REZONING PERMIT
2.01	ELEVATIONS	1:64 @ ARCH D	FEB 25, 2022	DEVELOPMENT + REZONING PERMIT
2.02	ELEVATIONS	1:64 @ ARCH D	FEB 25, 2022	DEVELOPMENT + REZONING PERMIT
3.01	CONTEXT SECTION	1:64 @ ARCH D	FEB 25, 2022	DEVELOPMENT + REZONING PERMIT
4.01	//RESERVED			
5.01	//RESERVED			
6.01	//RESERVED			
7.01	//RESERVED			

700 Government Street Victoria, BC V8W 1W5		
Lot A - Bed of Victoria Har	bour District Plan VIP 73552	
IHSS		
33400 m²	359514 sf	
464 m²	4994 sf	
464 m²	4994 sf	
N/A		
N/A		
N/A		
2 Storey Equivalent		
No On-Site Vehicle Parking Provided Per 2018 Zoning Bylaw		

Short Term Bike Parking (Outdoor Rack): 8

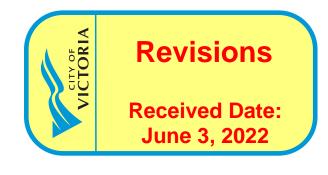
Long Term Bike Parking (Indoor Storage): 2

~33.59m	~110'-0"
~15.24m	~50'-0"
~22.86m	~75'-0"

N/A



HAVN Experiences Ltd. +1 250 818-1566 Nicholas Joel Van Buren, CEO nicholasjoelvanburen@gmail.com 845 Carrie Street Victoria, BC V9A 5R5



Proiect

## HARBOUR SAUNA

SHIP POINT, VICTORIA

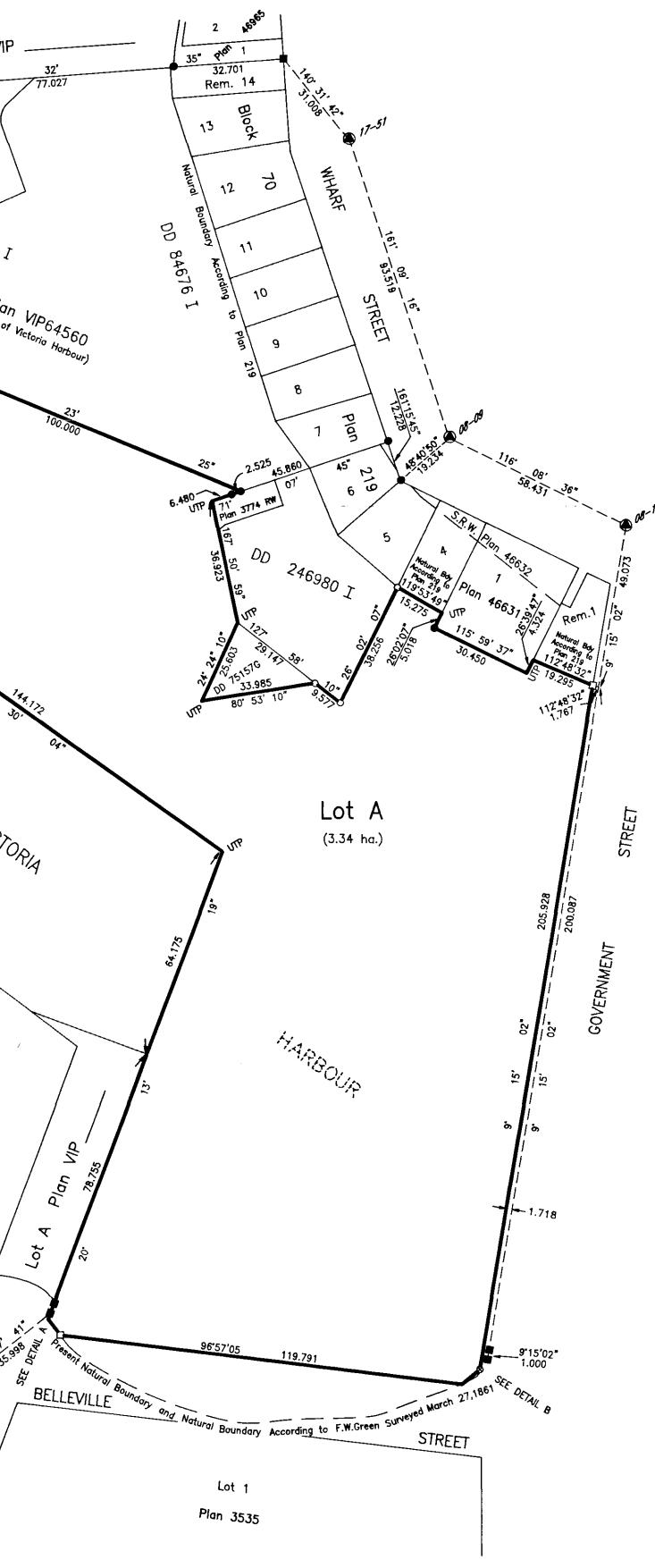
DRP	2022 / 02 / 25	DEVELOPMENT + REZONING PERMIT
No.	Date (YMD)	Notes

Sheet

0.00 COVER SHEET

Project ID	21-01
Scale	-
Drawn By	NJVB / AM
Date	25 February 2022
Notes	

Plan VIP \_\_\_\_\_ REFERENCE PLAN OF Lot 1 PART OF THE BED OF VICTORIA HARBOUR 38.398 VICTORIA DISTRICT B.C.G.S. 92 B.044. DD <sup>84676</sup> r SCALE: 1:1000 100 METRES st of the Bed of Victor. <sup>rlan</sup> VIP<sub>64560</sub> Distances are in metres. Integrated Survey Area #17, City of Victoria, NAD83(CSRS) Grid Bearings are derived from observations between Control Monuments 08—24 & 08—25 This Plan Shows Ground Level Measured Distances, Prior to Computation of U.T.M. Co—ordinates Multiply by Combined Factor 0.9996105. <u>Legend</u> Denotes Standard Iron Post (Type 5) Found
 Denotes Standard Iron Post (Type 5) Placed Denotes Control Monument Found Denotes Control Monument Found
 Denotes Lead Plug (Type 3) Found
 Denotes Lead Plug (Type 3) Placed
 Denotes Parker Kalon Nail Placed
 UTP Denotes Unable To Place VICTORIA \$ PLAN 32311 BELLEVILLE 20 Plan Y tot 240,457 STREET \*~ 51 - 55 4 PLAN VIP \_73552 Ŀ; Deposited in the Land Title Office at Victoria,B.C. ĒS this 11 day of APRIL ,2002 MENZI Morantion Registrar Her Majesty The Queen in Right of Canada as represented by the Minister of Transport E1385 Rhodes Authorized Signatory Jone frost This Plan lies within the Capital Regional District. Witness TC Coordinator Occupation John Motherwell & Associates, B.C. Land Surveyors, Victoria, B.C. #600- 800 Burrand Vonconver File: D6 – 14 Address



I, John L. Motherwell, a British Columbia Land Surveyor, of Victoria, in British Columbia, certify that I was present at and personally superintended the survey represented by this plan and that the survey and plan are correct. The survey was completed on the 4th day of June, 2000.

