

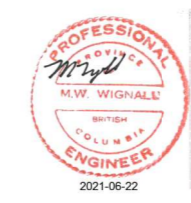
- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT 2 WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - CONTACT BC HYDRO, TELUS, SHAW CABLE AND TERASEN GAS THROUGH BC 1 CALL AT 1 800 474 6886 A MINIMUM OF 72 HOURS IN ADVANCE OF ANY EXCAVATION ON THE SITE.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS 2 WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
 - BED ALL PIPE USING CLASS 'B' BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PITRUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG DESPOARD AVE DURING CONSTRUCTION.
 - COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 100% STANDARD PROCTOR DENSITY FOR THE TOP 300mm AND 95% MODIFIED STANDARD PROCTOR BELOW.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 - ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
 - CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND NATIONAL BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.
- SEWER AND DRAIN**
- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 100# PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 150# PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
 - SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
- ① THE CITY OF VICTORIA SHALL INSTALL A NEW SEWER SERVICE C/W CLEANOUT AT THE PROPERTY LINE FOR LOT 4 AT DEVELOPER'S EXPENSE.
- ③ THE CITY OF VICTORIA SHALL INSTALL A NEW CLEANOUT AT THE PROPERTY LINE FOR LOT 4 AT DEVELOPER'S EXPENSE.
- WATER**
- ② THE CITY OF VICTORIA SHALL INSTALL TWO 25mm WATER CONNECTION TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE. EXISTING WATER SERVICE TO BE REMOVED AT DEVELOPER'S EXPENSE.
- HYDRO, TELEPHONE, SHAW, AND GAS**
- HYDRO, TELEPHONE, AND SHAW TO BE SERVICED OVERHEAD
 - GAS SERVICE IS TO BE ABANDONED BY TERASEN AT THE GAS MAIN ON DESPOARD.

WORKS AND SERVICES CHECK TABLE			
PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	COMPANY NAME	SIGNATURE	
HYDRO ELECTRIC CO.	BC Hydro	[Signature]	Jan 20/10
TELEPHONE CO.	TELUS	[Signature]	Jan 20/10
GAS CO.	TERASEN GAS	[Signature]	Jan 21/10
CABLE CO.	Shaw Cable	[Signature]	Jan 20/10
FIBRE OPTIC CO.			
UNDERGROUND SERVICES			
TRAFFIC			
HIGHWAYS			

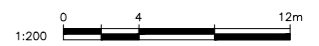
- LEGEND**
- CONCRETE DRIVEWAY
 - APPROXIMATE EXTEND OF ASPHALT
 - AS RECORDED ELEVATION

Revisions

Received Date: June 24, 2021



RECORD DRAWING



WESTBROOK CONSULTING LTD. - 01-01-22 10:09 H:\PROJECTS\3663_1535_1537\Despard_Ave\042_Drawing\Network\3663-01_12.DWG

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE TO THE START OF ANY EXCAVATIONS

LEGEND	
WATER — W —	GAS — G —
SEWER — S —	CURB — C —
DRAIN — D —	SIDEWALK — S/W —
DITCH — D —	EDGE PAVE. — E/P —
CULVERT — C —	BUSHLINE — B —
HEADWALL — H —	TREE — T —
EXISTING U/G UTL. —	PROPOSED U/G UTL. —
LIGHT STANDARD —	POWER POLE —
ANCHOR —	MANHOLE —
CLEANOUT —	VALVE —
CATCHBASIN —	METER —
ROAD SIGN —	REDUCER —
	MONUMENT —
	LOT PIN —
	LEAD PLUG —

REVISIONS			
No.	DESCRIPTION	DATE	SIGN
1	RECORD DRAWING	21/05/19	Y

WESTBROOK Consulting Ltd.

#202 - 774 Goldstream Ave., Victoria, BC V9B 2X3
Telephone: 250-391-8592 Facsimile: 250-391-8593

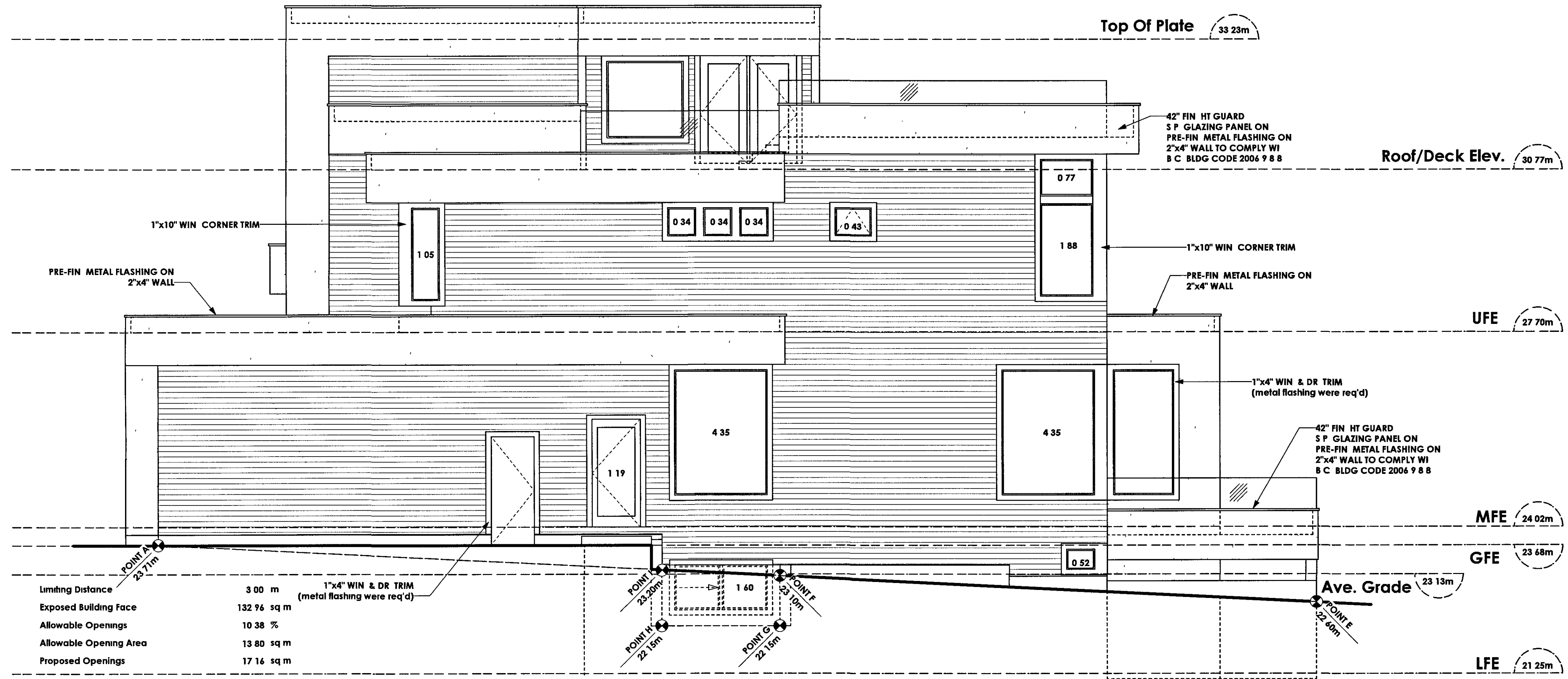
PROJECT
1535 & 1537 DESPOARD AVE
NORM EDEN AND KEVIN ALGAR

OFFSITE SERVICING PLAN

WESTBROOK PROJECT No.	3663
GOVERNING AUTHORITY FILE No.	
SHEET	1 OF 1
REV.	1
WESTBROOK DRAWING No.	3663-01



1 Front Elevation
A2 Scale: 1/4" = 1'-0" AVE GRADE: ((23.43 + 23.43) ÷ 2) X 10.67 = (47.46) X 10.67 = 23.73 X 10.67 = 253.199



