

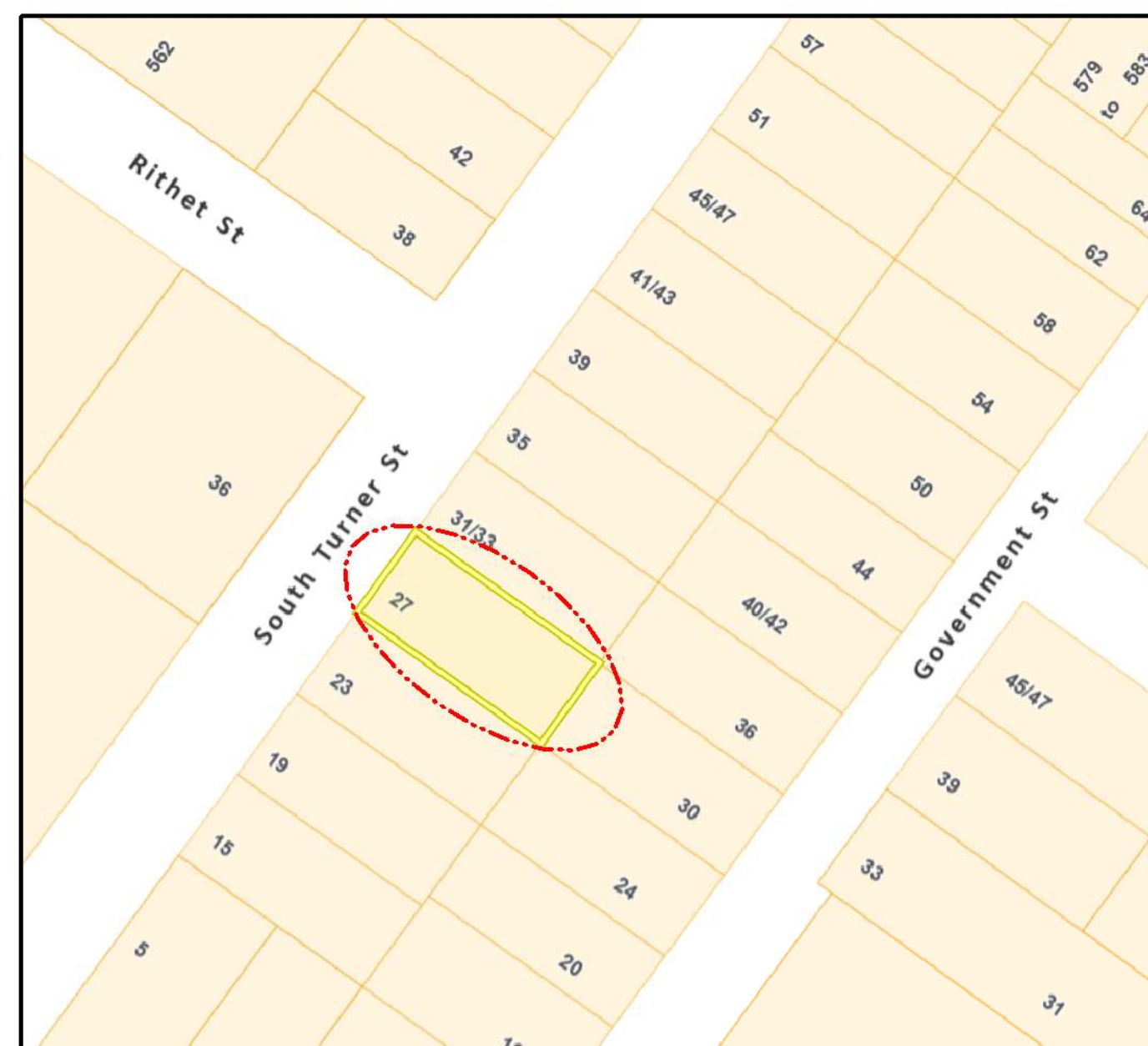
DEVELOPMENT PERMIT APPLICATION: 27 South Turner St. VICTORIA, BC

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- A1.0 DEVELOPMENT PERSPECTIVES
- A1.1 DEVELOPMENT PERSPECTIVES
- A1.2 LANDSCAPE AND STREETSCAPE
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Revisions
Bubble areas indicate revisions compared to the previously submitted plans.
Received Date: December 12, 2022

KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS: 27 SOUTH TURNER ST
VICTORIA, BC
V8V 2J5

LOT 24, PLAN VIP229, LAND DISTRICT 57, BECKLEY FARM

OWNER: HIGGINS HOMES

SCOPE OF WORK:

1. CONSTRUCTION OF A NEW TWO FAMILY DWELLING
2. CONSTRUCTION OF A NEW ACCESSORY DWELLING

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL CONTRACTOR: GT MANN CONTRACTING
250.857.5349

STRUCTURAL ENGINEER: FARHILL ENGINEERING LTD
778.817.0351

SURVEYOR: J.E. ANDERSON AND ASSOCIATES
250.727.2214

SERVICE CONNECTIONS:

1. RHD IS NOT RESPONSIBLE FOR THE DESIGN AND/OR LOCATION OF SERVICE CONNECTIONS. IT IS THE RESPONSIBILITY OF THE OWNER / CONTRACTOR, PRIOR TO CONSTRUCTION TO:
 1. PHYSICALLY LOCATE ALL STORM & SEWER CONNECTIONS FOR THE SITE
 2. CONFIRM INVERT / CONNECTION ELEVATIONS FOR THE STORM AND SEWER SYSTEMS
 3. ENSURE THAT BUILDING ELEVATIONS (ALL FLOORS, CRAWLSPACE AND/OR DESIGN OF PUMPED DRAINAGE SYSTEMS (WHERE NECESSARY) TO BE BY OTHER
2. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS, ACCEPTANCE OF THE SITE CONDITIONS, AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED, AND ARE ACCEPTABLE

AVG. GRADE CALC. HOUSE			
GRADE POINTS	AVG. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	16.58m	A-B (16.61)	X 10.53m = 174.85
POINT "B"	16.63m	B-C (16.30)	X 15.18m = 247.36
POINT "C"	15.96m	C-D (15.95)	X 0.91m = 14.51
POINT "D"	15.94m	D-E (15.90)	X 1.31m = 20.82
POINT "E"	15.87m	E-F (15.85)	X 1.83m = 29.01
POINT "F"	15.87m	F-G (15.88)	X 1.16m = 18.42
POINT "G"	15.91m	G-H (15.96)	X 1.02m = 16.28
POINT "H"	16.01m	H-I (15.09)	X 0.00m = 0.00
POINT "I"	14.16m	I-J (14.16)	X 3.00m = 42.48
POINT "J"	14.16m	J-K (15.15)	X 0.00m = 0.00
POINT "K"	16.13m	K-L (16.14)	X 1.02m = 16.46
POINT "L"	16.15m	L-M (16.00)	X 1.16m = 18.56
POINT "M"	15.85m	M-N (15.85)	X 1.83m = 29.01
POINT "N"	15.85m	N-O (15.88)	X 1.31m = 20.80
POINT "O"	15.90m	O-P (15.90)	X 0.91m = 14.47
POINT "P"	15.90m	P-A (16.24)	X 15.18m = 246.52
TOTAL			56.35m = 909.55
GRADE CALCULATION			909.55 / 56.35m = 16.14m

AVG. GRADE CALC. GARAGE			
GRADE POINTS	AVG. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	17.00m	A-B (17.00)	X 5.79m = 98.43
POINT "B"	17.00m	B-C (16.92)	X 6.71m = 113.53
POINT "C"	16.85m	C-D (16.88)	X 5.79m = 97.73
POINT "D"	16.90m	D-E (16.90)	X 6.71m = 113.40
TOTAL			25.00m = 423.09
GRADE CALCULATION			423.09 / 25.00m = 16.92m

R-2 ZONING ANALYSIS: HOUSE

LOT AREA: 523.3m²
FLOOR ELEVATIONS: BASEMENT: 14.21m
MAIN FLOOR: 17.00m
SECOND FLOOR: 20.09m

AVERAGE GRADE: 16.14m

F.S.R: ALLOWABLE 0.50 (261.7m²)
PROPOSED 0.47 (248.0m²)

GROSS FLOOR AREA: ALLOWABLE 129.2m² (EXEMPT)
PROPOSED 146.4m² 248.0m²
BASEMENT: 101.6m²
MAIN FLOOR: 280.0m²
SECOND FLOOR: 101.6m²
TOTAL: 380.0m²

LOT COVERAGE: ALLOWABLE 7.4% (38.8m²)
PROPOSED 32.6% (170.5m²)
HOUSE: 7.4% (38.8m²)
GARAGE: 40.0% (209.3m²)
TOTAL: 40.0% (209.3m²)

HEIGHT: ALLOWABLE 7.60m
PROPOSED 7.57m
HOUSE: 7.60m

SETBACKS: ALLOWABLE 5.35m 13.46m 3.06m 4.71m 1.65m
PROPOSED 5.44m 13.46m 3.06m 4.71m 1.65m
FRONT (NW): 5.35m
REAR (SE): 12.02m (35% LOT DEPTH)
SIDE (SW): 1.52m (10% LOT WIDTH) ≥4.50m
SIDE (NE): 1.52m (10% LOT WIDTH)

