

DISCOVERY STREET SUPPORTIVE HOUSING

LAND USE & D.P. RE-SUBMISSION - 12.08.2022

ATTACHMENT B



Suite 900, 110 - 12th Avenue SW
Calgary, AB, Canada T2R 0G7
T: 403.670.7000
www.s2architecture.com



COVER SHEET

BCH DISCOVERY SUPPORTIVE HOUSING
722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221243

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

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REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
2 LAND USE & D.P. RE-SUBMISSION	12.08.2022

SCALE
DATE 8/19/2022 8:45:53 AM
DRAWN BY MD/AN
CHECKED BY CZ

DRAWING NO.
DPO.0

Design Team

CLIENT:
BC Housing
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CITY OF VICTORIA

Revisions

Received Date:
August 19, 2022

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Municipal Address
722, 726/732 DISCOVERY STREET
VICTORIA, B.C.

Legal Address
Lots 755 & 756, Victoria City; Parcel Identifiers: 009-382-151 & 009-382-232

By-Law Zoning
CURRENT ZONING: M-1 LIMITED LIGHT INDUSTRIAL
PROPOSED ZONING: SITE-SPECIFIC ZONE (RESIDENTIAL RENTAL TENURE)

Site Summary
SITE AREA: +/-1,344.83m² (0.33 ac)
PROPOSED BUILDING FOOTPRINT +/-562.00 m²
PROPOSED BICYCLE ENCLOSURE +/-64.85 m²
TOTAL FOOTPRINT +/-626.85m²

Site Coverage
SITE AREA: +/-1,344.83m² (0.33 ac)
SITE COVERAGE: +/-627.30m² (46.6%)
OPEN SITE SPACE: +/-717.53m² (53.3%)

By-Law Setback
PROPOSED BUILDING SETBACKS
FRONT (DISCOVERY STREET): +/-3.0m
REAR (NORTH): +/-3.0m
SIDE (EAST): +/-2.5m
SIDE (WEST): +/-14.5m
PROPOSED ANCILLARY BUILDING SETBACKS
FRONT (DISCOVERY STREET): +/-3.0m
REAR (NORTH): +/-3.0m
SIDE (EAST): +/-2.5m
SIDE (WEST): +/-1.2m

Proposed Development
REST HOME - CLASS C (SUPPORTIVE HOUSING)
BUILDING CLASSIFICATION AS PER B.C. BUILDING CODE:
BUILDING 'C': GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

Building Height
MAXIMUM BUILDING HEIGHT: 37.0m
PROPOSED BUILDING HEIGHT: +/-30.050m MEASURED FROM PROPOSED AVERAGE GRADE

MAXIMUM PERMITTED F.S.R.	PROPOSED F.S.R.
4.0	3.46

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA	
Level 1	562 m ²
Level 2	585 m ²
Level 3	585 m ²
Level 4	585 m ²
Level 5	585 m ²
Level 6	585 m ²
Level 7	585 m ²
Level 8	585 m ²
TOTAL GFA	4657 m ²

Dwelling Unit Count

UNIT SUMMARY				
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY	% OF TOTAL
A1	STUDIO	34.5m ²	76	84.4%
A2	ACCESSIBLE STUDIO	34.5m ²	9	10.0%
A3	ADAPTABLE STUDIO	34.5m ²	5	5.6%
TOTAL			90	100.0%

Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING					
DESCRIPTION	UNIT COUNT	AREA (m ²)	FACTOR	REQUIRED	PROVIDED
UNITS - RESIDENTIAL	90	N/A	0.2 STALLS PER UNIT	18	0
UNITS - VISITOR	90	N/A	0.1 STALLS PER UNIT	9	0
EMPLOYEE AREAS	N/A	86	1 STALL PER 80 m ²	1	0
TOTAL PARKING				28	0

NOTE: PARKING CALCULATIONS PROVIDED BY CITY OF VICTORIA PLANNING ON JUNE 15, 2022.
NOTE: THE PURPOSE OF THIS DEVELOPMENT IS FOR SUPPORTIVE HOUSING IN WHICH THE RESIDENTS TYPICALLY DO NOT OWN VEHICLES OR DRIVE. BASED UPON PREVIOUS PROJECT EXPERIENCE AND SUBSEQUENT TRAFFIC AND PARKING ANALYSIS, NO PARKING IS TO BE REQUIRED OR PROVIDED ON SITE.

Bicycle Parking Requirements

RESIDENTIAL - LONG TERM PARKING					
DESCRIPTION	UNIT COUNT	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90	1 PER 25 ROOMS	3.6	30	

RESIDENTIAL - SHORT TERM PARKING					
DESCRIPTION	UNIT COUNT	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90	1 PER 40 ROOMS	2.25	6	

NOTE: "TRANSIENT ACCOMMODATION" CATEGORIZATION HAS BEEN USED TO DETERMINE BICYCLE PARKING REQUIREMENTS PER ZONING BYLAW NO. 80-159, SCHEDULE C: OFF-STREET PARKING REGULATIONS.

Waste & Recycling Requirements

SUFFICIENT SPACE HAS BEEN PROVIDED FOR A MIN. OF ONE COLLECTION CONTAINER FOR GARBAGE, ONE COLLECTION CONTAINER FOR RECYCLABLE MATERIALS, AND TWO COLLECTION CONTAINERS FOR FOOD AND YARD WASTE MATERIALS TO ACCOMMODATE THE TOTAL WASTE VOLUME. THE FOLLOWING IS A LIST OF CONTAINERS PROVIDED:

- 4yd³ WASTE BIN
- 4yd³ RECYCLE BIN
- TWO 189L ORGANICS BINS

NOTE: DUE TO THE SIZE OF THE DEVELOPMENT, BI-WEEKLY WASTE PICK-UP IS BEING PROPOSED.

Drawing List

- DP0.0 COVER SHEET
 - DP0.1 PROJECT STATISTICS & SITE PHOTOS
 - DP0.3 SITE SURVEY
 - DP1.0 SITE PLAN
 - DP1.1 W&R ACCESS PLAN
 - DP1.2 ELNARGED W&R AND BICYCLE ENCLOSURE
 - DP1.4 SHADOW STUDY
 - DP2.0 LEVEL 1 & 2 FLOOR PLANS
 - DP2.1 LEVEL 3 & 4 FLOOR PLANS
 - DP2.2 LEVEL 5 & 6 FLOOR PLANS
 - DP2.3 LEVEL 7 & 8 FLOOR PLANS
 - DP2.4 ROOF PLAN
 - DP4.0 BUILDING ELEVATIONS
 - DP4.1 BUILDING ELEVATIONS
 - DP5.0 BUILDING SECTIONS
 - DP6.0 CONTEXT VISUALIZATIONS
 - DP6.1 CONTEXT VISUALIZATIONS
-
- C000 TITLE
 - C101 SITE SERVICING PLAN
 - C102 SITE GRADING PLAN
 - C103 STORMWATER MANAGEMENT PLAN
 - C201 OFFSITE SERVICING & GRADING PLAN
 - C202 LINE PAINTING & SIGNAGE PLAN
 - C501 GENERAL NOTES & DETAILS
-
- L-00 COVER
 - L-01 TREE REPLACEMENT & STORMWATERS AREA PLAN
 - L-02 LANDSCAPE PLAN
 - L-03 PLANTING PLAN
 - L-04 DETAILS
 - L-05 DETAILS
 - L-06 DETAILS
 - L-07 FENCE / TRELLIS ELEVATION



1 Looking North-West
DP0.1



2 Looking North
DP0.1



3 Looking North-East
DP0.1



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PROJECT STATISTICS & SITE PHOTOS

BCH DISCOVERY SUPPORTIVE HOUSING
722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
22/12/23

NOT FOR CONSTRUCTION

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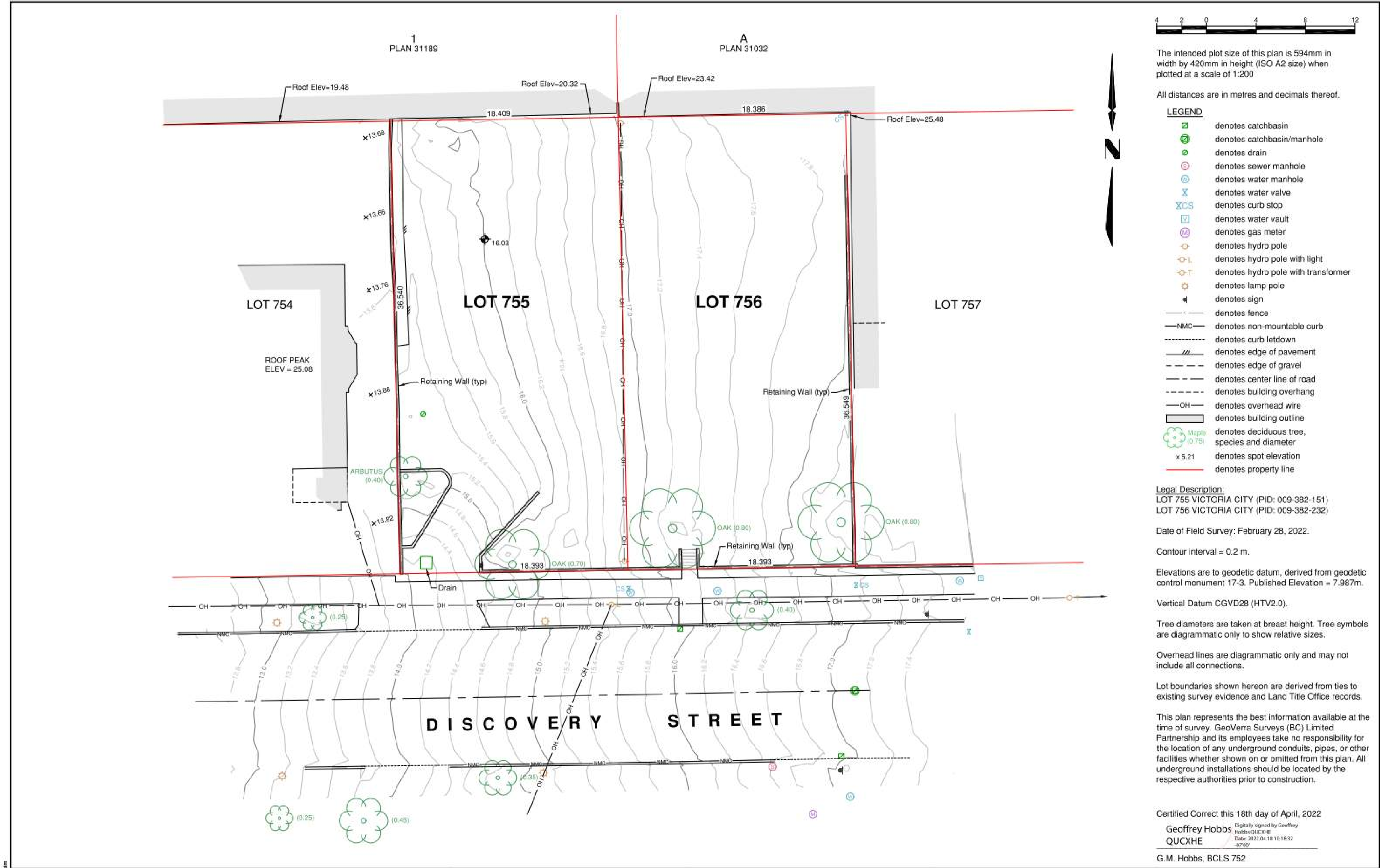
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REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
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SCALE 1:50
DATE 8/18/2022 8:45:53 AM
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DRAWING NO.

DP0.1



The intended plot size of this plan is 594mm in width by 420mm in height (ISO A2 size) when plotted at a scale of 1:200

All distances are in metres and decimals thereof.

- LEGEND**
- denotes catchbasin
 - denotes catchbasin/manhole
 - denotes drain
 - denotes sewer manhole
 - denotes water manhole
 - denotes water valve
 - denotes curb stop
 - denotes water vault
 - denotes gas meter
 - denotes hydro pole
 - denotes hydro pole with light
 - denotes hydro pole with transformer
 - denotes lamp pole
 - denotes sign
 - denotes fence
 - denotes non-mountable curb
 - denotes curb letdown
 - denotes edge of pavement
 - denotes edge of gravel
 - denotes center line of road
 - denotes building overhang
 - denotes overhead wire
 - denotes building outline
 - denotes deciduous tree, species and diameter
 - denotes spot elevation
 - denotes property line

Legal Description:
 LOT 755 VICTORIA CITY (PID: 009-382-151)
 LOT 756 VICTORIA CITY (PID: 009-382-232)

Date of Field Survey: February 28, 2022.

Contour interval = 0.2 m.

Elevations are to geodetic datum, derived from geodetic control monument 17-3. Published Elevation = 7.967m.

Vertical Datum CGVD28 (HTV2.0).

Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.

Overhead lines are diagrammatic only and may not include all connections.

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records.

This plan represents the best information available at the time of survey. GeoVerra Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

Certified Correct this 18th day of April, 2022
 Geoffrey Hobbs
 QUCXHE
 G.M. Hobbs, BCLS 752

ISS/REV	YYYY-MM-DD	DESCRIPTION	DRN	CHK
1	2022-04-18	RESOLVED LOT BOUNDARIES	MLE	HC
0	2022-03-09	ORIGINAL PLAN PREPARED	MLE	HC

CLIENT:	BC HOUSING MANAGEMENT COMMISSION
CLIENT REF. NO.:	

795 Market Street
 Victoria, BC • V8T 0B4
 t: 250-342-9767 • www.geoverra.com

PROJECT:	722 & 726 DISCOVERY STREET VICTORIA, BC
PROJECT NO.:	22-00605
SCALE:	As-Noted
DISCIPLINE:	GEOMATICS

TITLE:	TOPOGRAPHIC SURVEY
DRAWING NO.:	22-00605-001-TOPO01-R1
SHEET NO.:	1 OF 1

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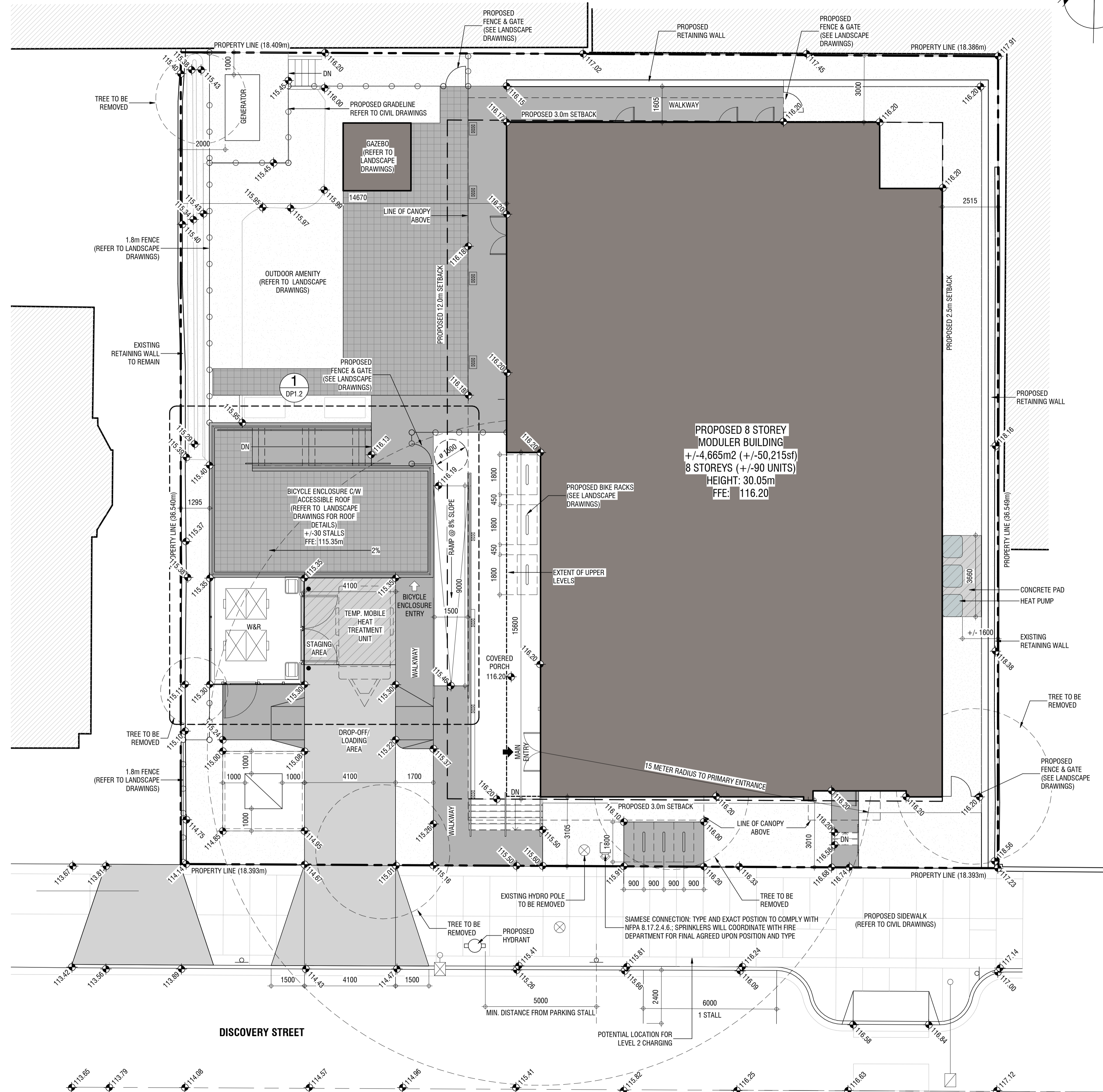
DRAWING NO. DP0.3

Site Plan - General Notes

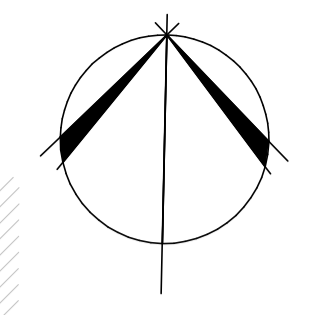
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.

Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF WALKWAY
- INDICATES EXTENT AND LOCATION OF UNIT PAVERS
- INDICATES EXTENT AND LOCATION OF HEAVY DUTY ASPHALT
- INDICATES EXTENT AND LOCATION OF CONCRETE PAD
- INDICATES EXTENT AND LOCATION OF LANDSCAPED AREA
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF FENCE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED POWER POLE
- INDICATES LOCATION OF EXISTING POWER POLE
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK
- INDICATES NO PARKING SIGN
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION



1 Site Plan
 DP1.0 SCALE: 1 : 100
 DP4.0



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SITE PLAN

BCH DISCOVERY SUPPORTIVE HOUSING
 722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
 BC HOUSING
 22/12/13

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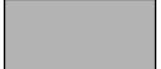
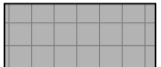




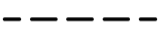
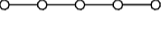



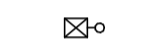
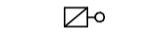






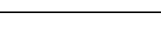
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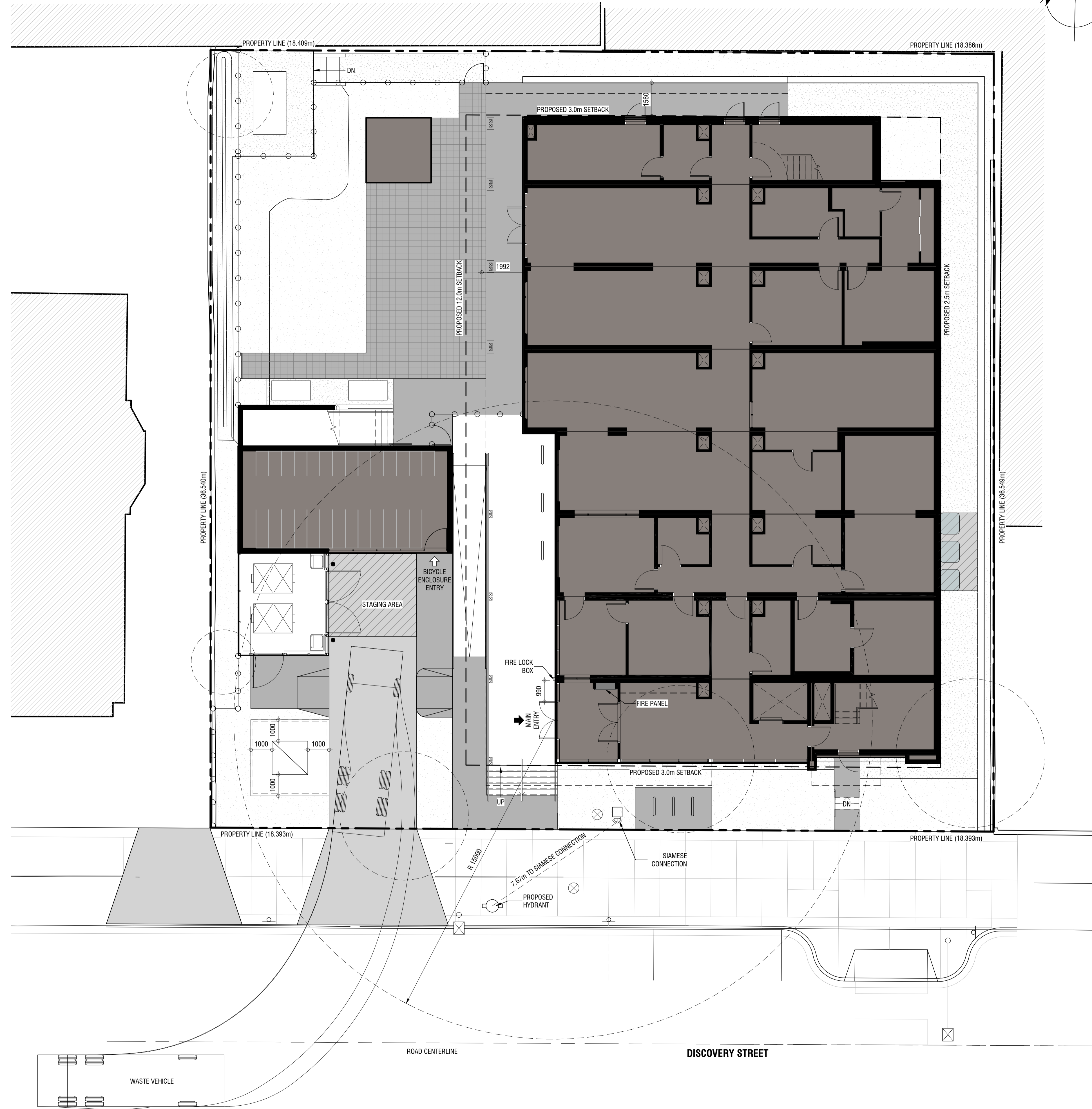
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Site Plan - General Notes

1. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.