2 Right Side Elevation
A2 Scale: 1/4" = 1'-0"
 AVE GRADE: ((22.60 + 23.10) ÷ 2) X 9.96 = (45.70 ÷ 2) X 9.96 = 22.85 X 10.16 = 232.156
 ((22.15 + 22.15) ÷ 2) X 4.64 = (44.30 ÷ 2) X 2.24 = 22.15 X 2.24 = 49.616
 ((23.20 + 23.71) ÷ 2) X 9.55 = (46.91 ÷ 2) X 9.55 = 23.46 X 9.55 = 224.04

Limiting Distance	3.00 m	1"x4" WIN & DR TRIM (metal flashing were req'd)
Exposed Building Face	132.96 sq m	
Allowable Openings	10.38 %	
Allowable Opening Area	13.80 sq m	
Proposed Openings	17.16 sq m	

PROFESSIONAL SEALS

Consultants

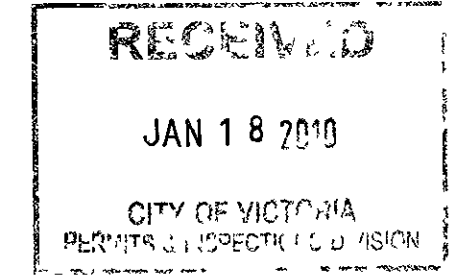
List of Drawings

NO.	DATE	DESCRIPTION
S1		Siteplan
A1		Master Elevations, Trellis Detail
A2		Elevations - Front / Right
A3		Elevations - Rear / Left
A4		Foundation
A5		Lower Floor Plan
A6		Main Floor Plan
A7		Upper Floor Plan
A8		Roof/Deck Plan
A9		Roof Plan
A10		Section A-A, Section B-B, Section C
A11		Section D-D, Details

ISSUED/REVISED

NO.	DATE	DESCRIPTION
01	10/30/09	95% Complete
02	11/25/09	100% Complete
03	12/01/09	Trees on Siteplan
04	12/17/09	City Comments, Rt Vents, Notes, Alarms
05	01/15/10	City Comments Siteplan
06	01/18/10	Page Numbering

General Contractor and or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plan on site or failure to report discrepancies. Refer to General notes included on plan.



Note: B.C.L.S. to verify placement and stiling of all structures on lot. General Contractor to work in conjunction with B.C.L.S. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any encroachments of any kind with regard to stiling or placement of structures on lot. Structural Engineer to review plan (where required), and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and commission all engineering requirements with municipal building departments prior to starting work.

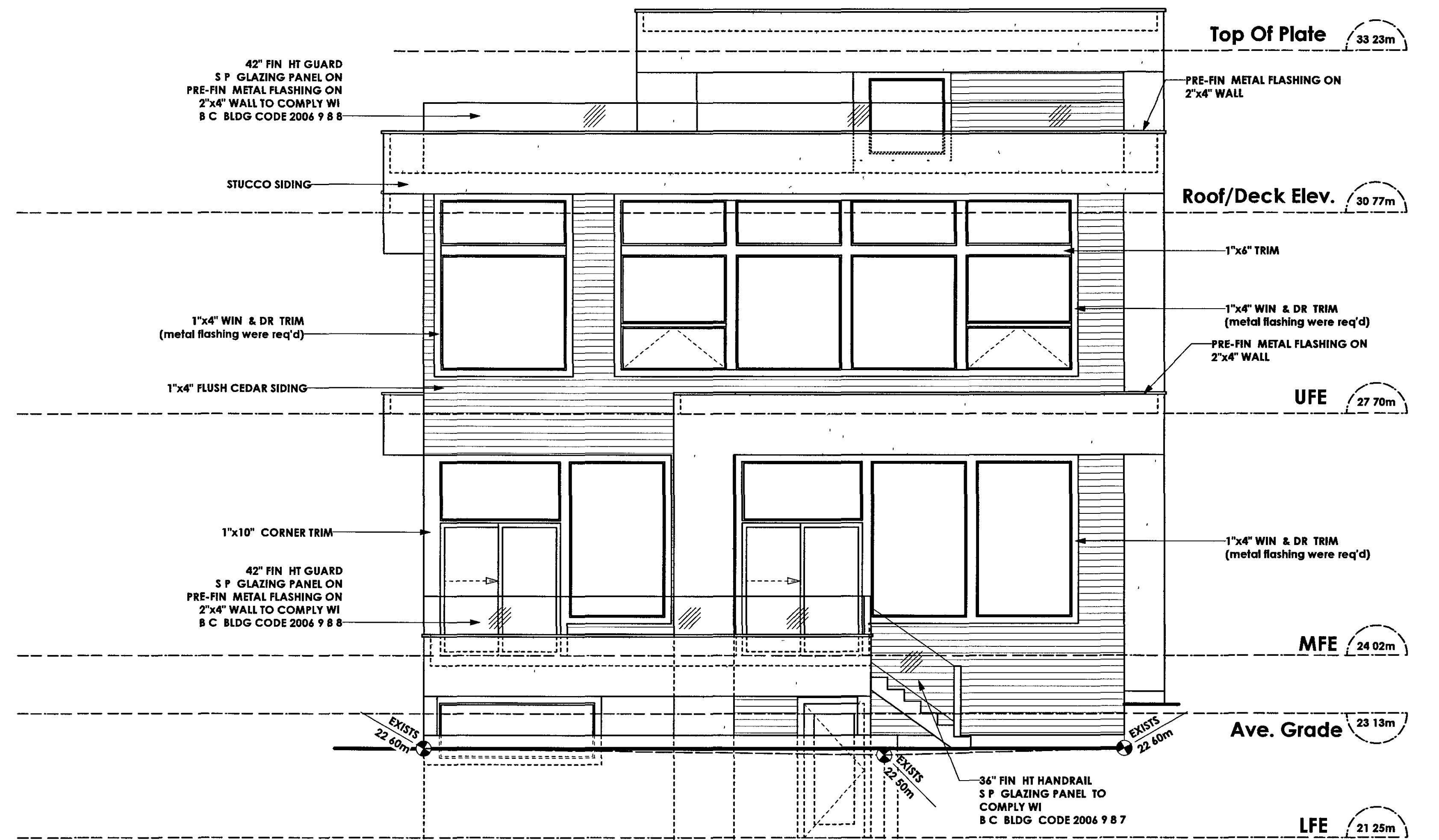
Truss Manufacturer to review plans to verify roof design where eng roof trusses are shown and to contact building designer to advise if revisions are necessary.

