

September 9<sup>th</sup>, 2022

Mayor and Council  
City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6

Dear Mayor and Council,

Re: Victoria Housing Reserve Fund (VHRF) Application

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On behalf of Pacifica Housing Advisory Association, it is my pleasure to provide this application to the City of Victoria Rental Housing Reserve Fund in support of an 88-unit affordable rental development project at 496 & 498 Cecelia Road in the Burnside Gorge community. Pacifica Housing is excited of the prospect of requesting a contribution of \$500,000 under the Victoria Housing Reserve Fund Program and is pleased to share information about this vital affordable rental housing project.

Pacifica Housing is a non-profit society with board of directors driving a mandate to advance independence of individuals and families through equitable housing and supportive services. Pacifica currently operates around 1,300 units of affordable rental housing in communities across Greater Victoria and Nanaimo and has a strong reputation for supporting those in need and for their leadership in affordable housing in the region.

This development project is vital to the Burnside Gorge Community and City of Victoria as it would add much needed purpose built rentals to help alleviate the existing housing crisis. The City of Victoria is providing a long-term ground lease (62 years) for this project. BC Housing, CMHC and Government of British Columbia (Ministry of Children & Family Development) are supporting this project through confirmed and secured funding grants. The mortgage and operating subsidy required to keep the units affordable will be provided by BC Housing. The project is supported by M'akola Development Services, an Indigenous led non-profit development consultant, as well as TL Housing Solutions as the design-builder.

This project meets several objectives of the Victoria Reserve Housing Fund, including providing 2 and 3 bedroom units for families, accessible units for seniors and persons with disabilities, and a range of affordable rents from deep subsidy units, rent geared to income, and moderate income rental rates. This project includes the creation of a licensed on-site day care and a program space for School District No. 61. The project also incorporates a community element in form of courtyard with green spaces which will be open to public at all times.

Pacifica Housing is confident this project will offer a significant benefit to the community and is therefore looking forward to the potential financial contribution from the Victoria Rental Housing Reserve Fund.

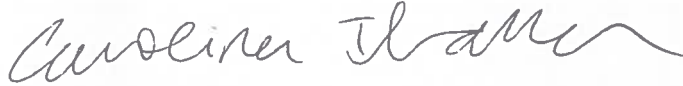
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This contribution would go a long way in helping ease some financial burden this project faces, in current inflationary economic climate leading to cost escalations and resource shortages.

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I would like to thank you for your time and effort in considering this project for the grant and look forward to hearing from you.

Sincerely,



Carolina Ibarra, CEO  
Pacifica Housing Advisory Association



Sustainable Planning and Community Development  
 1 Centennial Square  
 Victoria, BC V8W 1P6  
 T 250.361.0382  
 E [housing@victoria.ca](mailto:housing@victoria.ca)

# Victoria Housing Reserve Fund Application for Funding

The [Victoria Housing Reserve Fund Program Guidelines](#) contain important information on project eligibility and the application process. Please review the guidelines prior to completing an Application for Funding.

The entire Application for Funding must be completed along with all other documents identified on the Application Checklist. Please attach additional pages if more space is needed.

An appointment is strongly encouraged prior to applying for funding to ensure the project meets eligibility criteria. To make an appointment, email [housing@victoria.ca](mailto:housing@victoria.ca).

If you have any questions about the criteria or the process, please contact the Community Planning Division at [housing@victoria.ca](mailto:housing@victoria.ca) or 250.361.0382.

## 1. Letter to Mayor and Council

Please include a letter to Mayor and Council providing an executive summary of the proposed project including the amount of funding being requested. Please highlight key aspects of the proposed project and how it meets the objectives of the Victoria Housing Reserve Fund Program as outlined in the Program Guidelines.

## 2. Proponent Information

Organization Name Pacifica Housing Advisory Association Non-profit Society Yes  No

Contact Person/Position Carolina Ibarra / Chief Executive Officer

Business Address 827 Fisgard St. Victoria, BC V8W IR9

Telephone 250-385-2131

Email Cibarra@pacificahousing.ca

Date of Incorporation Sept 26th, 1988

Canada Revenue Agency Charity # CRN: 122654999 RR0001

Previous Projects Funded through the Victoria Housing Reserve Fund, if any: None

I have read and understand the Victoria Housing Reserve Fund Program Guidelines

I understand funding is a one-time, non-renewable grant

Application Date mm/dd/yyyy 09/09/2022

Applicant Signature *Carolina Ibarra*

## 3. Project Summary

Submission of building and site plans are required as part of the application package.

Address/location of project 496 & 498 Cecelia Road, Victoria BC V8T 4T5

Developer and contact information (if different from the Proponent) TownLine Housing Solutions (Design-Builder) | M'akola Development Services(Consultant)

Project Architect and contact information Christine Lintott Architects.Inc | Christine@lintottarchitect.ca | Ph : 250.384.1969

Owner and Operator of Housing Pacifica Housing Advisory Association

Housing type (strata/apt etc.), number of units and sizes (bedrooms) 88 apartments: 8 studio, 34 1-bed, 26 2-bed, 20 3-bed



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 1 Centennial Square  
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 T 250.361.0382 E [housing@victoria.ca](mailto:housing@victoria.ca)

## Victoria Housing Reserve Fund Application for Funding

### Fund Request Summary

Please list the units which are proposed to receive funding in the table below. Please refer to the VHRF Guidelines for more information about the program's Affordability Levels and Grant Eligibility Amounts.

Unit Type	Number of Units	Monthly Rent Amount	Identify the Affordability Level		Eligible VHRF Grant per Unit	VHRF Total Contribution
			City of Victoria Affordable Rents (Very Low, Low, Median)	BC Housing Rents (Deep Subsidy, RGI, HILs)		
Studio	8	\$375		Deep subsidy	8: \$7,500	\$60,000
1 Bed	34	7:\$375 27:\$848		7: Deep subsidy 27:RGI	7:\$10,000 27:\$7,500	\$272,500
2 Bed	26	2 \$570 15 \$1089 9 \$2193		2:Deep subsidy 15:RGI	2:\$15,000 15:\$7,500	\$142,500
3+ Bed	20	1 \$865 2 \$1411 17 \$2499		1:Deep subsidy 2: RGI	1:\$20,000 2:\$15,000	\$50,000
<b>Total Units</b>	<b>88</b>					<b>\$525,000 (Capped at \$500,000)</b>

### Project Units Summary

Total housing units on existing site: 0

Total proposed units in the affordable housing project: **Gross** 88 **Net** 88

Target Population or Group as defined in the Program Guidelines (E.g., Seniors, youth, women and children, persons with disabilities, etc.)

88 affordable rental housing for low and moderate income households including 26 x 2 bedroom and 20 x 3 bedroom units for families, 4 accessible units for seniors and or people with disabilities, and 18 x deep subsidy units for very low income households. This project will also include the creation of a licensed on-site day care and a program space for School District No. 61. The project incorporates a community element in form of courtyard with green spaces which will be open to public use.

Support services provided (if any)

Though this project is independent-living affordable housing, a Housing Support Worker will be available to support residents who request the service as needed with navigation of financial and other community services, budgeting, de-cluttering and other supportive approaches that promote long term independent housing stability.

How does the project meet the objectives and project priorities of the Victoria Housing Reserve Fund Program as described in the Program Guidelines?

This project meets several of the VHRF priorities including providing affordable family housing with 2 and 3 bedroom units, accessible units (for seniors and/or persons with disabilities), mixed affordability/inclusive projects including a component of housing for people with low and very low incomes, affordability in perpetuity and BC Housing Deep Subsidy units.

What development approvals are required or have been received?

rezoning, development permit, building permit (all conditions met - issuance in process).

Target Completion Date

November 2024



Sustainable Planning and Community Development  
 1 Centennial Square  
 Victoria, BC V8W 1P6  
 T 250.361.0382 E [housing@victoria.ca](mailto:housing@victoria.ca)

## Victoria Housing Reserve Fund Application for Funding

### 4. Experience and Capacity to Develop and Manage Affordable Housing

Outline the proponent's experience in the development and management of affordable housing. How does this project compare to this previous experience and the proponent's capacity to complete the project in the short-term and manage it over the long-term?

Pacifica's portfolio of affordable housing and mixed use buildings include around 1,300 units in the region. We have been serving the communities of Vancouver Island for 35 years. Pacifica is a non-profit society with a board of directors driving a mandate to advance independence of individuals and families through equitable housing and supportive services. For this project, BC Housing is committed to an on-going subsidy to secure affordable rental rates.

For the development and construction of this project, Pacifica has engaged TL Housing Solutions, a design-builder with more than 14 years experience completing over 3,000 housing units across the Vancouver Island and the lower mainland. M'akola Development Services is also supporting Pacifica throughout the construction phase as the development consultant and has over 30 years of affordable housing development experience.

### 5. Project Financing and Sustainability

Describe how the funding model will support long-term financial sustainability and housing affordability. Please also attach a detailed Capital Budget and 10-year Operating Budget.

This project has final project approval from BC Housing, combined with other confirmed funders including Canada Mortgage and Housing Corporation (CMHC), Ministry of Children & Family Development (MCFD). The capital and operating budgets are supportable by both, grants from BC Housing and CMHC and a mortgage financed by BC Housing. Pacifica has entered into a 60 year operating agreement to secure the rental affordability for at least 60 years. In addition to rents contributing to mortgage payment, BC Housing is providing an on-going mortgage subsidy to secure affordable rental rates. Any additional funding from VHRF contributes to reducing the take-out mortgage, allowing for the potential to improve rental affordability. A proforma outlining the capital and operating budget is attached with this application.

### 6. Partnerships

List partners in this project (developers, agencies, other levels of government etc.), and detail their involvement.

BC Housing: Community Housing Fund grant and financing  
 CMHC: Co-investment grant  
 Ministry of Children & Family Development: New Spaces Fund for Child care space  
 Burnside Gorge Community Association: Future day care operator  
 School District 61: Valued supporter of this project  
 City of Victoria: Providing ground lease for 62 years



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## Victoria Housing Reserve Fund Application for Funding

### 7. Tenant Assistance

Adherence with the [Tenant Assistance Policy](#) is required to be eligible to receive VHRF grant funding. Please identify whether a [Tenant Assistance Plan](#) is required as part of the development approvals for this project:

- Yes, there are tenants at the existing site that will be displaced as a result of the proposed development and a Tenant Assistance Plan has been prepared.
- No, tenants will not be displaced as a result of the proposed development.

Note: Please be advised that additional information may be requested as part of the Tenant Assistance Plan for Council's consideration.

### 8. Other Information

Provide any other information that supports your application.

The funding of \$500,000 would contribute to alleviating the constraints of the capital budget such as the construction costs (due to material cost escalation, supply chain challenges and trade/labour shortages) as well as uncontrollable soft costs including in particular course of construction insurance (budgeted at \$322,427 but cost escalation resulting in costing \$608,163). This has resulted in a substantial strain on the project contingency reserve before the beginning of the construction phase of the development project.



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Community Development  
1 Centennial Square  
Victoria, BC V8W 1P6

T 250.361.0382  
E [communityplanning@victoria.ca](mailto:communityplanning@victoria.ca)

# Victoria Housing Reserve Fund Application Checklist

Please ensure all items below are included with your application. If you have questions about your eligibility, or about this or any part of the application package, please call or email the Community Planning Division using the contact information below.

- Completed application checklist
- Letter to Mayor and Council describing project and how it meets Victoria Housing Reserve Fund Program objectives as outlined in the Program Guidelines
- Completed Application Form
- Building plans
- Site plans
- Capital budget
- 10-year operating budget
- Housing operator's most recent audited financial statements (including management letter if available)

I have read and understand the Victoria Housing Reserve Fund Guidelines:

*Carolina Ibarra*

Carolina Ibarra, CEO - Pacifica Housing

09/09/2022

Signature

Print Name

Date

Applications will be accepted in person at City Hall, by mail, or by email. **Please contact Community Planning to ensure receipt of your application package.** The City of Victoria is not responsible for lost or missing applications.

**Community Planning Division**  
1 Centennial Square, Victoria, BC V8W 1P6  
Email: [communityplanning@victoria.ca](mailto:communityplanning@victoria.ca)  
Phone: 250.361.0382

# 496-498 CECELIA ROAD & 3130 JUTLAND ROAD



## GENERAL CONSTRUCTION NOTES:

1. ALL WORK TO COMPLY WITH THE BRITISH COLUMBIA BUILDING CODE 2018 EDITION.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ASPECTS OF DRAWINGS, COORDINATE & AGREE PRIOR TO CONSTRUCTION.
3. EXTERIOR WALL DIMENSIONING TO OUTSIDE FACE OF SHEATHING, INTERIOR PARTITION DIMENSIONING TO CENTERLINE OF FRAMING.
4. ENSURE FLUSH GWB SURFACE WHERE AN ASSEMBLY IS DIRECTLY EXTENDING TO ANOTHER NOTED ASSEMBLY.
5. PROVIDE CORNER PROTECTION OVER GWB IN ALL COMMON AREAS.
6. PROVIDE SOLID BACKING FOR ALL WALL MOUNTED FIXTURES AND MIGHTWORK.
7. ALL VERTICAL FIRE RATED ASSEMBLIES MUST EXTEND FULL HEIGHT BETWEEN RATED HORIZONTAL ASSEMBLIES AND UNDERSIDE OF ROOF DECKING.
8. ALL INTERIOR PARTITIONS MUST HAVE CONTINUOUS BEAD OF NON-SETTING ACoustICAL SEALANT APPLIED AT BOTTOM & TOP PLATES, PRIOR TO PLACEMENT OF GWB.
9. FILL ALL STUD CAVITIES CARRYING SUPPLY OR WASTE PIPING WITH MINERAL FIBRE BATT INSULATION.
10. MINIMIZE DIMENSION OF ALL FURRING ENCLOSURES FOR MECHANICAL DUCTWORK AND RELATED SERVICES TO ENSURE MAXIMUM AREA OF ROOMS ARE RETAINED.
11. ENSURE ALL GRADE SLOPES AWAY FROM BUILDING FACE IN ALL INSTANCES.
12. SPECIFICATIONS SHALL TAKE PRECEDENCE OVER DRAWINGS.



Christine Lintott Architects Inc.  
 Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5  
 Telephone: 250-384-1500  
 www.lintottarchitects.ca

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

## SHEET LIST

Sheet Number	Sheet Name
000 - General	
A0.00	Project Information
A0.01	Assemblies
A0.02	Assemblies
A0.10	Building Code Analysis
A0.11	Building Code Compliance Plans & Section
A0.12	Exterior Elevations - Spatial Separators
100 - Site Info	
A1.00	Site Plan
A1.01	Survey & Existing Site Plan
200 - Floor Plans	
A2.00	U/G Parkade Plan
A2.01	Floor Plans - Building A - Levels 1 & 2
A2.02	Floor Plans - Building A - Levels 3 & 4
A2.03	Floor Plans - Building A - Level 5 & Roof
A2.04	Floor Plans - Building B - Levels 1 & 2
A2.05	Floor Plans - Building B - Levels 3 & 4
A2.06	Floor Plans - Building B - Roof
A2.07	Foundation Plan
A2.10	Slab Plans - U/G Parkade
A2.12	Slab Plans - Main Level
A2.13	Slab Plans - Building A Level 2
300 - Elevations	
A3.00	Exterior Elevations - Building A
A3.01	Exterior Elevations - Building A
A3.02	Exterior Elevations - Building B
A3.03	Exterior Elevations - Building B
400 - Building Sections	
A4.00	Building Sections - Building A
A4.01	Building Sections - Building B

## CONSULTANTS:

### DEVELOPMENT MANAGER:

TL HOUSING SOLUTIONS  
 210 - 780 Rupert Street  
 Victoria, BC  
 V8W 0E1  
 778-247-0234

CONTACT: MATTHEW VOS

### ARCHITECT:

CHRISTINE LINTOTT ARCHITECTS INC.  
 Suite 1 - 864 Queens Avenue  
 Victoria BC  
 V8T 1M5  
 250-384-1500

CONTACT: CHRISTINE LINTOTT

### STRUCTURAL ENGINEER:

NEAD JONES CHRISTOFFERSEN LTD.  
 645 Tyee Road,  
 Suite 220  
 Victoria BC V8A 6X5  
 250-386-7900

CONTACT: AARON POST

### MECHANICAL ENGINEER:

INTERCAL GROUP  
 Suite 101 - 1019 Wharf St  
 Victoria, BC  
 V8W 2Y9  
 250-418-1288

CONTACT: ERICA MAK

### ELECTRICAL ENGINEER:

INTERCAL GROUP  
 Suite 101 - 1019 Wharf St  
 Victoria, BC  
 V8W 2Y9  
 250-418-1288

CONTACT: TOM KILLINS

### CIVIL ENGINEER:

STANTEC  
 400 - 655 Tyee Road,  
 Victoria BC  
 V8A 6X5  
 250-388-6161

CONTACT: OWEN LUCKHURST

### LANDSCAPE ARCHITECT:

383 LANDSCAPE ARCHITECTS  
 #3 864 Queens Avenue,  
 Victoria, BC  
 V8T 1M5  
 250-598-0105

CONTACT: REV WINDIACK

### GEOTECHNICAL ENGINEER:

RYJIK GEOTECHNICAL  
 28 Creste Avenue  
 Victoria, BC  
 V8T 1S3  
 250-475-3131

CONTACT: SHANE MOORE

### SURVEYOR:

WSP  
 301 - 3600 Updown Boulevard  
 Victoria BC  
 V8Z 0B9  
 250-384-5510

CONTACT: MITCH LAEUR

Project Information Table	
Zone (existing)	zoning Min/Max
Site Area	R1.6
Commercial Floor Area	1.1:4
Floor Space Ratio	1.1:4
Site Coverage %	32.8%
Open Site Space %	62.2%
Height of Buildings*	N/A, Building A = 18.52m, Building B = 14.25m
Storeys #	N/A, Building A = 5 storeys, Building B = 4 storeys.
Vehicle Parking #	0.2/unit < 45m <sup>2</sup> x 8 = 2 0.5/unit > 45m <sup>2</sup> x 8 = 41 0.75/unit > 70m <sup>2</sup> x 46 = 35 0.5/unit visitor x 68 = 9 Daycare 1/200m <sup>2</sup> (454/90) = 5 Sec. School 1/75m <sup>2</sup> (466/75) = 6 Total = 74
Bicycle Parking # Long Term	1/unit < 45m <sup>2</sup> x 8 = 8 1.25/unit > 45m <sup>2</sup> x 8 = 32 Daycare 1/700m <sup>2</sup> (404/700) = 1 Fitness 1/200m <sup>2</sup> (454/200) = 2 Total = 41
Short Term	1.2/unit Residential x 88 = 9 Daycare 1/200m <sup>2</sup> (454/200) = 2 Fitness 1/200m <sup>2</sup> (454/200) = 2 Total = 13
<b>Building Setbacks</b>	
Front Yard (South)	N/A, 14.63m - 1.38m ROAD DEDICATION PROPOSED
Rear Yard (North)	N/A, 6.68m
Side Yard (West)	N/A, 3.77m - 2.97m (AT PARKADE EXIT STAIR ONLY)
Side Yard (East)	N/A, 2.73m
<b>Residential Use Details</b>	
Total Number of Units	88
Unit Type Breakdown	3 Bachelor units, 34 one bedroom units, 26 two bedroom units, 20 three bedroom units
Ground Oriented Units	3 commercial at Building A, 11 residential at Building B
Minimum Unit Floor Area	36 m <sup>2</sup>
Total Residential Floor Area	6,995.63 m <sup>2</sup>

Refer to sheet A3.04 for height calculations.  
 AREAS SHOWN IN THIS TABLE ARE FOR ZONING PURPOSES ONLY & ARE MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS.

FLOOR AREA - ZONING		
Level	Area	Area Type
Blgd A Main Level	867.45 m <sup>2</sup>	Building Common Area
Blgd A Level 2	868.97 m <sup>2</sup>	Building Common Area
Blgd A Level 3	868.97 m <sup>2</sup>	Building Common Area
Blgd A Level 4	868.98 m <sup>2</sup>	Building Common Area
Blgd A Level 5	912.25 m <sup>2</sup>	Building Common Area
Blgd B Main Level	851.23 m <sup>2</sup>	Building Common Area
Blgd B Level 2	870.33 m <sup>2</sup>	Building Common Area
Blgd B Level 3	870.41 m <sup>2</sup>	Building Common Area
Blgd B Level 4	870.41 m <sup>2</sup>	Building Common Area
U/G Parkade	3,427.93 m <sup>2</sup>	Below Grade Concrete Construction
	1,169.38 m <sup>2</sup>	

**NOTE:**  
 THESE AREAS ARE USED FOR ZONING PURPOSES ONLY & ARE MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS.

GROSS BUILDABLE FLOOR AREA		
Level	Area	Construction Type
Blgd A Main Level	924.57 m <sup>2</sup>	Concrete Construction Over Parkade
Blgd A Level 2	868.97 m <sup>2</sup>	Wood Frame
Blgd A Level 3	912.25 m <sup>2</sup>	Wood Frame
Blgd A Level 4	912.26 m <sup>2</sup>	Wood Frame
Blgd A Level 5	912.25 m <sup>2</sup>	Wood Frame
Blgd B Main Level	891.89 m <sup>2</sup>	Wood Frame Construction Over Parkade
Blgd B Level 2	913.46 m <sup>2</sup>	Wood Frame
Blgd B Level 3	913.08 m <sup>2</sup>	Wood Frame
Blgd B Level 4	913.21 m <sup>2</sup>	Wood Frame
U/G Parkade	3,427.93 m <sup>2</sup>	Below Grade Concrete Construction
	1,169.38 m <sup>2</sup>	

**NOTE:**  
 THESE AREAS ARE USED FOR ZONING PURPOSES ONLY & ARE MEASURED TO THE EXTERIOR FACE OF EXTERIOR WALLS, CENTERLINE OF PARTITION WALLS, & CENTERLINE OF CORRIDOR WALLS.

Unit Matrix			
Type	Unit Number	Area (m <sup>2</sup> )	Building
1 Bed	A202	54.32	Building A
1 Bed	A203	54.02	Building A
1 Bed	A206	54.01	Building A
1 Bed	A206	54.32	Building A
1 Bed	A302	54.32	Building A
1 Bed	A303	54.02	Building A
1 Bed	A304	54.01	Building A
1 Bed	A305	54.32	Building A
1 Bed	A402	54.32	Building A
1 Bed	A403	54.02	Building A
1 Bed	A404	54.01	Building A
1 Bed	A405	54.32	Building A
1 Bed	A502	54.32	Building A
1 Bed	A503	54.02	Building A
1 Bed	A504	54.01	Building A
1 Bed	A505	54.32	Building A
1 Bed	B104	52.30	Building B
1 Bed	B105	52.37	Building B
1 Bed	B106	52.37	Building B
1 Bed	B107	52.45	Building B
1 Bed	B110	63.55	Building B
1 Bed	B111	61.00	Building B
1 Bed	B204	54.15	Building B
1 Bed	B205	53.96	Building B
1 Bed	B206	54.09	Building B
1 Bed	B207	54.10	Building B
1 Bed	B304	54.15	Building B
1 Bed	B305	53.96	Building B
1 Bed	B306	54.09	Building B
1 Bed	B307	54.18	Building B
1 Bed	B404	54.15	Building B
1 Bed	B405	53.96	Building B
1 Bed	B406	54.09	Building B
1 Bed	B407	54.33	Building B
34		1,849.59	

Unit Matrix			
Type	Unit Number	Area (m <sup>2</sup> )	Building
2 Bed	A201	69.63	Building A
2 Bed	A209	77.55	Building A
2 Bed	A210	77.97	Building A
2 Bed	A301	69.76	Building A
2 Bed	A309	77.59	Building A
2 Bed	A310	77.97	Building A
2 Bed	A401	69.76	Building A
2 Bed	A409	169.58	Building A
2 Bed	A410	77.57	Building A
2 Bed	A501	69.76	Building A
2 Bed	A509	77.54	Building A
2 Bed	A510	78.06	Building A
2 Bed	B108	76.21	Building B
2 Bed	B109	83.44	Building B
2 Bed	B208	84.90	Building B
2 Bed	B210	82.24	Building B
2 Bed	B211	78.37	Building B
2 Bed	B308	84.87	Building B
2 Bed	B309	87.75	Building B
2 Bed	B310	82.46	Building B
2 Bed	B311	78.42	Building B
2 Bed	B408	84.70	Building B
2 Bed	B410	82.65	Building B
2 Bed	B411	78.37	Building B
24		1,976.66	

Unit Matrix			
Type	Unit Number	Area (m <sup>2</sup> )	Building
3 Bed	A207	94.99	Building A
3 Bed	A208	99.40	Building A
3 Bed	A307	94.99	Building A
3 Bed	A308	99.40	Building A
3 Bed	A311	109.57	Building A
3 Bed	A407	94.99	Building A
3 Bed	A408	99.40	Building A
3 Bed	A507	94.99	Building A
3 Bed	A508	99.37	Building A
3 Bed	A511	109.57	Building A
3 Bed	B101	92.44	Building B
3 Bed	B102	95.12	Building B
3 Bed	B201	101.65	Building B
3 Bed	B202	94.82	Building B
3 Bed	B209	99.08	Building B
3 Bed	B301	101.65	Building B
3 Bed	B302	94.82	Building B
3 Bed	B401	101.72	Building B
3 Bed	B402	94.82	Building B
3 Bed	B409	100.12	Building B
20		1,972.84	

Unit Matrix			
Type	Unit Number	Area (m <sup>2</sup> )	Building
Bachelor	A206	35.76	Building A
Bachelor	A306	35.76	Building A
Bachelor	A406	35.76	Building A
Bachelor	A506	35.76	Building A
Bachelor	B103	35.96	Building B
Bachelor	B203	35.92	Building B
Bachelor	B303	35.92	Building B
Bachelor	B403	35.92	Building B
8		286.75	

Functional Program - BC Housing Standards				
Project Name:	Pacific at Burnside			
Address:	686-688 Cecilia Road & 3130 Jutland Road			
Building Type:	Primarily wood frame with a concrete commercial level at Building A.			
Function	Description of units/spaces	Floor area (m <sup>2</sup> )	# of units	Total RT* Total m <sup>2</sup>
a - Residential units	Bachelor	387.07	8	1,096.71
	One bedroom	583.73 - 688.75	34	19,948.54
	Two bedroom	751.97 - 959.10	24	20,334.21
b - Resident's Amenity	Two bedroom + Den	1,050.13 - 1,056.15	2	2,106.27
	Three bedrooms	995.03 - 1,182.20	20	21,241.10
Total # of units:			88	66,726.79
c - Circulation	Shared laundry	118.40 - 129.17	4	4,951.14
	Shared community spaces	4,432.76 - 4,498.78	2	8,931.55
d - Service rooms (above grade only)	Garbans & lobby			6,727.44
	Stairs			2,830.91
	Elevators			69.65
e - Electrical/mechanical	Janitor's room			290.63
				333.68
Summary		Total RT*	Total m <sup>2</sup>	
a - Total Residential Area		66,726.79	6,199.13	
b - Total Resident's Amenity		9,429.19	870.00	
c - Total Circulation		10,258.01	951.00	
d - Total Service rooms (above grade)		624.31	58.00	
e - GROSS LIVABLE AREA (a+b+c+d)		87,038.18	8,096.13	
Overall Building Efficiency (a ÷ e)*100				76.7%
*Efficiency target for projects with additional amenities and program space is 76%.				
<b>NOTE:</b> AREAS MEASURED TO THE EXTERIOR FACE OF SHEATHING, CENTERLINE OF PARTITION WALLS, & CENTERLINE OF CORRIDOR WALLS.				

**Burnside School Property**  
 496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

## Project Information

Date	2022-03-22 10:29:39 AM
Drawn by	CC
Checked by	CL
<b>A0.00</b>	
Scale	As indicated

**EXTERIOR WALLS**

<p><b>EXTERIOR CONCRETE WALL BELOW GRADE</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: N/A</p>	<p>COMPACTED FREE DRAINING FILL DRAIN MAT w/ INTEGRAL FILTER FABRIC LIQUID APPLIED MEMBRANE CONCRETE FOUNDATION WALL (REFER TO STRUCTURAL) PAINTED WHITE (ALL PARADE LEVEL SPACES)</p>
<p><b>EXTERIOR CONCRETE WALL BELOW GRADE - AT SEMI HEATED SPACES</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: 1.83 CL</p>	<p>COMPACTED FREE DRAINING FILL DRAIN MAT w/ INTEGRAL FILTER FABRIC CONTINUOUS 50mm RIGID EPS INSULATION (R10) LIQUID APPLIED MEMBRANE CONCRETE FOUNDATION WALL (REFER TO STRUCTURAL)</p>
<p><b>EXTERIOR CONCRETE WALL BELOW GRADE - AT HEATED SPACES</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: 2.87 CL</p>	<p>COMPACTED FREE DRAINING FILL DRAIN MAT w/ INTEGRAL FILTER FABRIC CONTINUOUS 50mm RIGID EPS INSULATION (R10) LIQUID APPLIED MEMBRANE CONCRETE FOUNDATION WALL (REFER TO STRUCTURAL) 6 MIL POLYETHYLENE VAPOUR BARRIER 92mm STEEL STUDS @ 400mm O.C. R22 MINERAL WOOL BATT INSULATION 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>EXTERIOR STEEL STUD WALL WITH METAL PANEL FINISH - AT BLDG 'A' MAIN FLOOR</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: 2.59 CL</p>	<p>METAL PANEL CLADDING SYSTEM 25mm GALVANIZED VERTICAL Z-GIRTS 89mm ROCK WOOL INSULATION WITH ISOCLIPS SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 16mm EXTERIOR RATED GYPSUM CORE SHEATHING 152mm STEEL STUDS @ 400mm O.C. R22 BATT INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>EXTERIOR STEEL STUD WALL WITH METAL PANEL FINISH - FURRED INTERIOR</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: 2.59 CL</p>	<p>METAL PANEL CLADDING SYSTEM 25mm GALVANIZED VERTICAL Z-GIRTS 89mm ROCK WOOL INSULATION WITH ISOCLIPS SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 16mm EXTERIOR RATED GYPSUM CORE SHEATHING 152mm STEEL STUDS @ 400mm O.C. R22 BATT INSULATION 32mm GALVANIZED FURRING 6 MIL POLYETHYLENE VAPOUR BARRIER 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>EXTERIOR STEEL STUD WALL WITH METAL PANEL FINISH - AT CONCRETE WALL</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: N/A</p>	<p>METAL PANEL CLADDING SYSTEM 25mm GALVANIZED VERTICAL Z-GIRTS 89mm ROCK WOOL INSULATION WITH ISOCLIPS SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER CONCRETE WALL (REFER TO STRUCTURAL DRAWINGS)</p>
<p><b>EXTERIOR STEEL STUD WALL WITH METAL PANEL FINISH - PROJECTIONS AT BLDG 'A' MAIN FLOOR</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: 2.25 CL</p>	<p>METAL PANEL CLADDING SYSTEM 89mm ROCK WOOL INSULATION WITH ISOCLIPS SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 16mm EXTERIOR RATED GYPSUM CORE SHEATHING 152mm STEEL STUDS @ 400mm O.C. 16mm EXTERIOR RATED GYPSUM CORE SHEATHING SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 89mm ROCK WOOL INSULATION WITH ISOCLIPS FIBER-CEMENT PANEL SYSTEM</p>
<p><b>EXTERIOR WOOD STUD WALL WITH HARDIE PANEL FINISH</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: 2.14 CL</p>	<p>FIBER-CEMENT PANEL SYSTEM 25mm GALVANIZED VERTICAL Z-GIRTS 89mm ROCK WOOL INSULATION WITH ISOCLIPS SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 16mm PLYWOOD SHEATHING 140mm WOOD STUDS @ 400mm O.C. R22 BATT INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>EXTERIOR WOOD STUD WALL WITH HARDIE PANEL FINISH - FURRED INTERIOR</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: 2.25 CL</p>	<p>FIBER-CEMENT PANEL SYSTEM 25mm GALVANIZED VERTICAL Z-GIRTS 89mm ROCK WOOL INSULATION WITH ISOCLIPS SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 13mm PLYWOOD SHEATHING 140mm WOOD STUDS @ 400mm O.C. R22 BATT INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 89mm WOOD FURRING 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>EXTERIOR WOOD STUD WALL WITH HARDIE PANEL FINISH - NARROW PROJECTION</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: N/A</p>	<p>FIBER-CEMENT PANEL SYSTEM 16mm GALVANIZED VERTICAL Z-GIRTS SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 13mm PLYWOOD SHEATHING 140mm WOOD STUDS @ 400mm O.C. R22 BATT INSULATION 13mm PLYWOOD SHEATHING SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER FIBER-CEMENT PANEL SYSTEM</p>
<p><b>EXTERIOR WOOD STUD WALL WITH HARDIE PANEL FINISH - TYPICAL PROJECTIONS</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: 2.88 CL</p>	<p>FIBER-CEMENT PANEL SYSTEM 25mm GALVANIZED VERTICAL Z-GIRTS 89mm ROCK WOOL INSULATION WITH ISOCLIPS SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 13mm PLYWOOD SHEATHING 140mm WOOD STUDS @ 400mm O.C. 13mm PLYWOOD SHEATHING SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 89mm ROCK WOOL INSULATION WITH ISOCLIPS 25mm GALVANIZED VERTICAL Z-GIRTS FIBER-CEMENT PANEL SYSTEM</p>

**INTERIOR WALLS**

<p><b>STEEL STUD CORRIDOR/STAIRWELL SEPARATION AT BUILDING 'A' MAIN FLOOR</b></p> <p>ASSEMBLY 556 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 47</p> <p>RS: N/A</p>	<p>2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD 92mm STEEL STUDS @ 400mm O.C. STAGGERED ON 152mm PLATE ACUSTIC BATT INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>92mm STEEL STUD PARTITION WALL</b></p> <p>(SEE PLANS FOR LOCATIONS) FRR: 3/HR</p> <p>ASSEMBLY 548 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 47</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD 92mm STEEL STUDS @ 400mm O.C. 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>152mm STEEL STUD PARTITION WALL</b></p> <p>(SEE PLANS FOR LOCATIONS) FRR: 3/HR</p> <p>ASSEMBLY 579 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 51</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD 152mm STEEL STUDS @ 400mm O.C. 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>TYPICAL SUITE SEPARATION WALL - BUILDING A MAIN FLOOR</b></p> <p>SM: TO W144 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 51</p> <p>RS: N/A</p>	<p>2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD 92mm STEEL STUDS @ 400mm O.C. ACUSTIC BATT INSULATION 13mm AIR GAP 92mm STEEL STUDS @ 400mm O.C. ACUSTIC BATT INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>TYPICAL STEEL STUD FURRING</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD 92mm STEEL STUDS @ 400mm O.C. 13mm AIR GAP ADJACENT ASSEMBLY, SEE PLANS</p>
<p><b>TYPICAL STEEL FURRING</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD 25mm LIGHT GAUGE STEEL FURRING CHANNELS @ 400mm ADJACENT ASSEMBLY, SEE PLANS</p>
<p><b>TYPICAL WOOD FRAMED CORRIDOR/STAIRWELL SEPARATION - SHEAR WALLS</b></p> <p>(SEE PLANS FOR LOCATIONS) FRR: 3/HR</p> <p>SM: TO W144 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 52</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD 13mm PLYWOOD SHEATHING 38X45mm PLATE 38X89mm WOOD STUDS @ 400mm O.C. STAGGERED ON ACUSTIC BATT INSULATION 13mm PLYWOOD SHEATHING 6 MIL POLYETHYLENE VAPOUR BARRIER 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>TYPICAL WOOD FRAMED CORRIDOR/STAIRWELL SEPARATION</b></p> <p>(SEE PLANS FOR LOCATIONS) FRR: 3/HR</p> <p>ASSEMBLY W144 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 52</p> <p>RS: N/A</p>	<p>2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD 38X89mm WOOD STUDS @ 400mm O.C. STAGGERED ON 38X45mm PLATE ACUSTIC BATT INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>TYPICAL WOOD FRAMED ELEVATOR SEPARATION AT SUITES</b></p> <p>(SEE PLANS FOR LOCATIONS) FRR: 3/HR</p> <p>SM: TO W144 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 58</p> <p>RS: N/A</p>	<p>2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD 38X89mm WOOD STUDS @ 400mm O.C. STAGGERED ON 38X45mm PLATE ACUSTIC BATT INSULATION 13mm PLYWOOD SHEATHING - AT INTERIOR OF ELEVATOR SHAFT 6 MIL POLYETHYLENE VAPOUR BARRIER 2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD</p>

<p><b>TYPICAL WOOD FRAMED PARTY WALL - SHEAR WALLS</b></p> <p>SM: TO W144 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 61</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD 13mm PLYWOOD SHEATHING (OMITTED IN SOME AREAS, SEE STRUCT) 38X89mm WOOD STUDS @ 400mm O.C. ACUSTIC BATT INSULATION 13mm AIR GAP 38X89mm WOOD STUDS @ 400mm O.C. ACUSTIC BATT INSULATION 13mm PLYWOOD SHEATHING 6 MIL POLYETHYLENE VAPOUR BARRIER 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>TYPICAL WOOD FRAMED PARTY WALL</b></p> <p>ASSEMBLY W144 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 61</p> <p>RS: N/A</p>	<p>2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD 38X89mm WOOD STUDS @ 400mm O.C. ACUSTIC BATT INSULATION 13mm AIR GAP 38X89mm WOOD STUDS @ 400mm O.C. ACUSTIC BATT INSULATION 6 MIL POLYETHYLENE VAPOUR BARRIER 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>TYPICAL 2X4 WOOD FRAMED PARTITION WALL</b></p> <p>ASSEMBLY W14 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD 38X89mm WOOD STUDS @ 400mm O.C. 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>TYPICAL 2X6 WOOD FRAMED PARTITION WALL</b></p> <p>ASSEMBLY W16 PER BCBC 2018 TABLE 9.10.3.1.4</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD 38X89mm WOOD STUDS @ 400mm O.C. ACUSTIC BATT INSULATION 1 LAYER 16mm TYPE-X GYPSUM WALLBOARD</p>
<p><b>TYPICAL 2X4 WOOD FRAMED FURRING WALL</b></p> <p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD 38X89mm WOOD STUDS @ 400mm O.C. ACUSTIC BATT INSULATION ADJACENT ASSEMBLY AS SHOWN ON PLANS</p>
<p><b>TYPICAL STEEL STUD FRAMED SHAFT WALL</b></p> <p>ASSEMBLY ULC 4442 SYSTEM **</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RS: N/A</p>	<p>1 LAYER 16mm TYPE-X GYPSUM WALLBOARD MIN. 64mm STEEL C-H STUDS @ 610mm O.C. 25mm GYPSUM LINER PANEL</p>
<p><b>CONCRETE MASONRY UNIT WALL - PARADE SERVICE ROOMS &amp; BLDG A MAIN LEVEL EXIT SEPARATIONS</b></p> <p>ULC DESIGN NO. U105 OR NO. U193</p> <p>FRR: 3/HR</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: 52</p> <p>RS: N/A</p>	<p>190mm CONCRETE MASONRY UNITS</p>

**Christine Lintott Architects Inc.**

Suite 1 - 864 Queen Avenue, Victoria, BC V8T 1M5  
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Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 23, 2022

No.	Description	Date
1	Assembling 78 & P9 TRN FILE	2022-02-23
2	Assembly P6d similar to W16 per BCBC add'd 2022-02-23 for elevator shafts at suites	2022-02-23

**Consultant**

**Burnside School Property**

496-498 Cecelia Road &  
3130 Juliard Road,  
Victoria, BC

**Assemblies**

Date	2022-03-22 10:29:43 AM
Drawn by	BH
Checked by	CC
<b>A0.01</b>	
Scale	1 : 20

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FLOOR ASSEMBLIES	
<b>PARKADE LEVEL FLOOR - SLAB ON GRADE</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>F1</p> <p>CONCRETE SLAB ON GRADE (REFER TO STRUCTURAL) 10 MIL POLYETHYLENE MOISTURE BARRIER COMPACT GRANULAR BASE (REFER TO STRUCTURAL)</p>
<b>MAIN LEVEL FLOOR SLAB - INSULATED FROM BELOW</b>	<p>FRR: CP TO 208</p> <p>PER BCBC 2018 TABLE D-2.2.1-A</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: S8</p> <p>RSI: 3.74 G.L.</p> <p>F2</p> <p>FLOOR FINISH SUSPENDED CONCRETE SLAB (REFER TO STRUCTURAL) LIQUID APPLIED MEMBRANE - AIR/VAPOUR/MOISTURE BARRIER SPRAY APPLIED INSULATION R20</p> <p>* CALCULATED STC PER NRC ARTICLE * CONTROLLING THE TRANSMISSION OF AIRBORNE SOUND THROUGH FLOORS BY DR. A.C.C. WARDROCK, 2009.</p>
<b>BUILDING A LEVEL 2 SLAB - OVER FINISHED INTERIOR SPACES</b>	<p>FRR: CP TO 208</p> <p>PER BCBC 2018 TABLE D-2.2.1-A</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: S8 X</p> <p>RSI: N/A</p> <p>F3</p> <p>FLOOR FINISH SUSPENDED CONCRETE SLAB (REFER TO STRUCTURAL) CEILING ASSEMBLY AS INDICATED</p> <p>* CALCULATED STC PER NRC ARTICLE * CONTROLLING THE TRANSMISSION OF AIRBORNE SOUND THROUGH FLOORS BY DR. A.C.C. WARDROCK, 2009.</p>
<b>PLANTING OVER CONCRETE SLAB</b>	<p>FRR: CP TO 208</p> <p>PER BCBC 2018 TABLE D-2.2.1-A</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>F4</p> <p>450mm LIGHT WEIGHT PLANTING MEDIUM (MINIMUM) PLANTING &amp; PAVING PER LANDSCAPE DRAWINGS FILTER FABRIC 50mm DRAIN ROCK COMPOSITE DRAINAGE MAT ROOTING MEMBRANE SUSPENDED CONCRETE SLAB - SLOPE 2% (REFER TO STRUCTURAL)</p>
<b>TYPICAL WOOD JOIST FLOOR - INTERIOR SPACES</b>	<p>FRR: S18</p> <p>PER BCBC 2018 TABLE D-2.2.1-B</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: NO</p> <p>STC: S7</p> <p>RSI: N/A</p> <p>F5</p> <p>FLOOR FINISH OSB OR PLYWOOD UNDERLAY AT RESILIENT FLOORING 9mm RUBBERIZED ACOUSTIC FLOOR MATS 19mm PLYWOOD SHEATHING SUBFLOOR WOOD JOISTS (REFER TO STRUCTURAL) ACOUSTIC BATT INSULATION METAL FURRING CHANNELS ON SUSPENDED SOUND ISOLATORS 16mm TYPE-X GYPSUM WALLBOARD</p>
<b>WOOD JOIST FLOOR - RESIDENTIAL CORRIDORS</b>	<p>FRR: S18</p> <p>PER BCBC 2018 TABLE D-2.2.1-D</p> <p>FIRE SEPARATION: YES</p> <p>NON-COMBUSTIBLE: NO</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>F5B</p> <p>FLOOR FINISH OSB OR PLYWOOD UNDERLAY AT RESILIENT FLOORING 9mm RUBBERIZED ACOUSTIC FLOOR MATS 19mm PLYWOOD SHEATHING SUBFLOOR 38x18mm WOOD JOISTS RESILIENT METAL CHANNELS AT 400mm o.c. 2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD</p>
<b>WOOD JOIST FLOOR - TYPICAL BALCONIES</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: NO</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>F6</p> <p>PVC DECK MEMBRANE 19mm PLYWOOD SHEATHING TAPERED WOOD BLOCKING TO PROVIDE 2% SLOPE 38x18mm WOOD JOISTS (REFER TO STRUCTURAL) FIBER-CEMENT PANEL SYSTEM SOFFIT</p>
<b>WOOD JOIST FLOOR - LEVEL 2 BALCONIES</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: NO</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>F7</p> <p>PVC DECK MEMBRANE 19mm PLYWOOD SHEATHING TAPERED WOOD BLOCKING TO PROVIDE 2% SLOPE 38x18mm WOOD JOISTS (REFER TO STRUCTURAL) 65mm WOOD FURRING FIBER-CEMENT PANEL SYSTEM SOFFIT</p>
<b>BUILDING A LEVEL 2 BALCONIES - AT FIN WALLS</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>F8</p> <p>PVC DECK MEMBRANE CONCRETE SLAB (REFER TO STRUCTURAL) 102mm METAL Z-GIRTS 25mm METAL Z-GIRTS FIBER-CEMENT PANEL SYSTEM SOFFIT</p>
<b>BUILDING A LEVEL 2 BALCONIES - TYPICAL</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>F9</p> <p>PVC DECK MEMBRANE CONCRETE SLAB (REFER TO STRUCTURAL) 25mm METAL Z-GIRTS FIBER-CEMENT PANEL SYSTEM SOFFIT</p>

CEILING ASSEMBLIES	
<b>TYPICAL FINISHED CEILING</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>C1</p> <p>TYPICAL FLOOR ASSEMBLY STEEL CLIP ANGLES TO SUPPORT STEEL FRAMING LIGHT GAUGE STEEL FRAMING 16mm TYPE-X GYPSUM WALLBOARD</p>
<b>SUSPENDED CEILING - RESIDENTIAL CORRIDORS</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>C2</p> <p>FLOOR OR ROOF ASSEMBLY F5B OR R1B (ABOVE) CEILING CAVITY AS REQUIRED FOR MECHANICAL DUCTING SUSPENDED CEILING TILES SYSTEM</p>
<b>TYPICAL WOOD JOIST FLAT ROOF</b>	<p>FRR: S18</p> <p>ASSEMBLY FRR PER BCBC 2018 TABLE 9.10.3.1-F</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: NO</p> <p>STC: N/A</p> <p>RSI: 7.48 G.L.</p> <p>R1</p> <p>2 PLY SBS ROOFING MEMBRANE PROTECTION BOARD SLOPED POLYISO INSULATION 2% - MIN. THICKNESS 13mm 100mm POLYISO INSULATION (R22) SELF ADHESIVE VAPOUR BARRIER MEMBRANE 16mm PLYWOOD SHEATHING WOOD JOISTS (REFER TO STRUCTURAL) 2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD</p>
<b>WOOD JOIST FLAT ROOF - RESIDENTIAL CORRIDORS</b>	<p>FRR: S18</p> <p>ASSEMBLY FRR PER BCBC 2018 TABLE 9.10.3.1-F</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: NO</p> <p>STC: N/A</p> <p>RSI: 7.48 G.L.</p> <p>R1B</p> <p>2 PLY SBS ROOFING MEMBRANE PROTECTION BOARD SLOPED POLYISO INSULATION 2% - MIN. THICKNESS 13mm 100mm POLYISO INSULATION (R22) SELF ADHESIVE VAPOUR BARRIER MEMBRANE 16mm PLYWOOD SHEATHING 18x89mm WOOD JOISTS 2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD</p>
<b>TYPICAL ROOF OVERHANG</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: NO</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>R2</p> <p>2 PLY SBS ROOFING MEMBRANE 16mm PLYWOOD SHEATHING 1% TAPERED WOOD JOISTS (REFER TO STRUCTURAL) HARDIE REVEAL PANEL SYSTEM</p>
<b>TYPICAL CANOPY AT BUILDING A</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: NO</p> <p>STC: N/A</p> <p>RSI: N/A</p> <p>R3</p> <p>2 PLY SBS ROOFING MEMBRANE PROTECTION BOARD SLOPED POLYISO INSULATION 2% - MIN. THICKNESS 13mm SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 13mm DENGLASS SHEATHING CORRUGATED METAL DECKING LIGHT GAUGE STEEL JOISTS HARDIE REVEAL PANEL SYSTEM</p>
<b>ENTRY VESTIBULE ROOFS AT BUILDING A</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: NO</p> <p>STC: N/A</p> <p>RSI: 3.36</p> <p>R4</p> <p>2 PLY SBS ROOFING MEMBRANE PROTECTION BOARD SLOPED POLYISO INSULATION 2% - MIN. THICKNESS 13mm SELF ADHESIVE VAPOUR PERMEABLE AIR/MOISTURE BARRIER 13mm DENGLASS SHEATHING CORRUGATED METAL DECKING 100mm PROLOFT ISOLATORS BETWEEN METAL DECKING AND JOISTS 100mm SPRAY FOAM INSULATION LIGHT GAUGE STEEL JOISTS 2 LAYERS 16mm TYPE-X GYPSUM WALLBOARD</p>
<b>INSULATED CONCRETE ROOF OVER PARKADE MECHANICAL ROOM</b>	<p>FRR: N/A</p> <p>FIRE SEPARATION: NO</p> <p>NON-COMBUSTIBLE: YES</p> <p>STC: N/A</p> <p>RSI: 3.74</p> <p>R5</p> <p>FILTER FABRIC HIGH COMPRESSIVE STRENGTH DRAINAGE MAT 2 PLY SBS ROOFING MEMBRANE CONCRETE (REFER TO STRUCTURAL) 75mm SPRAY FOAM INSULATION</p>

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Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date