Site Plan - Symbol Legend

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W&R ACCESS PLAN

BCH DISCOVERY SUPPORTIVE HOUSING
 722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
 BC HOUSING 221243

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DRAWING NO. **DP1.1**

1 Site Access Plan
 DP1.1 SCALE: 1 : 100
 DP4.0

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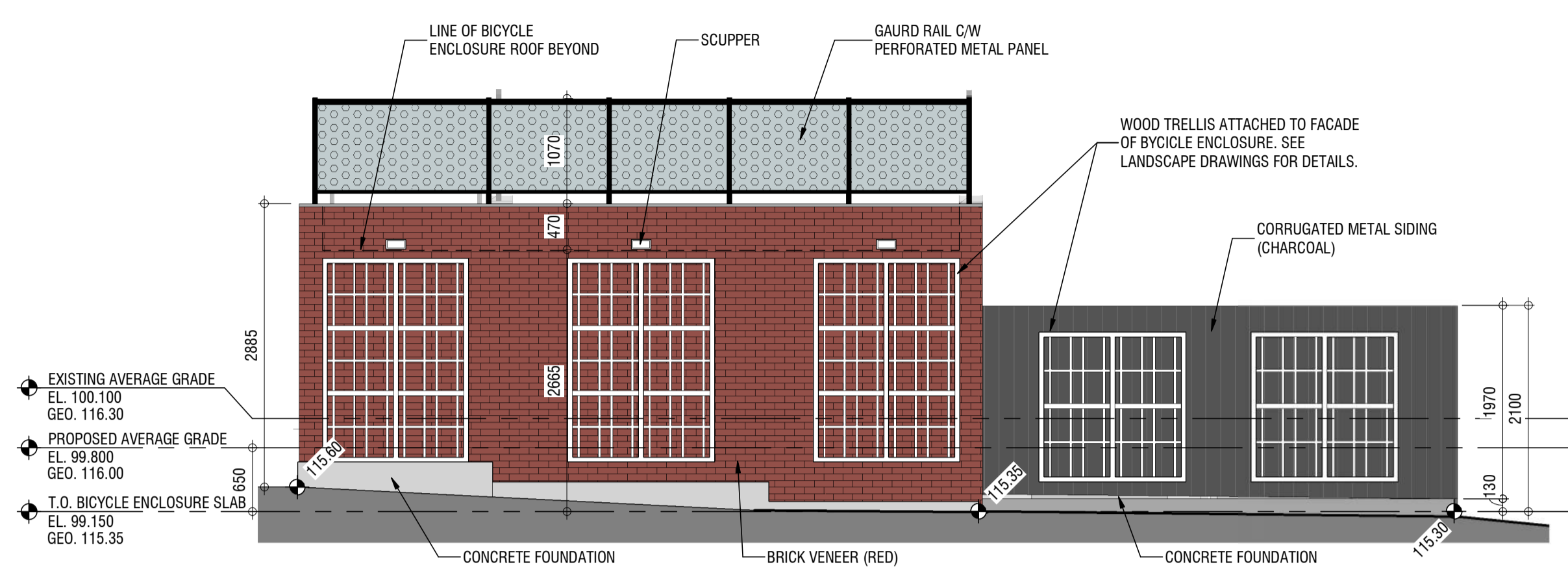
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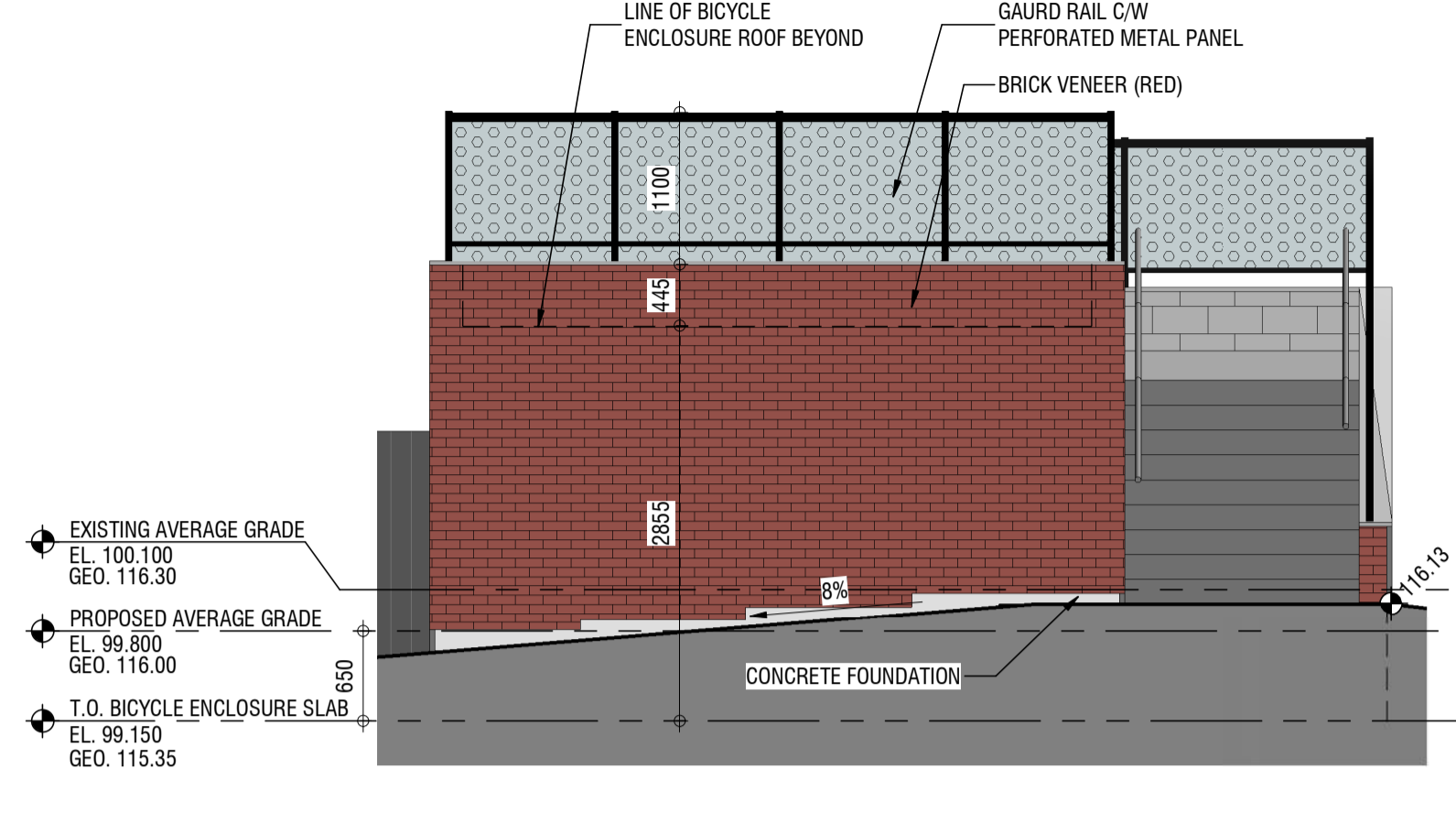
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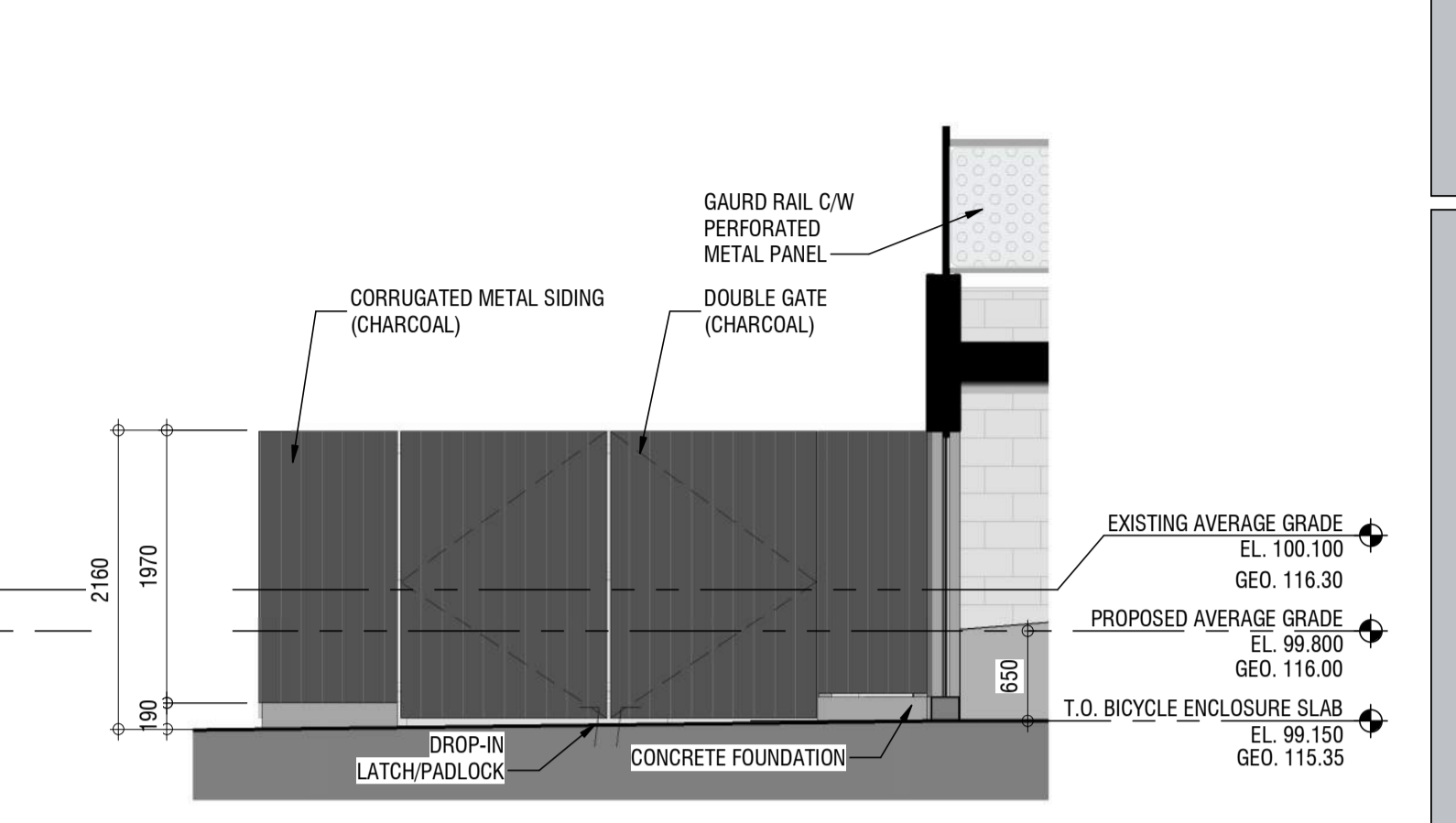
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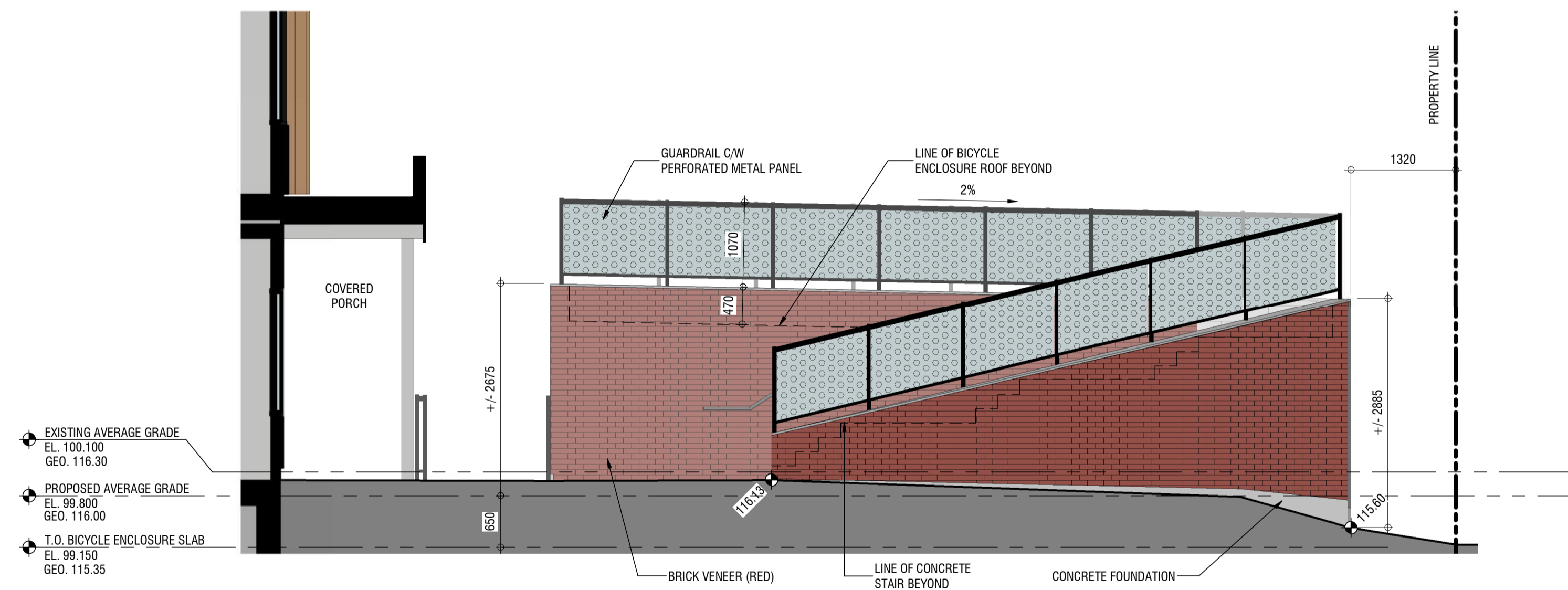
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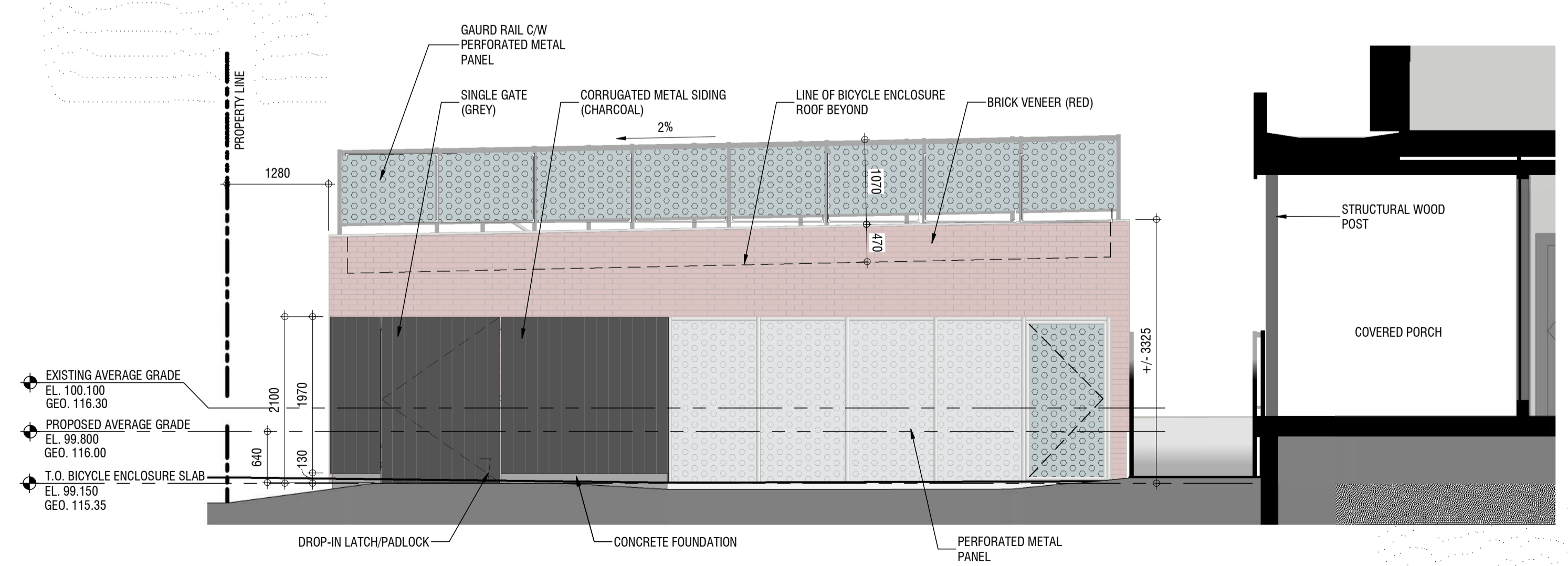
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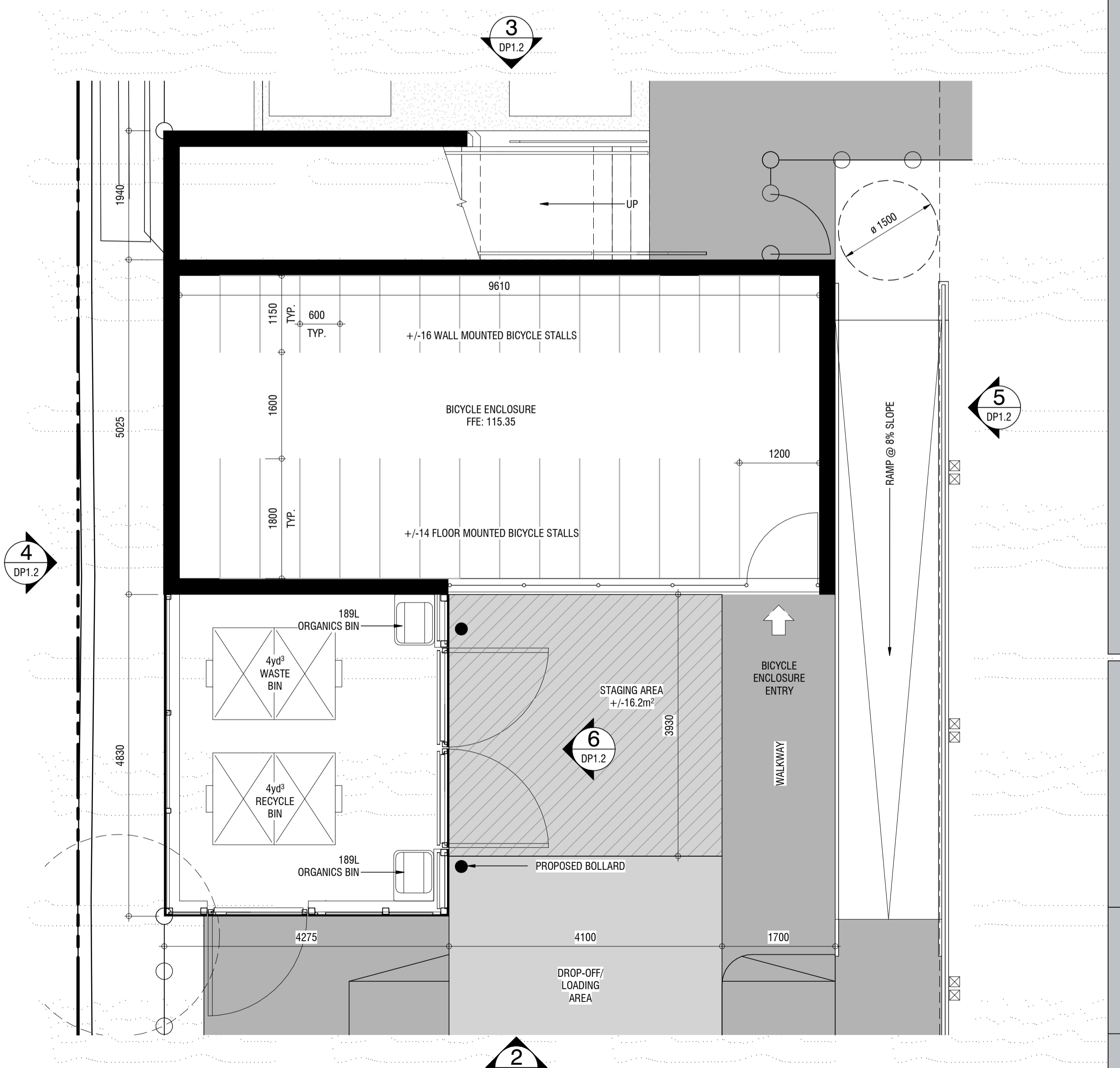
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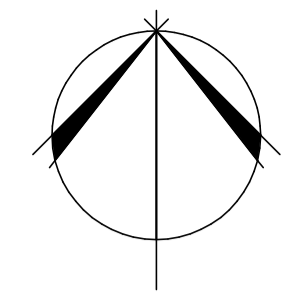
3 Elevation B (North)
 DP1.2 SCALE: 1:50
 DP1.2



2 Elevation A (South)
 DP1.2 SCALE: 1:50
 DP1.2



1 Enlarged W&R & Bicycle Enclosure
 DP1.2 SCALE: 1:50
 DP1.0



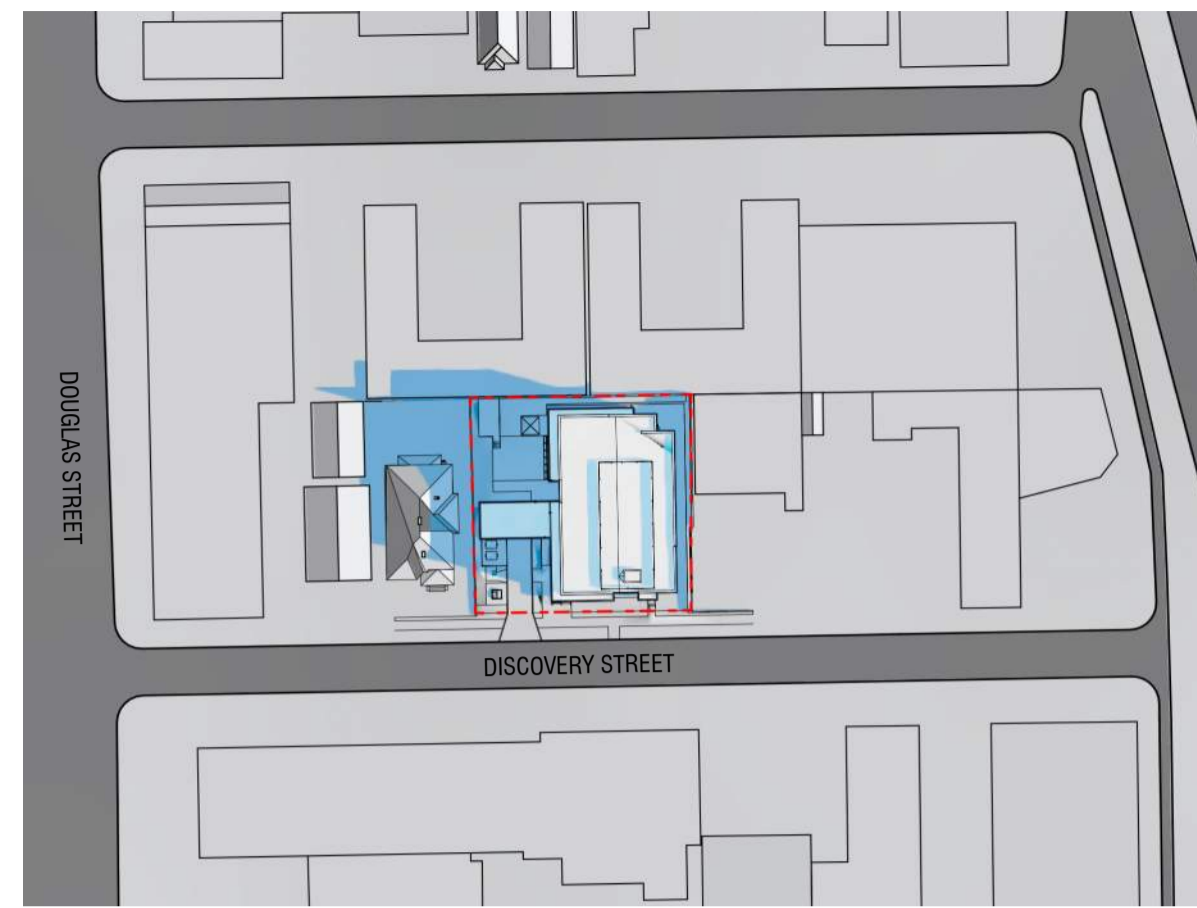
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SHADOW STUDY

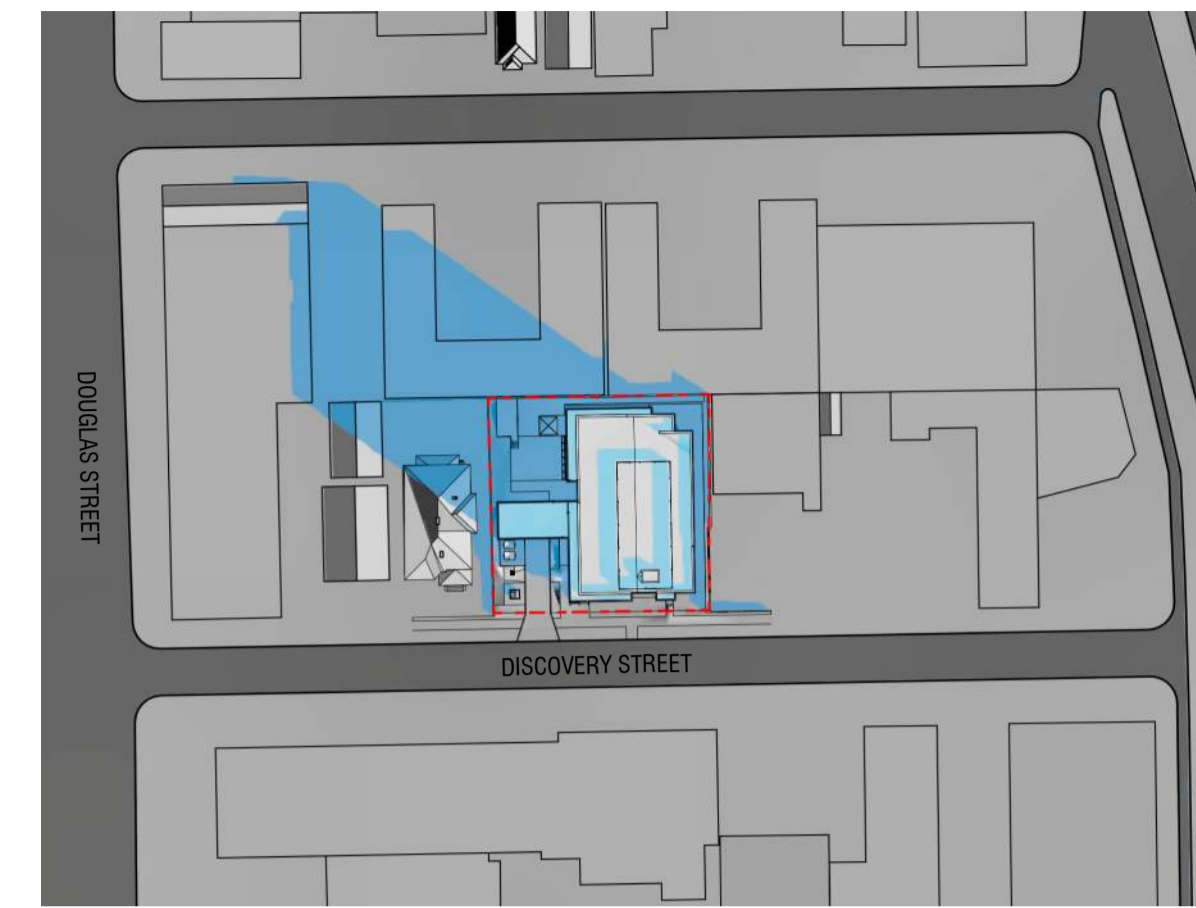
BCH DISCOVERY SUPPORTIVE HOUSING
 722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
 BC HOUSING 221243