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	DWG NO.	6738	
	SHT. NO.	A2 OF A11	
	DATE	Nov 25, 2009	
	SCALE	As Shown	
105 - 501 7778 AVENUE VICTORIA, B.C. V8B 0A5		DRAWN	M.D.K
PH 250 382-7374 FAX 250 382-7364		REVIEWED BY	
WWW.VICTORIADESIGNGROUP.CA			

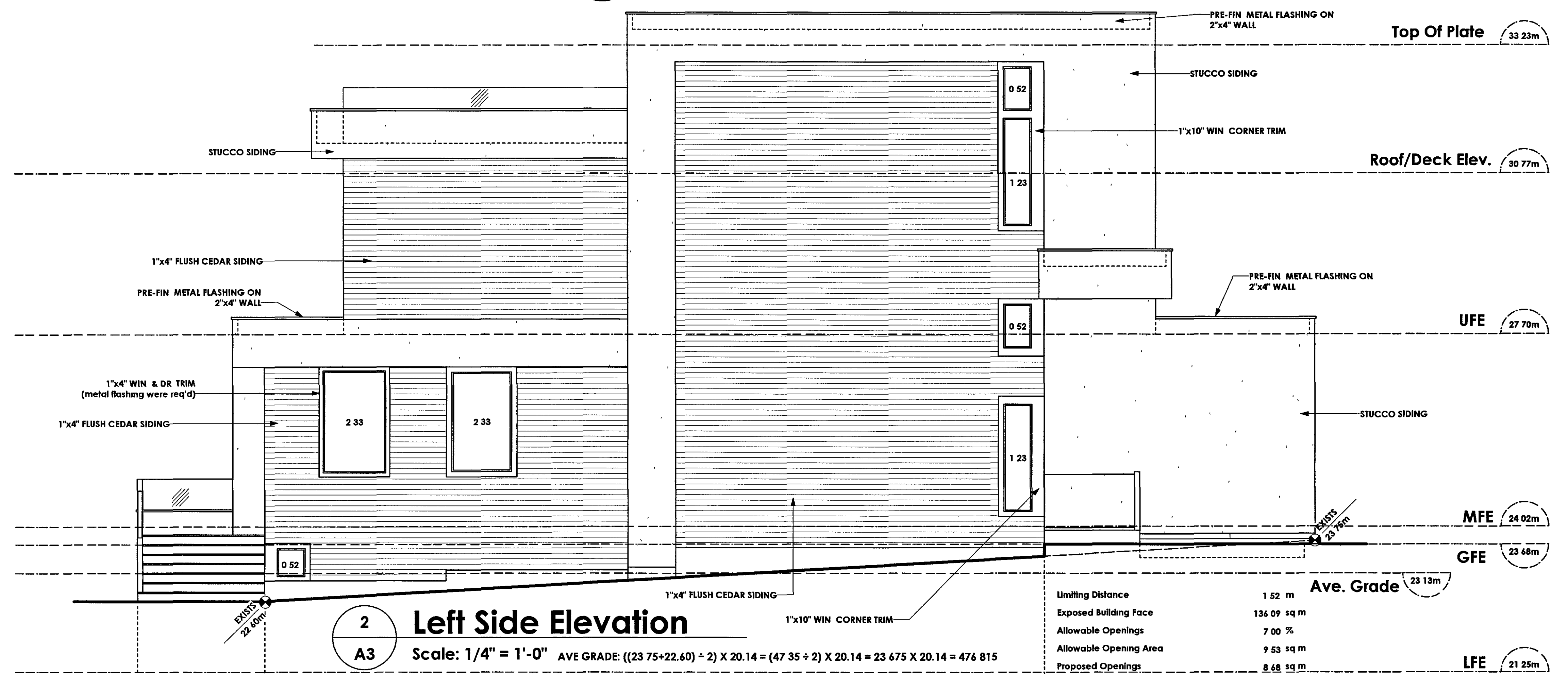
PROJECT
 Proposed Residence
 Leonard Cole
 1535 Despard
 Victoria B.C.

Date: 1/18/10
 Time: 9:41.39 AM



1 Rear Elevation
 A3 Scale: 1/4" = 1'-0"

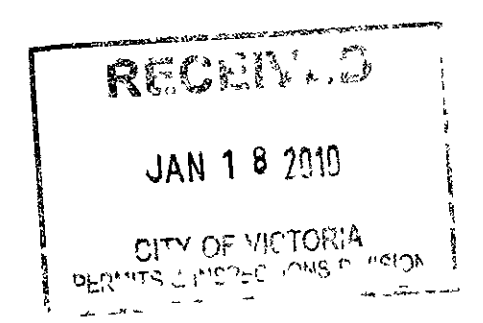
AVE. GRADE: $((22.60 + 22.50) \div 2) \times 10.67 = (45.10 \div 2) \times 10.67 = 22.55 \times 10.67 = 240.609$



2 Left Side Elevation
 A3 Scale: 1/4" = 1'-0"

AVE. GRADE: $((23.75 + 22.60) \div 2) \times 20.14 = (47.35 \div 2) \times 20.14 = 23.675 \times 20.14 = 476.815$

Limiting Distance	1.52 m
Exposed Building Face	136.09 sq m
Allowable Openings	7.00 %
Allowable Opening Area	9.53 sq m
Proposed Openings	8.68 sq m



PROFESSIONAL SEALS

Consultants

List of Drawings

S1	Siteplan
A1	Master Elevations, Trellis Detail
A2	Elevations - Front / Right
A3	Elevations - Rear / Left
A4	Foundation
A5	Lower Floor Plan
A6	Main Floor Plan
A7	Upper Floor Plan
A8	Roof/Deck Plan
A9	Roof Plan
A10	Section A-A, Section B-B, Section C
A11	Section D-D, Details

ISSUED/REVISED

NO.	DATE	DESCRIPTION
01	10/30/09	95% Complete
02	11/25/09	100% Complete
03	12/01/09	Trees on Siteplan
04	12/17/09	City Comments #1 Vents, Notes, Alarms
05	01/15/10	City Comments Siteplan
06	01/18/10	Page Numbering

General Contractor and or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plan on site or failure to report discrepancies. Refer to General notes included on plan.

Note B.C.L.S. to verify placement and stiling of all structures on lot. General Contractor to work in conjunction with B.C.L.S. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any encroachments of any kind with regard to stiling or placement of structures on lot.

Structural Engineer to review plan (where required), and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and commission all engineering requirements with municipal building departments prior to starting work.

Truss Manufacturer to review plans to verify roof design where eng. roof trusses are shown and to contact building designer to advise if revisions are necessary.