Consultant

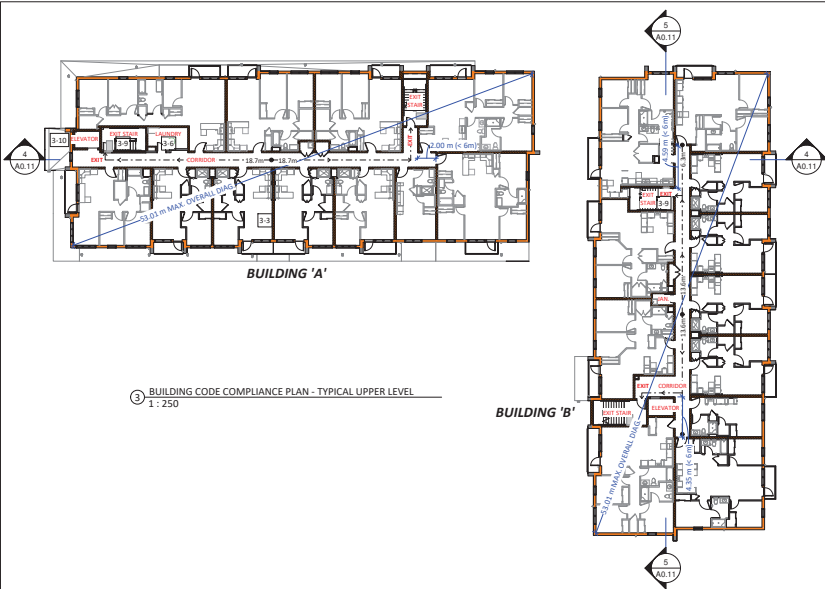
**Burnside School Property**

496-498 Cecelia Road &  
3130 Jutland Road,  
Victoria, BC

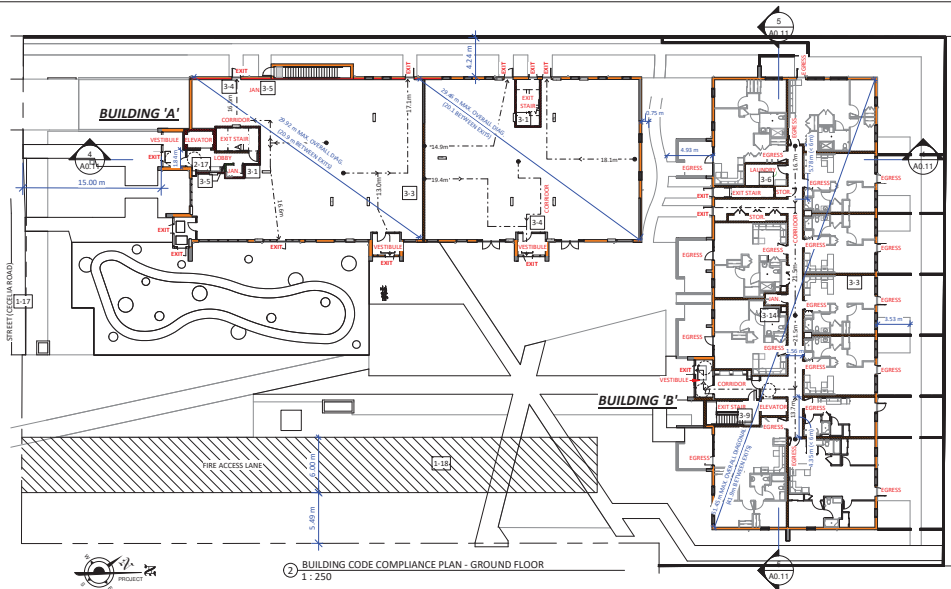
Assemblies

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Checked by	CC
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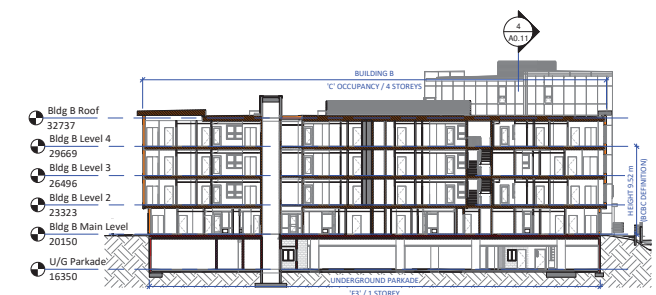




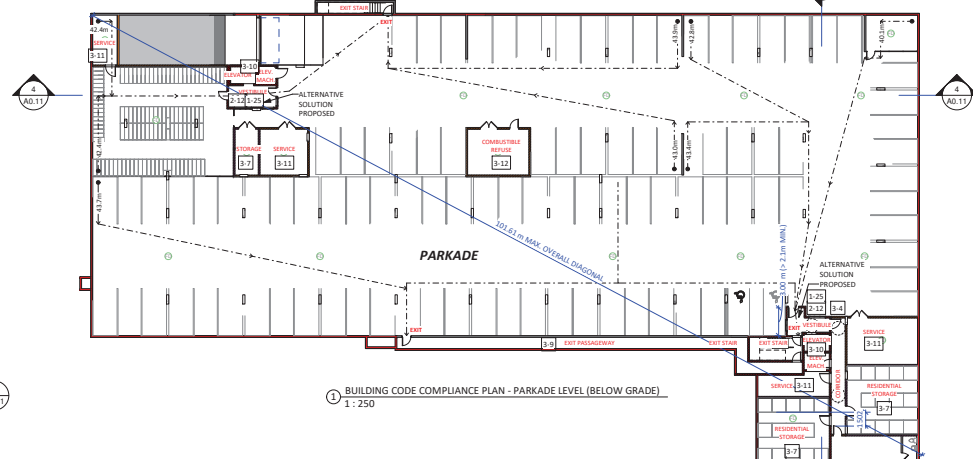
3 BUILDING CODE COMPLIANCE PLAN - TYPICAL UPPER LEVEL  
1:250



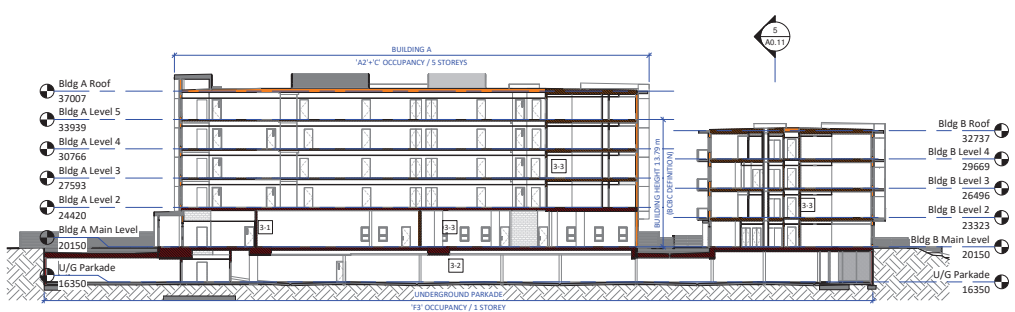
2 BUILDING CODE COMPLIANCE PLAN - GROUND FLOOR  
1:250



5 BUILDING CODE COMPLIANCE SECTION - BUILDING B  
1:250



1 BUILDING CODE COMPLIANCE PLAN - PARKADE LEVEL (BELOW GRADE)  
1:250



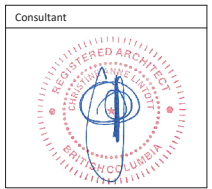
4 BUILDING CODE COMPLIANCE SECTION - BUILDINGS 'A' AND 'B'  
1:250

CODE COMPLIANCE PLAN/SECTION LEGEND		
1-10	BCRC ANALYSIS REFERENCE	FIRE RESISTANCE RATING (S.1.7.1)
EXIT	TRAVEL DISTANCE	0 HOUR
OC	OCCUPANT LOAD AT EXIT (S.4.3.1)	3/4 HOUR
ES	EXIT SIGN (S.4.5.1)	1 HOUR
EQUIPMENT	FIRE EXTINGUISHER	1.5 HOURS
	FIRE SEPARATION (S.1.8.1)	2 HOURS
		FIRE SEPARATION

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BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date



**Burnside School Property**  
496-498 Cecelia Road &  
3130 Jutland Road,  
Victoria, BC

**Building Code Compliance Plans & Section**

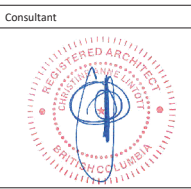
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Checked by	CL

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Issue	Date
50% REVIEW	JULY 31, 2020
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BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date



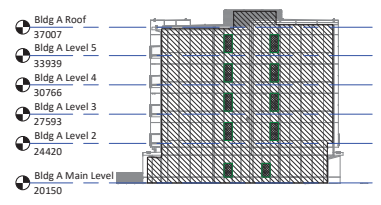
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Exterior Elevations - Spatial Separations**

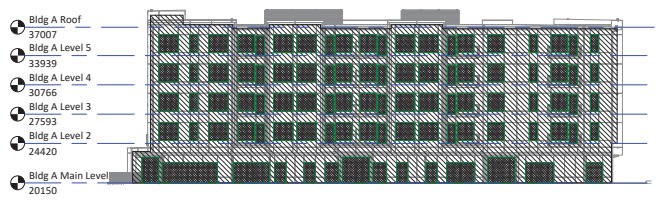
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 Checked by: CL, TK

**A0.12**

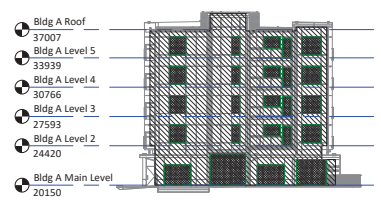
Scale: As indicated



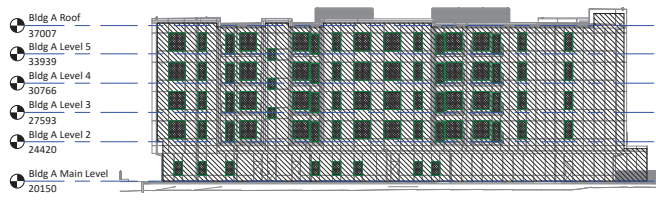
2 SPATIAL SEPARATIONS - BLDG A (NORTH)  
 1:250



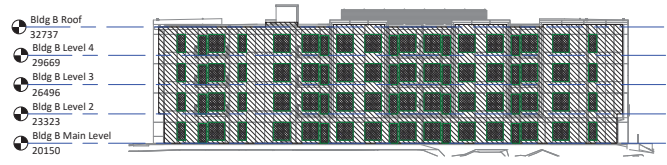
3 SPATIAL SEPARATIONS - BLDG A (EAST)  
 1:250



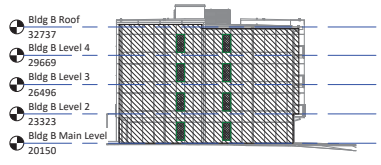
4 SPATIAL SEPARATIONS - BLDG A (SOUTH)  
 1:250



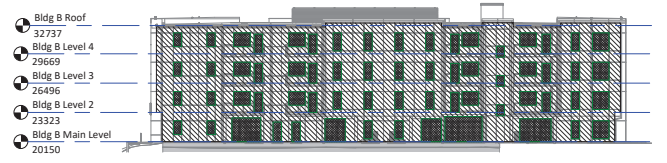
5 SPATIAL SEPARATIONS - BLDG A (WEST)  
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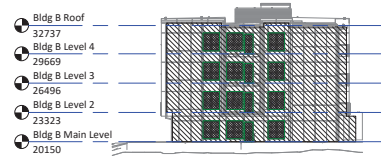
6 SPATIAL SEPARATIONS - BLDG B (NORTH)  
 1:250



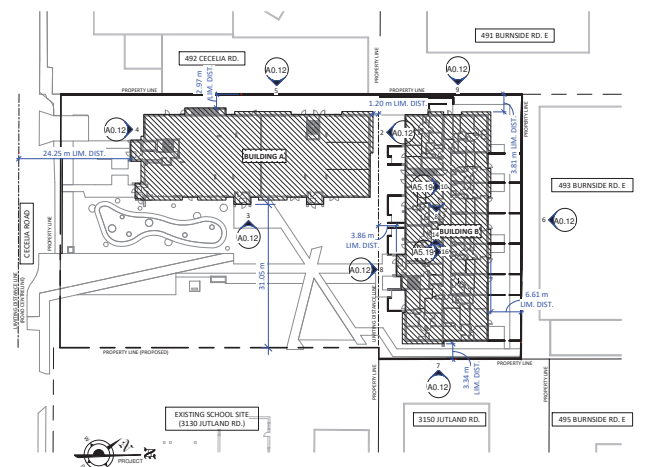
7 SPATIAL SEPARATIONS - BLDG B (EAST)  
 1:250



8 SPATIAL SEPARATIONS - BLDG B (SOUTH)  
 1:250



9 SPATIAL SEPARATIONS - BLDG B (WEST)  
 1:250



1 KEY PLAN - SPATIAL SEPARATIONS  
 1:500

**Legend to Spatial Separation Elevations**

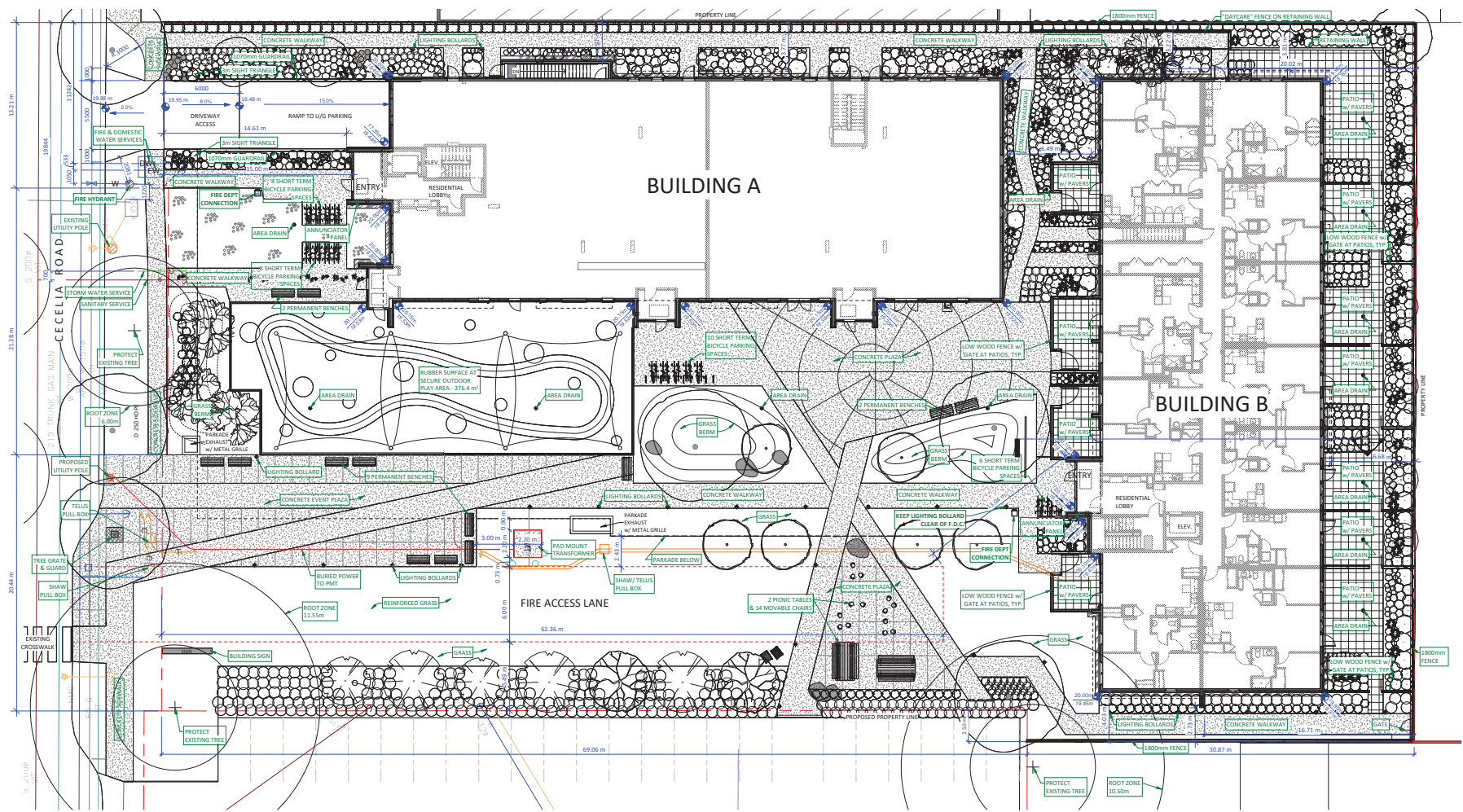


**Buildline Code Analysis - Spatial Separations**

B - SPATIAL SEPARATIONS										3.2.3
BUL	ANALYSIS REF./COMPARISON	WALL AREA (M <sup>2</sup> )	LIMITING DIST. (M)	MAX. AREA (%)	PROPOSED AREA (%)	P.A. (M <sup>2</sup> )	WALL NON-COMBUSTIBLE	GLASSING	COMPLIANT	REFERENCE
<b>BUILDING A</b>										
NORTH (NO. 9)		322.8	3.2	14.00	5.54	1	---	REQUIRED		3.2.3.0
EAST (P.L. 1)		282.8	3.20	100	26.56	1	---	---		3.2.3.0
SOUTH (ROAD-C1)		138.2	3.20	100	26.56	1	---	---		3.2.3.0
WEST (P.L. 1)		364.2	3.97	21.88	20.41	1	---	REQUIRED		3.2.3.0
<b>BUILDING B</b>										
NORTH (P.L. 1)		252.3	6.61	40.54	31.45	0.5	---	REQUIRED		3.2.3.0
EAST (P.L. 1)		282.8	3.34	26.22	5.74	1	---	REQUIRED		3.2.3.0
SOUTH (NO. 9)		309.2	3.88	30.02	28.38	0.5	---	REQUIRED		3.2.3.0
WEST (P.L. 1)		384.4	4.31	31.32	28.22	0.5	---	REQUIRED		3.2.3.0

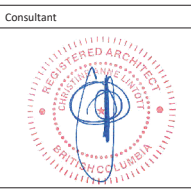
NOTE: THAT FIRE RESISTANCE RATING REQUIREMENTS NOTED ABOVE ARE THOSE REQUIRED BY 3.1.3.7. ONLY. ADDITIONAL REQUIREMENTS FOR LOADBEARING WALLS AND ELEMENTS MAY ALSO APPLY. REFER TO BUILDING CODE ANALYSIS OVERLEAF FOR ADDITIONAL INFORMATION.

\*NOTE THAT NON-COMBUSTIBLE GLASSING REQUIREMENTS ARE NOTED ABOVE ARE THOSE REQUIRED BY 3.1.3.7. ONLY. CONSTRUCTION CLASSIFICATION 3.2.3.0 REQUIRED NON-COMBUSTIBLE GLASSING ON ALL SIDES OF GROUP 'C' MAJOR OCCUPANCIES.



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
	1	Revised notes & SWR	2021-08-12
	2	Site services locations revised	2022-02-23
	3	3m sight triangles, root zones, & tree protection added	2022-02-23
	4	Curved transition at sidewalk	2022-02-23
	5	Tree removed from design	2022-02-23
	6	Tree grate & guard noted	2022-02-23



SYMBOL LEGEND	
	NEW CONCRETE
	EXISTING CONCRETE

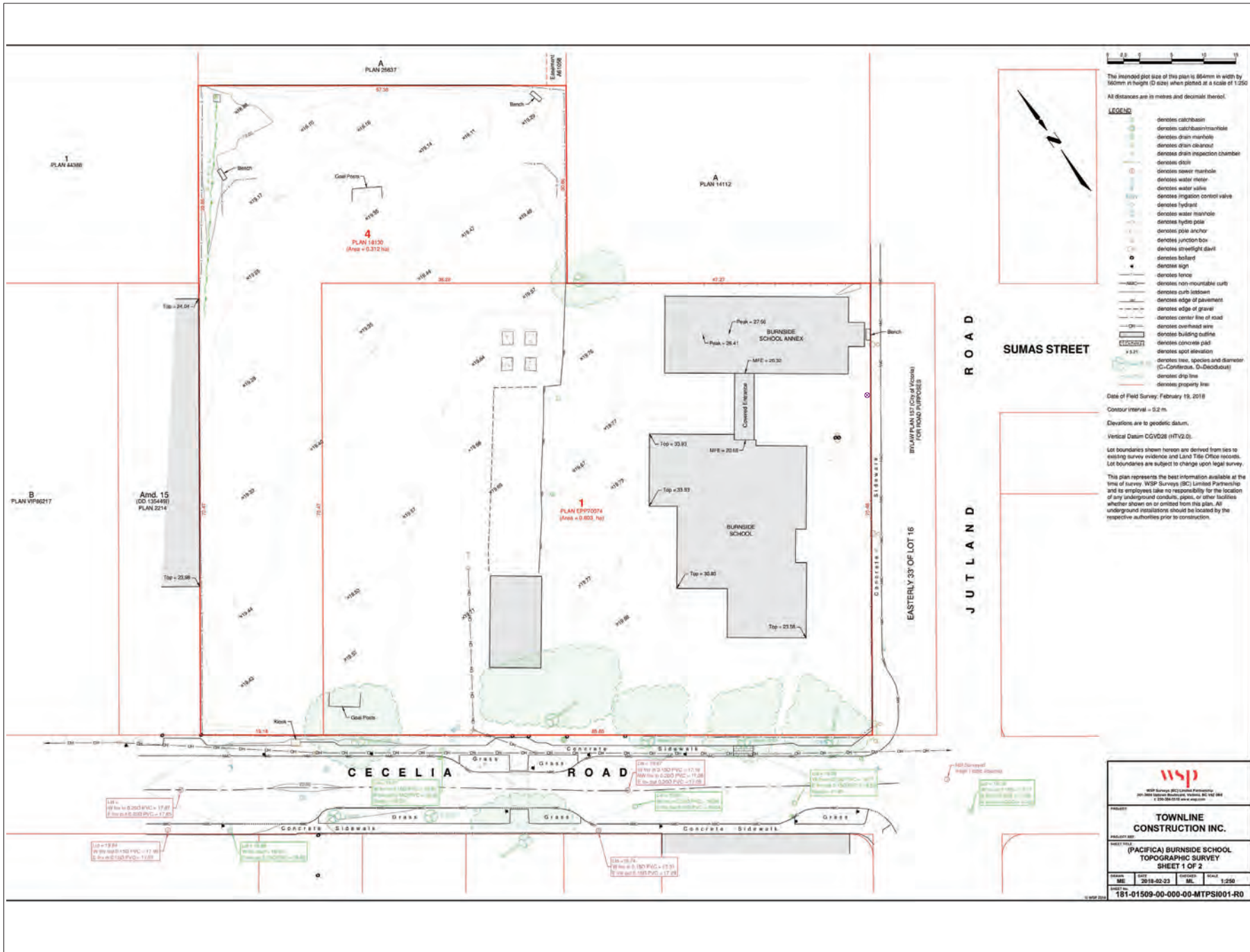
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Site Plan

Date	2022-03-22 10:31:00 AM
Drawn by	CC
Checked by	CL

**A1.00**  
 Scale As indicated

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Issue	Date
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BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 23, 2022

Revision	
No.	Description

Consultant	

**Burnside School Property**

496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Survey & Existing Site Plan

Date	2022-03-22 10:31:03 AM
Drawn by	OTHERS
Checked by	OTHERS
<b>A1.01</b>	
Scale	1:250

The intended plot size of this plan is 664mm in width by 960mm in height (D size) when plotted at a scale of 1:250

All distances are in metres and decimals thereof.

**LEGEND**

- denotes catchbasin
- denotes catchbasin/invertible
- denotes drain manhole
- denotes drain clean out
- denotes drain inspection chamber
- denotes ditch
- denotes sewer manhole
- denotes water manhole
- denotes water valve
- denotes irrigation control valve
- denotes hydrant
- denotes water manhole
- denotes water pole
- denotes pole anchor
- denotes junction box
- denotes streetlight davit
- denotes bollard
- denotes sign
- denotes fence
- denotes non-mountable curb
- denotes curb setback
- denotes edge of pavement
- denotes edge of gravel
- denotes center line of road
- denotes overhead wire
- denotes building outline
- denotes concrete pad
- denotes spot elevation
- denotes lines, spaces and diameter (C=Concrete, D=Ductile Iron)
- denotes dip line
- denotes property line

Date of Field Survey: February 19, 2018  
 Contour interval = 0.2 m.  
 Elevations are to geoidic datum.  
 Vertical Datum CGVD28 (HTV2.0).  
 Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.  
 This plan represents the best information available at the time of survey. WSP Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

**wsp**

WSP Surveys (BC) Limited Partnership  
 200-3000 Victoria Park Road, Victoria, BC V8T 1M5  
 T: 250.384.4360 www.wsp.ca

**TOWNLINE CONSTRUCTION INC.**

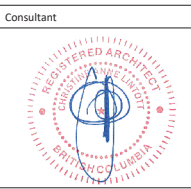
**(PACIFIC) BURNSIDE SCHOOL TOPOGRAPHIC SURVEY SHEET 1 OF 2**

PROJECT NO.	DATE	REVISION	SCALE
181-01509-00-000-00-MTPSI001-R0	2018-02-23	MC	1:250

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50% REVIEW	JULY 31, 2020
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95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
1	1	2HR FRR indicated at parkade exit.	2022-02-23

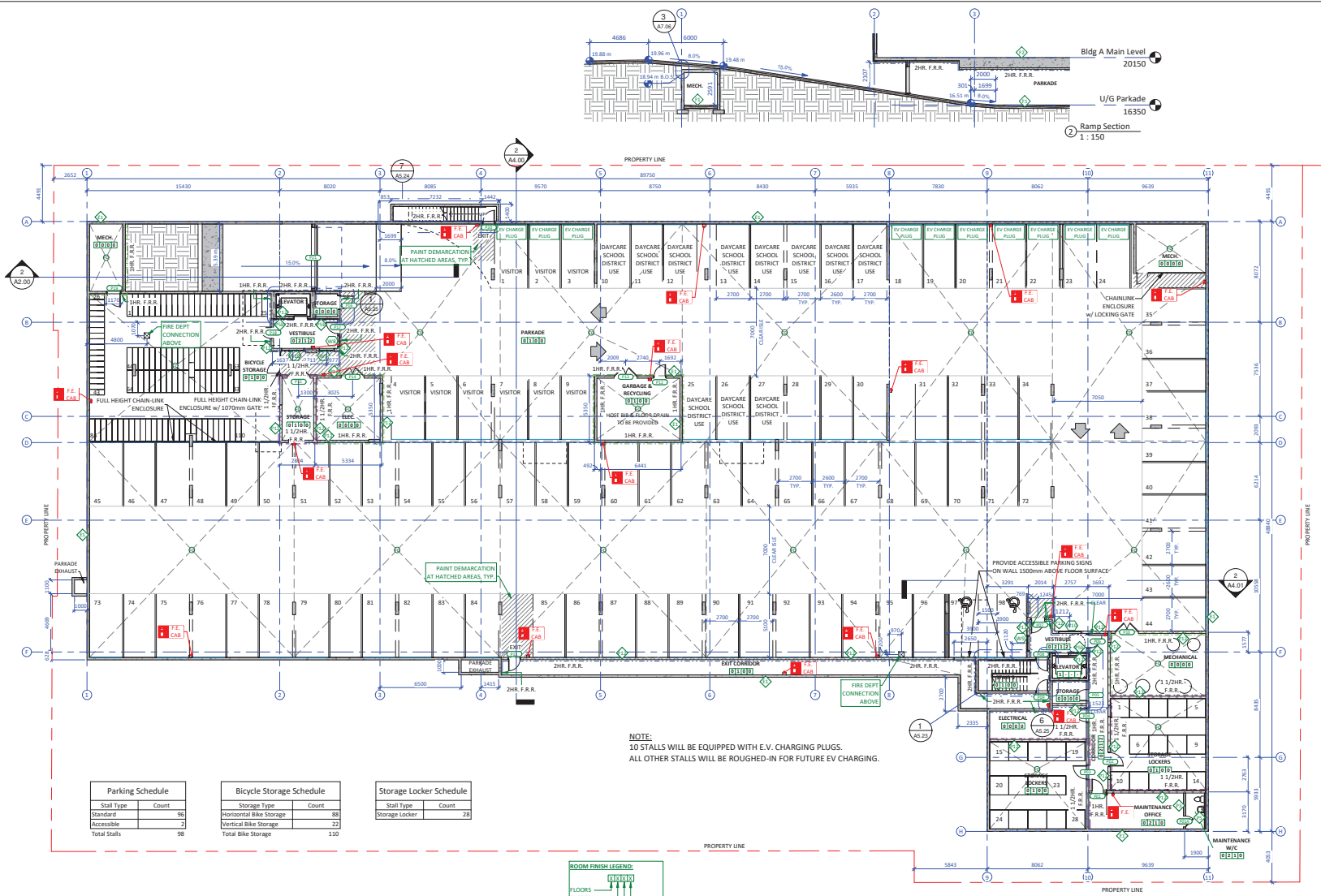


**Burnside School Property**  
 496-498 Cecelia Road &  
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 Victoria, BC

**U/G Parkade Plan**

Date: 2022-03-22 10:31:12 AM  
 Drawn by: CC  
 Checked by: CL

**A2.00**  
 Scale: As indicated



NOTE:  
 10 STALLS WILL BE EQUIPPED WITH E.V. CHARGING PLUGS.  
 ALL OTHER STALLS WILL BE ROUGHED-IN FOR FUTURE EV CHARGING.

Stall Type	Count
Standard	96
Accessible	2
<b>Total Stalls</b>	<b>98</b>

Storage Type	Count
Horizontal Bike Storage	88
Vertical Bike Storage	22
<b>Total Bike Storage</b>	<b>110</b>

Stall Type	Count
Storage Locker	28

**ROOM FINISH LEGEND:**

**FLOORS:**  
 0. NO FINISH  
 1. RESILIENT SHEET  
 2. VINYL PLANK

**BASE TRIM:**  
 0. NO BASE  
 1. PAINTED WOOD  
 2. RUBBER

**WALLS:**  
 0. NO FINISH  
 1. PAINTED GWB (OR CONC.)  
 2. PAINT + GWB CERAMIC TILE

NOTE:  
 PROVIDE CORNER PROTECTION AT GWB IN COMMON AREAS, TYP.

**CEILING:**  
 0. NO FINISH  
 1. PAINTED GWB  
 2. ACOUSTIC SUSPENDED CEILING

**F.R.R. LINE LEGEND**

--- 0HR F.R.R. FIRE SEPARATION  
 - - - 3/4HR F.R.R. FIRE SEPARATION  
 - - - 1HR F.R.R. FIRE SEPARATION  
 - - - 1 1/4HR F.R.R. FIRE SEPARATION  
 - - - 2HR F.R.R. FIRE SEPARATION

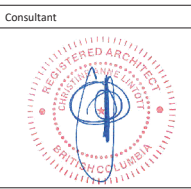
**SYMBOL LEGEND**

[E.F.] FIRE EXTINGUISHER - WALL HUNG  
 [E.F.] FIRE EXTINGUISHER - WALL HUNG CABINET  
 [E.F.] FIRE EXTINGUISHER - SEMI RECESSED CABINET

Issue	Date
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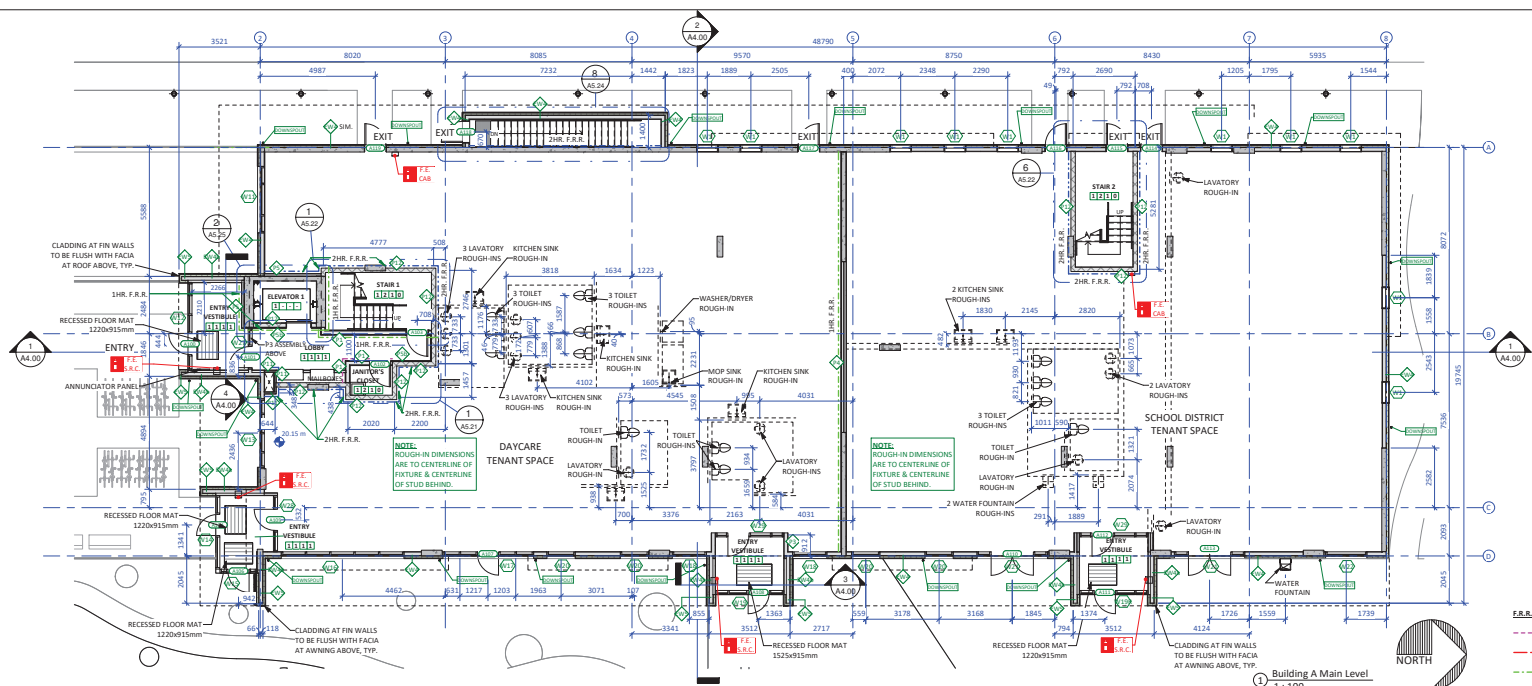
Revision	No.	Description	Date
1	1	2HR FRR (as indicated) of parking walls.	2022-02-23
2	2	Assembly Fld similar to W9a per BCRC added. 2022-02-23 for elevator shafts at suite.	2022-02-23
3	3	Doors in corridors revised.	2022-02-23



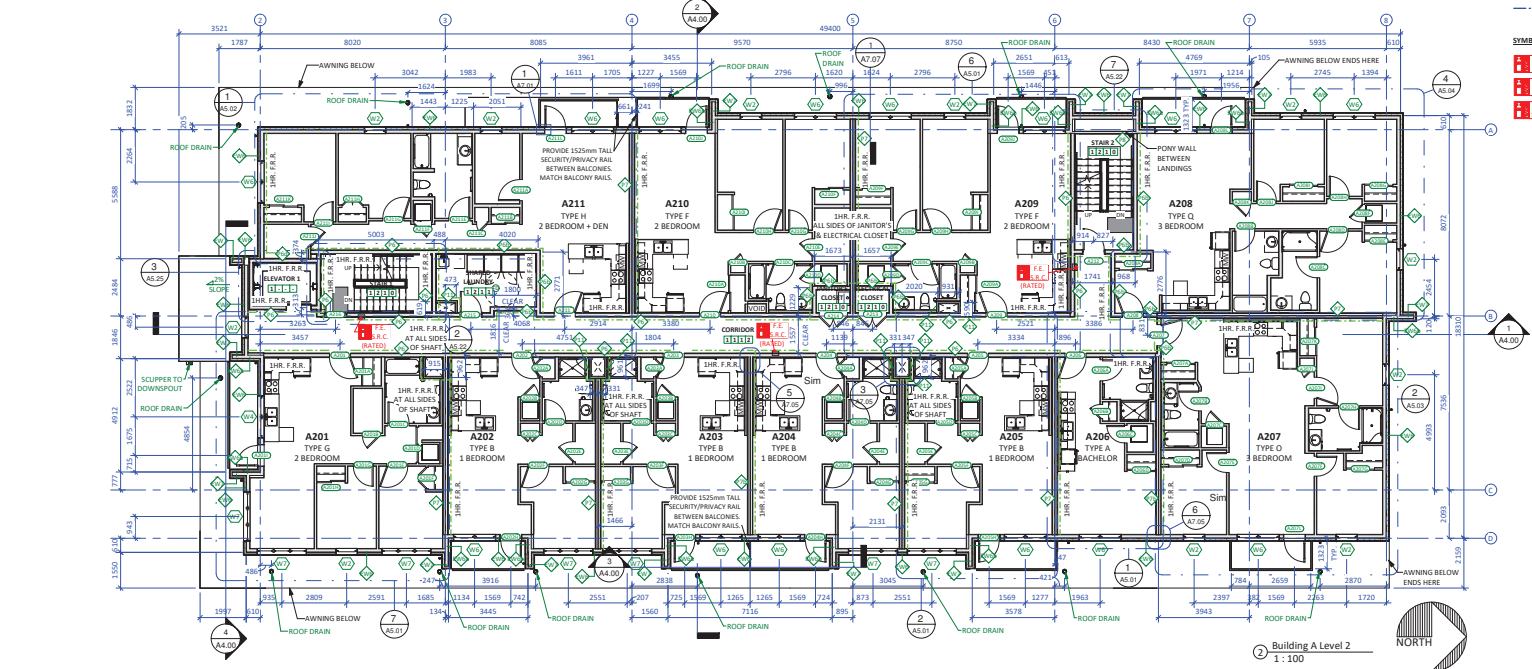
**Burnside School Property**  
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 Victoria, BC

Floor Plans - Building A  
 -Levels 1 & 2

Date	2022-03-22 10:31:25 AM
Drawn by	CC
Checked by	CL
<b>A2.01</b>	
Scale	As indicated



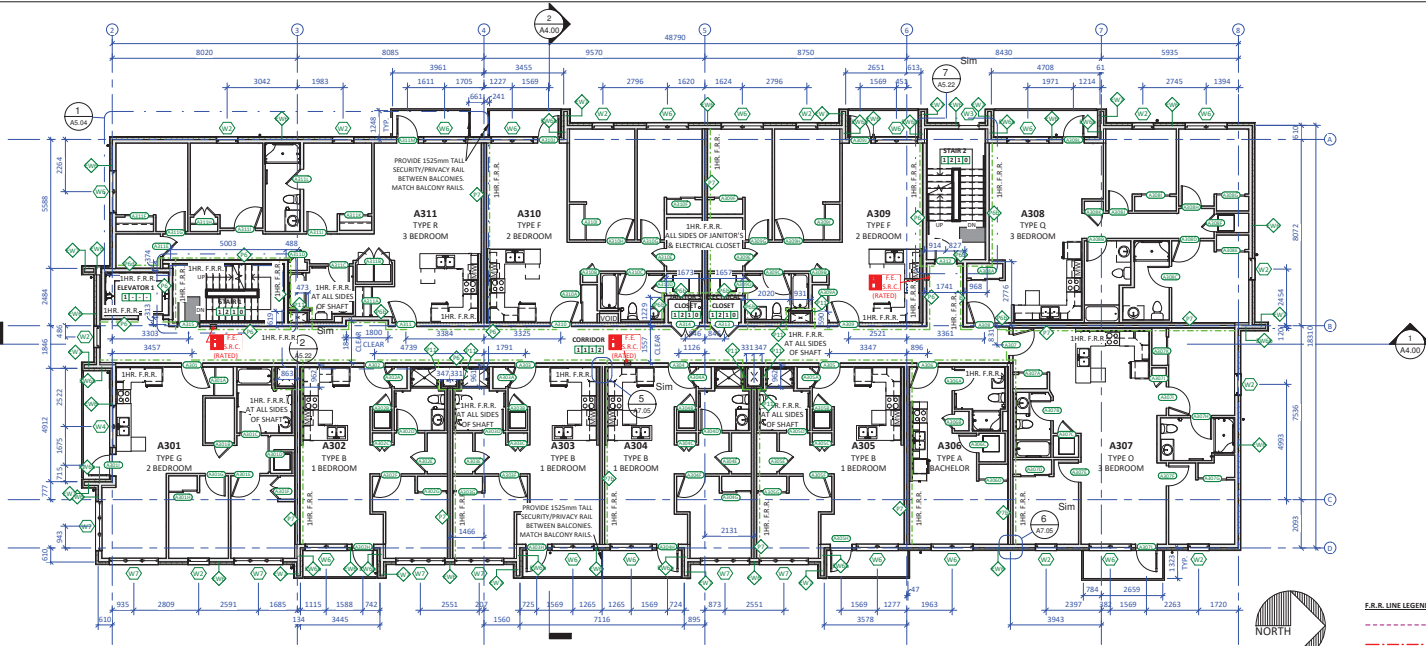
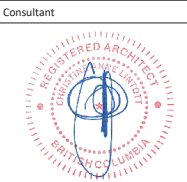
Building A Main Level  
 1:100



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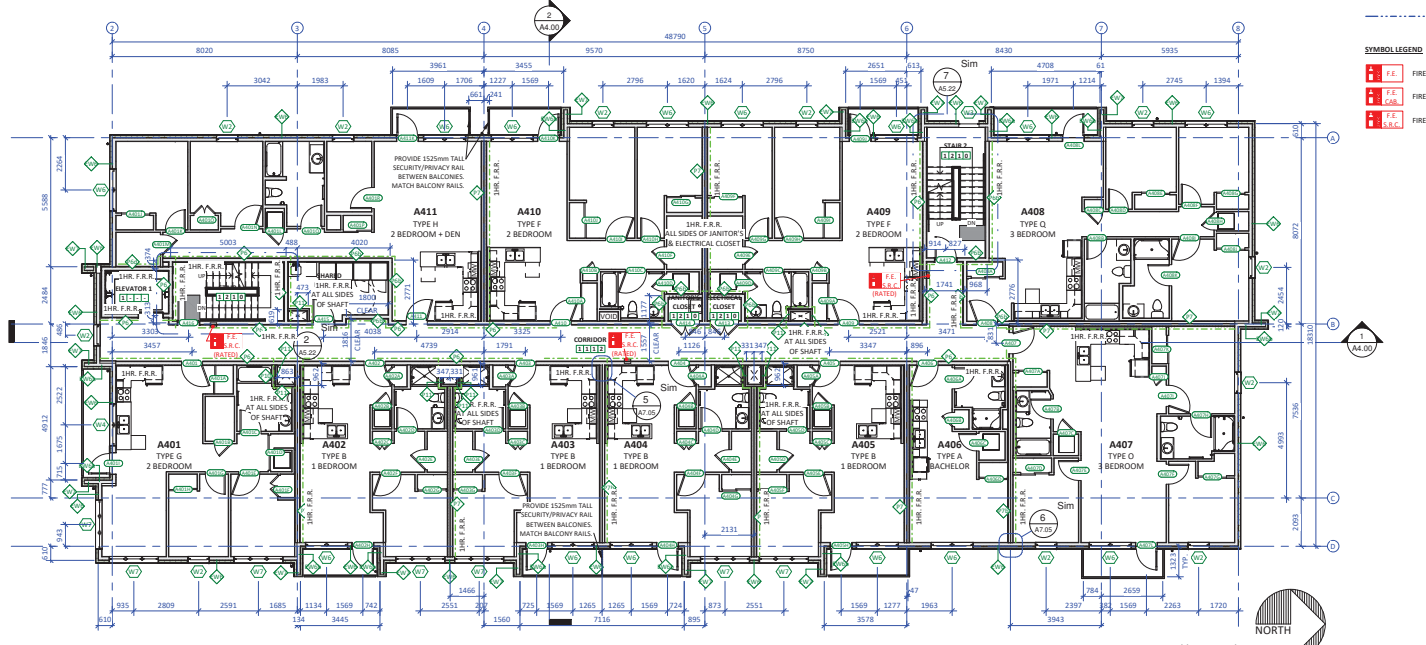
Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
1	1	Assembly RFD similar to W95 per B.C.B.C. 2020 2022-02-23 for elevator shafts at suites	2022-02-23
2	2	Doors in corridors revised.	2022-02-23



1 Building A Level 3  
1 : 100

- F.R.R. LINE LEGEND**
- 0HR F.R.R. FIRE SEPARATION
  - - - 3/4HR F.R.R. FIRE SEPARATION
  - 1HR F.R.R. FIRE SEPARATION
  - 1 1/4HR F.R.R. FIRE SEPARATION
  - 2HR F.R.R. FIRE SEPARATION
- SYMBOL LEGEND**
- [Red Box with 'F.E.'] FIRE EXTINGUISHER - WALL HUNG
  - [Red Box with 'F.E. CAB'] FIRE EXTINGUISHER - WALL HUNG CABINET
  - [Red Box with 'F.E. REC'] FIRE EXTINGUISHER - SEMI-RECESSED CABINET



2 Building A Level 4  
1 : 100

- ROOM FINISH LEGEND**
- FLOORS:**
- 0. NO FINISH
  - 1. RESILIENT SHEET
  - 2. VINYL PLANK
- BASE TRIM:**
- 0. NO BASE
  - 1. PAINTED WOOD
  - 2. RUBBER
- WALLS:**
- 0. NO FINISH
  - 1. PAINTED GWB (OR CONC.)
  - 2. PAINT + GWB CERAMIC TILE
- NOTES:**
- PROVIDE CORNER PROTECTION AT GWB IN COMMON AREAS, TYP.
- CEILING:**
- 0. NO FINISH
  - 1. PAINTED GWB
  - 2. ACOUSTIC SUSPENDED CEILING

**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Floor Plans - Building A -  
 Levels 3 & 4

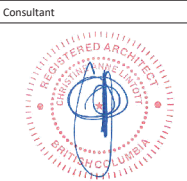
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 Checked by: CL

**A2.02**

Scale: As indicated

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
1	Assembly RFD similar to W88 per BCBC 2023	2023-02-23	for elevator shafts at suites
2	Doors in corridors revised.	2022-02-23	



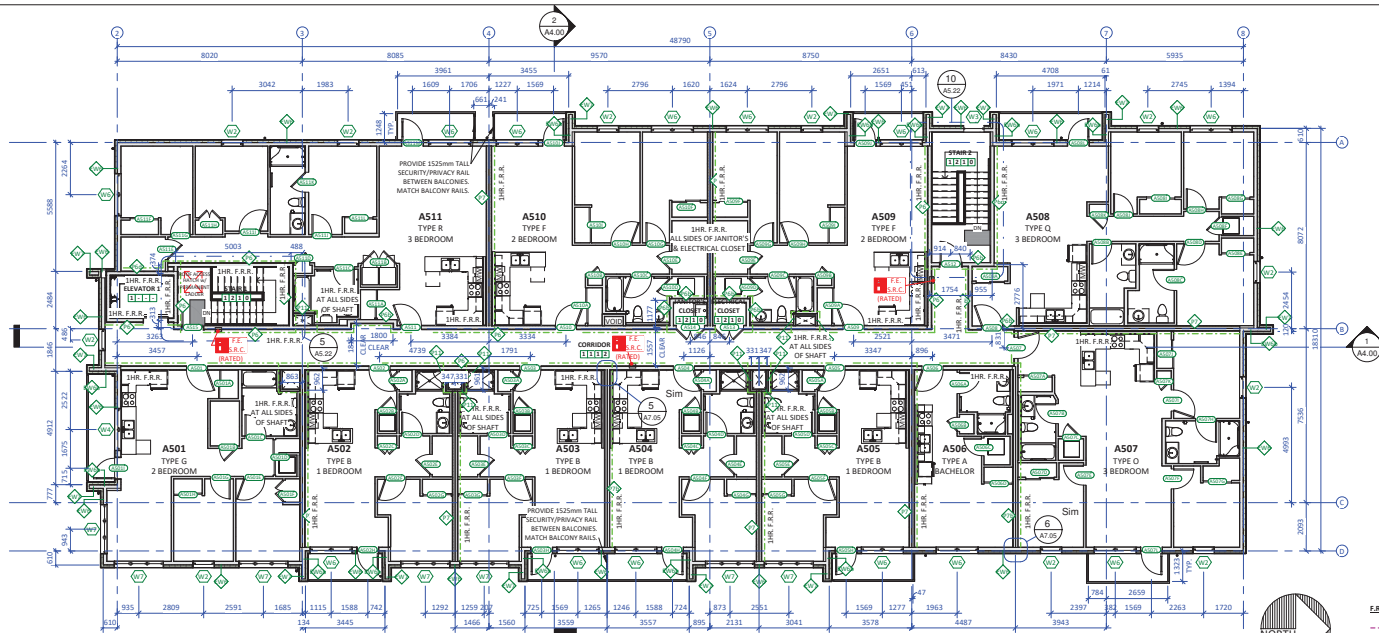
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Floor Plans - Building A -  
 Level 5 & Roof**