MARCH 21 - 10:00 AM



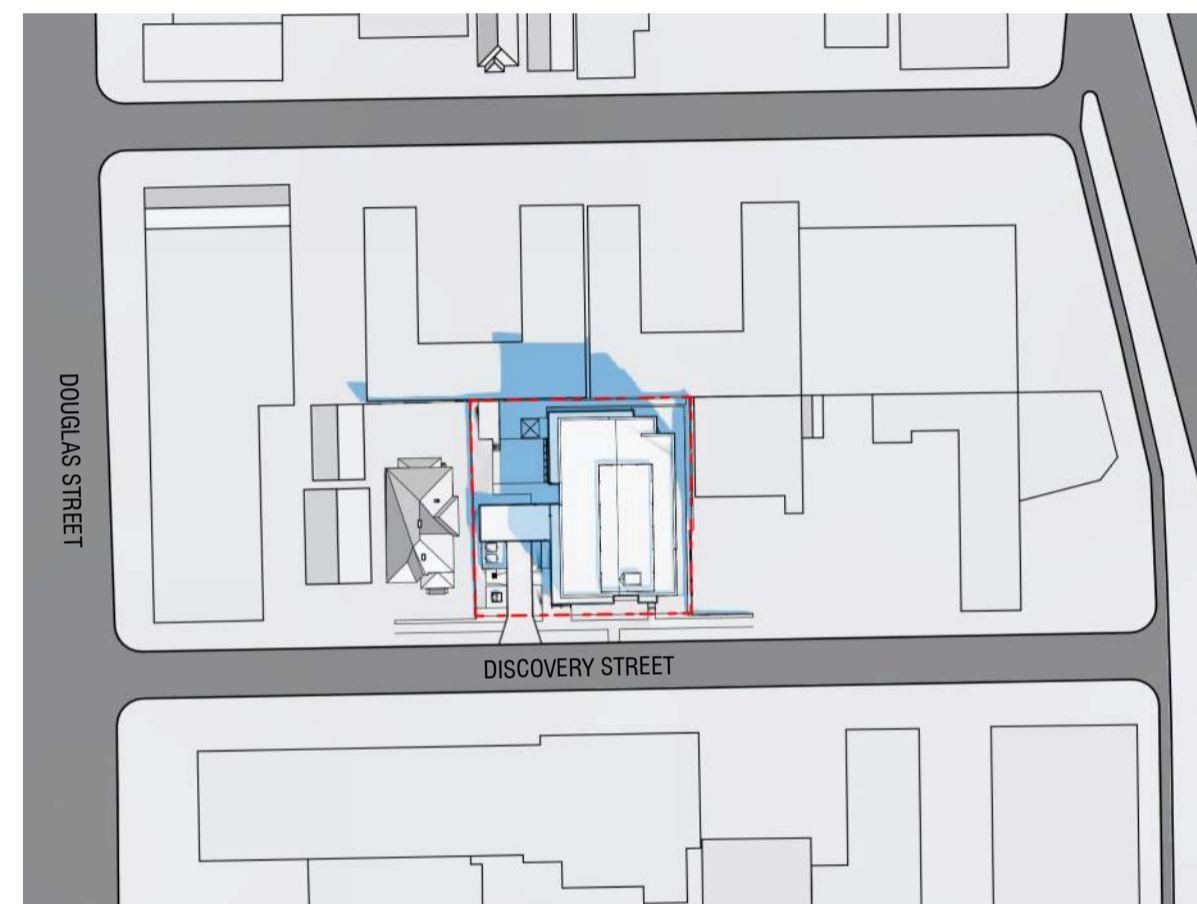
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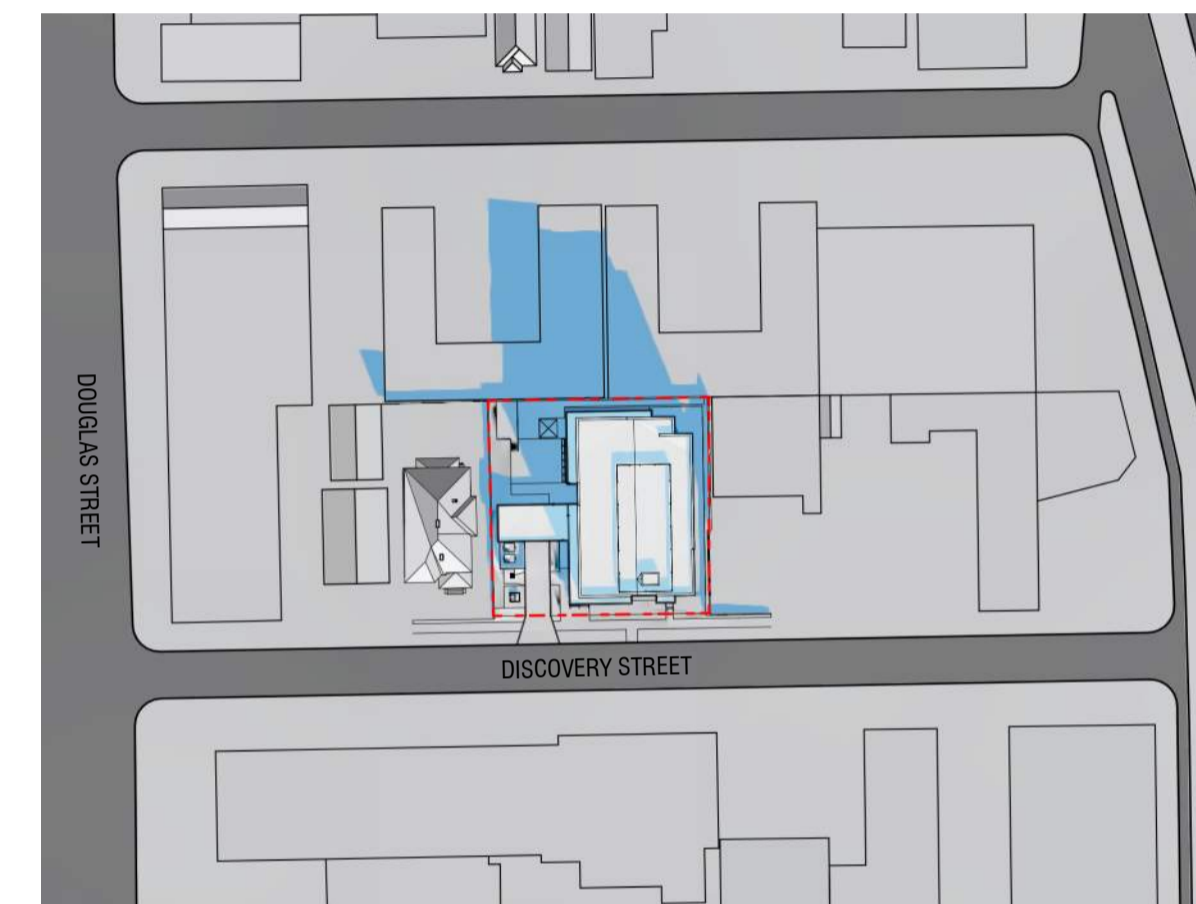
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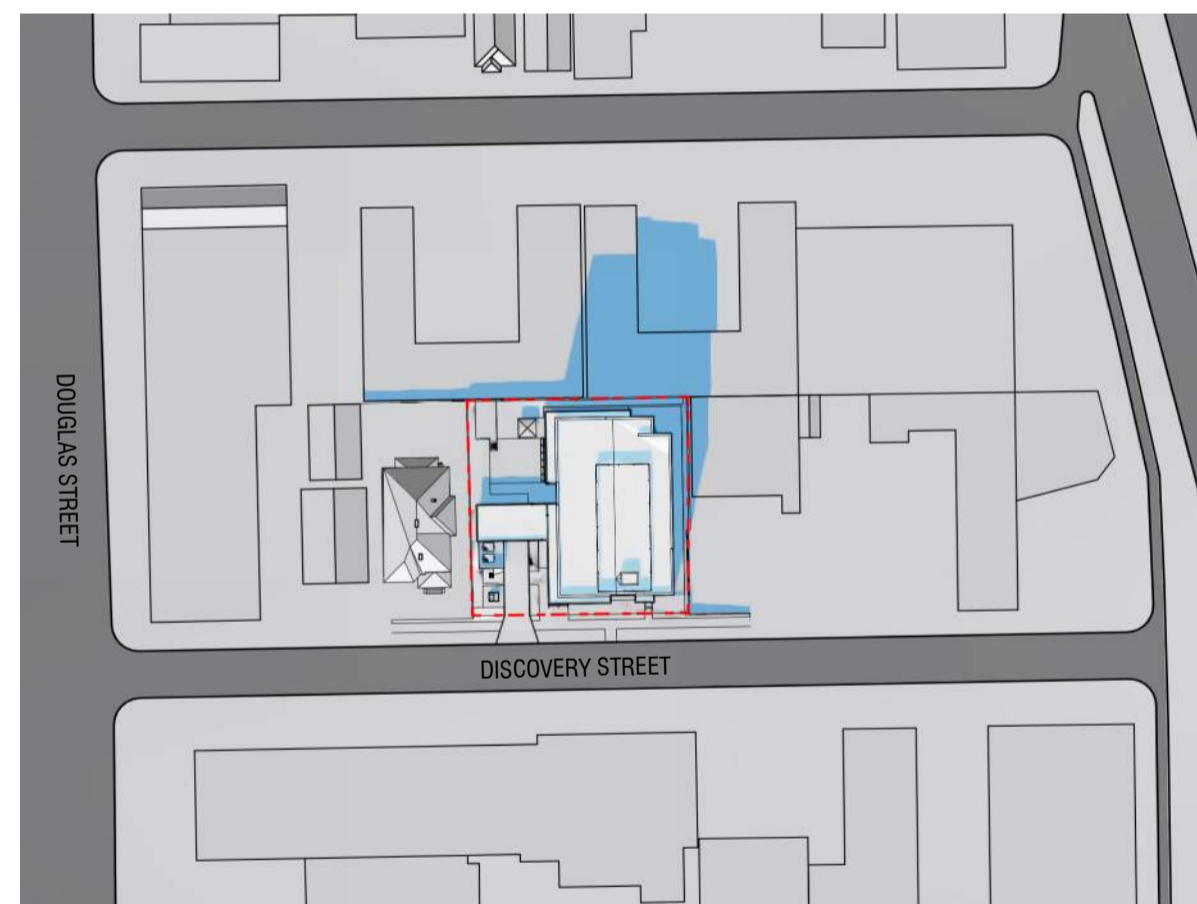
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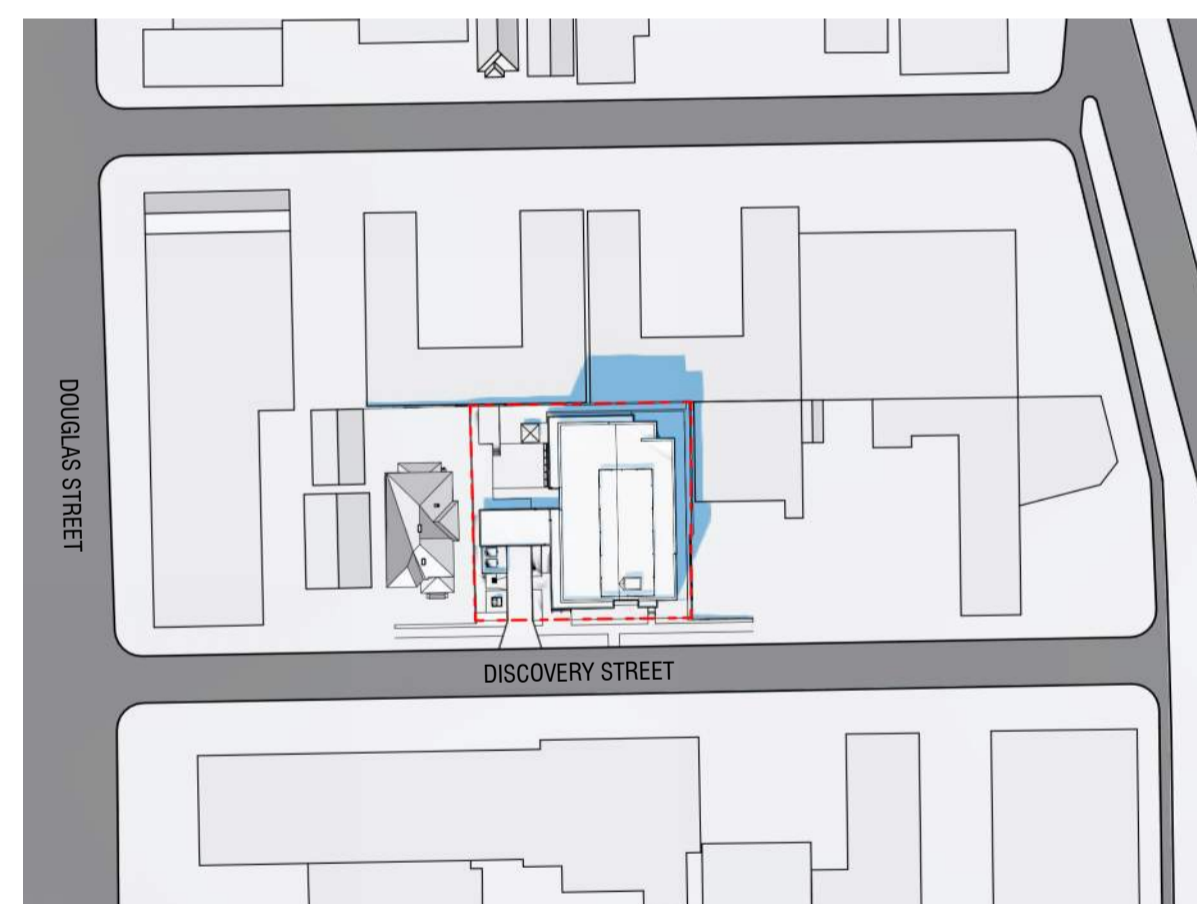
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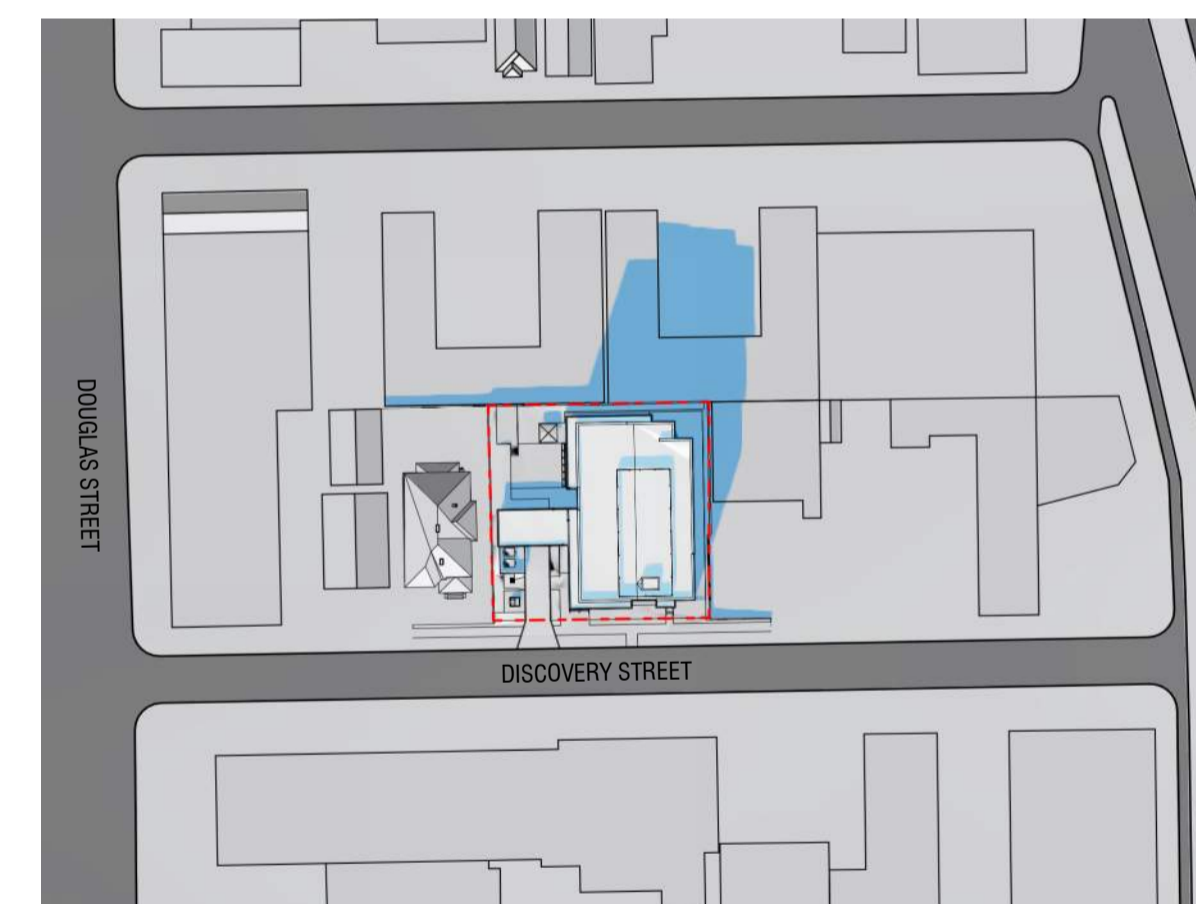
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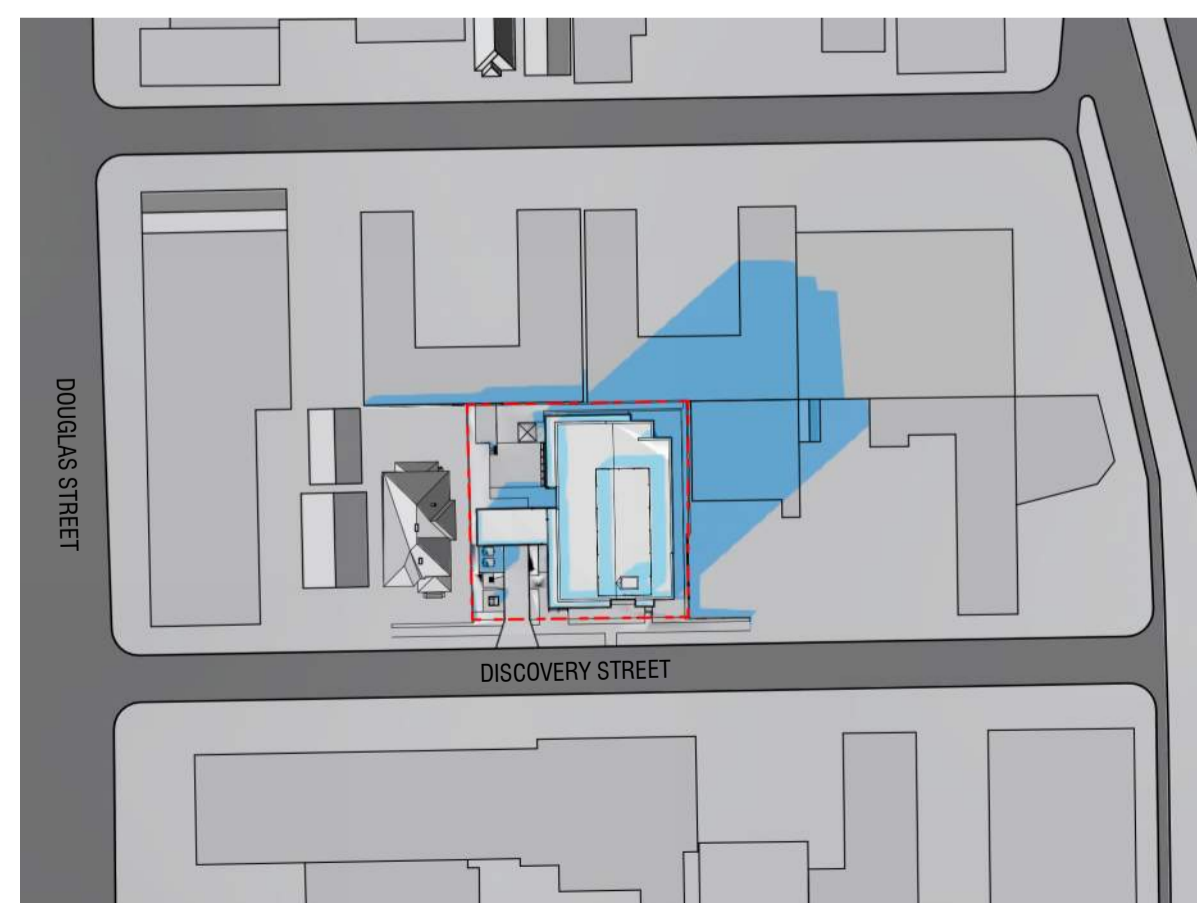
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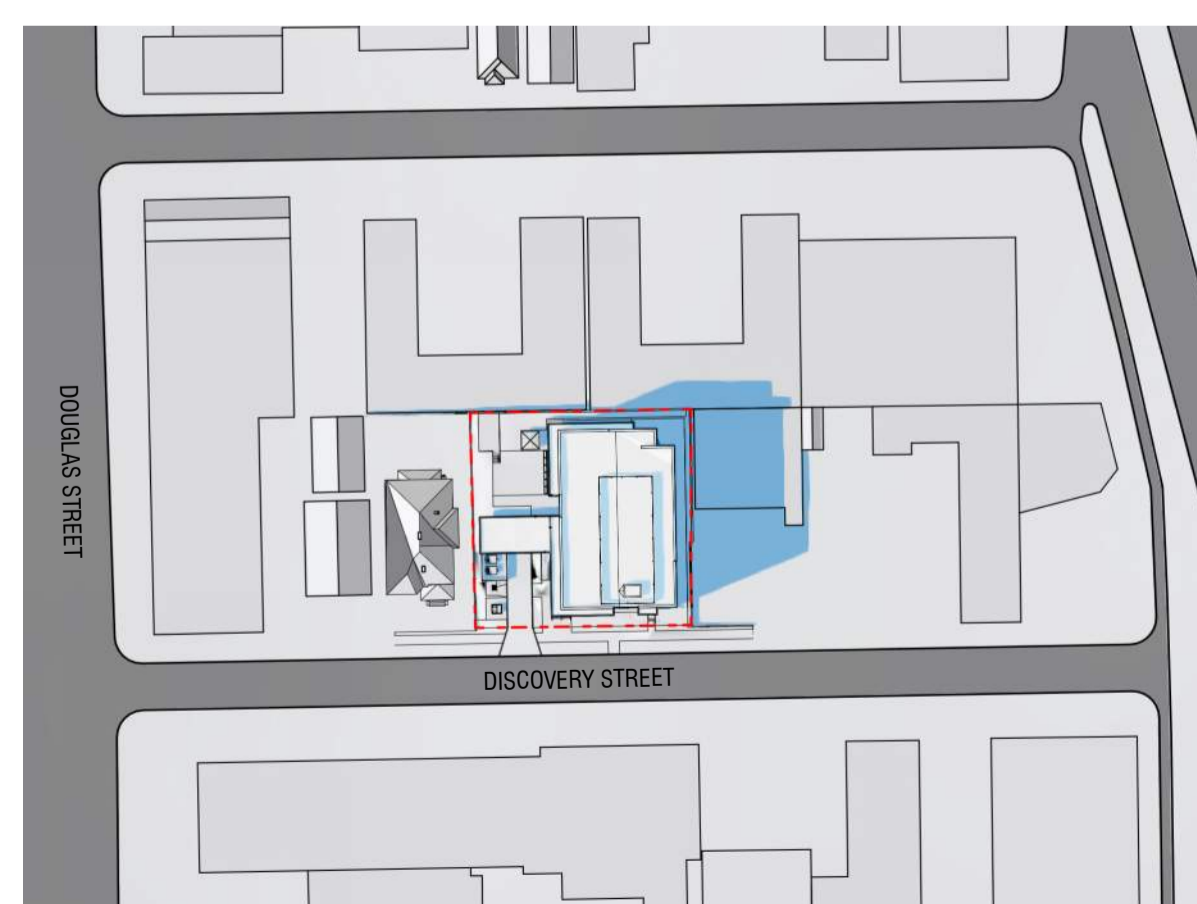
JUNE 21 - 2:00 PM



SEPTEMBER 21 - 2:00 PM



MARCH 21 - 4:00PM



JUNE 21 - 4:00PM



SEPTEMBER 21 - 4:00PM

NOT FOR CONSTRUCTION

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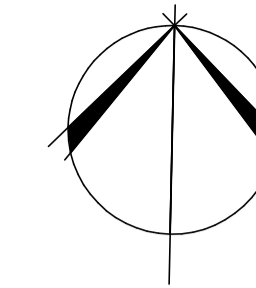
Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

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REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
2 LAND USE & D.P. RE-SUBMISSION	12.08.2022

SCALE
 DATE 8/18/2022 8:45:59 AM
 DRAWN BY MD/AN
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DRAWING NO.
DP1.4



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LEVEL 1 & 2 FLOOR PLANS

BCH DISCOVERY SUPPORTIVE HOUSING
 722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
 BC HOUSING
 221243

NOT FOR CONSTRUCTION

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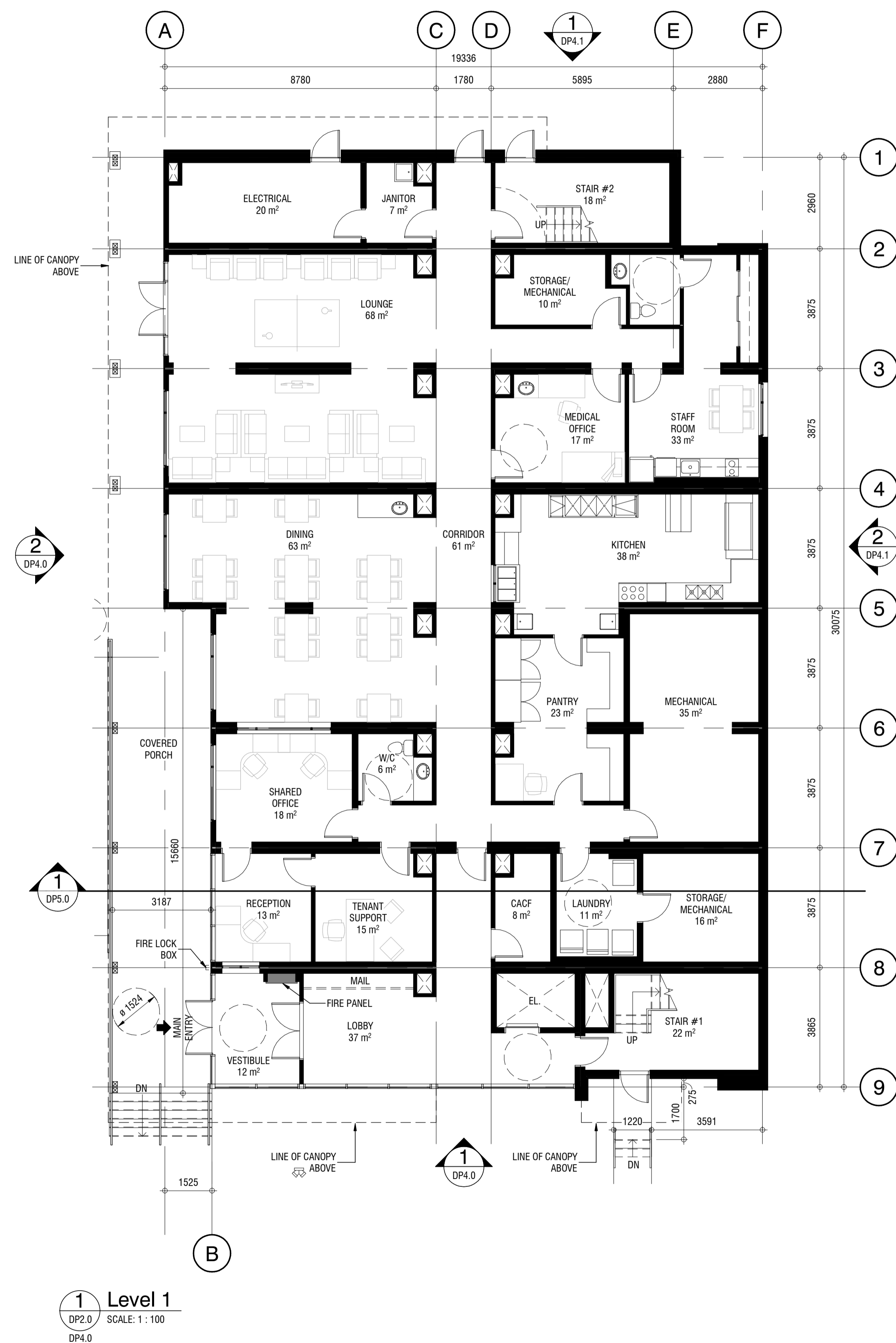
REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
2 LAND USE & D.P. RE-SUBMISSION	12.08.2022

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 CHECKED BY CZ

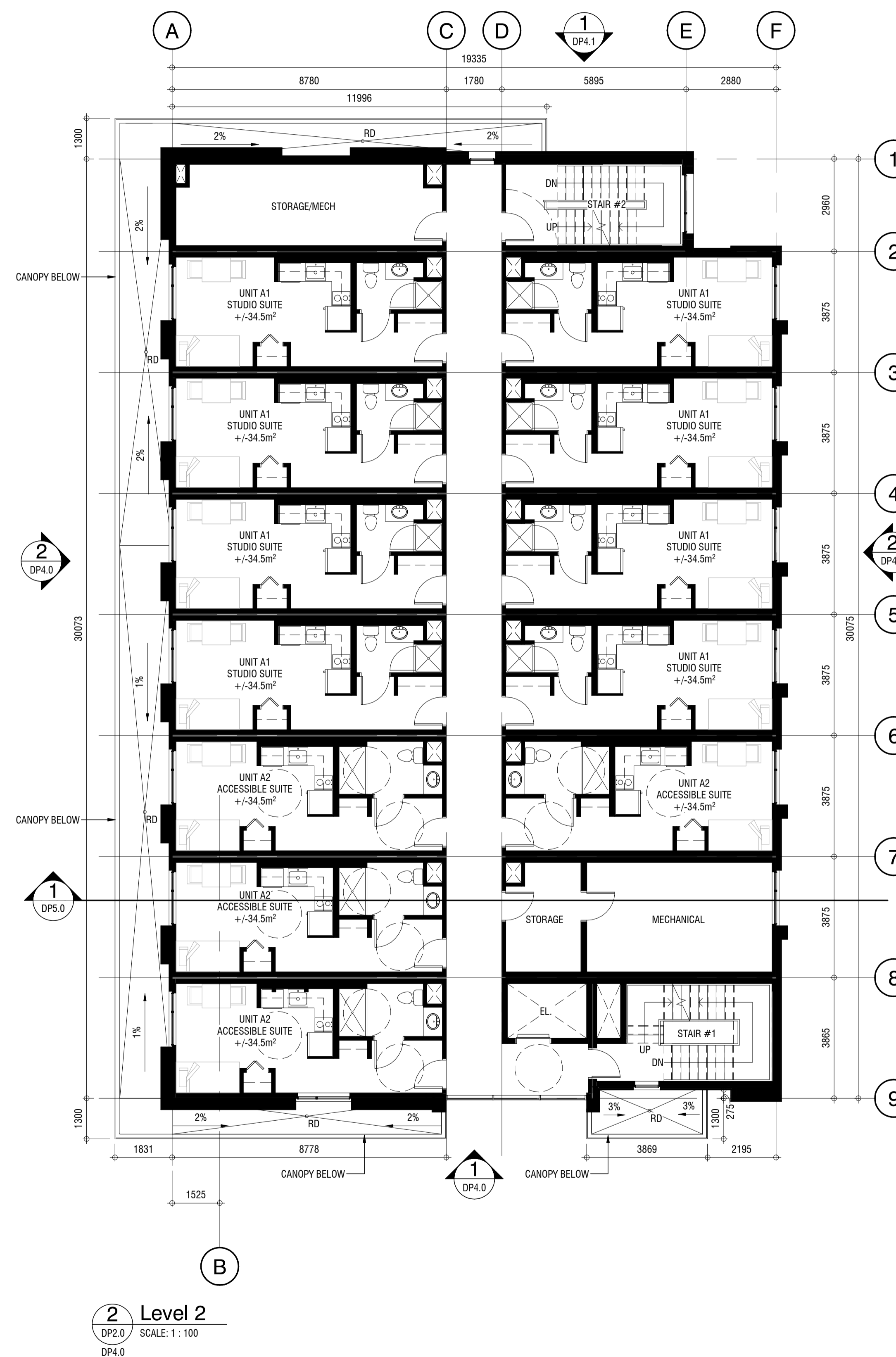
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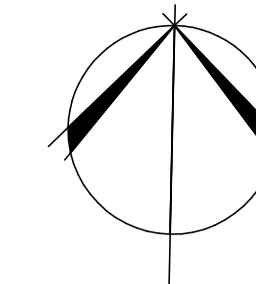
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1 Level 1
 DP2.0 SCALE: 1:100
 DP4.0



2 Level 2
 DP2.0 SCALE: 1:100
 DP4.0



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LEVEL 3 & 4 FLOOR PLANS

BCH DISCOVERY SUPPORTIVE HOUSING
 722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
 BC HOUSING

221243

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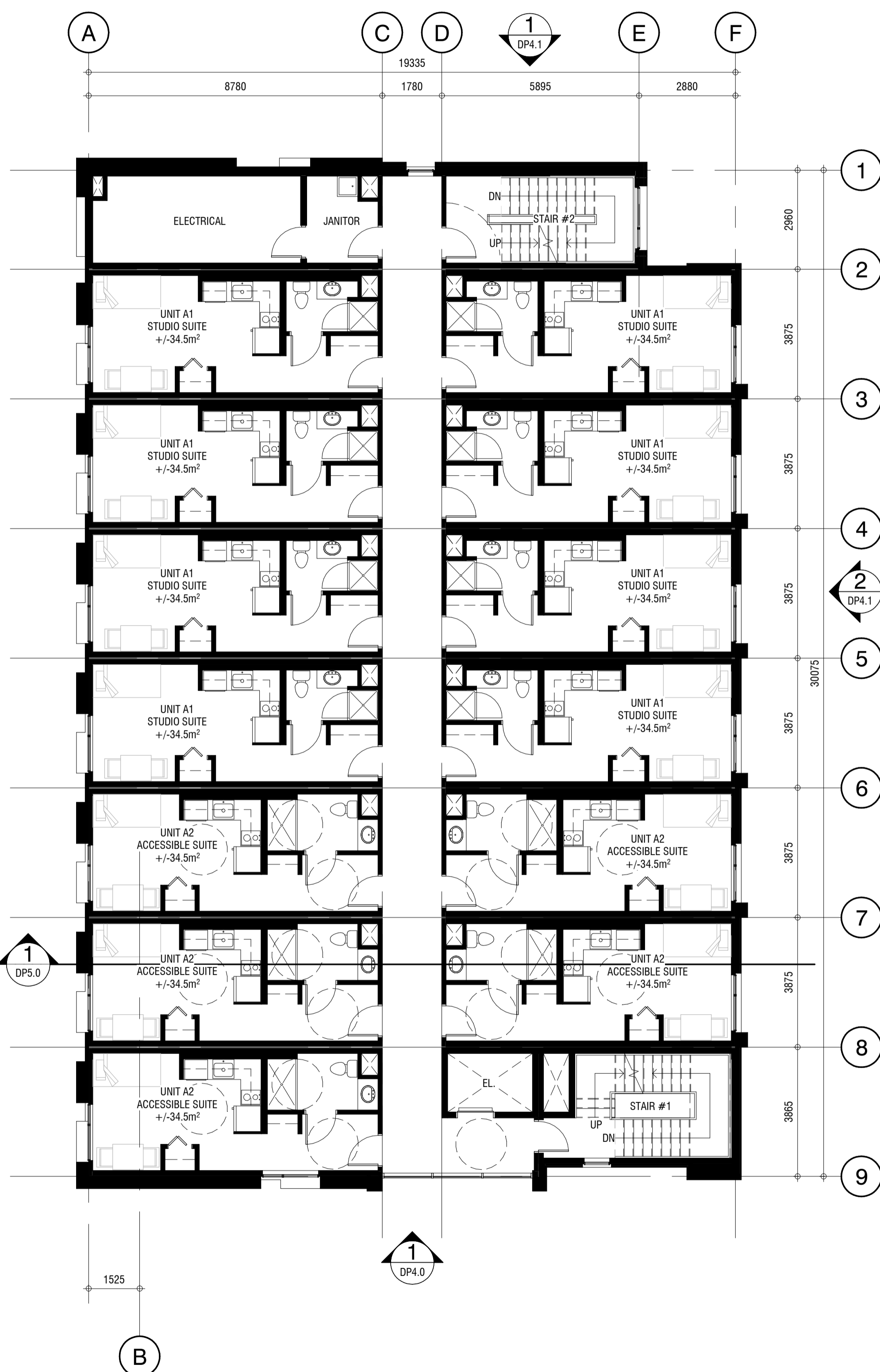
REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
2 LAND USE & D.P. RE-SUBMISSION	12.08.2022

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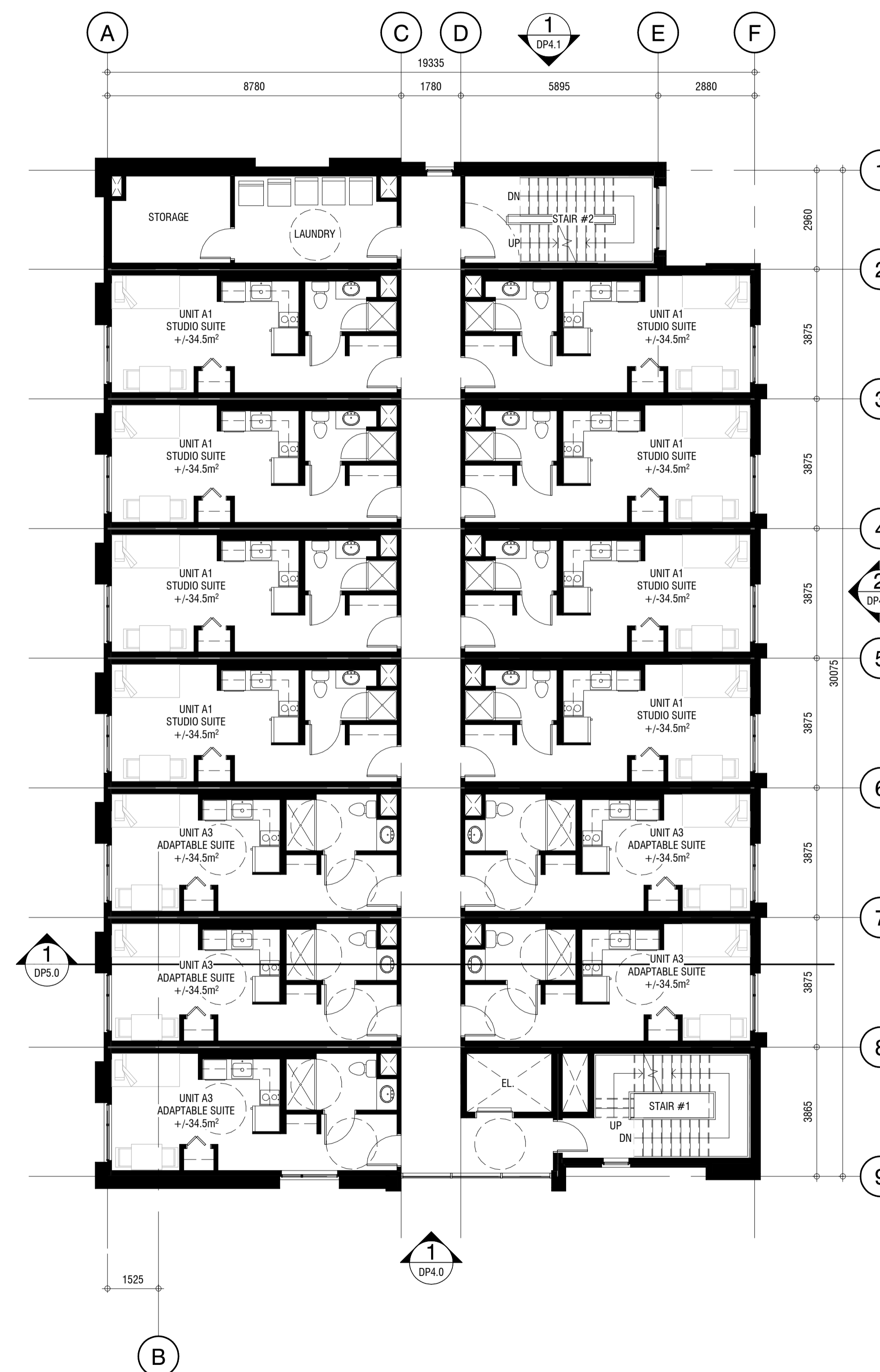
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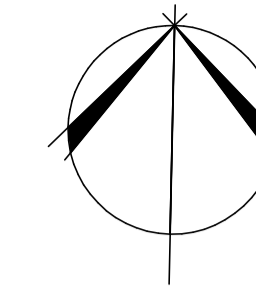
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1 Level 3
 DP2.1 SCALE: 1:100
 DP4.0