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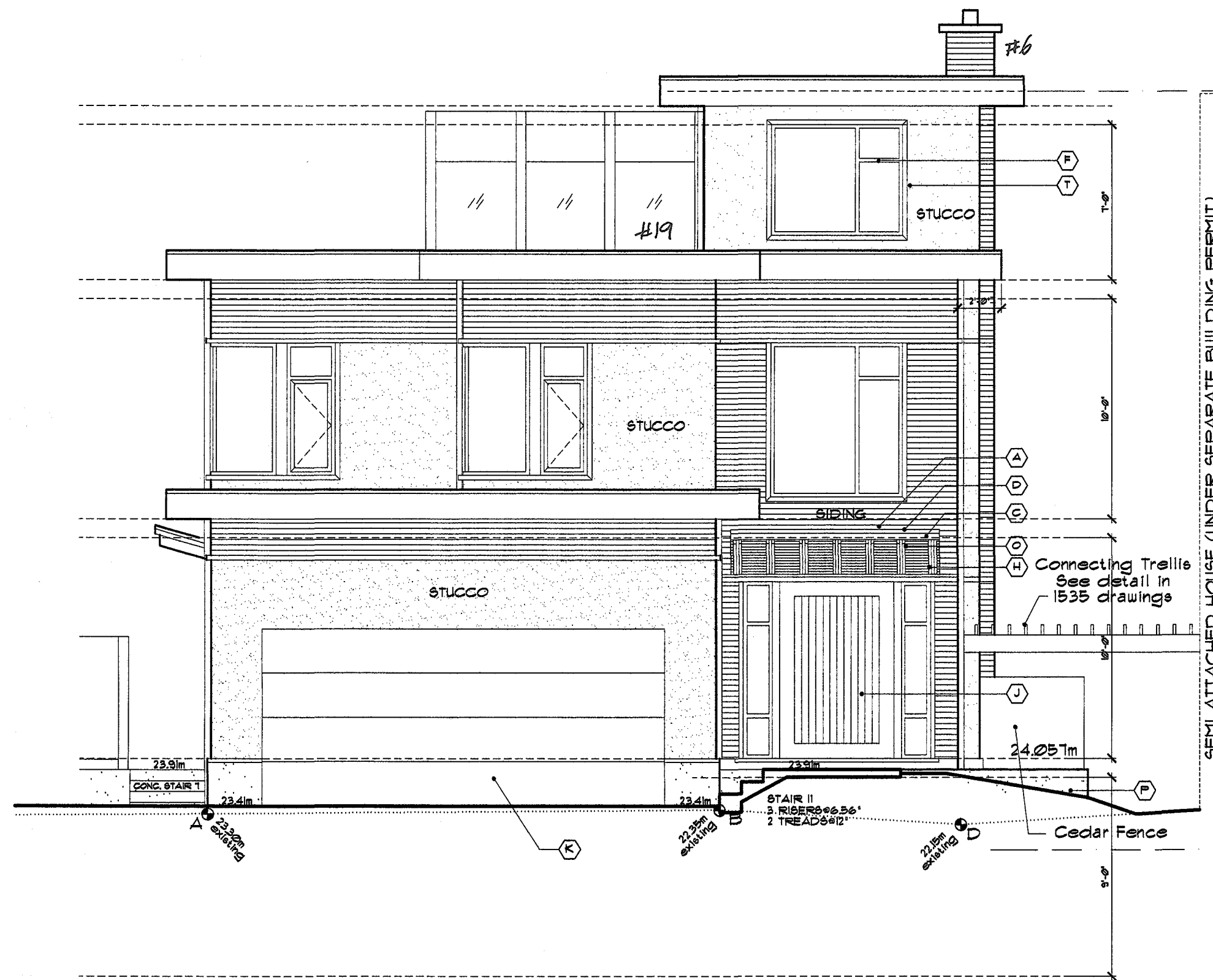
VICTORIA DESIGN GROUP

DRWG NO. 6738
 SHT. NO. A3 OF A11
 DATE Nov 25, 2009
 SCALE As Shown
 DRAWN M.D.K.
 REVIEWED BY

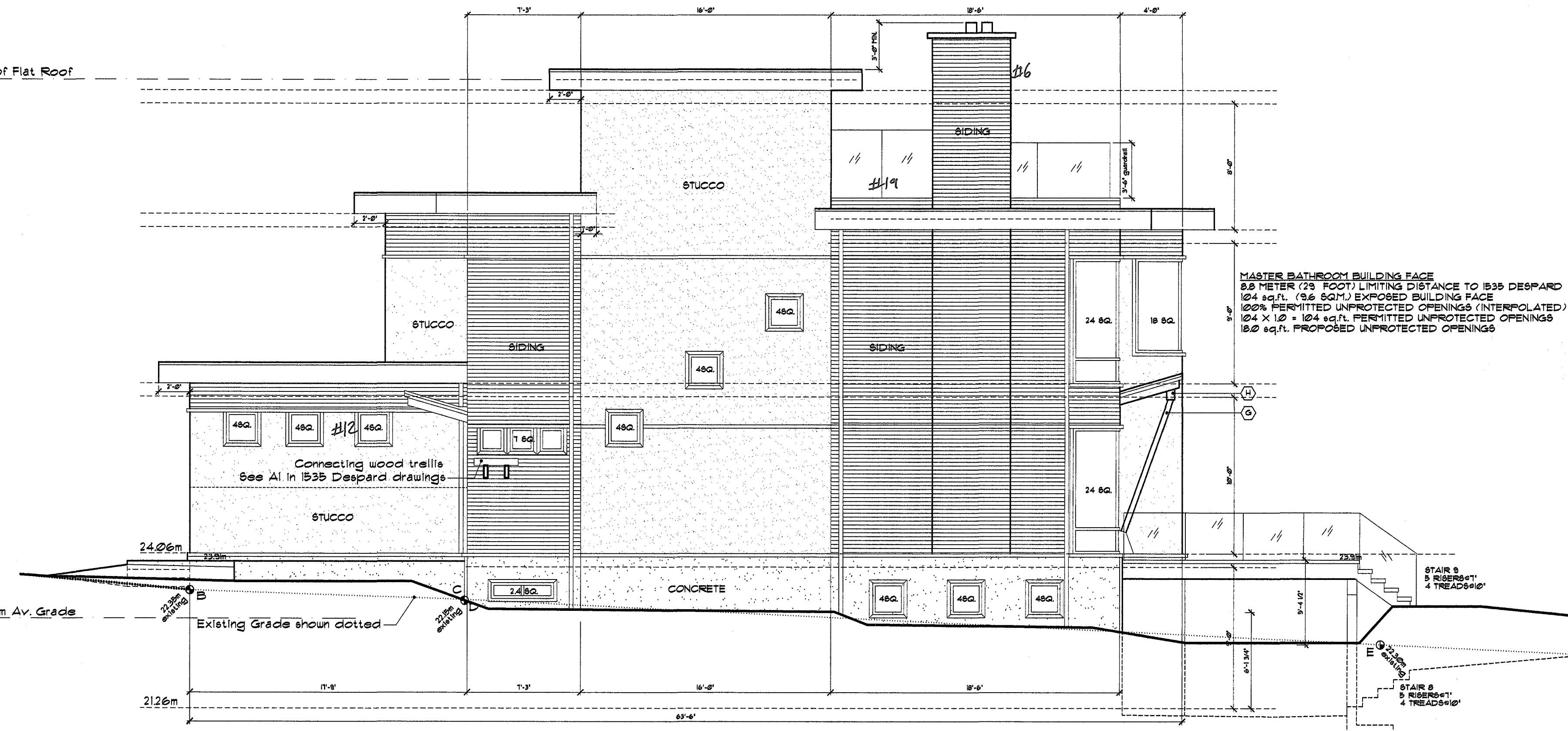
100 - 891
 7 TREE AVENUE
 VICTORIA, B.C.
 V8B 0A6
 PH 250 382 7374
 FAX 250 382 7364
 WWW.VICTORIADESIGNGROUP.CA