Date: 2022-03-22 10:31:48 AM  
 Drawn by: Author  
 Checked by: CC

**A2.03**

Scale: As indicated

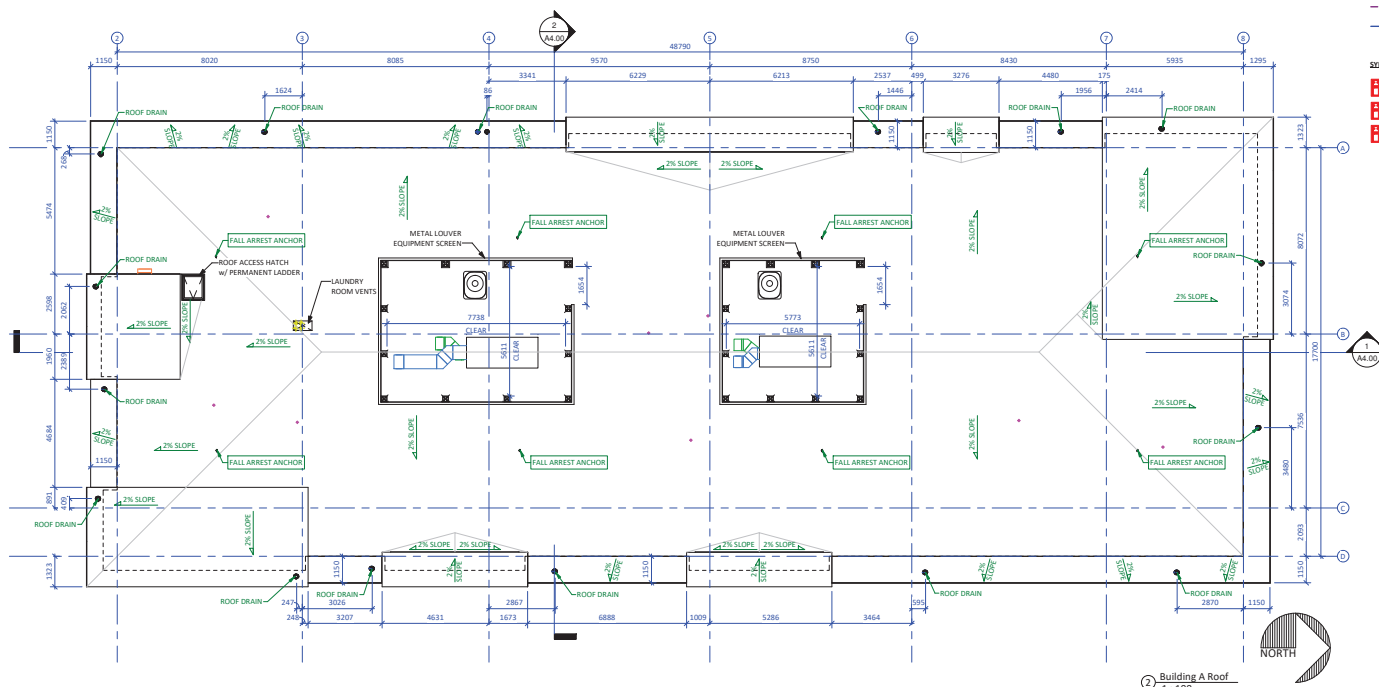


Building A Level 5  
 1:100

- F.R.R. LINE LEGEND**
- 0HR F.R.R. FIRE SEPARATION
  - - - 3/4HR F.R.R. FIRE SEPARATION
  - - - 1HR F.R.R. FIRE SEPARATION
  - - - 1 1/4HR F.R.R. FIRE SEPARATION
  - - - 2HR F.R.R. FIRE SEPARATION

- SYMBOL LEGEND**
- [Symbol] FIRE EXTINGUISHER - WALL HUNG
  - [Symbol] FIRE EXTINGUISHER - WALL HUNG CABINET
  - [Symbol] FIRE EXTINGUISHER - SEMI-RECESSED CABINET

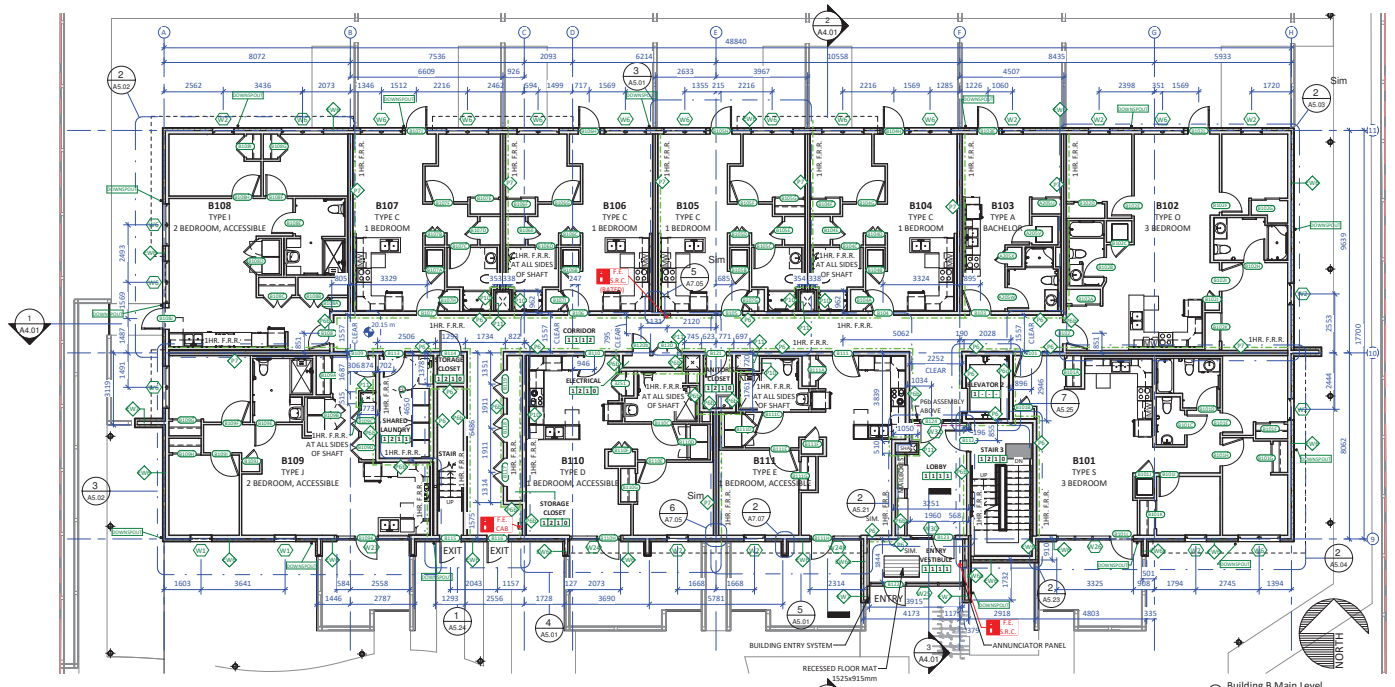
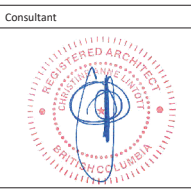
- ROOM FINISH LEGEND**
- FLOORS:
    - 0: NO FINISH
    - 1: RESILIENT SHEET
    - 2: VINYL PLANK
  - BASE TRIM:
    - 0: NO BASE
    - 1: PAINTED WOOD
    - 2: RUBBER
  - WALLS:
    - 0: NO FINISH
    - 1: PAINTED GWB (OR CONC.)
    - 2: PAINT + GWB CERAMIC TILE
  - CEILING:
    - 0: NO FINISH
    - 1: PAINTED GWB
    - 2: ACOUSTIC SUSPENDED CEILING



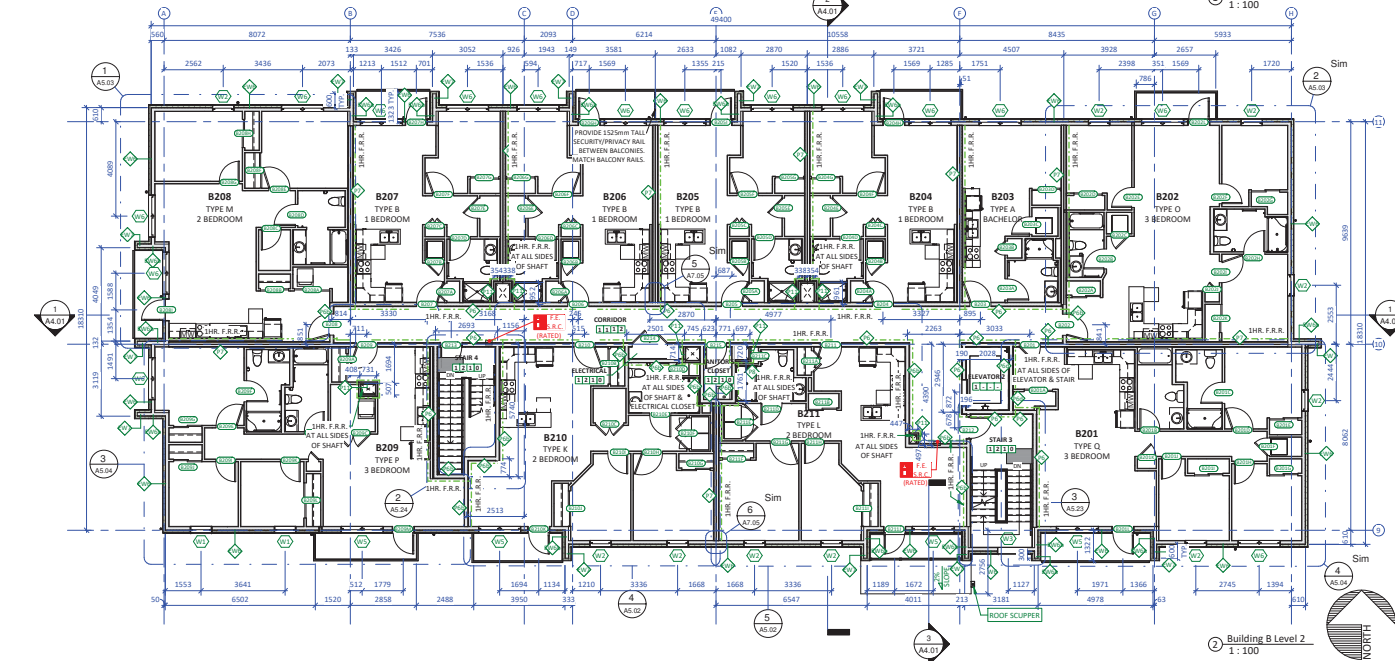
Building A Roof  
 1:100

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
	1	Assembly RFD similar to W85 per BCBC 2023 2023-03-23 for elevator shafts at suites	2023-03-23
	2	Doors in corridors revised.	2022-02-23



- F.R.R. LINE LEGEND**
- 0HR F.R.R. FIRE SEPARATION
  - - - 3/4HR F.R.R. FIRE SEPARATION
  - - - 1HR F.R.R. FIRE SEPARATION
  - - - 1 1/4HR F.R.R. FIRE SEPARATION
  - - - 2HR F.R.R. FIRE SEPARATION
- SYMBOL LEGEND**
- [Symbol] FIRE EXTINGUISHER - WALL HUNG
  - [Symbol] FIRE EXTINGUISHER - WALL HUNG CABINET
  - [Symbol] FIRE EXTINGUISHER - SEMI-RECESSED CABINET



- ROOM FINISH LEGEND**
- FLOORS**
- 0. NO FINISH
  - 1. RESILIENT SHEET
  - 2. VINYL PLANK
- BASE TRIM**
- 0. NO BASE
  - 1. PAINTED WOOD
  - 2. RUBBER
- WALLS**
- 0. NO FINISH
  - 1. PAINTED (GWB OR CONC.)
  - 2. PAINT - GWS CERAMIC TILE
- NOTE:** PROVIDE CORNER PROTECTION AT GWB IN COMMON AREAS, TYP.
- CEILING**
- 0. NO FINISH
  - 1. PAINTED GWB
  - 2. ACOUSTIC SUSPENDED CEILING

**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Floor Plans - Building B - Levels 1 & 2**

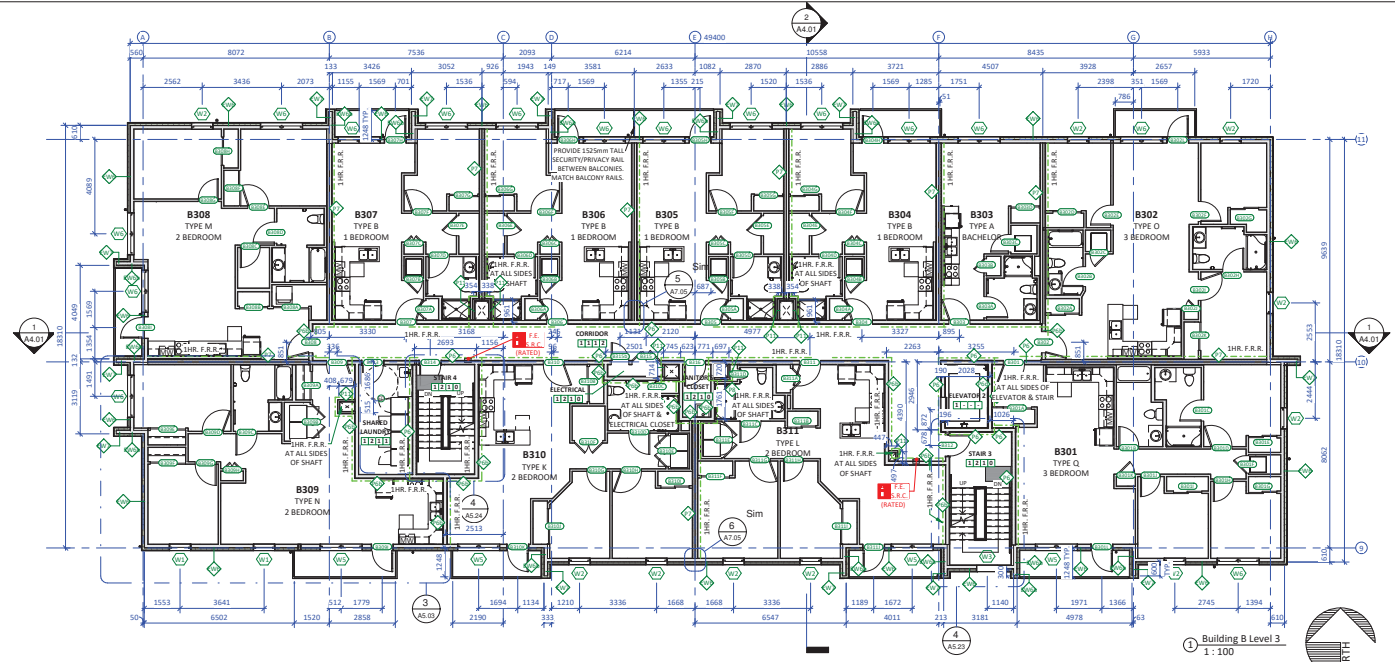
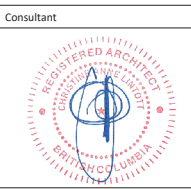
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**A2.04**

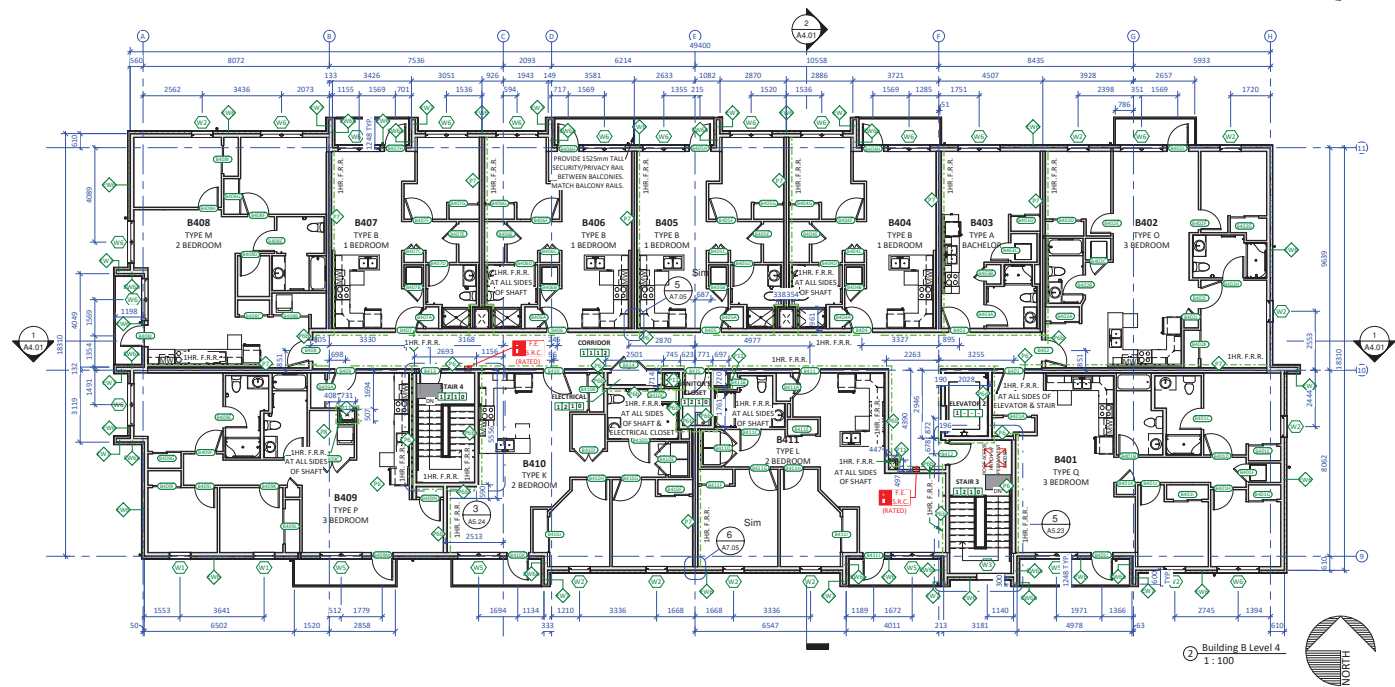
Scale: As indicated

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
	1	Assembly RFD similar to W95 per BCBC 2020 2022-02-23 for elevator shafts at suites	2022-02-23
	2	Doors in corridors revised	2022-02-23



- F.R.R. LINE LEGEND**
- 0HR F.R.R. FIRE SEPARATION
  - - - 3/4HR F.R.R. FIRE SEPARATION
  - - - 1HR F.R.R. FIRE SEPARATION
  - - - 1 1/4HR F.R.R. FIRE SEPARATION
  - - - 2HR F.R.R. FIRE SEPARATION
- SYMBOL LEGEND**
- FIRE EXTINGUISHER - WALL HUNG
  - FIRE EXTINGUISHER - WALL HUNG CABINET
  - FIRE EXTINGUISHER - SEMI-RECESSED CABINET



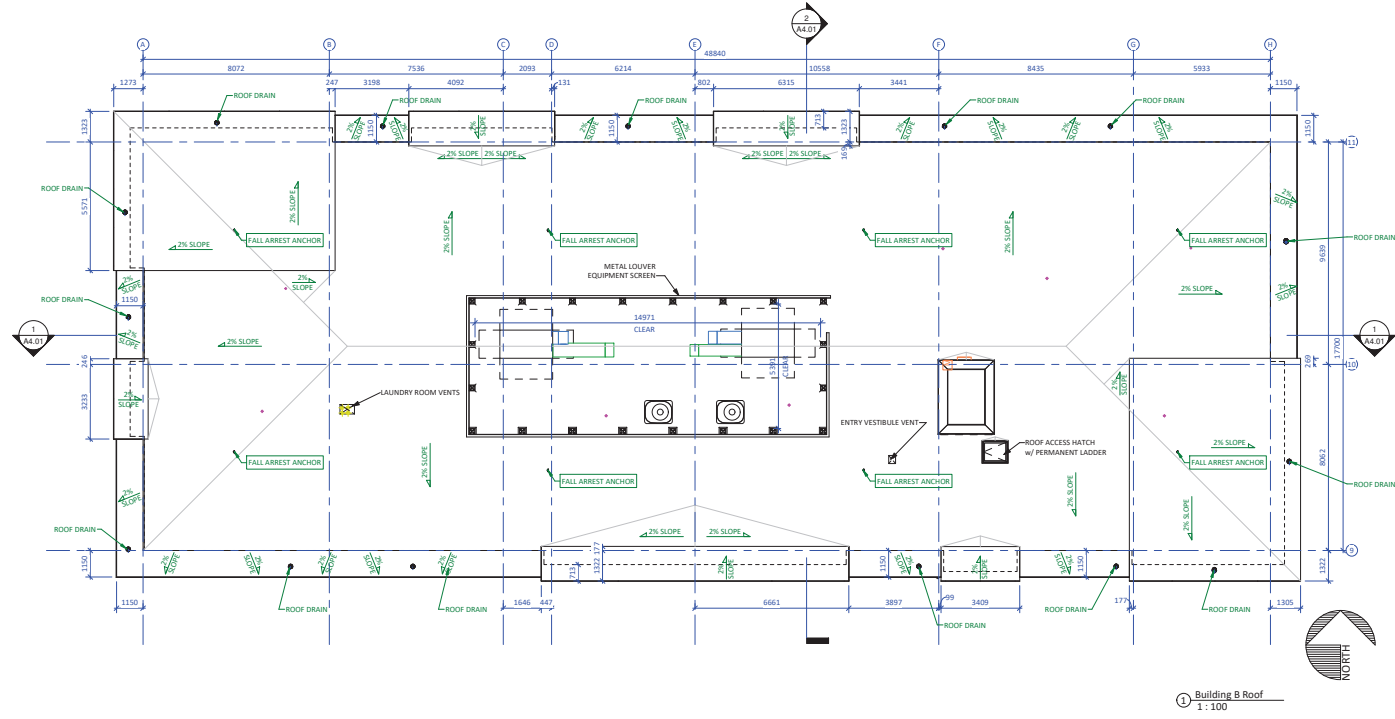
- ROOM FINISH LEGEND**
- FLOORS**
- 0. NO FINISH
  - 1. RESILIENT SHEET
  - 2. VINYL PLANK
- BASE TRIM**
- 0. NO BASE
  - 1. PAINTED WOOD
  - 2. RUBBER
- WALLS**
- 0. NO FINISH
  - 1. PAINTED (GWB OR CONC.)
  - 2. PAINT - GWB CERAMIC TILE
- NOTE:**  
 PROVIDE CORNER PROTECTION AT GWB IN COMMON AREAS, TYP.
- CEILING**
- 0. NO FINISH
  - 1. PAINTED GWB
  - 2. ACOUSTIC SUSPENDED CEILING

Building B Level 4  
 1:100

**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Floor Plans - Building B -  
 Levels 3 & 4**

Date	2022-03-22 10:32:20 AM
Drawn by	CC
Checked by	CL
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Scale	As indicated



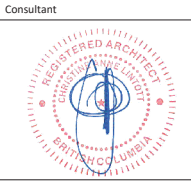
1 Building B Roof  
1:100

**Christine Lintott Architects Inc.**

Suite 1 - 864 Queen Avenue, Victoria, BC V8T 1M5  
 Telephone: 250.384.1500  
 www.lintottarchitect.ca

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	
No.	Description



**Burnside School Property**

496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Floor Plans - Building B  
 -Roof

Date	2022-03-22 10:32:23 AM
Drawn by	CC
Checked by	CL

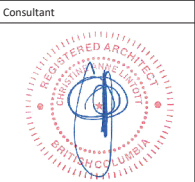
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Scale 1:100



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date



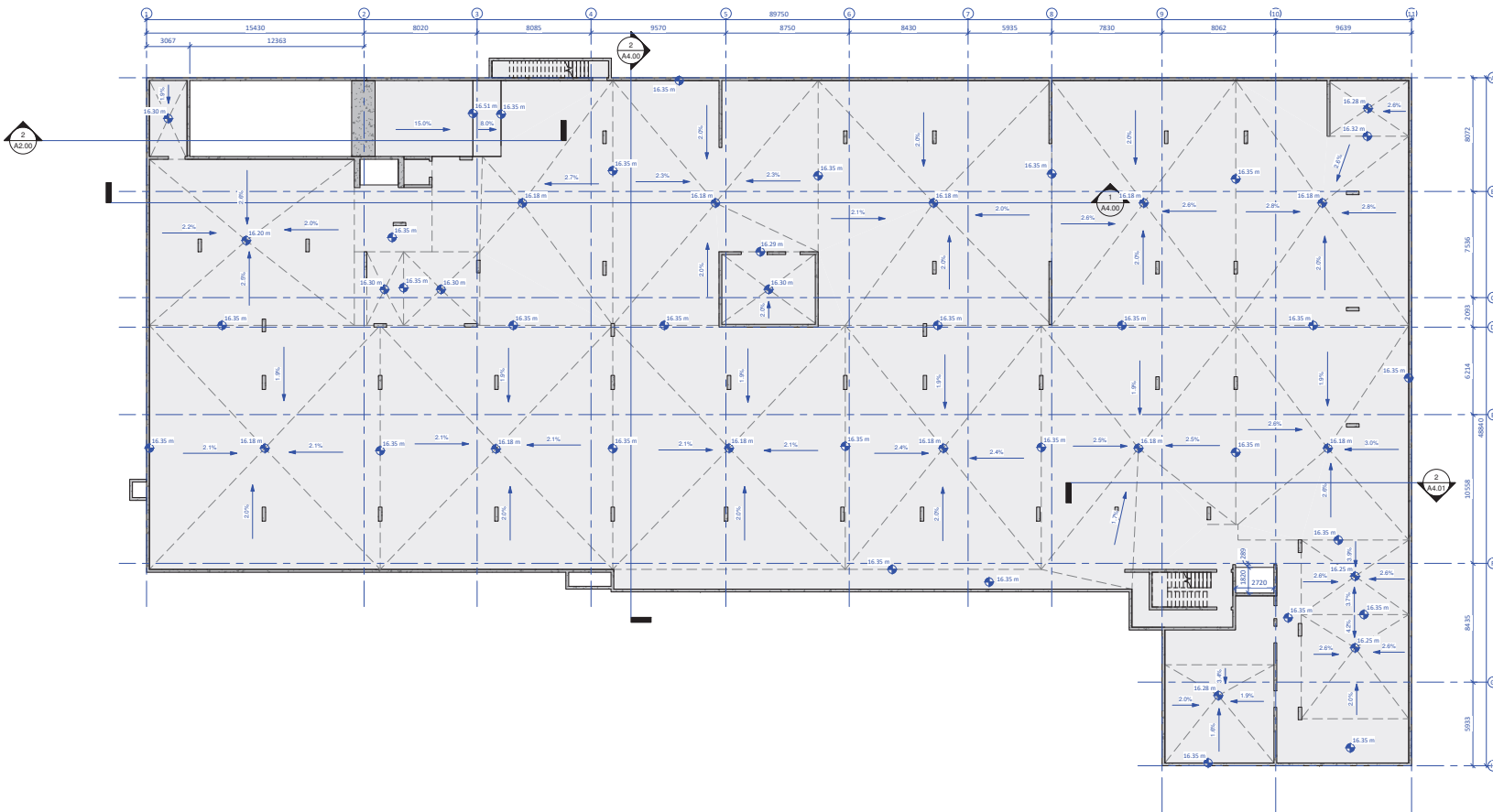
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Slab Plans - U/G Parkade**

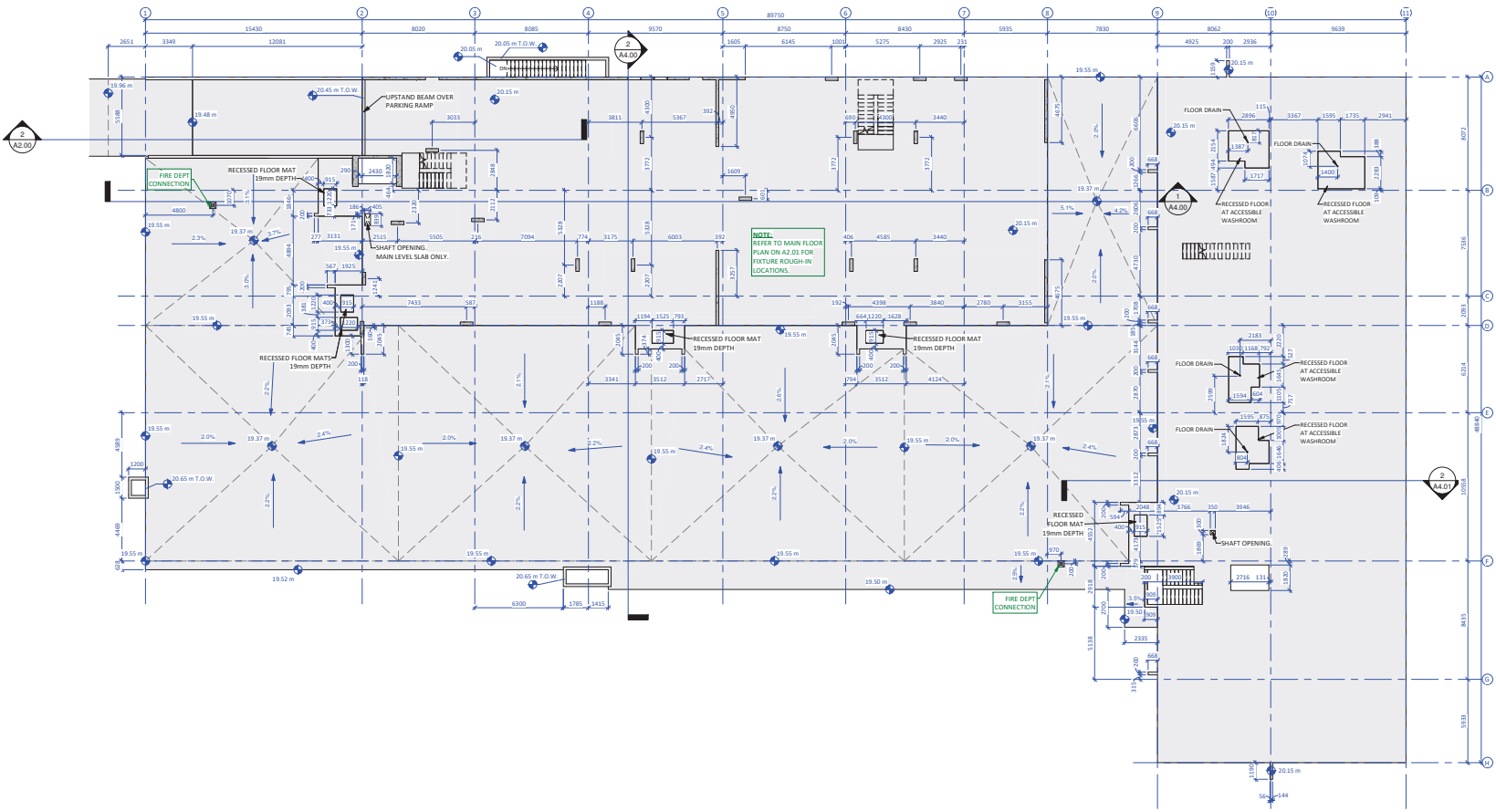
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Checked by	CL

**A2.11**

Scale 1 : 150



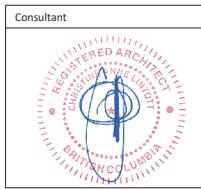
U/G Parkade Slab Plan  
 1 : 150



1 Main Level Slab Plan  
 1:150

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Date
No. Description	Date



**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Slab Plans - Main Level

Date	2022-03-22 10:32:32 AM
Drawn by	CC
Checked by	CL

A2.12

Scale	1:150
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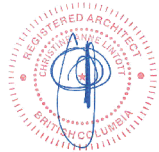
Issue Date

50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision

No.	Description	Date
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Consultant



Burnside School Property

496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Slab Plans - Building A  
 Level 2

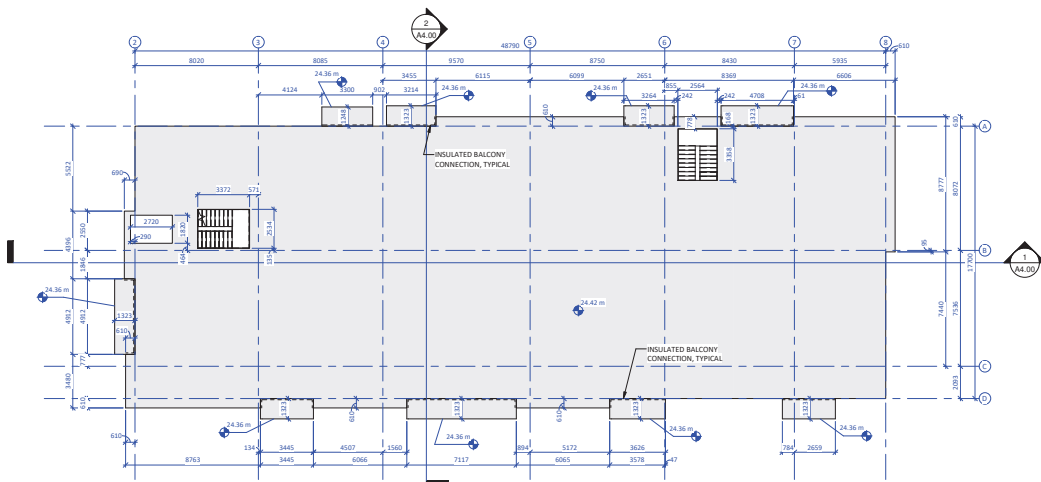
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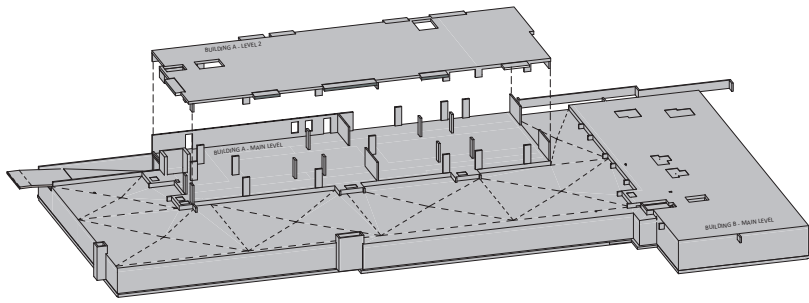
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A2.13

Scale 1 : 150



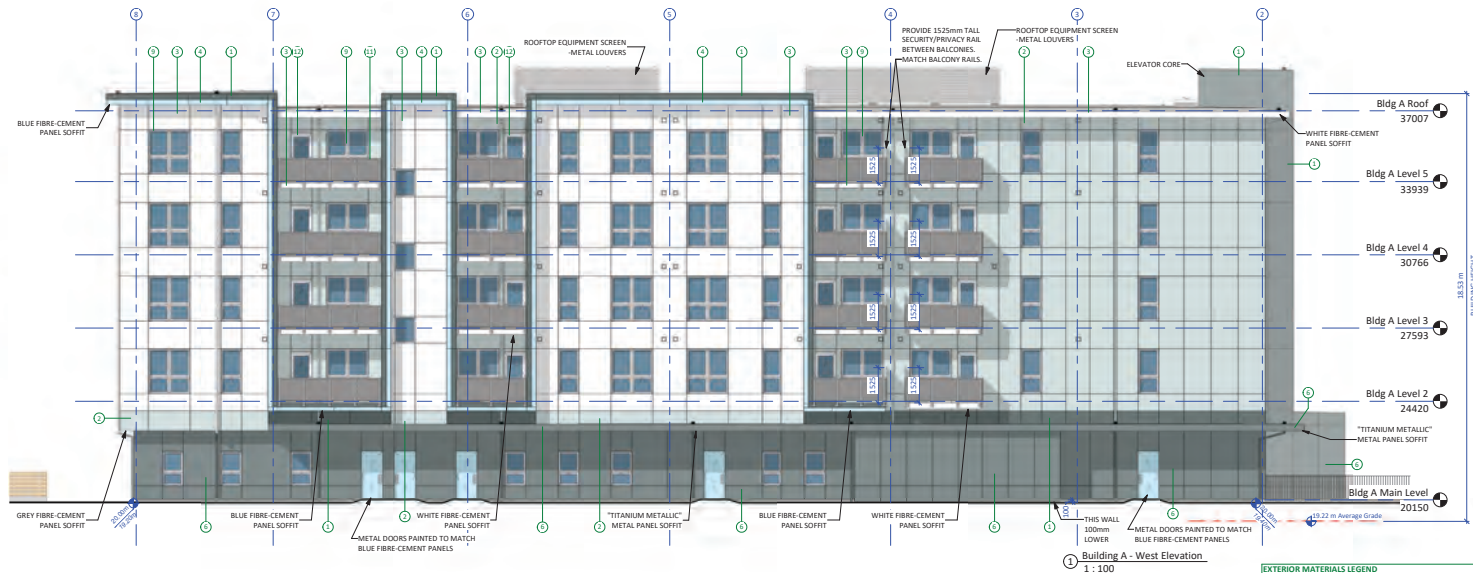
1 Bldg A Level 2 Slab Plan  
 1 : 150



2 Concrete - 3D View



1 Detail View of Perforated Balcony Panels



**EXTERIOR MATERIALS LEGEND**

- 1 FIBRE-CEMENT PANELS - CHARCOAL GREY 1
- 2 FIBRE-CEMENT PANELS - GREY 1
- 3 FIBRE-CEMENT PANELS - WHITE 1
- 4 FIBRE-CEMENT PANELS - BLUE 1
- 5 FIBRE-CEMENT PANELS - GREEN 1
- 6 METAL PANEL CLADDING - "TITANIUM METALLIC" 1,2
- 7 FLASHING - WHITE
- 8 METAL PANEL CLADDING - "METALLIC WHITE" 1,2
- 9 VINYL WINDOWS - WHITE
- 10 GLAZING WALL - ALUMINUM, CLEAR ANODIZED
- 11 METAL MESH GUARDS W/ ALUM. CLEAR ANODIZED POSTS
- 12 ENTRY/PATIO/BALCONY DOOR - ALUMINUM & GLASS

**NOTES:**  
 1 FIBRE-CEMENT & METAL PANEL CLADDING ARE NOT TO HAVE ANY VISIBLE FASTENERS.  
 2 REGLET CHANNELS ARE TO BE COLOUR MATCHED.  
 3 METAL PANEL CLADDING TO WRAP AROUND EXTERIOR CORNERS.



**Christine Lintott Architects Inc.**  
 Suite 1 - 864 Queen Avenue, Victoria, BC V8T 1M5  
 Telephone: 250.384.2500  
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Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date

Consultant

**SYMBOL LEGEND**

- NEW WORK
- EXISTING

**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

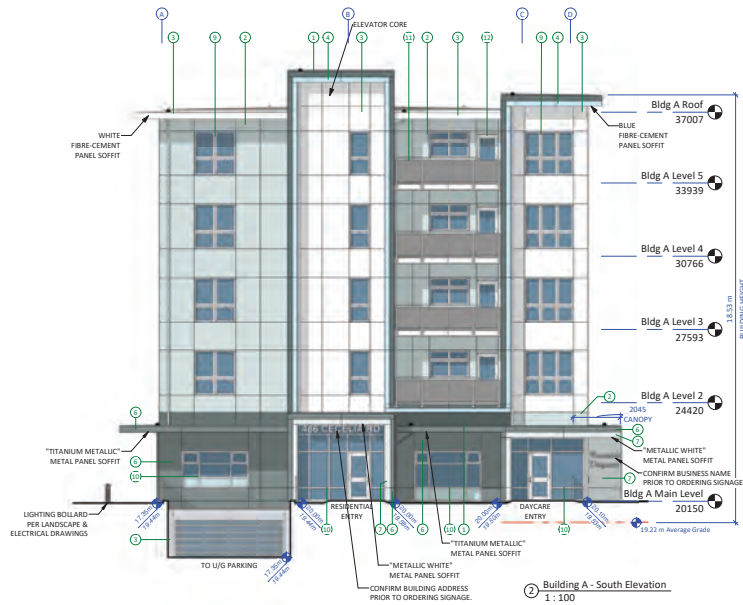
**Exterior Elevations - Building A**

Date	2022-03-22 10:33:21 AM
Drawn by	CC
Checked by	CL

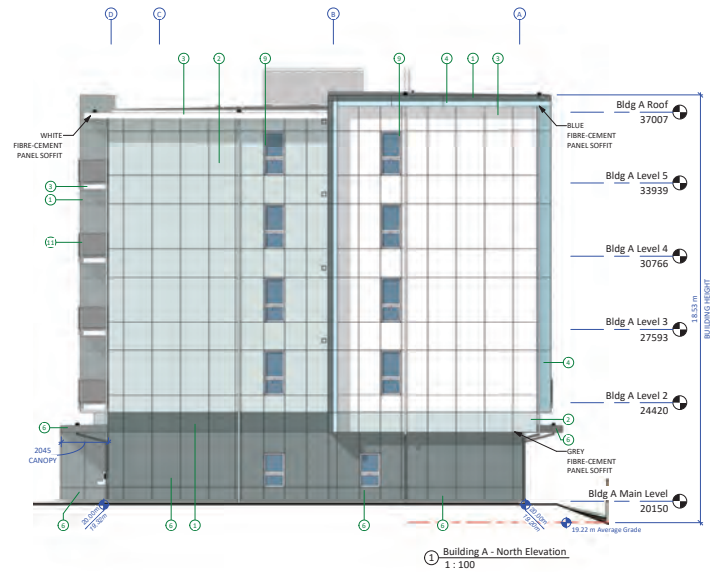
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Scale As indicated

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② Building A - South Elevation  
1:100



① Building A - North Elevation  
1:100

- EXTERIOR MATERIALS LEGEND**
- ① FIBRE CEMENT PANELS - CHARCOAL GREY<sup>1</sup>
  - ② FIBRE CEMENT PANELS - GREY<sup>1</sup>
  - ③ FIBRE CEMENT PANELS - WHITE<sup>1</sup>
  - ④ FIBRE CEMENT PANELS - BLUE<sup>1</sup>
  - ⑤ FIBRE CEMENT PANELS - GREEN<sup>1</sup>
  - ⑥ METAL PANEL CLADDING - "TITANIUM METALLIC"<sup>1,2</sup>
  - ⑦ METAL PANEL CLADDING - "METALLIC WHITE"<sup>1,2</sup>
  - ⑧ FLASHING - WHITE
  - ⑨ VINYL WINDOWS - WHITE
  - ⑩ GLAZING WALL - ALUMINUM, CLEAR ANODIZED
  - ⑪ METAL MESH GUARDS w/ ALUM. CLEAR ANODIZED POSTS
  - ⑫ ENTRY/PATIO/BALCONY DOOR - ALUMINUM & GLASS
- NOTES:**
- <sup>1</sup> FIBRE CEMENT & METAL PANEL CLADDING ARE NOT TO HAVE ANY VISIBLE FASTENERS. REGLET CHANNELS ARE TO BE COLOUR MATCHED.
  - <sup>2</sup> METAL PANEL CLADDING TO WRAP AROUND EXTERIOR CORNERS.



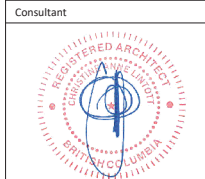
③ Building A South-East 3D Elevation



④ Building A North-West 3D Elevation

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Date
No. Description	Date



**SYMBOL LEGEND**

NEW ORANGE  
EXISTING GRAY

**Burnside School Property**  
496-498 Cecelia Road &  
3130 Jutland Road,  
Victoria, BC

**Exterior Elevations - Building A**

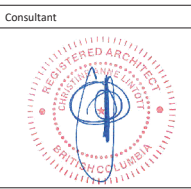
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Drawn by	CC
Checked by	CL

**A3.01**

Scale	As indicated
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Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Date
No. Description	Date



SYMBOL LEGEND
FIBRE-CEMENT PANELS - CHARCOAL GREY <sup>1</sup>
FIBRE-CEMENT PANELS - GREY <sup>1</sup>
FIBRE-CEMENT PANELS - WHITE <sup>1</sup>
FIBRE-CEMENT PANELS - BLUE <sup>1</sup>
FIBRE-CEMENT PANELS - GREEN <sup>1</sup>
METAL PANEL CLADDING - "TITANIUM METALLIC" <sup>1,2</sup>
METAL PANEL CLADDING - "METALLIC WHITE" <sup>1,2</sup>
FLASHING - WHITE
VINYL WINDOWS - WHITE
GLAZING WALL - ALUMINUM, CLEAR ANODIZED
METAL MESH GUARDS w/ ALUM, CLEAR ANODIZED POSTS
ENTRY/PATIO/BALCONY DOOR - ALUMINUM & GLASS

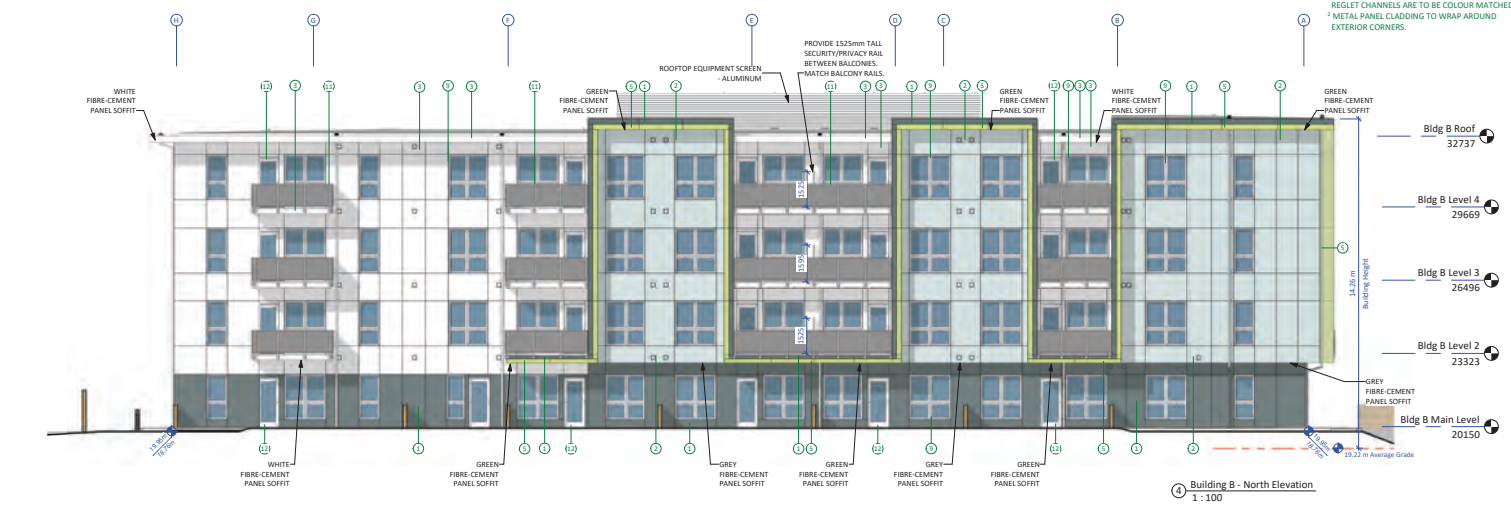
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

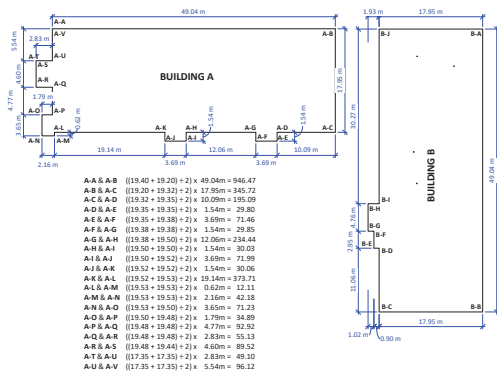
Exterior Elevations -  
 Building B

Date	2022-03-22 10:34:21 AM
Drawn by	CC
Checked by	CL

**A3.02**

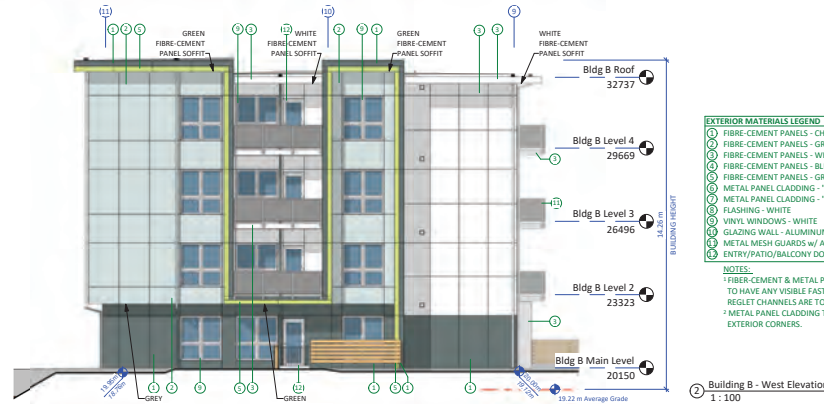
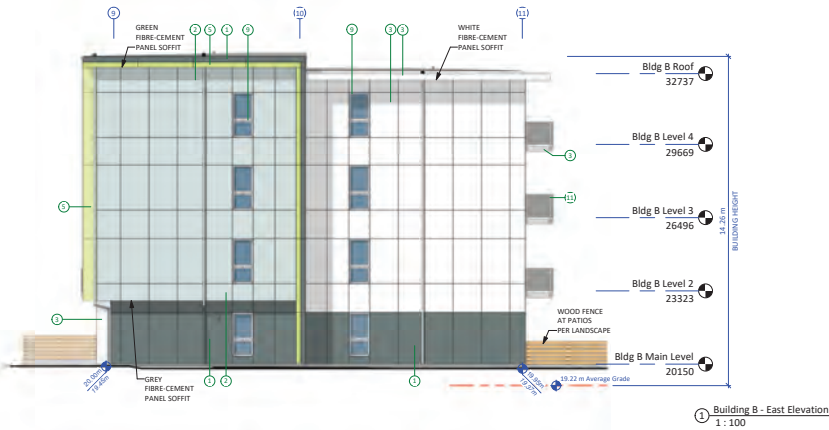
Scale As indicated





B & B-B	(18.76 + 19.27) × 2	45.00m = 891.05
B-B & B-C	(19.37 + 19.45) × 2	17.95m = 346.41
B-C & B-D	(19.45 + 19.47) × 2	11.06m = 215.23
B-D & B-E	(19.47 + 19.47) × 2	0.90m = 17.52
B-E & B-F	(18.11 + 18.11) × 2	2.95m = 53.42
B-F & B-G	(18.11 + 18.11) × 2	1.02m = 18.47
B-G & B-H	(19.40 + 19.40) × 2	4.76m = 92.34
B-H & B-I	(19.40 + 19.40) × 2	1.93m = 37.44
B-I & B-J	(19.40 + 19.22) × 2	30.27m = 583.00
B-J & B-A	(19.12 + 18.76) × 2	17.95m = 339.97
		288.48m = 5,542.57

5,542.57 + 288.48m = 19.22m Average Grade



- EXTERIOR MATERIALS LEGEND**
- ① FIBRE-CEMENT PANELS - CHARCOAL GREY<sup>1</sup>
  - ② FIBRE-CEMENT PANELS - GREY<sup>1</sup>
  - ③ FIBRE-CEMENT PANELS - WHITE<sup>1</sup>
  - ④ FIBRE-CEMENT PANELS - BLUE<sup>1</sup>
  - ⑤ FIBRE-CEMENT PANELS - GREEN<sup>1</sup>
  - ⑥ METAL PANEL CLADDING - "TITANIUM METALLIC"<sup>1,2</sup>
  - ⑦ METAL PANEL CLADDING - "METALLIC WHITE"<sup>1,2</sup>
  - ⑧ FLASHING - WHITE
  - ⑨ VINYL WINDOWS - WHITE
  - ⑩ GLAZING WALL - ALUMINIUM, CLEAR ANODIZED
  - ⑪ METAL MESH GUARDS w/ ALUM, CLEAR ANODIZED POSTS
  - ⑫ ENTRY/PATIO/BALCONY DOOR - ALUMINIUM & GLASS
- NOTES:**
- <sup>1</sup> FIBRE-CEMENT & METAL PANEL CLADDING ARE NOT TO HAVE ANY VISIBLE FASTENERS.
  - <sup>2</sup> REGLET CHANNELS ARE TO BE COLOUR MATCHED.
  - <sup>3</sup> METAL PANEL CLADDING TO WRAP AROUND EXTERIOR CORNERS.