R-2 ZONING ANALYSIS: GARAGE

LOT AREA: 523.3m²
FLOOR ELEVATIONS: GARAGE: 17.00m
AVERAGE GRADE: 16.92m

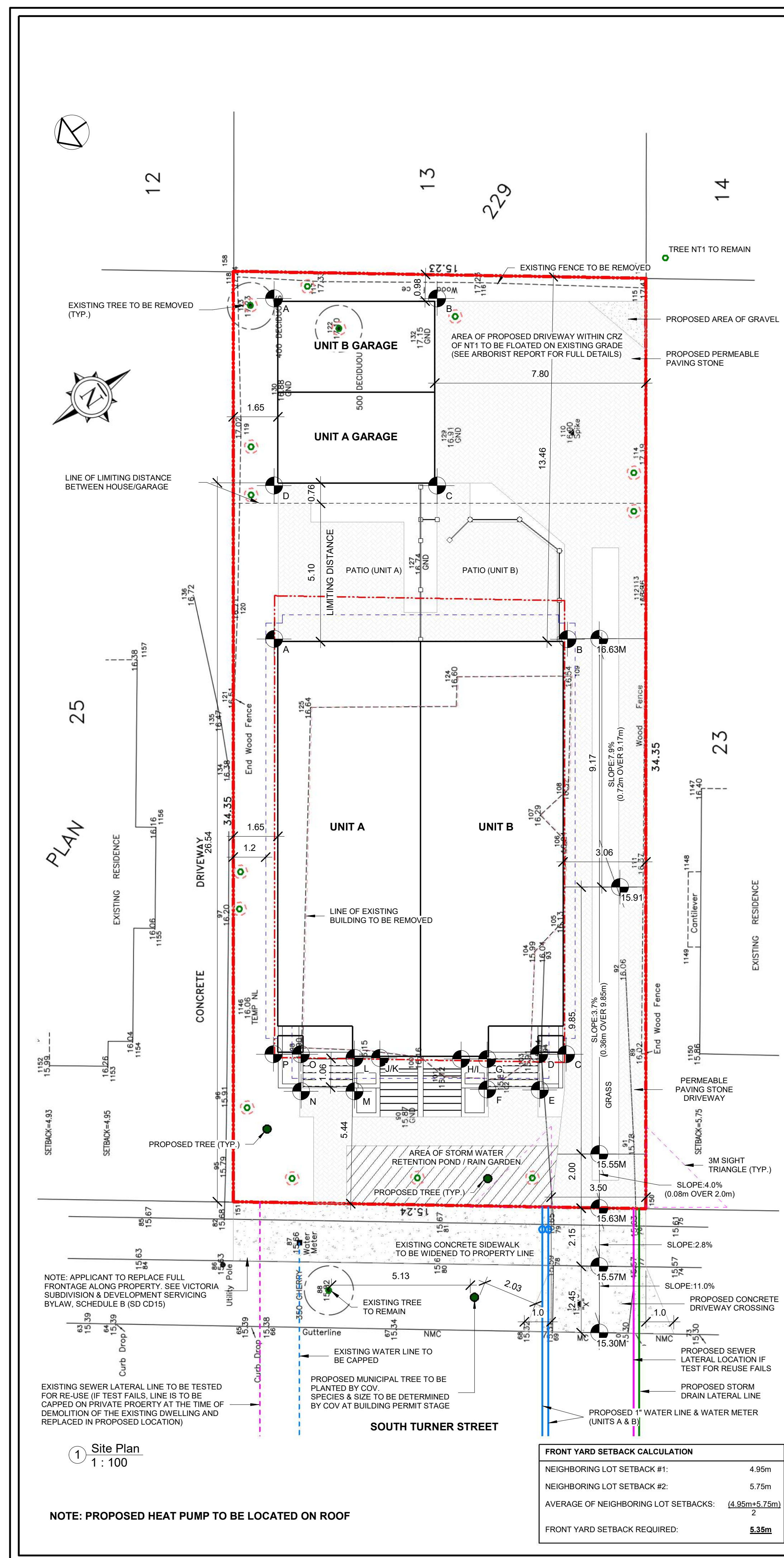
GROSS FLOOR AREA: ALLOWABLE 37.0m²
PROPOSED 35.1m²
GARAGE: 37.0m²

LOT COVERAGE: ALLOWABLE 7.4% (38.8m²)
PROPOSED 40.0% (209.3m²)
HOUSE: 32.6% (170.5m²)
GARAGE: 7.4% (38.8m²)
TOTAL: 40.0% (209.3m²)

LOT COVERAGE:(REAR YARD) ALLOWABLE 21.3% (38.8m²)
PROPOSED 21.3% (38.8m²)
GARAGE: 25.0% OF REAR YARD (45.5m²)

HEIGHT: ALLOWABLE 3.50m
PROPOSED 3.41m
GARAGE: 3.50m

SETBACKS: ALLOWABLE N/A 0.60m 7.80m 1.65m
PROPOSED N/A 0.60m 7.80m 1.65m
FRONT (NW): N/A
REAR (SE): 0.60m
SIDE (SW): 7.80m
SIDE (NE): 0.60m



GENERAL NOTES:

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3. The Contractor shall work with a B.C.L.S. to verify correct placement, siting and elevation of the proposed buildings or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to siting, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HDC of any changes to the design required by the Structural Engineer, trade manufacturer or other engineer component supplier.

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Site Plan & Zoning Analysis

A0.0

1 Site Plan
1 : 100

NOTE: PROPOSED HEAT PUMP TO BE LOCATED ON ROOF

FRONT YARD SETBACK CALCULATION

NEIGHBORING LOT SETBACK #1:	4.95m
NEIGHBORING LOT SETBACK #2:	5.75m
AVERAGE OF NEIGHBORING LOT SETBACKS:	$\frac{4.95m+5.75m}{2}$
FRONT YARD SETBACK REQUIRED:	5.35m



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Development Perspectives

A1.0



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Street**

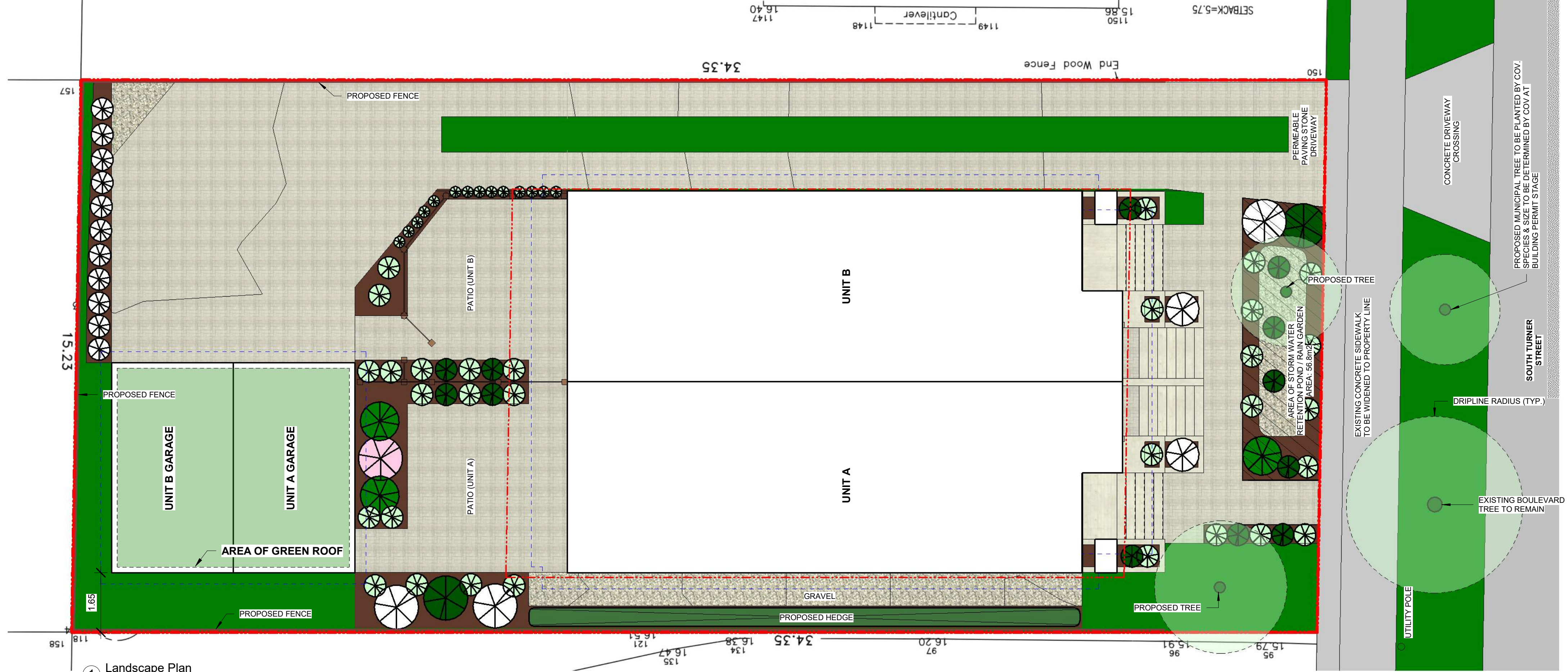
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Development
Perspectives

A1.1



1 Landscape Plan
1:75

OPEN SITE SPACE CALC (OVERALL)	
LOT AREA:	523.3m ²
PERCENTAGE OF OPEN SITE SPACE REQUIRED:	30.0%
AREA OF OPEN SITE SPACE REQUIRED:	157.0m ² (523.3m ² × 0.30)
AREA OF OPEN SITE SPACE PROPOSED:	176.6m ²
PERCENTAGE OF OPEN SITE SPACE PROPOSED:	33.7%

OPEN SITE SPACE CALC (REAR YARD)	
AREA OF REAR YARD:	182.1m ²
PERCENTAGE OF OPEN SITE SPACE REQUIRED:	33.0%
AREA OF OPEN SITE SPACE REQUIRED:	60.1m ² (182.1m ² × 0.33)
AREA OF OPEN SITE SPACE PROPOSED:	74.4m ²
PERCENTAGE OF OPEN SITE SPACE PROPOSED:	40.9%

LOT SURFACE AREAS	
TOTAL LOT AREA:	523.3m ²
AREA OF IMPERVIOUS SITE SPACE:	38.5m ²
HOUSE: (GREEN ROOF)	171.0m ²
GARAGE: (GREEN ROOF)	209.8m ²
AREA OF PERMEABLE SITE SPACE:	188.6m ²
AREA OF STORM WATER RETENTION POND:	16.9m ²
AREA OF GRASS / PLANTINGS:	108.0m ²

LIGHTING NOTES	
1.	ALL LANDSCAPE LIGHTING ON PATHWAYS AND EGRESS ROUTES ONLY.
2.	LANDSCAPE LIGHTING ON PATHWAYS AND EGRESS ROUTES ONLY.
3.	ALL BUILDING EXTERIOR LIGHTING TO BE SOFFIT AND/OR TOP SHADE WALL MOUNTED FIXTURES.
4.	NO WALL WASH / UP-LIGHTING PROPOSED.