PROJECT
**Proposed Residence
 Leonard Cole
 1535 Despard
 Victoria B.C.**

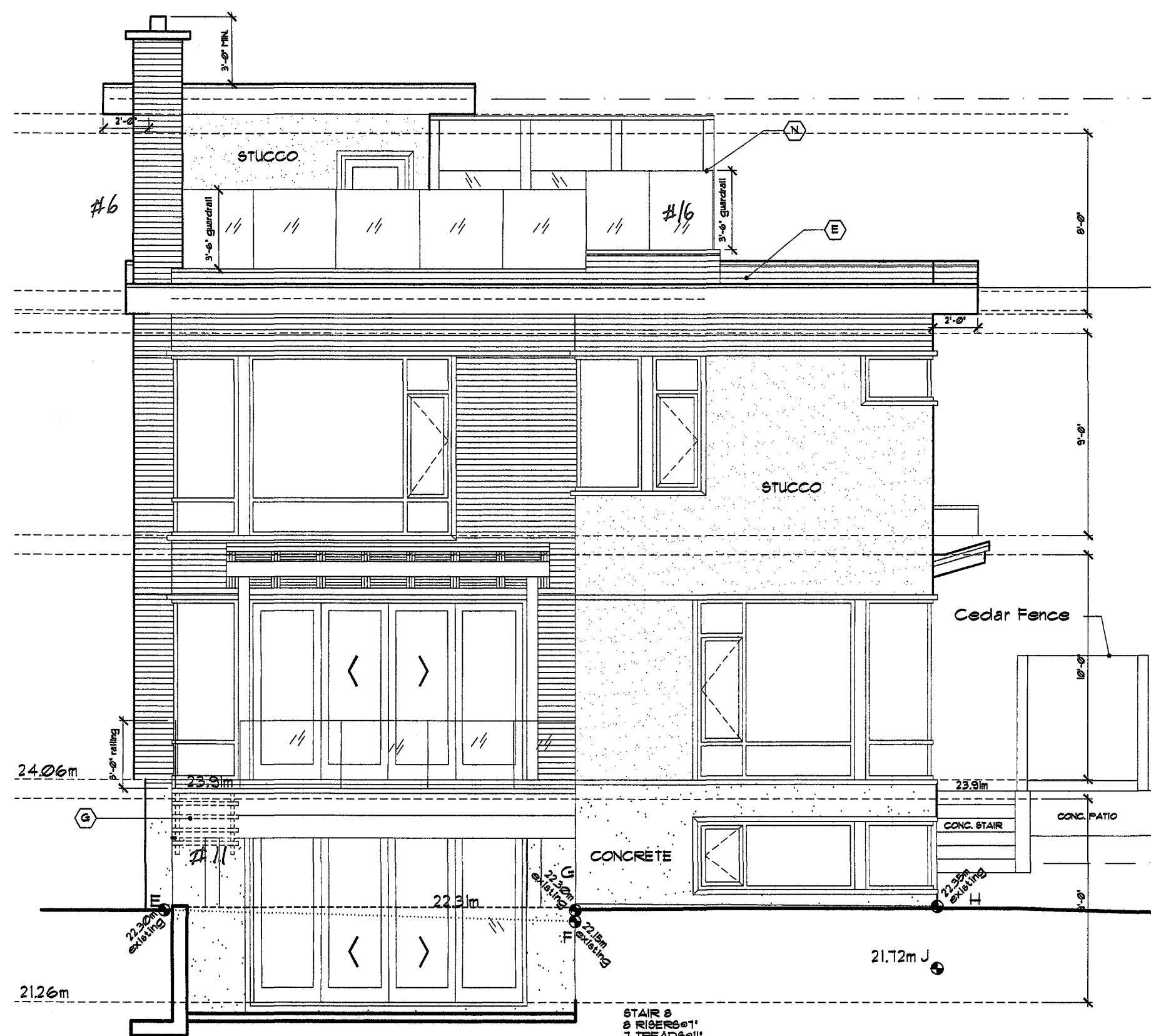
Date: 1/18/10
 Time: 9:41 39 AM



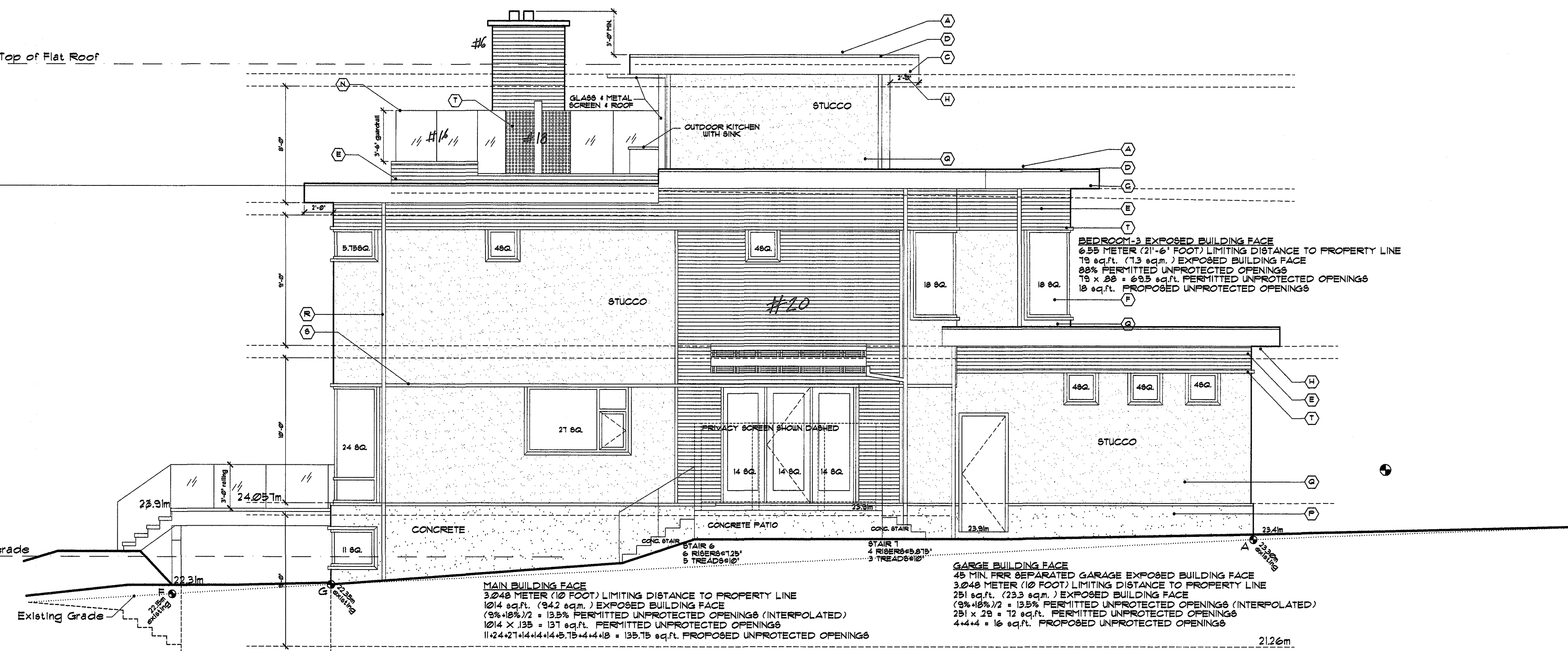
1 FRONT ELEVATION
Scale 3/16" = 1'-0"