③ Building B North-East 3D Elevation



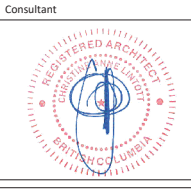
④ Building B South-West 3D Elevation

**Christine Lintott Architects Inc.**

Suite 1 - 864 Queen Avenue, Victoria, BC V8T 1M5  
 Telephone: 250.384.1500  
 www.lintottarchitect.ca

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date
No.	Description	Date



**SYMBOL LEGEND**

① FIBRE-CEMENT PANELS - CHARCOAL GREY<sup>1</sup>

**Burnside School Property**

496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

Exterior Elevations - Building B

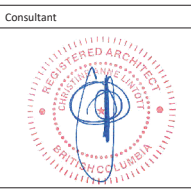
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 Drawn by: CC, TK  
 Checked by: CL

**A3.03**

Scale: As indicated

Issue	Date
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85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date



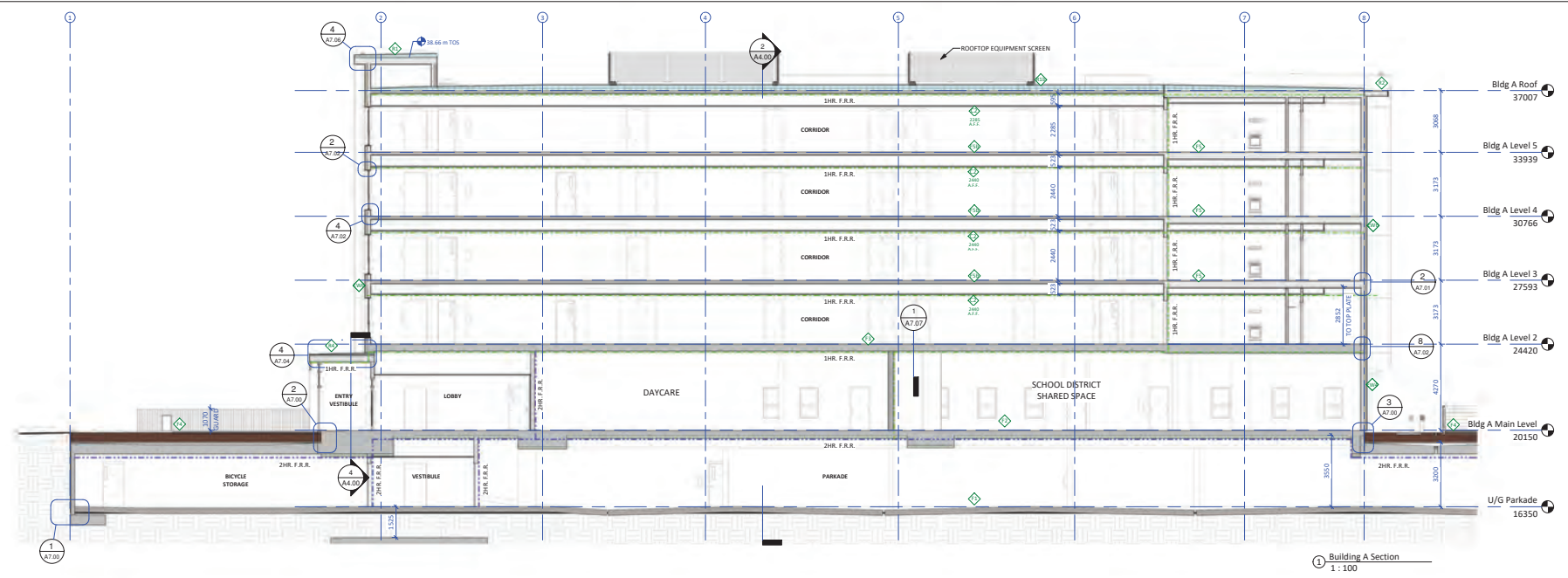
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Building Sections - Building A**

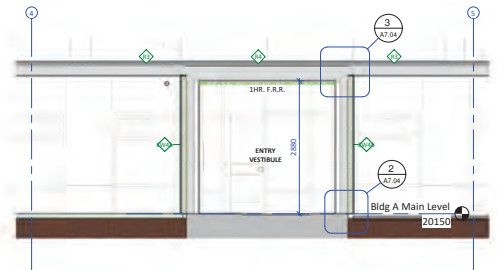
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 Checked by: CL

**A4.00**

Scale: As indicated



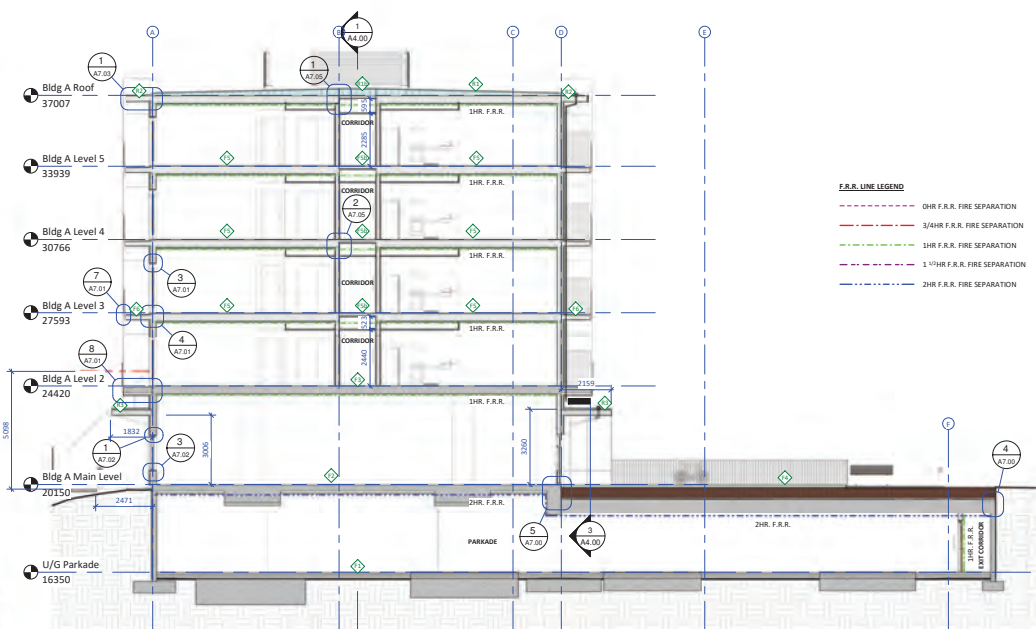
3 Building A Section  
1:100



3 Building A Entry Vestibule Roof & Canopy Section  
1:50



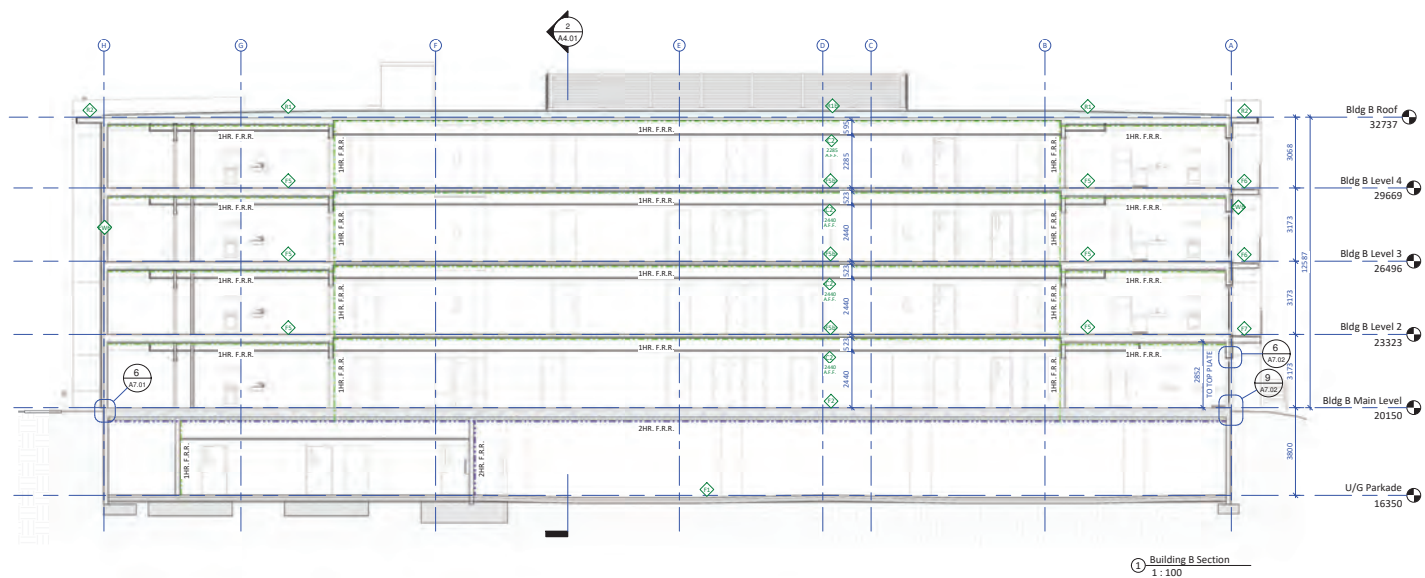
4 Building A Entry Vestibule Roof Section  
1:50



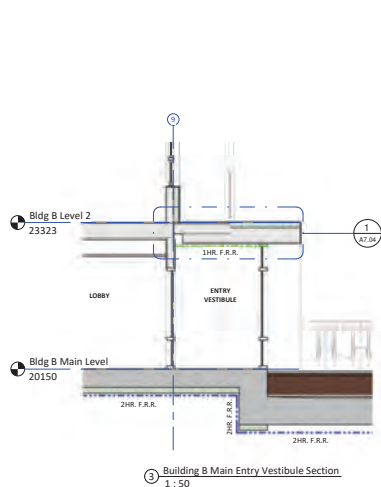
**F.R.R. LINE LEGEND**

--- (dashed red)	0HR F.R.R. FIRE SEPARATION
--- (dashed orange)	3/4HR F.R.R. FIRE SEPARATION
--- (dashed green)	1HR F.R.R. FIRE SEPARATION
--- (dashed purple)	1 1/2HR F.R.R. FIRE SEPARATION
--- (dashed blue)	2HR F.R.R. FIRE SEPARATION

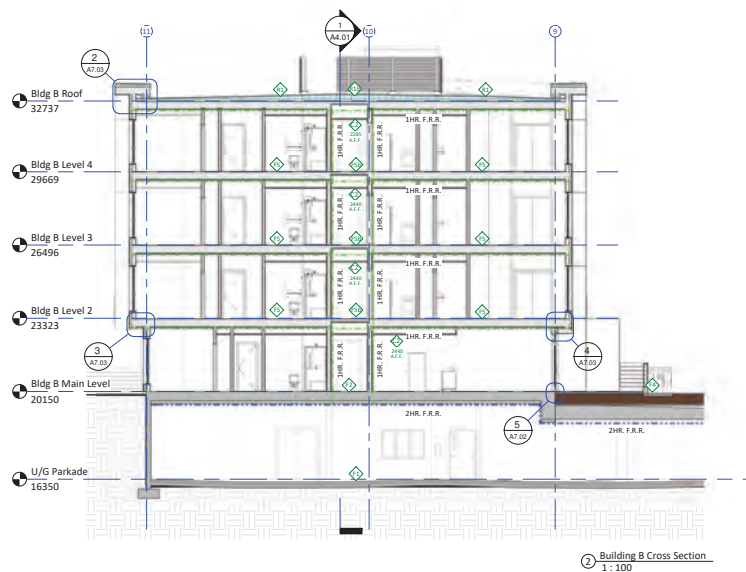
3 Building A Cross Section  
1:100



1 Building B Section  
1:100



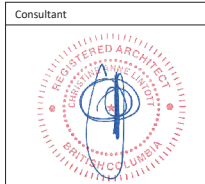
3 Building B Main Entry Vestibule Section  
1:50



2 Building B Cross Section  
1:100

Issue	Date
50% REVIEW	JULY 31, 2020
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BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date



**Burnside School Property**

496-498 Cecelia Road &  
3130 Jutland Road,  
Victoria, BC

**Building Sections -  
Building B**

Date	2022-03-22 10:35:11 AM
Drawn by	CC
Checked by	CL

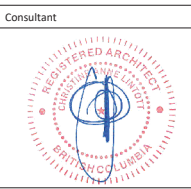
**A4.01**

Scale As indicated



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

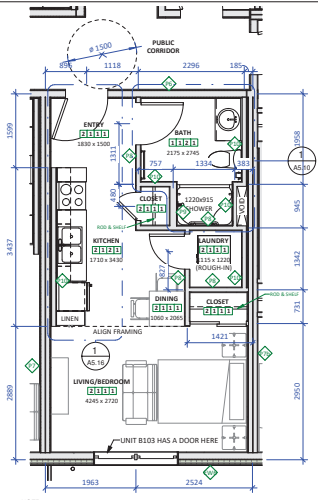
Revision	Description	Date
No.	Description	Date



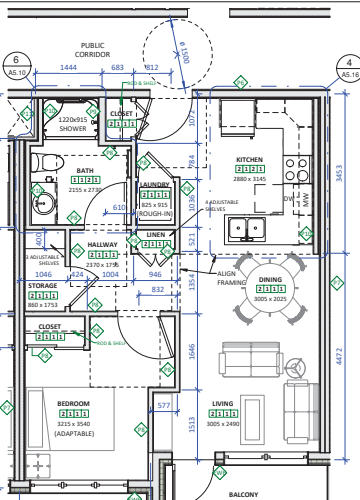
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Unit Plans - Types A-G

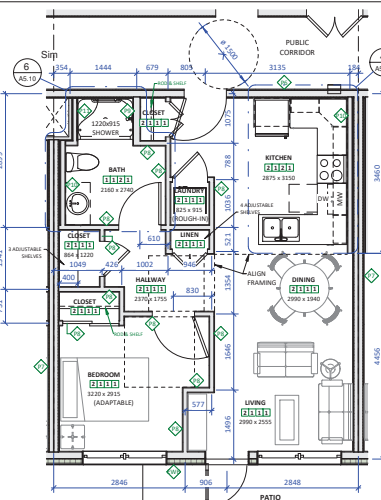
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Checked by	CL
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Scale	1 : 50



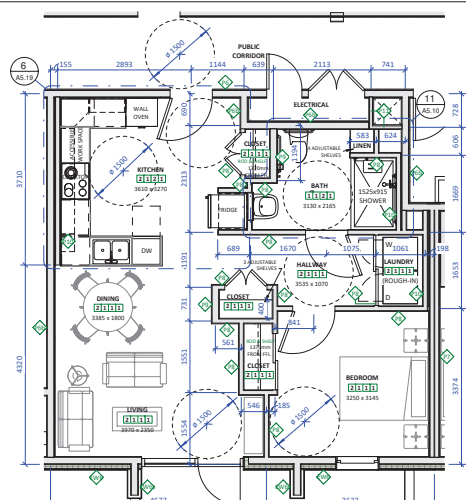
1 Type A - Bachelor  
1 : 50



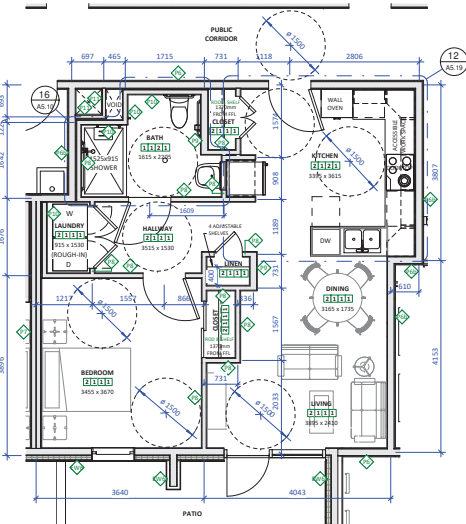
2 Type B - 1 Bedroom, Typical  
1 : 50



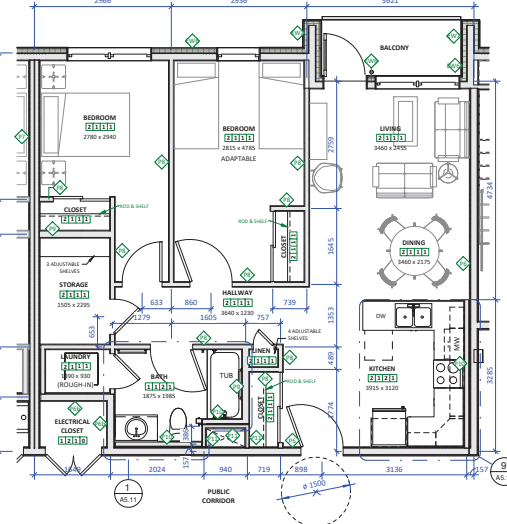
3 Type C - 1 Bedroom, Building B, Main Level  
1 : 50



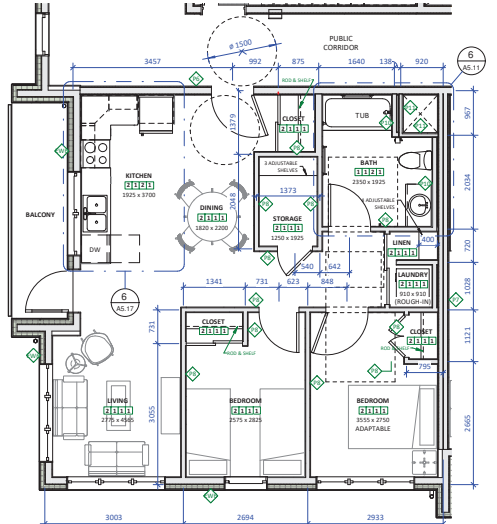
4 Type D - 1 Bedroom, Accessible Type 1  
1 : 50



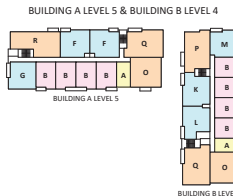
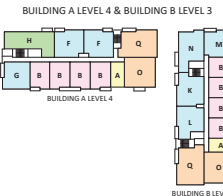
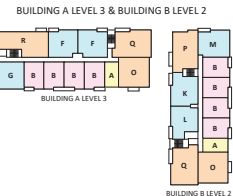
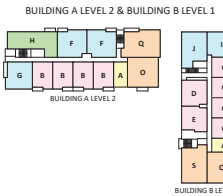
5 Type E - 1 Bedroom, Accessible Type 2  
1 : 50



6 Type F - 2 Bedroom, Typical Building A  
1 : 50



7 Type G - 2 Bedroom, Corner Building A, Type 1  
1 : 50



**BEDROOM TYPES**

Light Green	BACHELOR
Light Blue	1 BEDROOM
Light Purple	2 BEDROOM
Light Orange	2 BEDROOM + DEN
Light Yellow	3 BEDROOM

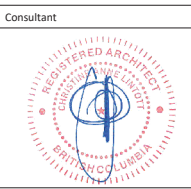
**ROOM FINISH LEGEND:**

FLOORS	0. NO FINISH	WALLS	0. NO FINISH
1. RESILIENT SHEET	1. PAINTED GWB (OR CONC.)	1. PAINTED GWB (OR CONC.)	1. PAINTED GWB
2. VINYL PLANK	2. PAINT + GWB CERAMIC TILE	2. PAINT + GWB CERAMIC TILE	2. RUBBER
CEILING	1. ACUSTIC SUSPENDED CEILING		

**NOTE:** PROVIDE CORNER PROTECTION AT GWB IN COMMON AREAS, TYP.

Issue	Date
50% REVIEW	JULY 31, 2020
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FOR TENDER	MARCH 23, 2022

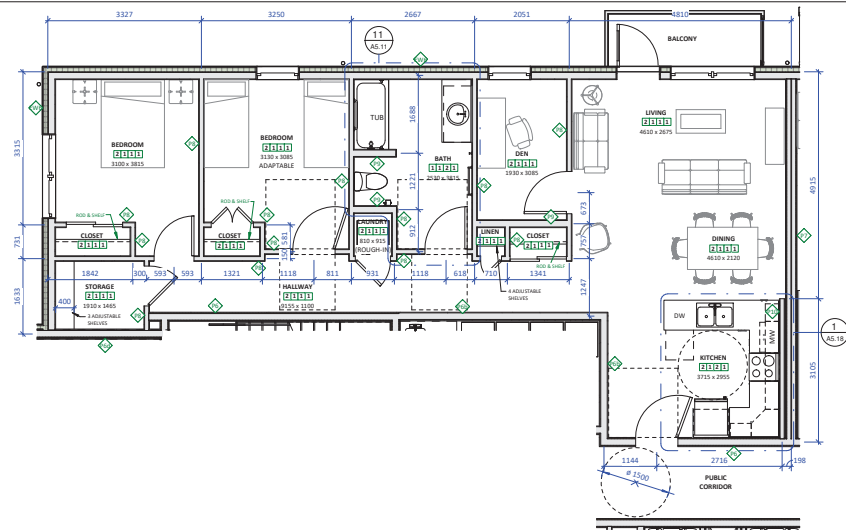
Revision	No.	Description	Date



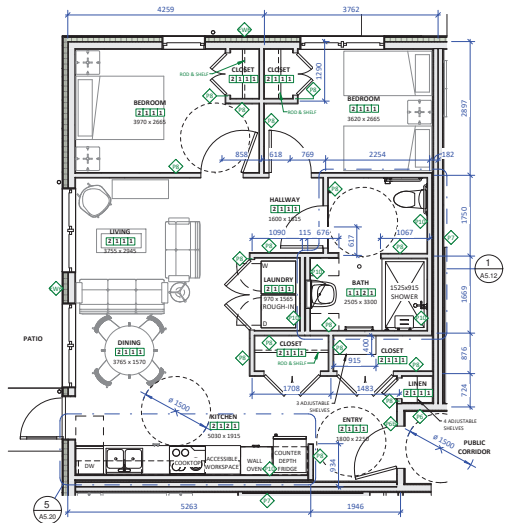
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Unit Plans - Types H-L

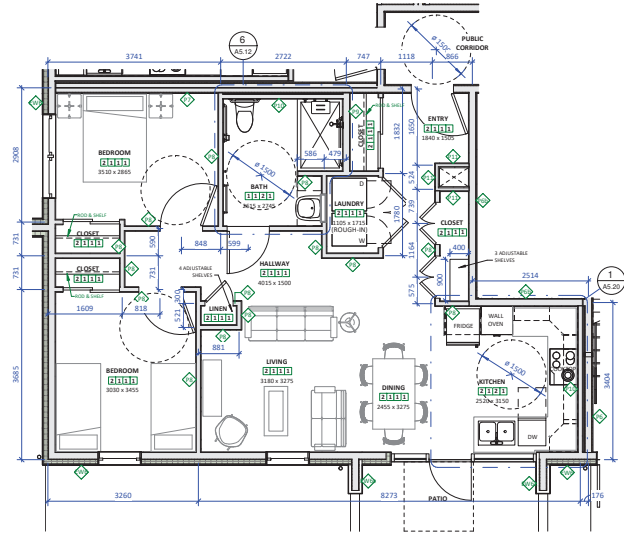
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Checked by	CL
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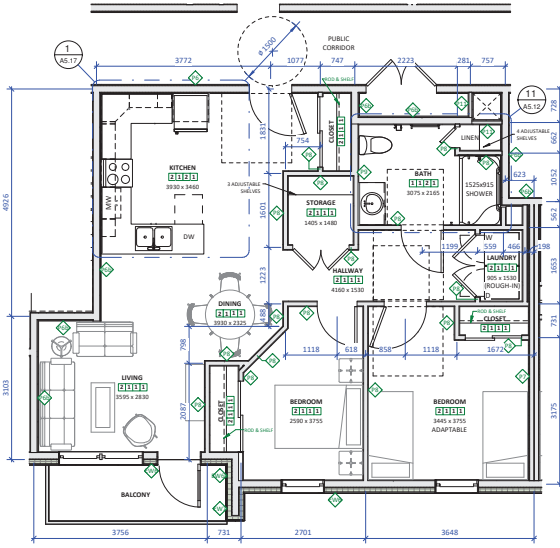
① Type H - 2 Bedroom + Den, Corner Building A, Type 2  
 1:50



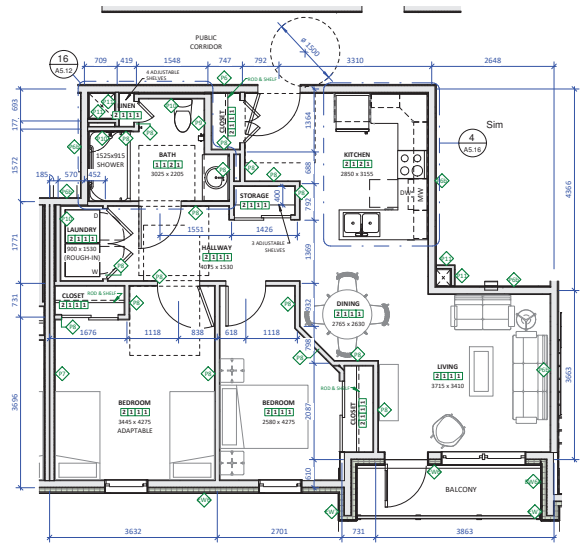
② Type I - 2 Bedroom, Accessible, Building B, Type 1  
 1:50



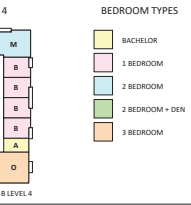
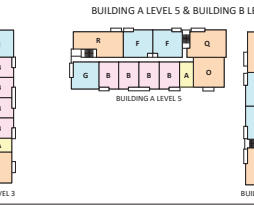
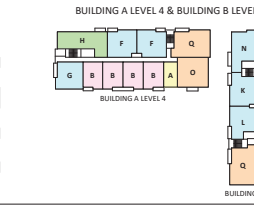
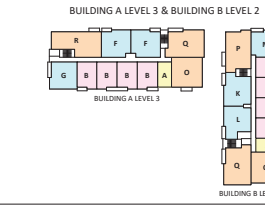
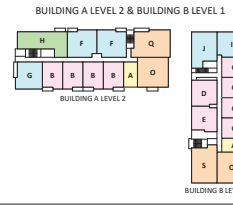
③ Type J - 2 Bedroom, Accessible, Building B, Type 2  
 1:50



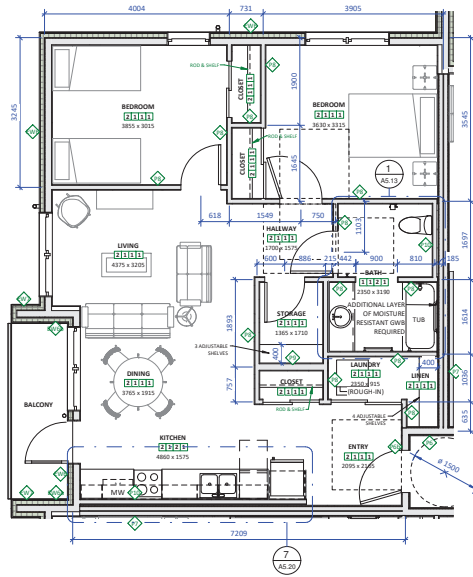
④ Type K - 2 Bedroom, Building B, Type 1  
 1:50



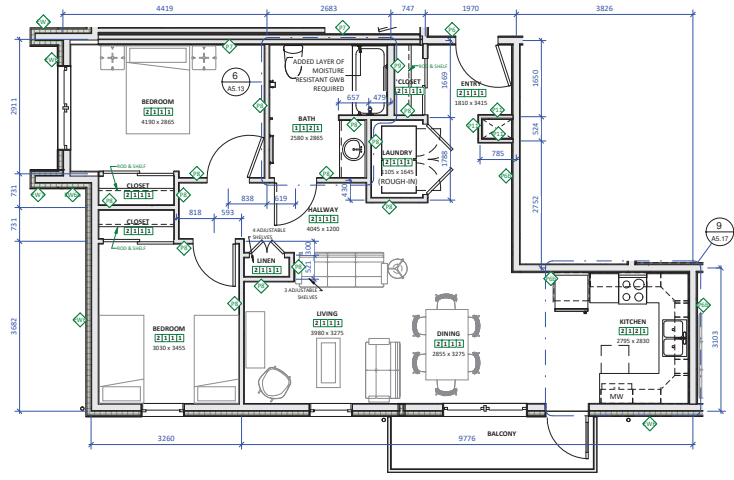
⑤ Type L - 2 Bedroom, Building B, Type 2  
 1:50



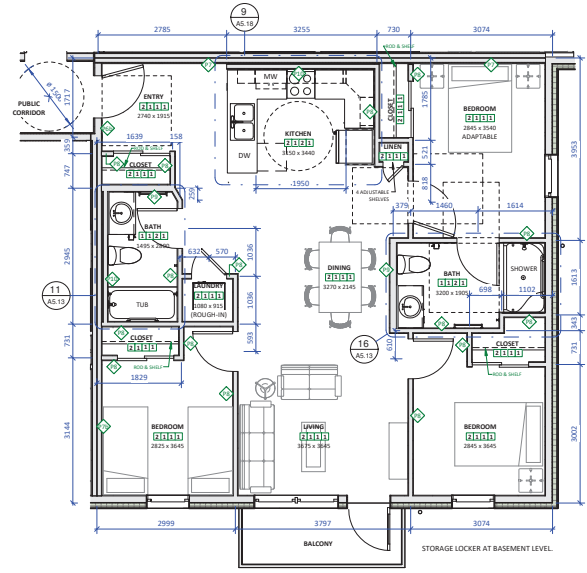
THIS DRAWING IS A COPYRIGHT DRAWING & SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM CHRISTINE LINTOTT ARCHITECT. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED, OR APPROVED & ISSUED BY CHRISTINE LINTOTT ARCHITECT AS SUCH. THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO CHRISTINE LINTOTT ARCHITECTS INC. DO NOT SCALE THE DRAWINGS.



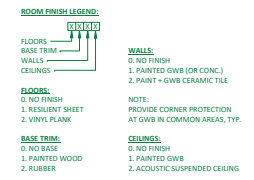
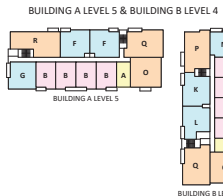
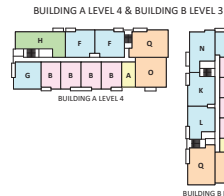
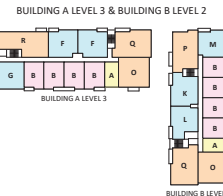
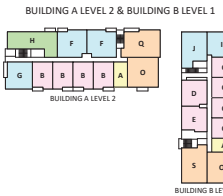
① Type M - 2 Bedroom, Corner, Building B, Type 1  
1:50



③ Type N - 2 Bedroom, Corner, Building B, Type 2  
1:50

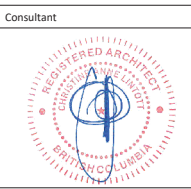


② Type O - 3 Bedroom, Typical, Type 1  
1:50



Issue	Date
50% REVIEW	JULY 31, 2020
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BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date



**Burnside School Property**  
496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

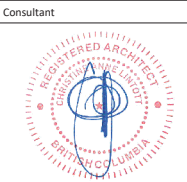
**Unit Plans - Types M-O**

Date	2022-03-22 10:36:00 AM
Drawn by	CC
Checked by	CL
<b>A5.03</b>	
Scale	1:50

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FOR TENDER	MARCH 22, 2022

Revision	Date
No. Description	Date



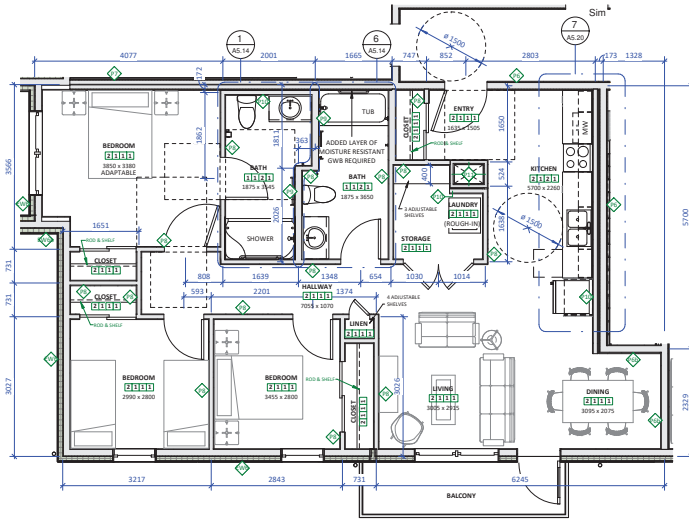
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Unit Plans - Types P-S

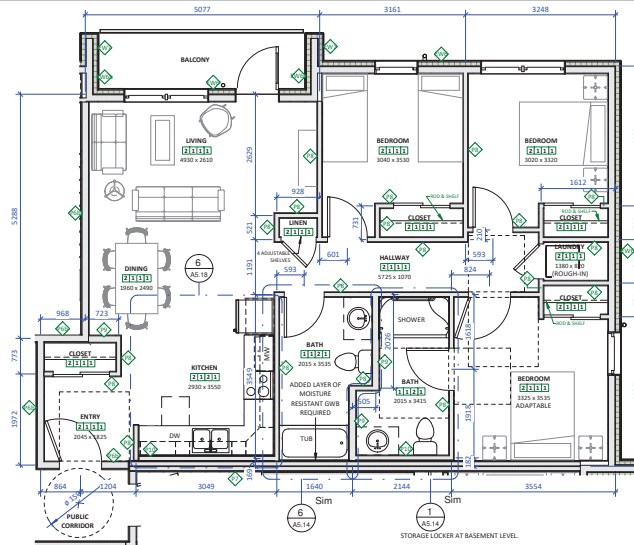
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Checked by	CL

**A5.04**

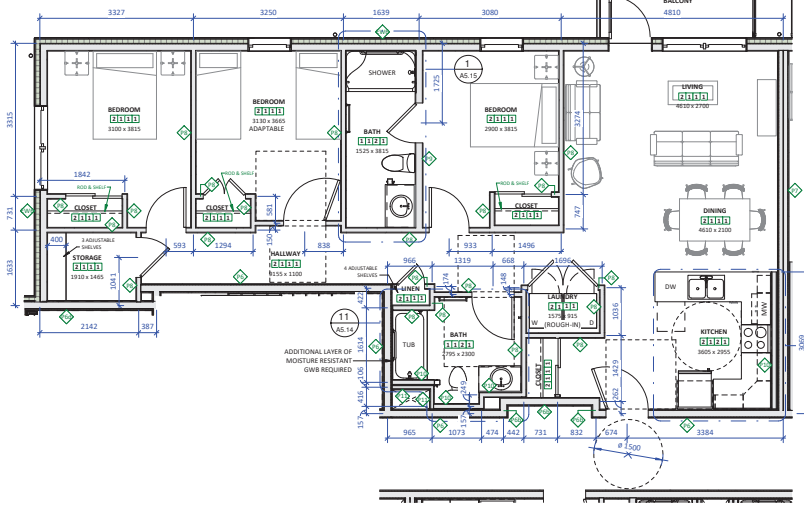
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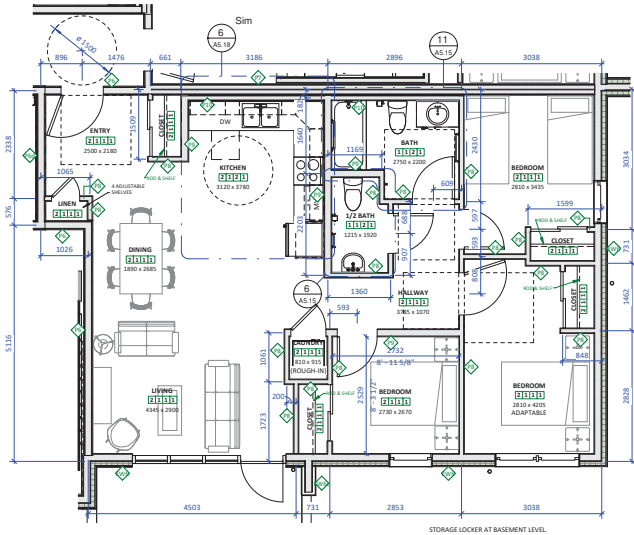
③ Type P - 3 Bedroom, Building B, Type 1  
 1:50



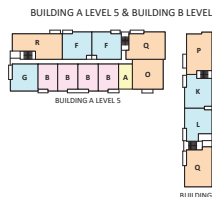
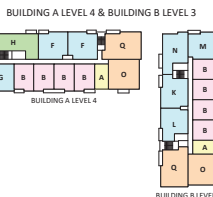
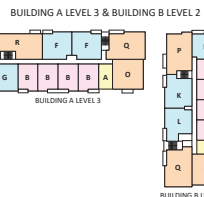
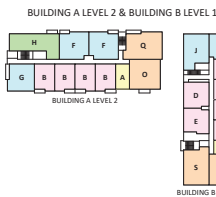
④ Type Q - 3 Bedroom, Type 2  
 1:50



① Type R - 3 Bedroom, Building A, Type 3  
 1:50



② Type S - 3 Bedroom, Building B, Main Level  
 1:50



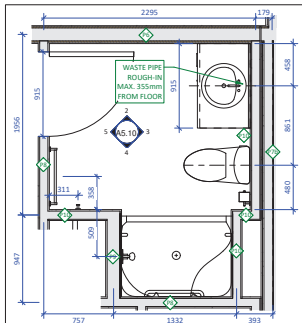
**BEDROOM TYPES**

[Light Green]	BACHELOR
[Light Blue]	1 BEDROOM
[Light Purple]	2 BEDROOM
[Light Orange]	2 BEDROOM + DEN
[Light Yellow]	3 BEDROOM

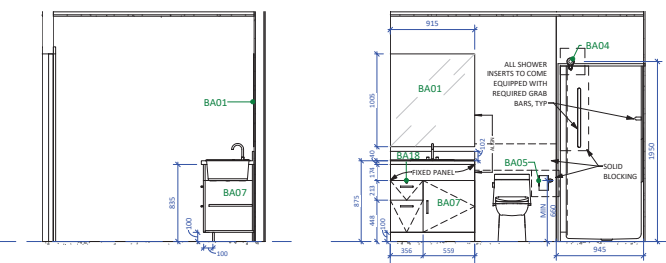
**ROOM FINISH LEGEND:**

	FLOORS	0. NO FINISH
	BASE TRIM	1. RESILIENT SHEET
	WALLS	1. PAINTED GWB (OR CONC.)
	CEILINGS	2. PAINT + GWB CERAMIC TILE
	NO FINISH	0. NO FINISH
	RESILIENT SHEET	1. RESILIENT SHEET
	VINYL PLANK	2. VINYL PLANK
	PAINTED WOOD	1. PAINTED WOOD
	RUBBER	2. RUBBER

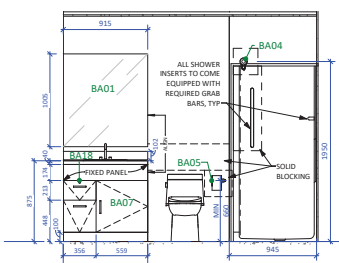
NOTE:  
 PROVIDE CORNER PROTECTION AT GWB IN COMMON AREAS, TYP.



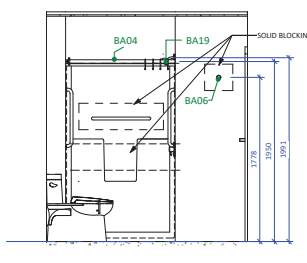
1 W/C Type 1  
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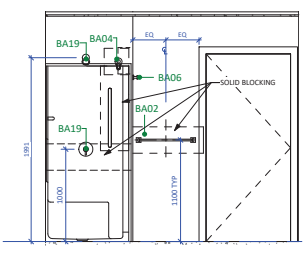
2 W/C Type 1 - Elevation 2/A5.10  
1:25



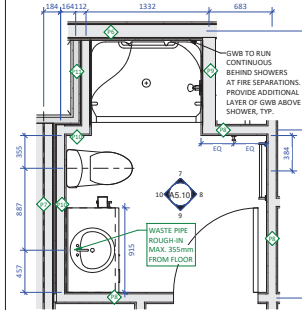
3 W/C Type 1 - Elevation 3/A5.10  
1:25



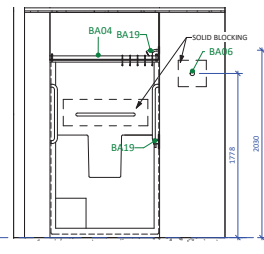
4 W/C Type 1 - Elevation 4/A5.10  
1:25



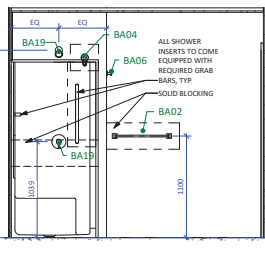
5 W/C Type 1 - Elevation 5/A5.10  
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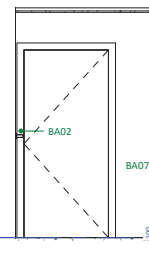
6 W/C Type 2  
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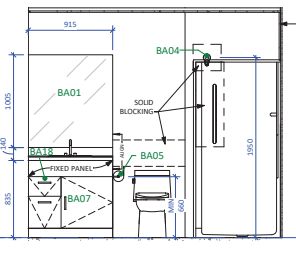
7 W/C Type 2 - Elevation 7/A5.10  
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8 W/C Type 2 - Elevation 8/A5.10  
1:25



9 W/C Type 2 - Elevation 9/A5.10  
1:25

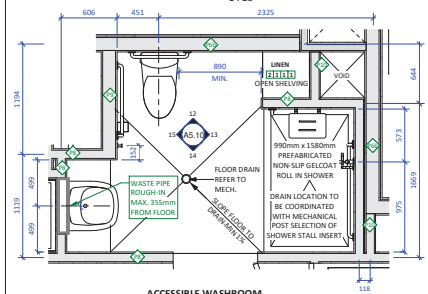


10 W/C Type 2 - Elevation 10/A5.10  
1:25

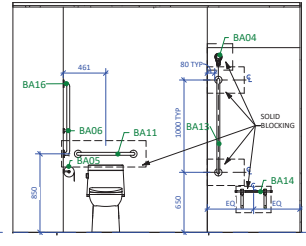
Interior Elevations Accessories Legend	
Tag Number	Description
BA01	915 MM X 1005 MM PLATE GLASS MIRROR
BA02	610 MM S/S TOWEL BAR
BA03	610 MM S/S VERTICAL GRAB BARS
BA04	S/S SHOWER ROD WITH FLANGE AND NYLON CURTAIN HOODS
BA05	TOILET PAPER HOLDER
BA06	ROBE HOOK
BA07	VANITY WITH LOCKABLE DRAWER
BA10	ACCESSIBLE MEDICINE CABINET/MIRROR
BA11	600MM S/S HORIZONTAL GRAB BAR
BA13	1000MM S/S VERTICAL GRAB BAR
BA14	800MM X 610MM FOLDING NON-SLIP SHOWER SEAT
BA16	760MM S/S HORIZONTAL GRAB BAR WITH 760MM VERTICAL COMPONENT
BA17	TELEPHONE TYPE SHOWER HEAD ON ADJUSTABLE SLIDE BAR
BA18	LOCKABLE DRAWER
BA19	TYPICAL LOW FLOW SHOWER HEAD AND CONTROLS

**GENERAL NOTE TO CONTRACTOR:**

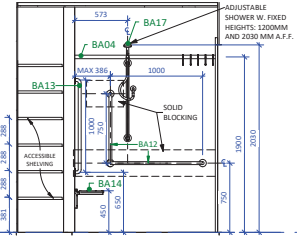
- PROVIDE 38x286mm SOLID BLOCKING 915mm FROM FLOOR (UNLESS DRAWN OTHERWISE) AT ALL TOILET, TUB, AND SHOWER LOCATIONS.
- PROVIDE 38x286mm SOLID BLOCKING FOR ALL BATHROOM ACCESSORIES & FIXTURES ATTACHED TO WALLS.
- SHOWER INSERTS ARE TO INCLUDE 3 GRAB BARS.