Jan L. Horehill. B.C.L.S.



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## HARBOUR SAUNA

SHIP POINT, VICTORIA

Issue / Revision		
No.	Date (YMD)	Notes
DRP	2022 / 02 / 25	DEVELOPMENT + REZONING PERMIT

Sheet

0.01

EXISTING SURVEY

Project ID	21-01
Scale	1:1000
Drawn By	NJVB / AM
Date	25 February 2022
Notes	Reference only. Reformatted for document size. Original drawing scale preserved.



VICMAP CONTEXT PLAN - AERIAL 

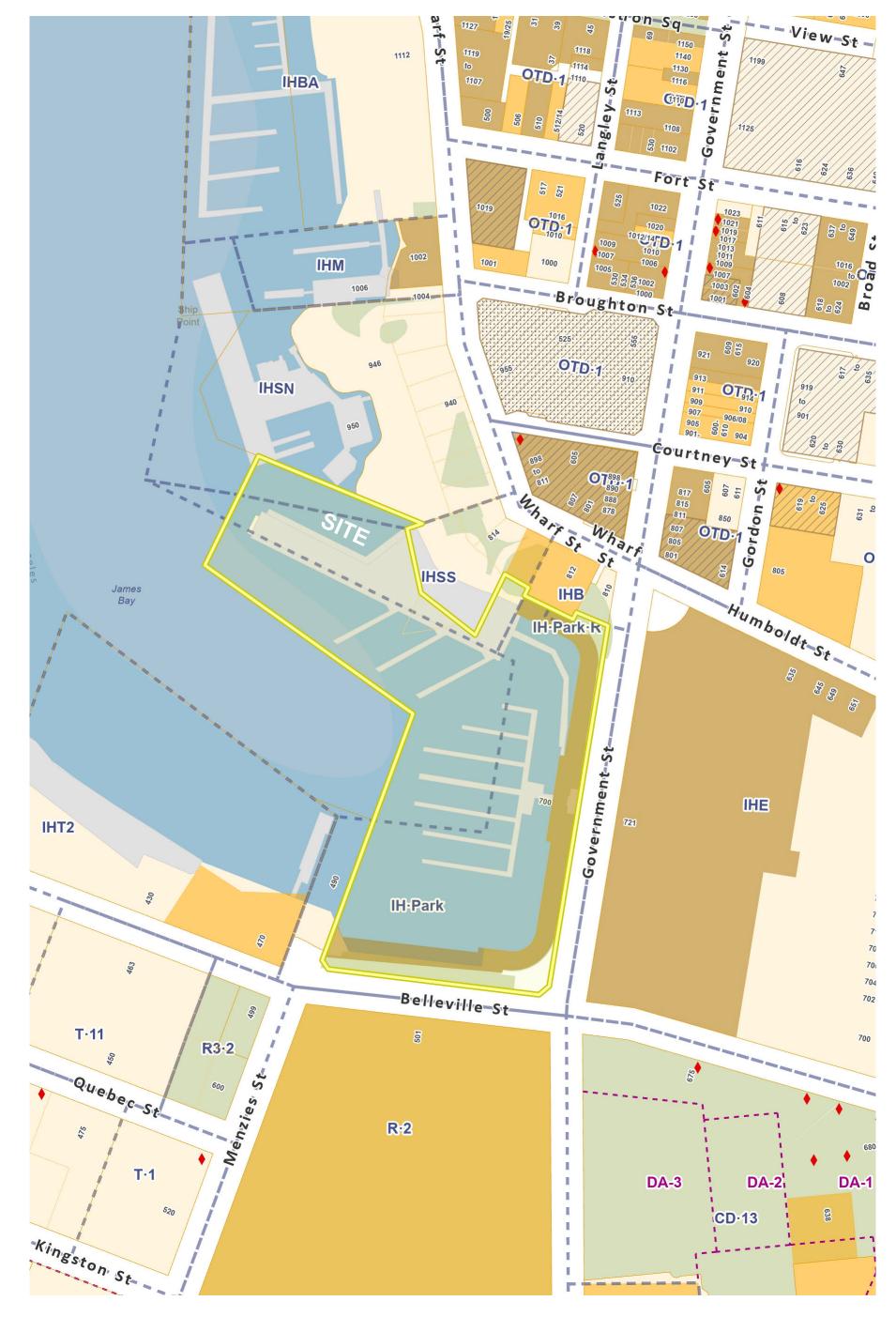




— Land

— Parks

2 VICMAP CONTEXT PLAN - PARCEL / EASEMENT OVERLAY 1:2000



3 VICMAP CONTEXT PLAN - ZONING OVERLAY 1:2000

— Land		_	EngineeringAndPublicWorks	
	City Boundary			Block Numbers
	Parcels (PID based)		ස	Surveyed Trees
_	City Owned Parcels			Fences and Retaining Walls (PW)
	CoreService			
	NonCoreService	_	Trans	sportation
	Remnant		-	Footpaths
	School	_	Stree	ts and Parcels Basemap
	Other			Ferries
	Buildings			Water
_	Parks			Parks and Open Space
	Parks and Open Space			Blocks

_	Zon	ing Boundary
		Special Polygons
	117	Zoning Polygons
		Comprehensive Development Area Boundary
		Land Use Contract
_	Heri	itage Properties
		Designated
		Registered



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## HARBOUR SAUNA

SHIP POINT, VICTORIA

Issue / Revision		
No.	Date (YMD)	Notes
DRP	2022 / 02 / 25	DEVELOPMENT + REZONING PERMIT

Sheet -----

0.02

CONTEXT PLANS

Project ID	21-01
Scale	1:2000
Drawn By	NJVB / AM
Date	25 February 2022
Notes	Reference only. Reformatted for document size. Original drawing scale preserved.

	S 15 15 15 15 15 15 15 15 15 15 15 15 15	HIPPOIN
¥	6.50 m	PIER
1.45 m		220'-10" 1673131
2		
	1.30 m	

WEST PL SETBACK: ~110.0"

41'-1" [12523]

9:4" 28351

GVHA DOCK

## **PROJECT INFORMATION**

Civic Address	700 Government Street Victoria, BC V8W 1W5	
Legal Description	Lot A - Bed of Victoria Harbour District Plan VIP 73552	
Zone (Existing)	IHSS	
Site Area (m²)	33400 m²	359514 sf
Total Floor Area (m²)	464 m²	4994 sf
Commercial Floor Area (m <sup>2</sup> )	464 m²	4994 sf
Floor Space Ratio	N/A	
Site Coverage %	N/A	
Open Site Space %	N/A	
Number of Storeys	2 Storey Equivalent	
Parking Stalls On Site	No On-Site Vehicle Park	king Provided Per 2018 Zoning Bylaw
Bicycle Parking	Short Term Bike Parking	g (Outdoor Rack): 8
	Long Term Bike Parking	(Indoor Storage): 2

Property Setbacks		
Property Line (West)	~33.59m	~110'-0"
Property Line (North)	~15.24m	~50'-0"
Property Line (East)	~22.86m	~75'-0"