2 RIGHT SIDE ELEVATION
Scale 3/16" = 1'-0"



3 REAR ELEVATION
Scale 3/16" = 1'-0"



4 LEFT SIDE ELEVATION
Scale 3/16" = 1'-0"

EXTERIOR FINISHES		
A TORCH-ON ROOFING	H 6x8 PARALAM BEAMS + RIPPERS - STAINED	O TAG CEDAR DECKING - STAINED
B -	J CUSTOM FIR DOOR CAS GLAZED PANELS	P ARCHITECTURAL CONCRETE FINISH
C 2" X 8" WOOD BARGE BOARD PAINTED	K paneled OH GARAGE DOOR 8'0x8'0"	Q STUCCO
D PRE FIN METAL FLASHING	L 2-1/2" WOOD TRIM PAINTED	R GALVANIZED METAL RAINWATER LEADERS
E HORIZONTAL CEDAR SIDING - STAINED	M 2 PANEL FIBREGLASS DOOR	S GALVANIZED METAL FLASHING
F DOUBLE GLAZED ALUMINUM WINDOWS SEE SCHEDULE	N POWDER COATED METAL RAILING - BLACK ENGINEERED	T PREFINISHED PERFORATED METAL
G 6x8 PARALAM POSTS - STAINED		

RECEIVED
AUG 12 2011
CITY OF VICTORIA
PLANNING & INSPECTIONS DIVISION

Re-issued for permit Aug. 12

1537 DESPARD

CITTA
CONSTRUCTION LTD.
DESIGN MANAGERS &
PROJECT MANAGERS
VICTORIA, B.C. V8P 4Z2
Phone: (250) 381-1837
Fax: (250) 381-1837

PROJECT
PROPOSED RESIDENCE
1537 DESPARD
VICTORIA BC

PROJECT NO.
T21

DESIGNER
JJA/JH
DRAWN
JJA/JH
DATE
12-AUG-2010

SHEET TITLE
ELEVATIONS
SHEET NO.
AA.1



VICTORIA LAND TITLE OFFICE

Oct-12-2010 15:56:10.002

EPS299

PAGE 1 OF 6 PAGES

SURVEY PLAN CERTIFICATION
PROVINCE OF BRITISH COLUMBIA

0599

By incorporating your electronic signature into this form you are also incorporating your electronic signature into the attached plan and you
(a) represent that you are a subscriber and that you have incorporated your electronic signature to the attached electronic plan in accordance with section 168.73 (3) of the Land Title Act, RSBC 1996 c.250; and
(b) certify the matters set out in section 168.73 (4) of the Land Title Act,
Each term used in this representation and certification is to be given the meaning ascribed to it in part 10.1 of the Land Title Act.

Alan Powell AR6XRI Digitally signed by Alan Powell AR6XRI

1. BC LAND SURVEYOR: (Name, address, phone number)

Alan Marshall Powell
250-2950 Douglas Street

apbcls@telus.net
(250) 382-8855

Victoria BC V8T 4N4

2. PLAN IDENTIFICATION:

Control Number: 128-622-4203

Plan Number: EPS299

This original plan number assignment was done under Commission #: 599

LTO Document Reference: CA1764457

3. CERTIFICATION:

Form 9

Explanatory Plan

I am a British Columbia land surveyor and certify that I was present at and personally superintended this survey and that the survey and plan are correct.

The field survey was completed on: 2010 September 14 (YYYY/Month/DD)

The plan was completed and checked on: 2010 October 04 (YYYY/Month/DD)

The checklist was filed under ECR#: 115484

I am a British Columbia land surveyor and certify that the buildings included in this strata plan have not been previously occupied as of 2010 October 04 (YYYY/Month/DD) None Strata Form S

None Strata Form U1 Strata Form U1/U2

I am a British Columbia land surveyor and certify that the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan

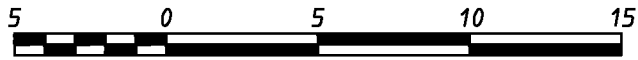
Certification Date: 2010 October 04 (YYYY/Month/DD)

Arterial Highway

4. ALTERATION:

**Strata Plan of Lot A, Section 68,
Victoria District, Plan EPP5690
BCGS 92B044**

Sheet 1 of 5 Sheets
Strata Plan EPS299



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:250.

All distances are shown in metres.

Integrated Survey Area No. 17, City of Victoria NAD83 (CSRS).

Grid bearings are derived from observations between geodetic control monuments 10-65 and 10-110

This Plan shows horizontal ground-level distances except where otherwise noted. To compute grid distances, multiply ground-level distances by combined factor 0.9996068.

Civic Address:

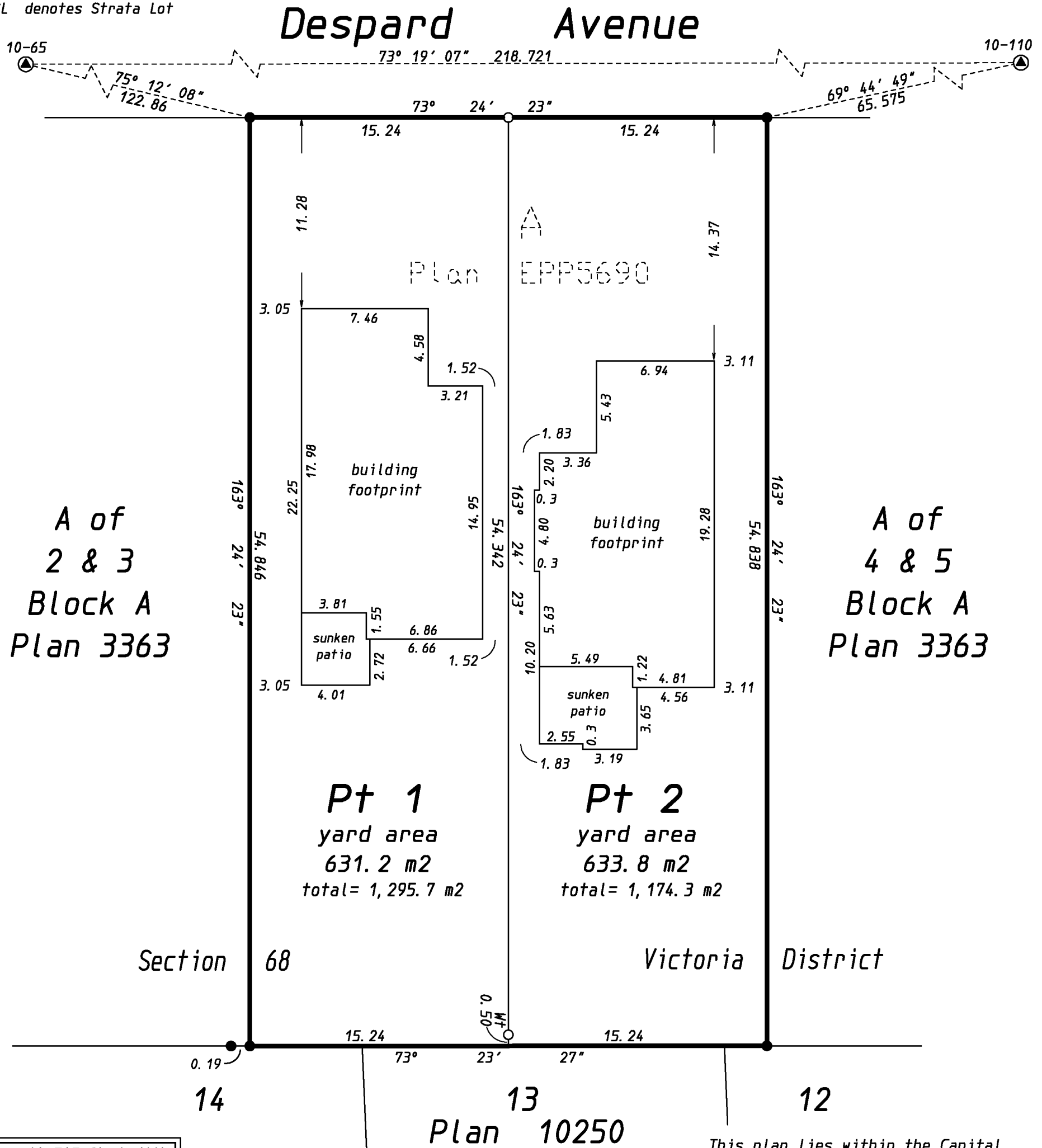
SL 1 - 1535 Despard Avenue
SL 2 - 1537 Despard Avenue
Victoria, B.C. V8S 1T2

Legend

Found Set Denotes

- ⊙ Control Monument.
- ○ Standard Iron Post.
- Pt denotes part of Strata Lot
- SL denotes Strata Lot

This plan shows one or more witness posts which are set along the production of the property boundary unless otherwise noted.