2 Level 4
 DP2.1 SCALE: 1:100
 DP4.0



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LEVEL 5 & 6 FLOOR PLANS

BCH DISCOVERY SUPPORTIVE HOUSING
 722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
 BC HOUSING

221243

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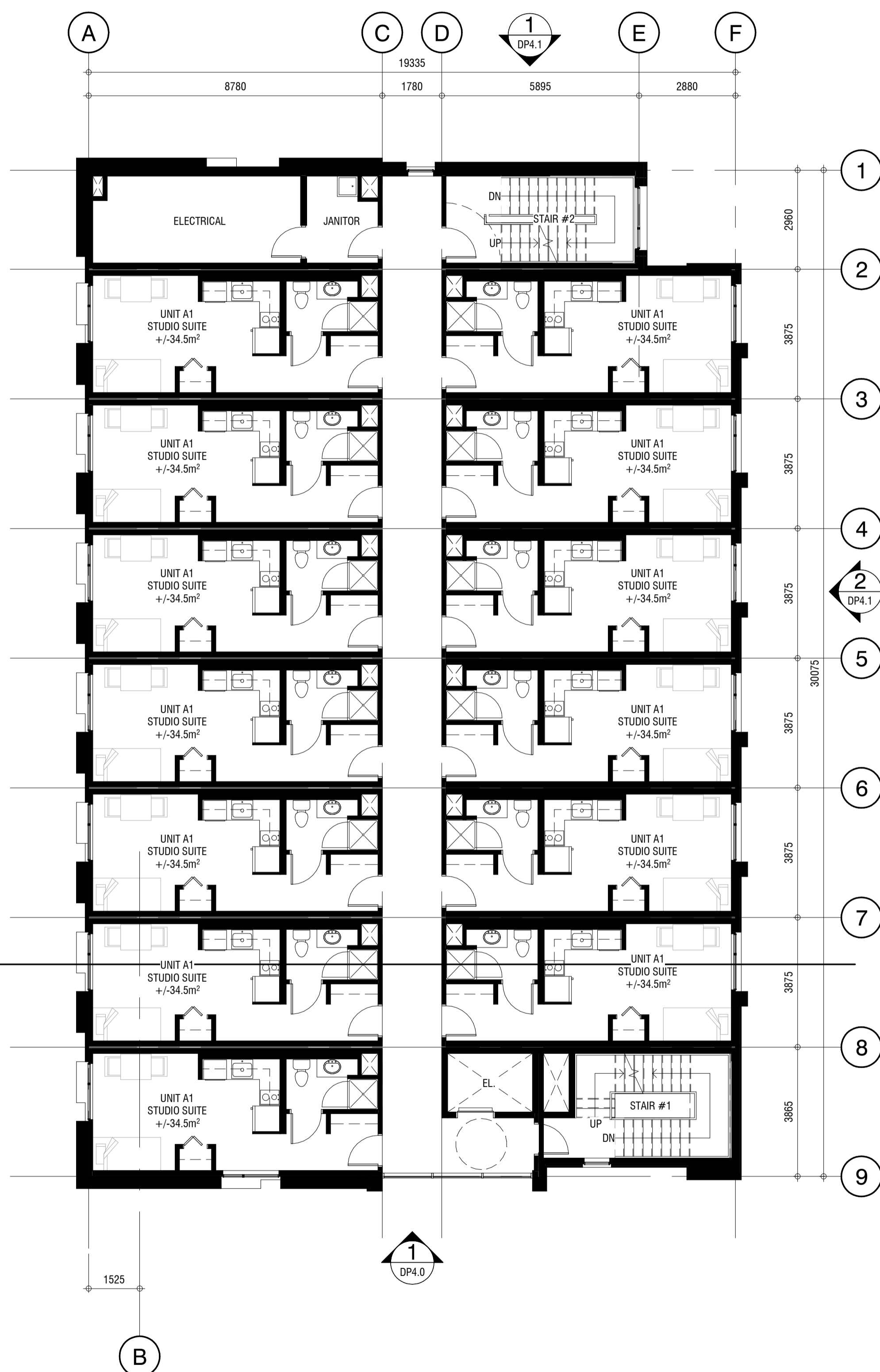
REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
2 LAND USE & D.P. RE-SUBMISSION	12.08.2022

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 DATE 8/18/2022 8:46:01 AM
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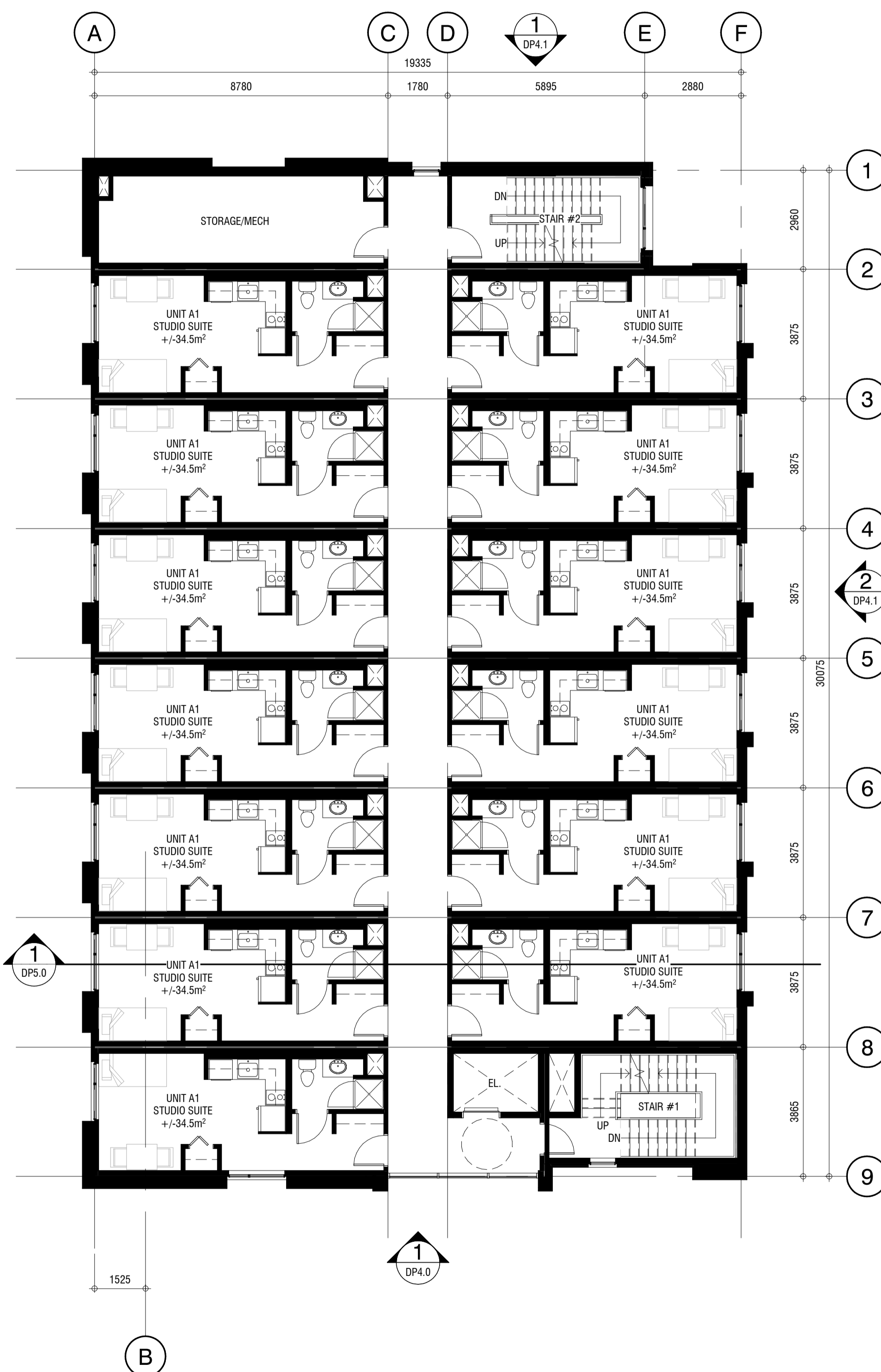
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DP2.2

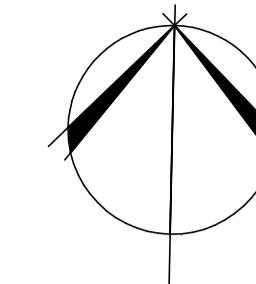
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1 Level 5
 DP2.2 SCALE: 1:100
 DP4.0



2 Level 6
 DP2.2 SCALE: 1:100
 DP4.0



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LEVEL 7 & 8 FLOOR PLANS

BCH DISCOVERY SUPPORTIVE HOUSING
722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

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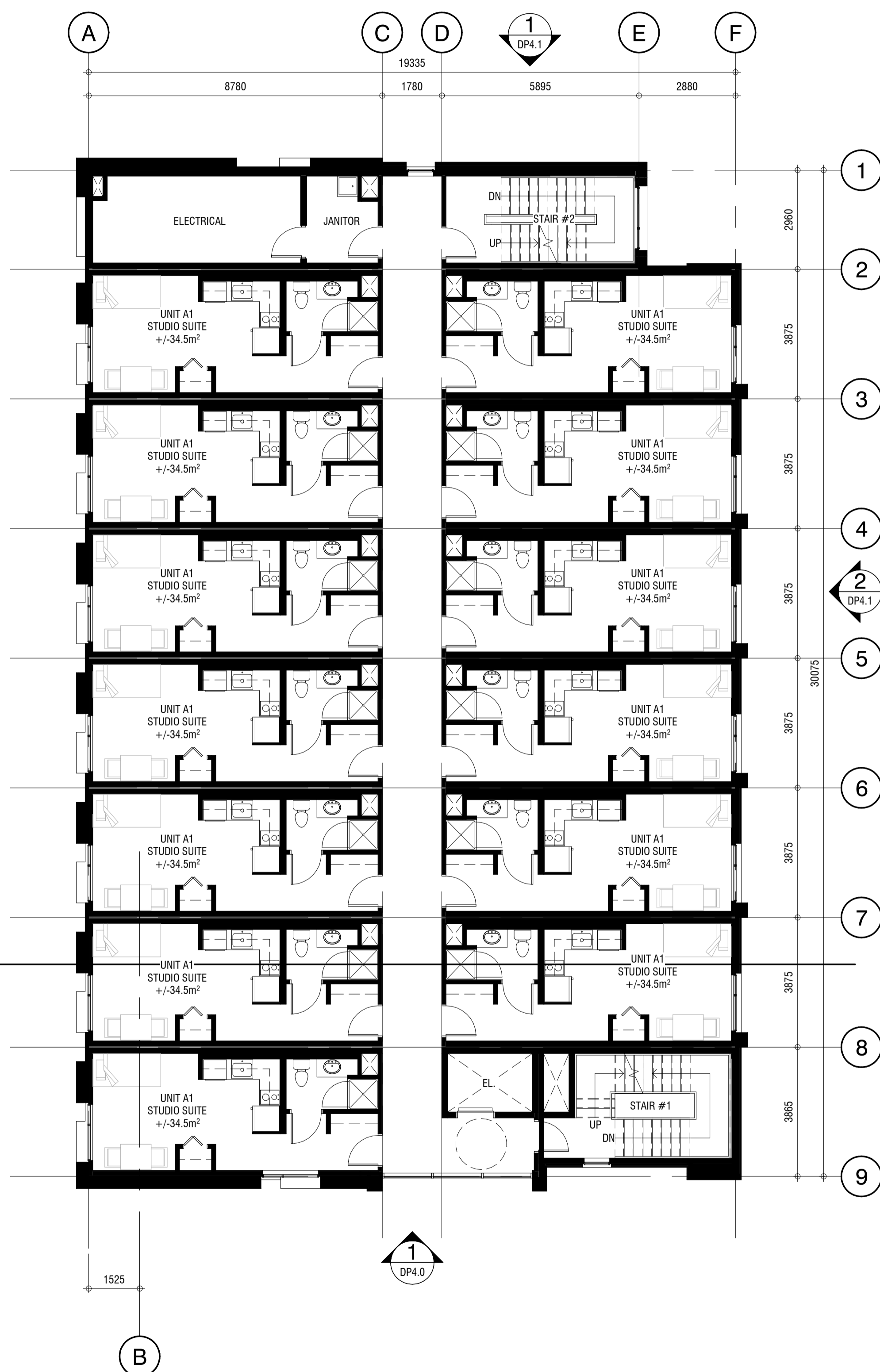
REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
2 LAND USE & D.P. RE-SUBMISSION	12.08.2022

SCALE 1:100
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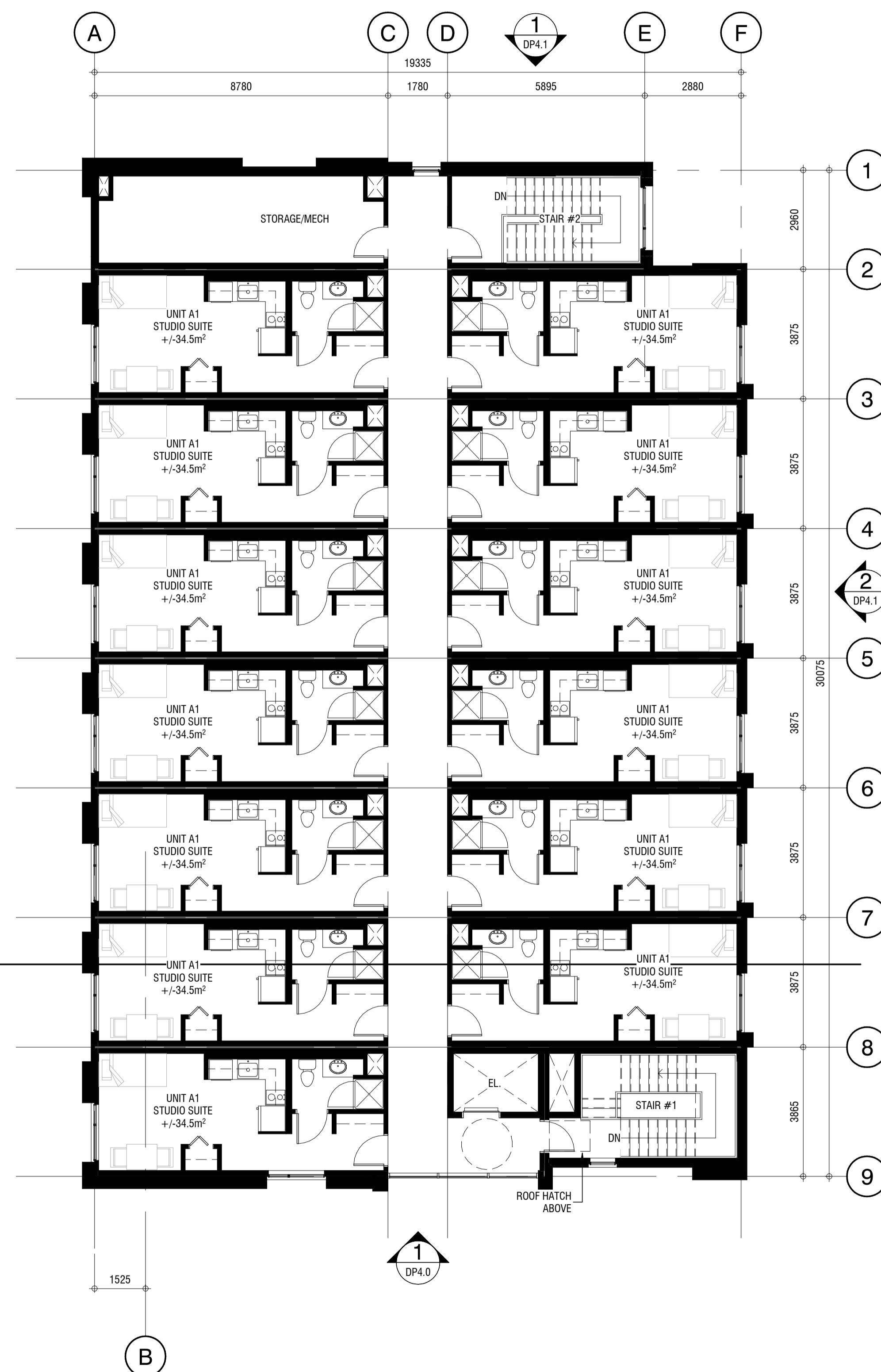
DRAWING NO.

DP2.3

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1 Level 7
DP2.3 SCALE: 1:100
DP4.0



2 Level 8
DP2.3 SCALE: 1:100
DP4.0

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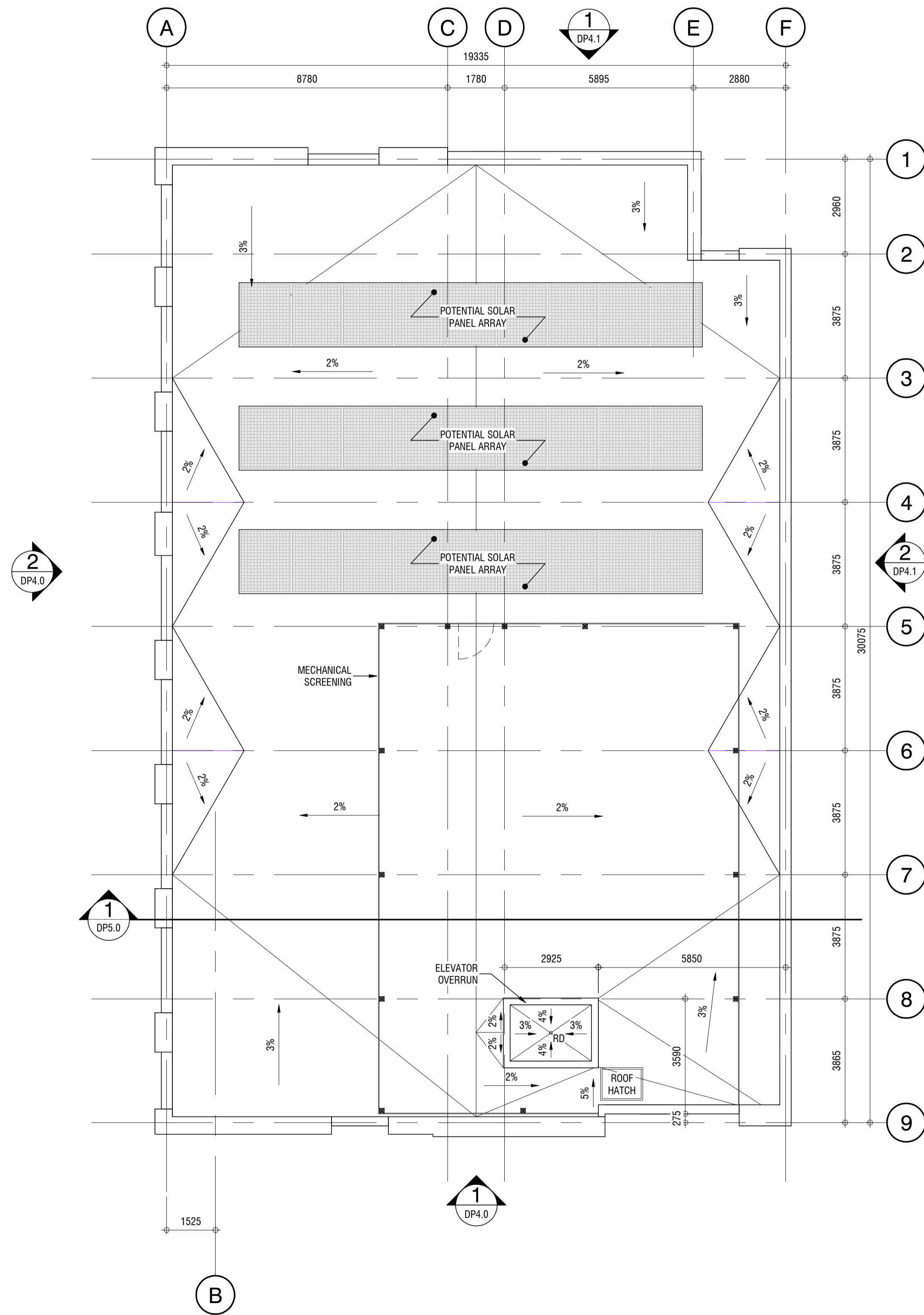
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REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
2 LAND USE & D.P. RE-SUBMISSION	12.08.2022

SCALE 1:100
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DRAWING NO. **DP2.4**

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1 Roof Plan
 DP2.4 SCALE: 1:100
 DP4.0



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BUILDING ELEVATIONS

BCH DISCOVERY SUPPORTIVE HOUSING
 722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
 BC HOUSING 221243

Elevation - Code Legend	
1	VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
2	HORIZONTAL FIBRE CEMENT PLANK SET IN CHANNEL - WHITE
3	METAL PLATE PANEL - DARK GREY
4	PVC WINDOW - BLACK FRAME
5	SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
6	METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
7	SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
8	PAINTED HEAVY TIMBER COLUMNS - BLACK
9	CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY
10	P.T. DECK SKIRTING - GOLDEN OAK TONE
11	P.T. WOOD DECKING - GOLDEN OAK TONE
12	P.T. WOOD STAIRS - GOLDEN OAK TONE
13	METAL HANDRAIL/GUARD - BLACK
14	DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS
15	HOLLOW FRAME STEEL DOOR - CHARCOAL
16	CORRUGATED METAL SCREENING - CHARCOAL
17	MODULAR BRICK - RED
18	POTENTIAL SOLAR PANEL ARRAY



2 West Elevation
 DP4.0 SCALE: 1 : 125
 DP2.0



1 South Elevation
 DP4.0 SCALE: 1 : 125
 DP2.0

NOT FOR CONSTRUCTION

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REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
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DRAWING NO. **DP4.0**

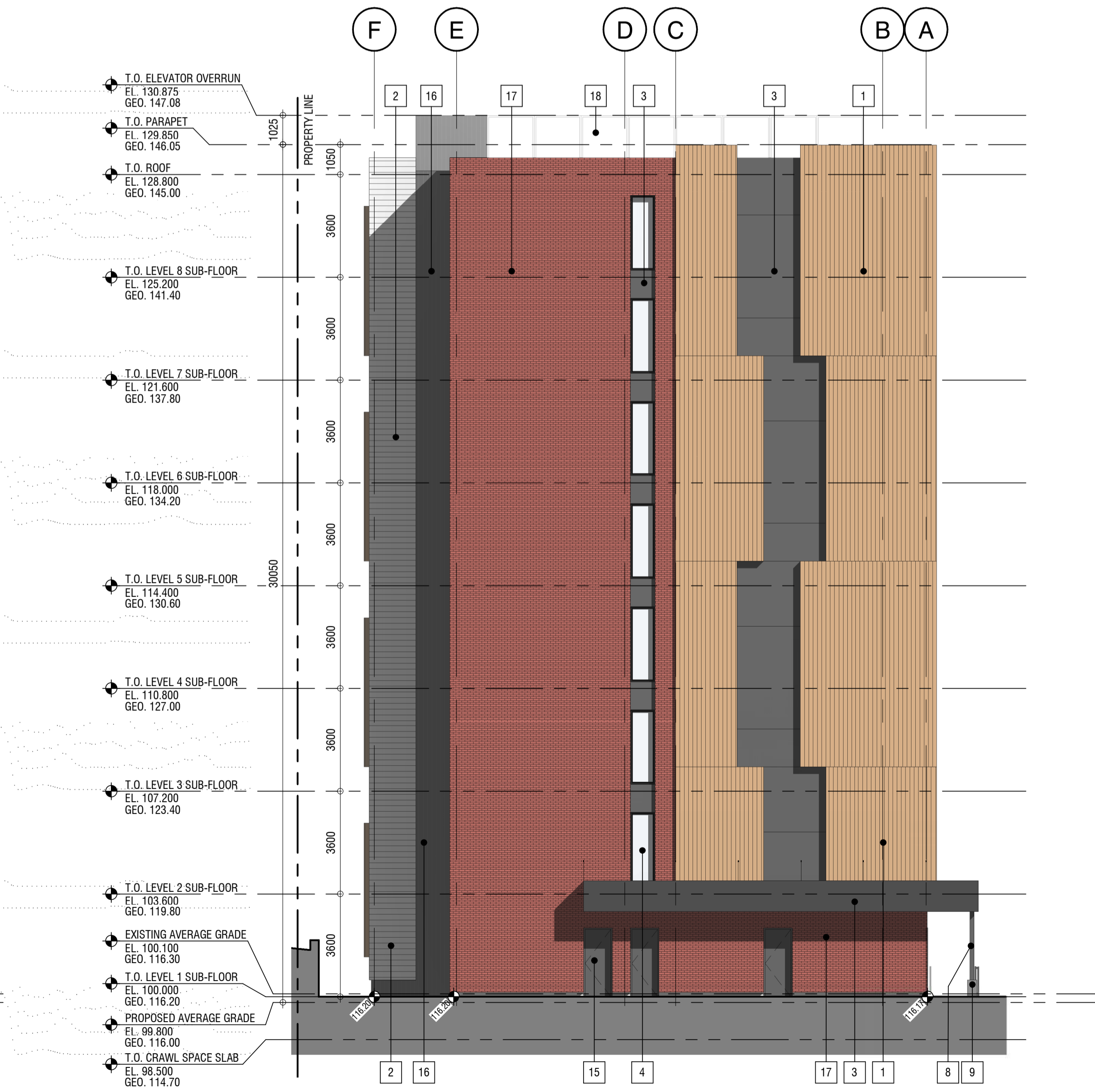
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Elevation - Code Legend

- 1 VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
- 2 HORIZONTAL FIBRE CEMENT PLANK SET IN CHANNEL - WHITE
- 3 METAL PLATE PANEL - DARK GREY
- 4 PVC WINDOW - BLACK FRAME
- 5 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
- 6 METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
- 7 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
- 8 PAINTED HEAVY TIMBER COLUMNS - BLACK
- 9 CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY
- 10 P.T. DECK SKIRTING - GOLDEN OAK TONE
- 11 P.T. WOOD DECKING - GOLDEN OAK TONE
- 12 P.T. WOOD STAIRS - GOLDEN OAK TONE
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS
- 15 HOLLOW FRAME STEEL DOOR - CHARCOAL
- 16 CORRUGATED METAL SCREENING - CHARCOAL
- 17 MODULAR BRICK - RED
- 18 POTENTIAL SOLAR PANEL ARRAY



2 East Elevation
 DP4.1 SCALE: 1 : 125
 DP2.0



1 North Elevation
 DP4.1 SCALE: 1 : 125
 DP2.0

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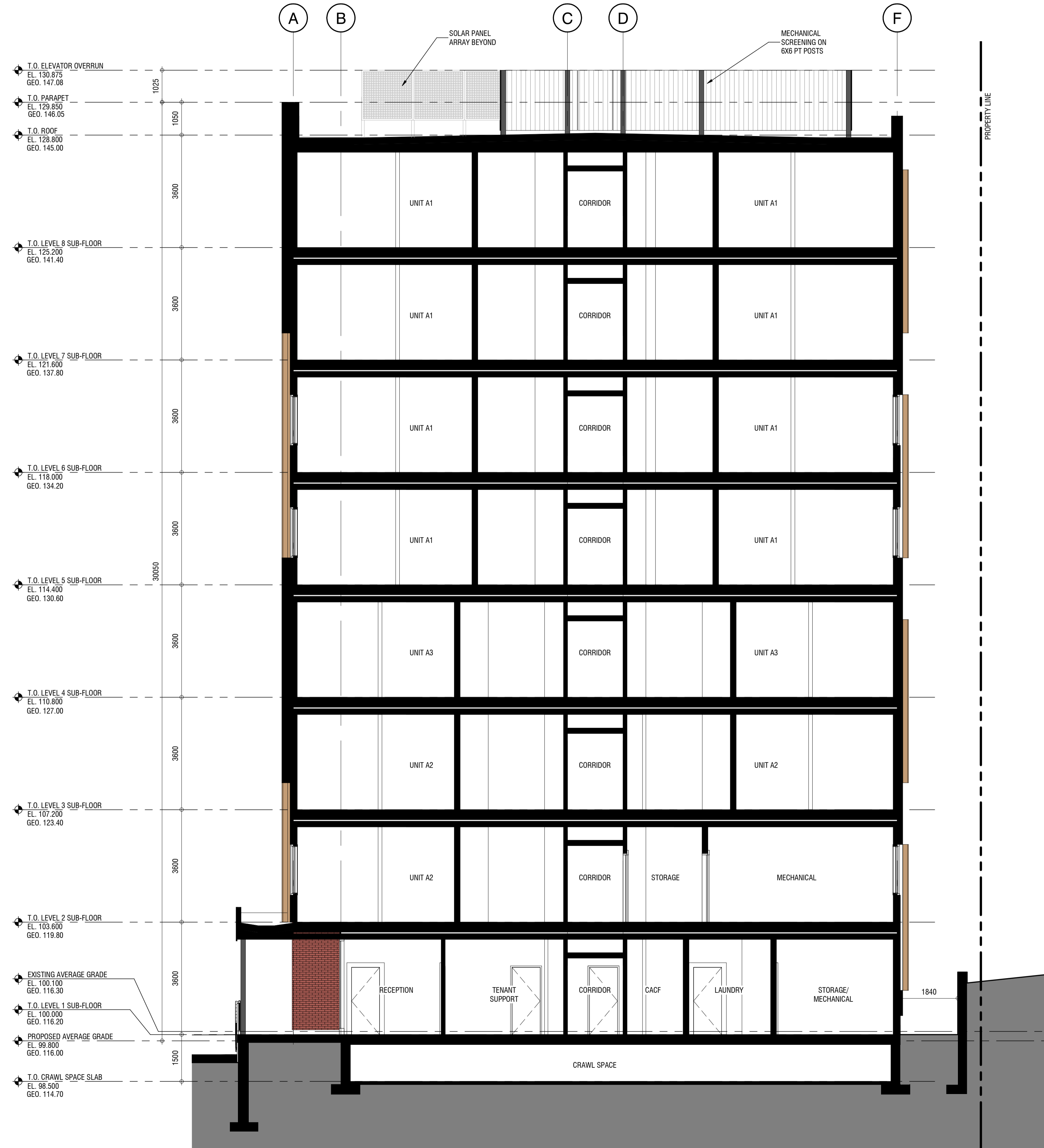
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REVISION	DATE
1 LAND USE & D.P. SUBMISSION	04.29.2022
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SCALE As Indicated
 DATE 8/18/2022 8:46:22 AM
 DRAWN BY MD/AN
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DRAWING NO.