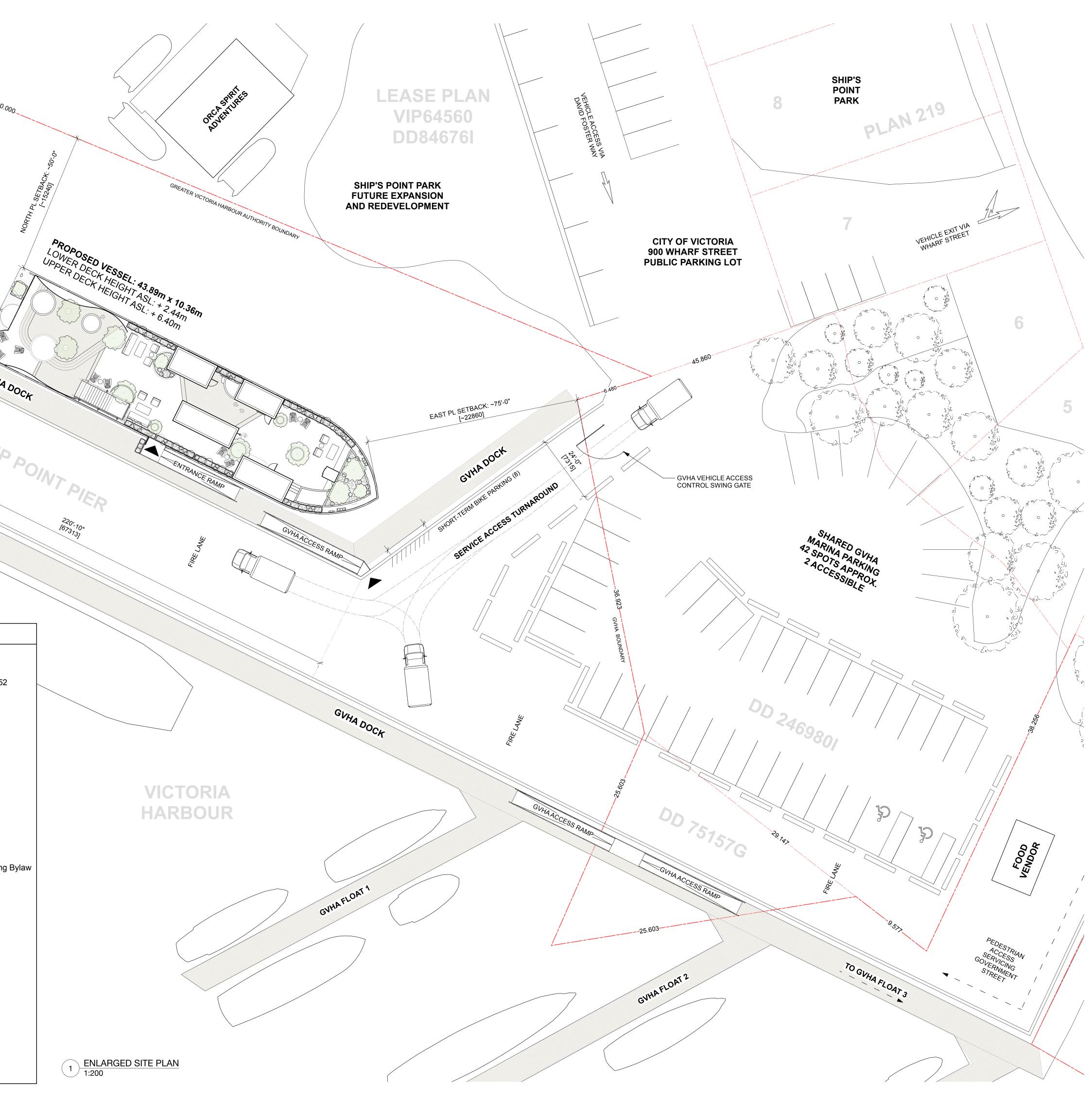
**Residential Use Details** 

N/A



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## HARBOUR SAUNA

SHIP POINT, VICTORIA

Issue / Revision			
No.	Date (YMD)	Notes	
DRP	2022 / 02 / 25	DEVELOPMENT + REZONING PERMIT	

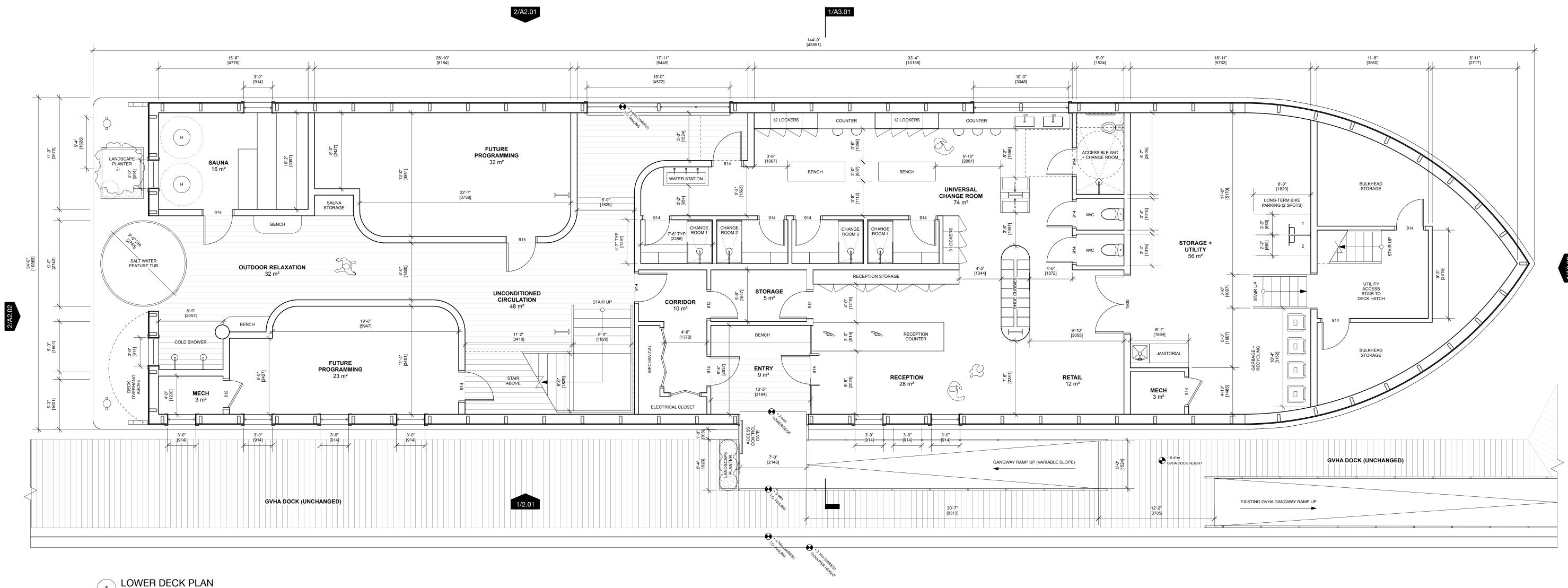
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# 1.00