File: 10,705 Sh-1 (10)
POWELL & ASSOCIATES
BC Land SurveyorS
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

The buildings included within this strata plan have not been previously occupied.

The buildings shown hereon are within the the external boundaries of the land that is the subject of this Strata Plan.

This plan lies within the Capital Regional District within the City of Victoria

The field survey represented by this plan was completed by Alan M. Powell BCLS on the 14th day of September, 2010

Basement

Sheet 2 of 5 Sheets
Strata Plan EPS299



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:150.

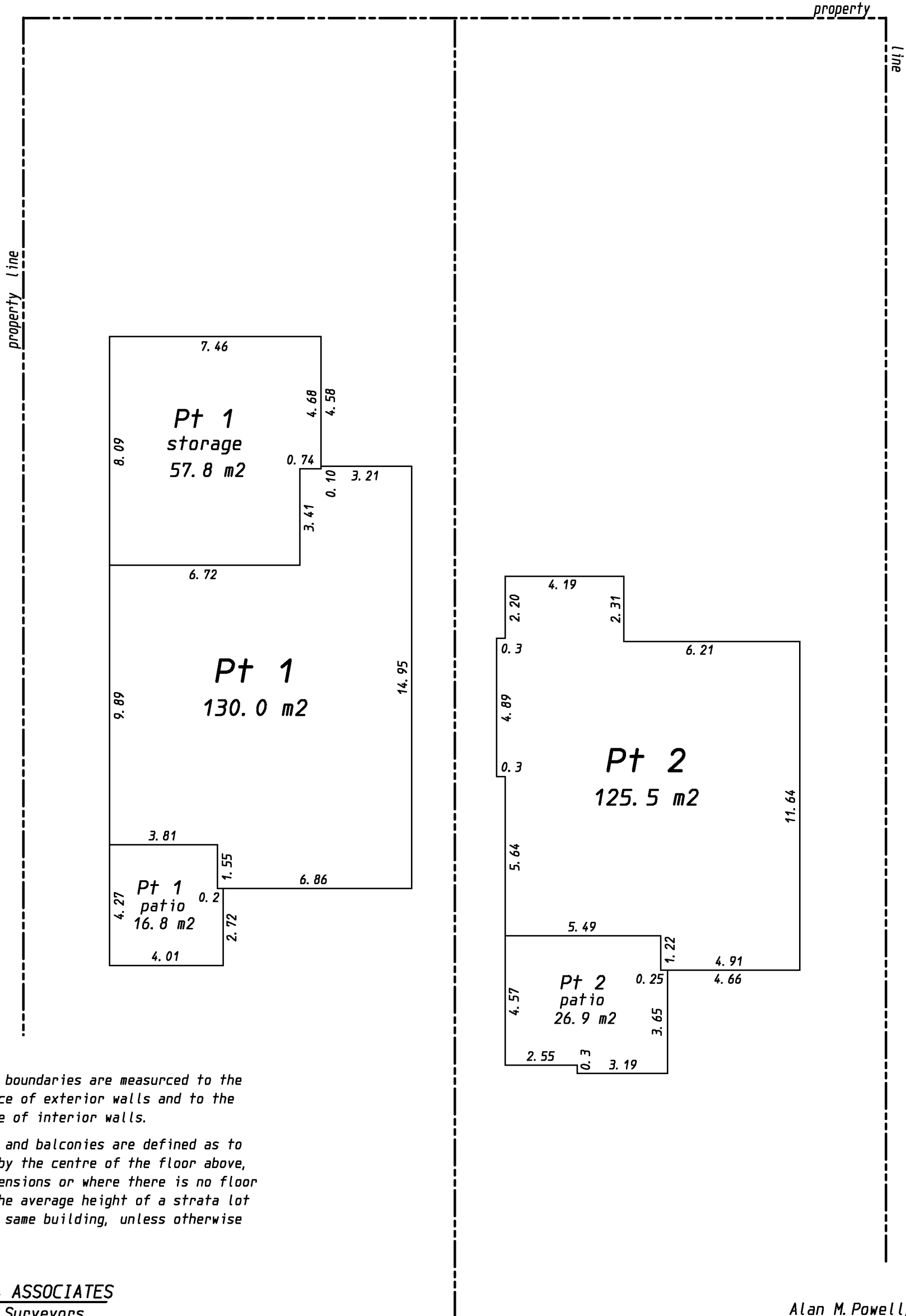
All distances are shown in metres.

Legend

Pt - denotes Part of Strata Lot___



Despard Avenue



Strata lot boundaries are measured to the outside face of exterior walls and to the centre line of interior walls.

All patios and balconies are defined as to height by the centre of the floor above, or its extensions or where there is no floor above by the average height of a strata lot within the same building, unless otherwise indicated.

POWELL & ASSOCIATES
B C Land Surveyors
File: 10,705 Sh-2 (10)

Alan M. Powell, BCLS
September 21st, 2010

Main Floor



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1:150.
All distances are shown in metres.