DP4.1



1 BUILDING CROSS SECTION
 DP5.0 SCALE: 1 : 75
 DP2.0

BUILDING SECTIONS

BCH DISCOVERY SUPPORTIVE HOUSING
 722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
 BC HOUSING 221243

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SCALE 1 : 75
 DATE 8/18/2022 8:46:23 AM
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DRAWING NO. **DP5.0**



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AERIAL VIEW LOOKING NORTH-WEST



AERIAL VIEW LOOKING SOUTH-WEST

CONTEXT VISUALIZATIONS

BCH DISCOVERY SUPPORTIVE HOUSING
722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING 221243

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DATE 8/19/2022 8:46:23 AM
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DRAWING NO.
DP6.0



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AERIAL VIEW LOOKING NORTH-EAST



AERIAL VIEW LOOKING SOUTH-EAST

CONTEXT VISUALIZATIONS

BCH DISCOVERY SUPPORTIVE HOUSING
722, 726/732 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221243

NOT FOR CONSTRUCTION

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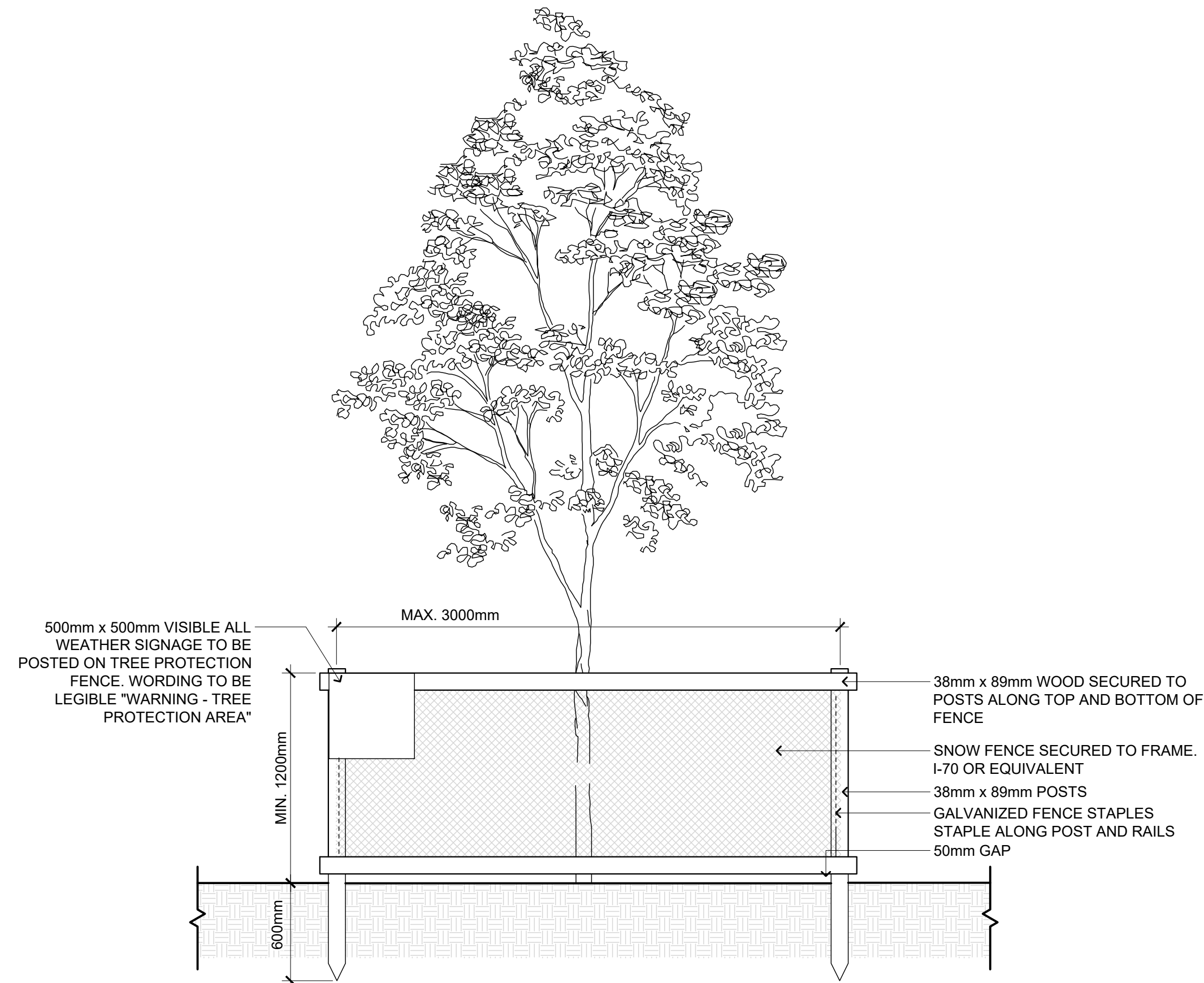
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REVISION	DATE
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2 LAND USE & D.P. RE-SUBMISSION	12.08.2022

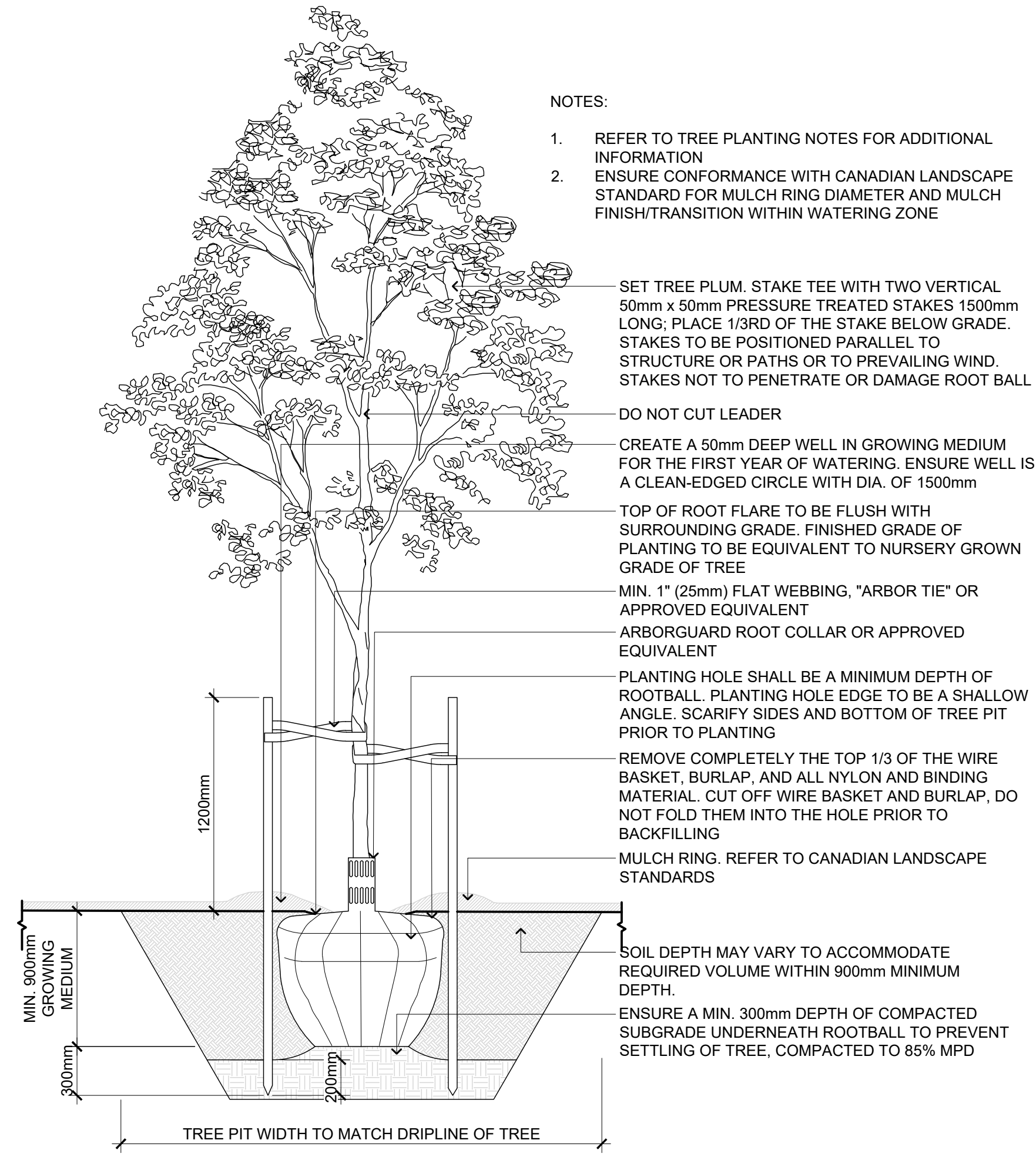
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CHECKED BY CZ

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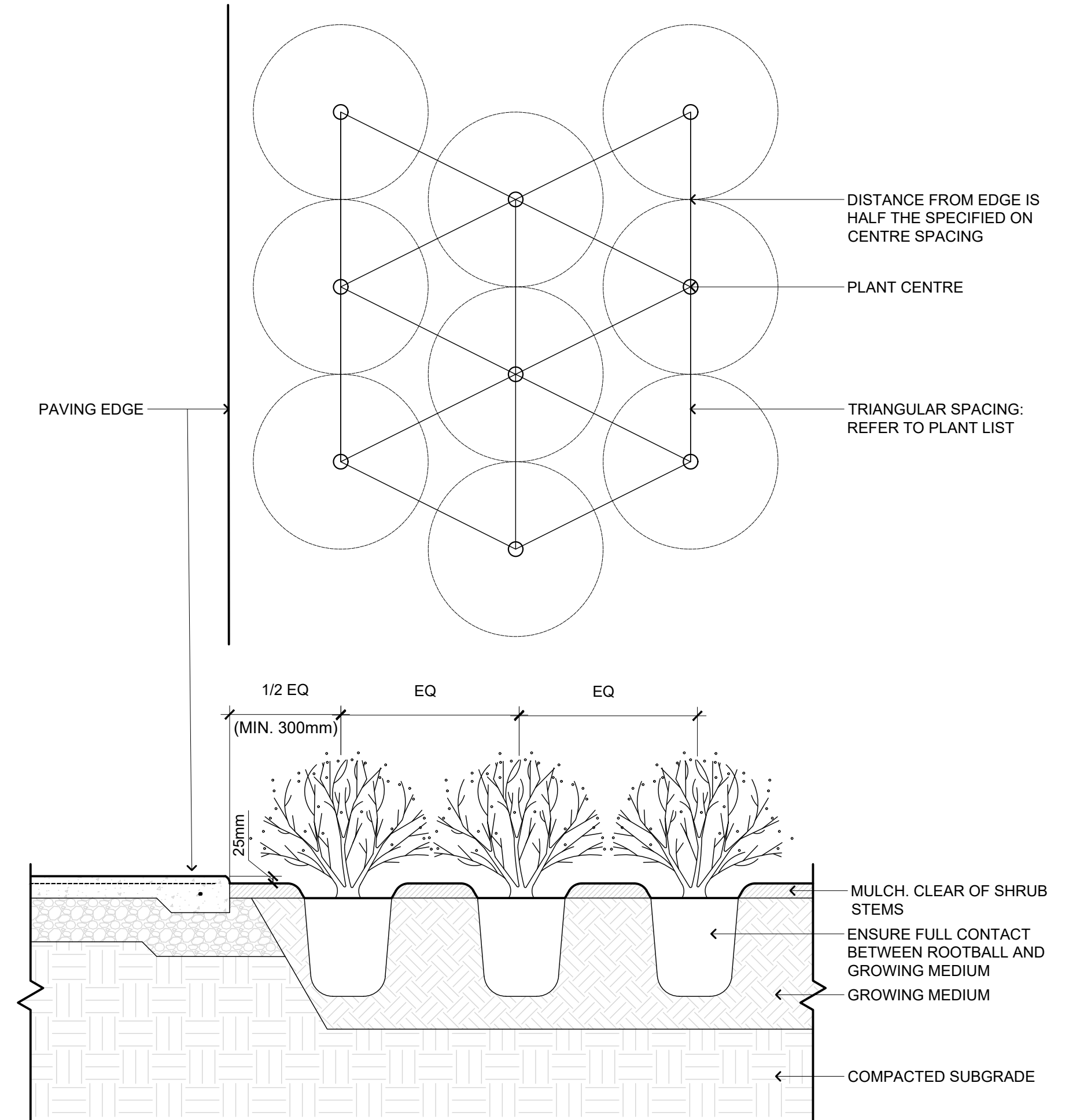
- NOTES:
1. PROTECTION FENCE TO BE LOCATED AT CROWN DRIPLINE OR ADJACENT TO HARD SURFACE, WHICH EVER IS GREATER, OR AT A DISTANCE SPECIFIED BY THE CITY ARBORIST
 2. MANUALLY EXCAVATE AND CUT TREE ROOTS WITHIN 1.0m OF THE TREE PROTECTION FENCING
 3. MACHINERY AND STORAGE IS NOT PERMITTED WITHIN 1.0m OF TREE PROTECTION AREA
 4. ENSURE CONFORMANCE OF PROTECTION FENCING AND APPROVALS COMPLY WITH CITY'S TREE PROTECTION BYLAW

1 TREE PROTECTION FENCING
L-04 SCALE: 1:25



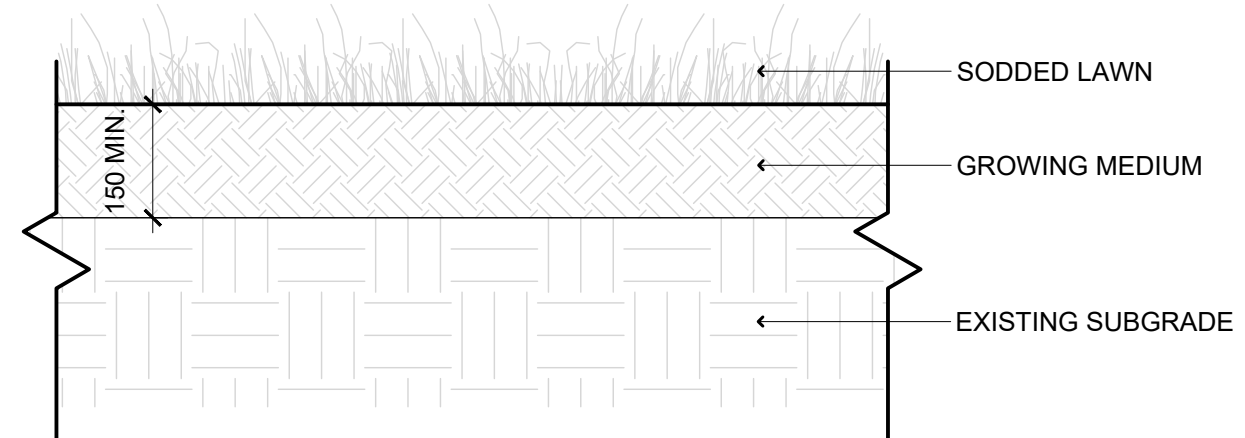
- NOTES:
1. REFER TO TREE PLANTING NOTES FOR ADDITIONAL INFORMATION
 2. ENSURE CONFORMANCE WITH CANADIAN LANDSCAPE STANDARD FOR MULCH RING DIAMETER AND MULCH FINISH/TRANSITION WITHIN WATERING ZONE
- SET TREE PLUM. STAKE TEE WITH TWO VERTICAL 50mm x 50mm PRESSURE TREATED STAKES 1500mm LONG. PLACE 1/3RD OF THE STAKE BELOW GRADE. STAKES TO BE POSITIONED PARALLEL TO STRUCTURE OR PATHS OR TO PREVAILING WIND. STAKES NOT TO PENETRATE OR DAMAGE ROOT BALL
- DO NOT CUT LEADER
- CREATE A 50mm DEEP WELL IN GROWING MEDIUM FOR THE FIRST YEAR OF WATERING. ENSURE WELL IS A CLEAN-EDGED CIRCLE WITH DIA. OF 1500mm
- TOP OF ROOT FLARE TO BE FLUSH WITH SURROUNDING GRADE. FINISHED GRADE OF PLANTING TO BE EQUIVALENT TO NURSERY GROWN GRADE OF TREE
- MIN. 1" (25mm) FLAT WEBBING, "ARBOR TIE" OR APPROVED EQUIVALENT
- ARBORGUARD ROOT COLLAR OR APPROVED EQUIVALENT
- PLANTING HOLE SHALL BE A MINIMUM DEPTH OF 1200mm. PLANTING HOLE EDGE TO BE A SHALLOW ANGLE. SCARIFY SIDES AND BOTTOM OF TREE PIT PRIOR TO PLANTING
- REMOVE COMPLETELY THE TOP 1/3 OF THE WIRE BASKET, BURLAP, AND ALL NYLON AND BINDING MATERIAL. CUT OFF WIRE BASKET AND BURLAP, DO NOT FOLD THEM INTO THE HOLE PRIOR TO BACKFILLING
- MULCH RING. REFER TO CANADIAN LANDSCAPE STANDARDS
- SOIL DEPTH MAY VARY TO ACCOMMODATE REQUIRED VOLUME WITHIN 900mm MINIMUM DEPTH.
- ENSURE A MIN. 300mm DEPTH OF COMPACTED SUBGRADE UNDERNEATH ROOTBALL TO PREVENT SETTLING OF TREE, COMPACTED TO 85% MPD

2 TREE PLANTING
L-04 SCALE: 1:25



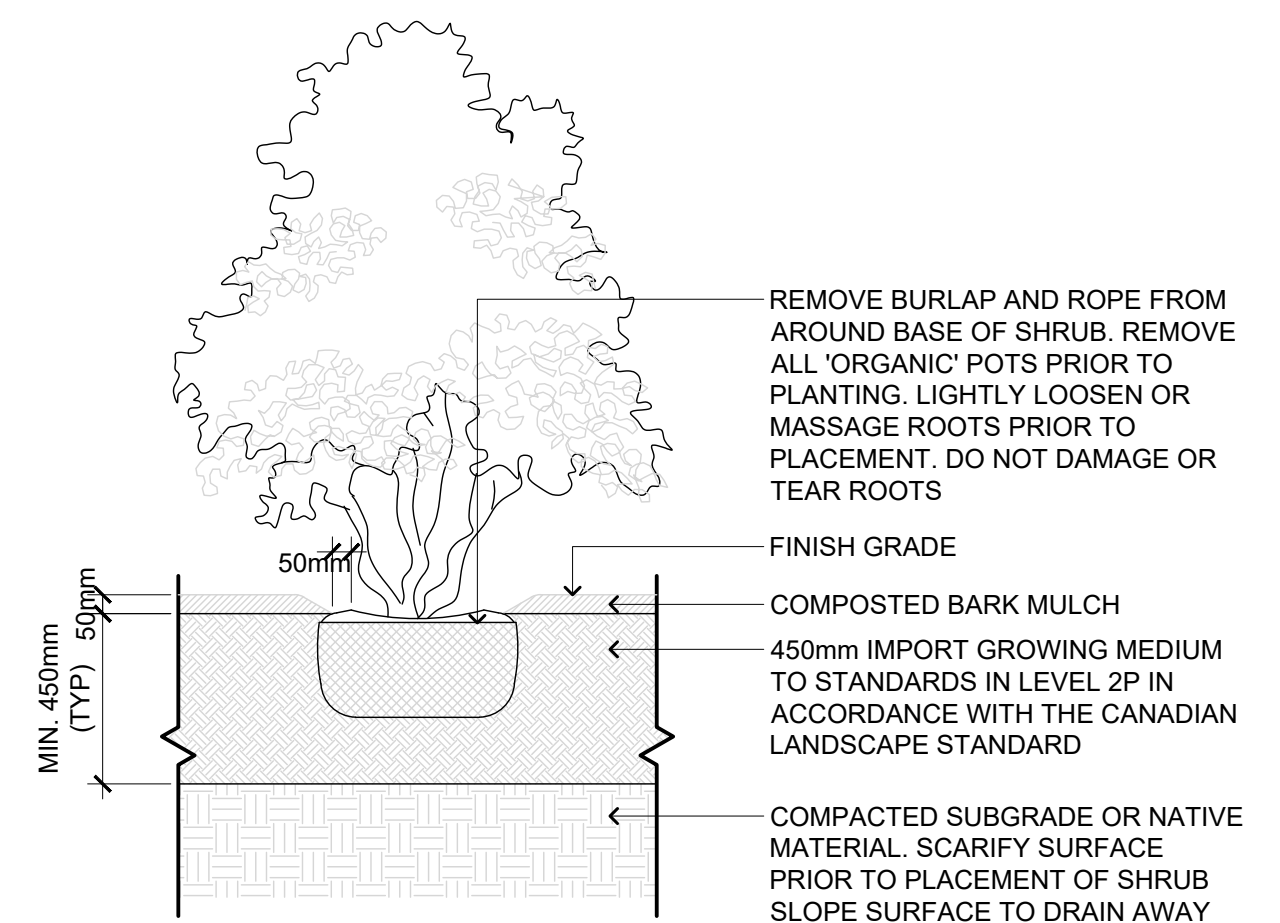
- NOTES:
1. REFER TO CANADIAN LANDSCAPE STANDARD FOR COMPACTION AND PREPARATION REQUIREMENTS FOR PLANTING BEDS
 2. REFER TO TYPICAL SHRUB PLANTING DETAILS FOR INFORMATION ON MULCH AND GROWING MEDIUM
 3. ENSURE MATURE SHRUB FORM WILL NOT OVERHANG WALKWAY
 4. COMPACTION RATE TO BE 95% MPD UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT

3 SHRUB SPACING DETAIL
L-04 SCALE: 1:15



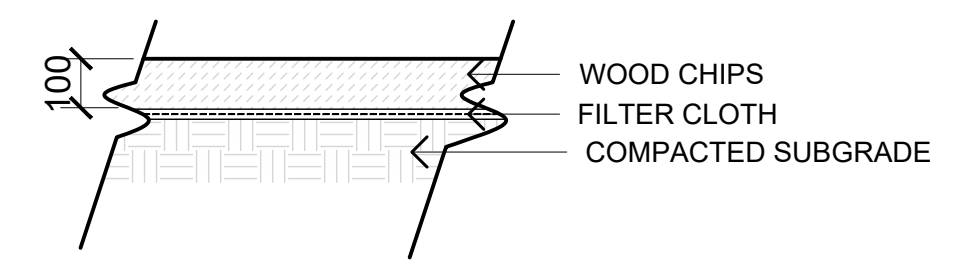
- NOTE:
1. ALL LAWN TO BE SEEDDED IN TWO DIRECTIONS AT 90° FROM EACH OTHER
 2. GROWING MEDIUM TO BE IN ACCORDANCE WITH LEVEL 1 WELL GROOMED "H/H/L" (BASED ON THE USE) AS PER THE CANADIAN LANDSCAPE STANDARDS

4 SOD LAWN DETAIL
L-04 SCALE: 1:10



- NOTES:
1. SHRUB TO BE PLANTED LEVEL WITH FINISH GRADE
 2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB
 3. PLANTING PIT MUST BE FREE DRAINING
 4. DISTURBED SUBGRADE, NATIVE MATERIAL, OR IMPORT FILL TO BE SUITABLY COMPACTED IN ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS TO PREVENT SETTLEMENT OF ROOTBALL
 5. PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD, DISEASED, DAMAGED, OR DEFECTIVE BRANCHES IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD
 6. REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATES UNLESS OTHERWISE SPECIFIED

5 SHRUB PLANTING DETAIL
L-04 SCALE: 1:20

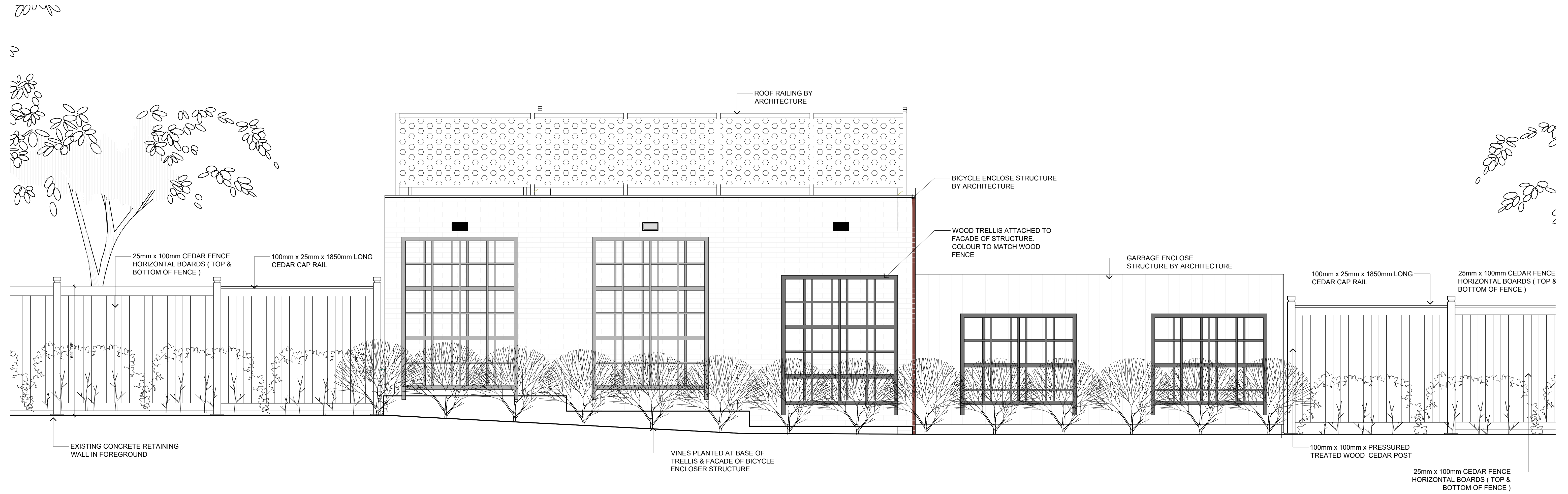


6 WOOD CHIPS | MULCH
L-04 SCALE: 1:20



ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")				SEALED	
1	22/08/15	RE-ISSUED FOR DEVELOPMENT PERMIT	MJH		
0	22/04/29	ISSUED FOR PRELIMINARY DEVELOPMENT PERMIT	LN		
NO.	DATE	DESCRIPTION	BY		

DESIGN BY	MJH	SHEET TITLE	
DRAWN BY	LN		
CHECKED BY	MJH		
PROJECT #	21-01841-00	SHEET NO.	
SCALE	AS SHOWN		



1 ELEVATION - BIKE AND WASTE ENCLOSURE WITH TRELLIS FEATURE
 L-07 SCALE: 1:25



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

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PROJECT
BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.
CLIENT
NRB Modular Solutions
CONSULTANT
WSP

ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")			
1	22/08/15	RE-ISSUED FOR DEVELOPMENT PERMIT	MJH
0	22/04/29	ISSUED FOR PRELIMINARY DEVELOPMENT PERMIT	LN
NO.	DATE	DESCRIPTION	BY