ENLARGED SITE PLAN

Project ID	21-01
Scale	1:200
Drawn By	NJVB / AM
Date	25 February 2022
Notes	

 $\square$ 



1 LOWER DECK PLAN 1:64



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Project

## HARBOUR SAUNA

SHIP POINT, VICTORIA

Issue / Revision

DRP	2022 / 02 / 25	DEVELOPMENT + REZONING PERMIT
No.	Date (YMD)	Notes

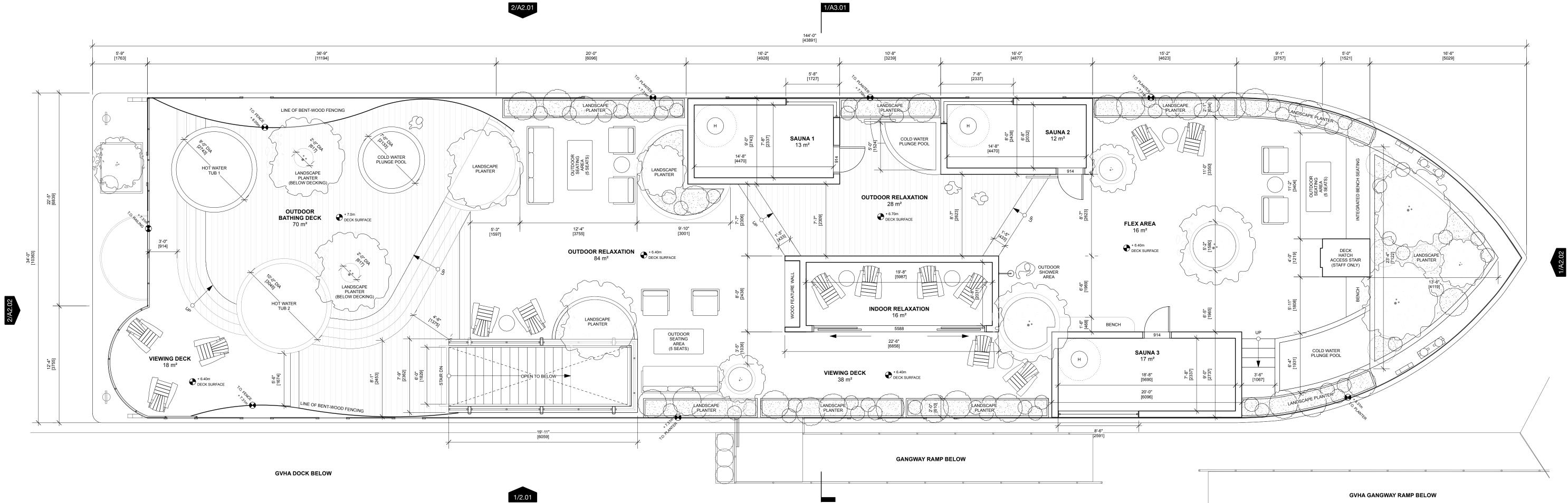
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1.01

LOWER DECK PLAN

Project ID	21-01
Scale	1:64
Drawn By	NJVB / AM
Date	25 February 2022
Notes	

Y



1 UPPER DECK PLAN 1:64



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#### Project

## HARBOUR SAUNA

SHIP POINT, VICTORIA

Issue / Revision			
No.	Date (YMD)	Notes	

DRP 2022 / 02 / 25 DEVELOPMENT + REZONING PERMIT

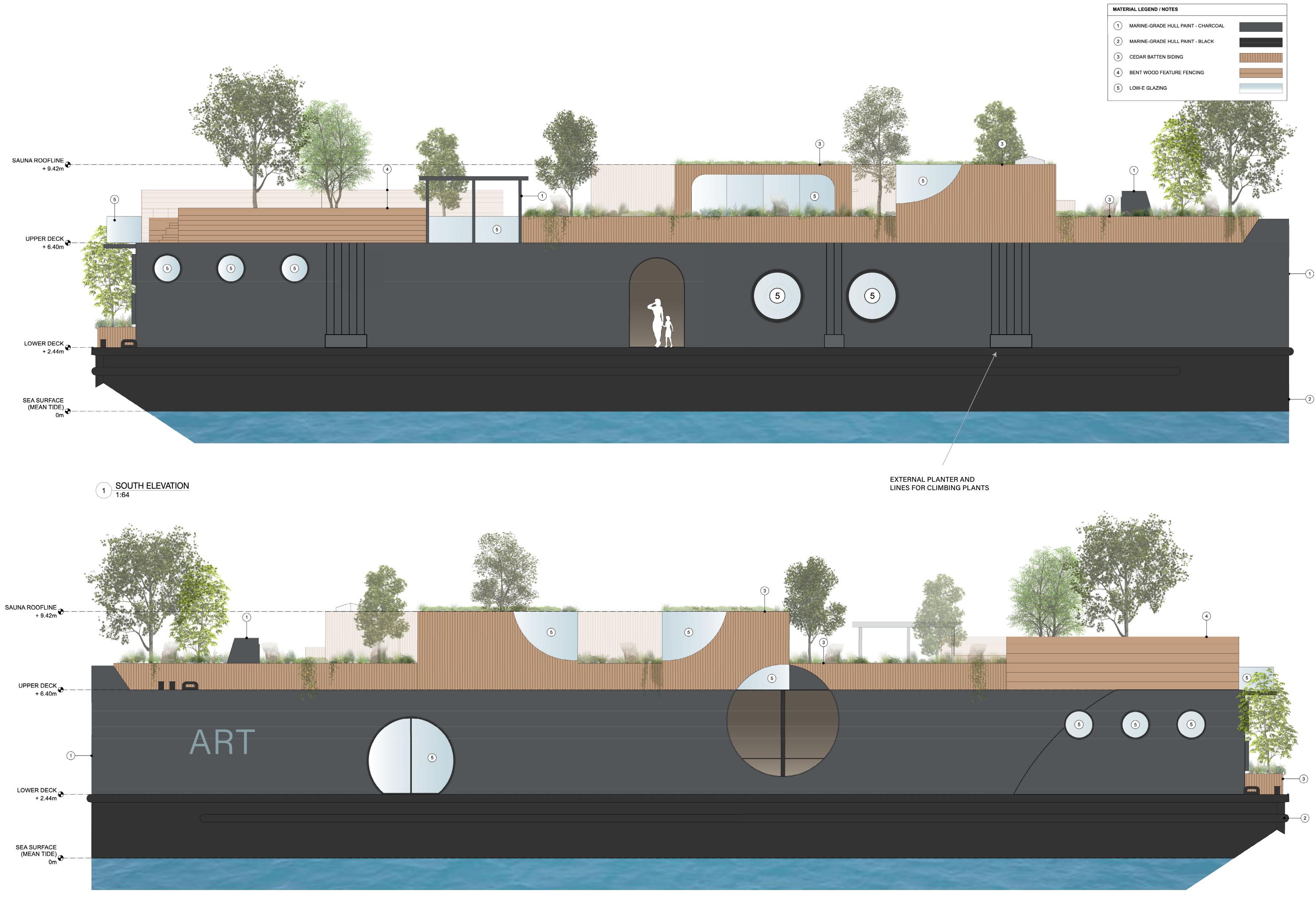
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1.02