LANDSCAPE LEGEND

ORNAMENTAL PAMPAS GRASS

NOOTKA ROSE

KARL FOERSTER REED GRASS

YEW

AGAVE

BLUE FESCUE ORNAMENTAL GRASS

Category	Color/Pattern
GRASS	Light Green
TREES/SHRUBS	Dark Green
PROPOSED STRUCTURE	White
GARDEN AREA	Light Brown
ASPHALT	Dark Grey
CONCRETE	Light Grey
PERMEABLE PAVING STONE	Patterned Grey
GRAVEL	Patterned Brown

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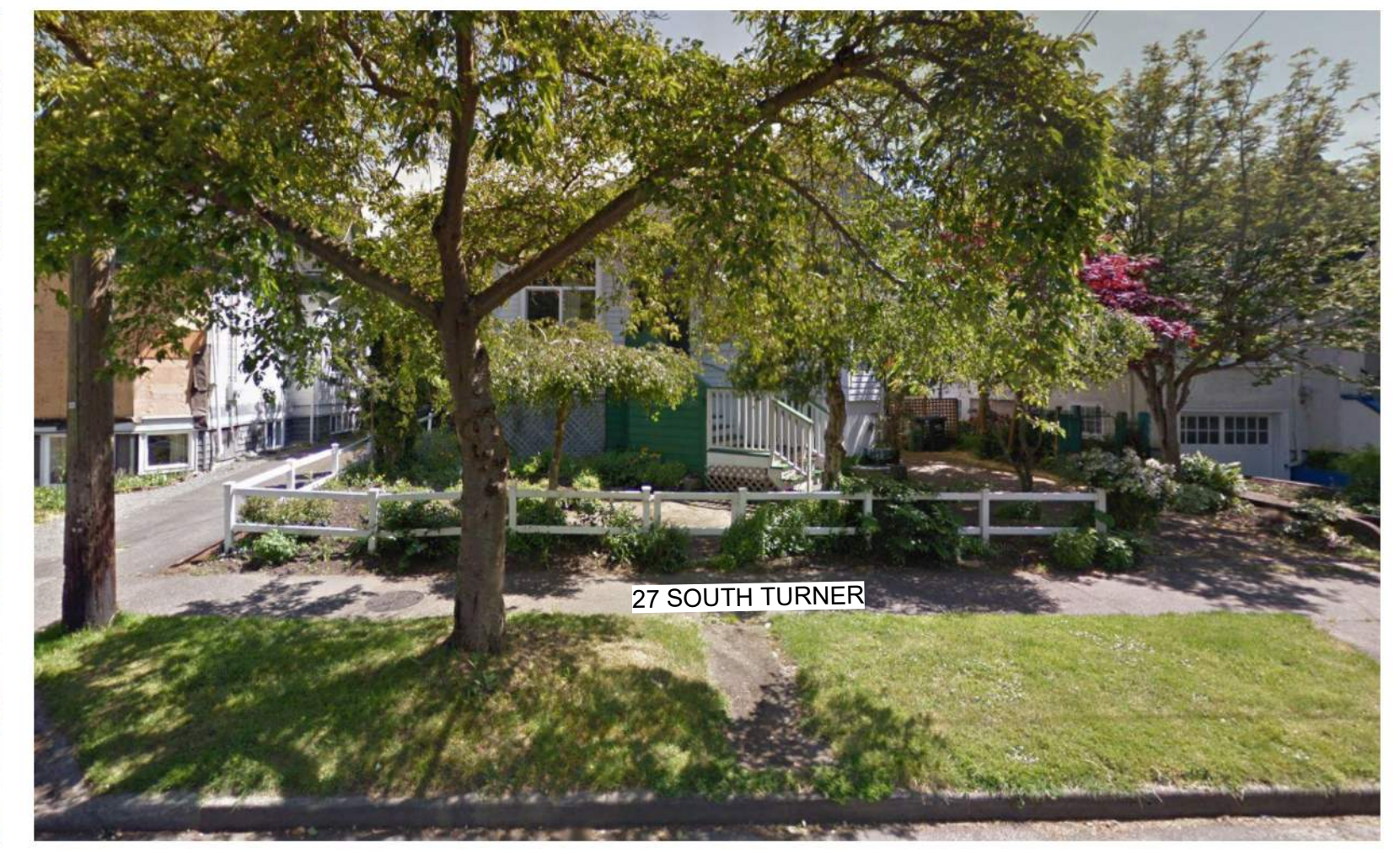
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4 Streetscape
3/16" = 1'-0"

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Landscape & Streetscape Plans

A1.2

FRAMING NOTES:

- ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
- ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
- ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
- ALL LINTELS TO BE 2-PLY 2X10 U.L.O.
- ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
- ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
- TYPICAL DOOR / WINDOW HEAD HEIGHT:
BASEMENT: 7'
MAIN FLOOR: 8'
SECOND FLOOR: 8'
- ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER, FIELD TREAT ALL CUTS
- DESIGN LOADS:
Ss: 2.1kPa
Sr: 0.3kPa
VICTORIA:

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**NW ELEVATION (UNIT A)
SPACIAL SEPARATION**

AREA OF EXPOSING BUILDING FACE:	30.8m2
LIMITING DISTANCE:	5.44m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	50.5%
AREA OF GLAZED OPENINGS ALLOWABLE: (30.8m2*0.505)	15.6m2
AREA OF GLAZED OPENINGS PROPOSED:	8.8m2
PERCENTAGE OF GLAZED AREA PROPOSED:	28.6%

**NW ELEVATION (UNIT B)
SPACIAL SEPARATION**

AREA OF EXPOSING BUILDING FACE:	30.8m2
LIMITING DISTANCE:	5.44m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	50.5%
AREA OF GLAZED OPENINGS ALLOWABLE: (30.8m2*0.505)	15.6m2
AREA OF GLAZED OPENINGS PROPOSED:	8.8m2
PERCENTAGE OF GLAZED AREA PROPOSED:	28.6%

ELEVATION NOTES LEGEND

- ASPHALT SINGLE ROOFING
- 2-PLY MOD. BIT ROOFING
- FIBRE CEMENT LAP SIDING
- FIBRE CEMENT PANEL C/W FIBRE CEMENT BATTEN @ 16" O/C
- BRICK VENEER
- ALUMINUM GUARD RAIL WITH STAINLESS CABLES

EXTERIOR FINISH NOTES

SOFFIT:	TYPICAL EAVE:	VENTED ALUMINUM OR VINYL
	UIS OF COVERED PATIO/ENTRY:	VENTED ALUMINUM OR VINYL
GUTTERS:	5" CONTINUOUS ALUMINUM C/W 4" X 3" ALUMINUM DOWNSPIPE	
FASCIA BOARDS:	FASCIA GUTTER	
CORNER BOARDS:	1X4 PAINTED COMB FACE SPF	
WINDOW TRIM:	FIBRE CEMENT LAP:	2X3 PAINTED COMB FACE SPF SILL, TOP AND SIDES
	CORRUGATED METAL:	PREFINISHED METAL
	STONE VENEER:	PREFINISHED METAL
DOOR TRIMS:	FIBRE CEMENT LAP:	2X3 PAINTED COMB FACE SPF TOP AND SIDES
	CORRUGATED METAL:	PREFINISHED METAL
	STONE VENEER:	PREFINISHED METAL

**SW ELEVATION
SPACIAL SEPARATION**

AREA OF EXPOSING BUILDING FACE:	84.9m2
LIMITING DISTANCE:	3.12m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	13.5%
AREA OF GLAZED OPENINGS ALLOWABLE: (84.9m2*0.135)	11.5m2
AREA OF GLAZED OPENINGS PROPOSED:	6.7m2
PERCENTAGE OF GLAZED AREA PROPOSED:	7.9%



FLOOR AREA

BASEMENT:	1391 SF
MAIN FLOOR:	1576 SF
SECOND FLOOR:	1094 SF
TOTAL BUILDING SF:	4061 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