SEALED

DESIGN BY MJH
 DRAWN BY LN
 CHECKED BY MJH
 PROJECT # 211-01841-00
 SCALE AS SHOWN

SHEET TITLE
DETAILS
 SHEET NO.
L-07

SUPPORTIVE HOUSING, DISCOVERY STREET, VICTORIA, BC

RE-ISSUED FOR DEVELOPMENT PERMIT

CITY OF
VICTORIA

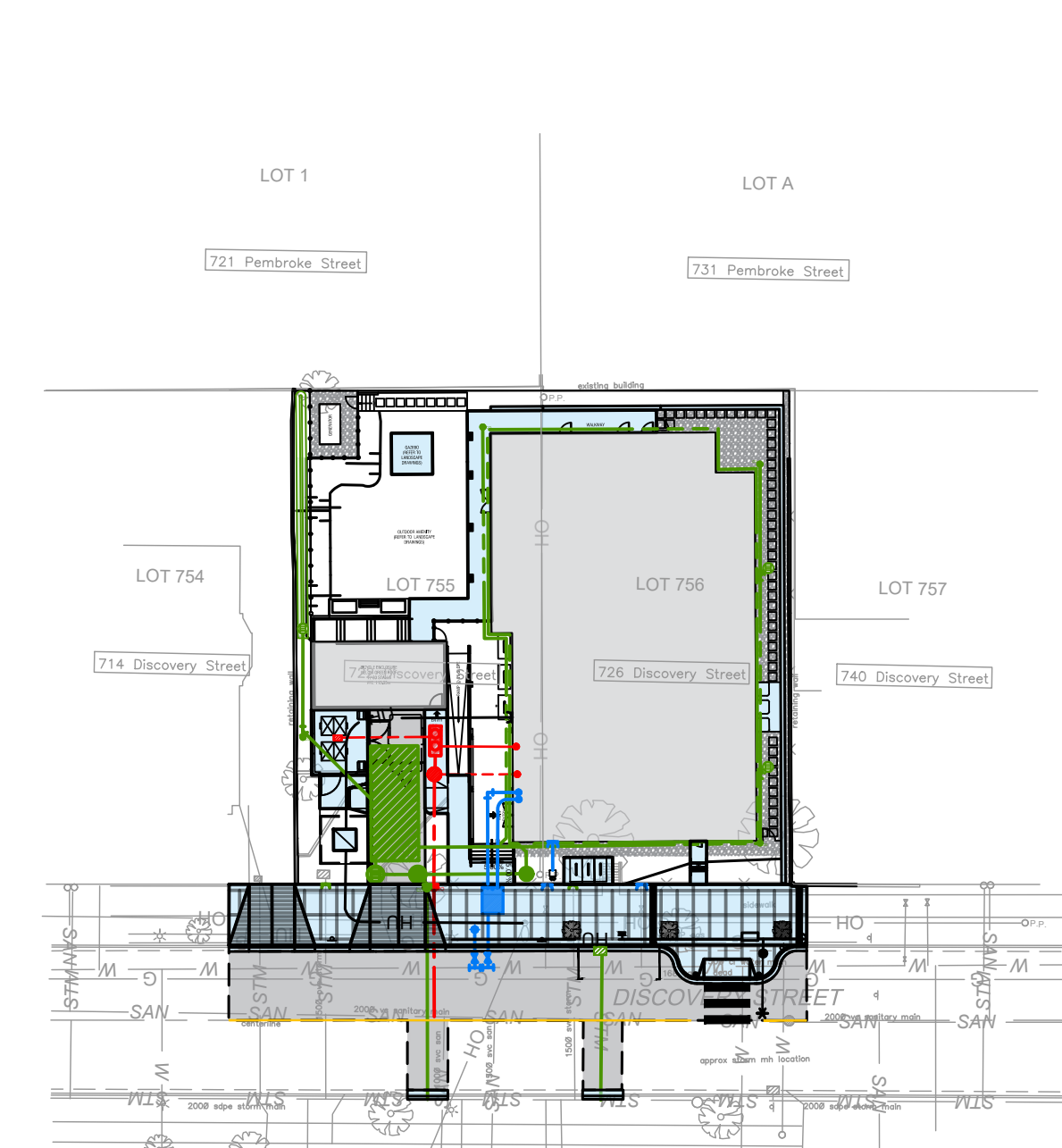


PROJECT LOCATION

PROJECT LOCATION MAP
SCALE: NTS



DRAWING INDEX:

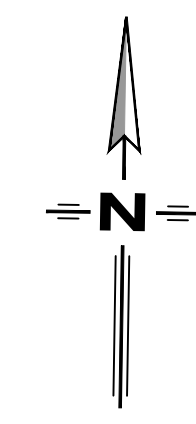
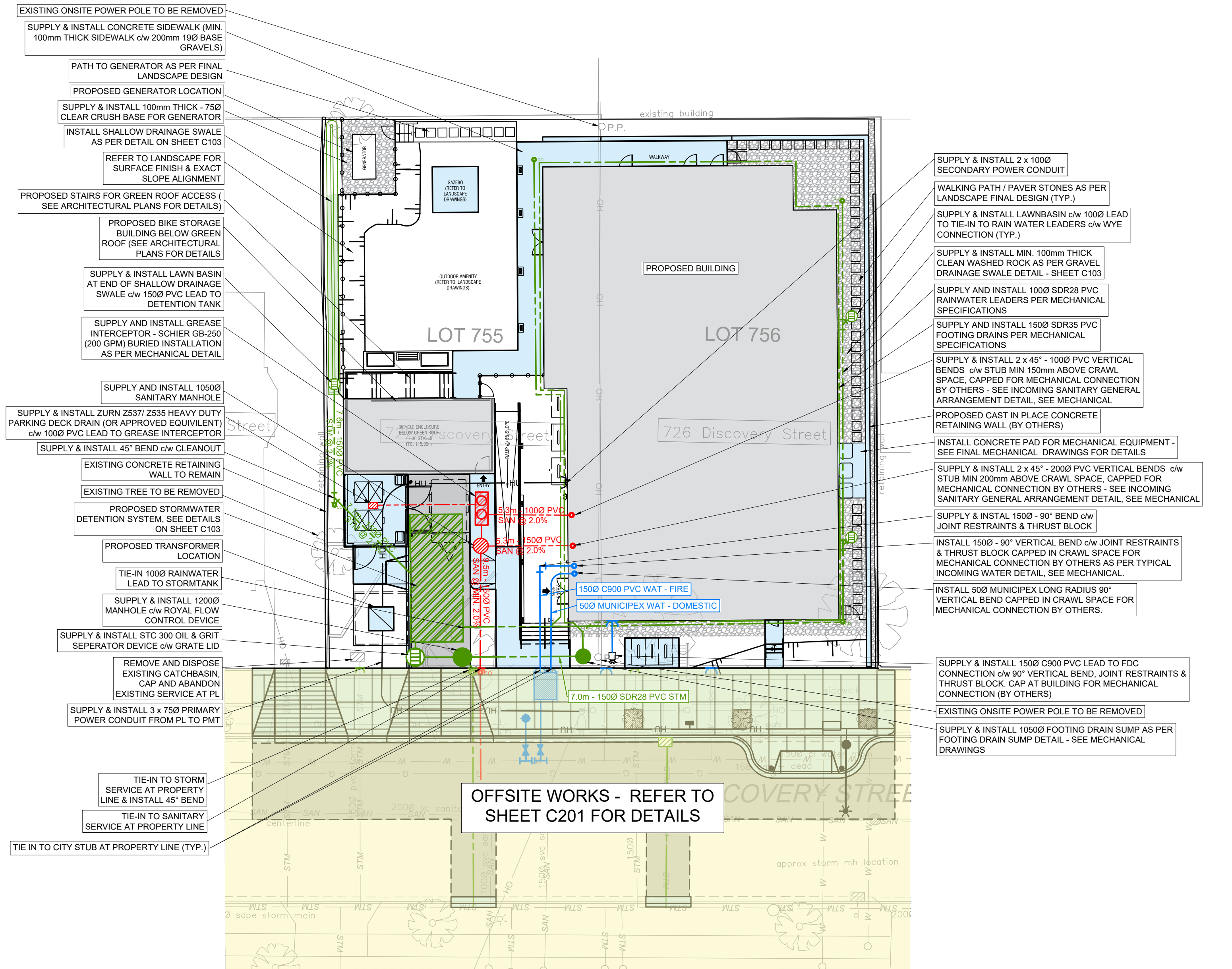
- C000 - TITLE
- C101 - SITE SERVICING PLAN
- C102 - SITE GRADING PLAN
- C103 - STORMWATER MANAGEMENT PLAN
- C201 - OFFSITE SERVICING & GRADING PLAN
- C202 - LINE PAINTING & SIGNAGE PLAN
- C501 - GENERAL NOTES & DETAILS



OVERALL PROJECT
SCALE 1: 500

PLOT August 18, 2022 COMPUTER-1-2: PROJECTS\249-1 - CIVIL ENGINEERING\DRAWINGS\1 - DESIGN\249-1 - DISCOVERY STREET VICTORIA - DSN.DWG (REF-DWG-NAMES)

PROJECT No: 249-1	DWG No: C000	SHEET: 1 OF 7	PERMIT No: 1001279
PREPARED FOR: 	PREPARED BY:  825C LAKESHORE DRIVE W PO BOX 106 SALMON ARM, BC V1E 4N2 PH. (250) 832-3220	DESIGN BY: SPH DESIGN DATE: 2022/03/18 REVIEWED BY: SAP DRAWN BY: SPH REVISION NUMBER: 3 REVISION DATE: 2022/08/10 ALL MEASUREMENTS IN m UNLESS OTHERWISE NOTED.	<div style="border: 1px solid black; padding: 5px; text-align: center;"> CITY OF VICTORIA APPROVED BY: _____ DATE: _____ </div>



LEGEND

- EXISTING**
- HYDROTELEPHONE POLE
 - HYDROTELEPHONE POLE c/w DAVIT
 - TELEPHONE POLE
 - HYDRO POLE
 - HYDRO POLE c/w TRANS
 - POST TOP STREET LIGHT
 - GUY
 - SANITARY MANHOLE
 - STORM MANHOLE
 - CATCHBASIN
 - FIRE HYDRANT
 - GATE VALVE
 - SANITARY SEWER
 - WATER MAIN
 - GAS
 - UNDERGROUND TELEPHONE
 - FENCE
 - DECIDUOUS/EVERGREEN
 - HEDGE
- PROPOSED**
- SANITARY MANHOLE
 - STORM MANHOLE
 - CATCHBASIN
 - GATE VALVE
 - FIRE HYDRANT
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN
 - DITCHLINE
 - INLET/OUTLET HEADWALL
 - END CAP
 - WHEEL CHAIR RAMP
 - DRIVEWAY LETDOWN

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DRAWINGS ARE NOT TO BE SCALED

NO.	DATE YEAR/M/D	DESCRIPTION	BY	APPD
3	2022/08/10	RE-ISSUED FOR DEVELOPMENT PERMIT	SPH	SAP
2	2022/04/28	ISSUED FOR DEVELOPMENT PERMIT	SPH	SAP
1	2022/04/06	ISSUED FOR REZONING APPLICATION	SPH	SAP
0	2022/03/18	ISSUED FOR REVIEW	SPH	SAP

REVISIONS	
DESIGN	SPH
DRAWN	SPH
DATE	2022/03/18
CHECKED	SAP

PERMIT No.: 1001279

SCALES: 0 2 4 6 8 Meters
1:200

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P: (250) 832-3220

S2 architecture

SUPPORTIVE HOUSING
- DISCOVERY STREET,
VICTORIA, BC

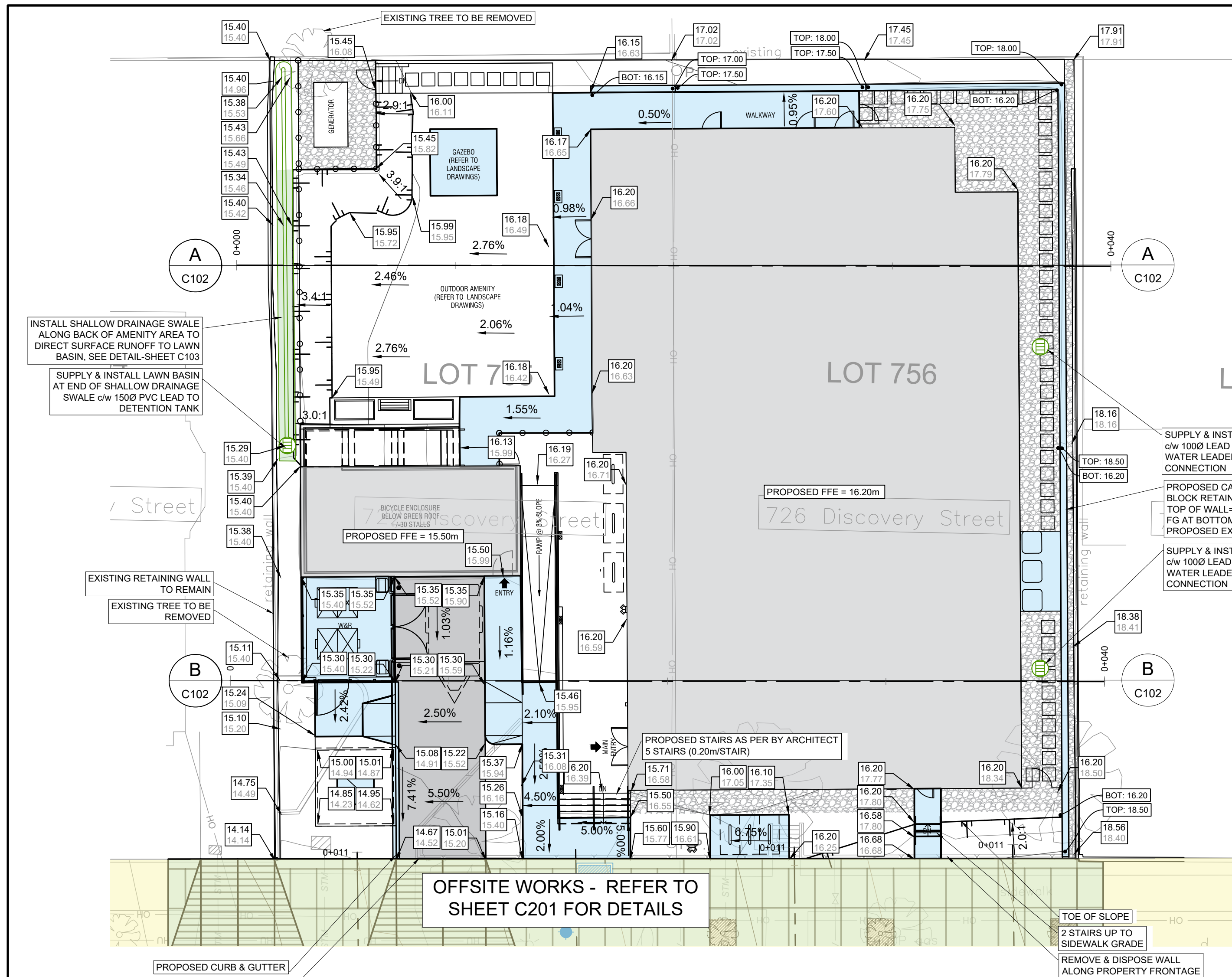
SITE SERVICING PLAN

PROJECT No.	249-1
SHEET	2 OF 7
DWG. No.	C101
REV. No.	3

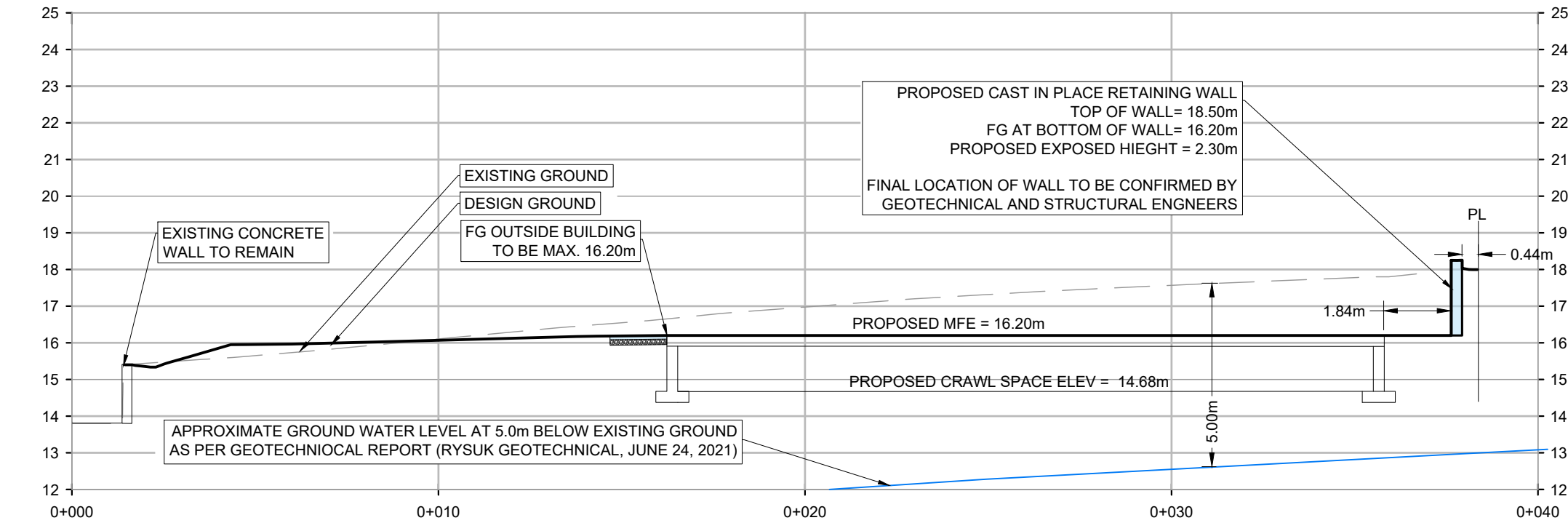
TABLE 1: DOMESTIC WATER DEMAND INFORMATION

CRD Water Service Requirements:			
Domestic Water Daily Demand			
1 Hour Peak Domestic Water Demand			
CRD - Engineering Specifications			
Average Day Demand:	545	L/Cap/Day	
Max Day Demand:	1362.5	L/Cap/Day	
Peak Hour Demand:	763	L/Cap/Day	
Discovery Street BCH - Maximum Occupancy =	90	ppl	
Plus Max 5 Staff =	5	ppl	
Total Maximum Occupancy =	95	ppl	
*Units are single occupancy!			
Discovery Street BCH - Apartments			
Average Day Demand:	51775	L/Day	9.50 USGPM 0.590 L/s
Max Day Demand:	129437.5	L/Day	23.75 USGPM 1.498 L/s
Peak Hour Demand:	72485	L/Day	13.30 USGPM 0.88 L/s

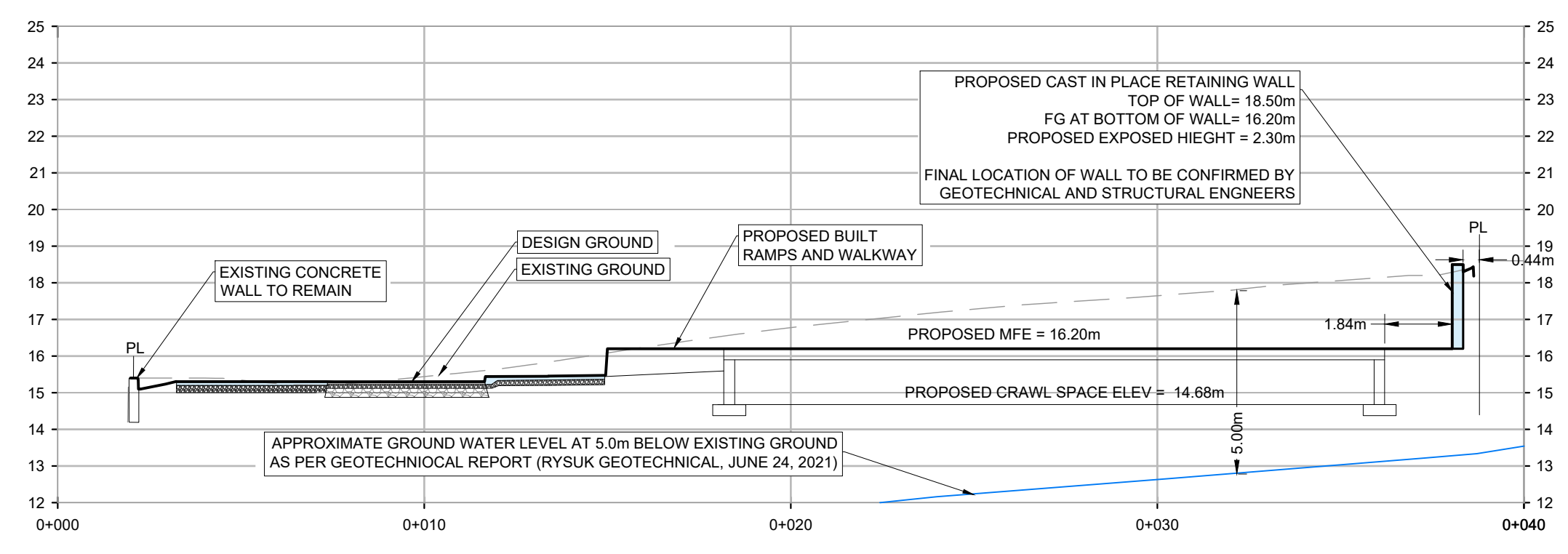
PLOT August 18, 2022 COMPUTER-42\PROJECTS\249-1 - DISCOVERY STREET VICTORIA - CIVIL\ENGINEERING\DRAWINGS\1 - DESIGN\048 - DISCOVERY STREET VICTORIA - CSN.DWG (REF-DWG-NAMES)



CROSS SECTION A-A



CROSS SECTION B-B



LEGEND	
EXISTING	
[Symbol]	HYDROTELEPHONE POLE
[Symbol]	HYDRO TELEPHONE POLE C/W DAVIT
[Symbol]	TELEPHONE POLE
[Symbol]	HYDRO POLE C/W TRANS
[Symbol]	POST TOP STREET LIGHT
[Symbol]	GUY
[Symbol]	SANITARY MANHOLE
[Symbol]	STORM MANHOLE
[Symbol]	CATCHBASIN
[Symbol]	FIRE HYDRANT
[Symbol]	GATE VALVE
[Symbol]	SANITARY SEWER
[Symbol]	WATER MAIN
[Symbol]	GAS
[Symbol]	UNDERGROUND TELEPHONE
[Symbol]	FENCE
[Symbol]	DECIDUOUS/EVERGREEN
[Symbol]	HEDGE
PROPOSED	
[Symbol]	SANITARY MANHOLE
[Symbol]	STORM MANHOLE
[Symbol]	CATCHBASIN
[Symbol]	GATE VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	SANITARY SEWER
[Symbol]	WATER MAIN
[Symbol]	DITCHLINE
[Symbol]	INLET/OUTLET HEADWALL
[Symbol]	END CAP
[Symbol]	WHEEL CHAIR RAMP
[Symbol]	DRIVEWAY LETDOWN

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1	2022/04/06	ISSUED FOR ZONING APPLICATION	SPH	SAP
0	2022/03/18	ISSUED FOR REVIEW	SPH	SAP

REVISIONS	
DESIGN	SPH
DRAWN	SPH
DATE	2022/03/18
CHECKED	SAP

PERMIT No.: 1001279
 SCALES: 0 1.5 3 4.5 6 Meters
 1:150

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S2
architecture

SUPPORTIVE HOUSING
- DISCOVERY STREET,
VICTORIA, BC

GRADING PLAN

PROJECT No.	249-1
SHEET	3 OF 7
DWG. No.	C102
REV. No.	3

PLOT August 18, 2022 COMPUTER-A2-PROJECTS249-1 - DISCOVERY STREET VICTORIA - CIVIL ENGINEERING DRAWINGS - DESIGN-049 - DISCOVERY STREET VICTORIA - CSN.DWG (REF-DWG-NAME)

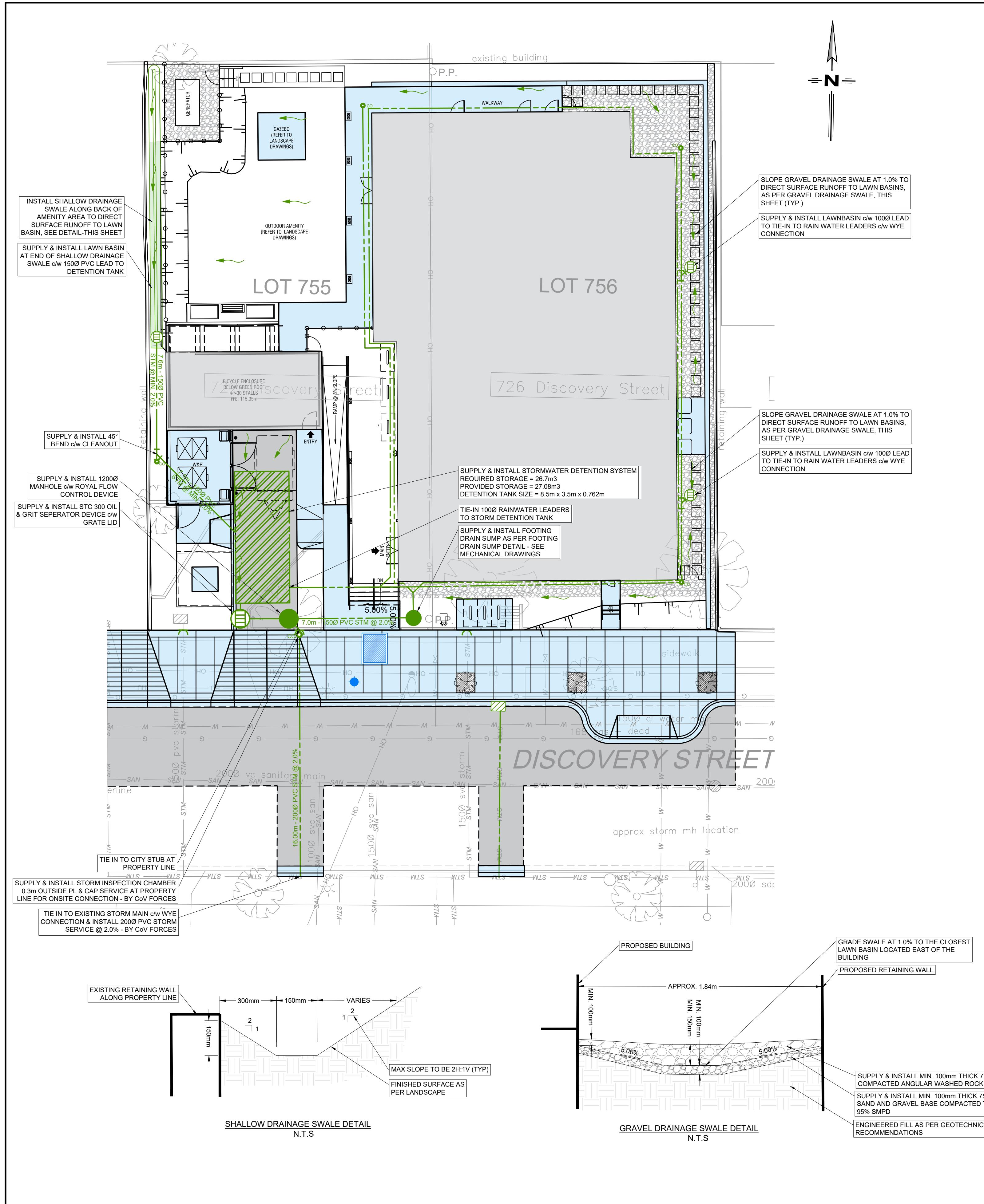


TABLE 1: STORM WATER STORAGE REQUIREMENTS

Project:	732 Discovery Street	LEDS Project #:	249-1
Date:	2022-04-07	Prepared By:	SPH
Location:	Victoria, BC	Checked By:	SAP

Impervious Area(s)	Roofs	638
	Parking	76
	Concrete	121
Total Area Impervious (m2)		835
Precipitation (m)		0.032

Post-Development Detention
32mm over impervious area to be detained onsite and released at pre-dev. rate

Volume	26.72 m³
---------------	----------

TABLE 2: STORMTANK STORAGE VOLUME

STORMTANK[®] Module Volume Calculator

Project Name: VAHA Discovery Street

Engineer: Stuart Purves, P.Eng **Date:** 11-Apr-22

Units: SI **Shape:** Square/Rectangle

Liner: Yes **Location:** Excavation

Stacking: Single **Height:** 762

Stone Storage: All **Porosity:** 40%

Module Dimensions: Length: 8.5 m, Width: 3.5 m

Excavation Dimensions: Length: 8.8 m, Width: 3.80 m

Leveling Bed: 0 m
Top Backfill: 0.3 m
Compacted Fill: 0.3 m

Capacity:
Stone Storage Volume: 5.14 m³
Module Storage Volume: 21.94 m³
Total Storage Volume: 27.08 m³

Quantities:
Required Excavation: 45.55 m³
Required Stone Volume: 12.84 m³

Estimated Geotextile: 294.53 m²
Estimated Liner: 104.05 m²
(Estimations include 10% for scrap and overlap)

Storage Capacity Ratio: 19% Stone Storage Volume, 81% Module Storage Volume

Basin Detail:

Component Quantities:	Bottom Layer	Top Layer	Total
Height	762.0	N/A	762.0
# of Modules	71	N/A	71
# of Platens	142	N/A	142
# of Side Panels	52	N/A	52
# of Columns	569	N/A	569
# of Stacking Pins	0	N/A	0

Cross-Section: Shows layers including compacted fill, top backfill, leveling bed, and side backfill.