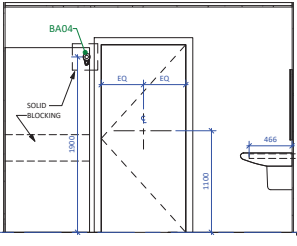
11 W/C Type 3  
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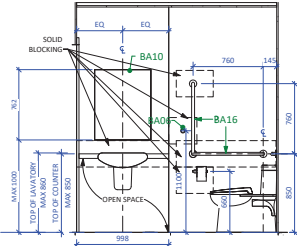
12 W/C Type 3 - Elevation 12/A5.10  
1:25



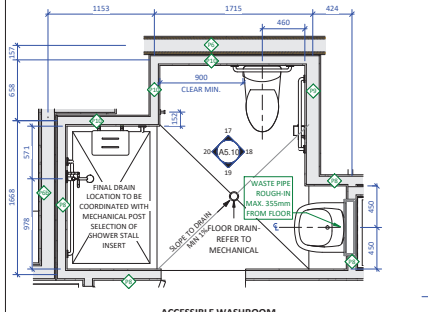
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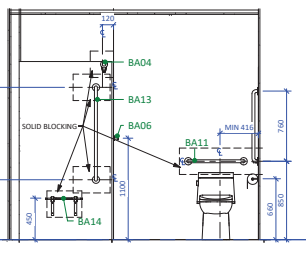
14 W/C Type 3 - Elevation 14/A5.10  
1:25



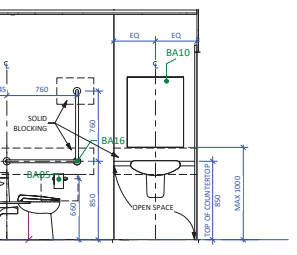
15 W/C Type 3 - Elevation 15/A5.10  
1:25



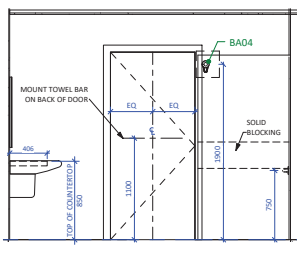
16 W/C Type 4  
1:25



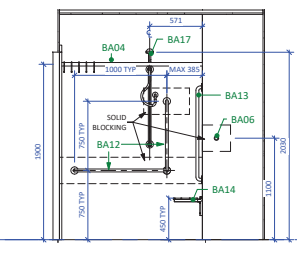
17 W/C Type 4 - Elevation 17/A5.10  
1:25



18 W/C Type 4 - Elevation 18/A5.10  
1:25



19 W/C Type 4 - Elevation 19/A5.10  
1:25

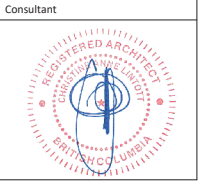


20 W/C Type 4 - Elevation 20/A5.10  
1:25



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision No.	Description	Date



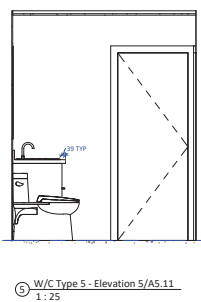
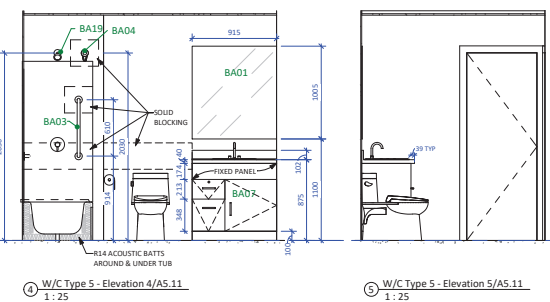
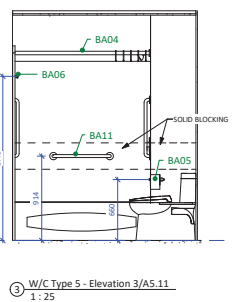
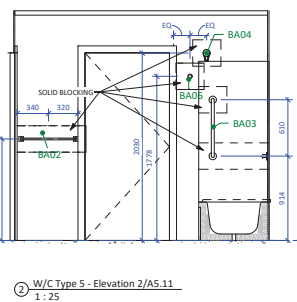
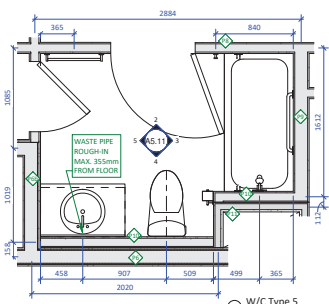
**Burnside School Property**  
496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

**Interior Elevations - Bathrooms**

Date: 2022-03-22 10:36:19 AM  
Drawn by: GM  
Checked by: CC

**A5.10**  
Scale: As indicated

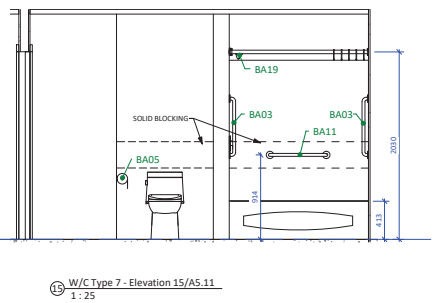
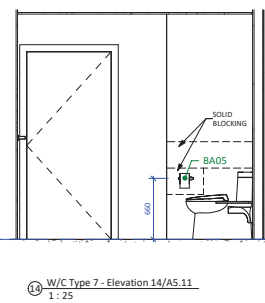
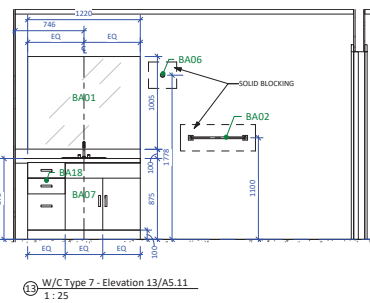
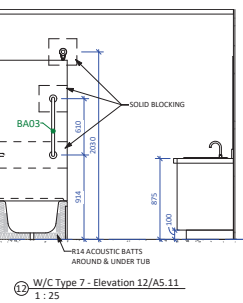
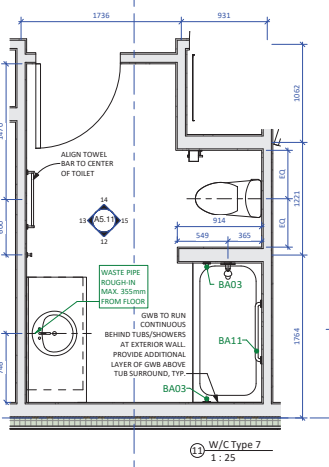
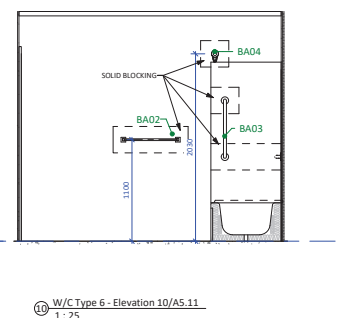
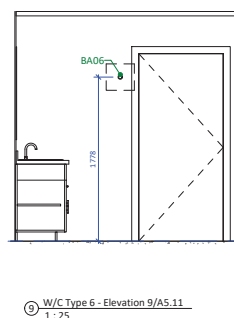
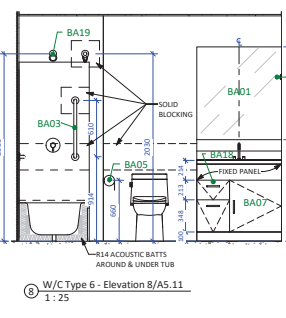
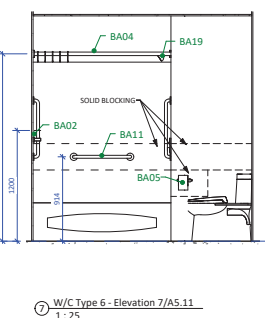
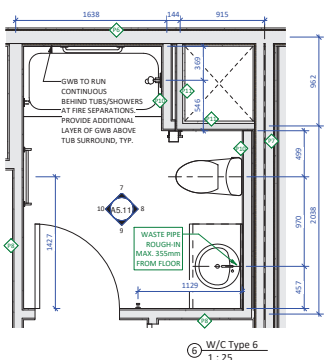
THIS DRAWING IS A COPYRIGHT DRAWING & SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM CHRISTINE LINTOTT ARCHITECT. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED, OR APPROVED & ISSUED BY CHRISTINE LINTOTT ARCHITECT AS SUCH. THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO CHRISTINE LINTOTT ARCHITECTS INC. DO NOT SCALE THE DRAWINGS.



Interior Elevations Accessories Legend	
Tag Number	Description
BA01	915 MM X 1005 MM PLATE GLASS MIRROR
BA02	610 MM 5/8 TOWEL BAR
BA03	610 MM 5/8 VERTICAL GRAB BARS
BA04	5/8 SHOWER ROD WITH FLANGE AND NYLON CURTAIN HOOKS
BA05	TOILET ROLLER HOLDER
BA06	ROBE HOOK
BA07	VANITY WITH LOCKABLE DRAWER
BA08	ACCESSIBLE MEDICINE CABINET FAHNROR
BA11	600MM 5/8 HORIZONTAL GRAB BAR
BA13	1000MM 5/8 VERTICAL GRAB BAR
BA14	400MM x 450MM FOLDING NON-SLIP SHOWER SEAT
BA16	760MM 5/8 HORIZONTAL GRAB BAR WITH 760MM VERTICAL COMPONENT
BA17	TELEPHONE TIRE SHOWER HEAD ON ADJUSTABLE SLIDE BAR
BA18	LOCKABLE DRAWER
BA19	TYPICAL LOW FLOW SHOWER HEAD AND CONTROLS

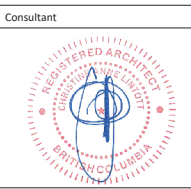
**GENERAL NOTE TO CONTRACTOR:**

- PROVIDE 50x50mm SOLID BLOCKING 915mm FROM FLOOR (UNLESS DRAWN OTHERWISE) AT ALL TOILET, TUB, AND SHOWER LOCATIONS.
- PROVIDE 50x50mm SOLID BLOCKING FOR ALL BATHROOM ACCESSORIES & FIXTURES ATTACHED TO WALLS.
- SHOWER HEADS ARE TO INCLUDE 3 GRABS BARS.



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 23, 2022

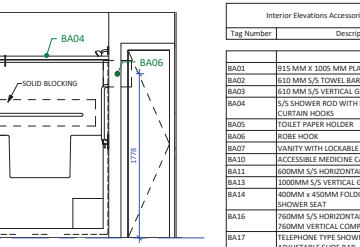
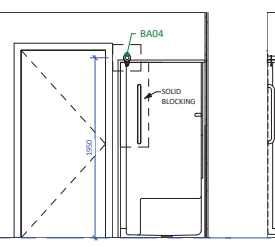
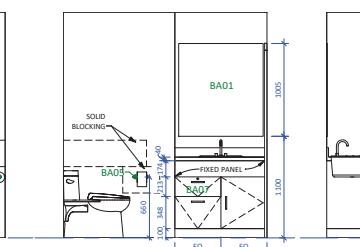
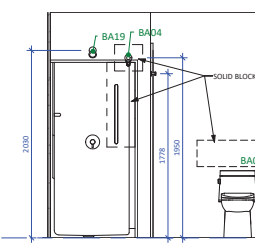
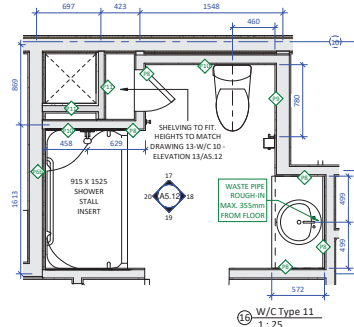
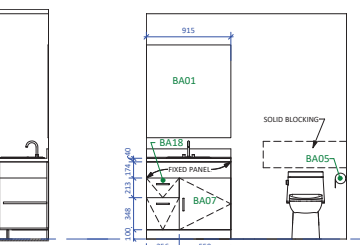
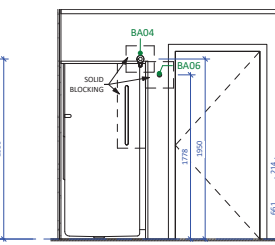
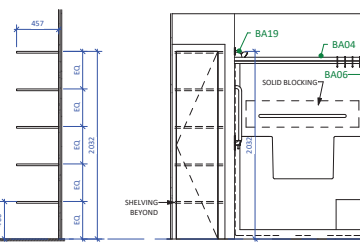
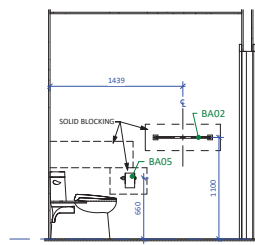
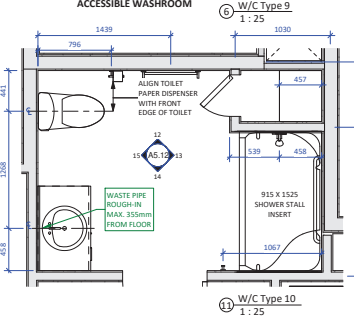
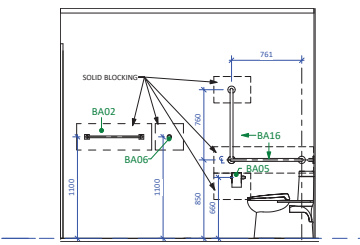
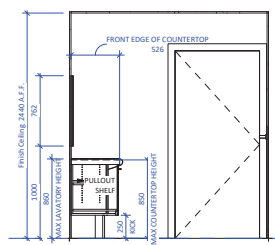
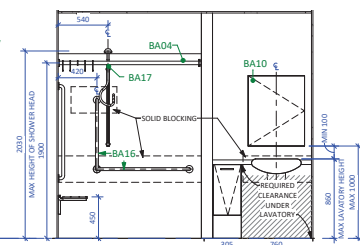
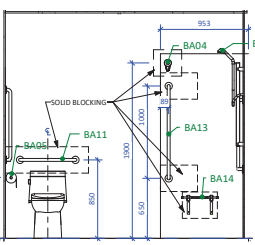
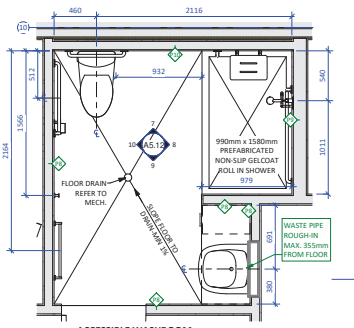
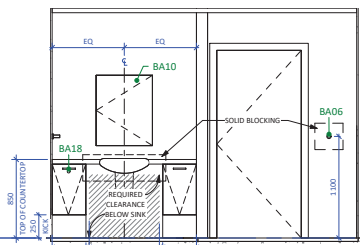
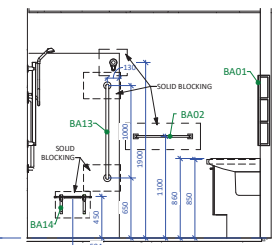
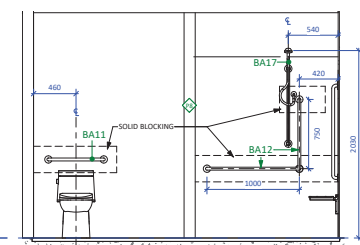
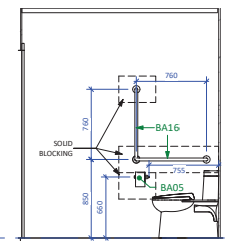
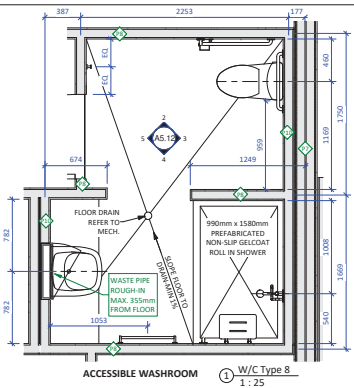
Revision	Description	Date



**Burnside School Property**  
496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

Interior Elevations - Bathrooms

Date	2022-03-22 10:36:27 AM
Drawn by	GM
Checked by	CC
<b>A5.11</b>	
Scale	As indicated



**GENERAL NOTE TO CONTRACTOR:**

- PROVIDE 38x28mm SOLID BLOCKING 915mm FROM FLOOR (UNLESS DRAWN OTHERWISE) AT ALL TOILET, TUB, AND SHOWER LOCATIONS.
- PROVIDE 38x28mm SOLID BLOCKING FOR ALL BATHROOM ACCESSORIES & FIXTURES ATTACHED TO WALLS.
- SHOWER INSERTS ARE TO INCLUDE 3 GRAB BARS.

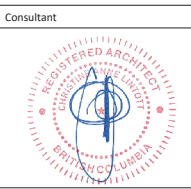
Interior Elevations Accessories Legend

Tag Number	Description
BA01	915 MM X 1005 MM PLATE GLASS MIRROR
BA02	510 MM 5/2 TOWEL BAR
BA03	510 MM 5/2 VERTICAL GRAB BARS
BA04	5/2 SHOWER ROD WITH FLANGE AND NYLON CURTAIN HOOKS
BA05	TOILET PAPER HOLDER
BA06	TOILET PAPER HOLDER
BA07	VANITY WITH LOCKABLE DRAWER
BA10	ACCESSIBLE MEDICINE CABINET/MIRROR
BA11	600MM 5/2 HORIZONTAL GRAB BAR
BA13	1000MM 5/2 VERTICAL GRAB BAR
BA14	400MM X 450MM FOLDING NON-SLIP SHOWER SEAT
BA16	750MM 5/2 HORIZONTAL GRAB BAR WITH 750MM VERTICAL COMPONENT
BA17	TELEPHONE TYPE SHOWER HEAD ON ADJUSTABLE SLIDE BAR
BA18	LOCKABLE DRAWER
BA19	TYPICAL LOW FLOW SHOWER HEAD AND CONTROLS



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 23, 2022

Revision	No.	Description	Date



**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Interior Elevations - Bathrooms**

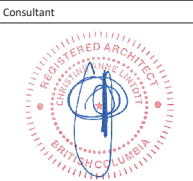
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 Drawn by: GM  
 Checked by: CC

**A5.12**  
 Scale: As indicated

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Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date



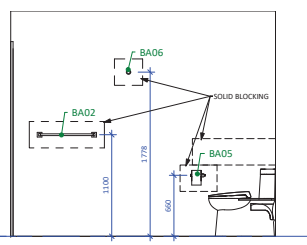
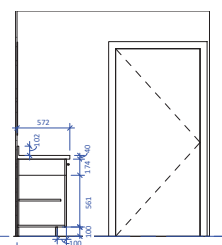
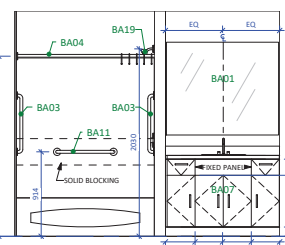
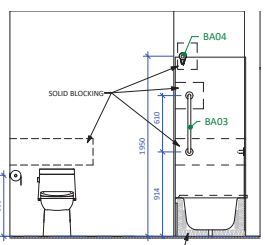
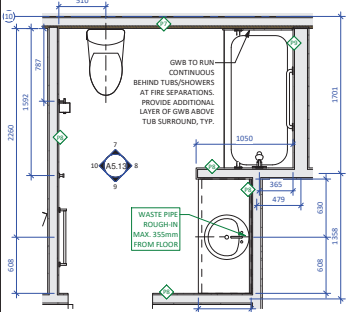
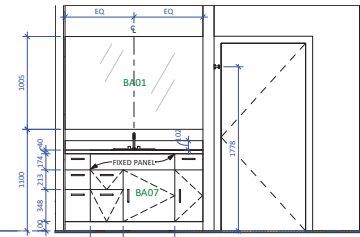
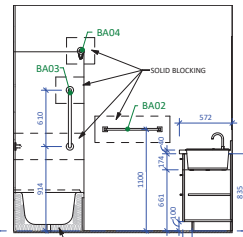
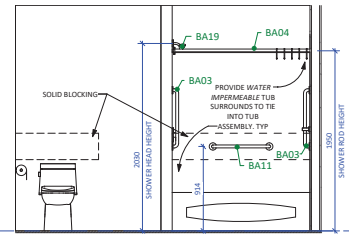
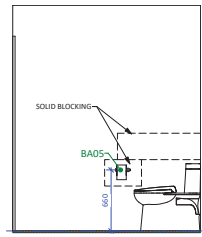
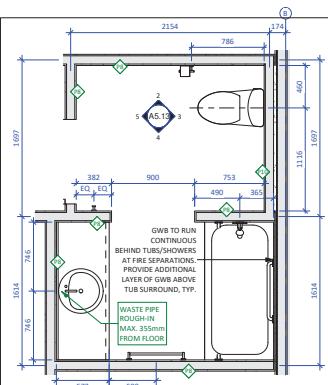
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Interior Elevations - Bathrooms**

Date: 2022-03-22 10:36:49 AM  
 Drawn by: GM  
 Checked by: CC

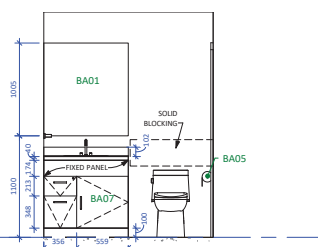
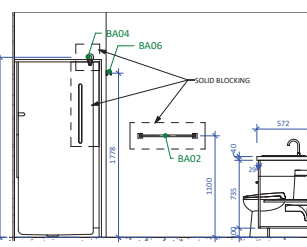
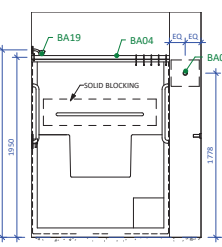
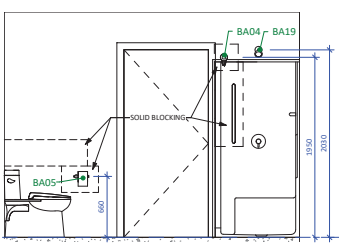
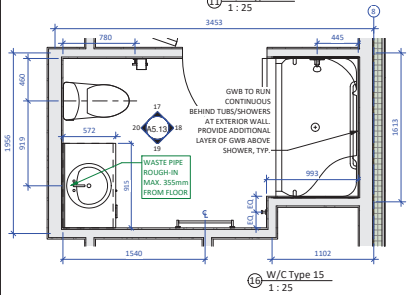
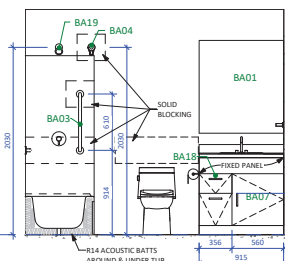
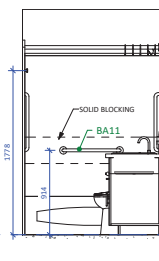
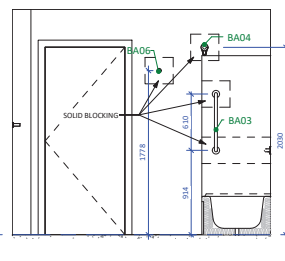
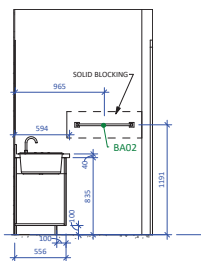
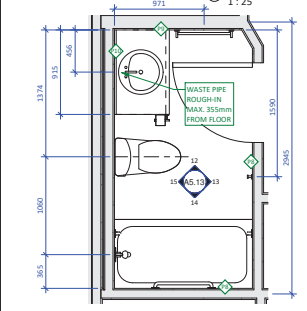
**A5.13**

Scale: As indicated



Tag Number	Description
BA01	915 MM X 1005 MM PLATE GLASS MIRROR
BA02	610 MM 5/5 TOWEL BAR
BA03	610 MM 5/5 VERTICAL GRAB BARS
BA04	5/5 SHOWER HOOD WITH FLANGE AND NYLON CURTAIN HOOKS
BA05	TOILET PAPER HOLDER
BA06	HORN HOOK
BA07	VANITY WITH LOCKABLE DRAWER
BA10	ACCESSIBLE MEDICINE CABINET/MIRROR
BA11	600MM 5/5 HORIZONTAL GRAB BAR
BA13	1000MM 5/5 VERTICAL GRAB BAR
BA14	400MM x 450MM FOLDING NON-SLIP SHOWER SEAT
BA16	760MM 5/5 HORIZONTAL GRAB BAR WITH 760MM VERTICAL COMPONENT
BA17	TELEPHONE TYPE SHOWER HEAD ON ADJUSTABLE SLIDE BAR
BA18	LOCKABLE DRAWER
BA19	TYPICAL LOW FLOW SHOWER HEAD AND CONTROLS

**GENERAL NOTE TO CONTRACTOR:**  
 1. PROVIDE 50x250mm SOLID BLOCKING 25mm FROM FLOOR (UNLESS DRAWN OTHERWISE) AT ALL TOILET, TUB, AND SHOWER LOCATIONS.  
 2. PROVIDE 50x50mm SOLID BLOCKING FOR ALL BATHROOM ACCESSORIES & FIXTURES ATTACHED TO WALLS.  
 3. SHOWER INSERTS ARE TO INCLUDE 3 GRABS BARS.



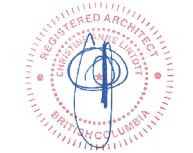
Issue Date

50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision

No.	Description	Date
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Consultant



Burnside School Property

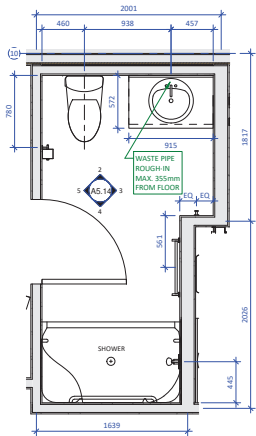
496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Interior Elevations - Bathrooms

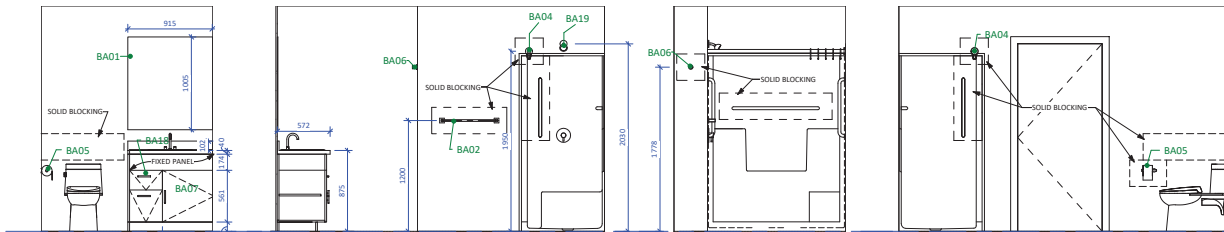
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 Drawn by GM  
 Checked by CC

A5.14

Scale As indicated



1 W/C Type 16  
1: 25



2 W/C Type 16 - Elevation 2/A5.14  
1: 25

3 W/C Type 16 - Elevation 3/A5.14  
1: 25

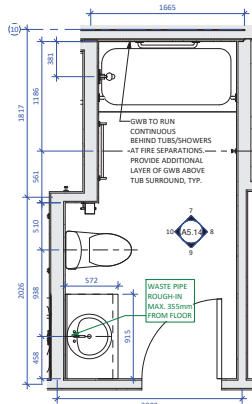
4 W/C Type 16 - Elevation 4/A5.14  
1: 25

5 W/C Type 16 - Elevation 5/A5.14  
1: 25

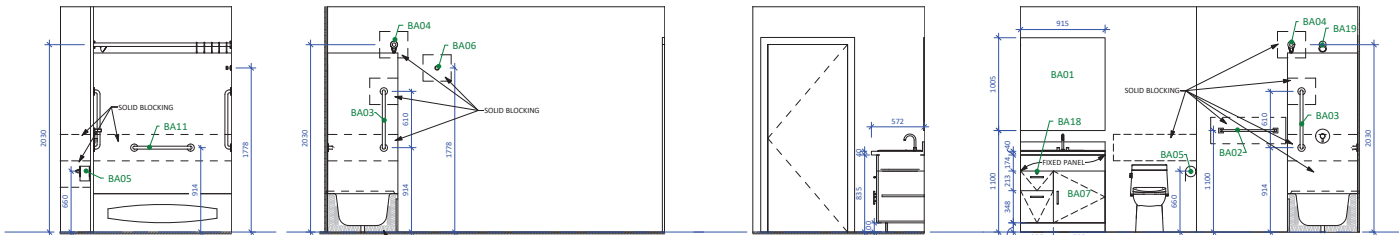
Interior Elevations Accessories Legend

Tag Number	Description
BA01	915 MM X 1005 MM PLATE GLASS MIRROR
BA02	630 MM S/S TOWEL BAR
BA03	630 MM S/S VERTICAL GRAB BAR
BA04	S/S SHOWER ROD WITH FLANGE AND NYLON CURTAIN HOOKS
BA05	TOILET PAPER HOLDER
BA06	ROBE HOOK
BA07	VANITY WITH LOCKABLE DRAWER
BA10	ACCESSIBLE MEDICINE CABINET/MIRROR
BA11	600MM S/S HORIZONTAL GRAB BAR
BA13	1000MM S/S VERTICAL GRAB BAR
BA14	600MM X 450MM FOLDING NON-SLIP SHOWER SEAT
BA16	900MM S/S HORIZONTAL GRAB BAR WITH 750MM VERTICAL COMPONENT
BA17	TELEPHONE TYPE SHOWER HEAD ON ADJUSTABLE SLIDE BAR
BA18	LOCKABLE DRAWER
BA19	TYPICAL LOW FLOW SHOWER HEAD AND CONTROLS

GENERAL NOTE TO CONTRACTOR:  
 1. PROVIDE 38x38mm SOLID BLOCKING 915mm FROM FLOOR (UNLESS DRAWN OTHERWISE) AT ALL TOILET, TUB, AND SHOWER LOCATIONS.  
 2. PROVIDE 38x38mm SOLID BLOCKING FOR ALL BATHROOM ACCESSORIES & FIXTURES ATTACHED TO WALLS.  
 3. SHOWER INSERTS ARE TO INCLUDE 2 GRAB BARS.



6 W/C Type 17  
1: 25

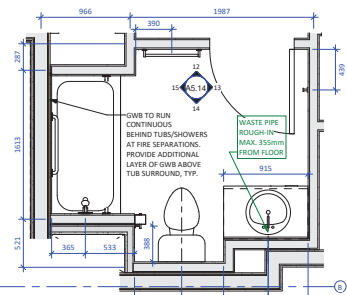


7 W/C Type 17 - Elevation 7/A5.14  
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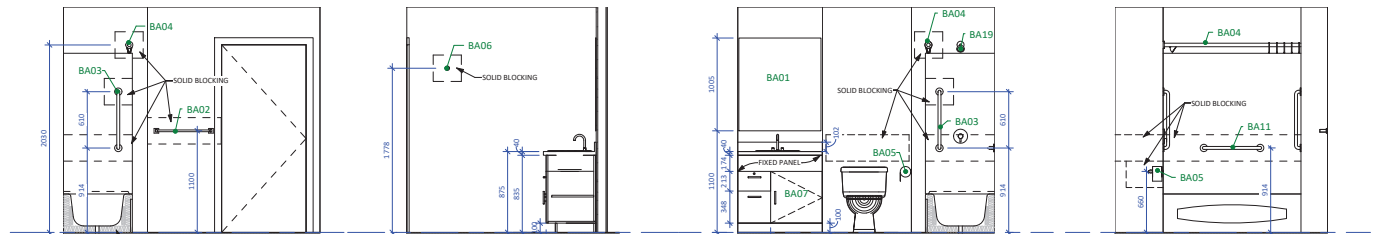
8 W/C Type 17 - Elevation 8/A5.14  
1: 25

9 W/C Type 17 - Elevation 9/A5.14  
1: 25

10 W/C Type 17 - Elevation 10/A5.14  
1: 25



11 W/C Type 18  
1: 25

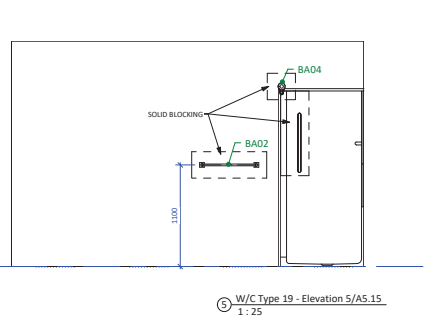
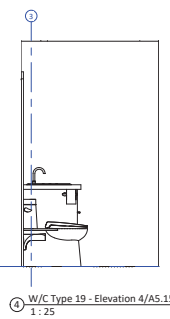
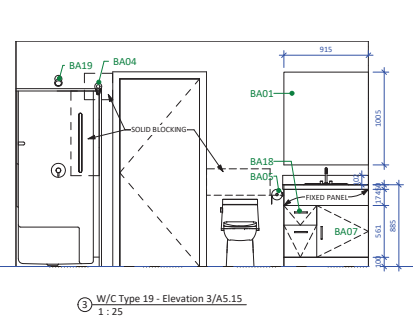
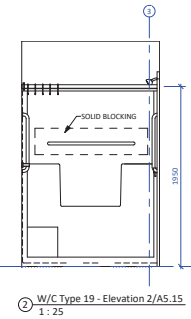
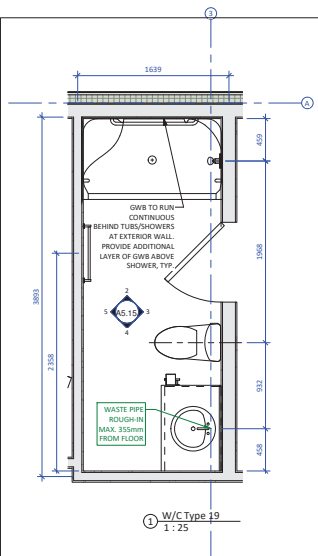


12 W/C Type 18 - Elevation 12/A5.14  
1: 25

13 W/C Type 18 - Elevation 13/A5.14  
1: 25

14 W/C Type 18 - Elevation 14/A5.14  
1: 25

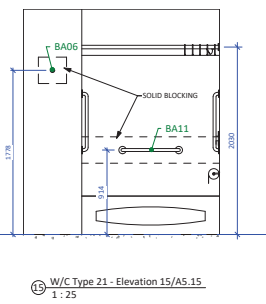
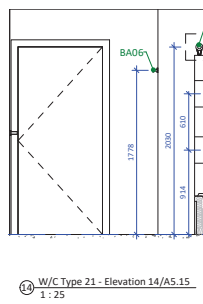
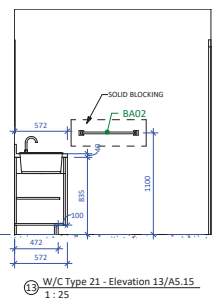
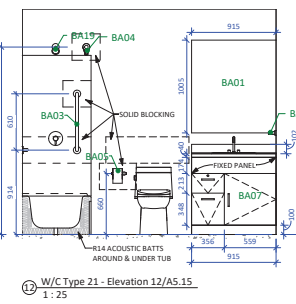
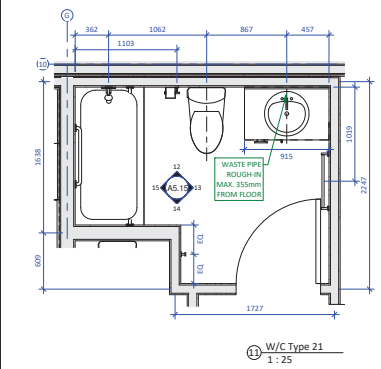
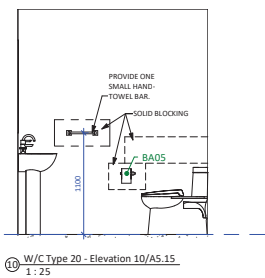
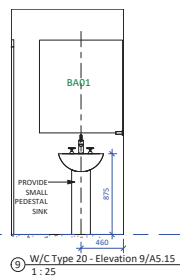
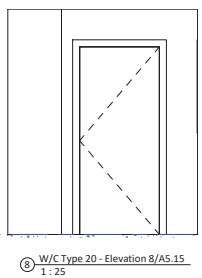
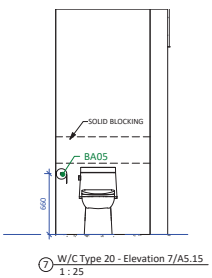
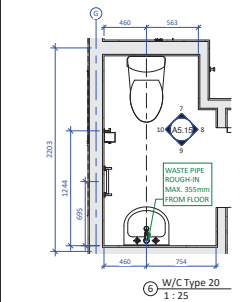
15 W/C Type 18 - Elevation 15/A5.14  
1: 25



Interior Elevations Accessories Legend	
Tag Number	Description
BA01	915 MM X 1005 MM PLATE GLASS MIRROR
BA02	610 MM S/S TOWEL BAR
BA03	610 MM S/S VERTICAL GRAB BARS
BA04	S/S SHOWER ROD WITH FLANGE AND NYLON CURTAIN HOOKS
BA05	TOILET PAPER HOLDER
BA06	ROBE HOOK
BA07	VANITY WITH LOCKABLE DRAWER
BA10	ACCESSIBLE MEDICINE CABINET/MIRROR
BA11	600MM S/S HORIZONTAL GRAB BAR
BA13	1000MM S/S VERTICAL GRAB BAR
BA14	400MM x 450MM FOLDING NON-SLIP SHOWER SEAT
BA16	760MM S/S HORIZONTAL GRAB BAR WITH 750MM VERTICAL COMPONENT
BA17	TELEPHONE TYPE SHOWER HEAD ON ADJUSTABLE SLIDE BAR
BA18	LOCKABLE DRAWER
BA19	TYPICAL LOW FLOW SHOWER HEAD AND CONTROLS

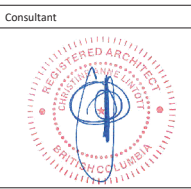
**GENERAL NOTE TO CONTRACTOR:**

- PROVIDE 38x286mm SOLID BLOCKING 915mm FROM FLOOR (UNLESS DRAWN OTHERWISE) AT ALL TOILET, TUB, AND SHOWER LOCATIONS.
- PROVIDE 38x286mm SOLID BLOCKING FOR ALL BATHROOM ACCESSORIES & FIXTURES ATTACHED TO WALLS.
- SHOWER INSERTS ARE TO INCLUDE 3 GRAB BARS.



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date

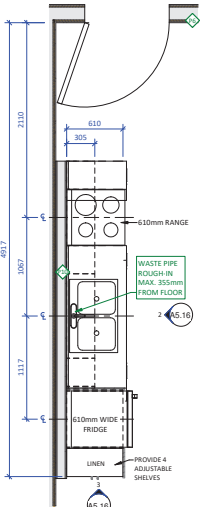


**Burnside School Property**  
496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

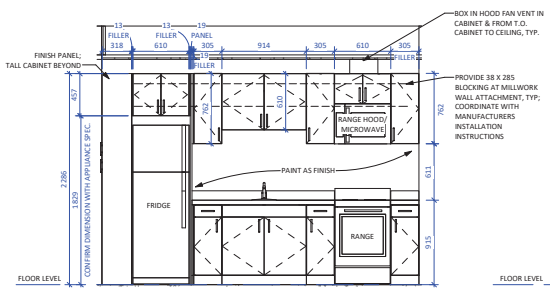
Interior Elevations - Bathrooms

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Checked by: CC

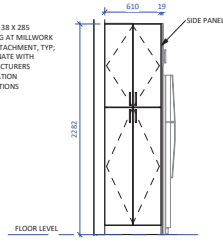
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Scale: As indicated



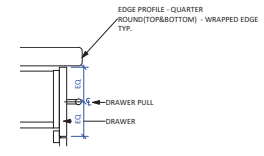
1 Kitchen Type 1  
1: 25



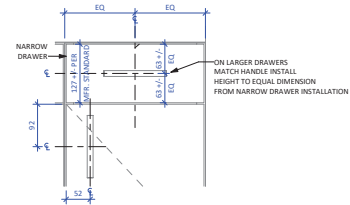
2 Kitchen Type 1 - Elevation 2/AS.16  
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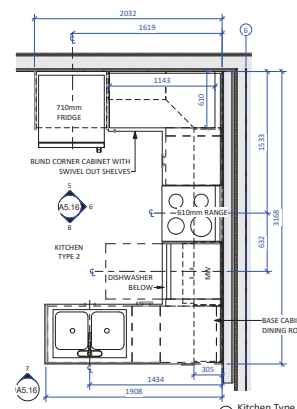
3 Kitchen Type 1 - Elevation 3/AS.16  
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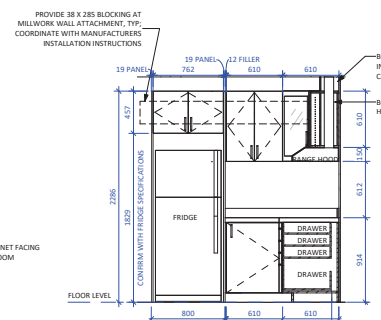
13 Countertop Edge Detail  
1: 5



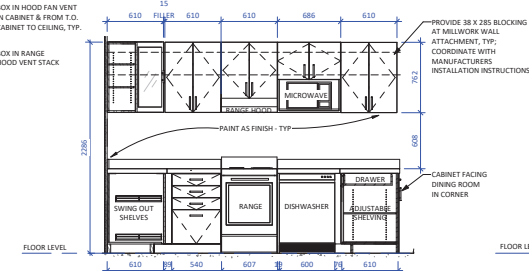
14 Typical Cabinet Pull - Base Cabinet  
1: 5



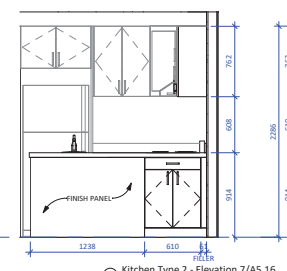
4 Kitchen Type 2  
1: 25



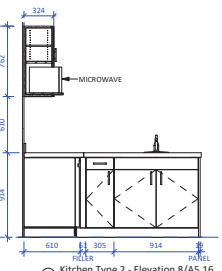
5 Kitchen Type 2 - Elevation 5/AS.16  
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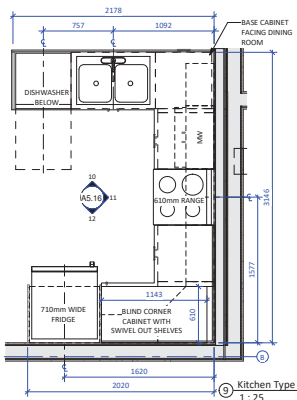
6 Kitchen Type 2 - Elevation 6/AS.16  
1: 25



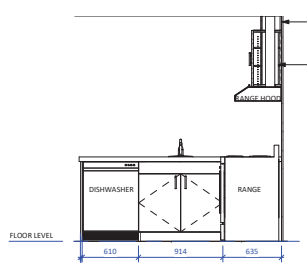
7 Kitchen Type 2 - Elevation 7/AS.16  
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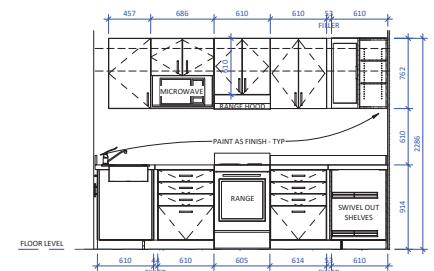
8 Kitchen Type 2 - Elevation 8/AS.16  
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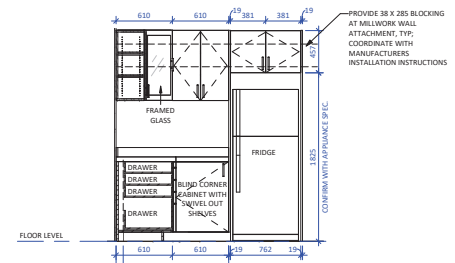
9 Kitchen Type 3  
1: 25



10 Kitchen Type 3 - Elevation 10/AS.16  
1: 25



11 Kitchen Type 3 - Elevation 11/AS.16  
1: 25



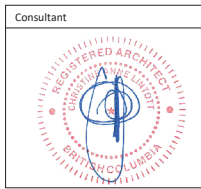
12 Kitchen Type 3 - Elevation 12/AS.16  
1: 25

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Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date



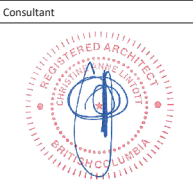
**Burnside School Property**  
496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

Interior Elevations - Kitchens

Date	2022-03-22 10:37:14 AM
Drawn by	GM
Checked by	CC, LA
<b>A5.16</b>	
Scale	As indicated

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

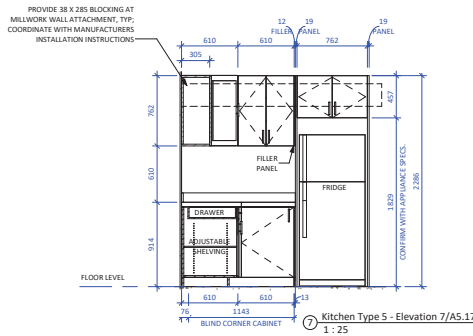
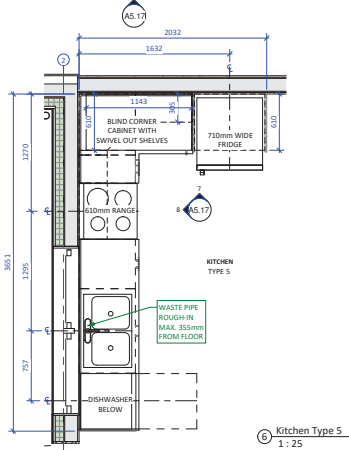
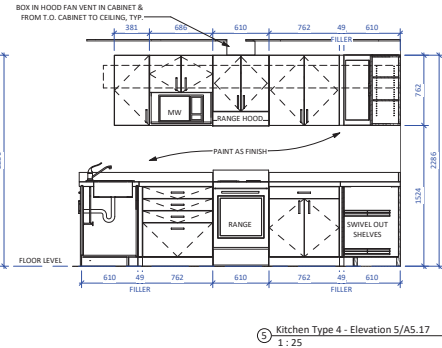
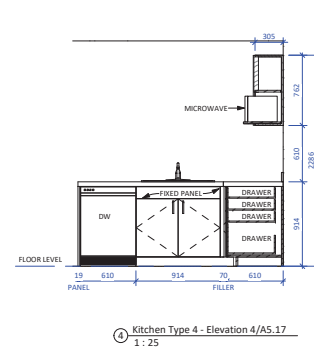
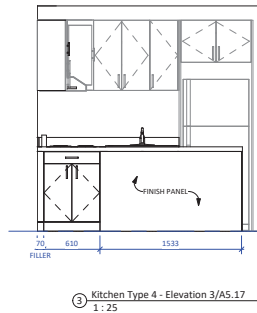
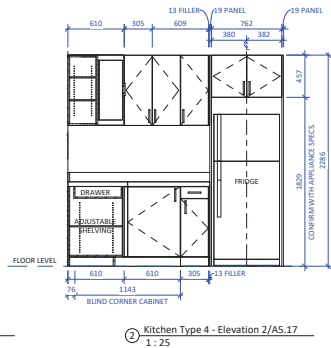
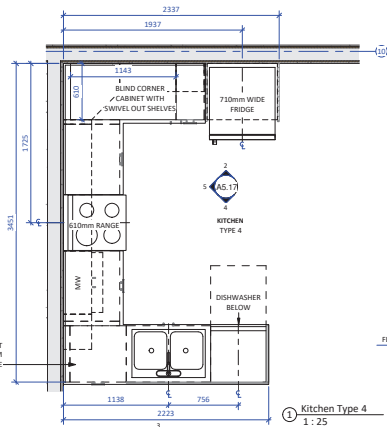
Revision	Description	Date
No.	Description	Date



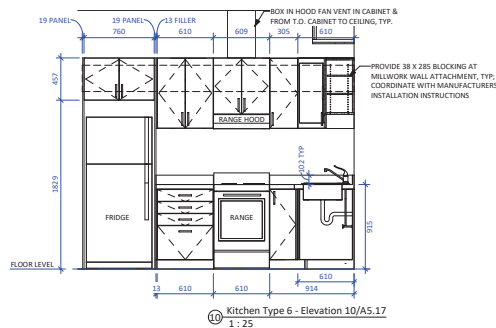
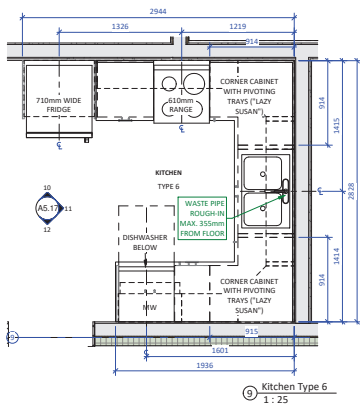
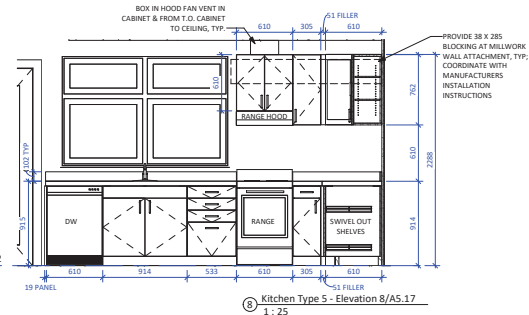
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Interior Elevations - Kitchens**

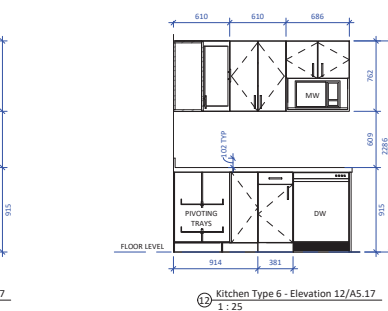
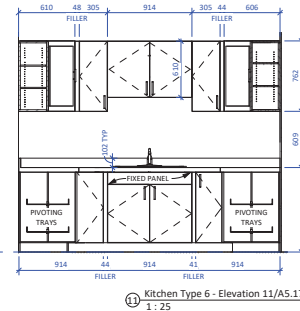
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Drawn by	GM
Checked by	CC, LA
<b>A5.17</b>	
Scale	1 : 25



Slgd A Level 2  
24420

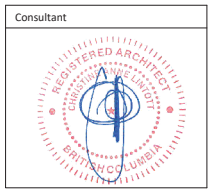


Slgd A Level 2  
24420



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date



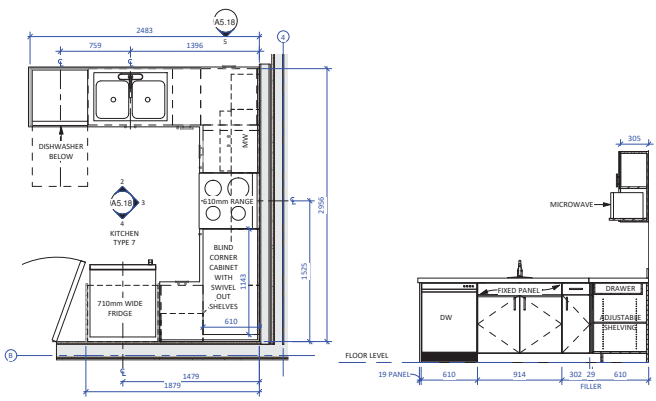
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Interior Elevations -  
 Kitchens

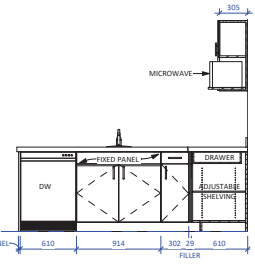
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 Checked by: CC, LA