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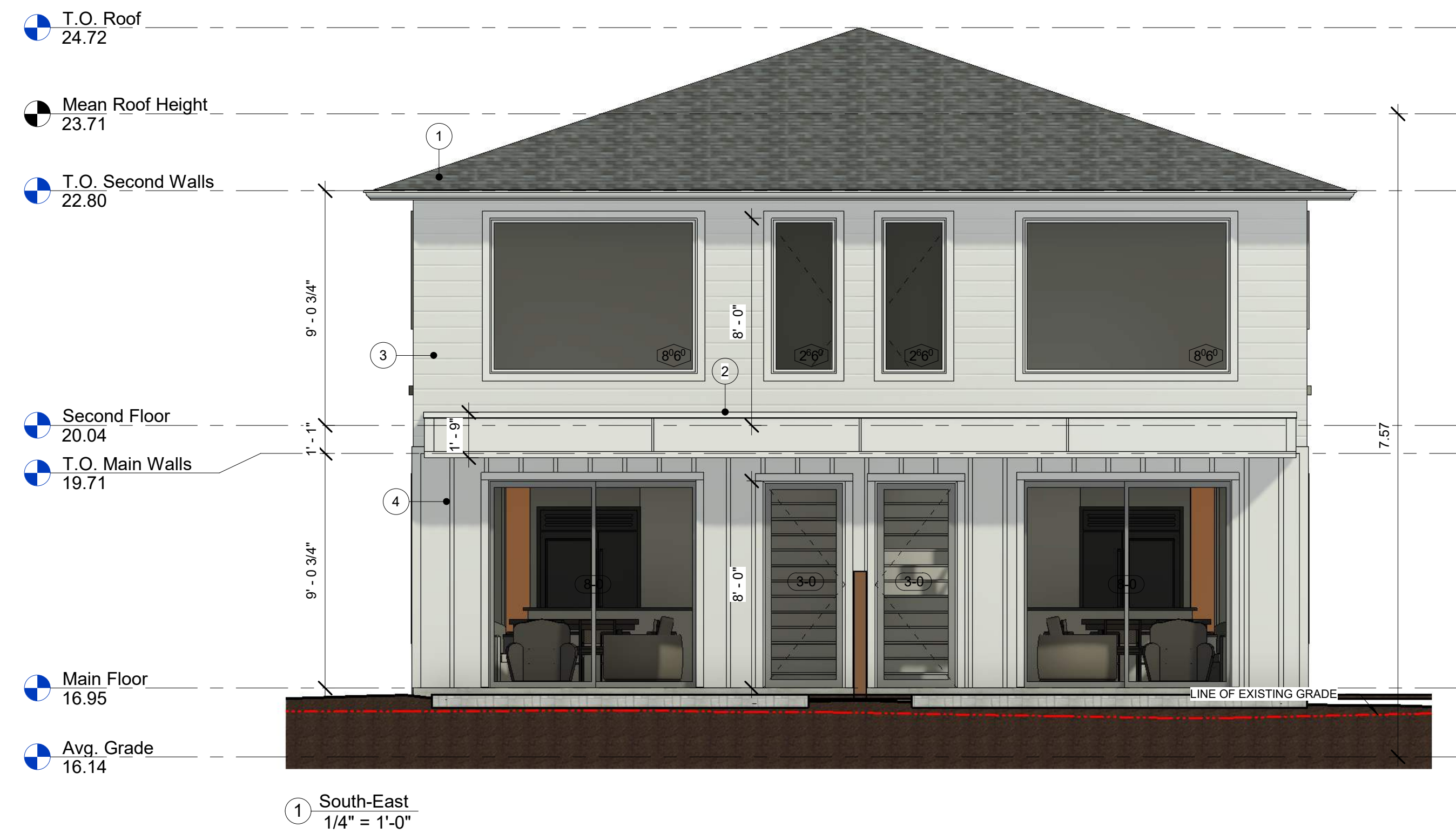
Elevations

A2.1

FRAMING NOTES:

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- ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
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VICORIA: Sr: 2.1kPa
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SE ELEVATION (UNIT A) SPACIAL SEPARATION

AREA OF EXPOSING BUILDING FACE:	30.8m2
LIMITING DISTANCE:	5.10m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	50.5%
AREA OF GLAZED OPENINGS ALLOWABLE:	15.6m2 (30.8m2*0.505)
AREA OF GLAZED OPENINGS PROPOSED:	12.1m2
PERCENTAGE OF GLAZED AREA PROPOSED:	39.2%

SE ELEVATION (UNIT B) SPACIAL SEPARATION

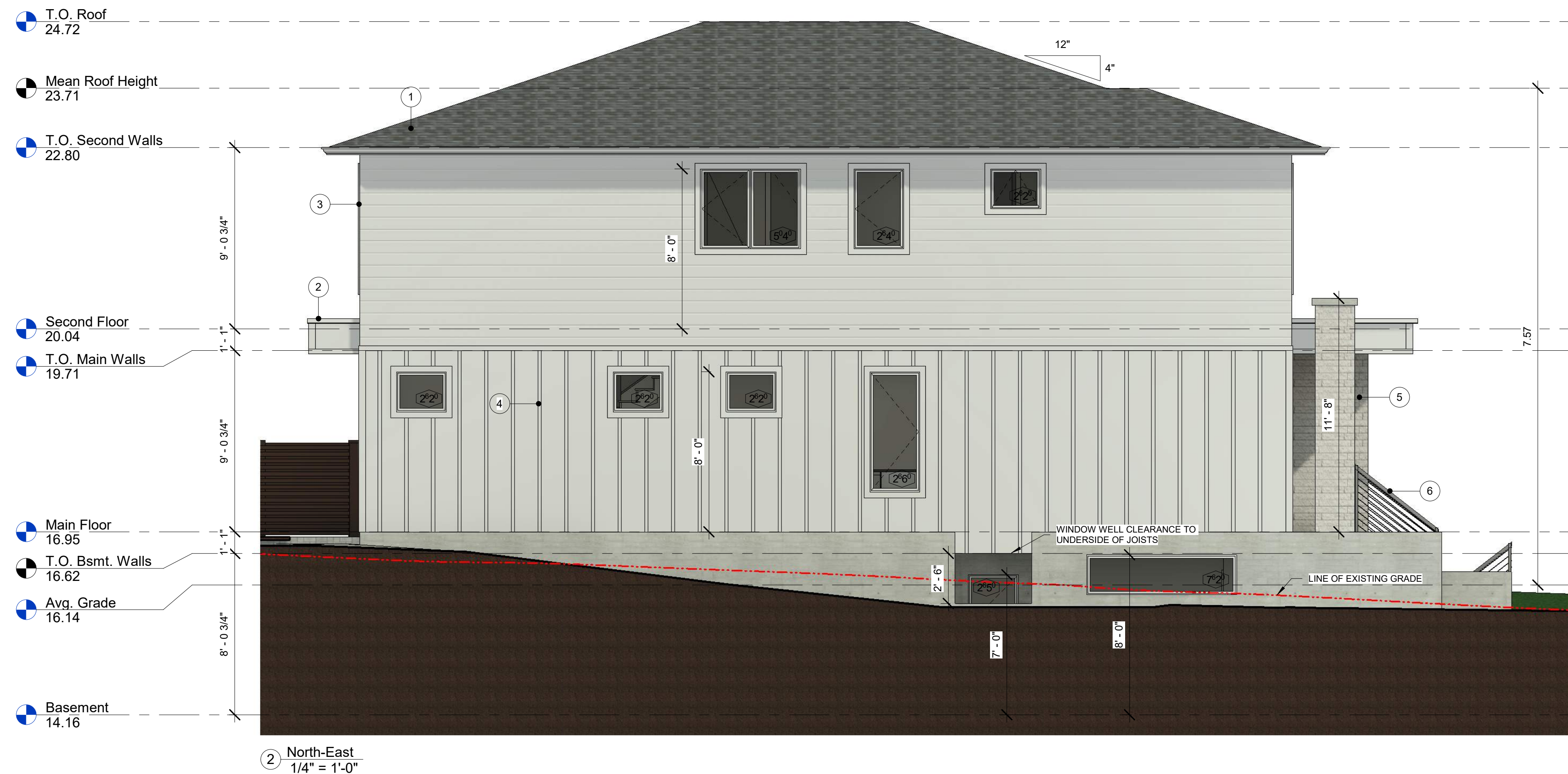
AREA OF EXPOSING BUILDING FACE:	30.8m2
LIMITING DISTANCE:	5.10m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	50.5%
AREA OF GLAZED OPENINGS ALLOWABLE:	15.6m2 (30.8m2*0.505)
AREA OF GLAZED OPENINGS PROPOSED:	12.1m2
PERCENTAGE OF GLAZED AREA PROPOSED:	39.2%

- ELEVATION NOTES LEGEND**
- 1 ASPHALT SINGLE ROOFING
 - 2 2-PLY MOD. BIT ROOFING
 - 3 FIBRE CEMENT LAP SIDING
 - 4 FIBRE CEMENT PANEL C/W FIBRE CEMENT BATTEN @ 16" O/C
 - 5 BRICK VENEER
 - 6 ALUMINUM GUARD RAIL WITH STAINLESS CABLES

- EXTERIOR FINISH NOTES**
- SOFFIT: TYPICAL EAVE: VENTED ALUMINUM OR VINYL
U/S OF COVERED PATIO/ENTRY: VENTED ALUMINUM OR VINYL
- GUTTERS: 5" CONTINUOUS ALUMINUM C/W 4" X 3" ALUMINUM DOWNSPIPE
- FASCIA BOARDS: FASCIA GUTTER
- CORNER BOARDS: 1X4 PAINTED COMB FACE SPF
- WINDOW TRIM: FIBRE CEMENT LAP: 2X3 PAINTED COMB FACE SPF SILL, TOP AND SIDES
CORRUGATED METAL: PREFINISHED METAL
STONE VENEER: PREFINISHED METAL
- DOOR TRIMS: FIBRE CEMENT LAP: 2X3 PAINTED COMB FACE SPF TOP AND SIDES
CORRUGATED METAL: PREFINISHED METAL
STONE VENEER: PREFINISHED METAL