UPPER DECK PLAN

Project ID	21-01
Scale	1:64
Drawn By	NJVB / AM
Date	25 February 2022
Notes	









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Project

## HARBOUR SAUNA

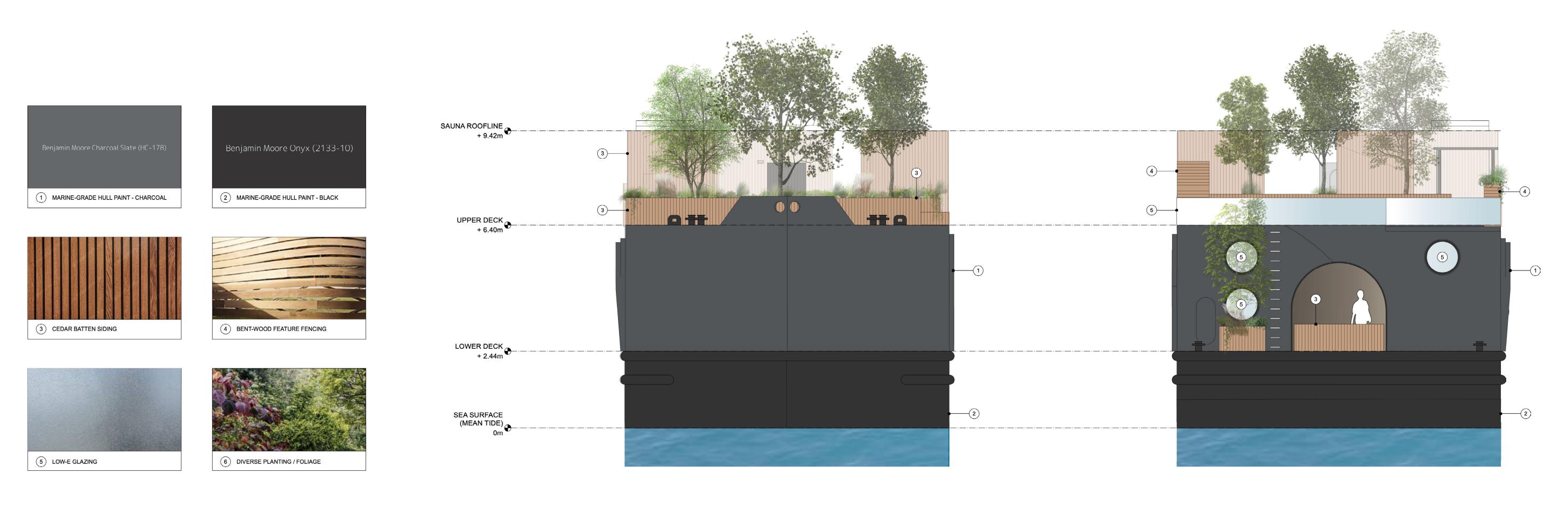
SHIP POINT, VICTORIA

Issue / Revision						
No.	Date (YMD)	Notes				
DRP	2022 / 02 / 25	DEVELOPMENT + REZONING PERMIT				

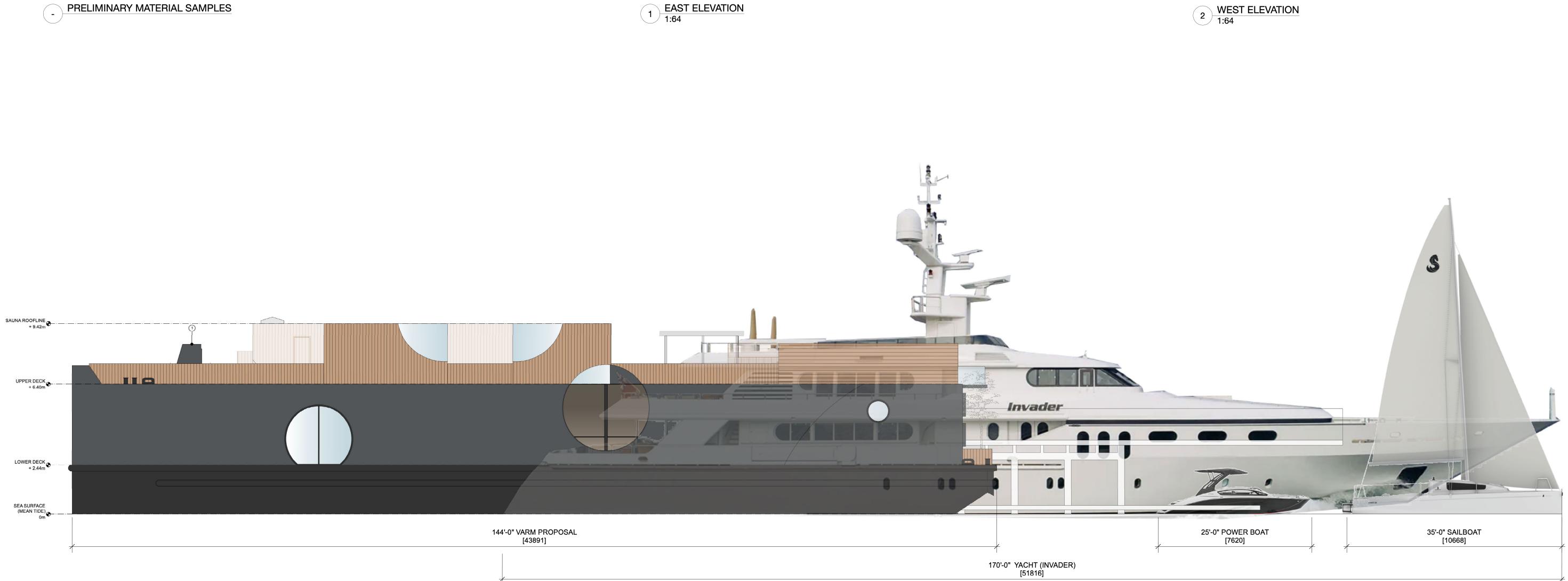
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2.01 ELEVATIONS