LEGEND

EXISTING

- HYDROTELEPHONE POLE
- HYDROTELEPHONE POLE c/w DAVIT
- TELEPHONE POLE
- HYDRO POLE
- HYDRO POLE c/w TRANS
- POST TOP STREET LIGHT
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1	20220406	ISSUED FOR REZONING APPLICATION	SPH	SAP
0	20220318	ISSUED FOR REVIEW	SPH	SAP

REVISIONS

DESIGN	SPH
DRAWN	SPH
DATE	2022/03/18
CHECKED	SAP

PERMIT No.: 1001279

SCALES: 0 1.5 3 4.5 6 Meters
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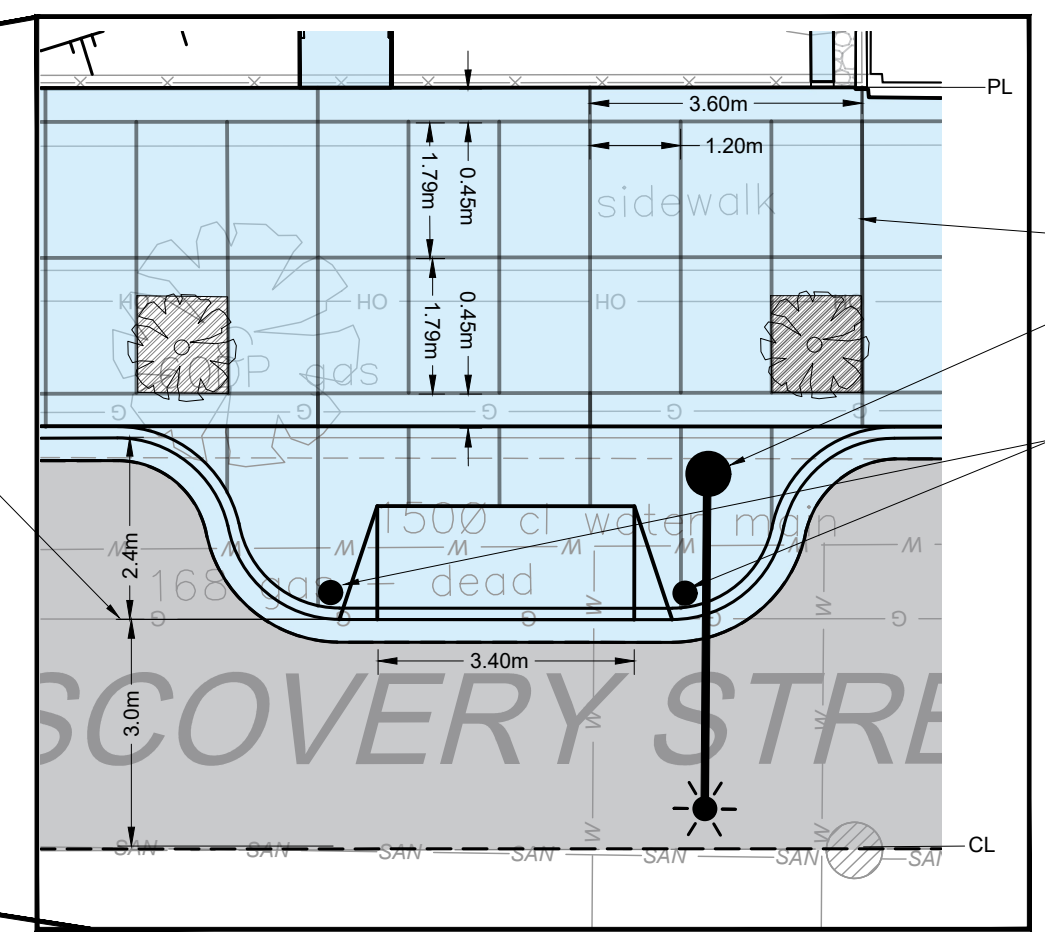
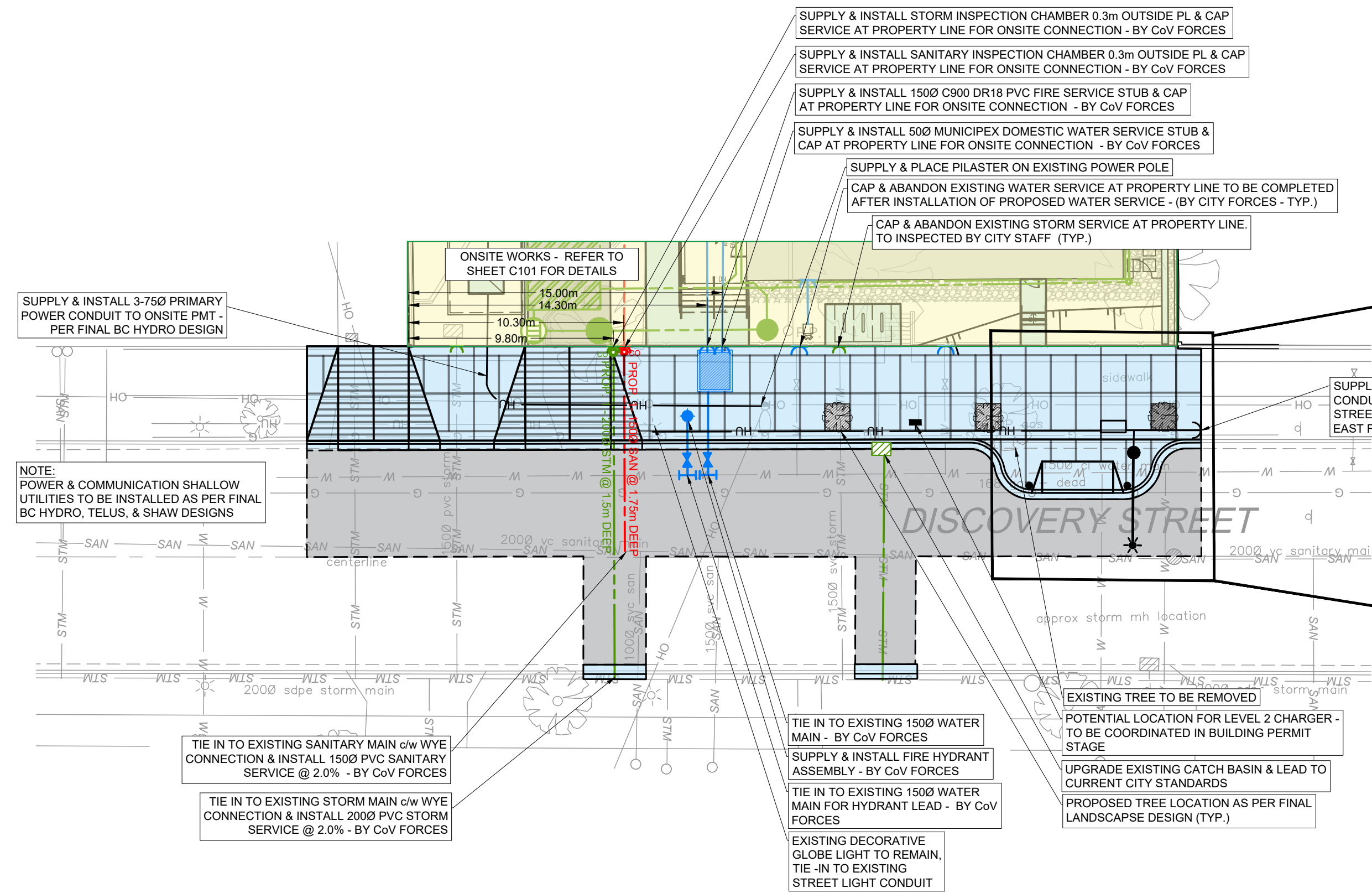
S2 architecture

SUPPORTIVE HOUSING - DISCOVERY STREET, VICTORIA, BC

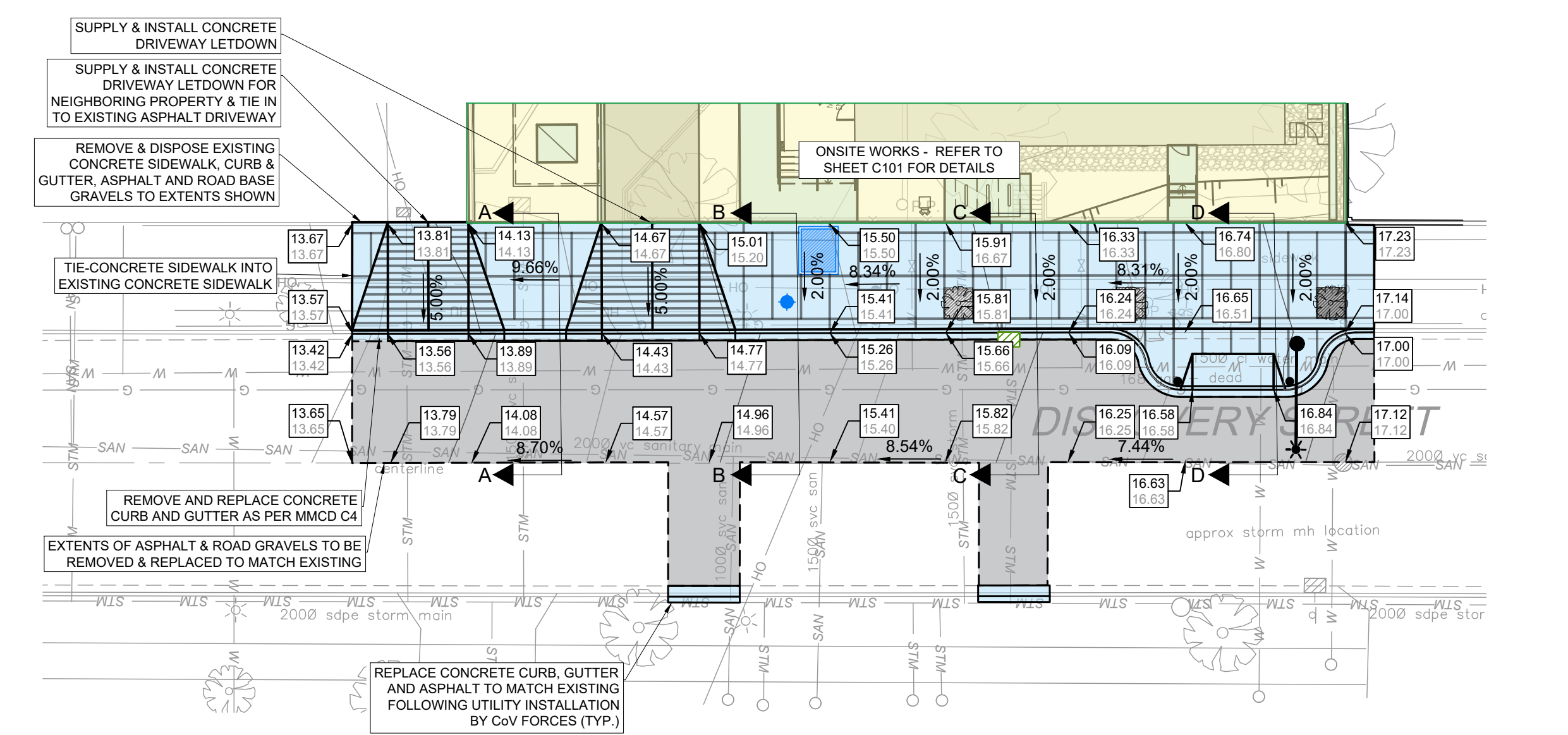
PRELIMINARY STORMWATER MANAGEMENT PLAN

PROJECT No. 249-1
SHEET 4 OF 7
DWG. No. C103 REV. No. 3

PLOT August 18, 2022 COMPUTER-4-PROJECTS249-1 - DISCOVERY STREET VICTORIA - CIVIL ENGINEERING DRAWINGS - DESIGN-4-1 - DISCOVERY STREET VICTORIA - CSN.DWG (REF-DWG-NAME)



SIDEWALK SCORING & CROSSWALK BULB DETAIL
SCALE: 1:100

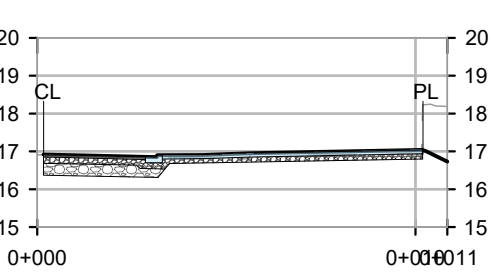
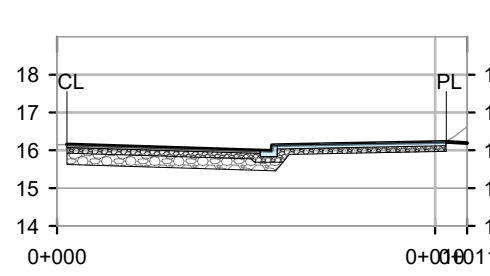
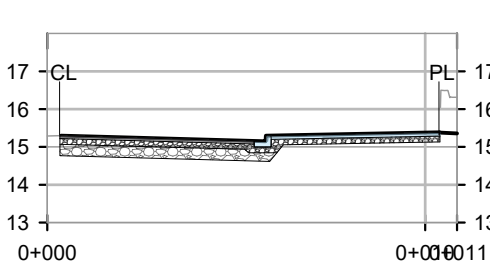
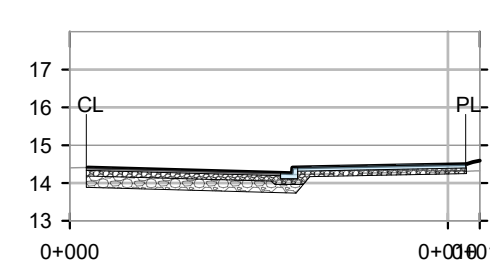


CROSS SECTION A-A

CROSS SECTION B-B

CROSS SECTION C-C

CROSS SECTION D-D



LEGEND

- EXISTING**
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 - HYDRO/TELEPHONE POLE C/W DAVIT
 - TELEPHONE POLE
 - HYDRO POLE
 - HYDRO POLE C/W TRANS
 - POST TOP STREET LIGHT
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0	20220318	ISSUED FOR REVIEW	SPH	SAP

REVISIONS	
DESIGN	SPH
DRAWN	SPH
DATE	2022/03/18
CHECKED	SAP

PERMIT No.: 1001279
 SCALES: 0 2 4 6 8 Meters
 1:200

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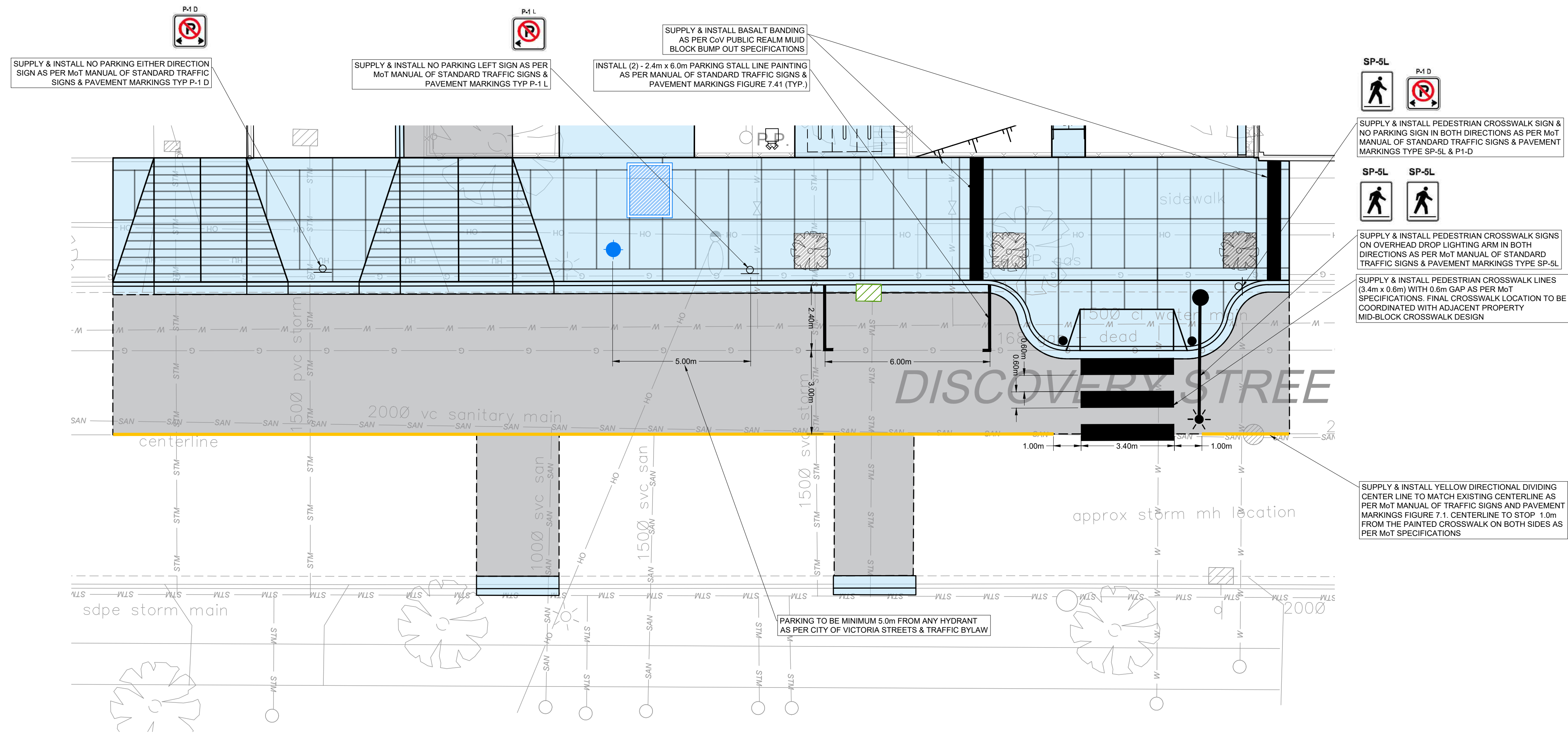
S2
 architecture

SUPPORTIVE HOUSING
 - DISCOVERY STREET,
 VICTORIA, BC

OFFSITE
 SERVICING &
 GRADING PLAN

PROJECT No.	249-1
SHEET	5 OF 7
DWG. No.	C201
REV. No.	3

PLOT August 18, 2022 COMPUTER+2\PROJECTS\249-1 - DISCOVERY STREET VICTORIA.V - CIVIL\ENGINEERING\DRAWINGS\1 - DESIGN\04-1 - DISCOVERY STREET VICTORIA - CSN.DWG (REV.DWG-NAMES)



LEGEND

EXISTING	
•	HYDROTELEPHONE POLE
•	TELEPHONE POLE
•	HYDRO POLE
•	HYDRO POLE CW TRANS
•	POST TOP STREET LIGHT
•	GUY
•	SANITARY MANHOLE
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REVISIONS

DESIGN	SPH
DRAWN	SPH
DATE	2022/03/18
CHECKED	SAP

PERMIT No.: 1001279
 SCALES: 0 1 2 3 4 Meters
 1:100

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 P: (250) 832-3220

S2 architecture

SUPPORTIVE HOUSING - DISCOVERY STREET, VICTORIA, BC

LINE PAINTING & SIGNAGE PLAN

PROJECT No.	249-1
SHEET	6 OF 7
DWG. No.	C202
REV. No.	3

PLOT August 18, 2022 COMPUTER-A2-PROJECTS249-1 - DISCOVERY STREET VICTORIA - CIVIL ENGINEERING DRAWINGS - CSD.DWG (REF:DWG-NAME)

GENERAL NOTES:

- ALL WORKS TO CONFORM TO THE CITY OF VICTORIA BYLAWS AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) AND STANDARD DETAIL DRAWINGS, UNLESS OTHERWISE SPECIFIED.
- ALL MATERIALS SHALL CONFORM TO THE CITY OF VICTORIA APPROVED PRODUCTS LIST.
- SCHEDULE 40 AND SCHEDULE 80 PLASTIC PIPE SHALL NOT BE USED FOR ANY SITE APPLICATIONS IN THE SITE WORK.
- ANY REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY THE DESIGN ENGINEER, WHO SHALL REVIEW ANY CHANGES WITH THE CITY OF VICTORIA DIRECTOR OF INFRASTRUCTURE SERVICES.
- CONTRACTOR MUST REQUEST A UTILITY LOCATE THROUGH BC ONE CALL BEFORE EXCAVATING WITH ANY POWER EQUIPMENT.
- WORKSAFE BC IS TO BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION AND THE CONTRACTOR SHALL BE REGISTERED WITH WORKSAFE BC.
- CONTRACTOR TO EXPOSE ALL EXISTING UTILITIES AT ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION. CONTRACTOR IS TO VERIFY LOCATION AND INVERTS AND REPORT TO ENGINEER ANY CONFLICTS OR DISCREPANCIES.
- UTILITY TRENCH TO CONFORM TO MMCD STANDARD DRAWING G4.
- EXISTING UNDERGROUND UTILITIES MAY NEED TO BE LOWERED OR RAISED TO SUIT THE FINAL DESIGN GRADES IN ACCORDANCE WITH MINIMUM AND MAXIMUM COVER REQUIREMENTS FOR EACH UTILITY.
- RESIDENTS AND BUSINESS OWNERS AFFECTED BY THE PROPOSED CONSTRUCTION ARE TO BE NOTIFIED BY THE CONTRACTOR IN WRITING 48 HOURS PRIOR TO THE START OF CONSTRUCTION AND PROVIDED WITH THE CONTRACTORS PHONE NUMBER AND SCHEDULE.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OR SWEEPING OF ALL EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
- TRAFFIC CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH SECTION 52 OF THE INDUSTRIAL HEALTH AND SAFETY REGULATIONS OF THE WORKER'S COMPENSATION BOARD OF B.C. THE DEVELOPER IS TO HAVE, ON SITE, A COPY OF THE CURRENT "B.C. TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS" AS PUBLISHED BY THE MINISTRY OF TRANSPORTATION (MOT). VEHICULAR AND PEDESTRIAN ACCESS IS TO BE MAINTAINED ALONG EXISTING ROADS DURING CONSTRUCTION.
- A TRAFFIC MANAGEMENT PLAN WITH LANE CLOSURES MUST BE APPROVED BY THE CITY OF VICTORIA PRIOR TO CONSTRUCTION.
- LEGAL SURVEY MONUMENTS ARE TO BE PROTECTED. SHOULD THEY REQUIRE RAISING OR RELOCATING, THE CONTRACTOR MUST NOTIFY THE INSPECTOR AT LEAST 72 HOURS IN ADVANCE OF SCHEDULING WORK AFFECTING THEM.
- PIPE BEDDING TO BE MMCD TYPE 1 GRANULAR PIPE BEDDING COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- PIPE BACKFILL TO BE IMPORTED 75mm MINUS PIT RUN GRAVEL COMPACTED TO 95% MODIFIED PROCTOR DENSITY. WHEN NATIVE SITE GRANULAR BACKFILL IS PROPOSED FOR USE IN TRENCHES THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND PROVIDE SAMPLES TO THE GEOTECHNICAL MATERIALS TESTING AGENCY FOR APPROVAL, BEFORE PROCEEDING WITH THE RE-USE OF NATIVE BACKFILL MATERIALS. THE SITE MATERIAL MUST BE APPROVED FOR RE-USE BY THE GEOTECHNICAL ENGINEER.
- WHEN INFILLING OF EXISTING DITCHES, ETC., IS REQUIRED OR PROPOSED, AND WHERE SERVICES ARE CONSTRUCTED IN FILL SECTIONS, THE FILL MATERIAL IS TO BE APPROVED GRANULAR MATERIAL PLACED IN LIFTS NOT EXCEEDING 300MM AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- FIGURED DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- AFTER CONSTRUCTION, RESTORE WORK AREAS AND EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES.
- DEWATERING FOR UTILITY INSTALLATIONS WILL BE COMPLETED AT THE CONTRACTORS EXPENSE. DEWATERING IN THE TRENCHES SHALL BE COMPLETED AS OUTLINED IN THE GEOTECHNICAL REPORT FOR THE SITE, OR AS REQUIRED.

ROADWORKS NOTES:

- SEE PLAN AND PROFILE DRAWINGS FOR TYPICAL ROAD CROSS-SECTIONS. WHERE INDICATED, PROVIDE DRIVEWAY CROSSINGS IN CONFORMANCE WITH MMCD STANDARD DRAWING C7.
- CHANGES OF GRADE ARE TO BE FORMED BY SMOOTH VERTICAL CURVES.
- ALL LOOSE, ORGANIC, OTHERWISE DELETERIOUS MATERIALS OR SOFT SPOT(S) ARE TO BE EXCAVATED AND REMOVED FROM THE ROADWAY AND UTILITY TRENCHES IN THE ROADWAY.
- SUB-BASE AND GRANULAR BASE MATERIALS SHALL BE COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
- THE ROAD BASE SHALL EXTEND A MINIMUM OF 0.3m BEYOND THE CURB & GUTTER.
- CATCH BASIN RIM ELEVATIONS GIVEN ARE THE ELEVATION OF THE SURFACE INLET.
- EXISTING VALVE BOXES, MANHOLES, ETC. WITHIN THE ROAD R.O.W ARE TO BE ADJUSTED TO SUIT THE PROPOSED FINISHED GRADE.
- THE CONDITIONS FOR PLACING ASPHALT PAVEMENT AND CONCRETE SHALL BE IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD CONSTRUCTION DOCUMENTS AND MMCD SPECIFICATIONS AND STANDARD DETAIL DRAWINGS APPLICABLE AT THE TIME OF CONSTRUCTION. WEATHER CONDITIONS MUST ALSO BE IN CONFORMANCE WITH MMCD SPECIFICATIONS. SHOULD DEVIANCES BE ALLOWED FROM THESE SPECIFICATIONS, THE CONTRACTOR IS TO ASSUME ALL RESPONSIBILITY FOR THESE PRODUCTS.
- TIE-INS TO EXISTING PAVEMENT SHALL BE MADE BY CUTTING BACK THE EXISTING PAVEMENT TO SOUND MATERIAL AS NECESSARY TO PRODUCE A NEAT VERTICAL FACE AND PROVIDE A KEY-WAY. PRIOR TO PLACING ASPHALTIC CONCRETE, EXPOSED PAVEMENT FACES AND OTHER ABUTTING STRUCTURES SHALL BE TACK COATED WITH ASPHALT EMULSION.
- ALL EXISTING ASPHALT TO BE REMOVED MUST BE DISPOSED OF AT AN APPROVED SITE.
- REPAIR ANY PAVEMENT DAMAGE OR DAMAGE TO PRIVATE PROPERTY. PAVEMENT RESTORATION AS PER MMCD STANDARD DRAWING G5. REFER TO ROADWORKS PLAN DRAWINGS FOR SPECIFIED PAVEMENT STRUCTURE.

WATERWORKS NOTES:

- WATER MAIN AND SERVICE CONNECTION MATERIALS SHALL CONFORM TO THE CITY OF VICTORIA APPROVED PRODUCTS LIST AND MMCD SECTION 33 11 01, 100 - 300mm DIAMETER WATER MAINS TO BE DUCTILE IRON PRESSURE CLASS 350 TO AWWA C151 OR PVC CLASS 150 TO AWWA C900. 350-900mm DIAMETER WATER MAINS TO BE DUCTILE IRON PRESSURE CLASS 250 TO AWWA C151 OR PVC CLASS 150 TO AWWA C905 EXCEPT AS NOTED ABOVE. ALL FITTINGS AND VALVES TO BE DUCTILE IRON (DI) TYTON JOINT WITH CLOSED LUGS UNLESS OTHERWISE SPECIFIED. ALL CURB STOPS TO BE FITTED WITH MUELLER TELESCOPING SERVICE BOXES OR APPROVED EQUIVALENT.
- THE CONTRACTOR AND CONSULTANT ARE TO COMPLETE ALL TIE-INS AND DISCONNECTS FOR CITY WATER, SEWER AND DRAINAGE SYSTEMS IN THE PRESENCE OF CITY PERSONNEL. THE CONTRACTOR IS TO COORDINATE THIS WITH THE UTILITIES DEPARTMENT AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO SCHEDULING. FOR WATER TIE-INS, PRIOR APPROVAL IS REQUIRED FROM THE CITY DIRECTOR OF INFRASTRUCTURE SERVICES TO CONFIRM SUCCESSFUL PRESSURE TESTING, CHLORINATION, AND FLUSHING. PRIOR TO SCHEDULING, THE CONTRACTOR MUST OBTAIN A ROAD USAGE PERMIT.
- CONTRACTOR TO PROVIDE A MINIMUM 1.8m COVER OVER ALL PROPOSED OFFSITE WATER MAINS.
- MINIMUM GRADE OF WATER MAINS TO BE 0.10%
- ALL DOMESTIC SERVICE CONNECTIONS TO BE A MINIMUM OF 25mm DIAMETER UNLESS OTHERWISE SPECIFIED. SERVICE CONNECTION TO CONFORM TO MMCD STANDARD DRAWING W2.
- DURING CONSTRUCTION AND AT ANY TIME PRIOR TO ACCEPTANCE AND PRESSURIZING OF WATER MAINS BY THE CITY, THE CONTRACTOR, ON BEHALF OF THE OWNER, SHALL INSTALL A PLASTIC BAG OVER EACH HYDRANT TO INDICATE THAT HYDRANT IS NOT IN USE.
- WATER MAINS SHALL BE LAID A MINIMUM OF 3m HORIZONTALLY FROM ANY SANITARY OR STORM SEWER. WHERE THIS HORIZONTAL SEPARATION IS NOT POSSIBLE, AND/OR WHERE WATER MAINS AND SEWERS MUST CROSS OR SHARE THE SAME TRENCH, THE WATERMAIN SHOULD BE AT LEAST 0.45m ABOVE THE SEWER (MEASURED BETWEEN THE BOTTOM OF THE WATERMAIN AND THE TOP OF THE SEWER) AND SUFFICIENTLY TO ONE SIDE OF THE SEWER TO ALLOW FOR SEWER REPAIRS WITHOUT DISTURBING THE WATERMAIN. IF A VARIANCE IS REQUIRED OR PROPOSED, CONTRACTOR TO PROVIDE IN WRITING THE REASONING WHY IT IS NECESSARY (FOR EXAMPLE, BEDROCK, OR EXISTING UTILITIES IN LIMITED SPACE, ETC.), PROVIDE DETAIL OF THE PROPOSED MITIGATION (FOR EXAMPLE, HIGHER PRESSURE CLASS PIPE, JOINT AND/OR STRUCTURAL PROTECTION, CASING, ETC.), IF NEITHER THE HORIZONTAL OR VERTICAL SEPARATION IS POSSIBLE THEN THE SEWERS SHOULD BE OF THE SAME SERVICE CAPABILITY AS THE WATERMAIN.
- WHERE A WATER MAIN CROSSES A SANITARY OR STORM SEWER, THE JOINTS OF THE WATER MAIN, OVER A LENGTH EXTENDING 3M EITHER SIDE OF THE SANITARY/STORM SEWER ARE TO BE WRAPPED WITH HEAT SHRINK PLASTIC OR PACKED WITH COMPOUND AND WRAPPED WITH PETROLIUM TAPE IN ACCORDANCE WITH THE LATEST VERSION OF THE AWWA STANDARDS C217, AND C214 OR C209. IF REQUIRED, CONTRACTOR TO INSTALL U-BEND AS PER MMCD STANDARD DRAWING W51.
- A MINIMUM OF 1.5m HORIZONTAL CENTRE TO CENTRE AND 150mm CLEAR VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ELECTRICAL CONDUITS, GAS MAINS AND TELEPHONE CONDUITS EXCEPT WHERE NOTED.
- CONTRACTOR SHALL CONDUCT PRESSURE TEST IN ACCORDANCE WITH MMCD AND AWWA SPECIFICATIONS.
- CONTRACTOR SHALL FLUSH AND DISINFECT WATER MAINS IN ACCORDANCE WITH AWWA STANDARDS AND AS APPROVED BY THE CITY OF VICTORIA.
- CHLORINE SOLUTIONS SHALL BE NEUTRALIZED IN ACCORDANCE WITH MINISTRY OF THE ENVIRONMENT AND DEPARTMENT OF FISHERIES AND OCEAN PRIOR TO DISCHARGE TO ANY DRAINAGE COURSE.
- WHERE PRACTICAL, SERVICE LINES AND METER BOXES SHALL BE INSTALLED TO FINISH GRADE, OUTSIDE OF DRIVEWAYS OR PAVED AREAS.