Legend

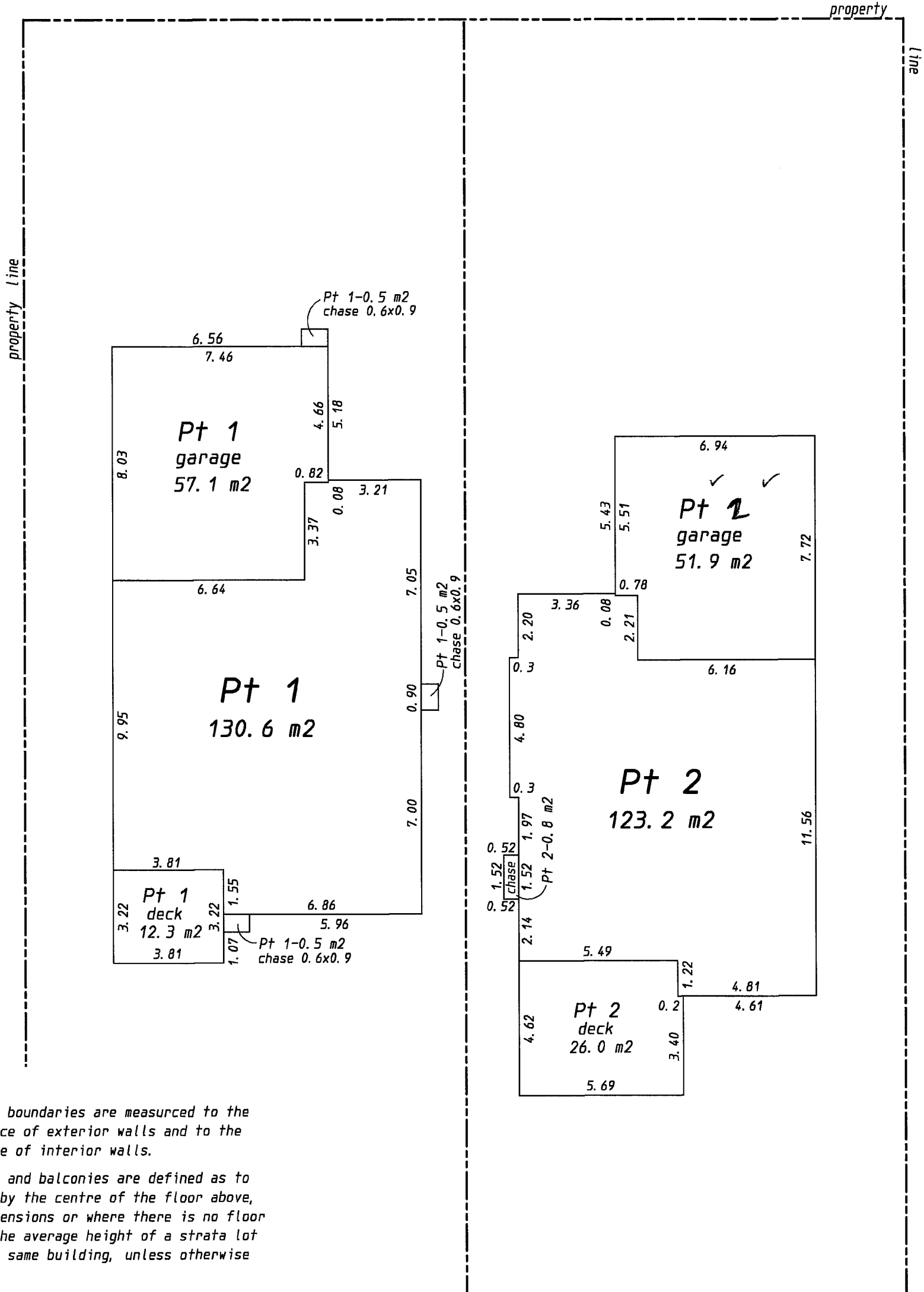
Pt - denotes Part of Strata Lot___

Sheet 3 of 5 Sheets
Strata Plan EPS299



Corrected this 22ND day of October, 2013
See CA3415494.

Despard Avenue



Strata lot boundaries are measured to the outside face of exterior walls and to the centre line of interior walls.

All patios and balconies are defined as to height by the centre of the floor above, or its extensions or where there is no floor above by the average height of a strata lot within the same building, unless otherwise indicated.

POWELL & ASSOCIATES
B C Land Surveyors
File: 10,705 Sh-2 (10)

Alan M. Powell, BCLS
September 21st, 2010

Upper Floor



The intended plot size of this plan is 280mm in width by 432mm in height (B size) when plotted at a scale of 1: 150.

All distances are shown in metres.

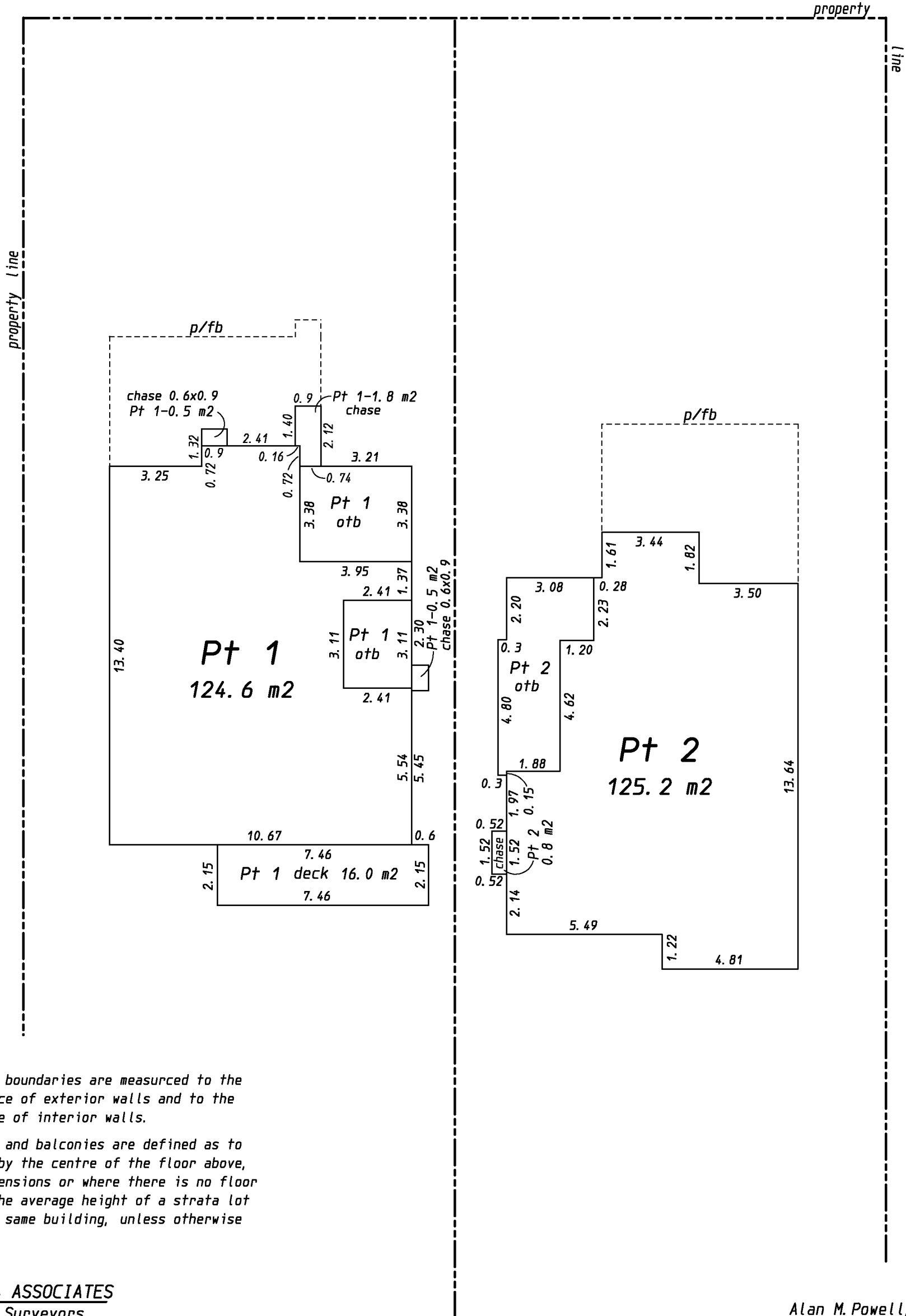
Legend

- Pt - denotes Part of Strata Lot___
- p/fb - denotes perimeter of floor below
- otb - denotes open to below



Sheet 4 of 5 Sheets
Strata Plan EPS299

Despard Avenue



Strata lot boundaries are measured to the outside face of exterior walls and to the centre line of interior walls.

All patios and balconies are defined as to height by the centre of the floor above, or its extensions or where there is no floor above by the average height of a strata lot within the same building, unless otherwise indicated.

POWELL & ASSOCIATES
B C Land Surveyors
File: 10, 705 Sh-2 (10)

Alan M. Powell, BCLS
September 21st, 2010