Project ID	21-01
Scale	1:64
Drawn By	NJVB / AM
Date	25 February 2022
Notes	













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## HARBOUR SAUNA

SHIP POINT, VICTORIA

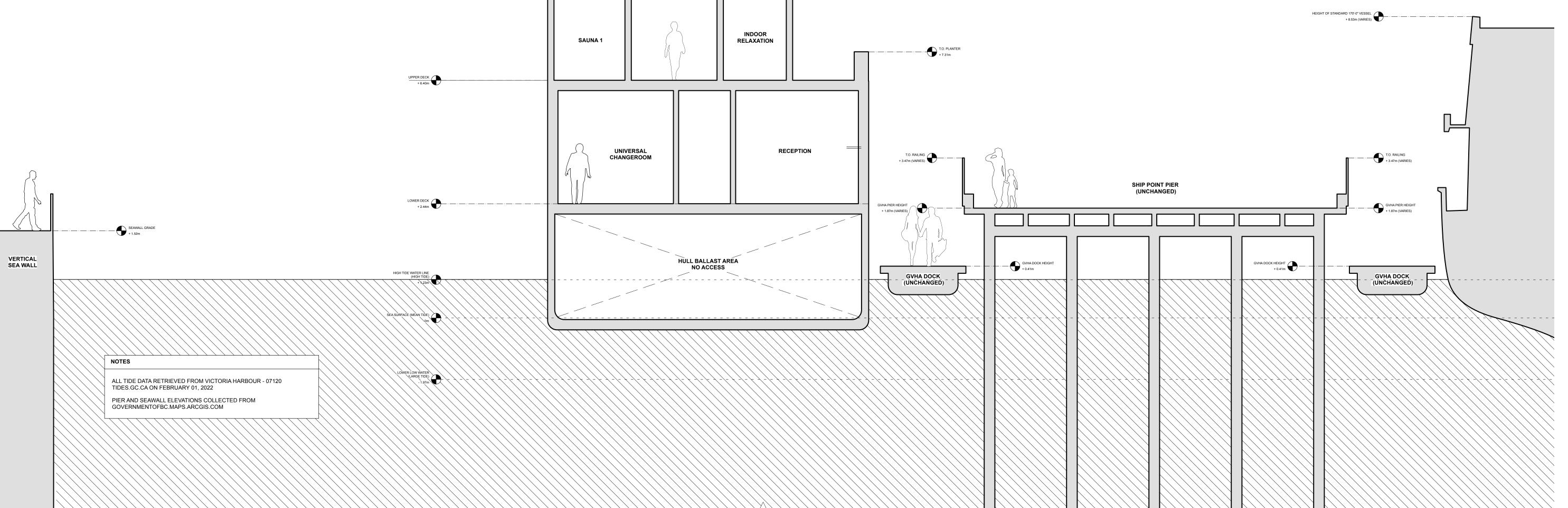
Issue / Revision						
No.	Date (YMD)	Notes				
DRP	2022 / 02 / 25	DEVELOPMENT + REZONING PERMIT				

Sheet

2.02

ELEVATIONS

Project ID	21-01
Scale	3/16" = 1'-0"
Drawn By	NJVB / AM
Date	25 February 2022
Notes	







SAUNA ROOFLINE + 9.42m

\_\_\_\_\_



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Project

## HARBOUR SAUNA

SHIP POINT, VICTORIA

Issue / Revision

No. DRP	Date (YMD) 2022 / 02 / 25	Notes DEVELOPMENT +
DIVE	2022 / 02 / 23	REZONING PERMIT

Sheet

3.01

CONTEXT SECTION

Project ID	21-01
Scale	1:100
Drawn By	NJVB / AM
Date	25 February 2022
Notes	

### GENERAL NOTES:

1. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR TO CONFIRM UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

- 2. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH SPECIFICATIONS, AND THESE DRAWINGS; WHICHEVER IS MOST STRINGENT.
- 3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF AS-CONSTRUCTED RECORDS, WHICH ARE TO BE HANDED OVER TO ENGINEER UPON COMPLETION OF CONSTRUCTION.
- CAREFULLY RELOCATE EXISTING LANDSCAPE FEATURES, TRAFFIC SIGNS AND SITE 5. FEATURES TO ACCOMMODATE CONSTRUCTION WORK. ALL EXISTING WORKS AFFECTED BY CONSTRUCTION TO BE RETURNED TO AS FOUND OR BETTER CONDITION.
- 6. DISPOSE OF ALL EXCAVATED MATERIAL UNSUITABLE FOR REUSE AT A SUITABLE OFF-SITE DISPOSAL AREA, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
- 7. PROVIDE CLEAN SAWCUTS IN ASPHALT AND CONCRETE AT DEMOLITION LINES. 8. ANY CHANCE FIND OF ARCHEOLOGICAL MATERIAL SHALL RESULT IN AN IMMEDIATE WORK STOPPAGE TO ALLOW FOR FURTHER ANALYSIS. STOP ALL ACTIVITY AND IMMEDIATELY NOTIFY CONTRACT ADMINISTRATOR IF ANY ARCHEOLOGICAL MATERIAL IS ENCOUNTERED.
- 9. ALL FITTINGS TO BE COMPATIBLE WITH PIPE MATERIAL AND PRESSURE CLASS. 10. ALL CONSTRUCTION AND MATERIAL TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS, MASTER MUNICIPAL CONSTRUCTION DOCUMENT (MMCD) PLATINUM EDITION AND THESE DRAWINGS.

#### GEOTECHNICAL TESTING FOR SITE WORKS:

THE CONTRACTOR WILL BE REQUIRED TO RETAIN AND PAY FOR THE SERVICES OF A QUALIFIED INDEPENDENT GEOTECHNICAL TESTING AGENCY UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER, AND PAY THE COST OF TESTING SERVICES FOR QUALITY CONTROL INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

- 1. SIEVE ANALYSIS AND PROCTOR TEST FOR ALL IMPORT GRANULA MATERIALS. MINIMUM 2 TESTS PER MATERIAL PROPOSED.
- 2. REVIEW AND APPROVAL OF SUB-BASE AND SUBGRADE. FREQUENCY TO MATCH FIELD DENSITY TESTING.
- 3. FIELD DENSITY TESTS TO BE PERFORMED FOR BEDDING, BACKFILL, GRANULAR SUB-BASE AND GRANULAR BASE AT A FREQUENCY OF 3 TESTS FOR EACH LIFT EVERY 300m, FOR EACH WATERMAIN, INCLUDING TESTS OF THE BEDDING AT SPRINGLINE OF PIPE EVERY 300m. BACKFILL MATERIAL TO BE A MINIMUM OF 95% MPD.
- 4. REVIEW OF SUBGRADE FOR PAVED HARDSCAPED AREAS.

THE CONTRACTOR IS TO COORDINATE DIRECTLY WITH THE GEOTECHNICAL ENGINEER AND PROVIDE ALL SUPPORTING DOCUMENTATION TO DEPARTMENTAL REPRESENTATIVE FOR REVIEW AND ACCEPTANCE.