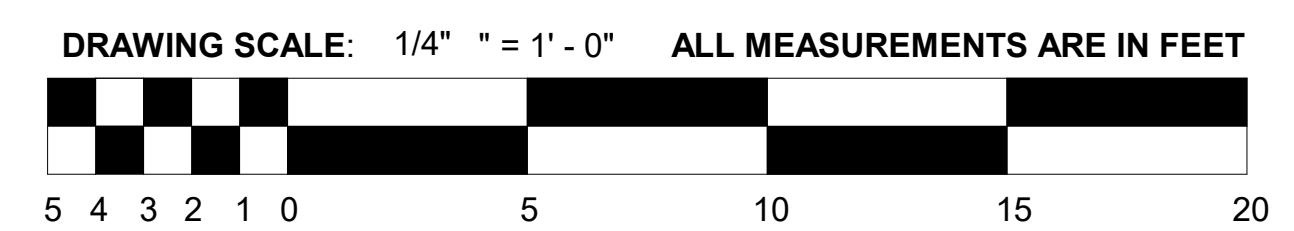
NORTHEAST ELEVATION SPACIAL SEPARATION

AREA OF EXPOSING BUILDING FACE:	84.9m2
LIMITING DISTANCE: (TO GARAGE):	1.61m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	8.0%
AREA OF GLAZED OPENINGS ALLOWABLE:	6.8m2 (84.9m2*0.08)
AREA OF GLAZED OPENINGS PROPOSED:	6.7m2
PERCENTAGE OF GLAZED AREA PROPOSED:	7.9%



FLOOR AREA

BASEMENT:	1391 SF
MAIN FLOOR:	1576 SF
SECOND FLOOR:	1094 SF
TOTAL BUILDING SF:	4061 SF



PROJECT

27 South Turner Street

202144

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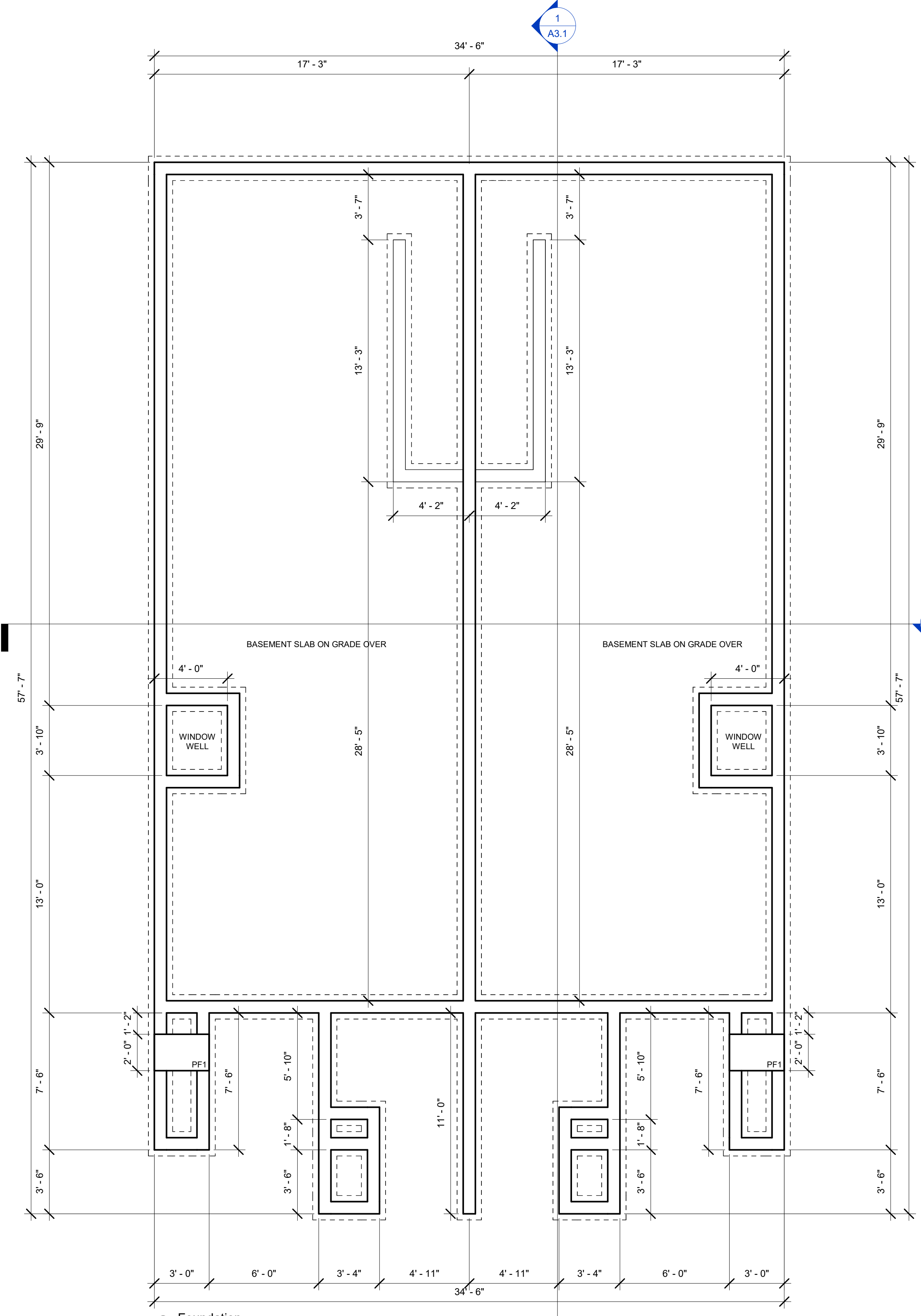
Date:	Description:	No.:
21Dec16	Dev. Permit Rev.2	7
22June24	Dev. Permit Rev.3	8
22Oct04	Dev. Permit Rev.4	9
22Oct13	Dev. Permit Rev.5	10
22Oct17	Dev. Permit Rev.6	11
22Nov17	Dev. Permit Rev.7	12
22Dec09	Dev. Permit Rev.8	13

Elevations

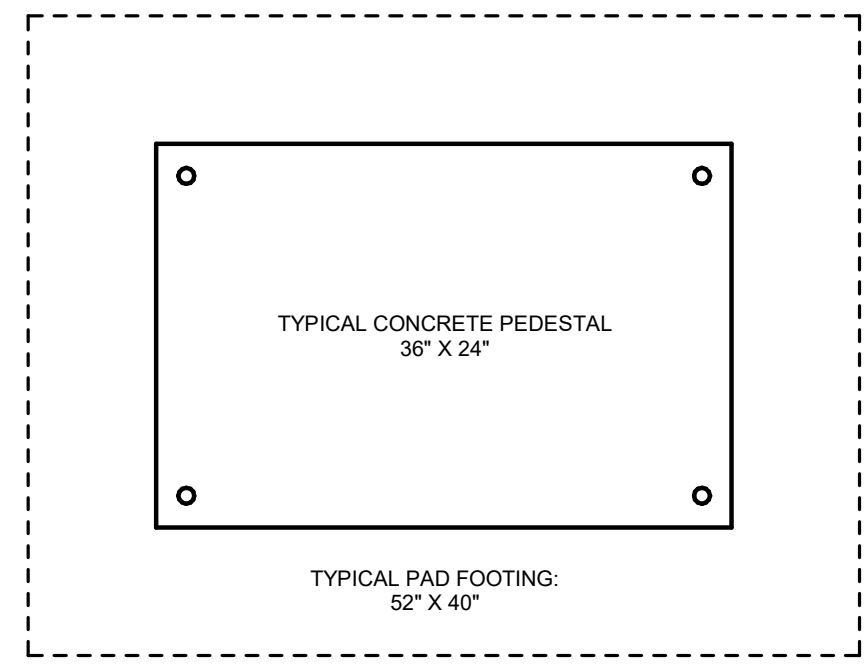
A2.2

- FRAMING NOTES:**
- ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
 - ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
 - ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
 - ALL LINTELS TO BE 2-PLY 2X10 U.N.O.
 - ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
 - TYPICAL DOOR / WINDOW HEAD HEIGHT:
BASEMENT: 7'
MAIN FLOOR: 8'
SECOND FLOOR: 8'
 - ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
 - DESIGN LOADS:
VICORIA: Ss: 2.1kPa
Sr: 0.3kPa