**A5.18**

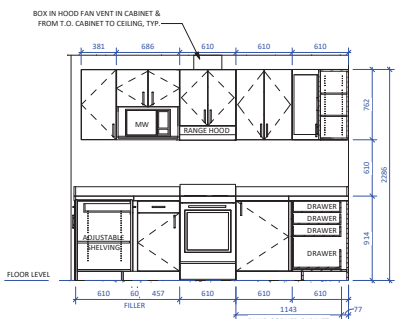
Scale: 1:25



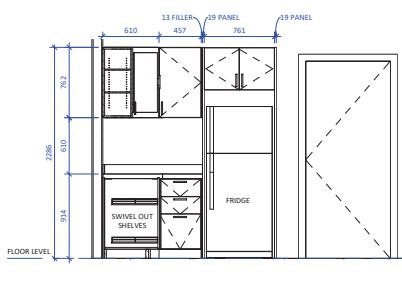
1 Kitchen Type 7  
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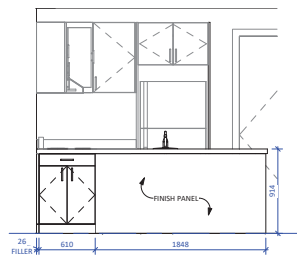
2 Kitchen Type 7 - Elevation 2/AS.18  
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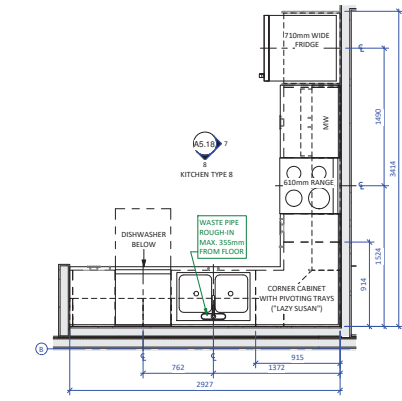
3 Kitchen Type 7 - Elevation 3/AS.18  
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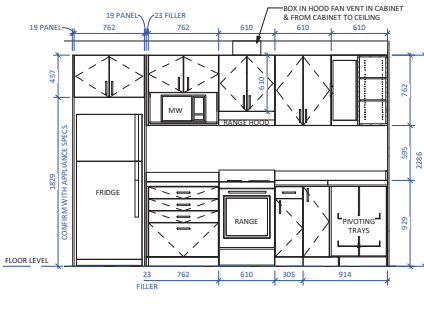
4 Kitchen Type 7 - Elevation 4/AS.18  
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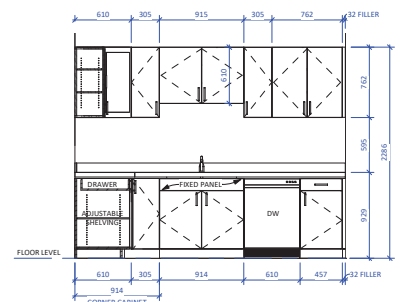
5 Kitchen Type 7 - Elevation 5/AS.18  
1:25



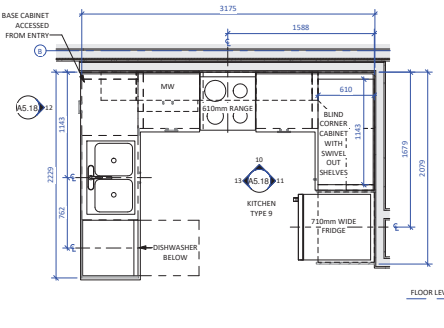
6 Kitchen Type 8  
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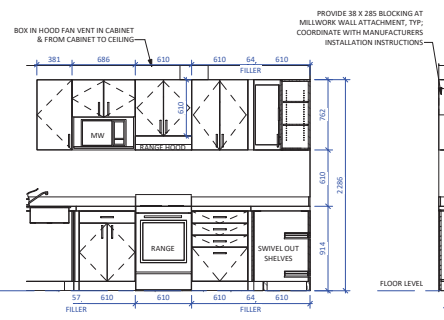
7 Kitchen Type 8 - Elevation 7/AS.18  
1:25



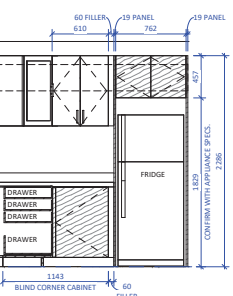
8 Kitchen Type 8 - Elevation 8/AS.18  
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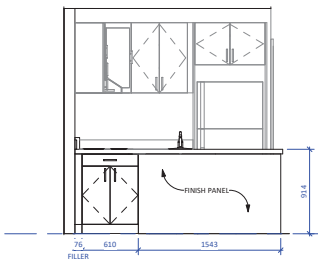
9 Kitchen Type 9  
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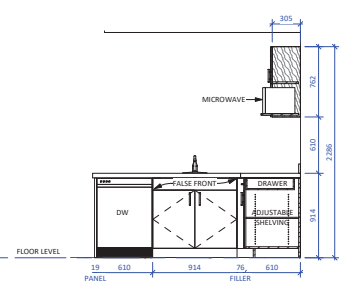
10 Kitchen Type 9 - 10/AS.18  
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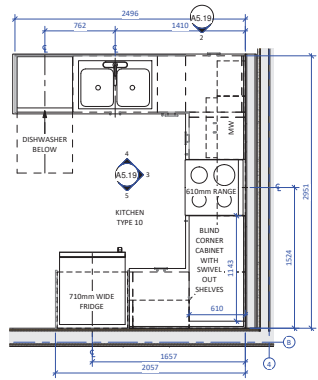
11 Kitchen Type 9 - 11/AS.18  
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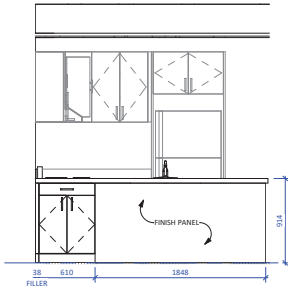
12 Kitchen Type 9 - 12/AS.18  
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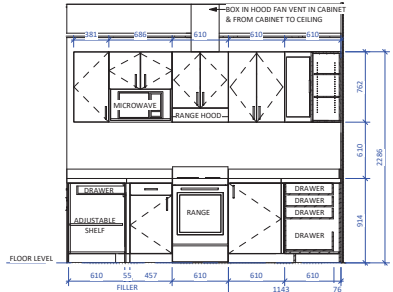
13 Kitchen Type 9 - 13/AS.18  
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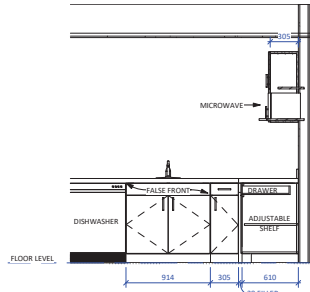
1 Kitchen Type 10  
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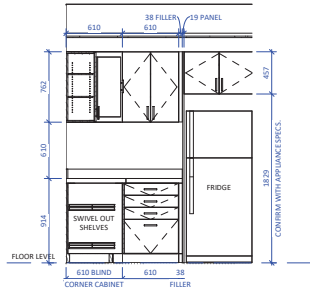
2 Kitchen Type 10 - Elevation 2/AS.19  
1:25



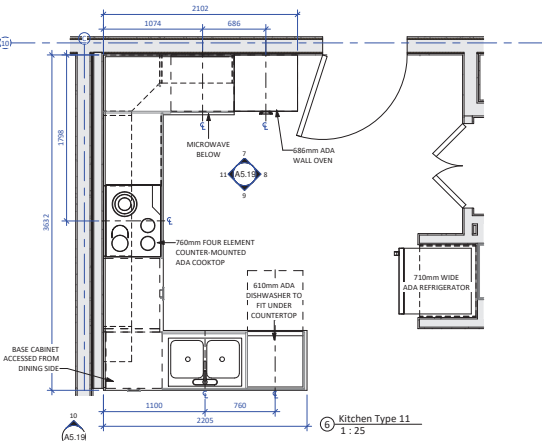
3 Kitchen Type 10 - Elevation 3/AS.19  
1:25



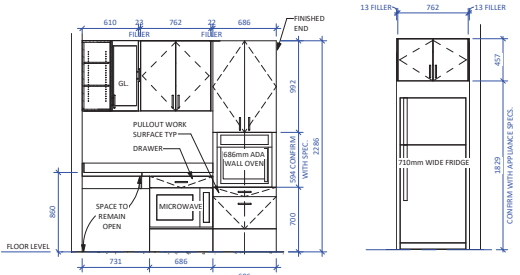
4 Kitchen Type 10 - Elevation 4/AS.19  
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5 Kitchen Type 10 - Elevation 5/AS.19  
1:25

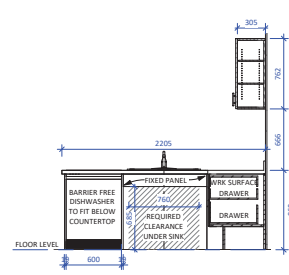


6 Kitchen Type 11  
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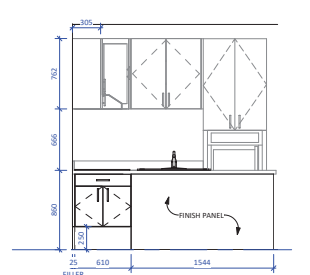


7 Kitchen Type 11 - Elevation 7/AS.19  
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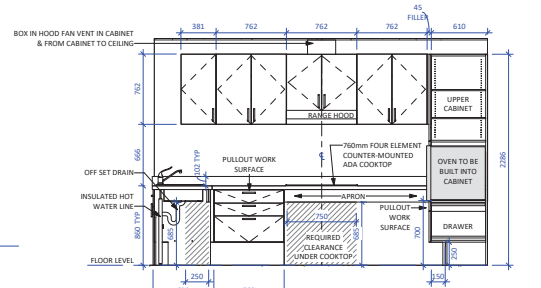
8 Kitchen Type 11 - Elevation 8/AS.19  
1:25



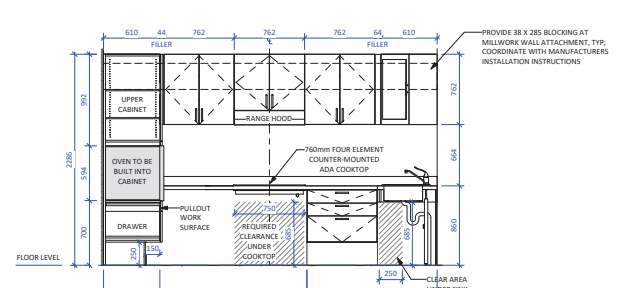
9 Kitchen Type 11 - Elevation 9/AS.19  
1:25



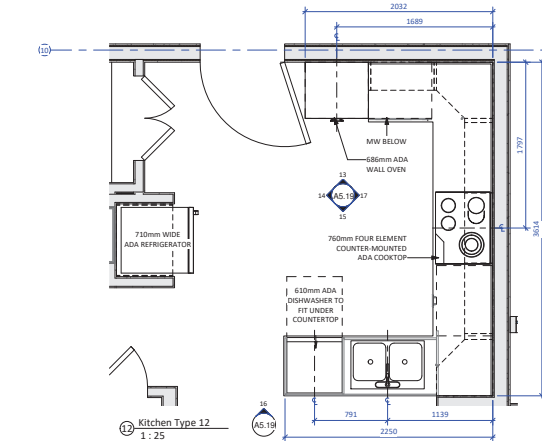
10 Kitchen Type 11 - Elevation 10/AS.19  
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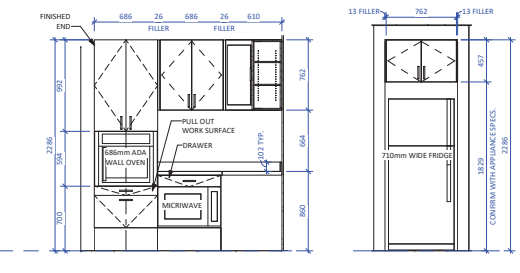
11 Kitchen Type 11 - Elevation 11/AS.19  
1:25



17 Kitchen Type 12 - Elevation 17/AS.19  
1:25

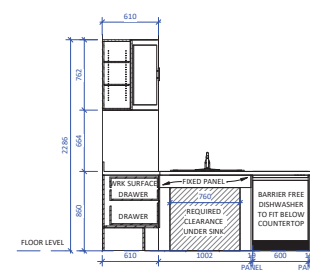


12 Kitchen Type 12  
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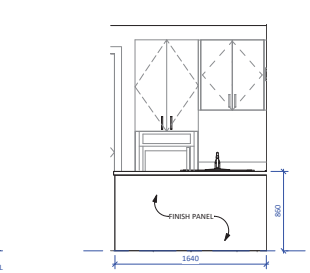


13 Kitchen Type 12 - Elevation 13/AS.19  
1:25

14 Kitchen Type 12 - Elevation 14/AS.19  
1:25



15 Kitchen Type 12 - Elevation 15/AS.19  
1:25

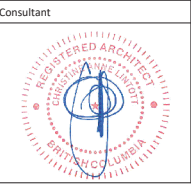


16 Kitchen Type 12 - Elevation 16/AS.19  
1:25



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date



**Burnside School Property**  
496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

Interior Elevations - Kitchens

Date: 2022-03-22 10:37:37 AM  
Drawn by: GM  
Checked by: CC, LA

**A5.19**  
Scale: 1:25

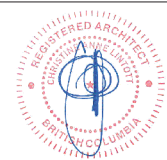
**Issue** **Date**

50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

**Revision**

No.	Description	Date
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**Consultant**



**Burnside School Property**

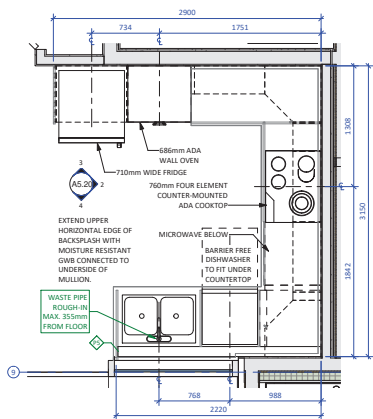
496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Interior Elevations - Kitchens**

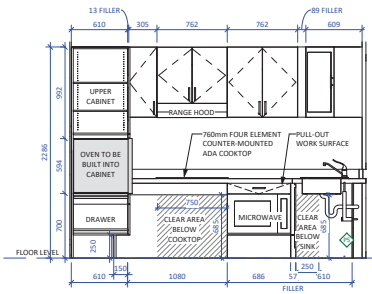
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Drawn by	Author
Checked by	Checker

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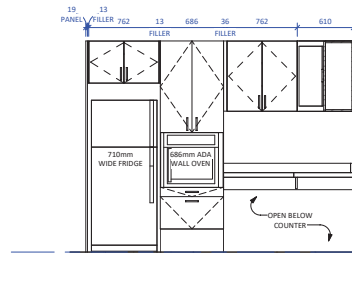
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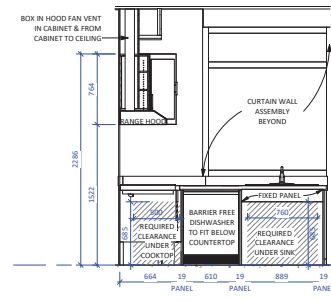
① Kitchen Type 13  
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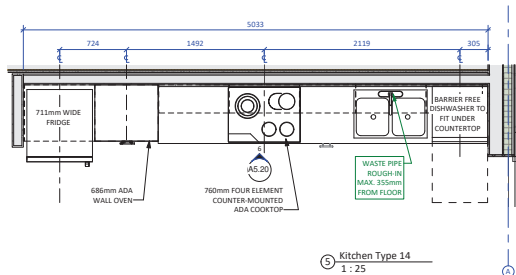
② Kitchen Type 13 - Elevation 2/AS.20  
1 : 25



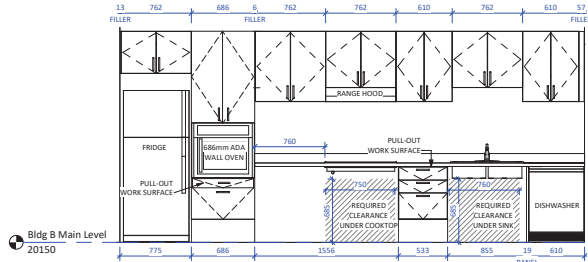
③ Kitchen Type 13 - Elevation 3/AS.20  
1 : 25



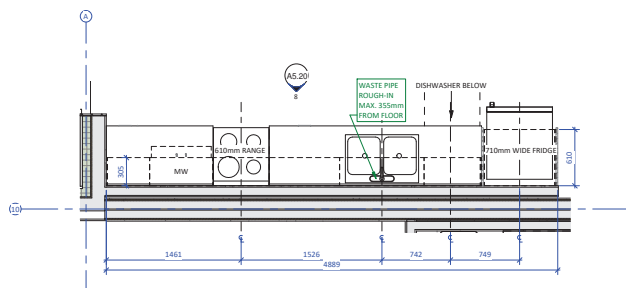
④ Kitchen Type 13 - Elevation 4/AS.20  
1 : 25



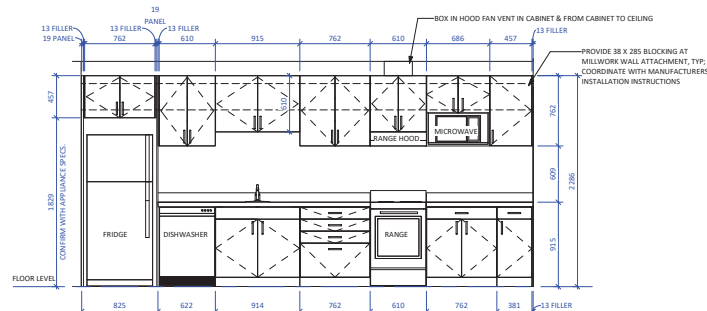
⑤ Kitchen Type 14  
1 : 25



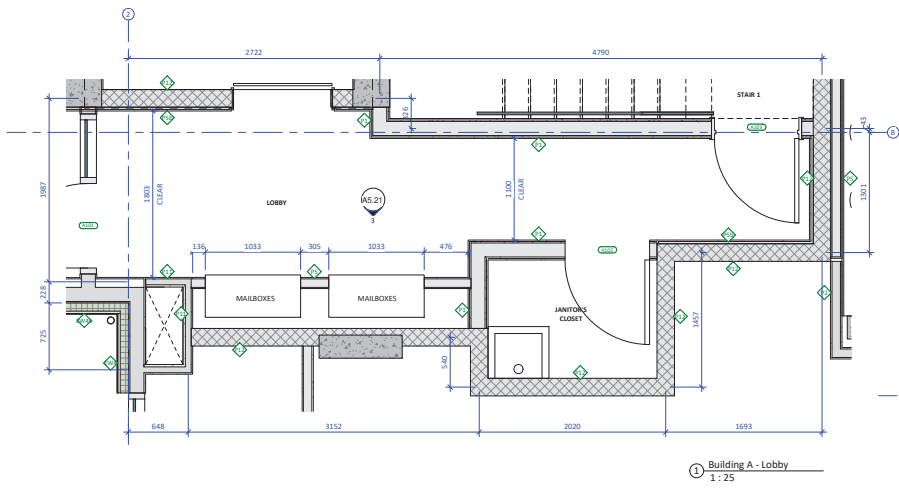
⑥ Kitchen Type 14 - Elevation 6/AS.20  
1 : 25



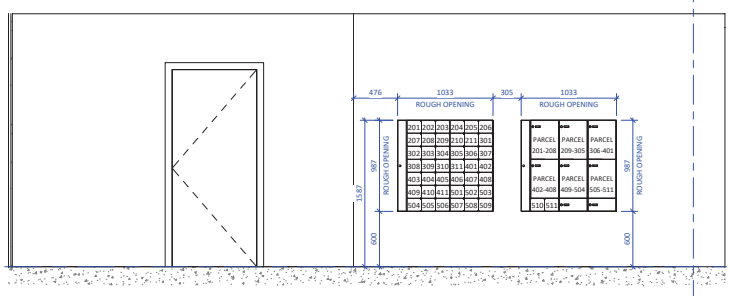
⑦ Kitchen Type 15  
1 : 25



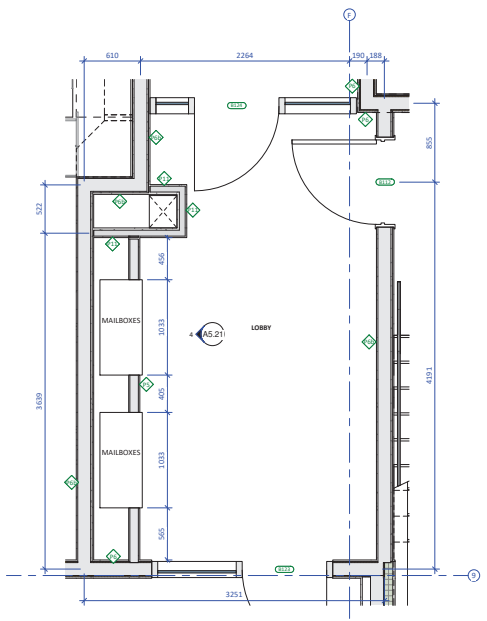
⑧ Kitchen Type 15 - Elevation 8/AS.20  
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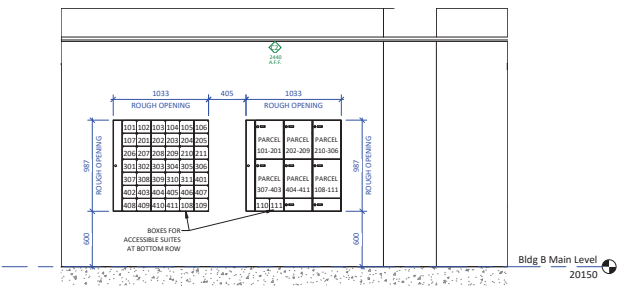
① Building A - Lobby  
1:25



③ Building A - Lobby - Mailbox Elevation  
1:25



② Building B - Lobby  
1:25



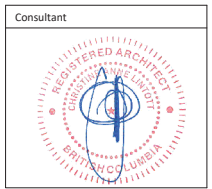
④ Building B - Lobby - Mailbox Elevation  
1:25

**Christine Lintott Architects Inc.**

Suite 1 - 864 Queen Avenue, Victoria, BC V8T 1M5  
Telephone: 250.384.1500  
www.lintottarchitect.ca

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Date
No. Description	Date



**Burnside School Property**

496-498 Cecelia Road &  
3130 Jutland Road,  
Victoria, BC

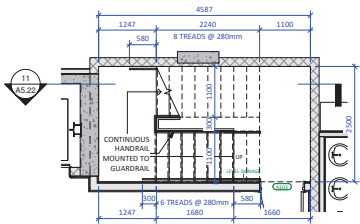
Interior Elevations -  
Lobbies

Date 2022-03-22 10:37:47 AM  
Drawn by BH  
Checked by CC

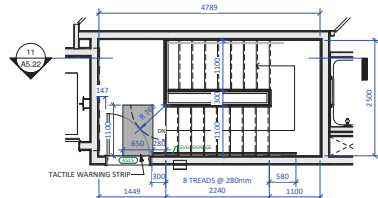
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Scale 1:25

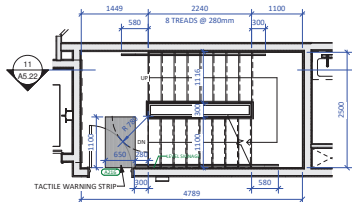
THIS DRAWING IS A COPYRIGHT DRAWING & SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION FROM CHRISTINE LINTOTT ARCHITECT. THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED, OR APPROVED & ISSUED BY CHRISTINE LINTOTT ARCHITECT AS SUCH. THE GENERAL CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS & REPORT ALL ERRORS & OMISSIONS TO CHRISTINE LINTOTT ARCHITECTS INC. DO NOT SCALE THE DRAWINGS.



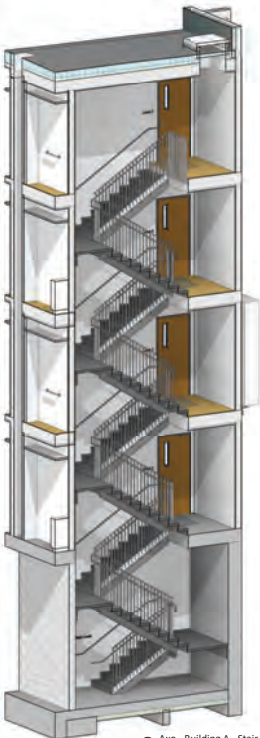
1 Building A - Stair 1 @ Main Level  
1:50



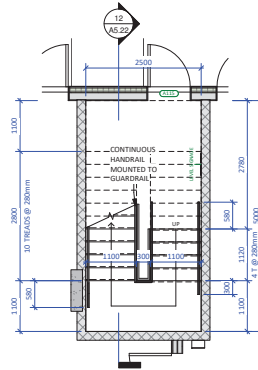
5 Building A - Stair 1 @ Level 5  
1:50



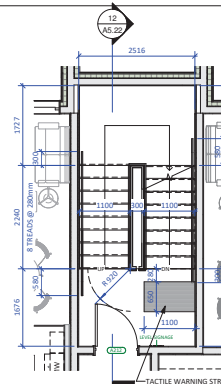
7 Building A - Stair 1 @ Level 2-4  
1:50



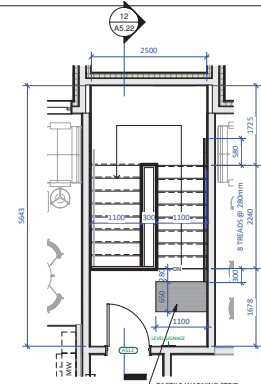
3 Axo - Building A - Stair 1  
1:50



6 Building A - Stair 2 @ Main Level  
1:50

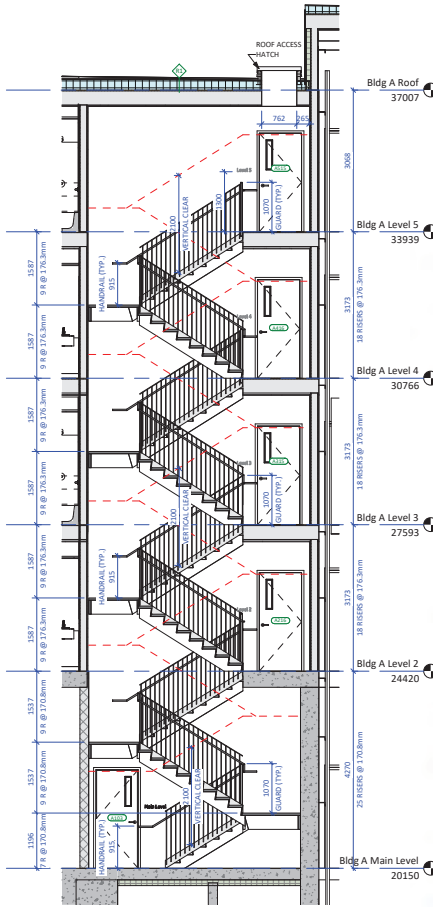


7 Building A - Stair 2 @ Level 2-4  
1:50

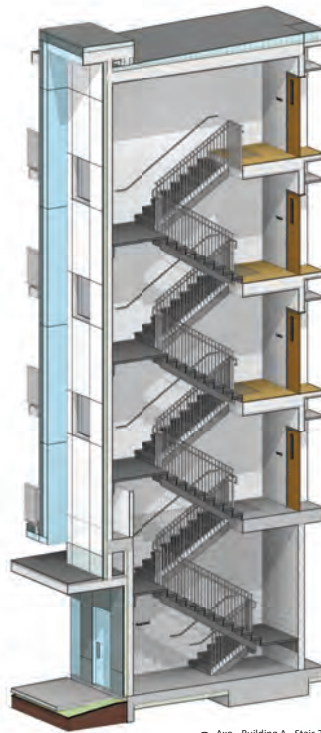


10 Building A - Stair 2 @ Level 5  
1:50

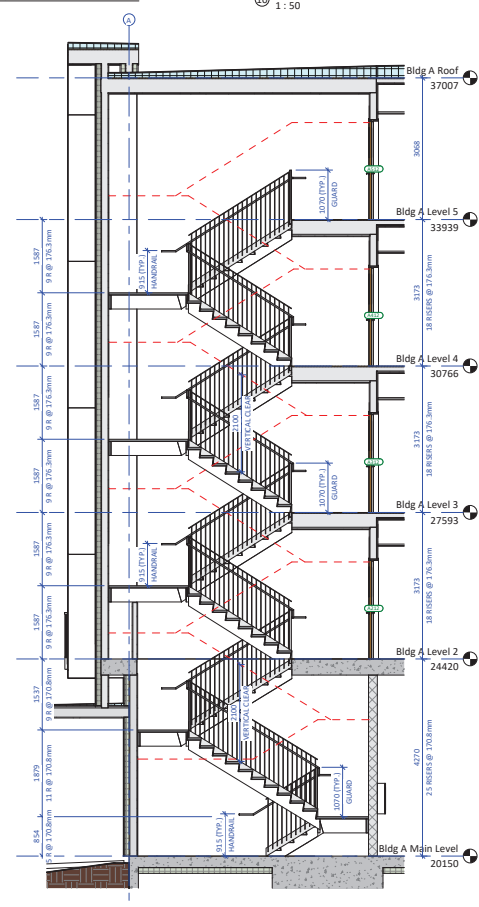
**STAIR NOTES:**  
 1. NUMERALS INDICATING FLOOR LEVEL ON STAIR SIDE OF DOORS IN EXIT STAIR SHAFTS REQUIRED.  
 2. ENSURE LANDING CLEARANCE OF 1100mm IS MAINTAINED AT VERTICAL STAIRWELL STACKS.  
 ALL STAIRS REQUIRE AT LEAST ONE CONTINUOUS HANDRAIL, TYPICALLY LOCATED DOWN THE CENTER OF THE STAIRWELL.



11 Building A - Stair 1 Section  
1:50



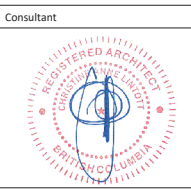
4 Axo - Building A - Stair 2  
1:50



12 Building A - Stair 2 Section  
1:50

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
1	1	Continuous handrail note added	2022-02-23



**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

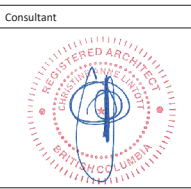
**Stair Plans & Sections**

Date: 2022-03-22 10:38:04 AM  
 Drawn by: CC  
 Checked by: CL

**A5.22**  
 Scale: As indicated

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Date
No. Description	Date
1 Continuous handrail note added	2022-02-23



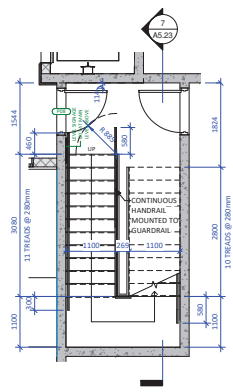
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Stair Plans, Sections & Details**

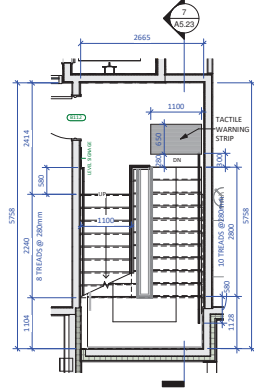
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 Drawn by: CC  
 Checked by: CL

**A5.23**

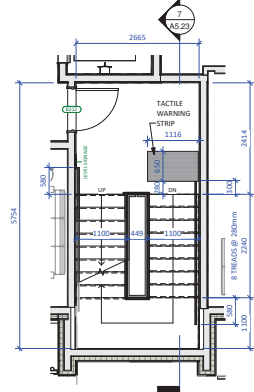
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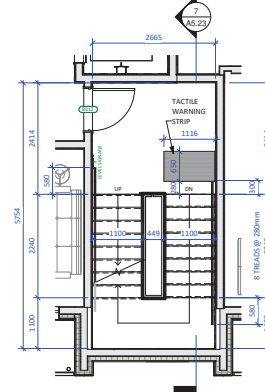
① Building B - Stair 3 @ Parkade  
1:50



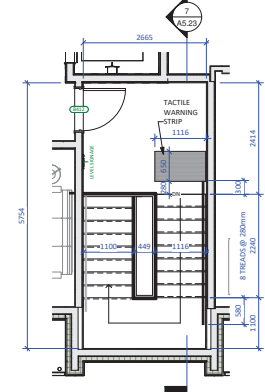
② Building B - Stair 3 @ Main Level  
1:50



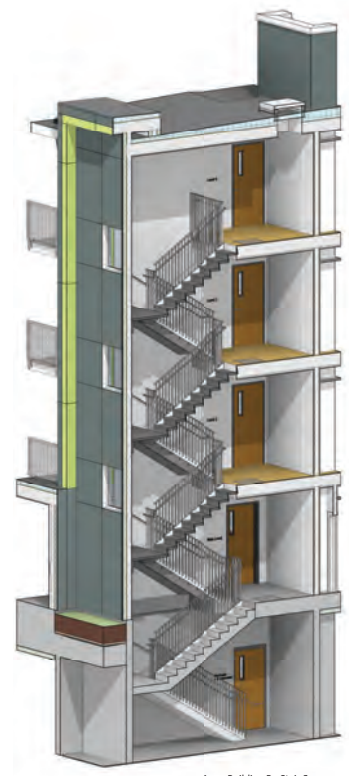
③ Building B - Stair 3 @ Level 2  
1:50



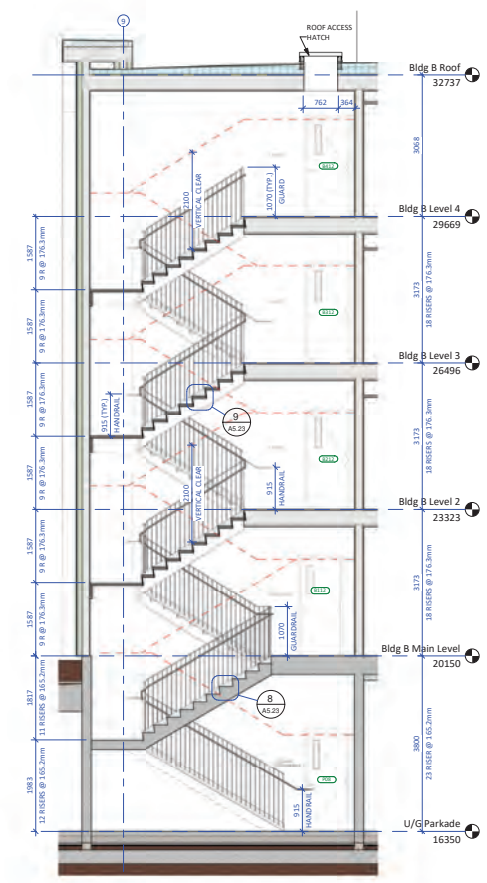
④ Building B - Stair 3 @ Level 3  
1:50



⑤ Building B - Stair 3 @ Level 4  
1:50

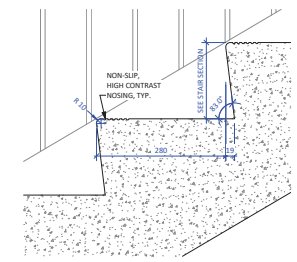


⑥ Axo - Building B - Stair 3

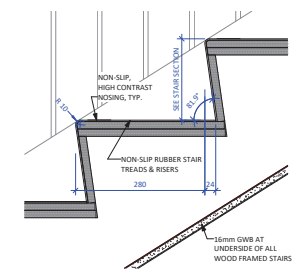


⑦ Building B - Stair 3 Section  
1:50

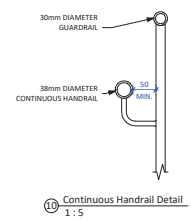
**STAIR NOTES:**  
 1. NUMERALS INDICATING FLOOR LEVEL ON STAIR SIDE OF DOORS IN EXIT STAIR SHAFTS REQUIRED. ENSURE LANDING CLEARANCE OF 1500mm IS MAINTAINED AT VERTICAL STAIRPIPE STACKS.  
 2. ALL STAIRS REQUIRE AT LEAST ONE CONTINUOUS HANDRAIL, TYPICALLY LOCATED DOWN THE CENTER OF THE STAIRWELL.



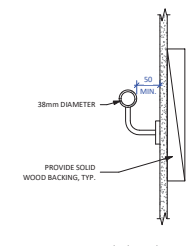
⑧ Stair Section Detail - Concrete  
1:5



⑨ Stair Section Detail - Wood Frame  
1:5



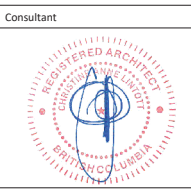
⑩ Continuous Handrail Detail  
1:5



⑪ Handrail Detail  
1:5

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
1	1	Continuous handrail note added	2022-02-23



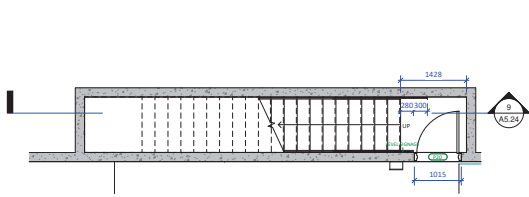
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Stair Plans & Sections**

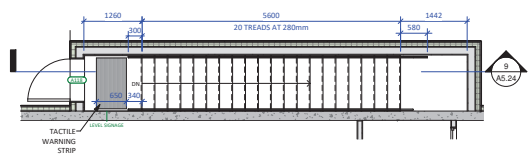
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Drawn by	CC
Checked by	CL

**A5.24**

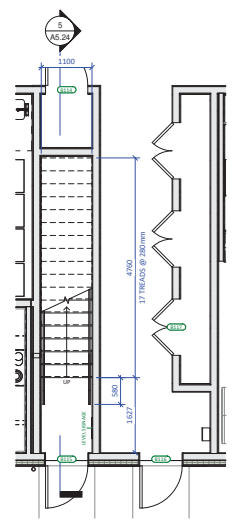
Scale As indicated



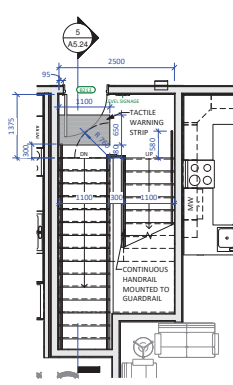
7 Parkade - Stair 5 @ Parkade Level  
1:50



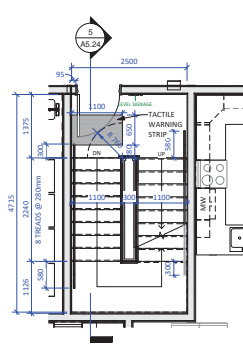
8 Parkade - Stair 5 @ Main Level  
1:50



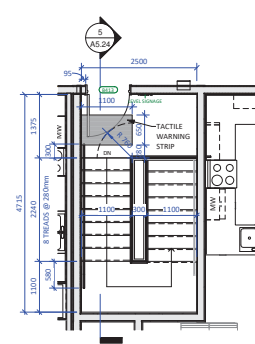
1 Building B - Stair 4 @ Main Level  
1:50



2 Building B - Stair 4 @ Level 2  
1:50

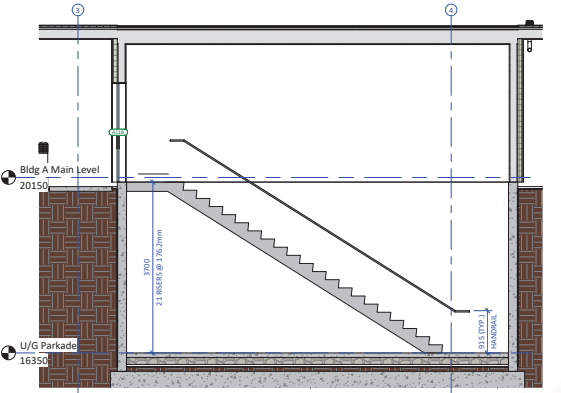


4 Building B - Stair 4 @ Level 3  
1:50

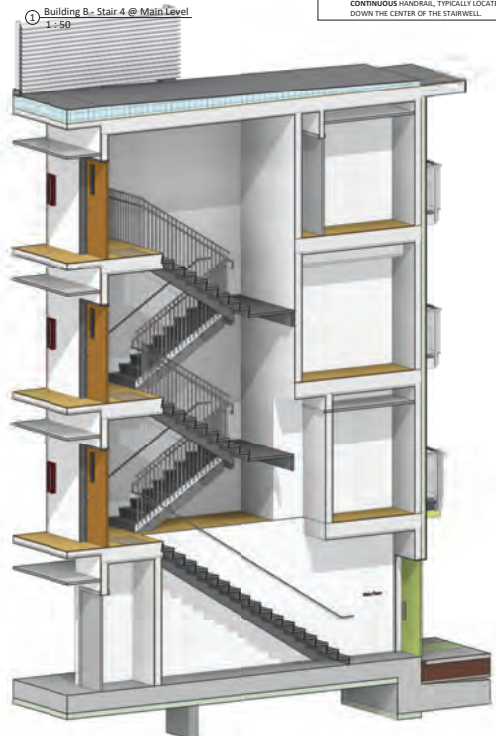


3 Building B - Stair 4 @ Level 4  
1:50

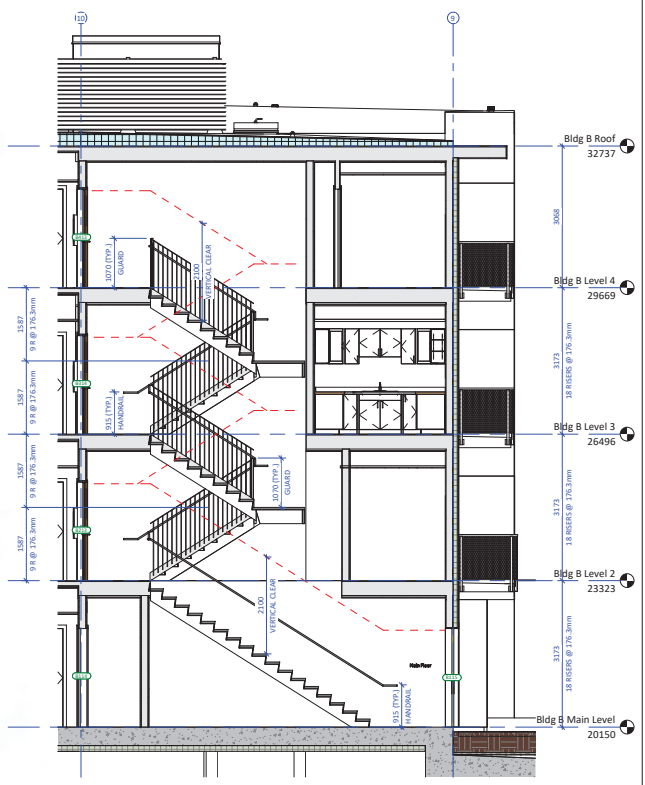
**STAIR NOTES:**  
 1. NUMERALS INDICATING FLOOR LEVEL ON STAIR SIDE OF DOORS IN EXIT STAIR SHAFTS REQUIRED.  
 2. ENSURE LANDING CLEARANCE OF 2100mm IS MAINTAINED AT VERTICAL STANDPIPE STACKS.  
 3. ALL STAIRS REQUIRE AT LEAST ONE CONTINUOUS HANDRAIL, TYPICALLY LOCATED DOWN THE CENTER OF THE STAIRWELL.