#### SANITARY/DRAIN/WATER NOTES:

1. MAINTAIN A CONSISTENT RISING GRADE NO LESS THAN 2%.

#### SEDIMENT AND EROSION CONTROL NOTES:

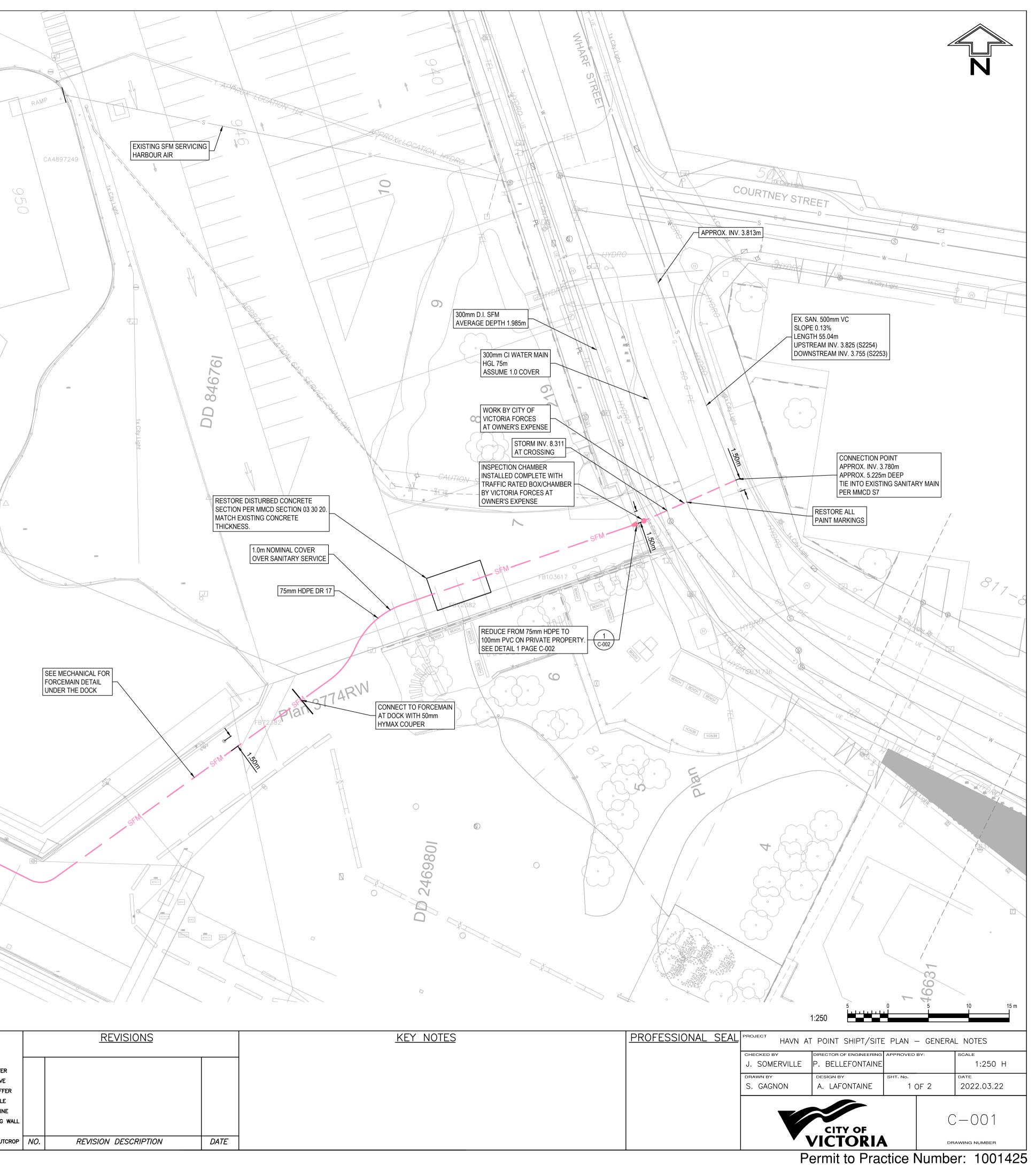
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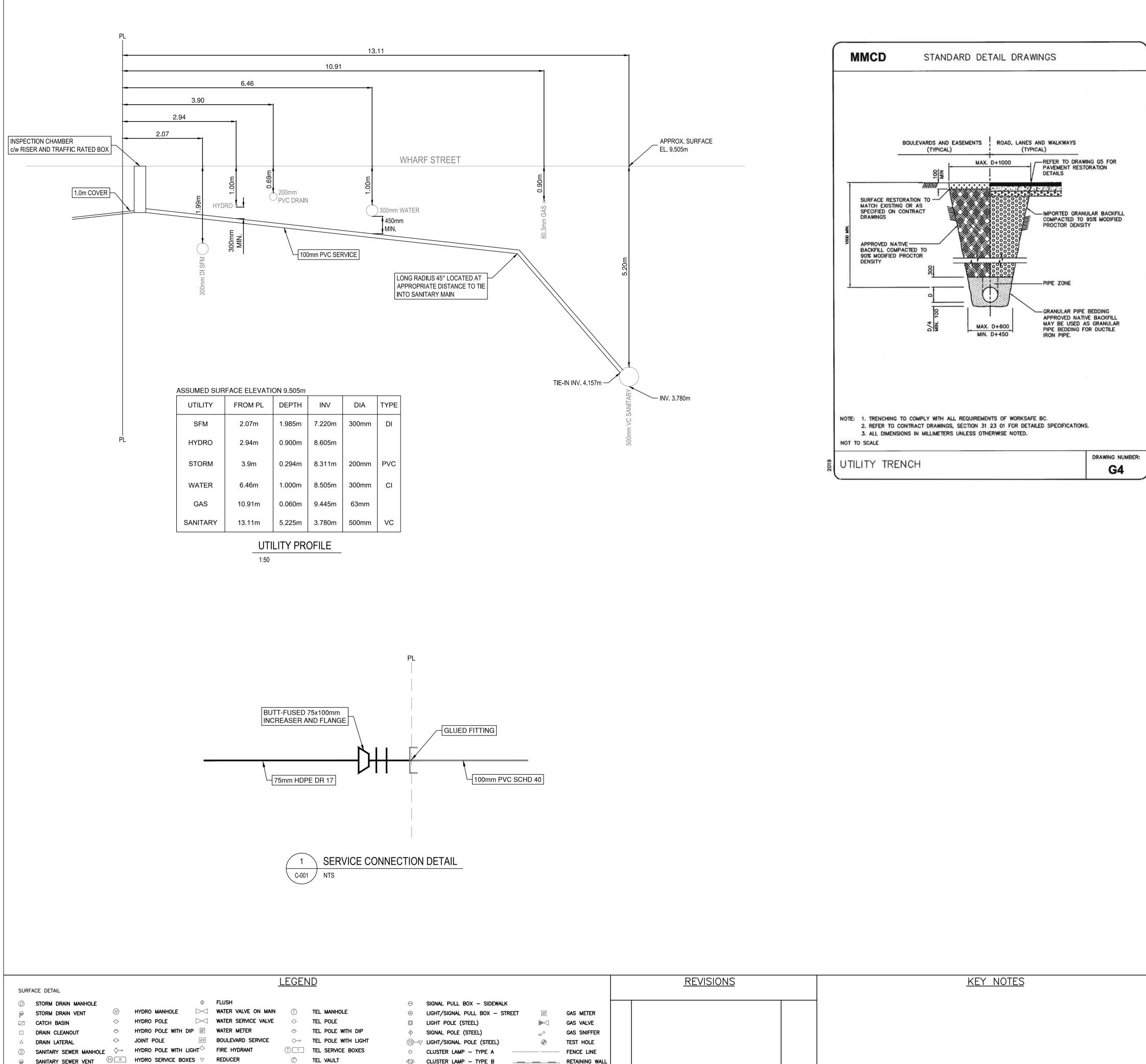
- 1. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN A SEDIMENT AND EROSION CONTROL SYSTEM IN THE DEVELOPMENT IN ORDER TO PREVENT SILT DISCHARGES TO WATERCOURSES.
- 2. ALL WORKS ARE TO BE MAINTAINED AND INSPECTED ON A REGULAR BASIS TO ENSURE CONTINUED PERFORMANCE.
- 3. ALL EXPOSED MATERIAL STOCKPILES AND SLOPES ARE TO BE COVERED WITH POLYETHYLENE SHEETING, SECURED IN PLACE WITH APPROPRIATE WEIGHTS WHEN EXPOSED TO RAINFALL AND RUNOFF.
- 4. MAXIMUM RUNOFF TURBIDITY AS DETERMINED BY GRAB SAMPLE SHOULD NOT EXCEED BC WATER QUALITY GUIDELINES
- 5. MAXIMUM TOTAL OIL AND GREASE AS DETERMINED BY GRAB SAMPLE: 15 MG/L
- 6. IF THE REQUIRED STORMWATER QUALITY LIMITS CANNOT BE ACHIEVED, ADDITIONAL TREATMENT FACILITIES SUCH AS SETTLING PONDS/TANKS, FLOCCULATION SYSTEMS, DEWATERING BAGS, ETC.,

#### UTILITY NOTES:

- 1. CONTACT BC-1 (1-800-474-6886), BC HYDRO, SHAW CABLE, AND FORTIS BC FOR UNDERGROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
- 2. MINIMUM 300mm SEPARATION FROM ELECTRICAL CONDUIT ENCOUNTERED. 3. MAINTAIN VEHICLE ACCESS TO PARKING LOT DURING CONSTRUCTION.