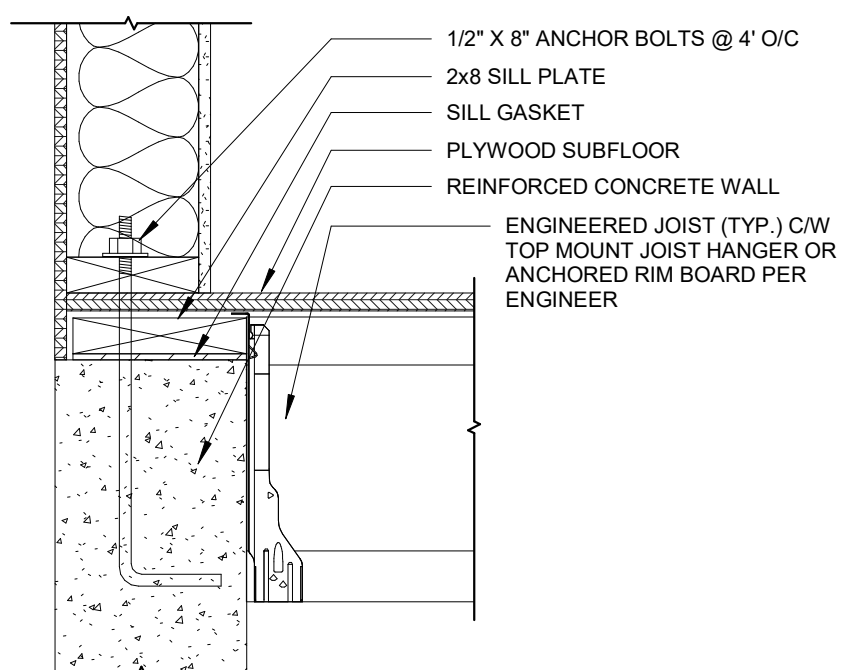
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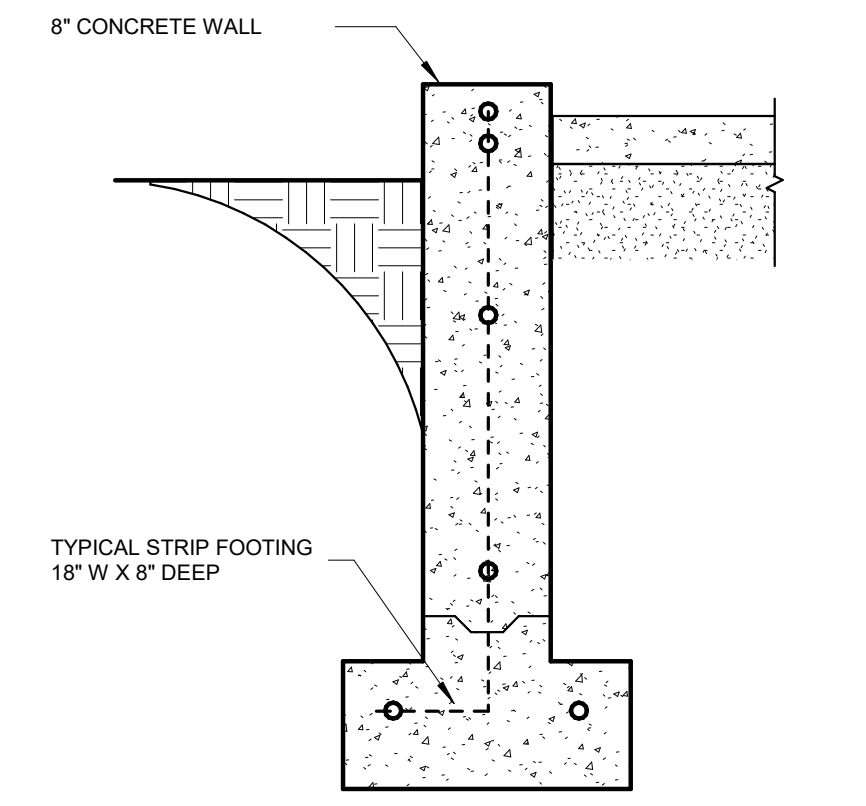
1 Foundation
1/4" = 1'-0"



2 Foundation - Pad (PF1)
1" = 1'-0"



3 Foundation - Flush Joist
1 1/2" = 1'-0"



4 Foundation - Strip
1" = 1'-0"

PLAN LEGEND

WALL	
FIRE RATED WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
SIC DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

FLOOR AREA

BASEMENT:	1391 SF
MAIN FLOOR:	1576 SF
SECOND FLOOR:	1094 SF
TOTAL BUILDING SF:	4061 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



PROJECT

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202144

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Foundation Plan

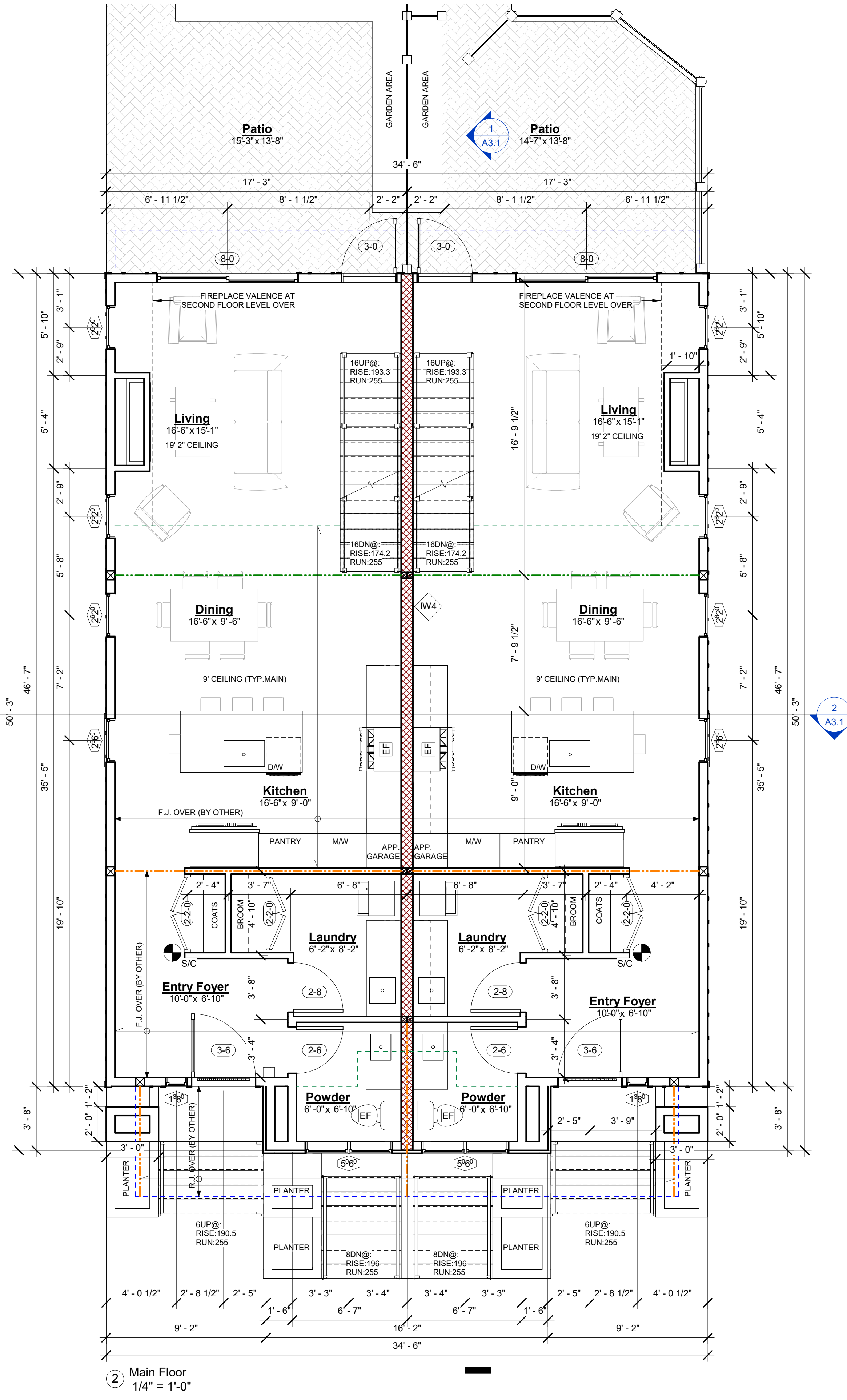
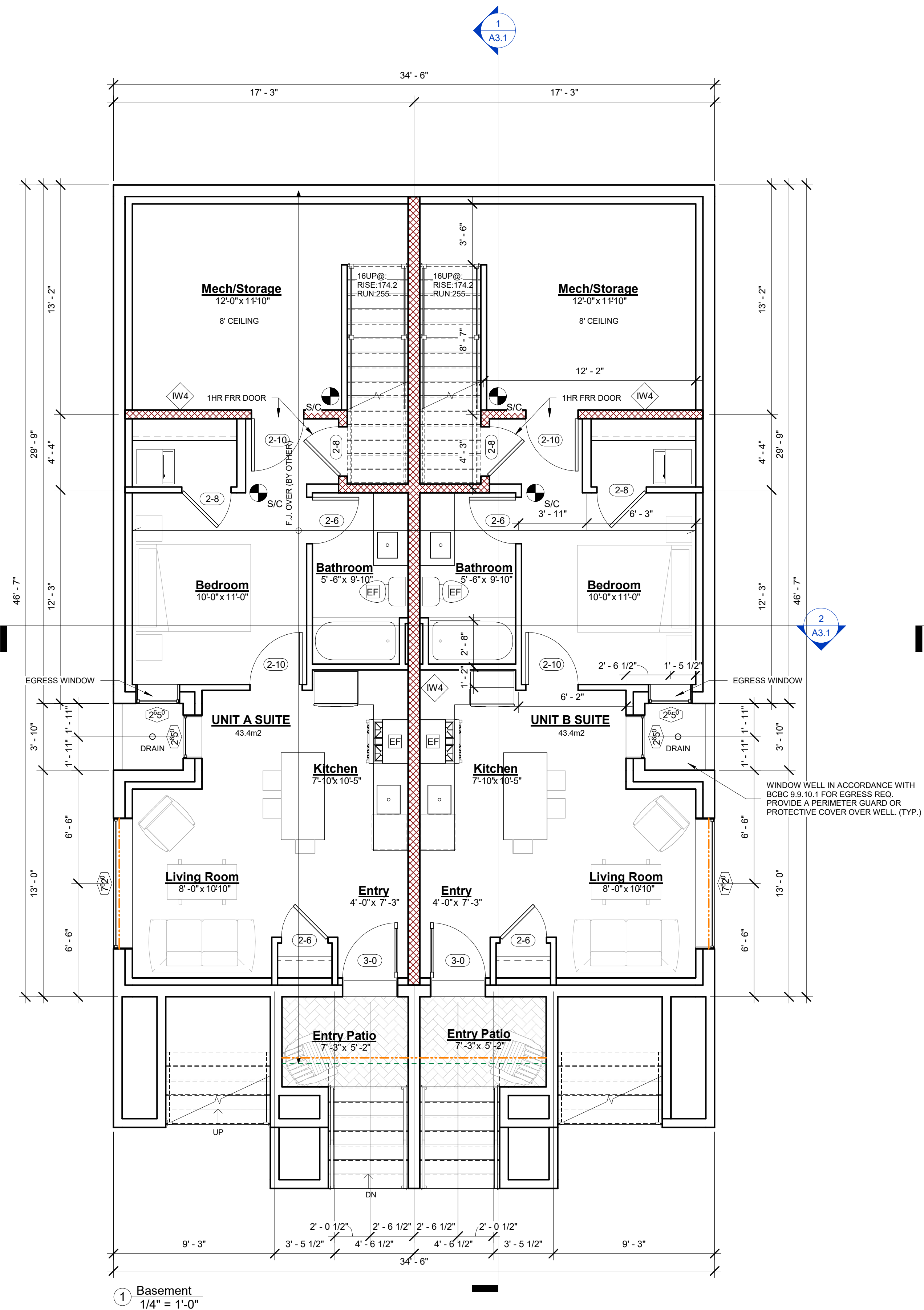
A2.3