SANITARY AND STORM SEWER NOTES:

- SANITARY SEWER AND STORM SEWER MATERIALS SHALL CONFORM TO THE CITY OF VICTORIA APPROVED PRODUCTS LIST AND MMCD PLATINUM SECTIONS 33 30 01 AND 33 40 01. SANITARY AND STORM SEWER MAINS UNDER 600mm DIAMETER TO BE MINIMUM PVC SDR35 TO ASTM D2412 AND ASTM D3034 (UNLESS OTHERWISE NOTED). SANITARY AND STORM SEWER MAINS 600mm DIAMETER AND LARGER TO BE PVC SDR35 TO ASTM D2412 AND ASTM D3034 OR NON-REINFORCED CLASS 3 CONCRETE CIRCULAR TO ASTM C144 OR REINFORCED CLASS III CONCRETE CIRCULAR TO ASTM C76M OR AS NOTED ON THE DRAWINGS. PVC PROFILE PIPE TO ASTM F794 AND CSA B182.4 IS ALSO ACCEPTABLE FOR 200mm - 1200mm DIAMETER STORM SEWER. HDPE PROFILE PIPE TO CSA B182.8 IS ALSO ACCEPTABLE FOR 100mm - 900mm DIAMETER STORM SEWER.
- CONTRACTOR TO PROVIDE A MINIMUM 1.2m COVER OVER ALL PROPOSED OFFSITE SANITARY MAINS AND 1.2m COVER OVER ALL PROPOSED OFFSITE STORM MAINS. WHERE MINIMUM COVER CANNOT BE PROVIDED FOR OFFSITE MAINS, SEWERS SHALL BE CONSTRUCTED OF CONCRETE AS NOTED IN THE DRAWINGS.
- CONTRACTOR IS TO EXPOSE AND CONFIRM LOCATIONS AND INVERTS OF ALL EXISTING SANITARY AND STORM SERVICE CONNECTIONS PRIOR TO CONSTRUCTION AND REPORT TO ENGINEER ANY CONFLICTS OR DISCREPANCIES. ALL EXISTING SERVICE CONNECTIONS TO BE REPAIRED IN REQUIRED AND TIED IN TO THE PROPOSED SANITARY OR STORM SEWER.
- ALL SANITARY SEWER SERVICE CONNECTIONS ARE TO BE A MINIMUM 100mm DIAMETER PVC SDR28 TO ASTM D3034 FOR SINGLE-FAMILY RESIDENTIAL AND MINIMUM 150mm DIAMETER PVC SDR28 TO ASTM D3034 FOR MULTI-FAMILY RESIDENTIAL UNLESS OTHERWISE NOTED, COMMERCIAL AND INDUSTRIAL. MINIMUM GRADE FOR SERVICE CONNECTIONS FROM THE MAIN TO THE PROPERTY LINE SHALL BE 2.0% UNLESS OTHERWISE NOTED. REFER TO MMCD DRAWINGS S7.
- ALL EXISTING AND PROPOSED SERVICE CONNECTIONS ARE TO BE PROVIDED WITH AN INSPECTION CHAMBER. SANITARY SERVICE CONNECTIONS TO HAVE A 200mm DIAMETER INSPECTION CHAMBER AS PER MMCD DRAWING S9.
- CONNECTIONS TO THE NEW SANITARY STORM MAINS UNDER 450mm DIAMETER SHALL BE MADE USING STANDARD WYE FITTINGS. CONNECTIONS TO NEW SANITARY AND STORM MAINS 450mm DIAMETER AND LARGER AND TO EXISTING MAINS SHALL BE MADE USING WYE SADDLES OR INSERT-A-TIES WHERE NOTED. REFER TO MMCD STANDARD DRAWING S1 FOR MANHOLE REQUIREMENTS.
- A MINIMUM OF 3m HORIZONTAL CLEAR SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND ALL SANITARY AND STORM

SEWERS/SERVICES EXCEPT WHERE NOTED.

- WHERE A SANITARY SEWER OR STORM SEWER CROSSES A WATER MAIN, THE SEWER SHALL BE BELOW THE WATER MAIN WITH A MINIMUM CLEAR VERTICAL SEPARATION OF 0.45m AND THE JOINTS OF THE WATER MAIN, OVER A LENGTH EXTENDING 3.0m EITHER SIDE OF THE SEWER MAIN, ARE TO BE WRAPPED WITH HEAT SHRINK PLASTIC (CANUS) IN ACCORDANCE WITH THE LATEST VERSION OF THE AWWA STANDARDS C217, AND C214 OR C209.
- ALL MANHOLES TO BE A MINIMUM OF 1050MM DIAMETER PER-CAST REINFORCED CONCRETE TO ASTM C478 OR AS NOTED ON DRAWINGS. REFER TO MMCD DRAWINGS S1.
- ALL MANHOLE FRAMES WITHIN PAVED ROADWAYS TO BE TERMINAL CITY IRONWORKS LTD. C44A ADJUSTABLE MH FRAME WITH SR-SUPPORT RING. IF ROAD GRADE IS GREATER THAN 8% A TAPERED CONCRETE GRADE RING UNDER THE DI SUPPORT RING IS ALSO REQUIRED. MANHOLE FRAMES OUTSIDE PAVED ROADWAYS TO BE IN ACCORDANCE WITH THE CITY OF VICTORIA APPROVED PRODUCT LIST.
- SANITARY AND STORM PIPE LENGTHS SHOW IN PROFILE REPRESENT THE LENGTH FROM CENTER OF MANHOLE TO CENTER OF MANHOLE.
- CONTRACTOR TO COMPLETE TIE-INS AND DISCONNECTIONS OF EXISTING SERVICE FOR CITY WATER, SANITARY AND DRAINAGE IN THE PRESENCE OF THE CONSULTANT'S REPRESENTATIVE AND UNDER SUPERVISION OF CITY OF VICTORIA PERSONNEL AFTER APPROPRIATE CITY APPROVALS ARE OBTAINED.
- SANITARY AND STORM SEWER TESTING IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VIDEO INSPECT COMPLETED SANITARY AND STORM SEWERS UNDER 900mm IN DIAMETER FOLLOWING COMPLETION OF INSTALLATION. SHOULD VIDEO INDICATE APPARENT DEFICIENCIES, ADDITIONAL TESTING AND/OR REPLACEMENT WILL BE REQUIRED AT THE DIRECTION OF THE CONTRACT ADMINISTRATION AND AT THE COST OF THE CONTRACTOR.
- STORM SEWERS ARE TO BE CONSTRUCTED WITH SEALED JOINTS UNLESS OTHERWISE SPECIFIED ON THE DESIGN DRAWINGS.
- ALL CATCH BASINS TO BE DOBNEY FOUNDRY LTD. B-39B SIDE INLET WITH B-39A FRAME, B-39 GRATE AND ALUMINIUM TRAPPING HOOD OR APPROVED EQUIVALENT. CATCH BASIN LEADS TO BE A MINIMUM 200 DIAMETER PVC DR35 * 2.0% MINIMUM SLOPE UNLESS OTHERWISE NOTED
- ALL LAWN BASINS TO BE 600mm DIAMETER WITH CLOSED BOTTOM AND ALUMINIUM TRAPPING HOOD AND SHALL CONFORM TO MMCD DWG 512 (TYPE 2) UNLESS OTHERWISE NOTED. LAWN BASIN LEADS TO BE A MINIMUM 150MM DIAMETER PVC DR35 * 1.0% MINIMUM SLOPE UNLESS OTHERWISE NOTED.

PAVEMENT MARKING AND SIGNAGE NOTES:

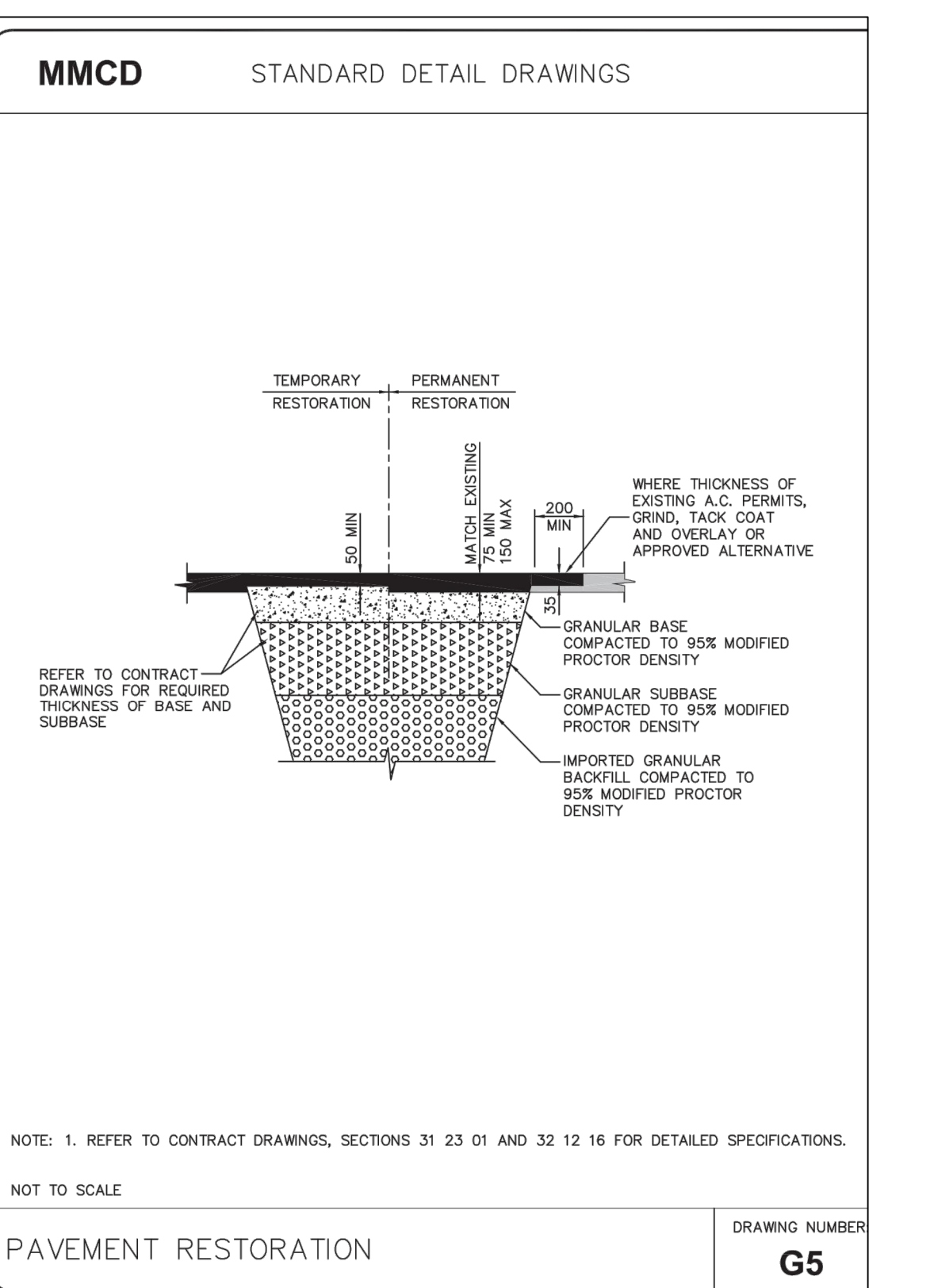
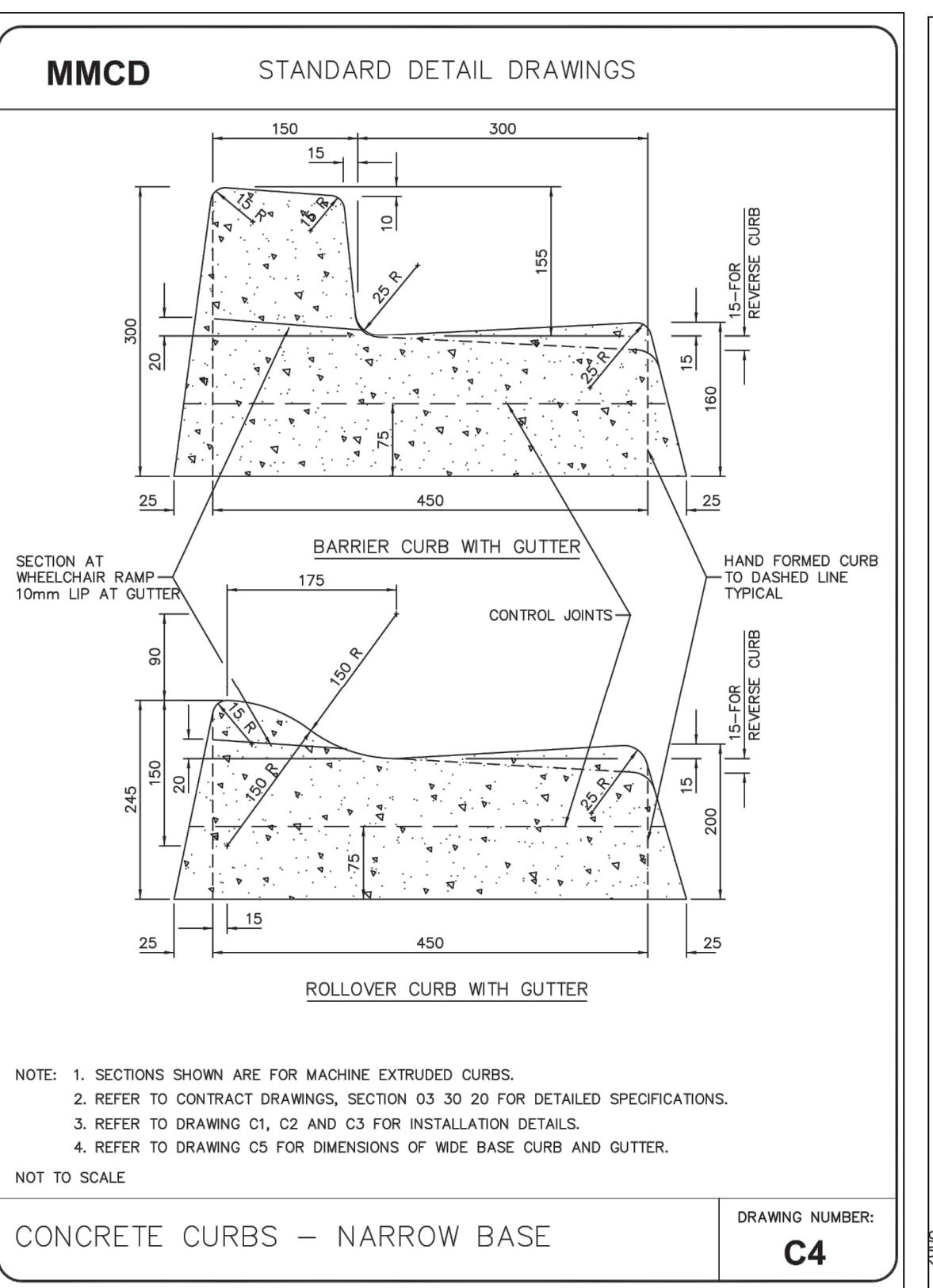
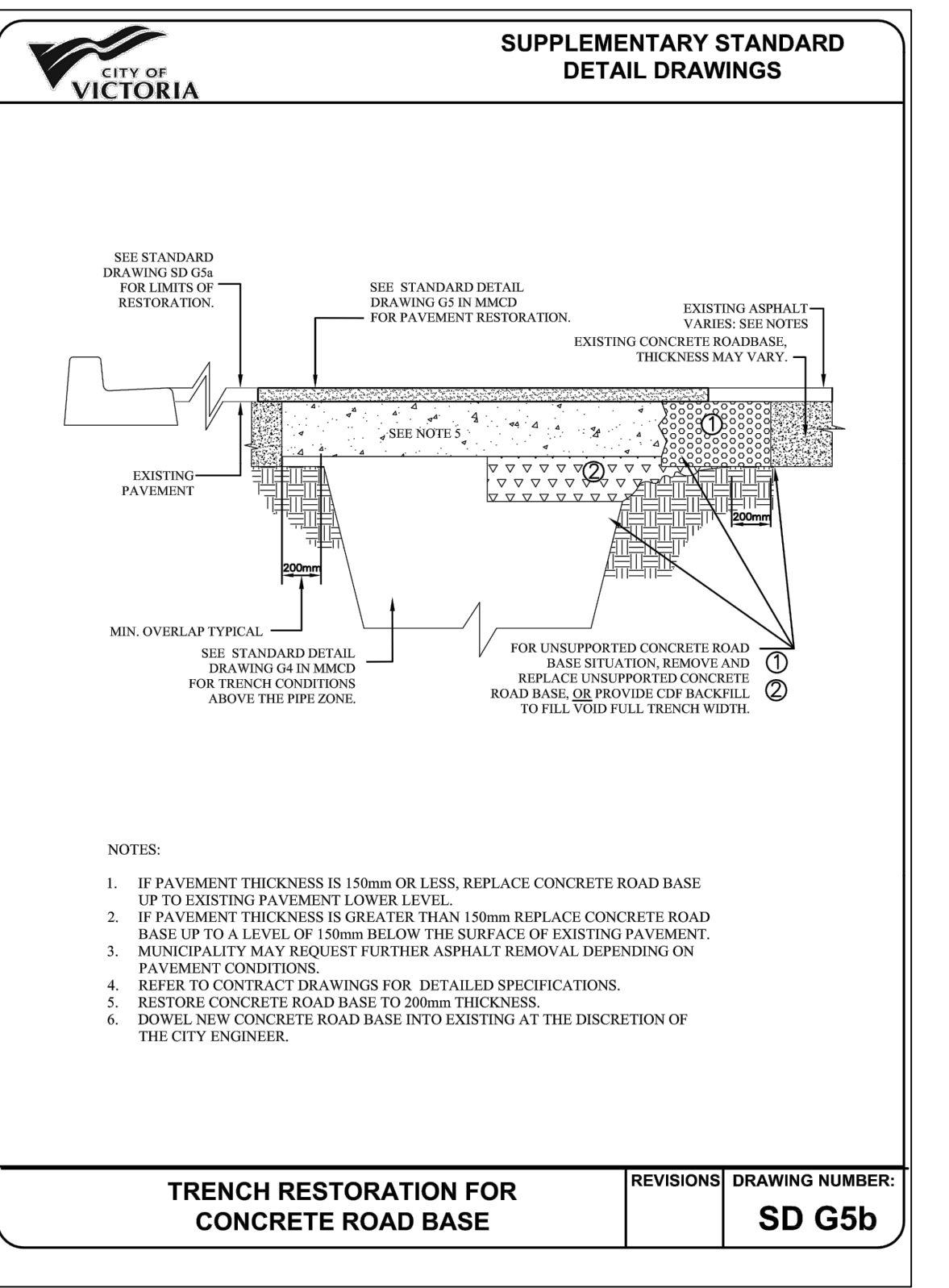
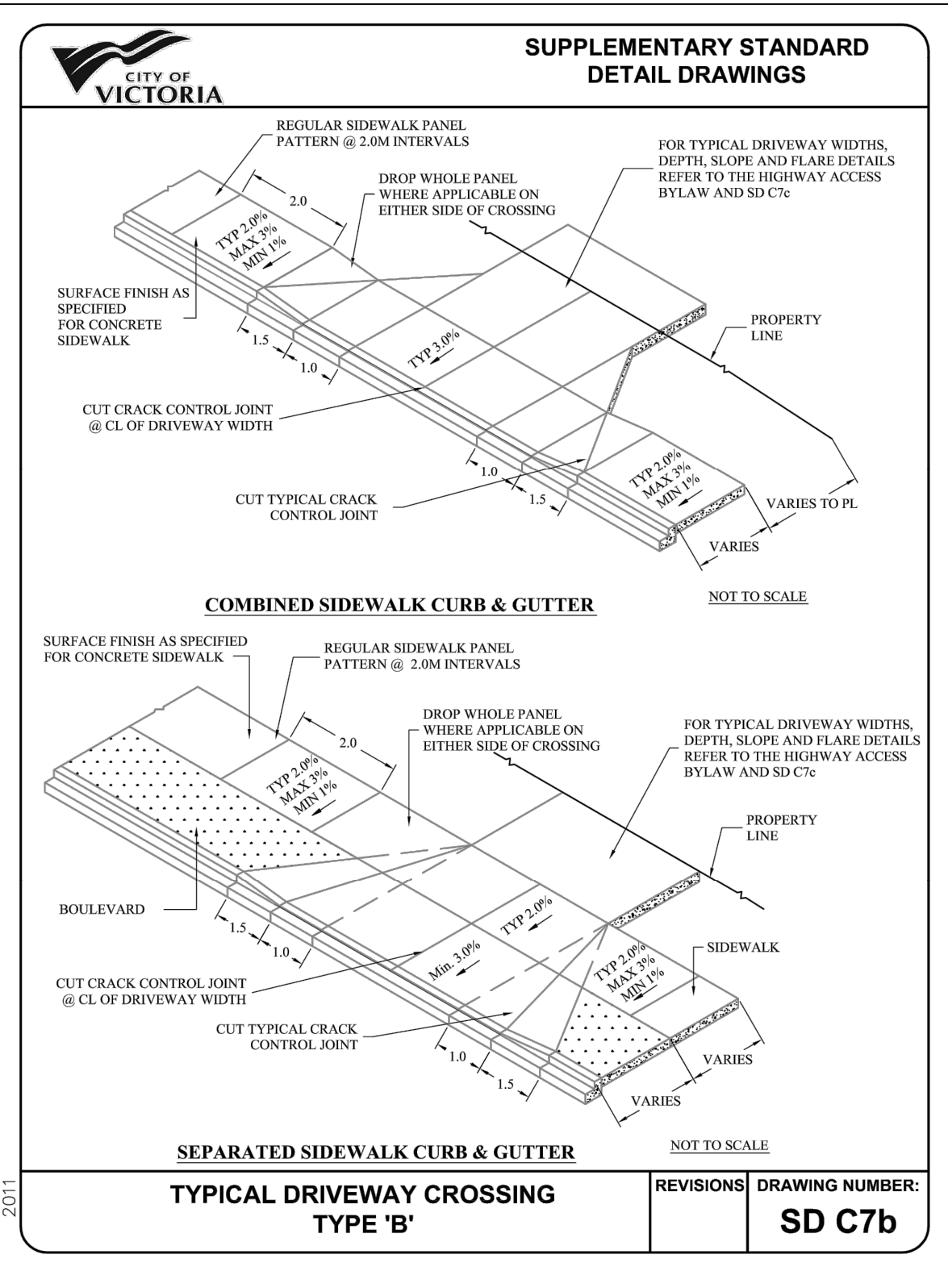
- ALL PAVEMENT MARKINGS AND SIGNAGE TO BE MINISTRY OF TRANSPORTATION STANDARDS (MANUAL OF STANDARD TRAFFIC SIGNS & PAVEMENT MARKINGS).

EXISTING UTILITIES

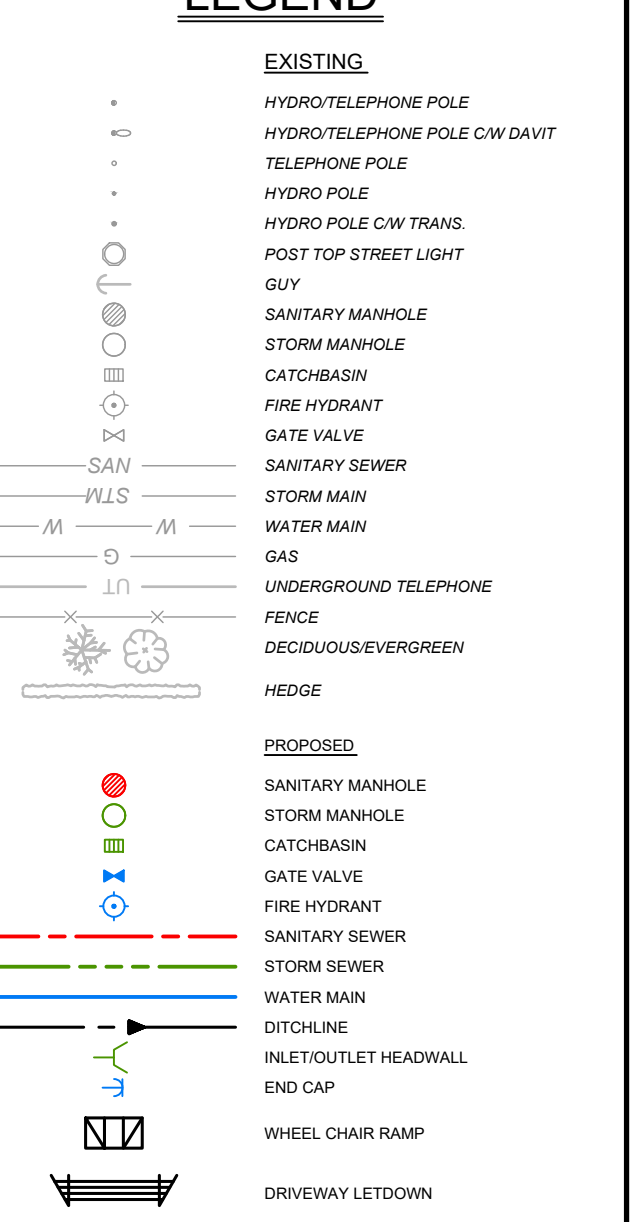
- THE LOCATION OF EXISTING SERVICES IS NOT GUARANTEED TO BE ACCURATE. THE INFORMATION HAS BEEN COMPILED FROM THE CITY AS-CONSTRUCTED RECORDS AND FROM TOPOGRAPHIC SURVEY. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL INVESTIGATE THE WORK AREA. TO CONFIRM THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES. NOTIFY LAWSON ENGINEERING LTD. IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.
- NOTIFY TELUS, BC HYDRO, FORTIS BC, CITY WATER & SEWER AND CABLE 72 HOURS PRIOR TO CONSTRUCTION FOR LOCATED, IF APPLICABLE.
- ALL DRAWING DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES PRIOR TO THE START OF EXCAVATION.

EROSION AND SEDIMENT CONTROL MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT SEDIMENT LADEN WATER DOES NOT LEASE THE SITE EITHER OVERLAND OR PIPED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAINAGE DURING CONSTRUCTION AND SHALL PREVENT SURFACE RUNOFF FROM FLOWING ONTO NEIGHBOURING PROPERTIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP THE CITY ROADS CLEAN TO THE SATISFACTION OF THE CITY OF VICTORIA. IN THE EVENT THAT THE CITY SENDS OUT THEIR STREET SWEEPERS, THE COST WILL BE CHARGED BACK TO THE CONTRACTOR AND IT WILL BE DEDUCTED FROM THE CONTRACTORS SUBSEQUENT PROGRESS CLAIM.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO KEEP DUST TO THE LEVELS ACCEPTABLE TO THE CITY AND TO THE PUBLIC.
- THE COST OF EROSION AND SEDIMENT CONTROL MEASURES INCLUDING MAINTENANCE, REMOVAL, STREET CLEANING AND DUST CONTROL SHALL BE INCLUDED IN THE CONTRACTORS PRICE WITH NO ADDITIONAL COST TO THE CONTRACT. THE WORK SHALL BE CONSIDERED INCIDENTAL.
- UNSAFURCED ENTRANCES, ROADS AND PARKING AREA USED BY THE CONSTRUCTION TRAFFIC SHALL BE STABILIZED TO MINIMIZE EROSION AND TRACKING OF SEDIMENT OFFSITE.
- SURFACE WATER COLLECTED FROM DISTURBED AREAS OF THE SITE SHALL BE ROUTED THROUGH A SEDIMENT POND OR TRAP PRIOR TO RELEASE FROM THE SITE, IF THE PERIMETER PROTECTION DOES NOT PROVIDE ADEQUATE RETENTION. SIGNING ENGINEER TO APPROVE AREA FOR CONTROL.



LEGEND



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DISCLAIMER: THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.

DRAWINGS ARE NOT TO BE SCALED

NO.	DATE YEAR/MM/DD	DESCRIPTION	BY	APP'D
3	20220810	RE-ISSUED FOR DEVELOPMENT PERMIT	SPH	SAP
2	20220428	ISSUED FOR DEVELOPMENT PERMIT	SPH	SAP
1	20220406	ISSUED FOR ZONING APPLICATION	SPH	SAP
0	20220318	ISSUED FOR REVIEW	SPH	SAP

REVISIONS

DESIGN	SPH
DRAWN	SPH
DATE	2022/03/18
CHECKED	SAP

PERMIT No.: 1001279
 SCALES:

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S2 architecture

SUPPORTIVE HOUSING - DISCOVERY STREET, VICTORIA, BC

GENERAL NOTES AND DETAILS

PROJECT No. **249-1**

SHEET **7** OF **7**

DWG. No. **C501** REV. No. **3**

PLOT August 18, 2022 COMPUTER-2-PROJECT-2-249-1 - DISCOVERY STREET VICTORIA - CIVIL ENGINEERING DRAWINGS S1 - DESIGN-048-1 - DISCOVERY STREET VICTORIA - CSN DWG (PREP-DWG-NAMES)