LEGEND		REVISIONS	KEY NOTES	PRO
SURFACE DETAIL				
⑦ STORM DRAIN MANHOLE ◎ FLUSH ⊖ SIGNAL PULL BOX - SIDEWAL	ĸ			
STORM DRAIN VENT 🛞 HYDRO MANHOLE 🖂 WATER VALVE ON MAIN 🕜 TEL MANHOLE 😔 LIGHT/SIGNAL PULL BOX - S	GAS METER			
CATCH BASIN ··· HYDRO POLE ··· WATER SERVICE VALVE ··· TEL POLE ··· LIGHT POLE (STEEL)	GAS VALVE			
DRAIN CLEANOUT 🗠 HYDRO POLE WITH DIP 🕅 WATER METER 🗠 TEL POLE WITH DIP 🗄 SIGNAL POLE (STEEL)	ATT O GAS SNIFFER			
△ DRAIN LATERAL <sup>©</sup> JOINT POLE <sup>™</sup> BOULEVARD SERVICE <sup>©</sup> TEL POLE WITH LIGHT <sup>™</sup> LIGHT/SIGNAL POLE (STEEL)	TEST HOLE			
S SANITARY SEWER MANHOLE 🖓 HYDRO POLE WITH LIGHT <sup>O-</sup> FIRE HYDRANT 🕧 T TEL SERVICE BOXES O CLUSTER LAMP - TYPE A				
SANITARY SEWER VENT (H) H HYDRO SERVICE BOXES ♥ REDUCER (□) TEL VAULT (□) CLUSTER LAMP - TYPE B	RETAINING WALL			
SEWER CLEANOUT 🕢 HYDRO VAULT 🔿 LIGHT MANHOLE 🔆 HYDRO/TEL POLE TO BE REMOVED - STREET SIGN	💥 💮 TREE			
Y SEWER LATERAL -> POLE ANCHOR I LIGHT PULL BOX - SIDEWALK HYDRO/TEL POLE TO BE RELOCATED PARKING METER	ROCK OUTCROP	NO. REVISION DESCRIPTION DATE		





HYDRO/TEL POLE TO BE REMOVED - STREET SIGN

SANITARY SEWER VENT

□ SEWER CLEANOUT

Y SEWER LATERAL

 $\langle H \rangle$ 

HYDRO VAULT

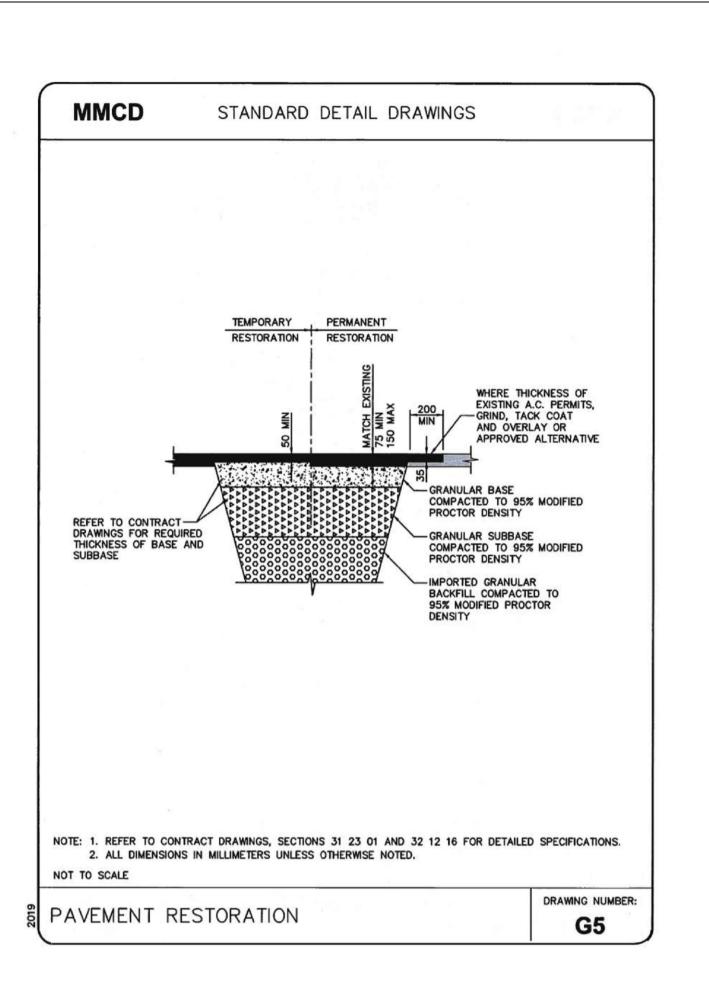
 $\longrightarrow$  POLE ANCHOR

LIGHT MANHOLE

×

LIGHT PULL BOX - SIDEWALK HYDRO/TEL POLE TO BE RELOCATED PARKING METER

				REVISIONS		KEY NOTES	PR
K							
TREET	M	GAS METER					
		GAS VALVE					
,	ATI O	GAS SNIFFER					
		TEST HOLE					
X		FENCE LINE					
		RETAINING WALL					
$\ast$	윤	TREE					
		ROCK OUTCROP	NO.	REVISION DESCRIPTION	DATE		
					•		



HAVN AT POINT SHIPT/DETAILS					
		-	BY:	scale AS NOTED	
drawn by S. GAGNON	design by A. LAFONTAINE	sнт. №. 2 (	)F 2	DATE 2022.03.22	
			С	-002	
	CHECKED BY J. SOMERVILLE DRAWN BY S. GAGNON	HAVN AT POINT CHECKED BY J. SOMERVILLE DRAWN BY S. GAGNON DESIGN BY A. LAFONTAINE	HAVN AT POINT SHIPT/E CHECKED BY J. SOMERVILLE DIRECTOR OF ENGINEERING APPROVED P. BELLEFONTAINE DRAWN BY S. GAGNON DESIGN BY A. LAFONTAINE 2 (	HAVN AT POINT SHIPT/DETAILS          CHECKED BY       DIRECTOR OF ENGINEERING       APPROVED BY:         J. SOMERVILLE       P. BELLEFONTAINE       APPROVED BY:         DRAWN BY       DESIGN BY       SHT. No.         S. GAGNON       A. LAFONTAINE       2 OF 2	

Permit to Practice Number: 1001425