- FRAMING NOTES:**
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 - ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
 - ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
 - ALL LINTELS TO BE 2-PLY 2X10 U.N.O.
 - ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
 - TYPICAL DOOR / WINDOW HEAD HEIGHT:
 - BASEMENT: 7'
 - MAIN FLOOR: 8'
 - SECOND FLOOR: 8'
 - ALL INTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
 - DESIGN LOADS:
VICTORIA: Ss: 2.1kPa
Sr: 0.3kPa

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PLAN LEGEND

- WALL: [Symbol]
- FIRE RATED WALL: [Symbol]
- ROOF OVER: [Symbol]
- FLOOR OVER: [Symbol]
- DECK OVER: [Symbol]
- WALL BELOW: [Symbol]
- POST: [Symbol]
- FLUSH BEAM OVER: [Symbol]
- DROP BEAM OVER: [Symbol]
- GIRDER TRUSS OVER: [Symbol]
- S/C DETECTOR: [Symbol]
- DOOR SIZE: [Symbol]
- WINDOW SIZE: [Symbol]
- JOIST SPAN DIRECTION: [Symbol]
- LINE OF INTERIOR VAULT: [Symbol]



DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



FLOOR AREA

BASEMENT:	1391 SF
MAIN FLOOR:	1576 SF
SECOND FLOOR:	1094 SF
TOTAL BUILDING SF:	4061 SF

PROJECT

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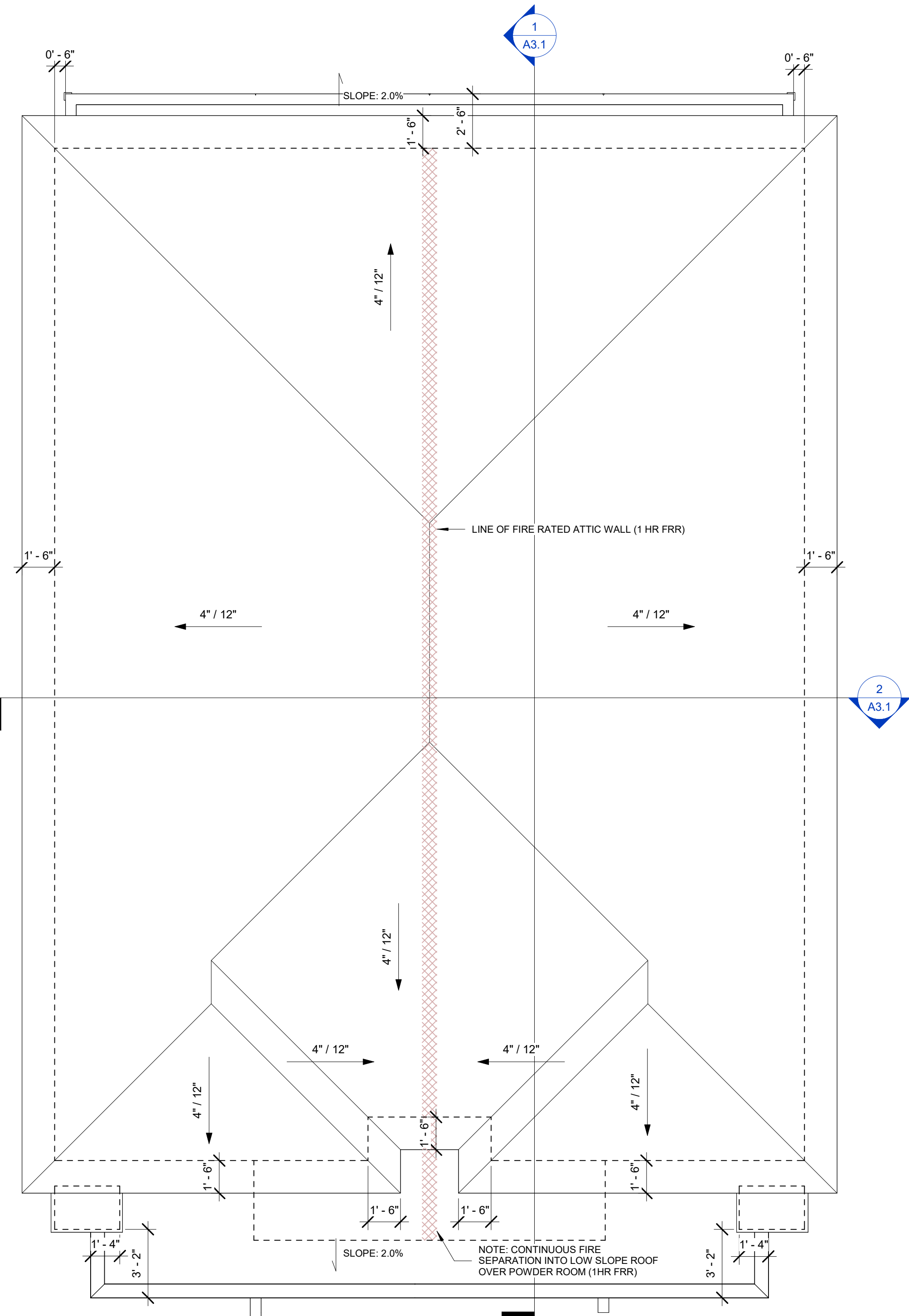
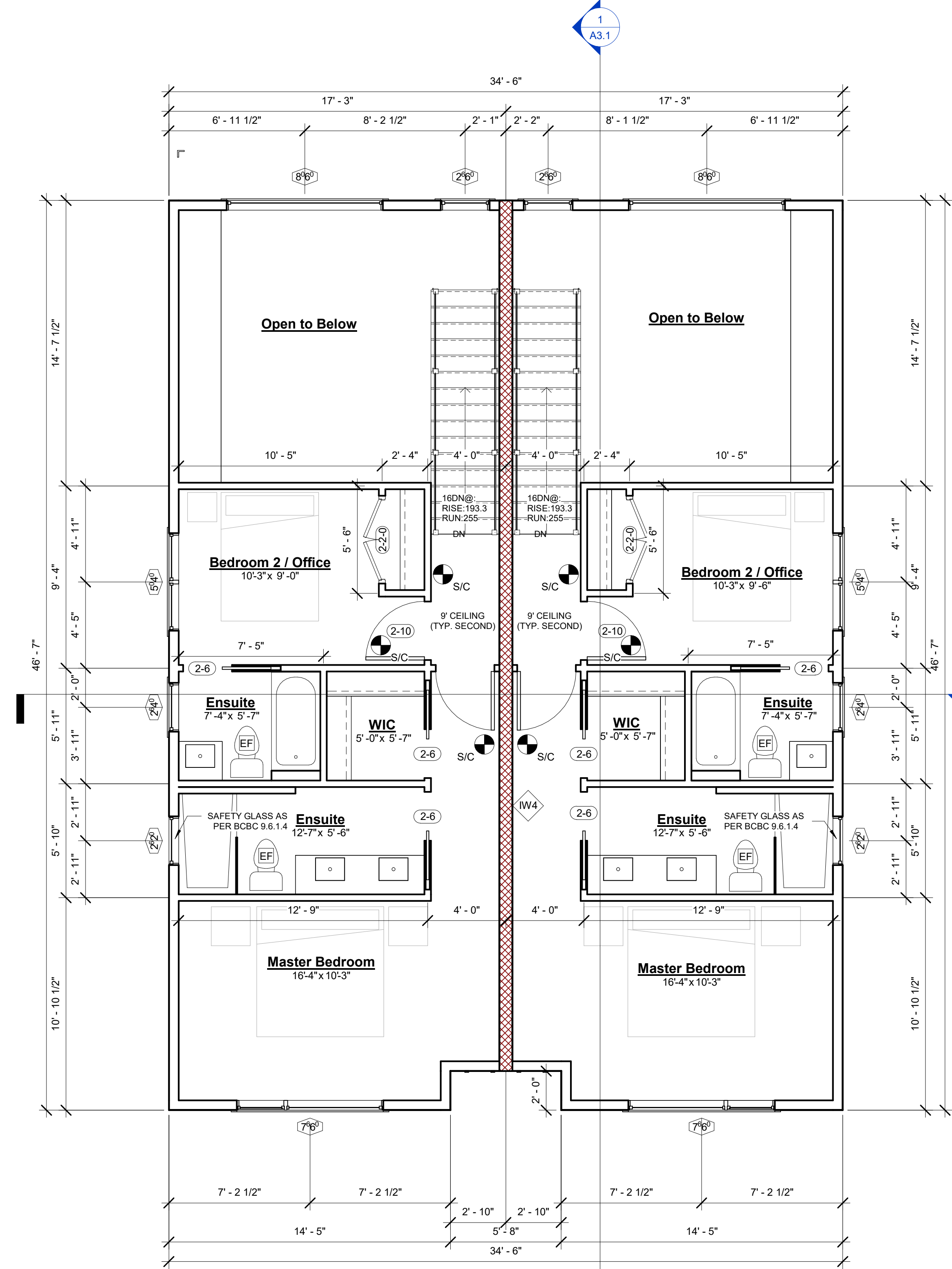
Basement & Main Floor Plan