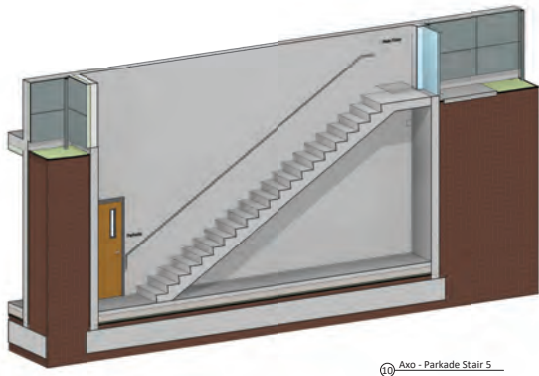
9 Parkade - Stair 5 Section  
1:50



6 Axo - Building B - Stair 4



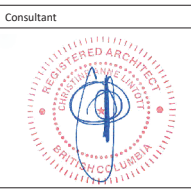
5 Building B - Stair 4 Section  
1:50



10 Axo - Parkade Stair 5

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	
No.	Description



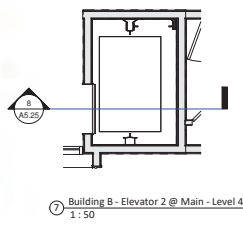
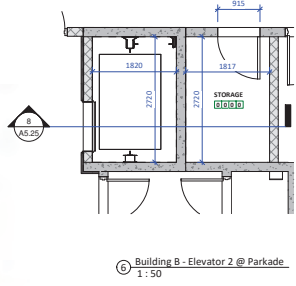
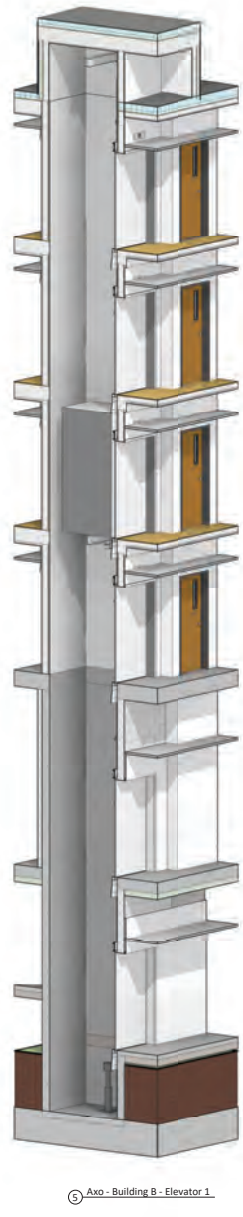
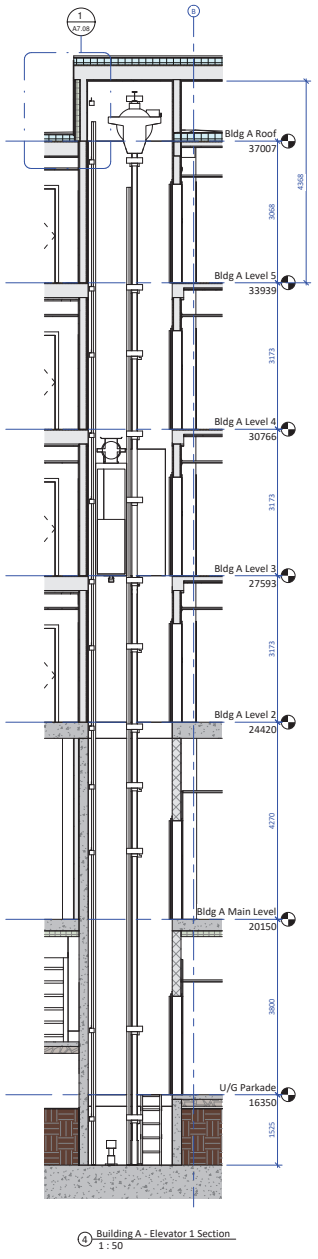
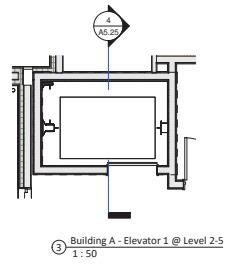
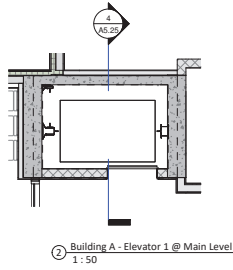
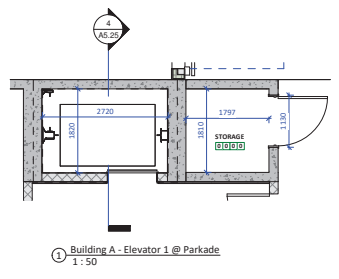
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Elevator Plans & Sections**

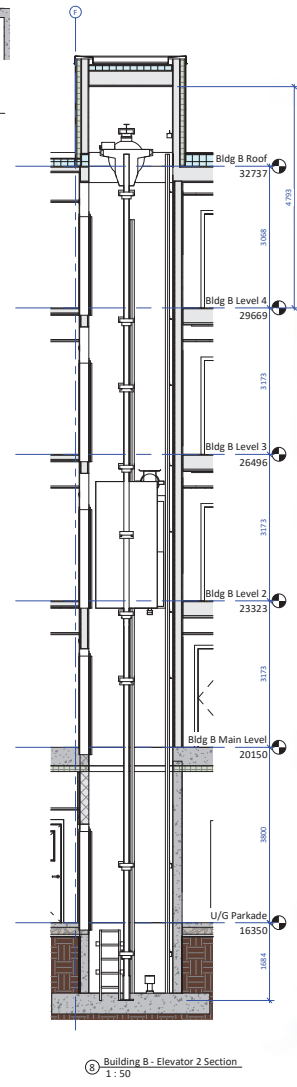
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Checked by	CL

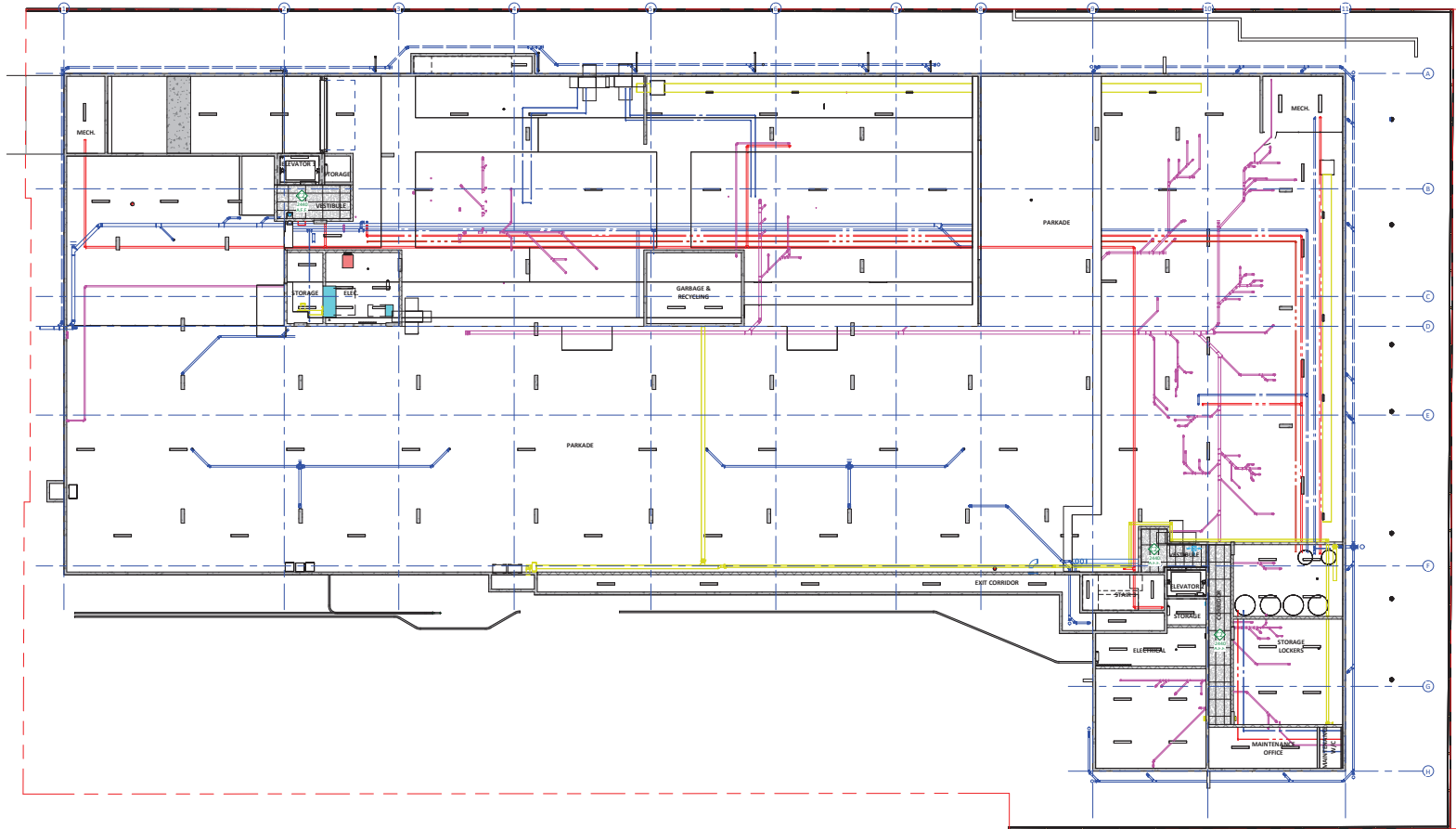
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Scale: As indicated



**ELEVATOR NOTES:**  
 FLOOR NUMBERING AT ELEVATOR JAMBS  
 (INTERIOR & EXTERIOR SIDES) REQUIRED.

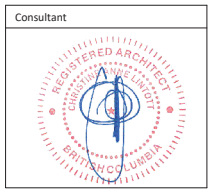




① BCP - U/G Parkade  
 1:150

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date



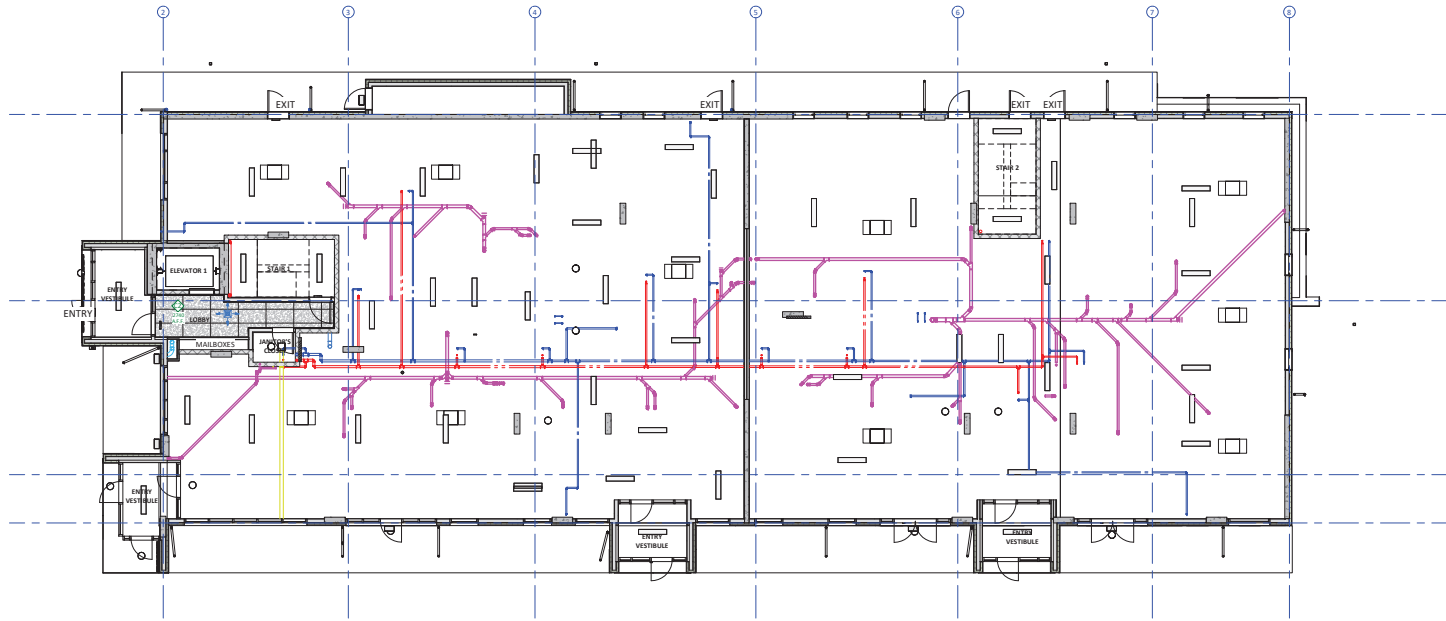
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Reflected Ceiling Plans -  
 U/G Parkade**

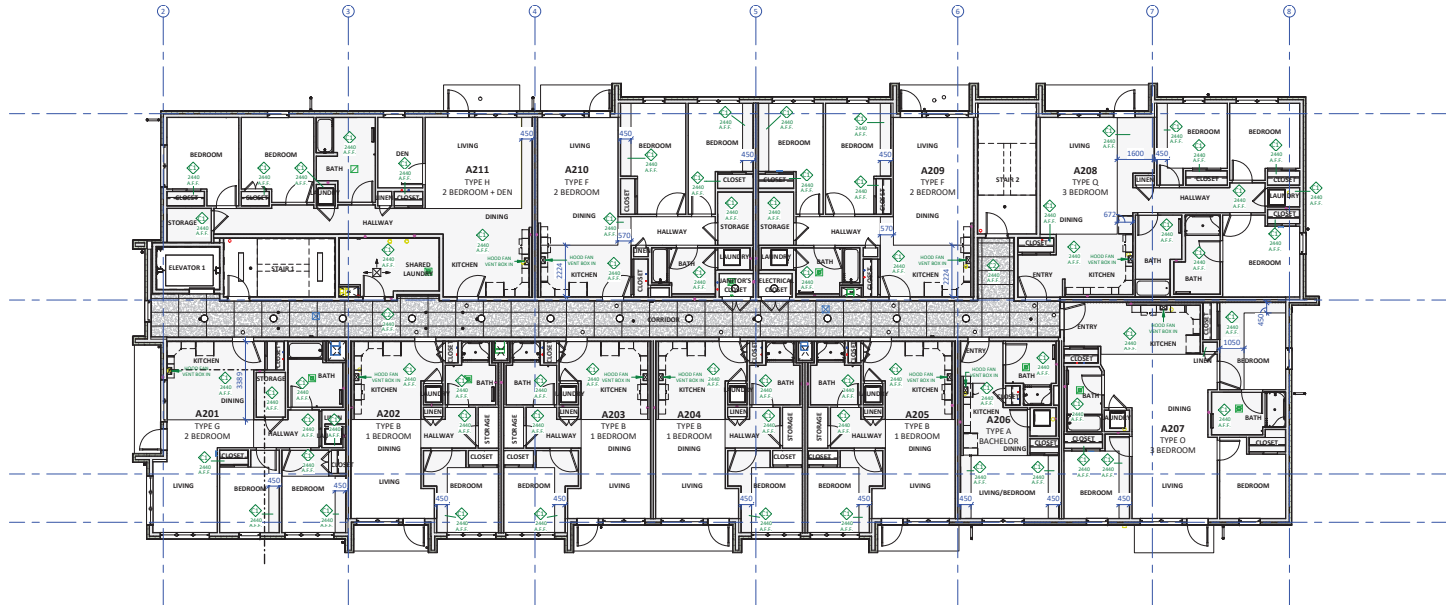
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**A6.00**

Scale	1:150
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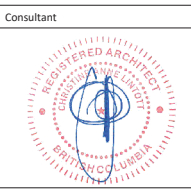
① RCP - Bldg A Main Level  
1:100



② RCP - Bldg A Level 2  
1:100

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Date
No. Description	Date



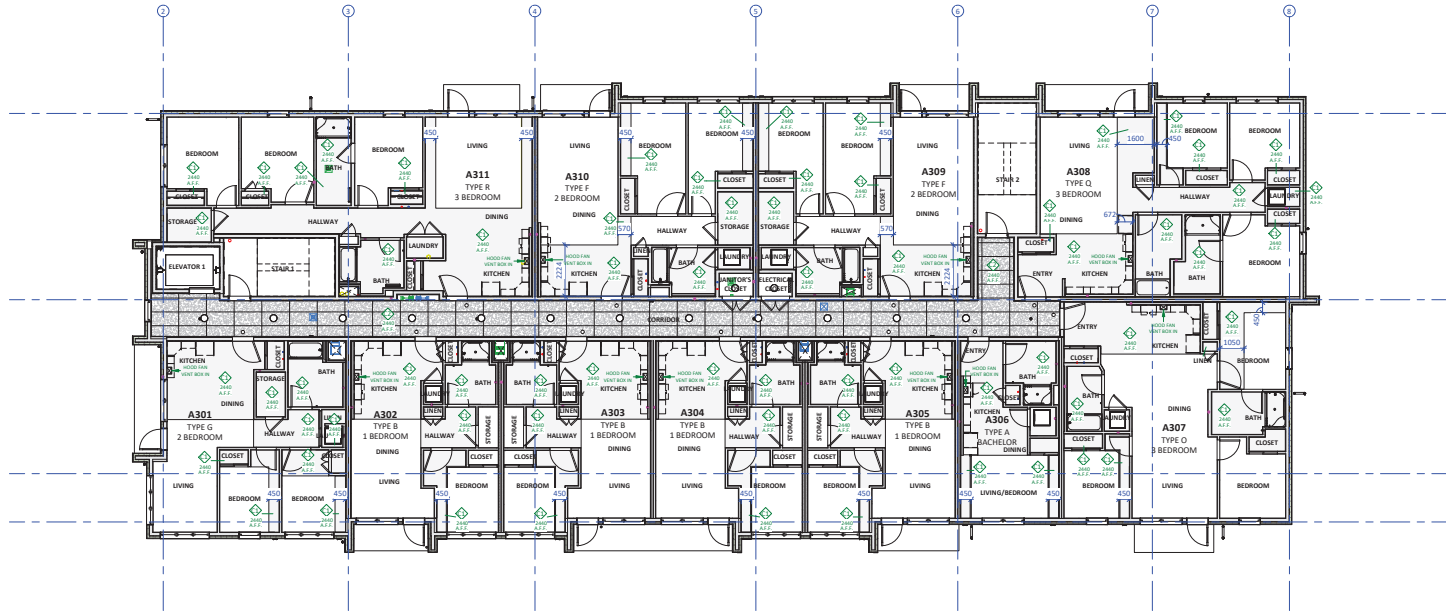
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Reflected Ceiling Plans -  
 Building A - Levels 1 & 2

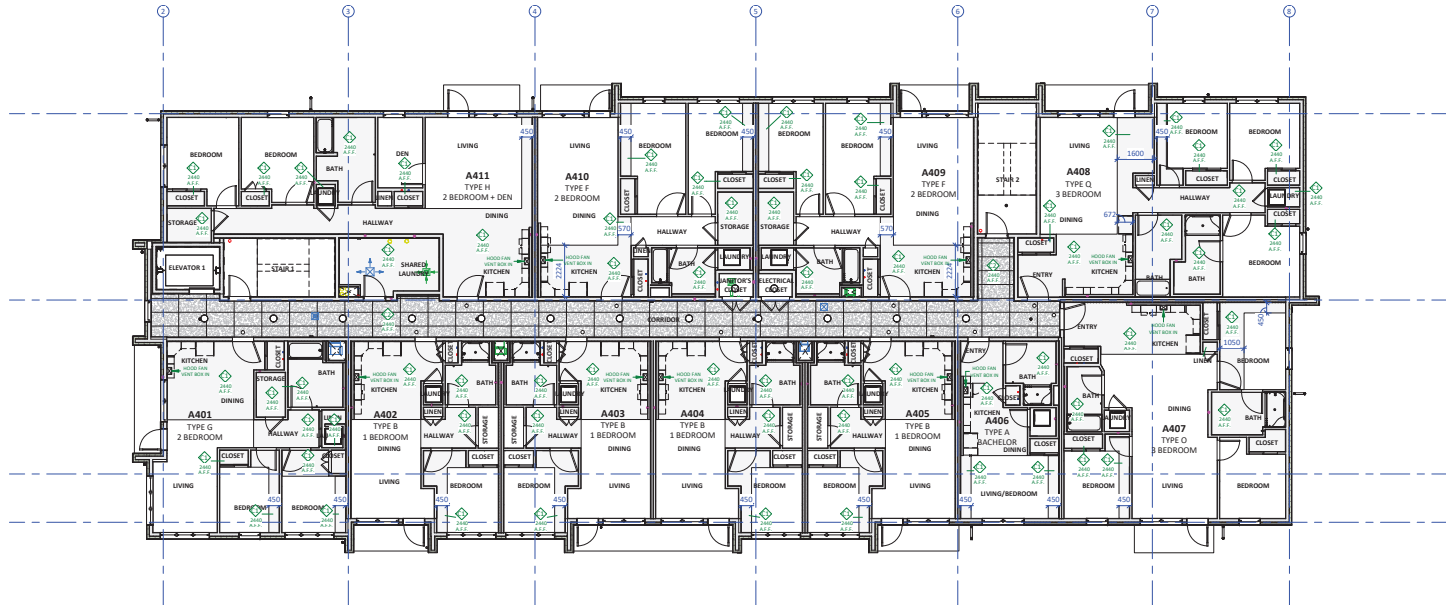
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Drawn by	CC
Checked by	CL

**A6.01**

Scale 1:100



① RCP - Bldg A Level 3  
1 : 100



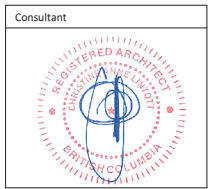
② RCP - Bldg A Level 4  
1 : 100

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Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date



**Burnside School Property**

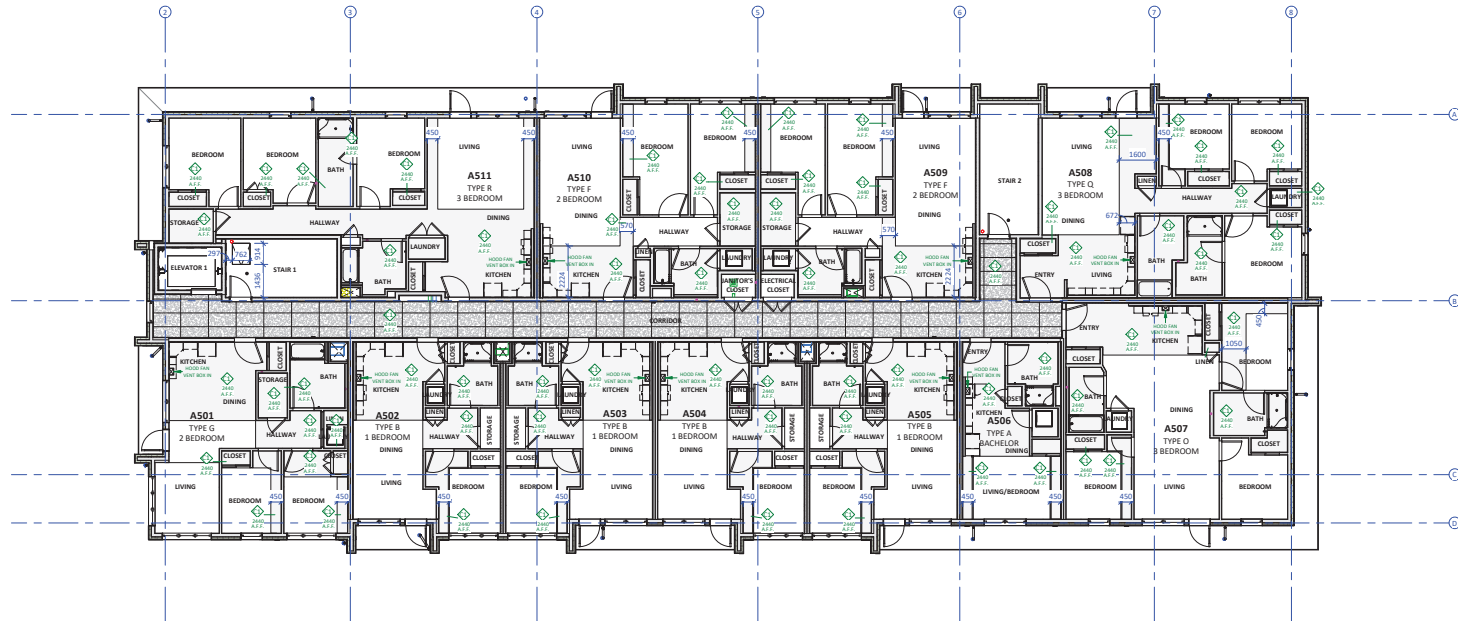
496-498 Cecelia Road &  
3130 Jutland Road,  
Victoria, BC

Reflected Ceiling Plans -  
Building A - Levels 3 & 4

Date	2022-03-22 10:39:29 AM
Drawn by	CC
Checked by	CL

**A6.02**

Scale 1 : 100



① RCP - Bldg A Level 5  
1:100

**Christine Lintott Architects Inc.**

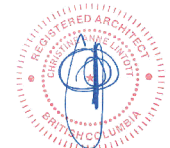


Suite 1 - 864 Queen Avenue, Victoria, BC V8T 1M5  
Telephone: 250.384.1500  
www.lintottarchitect.ca

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision No.	Description	Date

Consultant



**Burnside School Property**

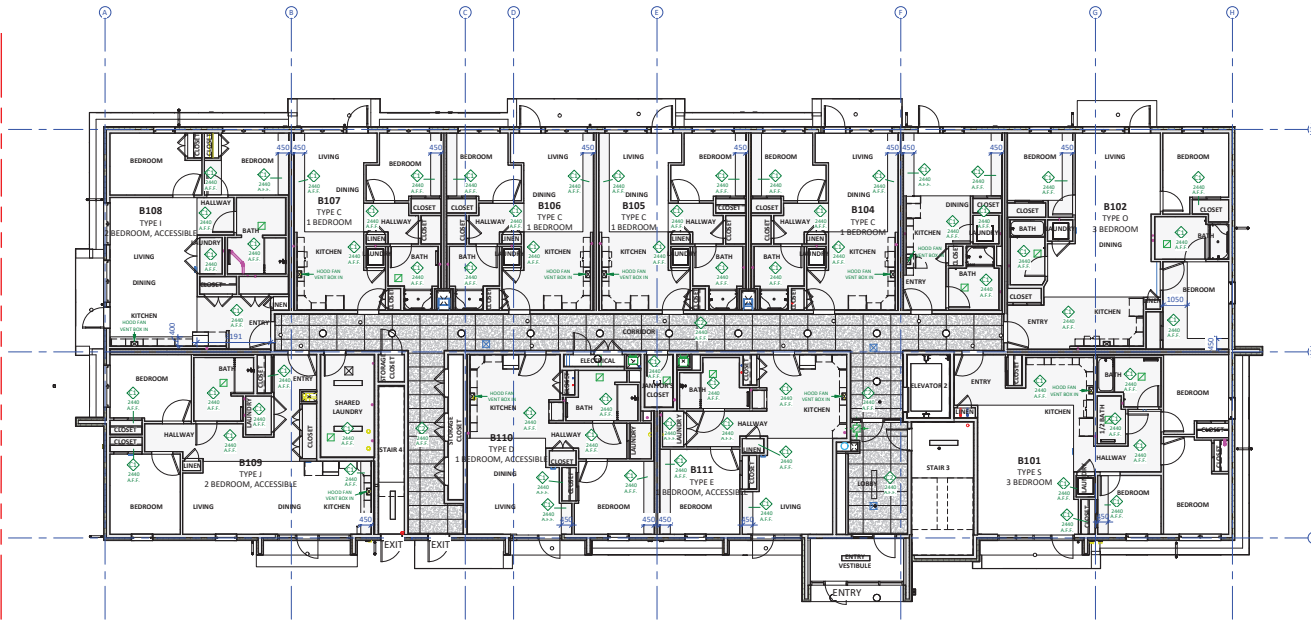
496-498 Cecelia Road &  
3130 Jutland Road,  
Victoria, BC

Reflected Ceiling Plans -  
Building A - Level 5

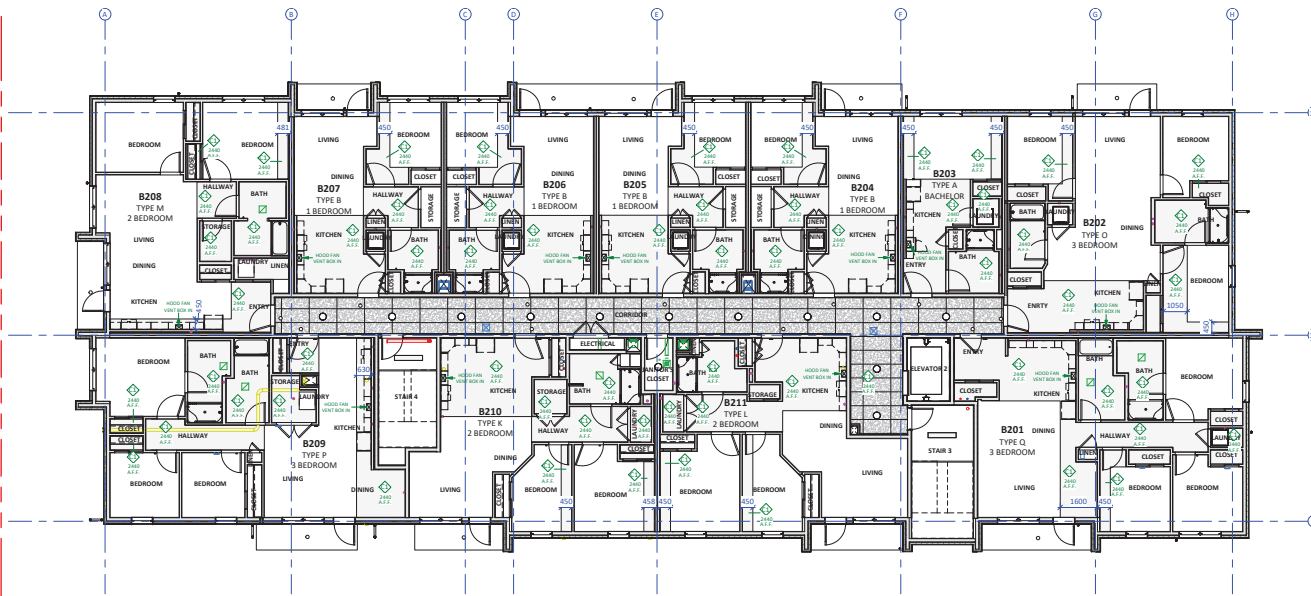
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**A6.03**

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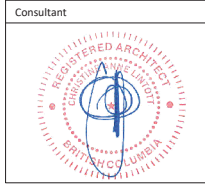
RCP - Bldg B Main Level  
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RCP - Bldg B Level 2  
1 : 100

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Date
No. Description	Date



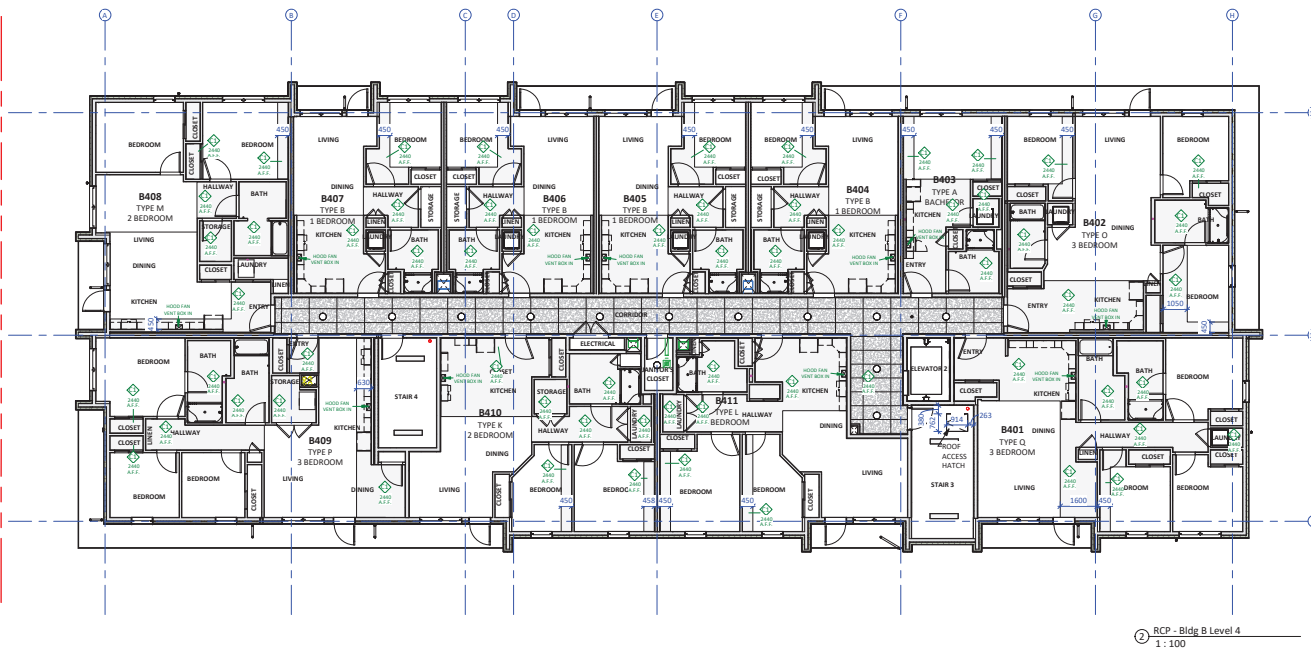
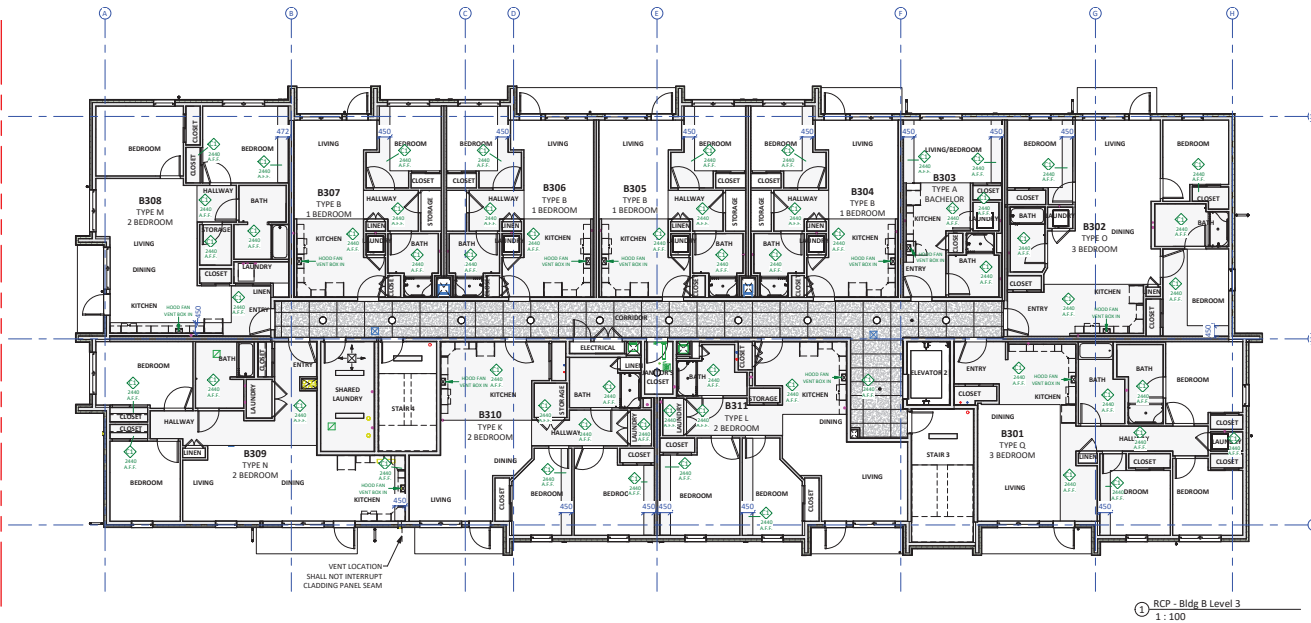
**Burnside School Property**  
496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

Reflected Ceiling Plans - Building B - Levels 1 & 2

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Checked by	CL

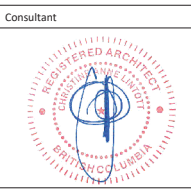
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Scale 1 : 100



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date
No.	Description	Date



**Burnside School Property**

496-498 Cecelia Road &  
3130 Jutland Road,  
Victoria, BC

Reflected Ceiling Plans -  
Building B - Levels 3 & 4

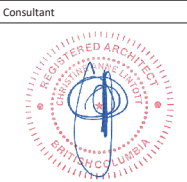
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Checked by CL

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Scale 1:100

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BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date



**Burnside School Property**

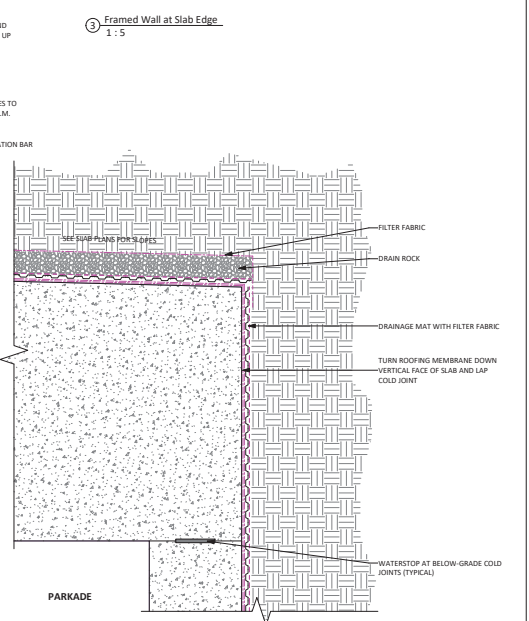
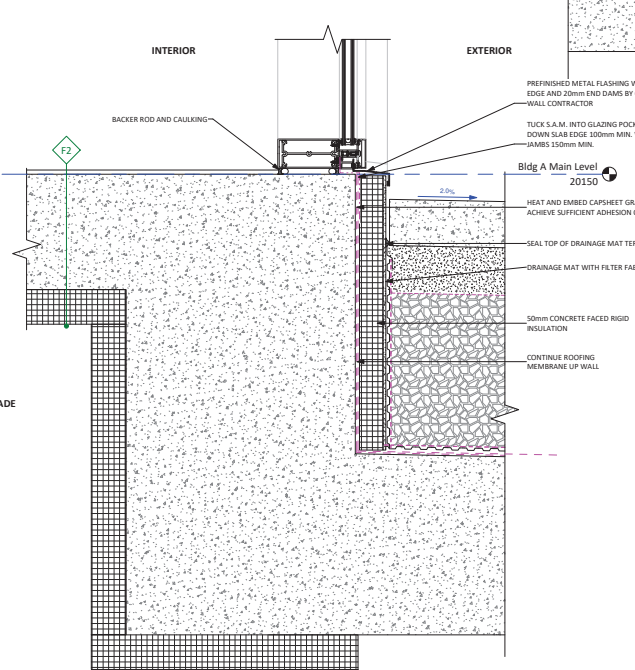
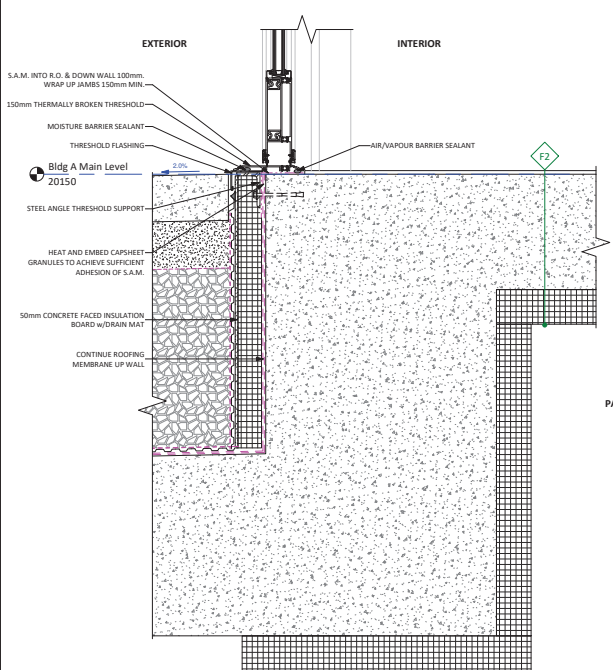
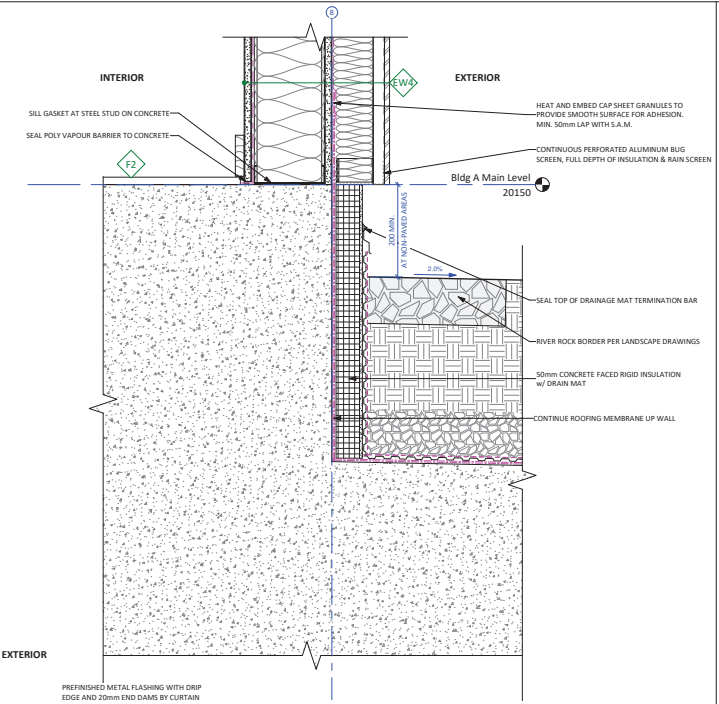
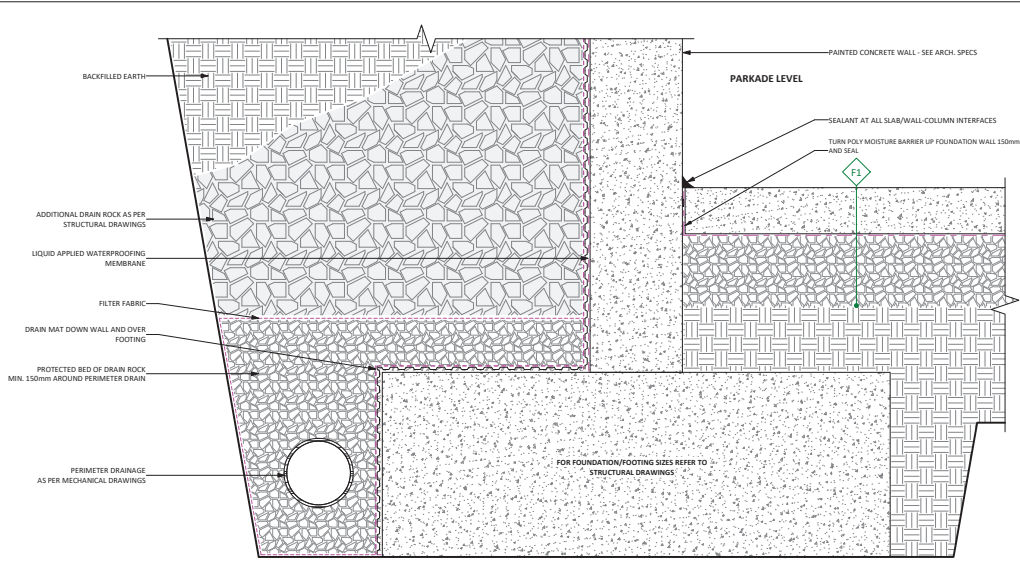
496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Details - Foundation**

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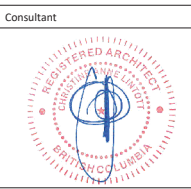
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Scale	1:5
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Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date
No.	Description	Date



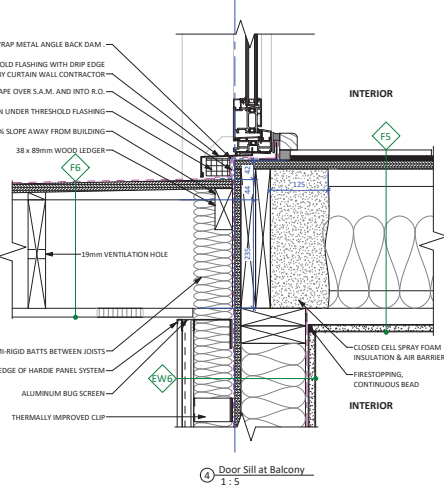
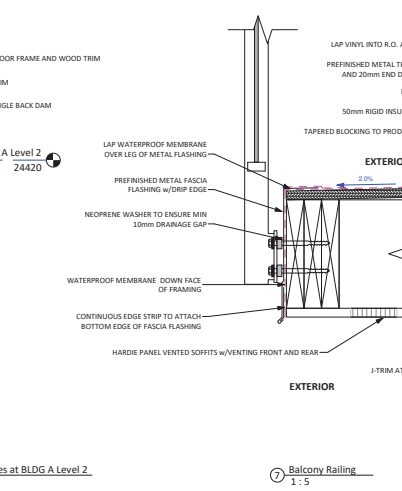
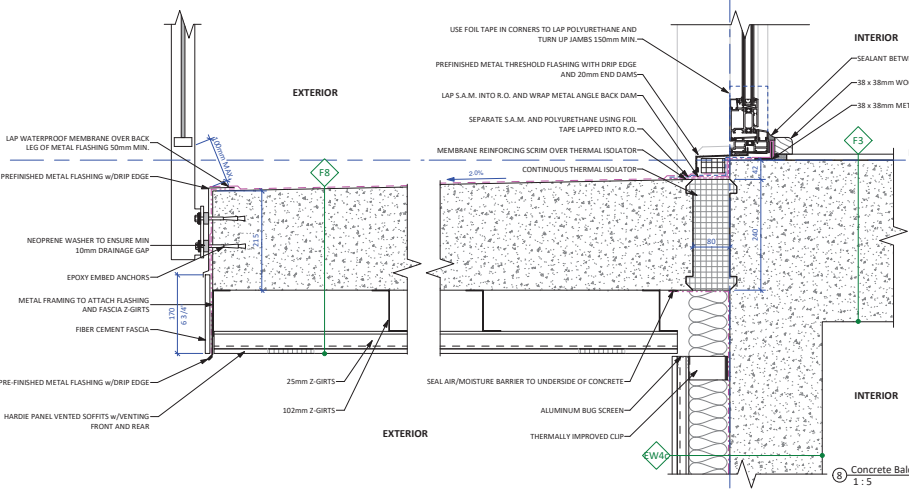
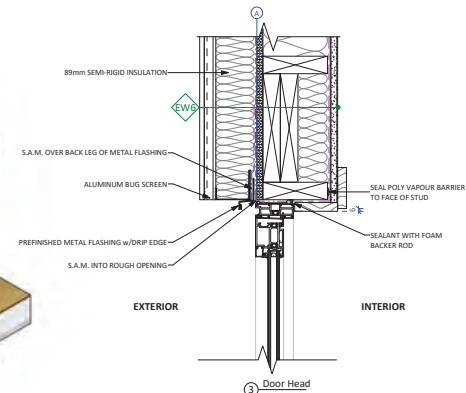
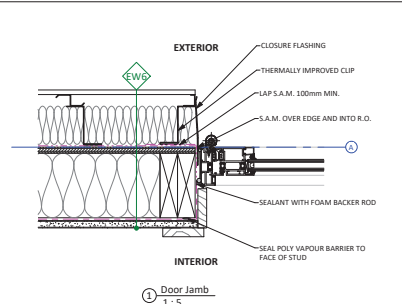
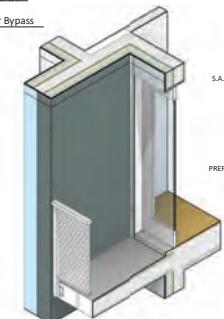
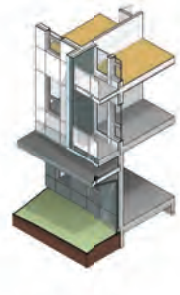
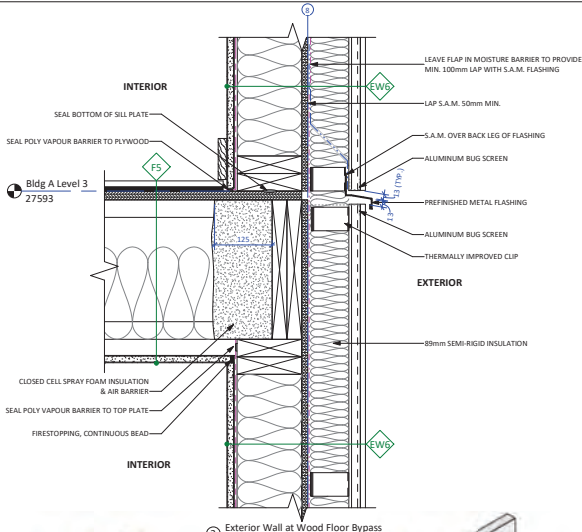
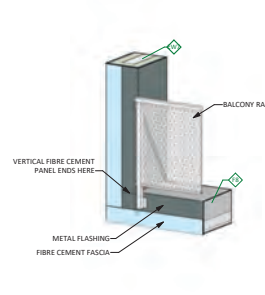
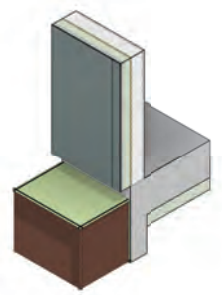
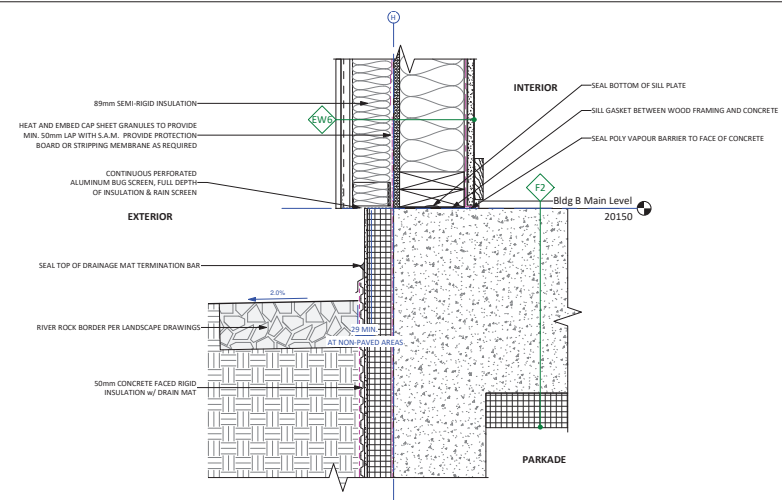
**Burnside School Property**  
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 3130 Jutland Road,  
 Victoria, BC

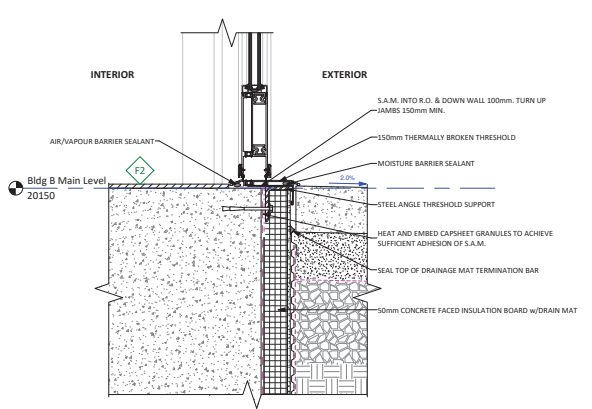
**Details - Doors, Balconies, Floor Transitions**

Date	2022-03-22 10:40:15 AM
Drawn by	BH
Checked by	CC

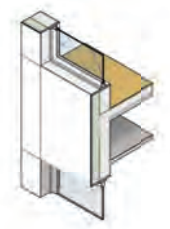
**A7.01**

Scale 1:5

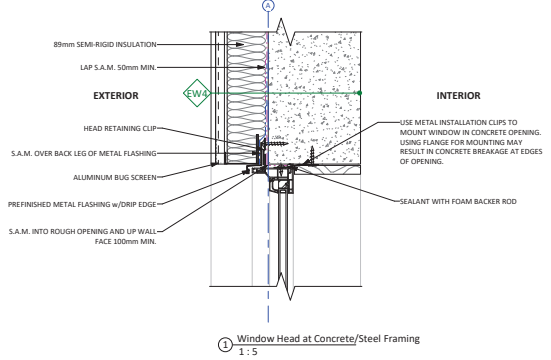




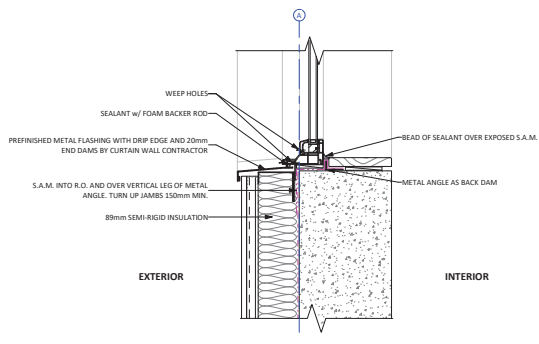
5 Door Sill at Storefront Glazing  
1:5



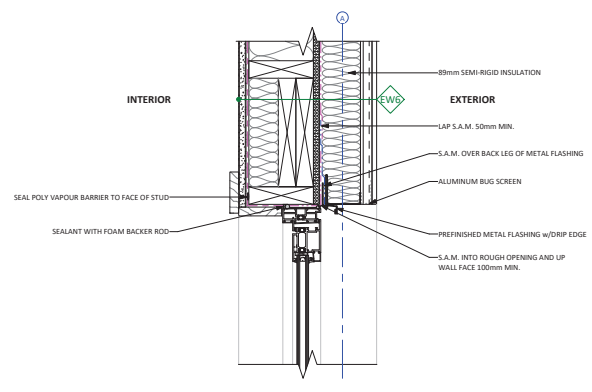
7 Window Sill at Wood Stud Wall - BLDG A - 3D



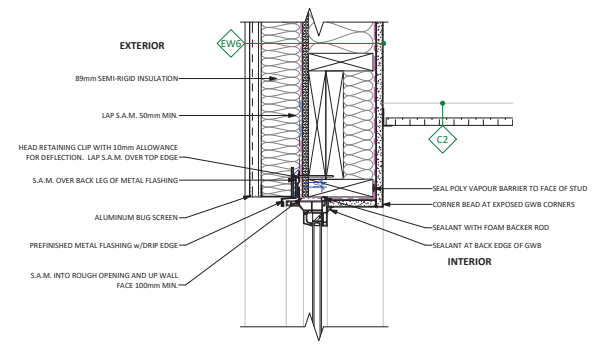
1 Window Head at Concrete/Steel Framing  
1:5



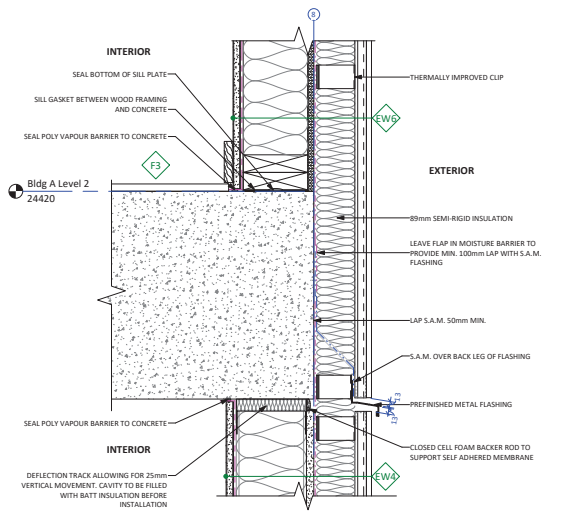
3 Window Sill at Concrete  
1:5



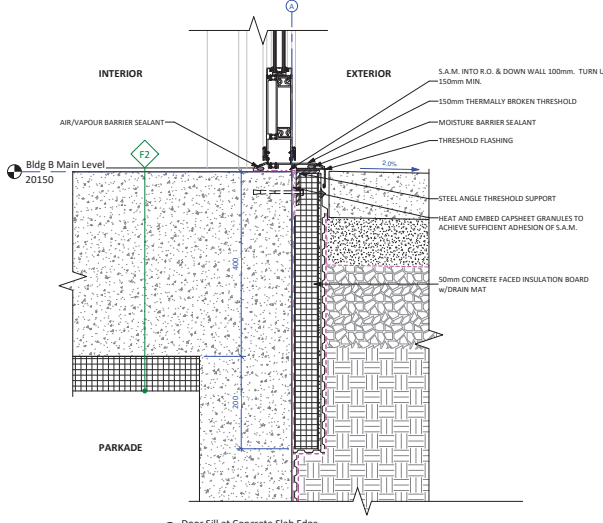
6 Door Head at Wood Framed Wall  
1:5



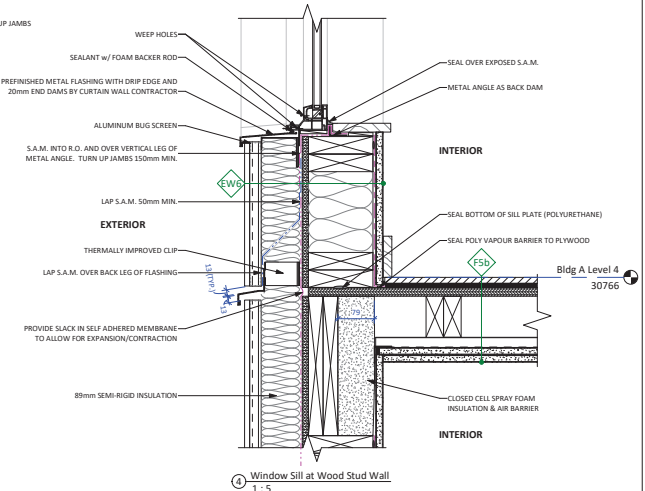
2 Window Head at Wood Stud Wall  
1:5



8 Exterior Wall at Concrete Slab Edge  
1:5



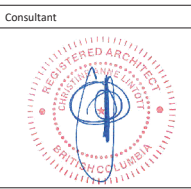
9 Door Sill at Concrete Slab Edge  
1:5



4 Window Sill at Wood Stud Wall  
1:5

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date
No.	Description	Date



**Burnside School Property**  
496-498 Cecelia Road & 3130 Jutland Road, Victoria, BC

Details - Windows & Doors

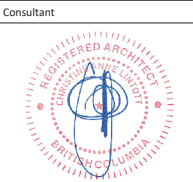
Date: 2022-03-22 10:40:21 AM  
Drawn by: BH  
Checked by: CC

**A7.02**

Scale: 1:5

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date
No.	Description	Date



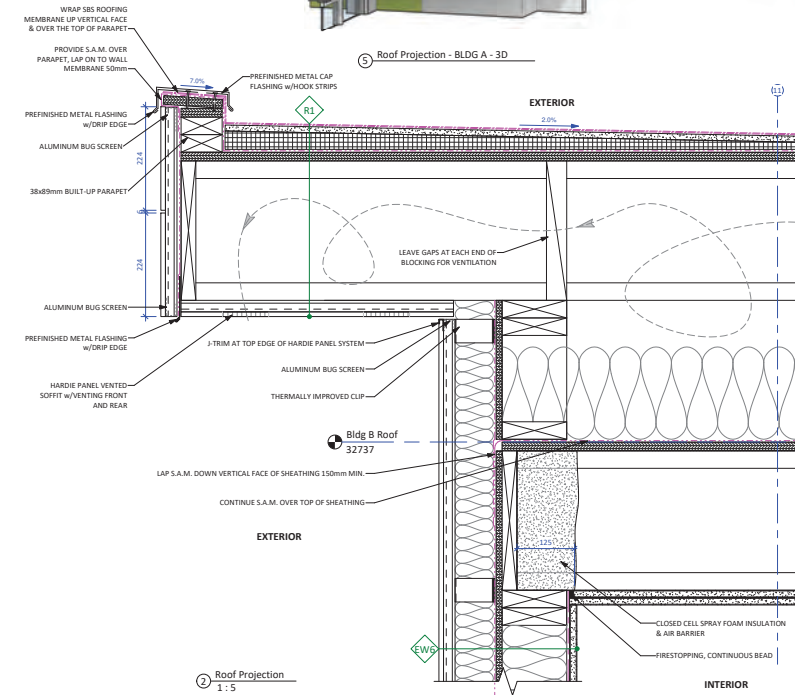
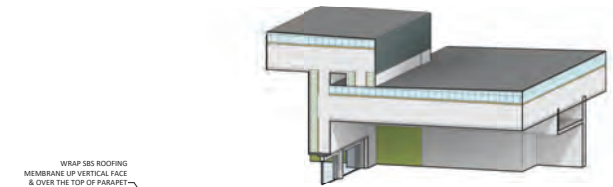
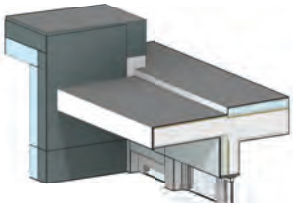
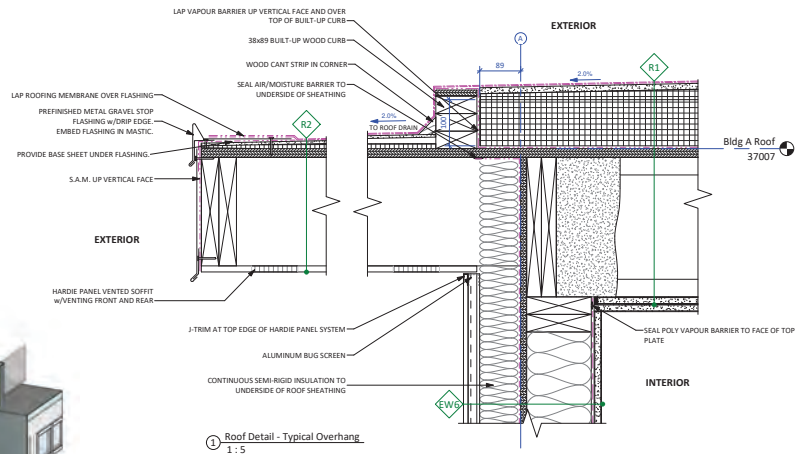
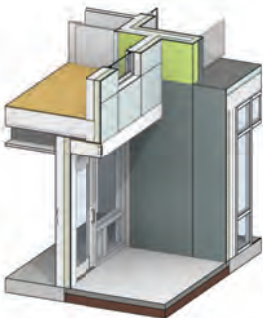
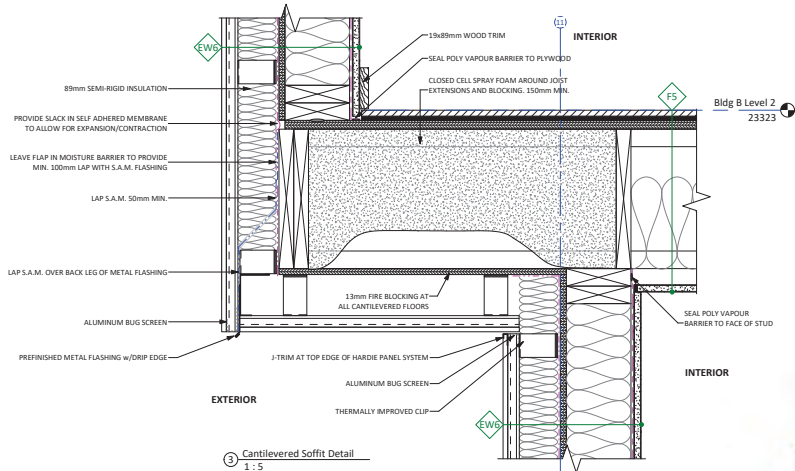
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

Details - Roofs & Soffits

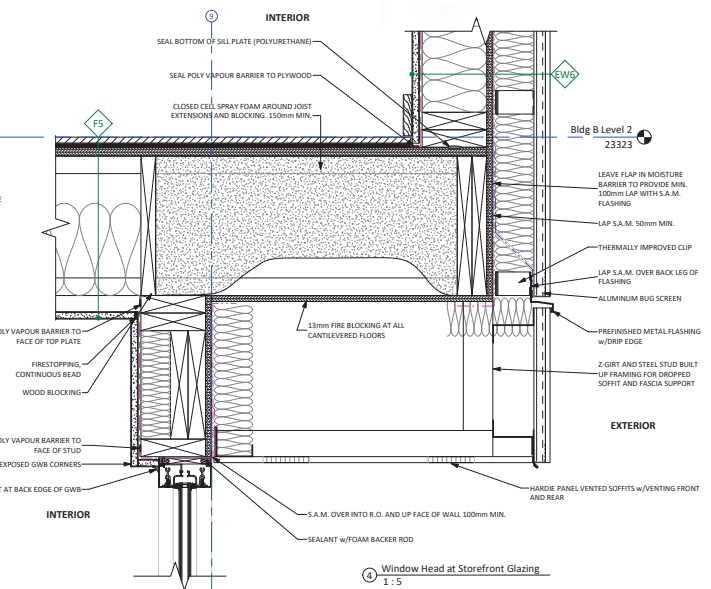
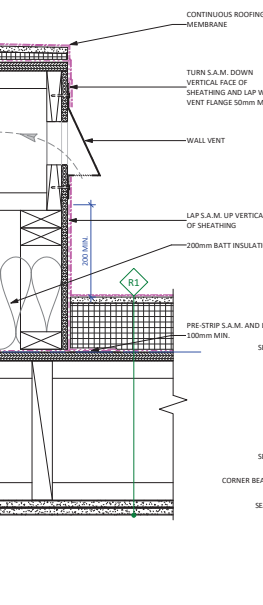
Date: 2022-03-22 10:40:28 AM  
 Drawn by: BH  
 Checked by: CC

**A7.03**

Scale: 1:5

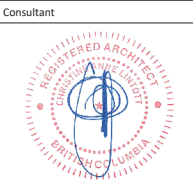


**7 Window Head at Storefront Overhang - BLDG A - 3D**



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	Description	Date
No.	Description	Date



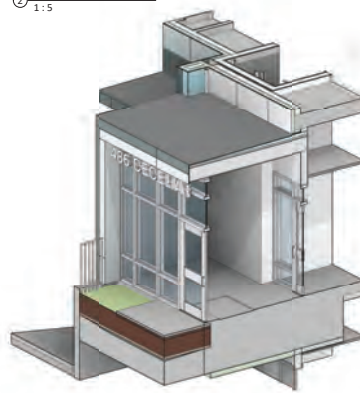
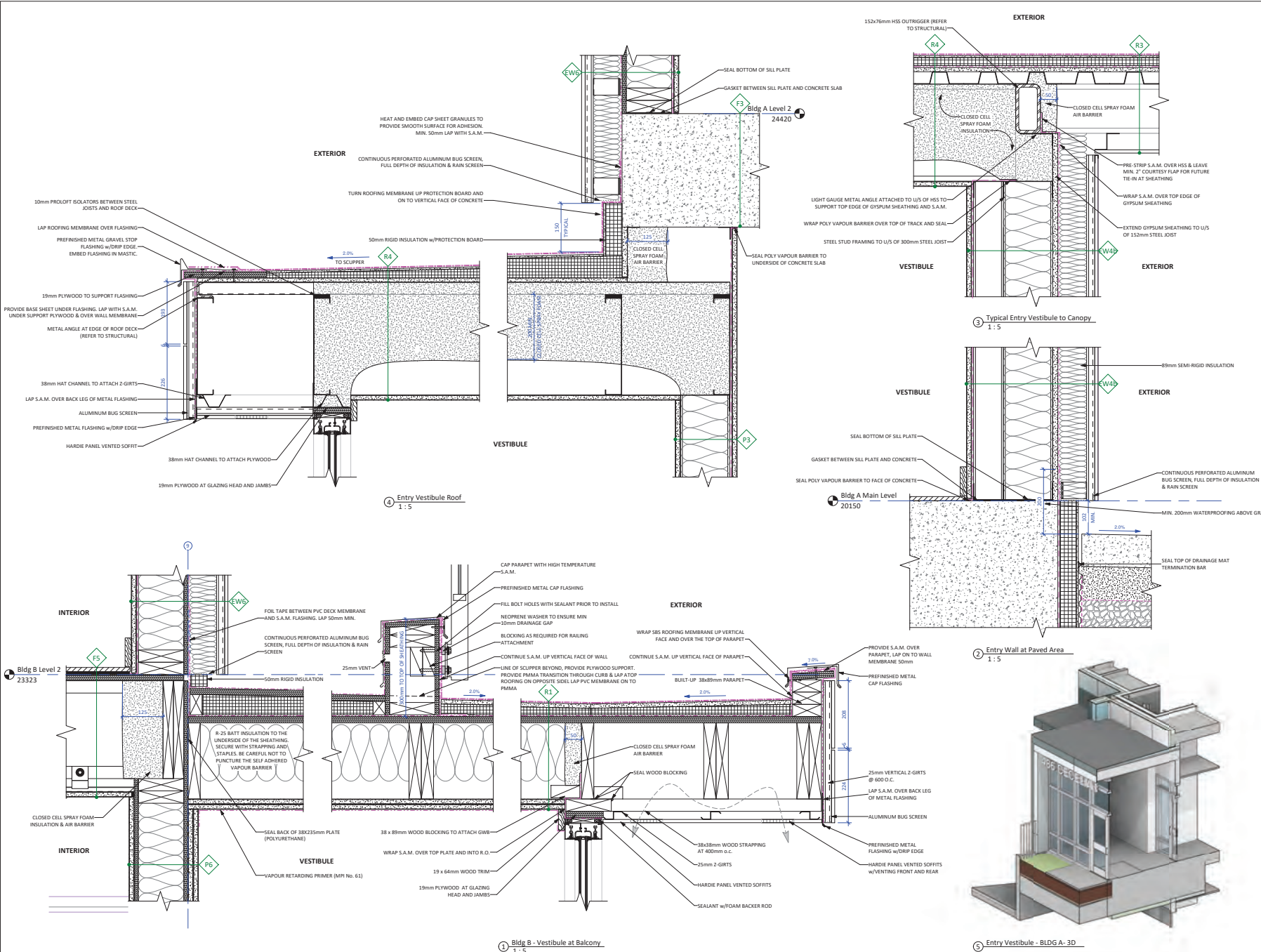
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Details - Entry Vestibules & Canopies**

Date: 2022-03-22 10:40:35 AM  
 Drawn by: BH  
 Checked by: CC

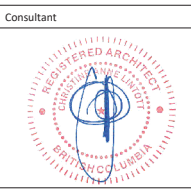
**A7.04**

Scale: 1:5



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
	1	Fire separation/locking detail added	2023-02-23



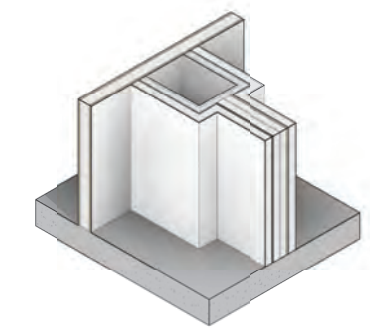
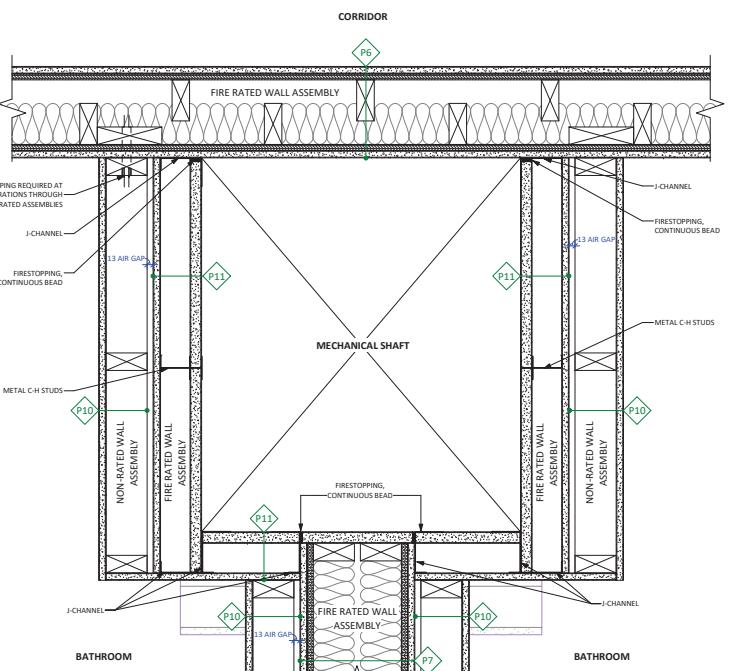
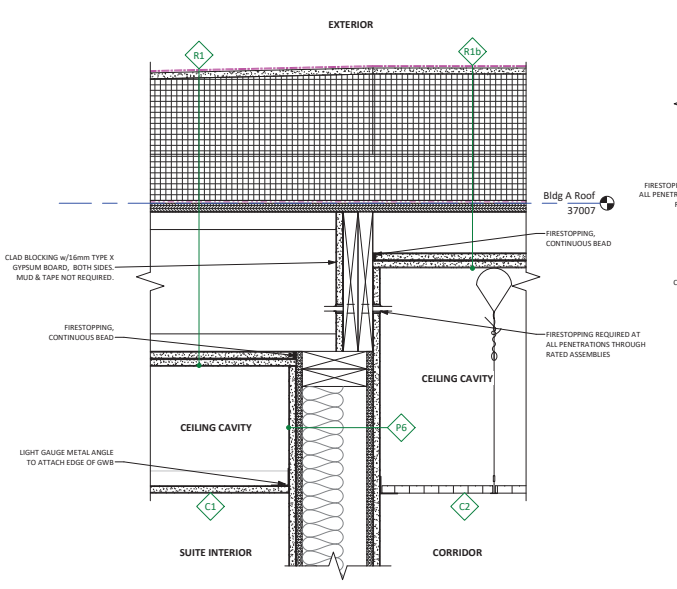
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Details - Fire Separation**

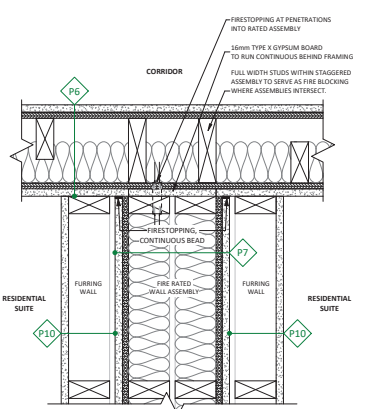
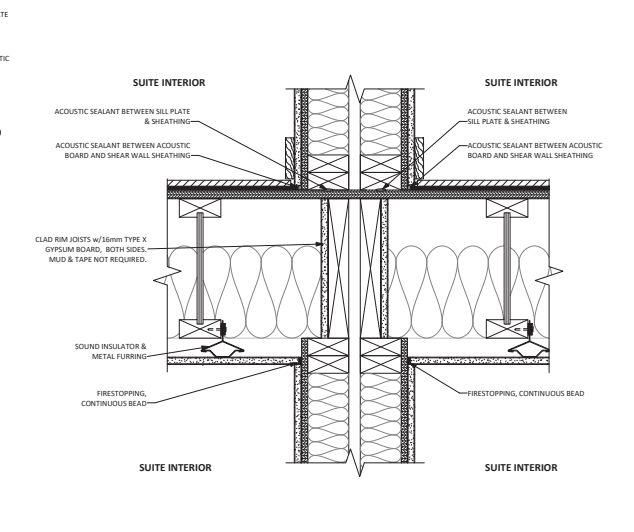
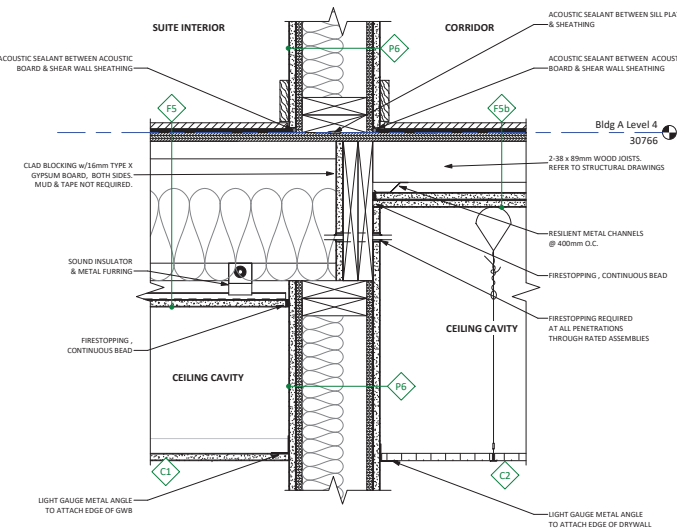
Date	2022-03-22 10:40:40 AM
Drawn by	BH
Checked by	CC

**A7.05**

Scale 1:5

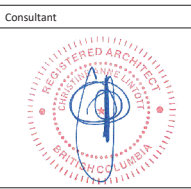


Shaft Wall at Corridors - BLDG A - Level 2 - 3D



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date



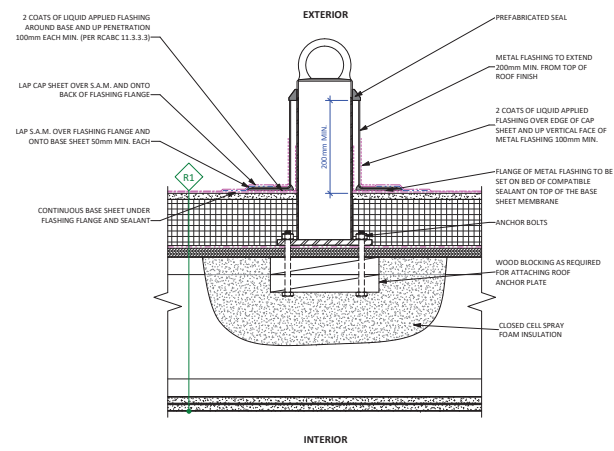
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Details - Penetrations**

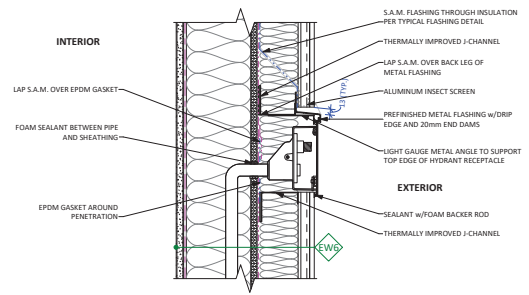
Date	2022-03-22 10:40:46 AM
Drawn by	BH
Checked by	CC

**A7.06**

Scale 1:5



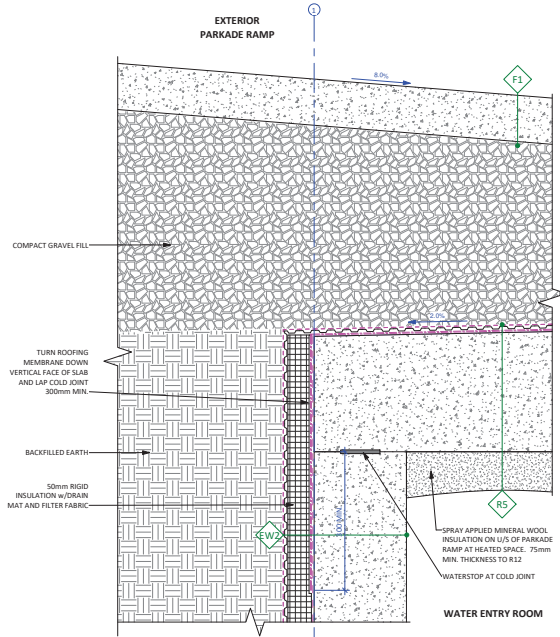
1 Roof Penetration Detail  
1:5



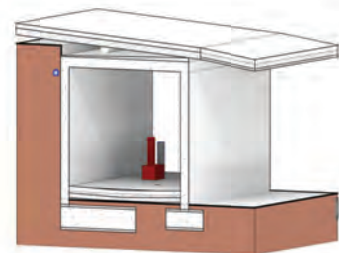
2 Exterior Wall Penetration Detail  
1:5



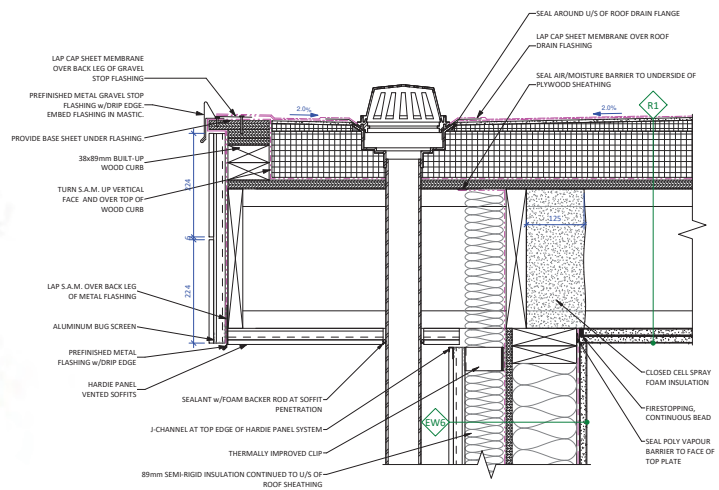
3 Roof Overhang w/ Drain - BLDG A - 3D



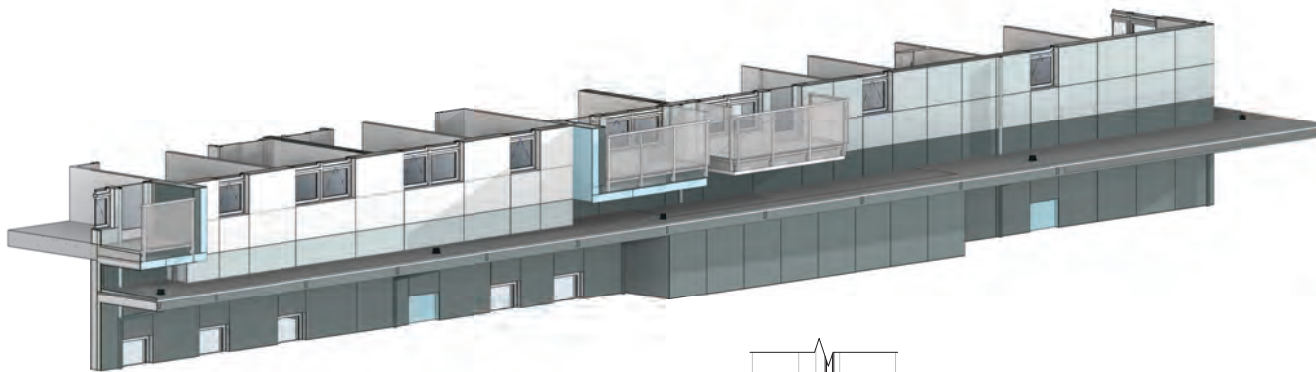
4 Parkade Ramp at Water Entry Room  
1:5



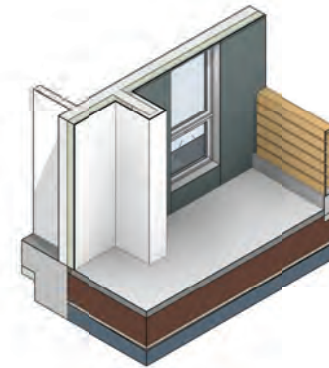
5 Water Entry Room at Ramp - BLDG A - 3D



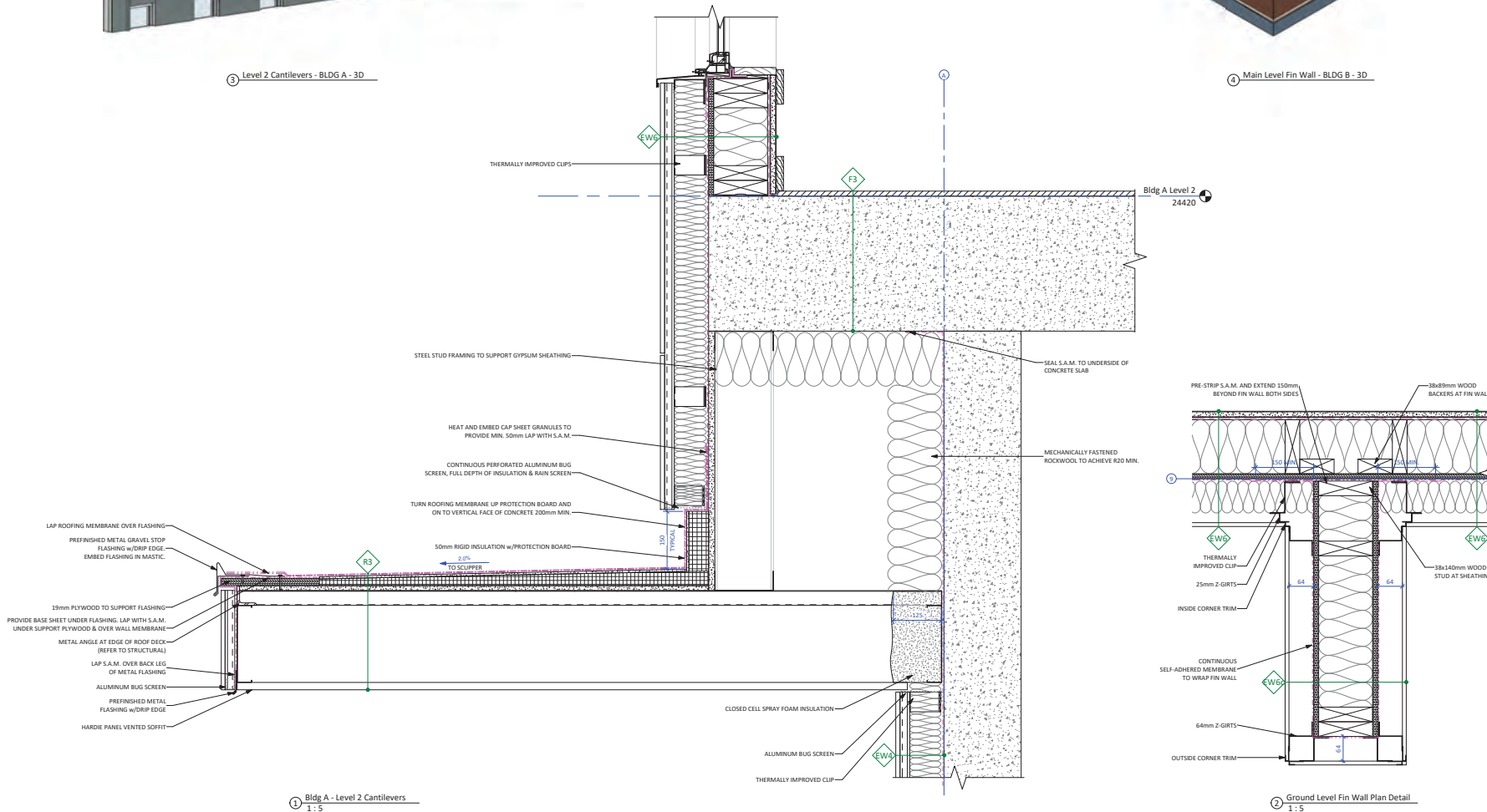
6 Roof Overhang Drain Detail  
1:5



3 Level 2 Cantilevers - BLDG A - 3D



4 Main Level Fin Wall - BLDG B - 3D

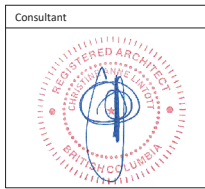


1 Bldg A - Level 2 Cantilevers  
1:5

2 Ground Level Fin Wall Plan Detail  
1:5

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	
No.	Description



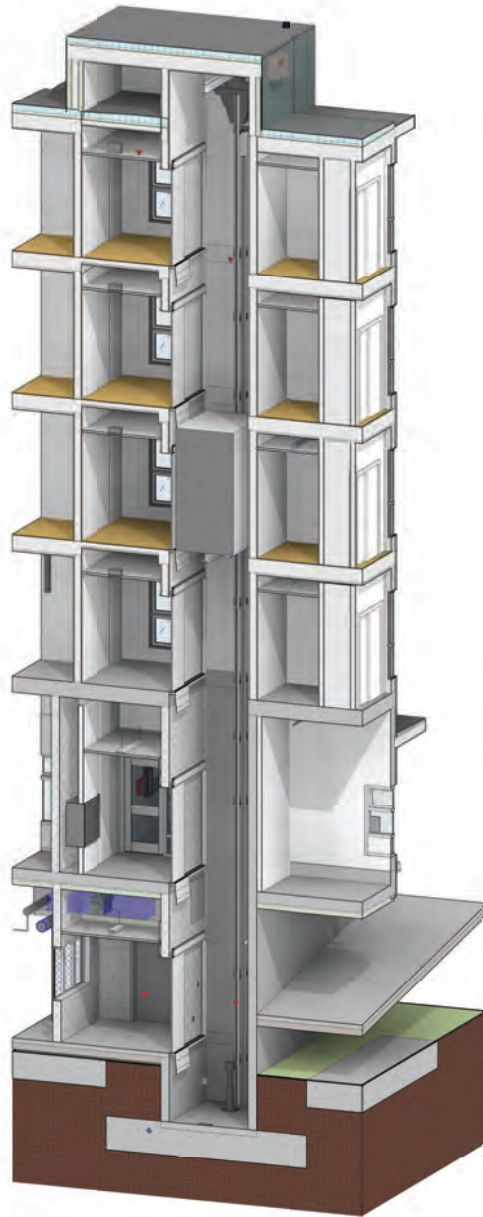
**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Details - Bldg A Canopy & Main Level Fin Walls**

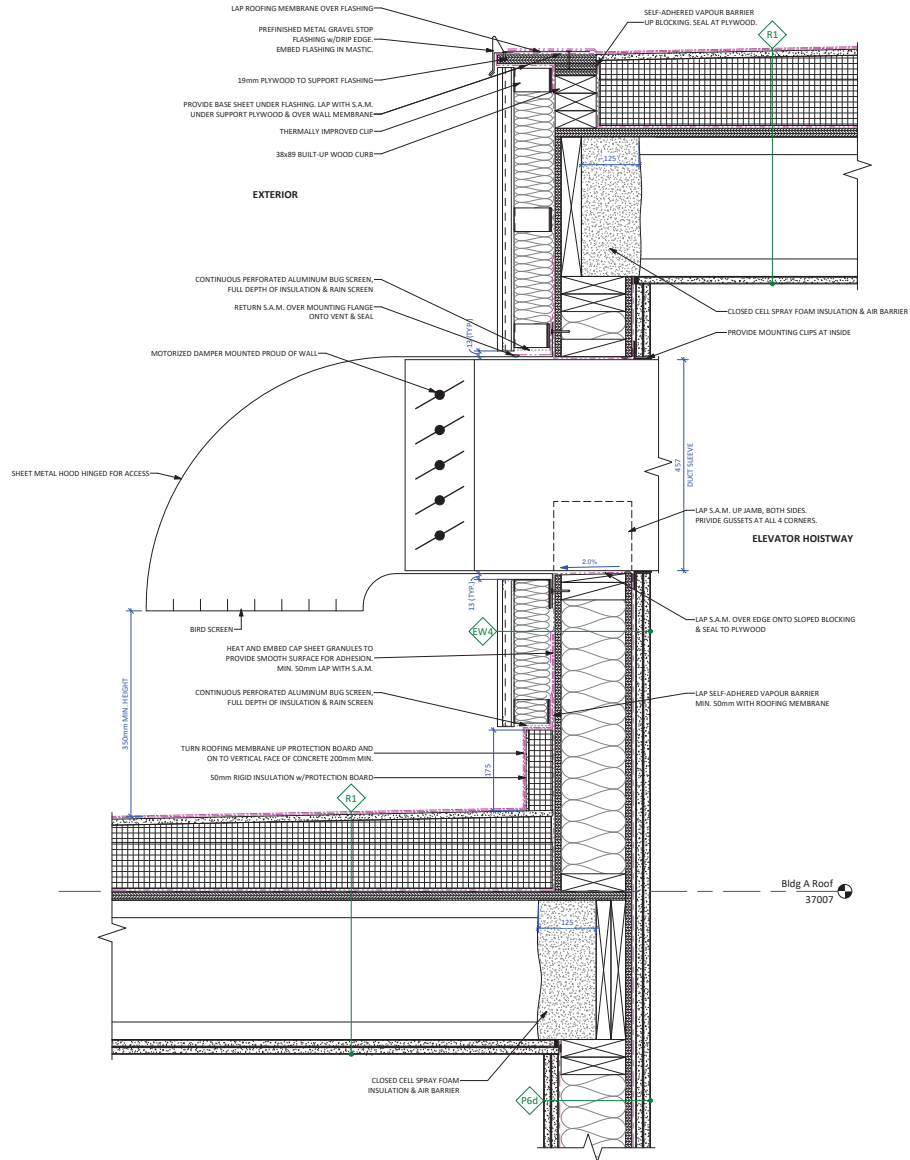
Date: 2022-03-22 10:40:52 AM  
 Drawn by: BH  
 Checked by: CC

**A7.07**

Scale: 1:5



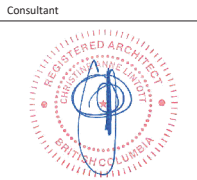
2 Elevator Shaft - BLDG A - 3D



1 Elevator Shaft Vent  
1:5

Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	
No.	Description



**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Details - Elevator Ventilation**

Date	2022-03-22 10:41:03 AM
Drawn by	BH
Checked by	CC
<b>A7.08</b>	
Scale	1:5



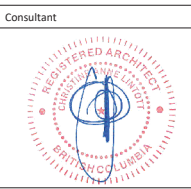






Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 25, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

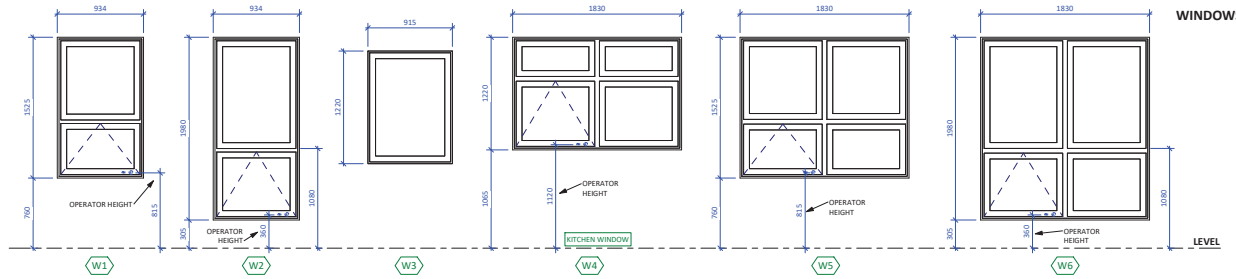
Revision No.	Description	Date



**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

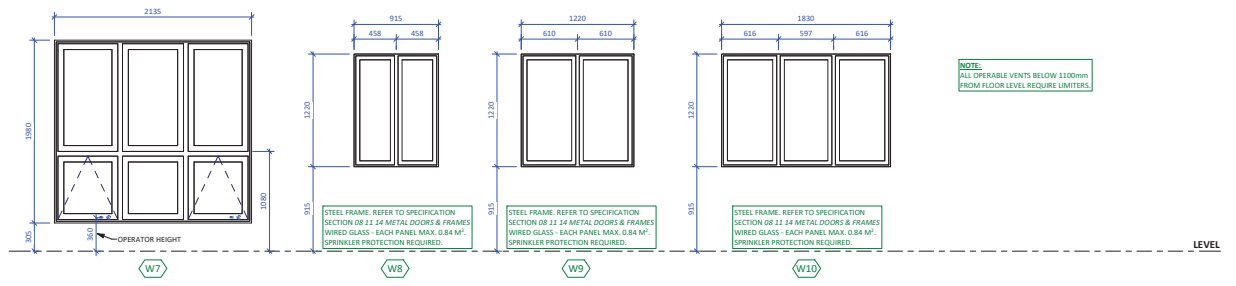
**Window Schedule**

Date	2022-03-22 10:41:29 AM
Drawn by	JJ, BH
Checked by	CC
<b>A9.04</b>	
Scale	1 : 25



**Window Schedule**

Type Mark	Width	Height	Count	Description
W1	915	1525	18	Exterior Window - White Vinyl
W2	915	1980	83	Exterior Window - White Vinyl
W3	915	1220	6	Exterior Window - White Vinyl
W4	1830	1220	4	Exterior Window - White Vinyl
W5	1830	1525	12	Exterior Window - White Vinyl
W6	1830	1980	115	Exterior Window - White Vinyl
W7	2135	1980	18	Exterior Window - White Vinyl
W8	915	1220	1	Parkade Vestibule - Metal Frame
W9	1220	1220	2	Parkade Vestibule - Metal Frame
W10	1830	1220	2	Parkade Vestibule - Metal Frame



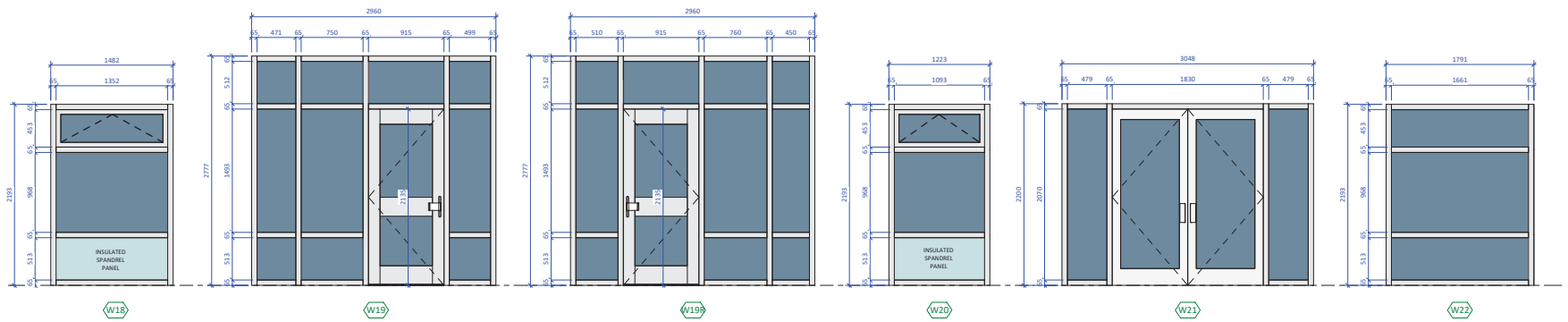
**Window Wall Schedule**

Type	Count
Bldg A Main Level	
W11	1
W12	1
W13	1
W14	1
W15	1
W16	1
W17	1
W18	2
W19	1
W19B	1
W20	4
W21	2
W22	1
W27	1
W28	1
W29	2
Bldg B Main Level	
W23	1
W24	1
W24B	1
W25	1
W26	1
W30	1
W31	1

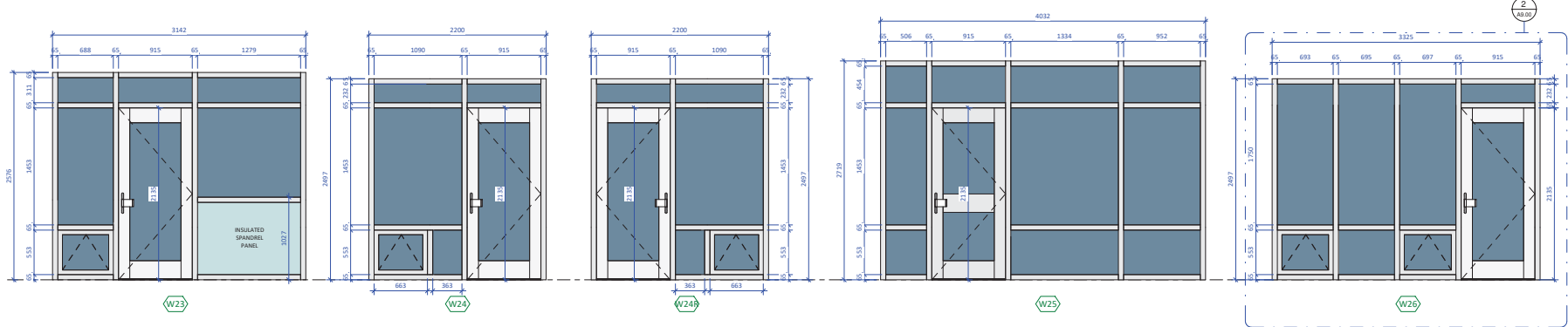
**BUILDING A - EXTERIOR WINDOW WALLS**



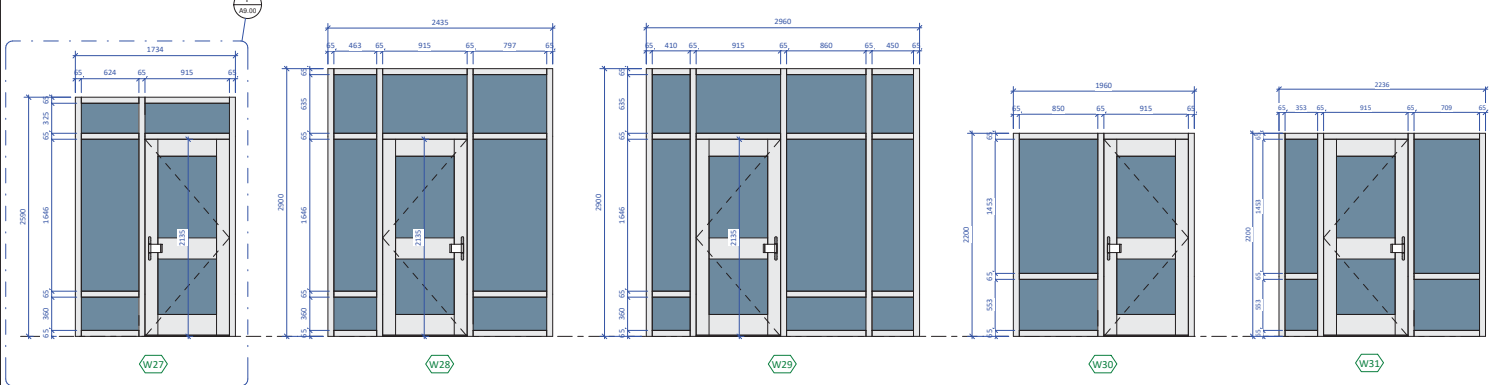
**BUILDING A - EXTERIOR WINDOW WALLS (CONTINUED)**



**BUILDING B - EXTERIOR WINDOW WALLS**



**INTERIOR WINDOW WALLS**



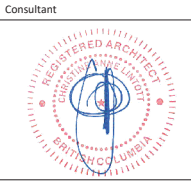
**SCHEDULES**

Window Wall Schedule	
Type	Count
<b>Blk. A Main Level</b>	
W18	1
W19	1
W20	1
W21	1
W22	1
W23	1
W24	1
W25	1
W26	1
W27	1
W28	2
W29	1
W30	1
W31	1
<b>Blk. B Main Level</b>	
W23	1
W24	1
W24R	1
W25	1
W26	1
W30	1
W31	1



Issue	Date
50% REVIEW	JULY 31, 2020
85% COORDINATION	MARCH 5, 2021
95% BC HOUSING REVIEW & TLHS PRICING	APRIL 1, 2021
BUILDING PERMIT	JUNE 29, 2021
BP RESPONSE	FEBRUARY 23, 2022
FOR TENDER	MARCH 22, 2022

Revision	No.	Description	Date
	1		
	2		08.05



**Burnside School Property**  
 496-498 Cecelia Road &  
 3130 Jutland Road,  
 Victoria, BC

**Window Wall Schedule**

Date: 2022-03-22 10:41:35 AM  
 Drawn by: JJ, BH  
 Checked by: CC

**A9.05**

Scale: 1 : 25