- FRAMING NOTES:**
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 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
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MAIN FLOOR: 8'
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 - DESIGN LOADS:
VICTORIA: Ss: 2.1kPa
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PLAN LEGEND

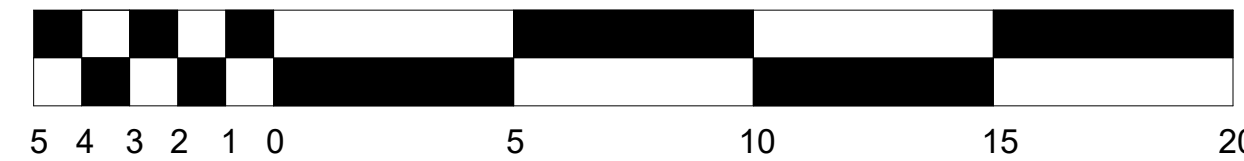
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FIRE RATED WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	



FLOOR AREA

BASEMENT:	1391 SF
MAIN FLOOR:	1576 SF
SECOND FLOOR:	1094 SF
TOTAL BUILDING SF:	4061 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET



PROJECT
27 South Turner Street
202144

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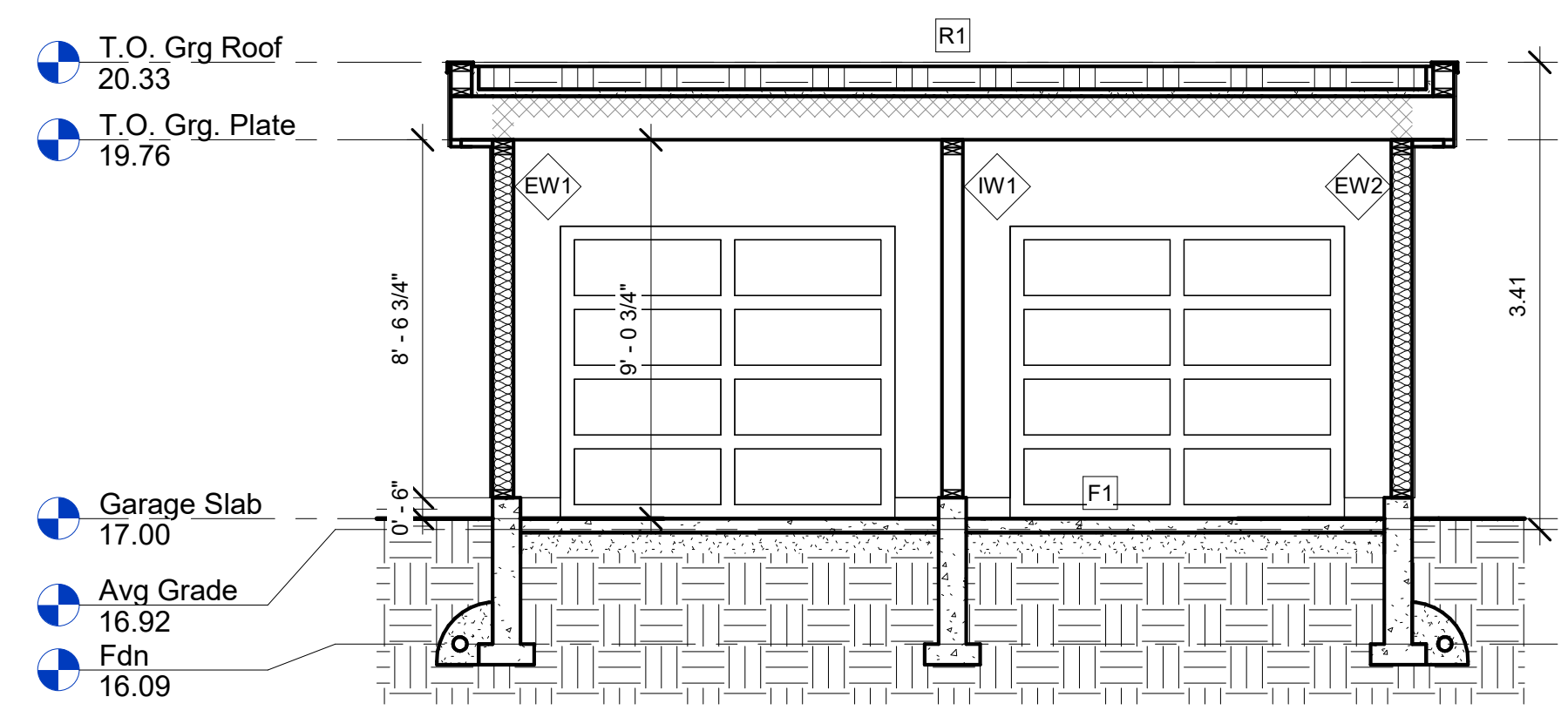
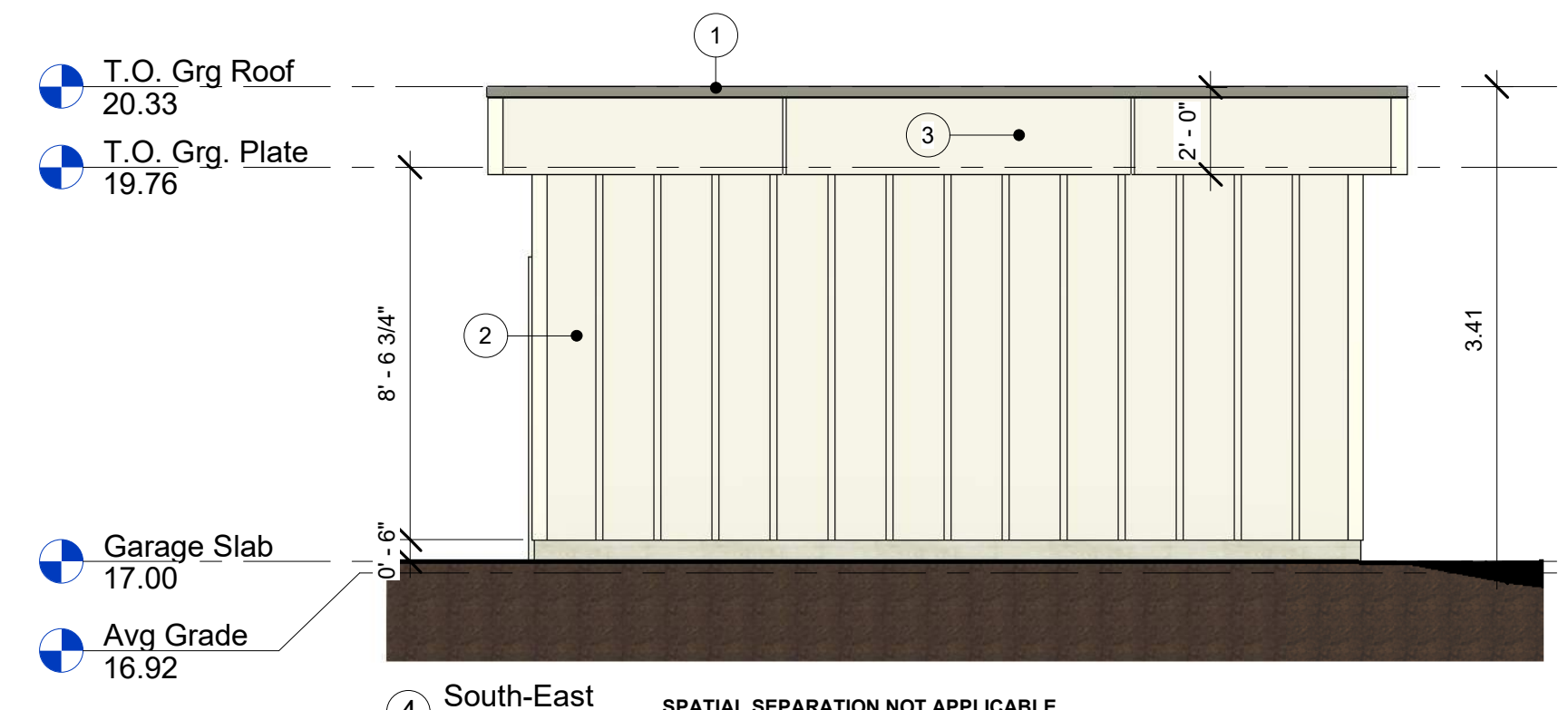
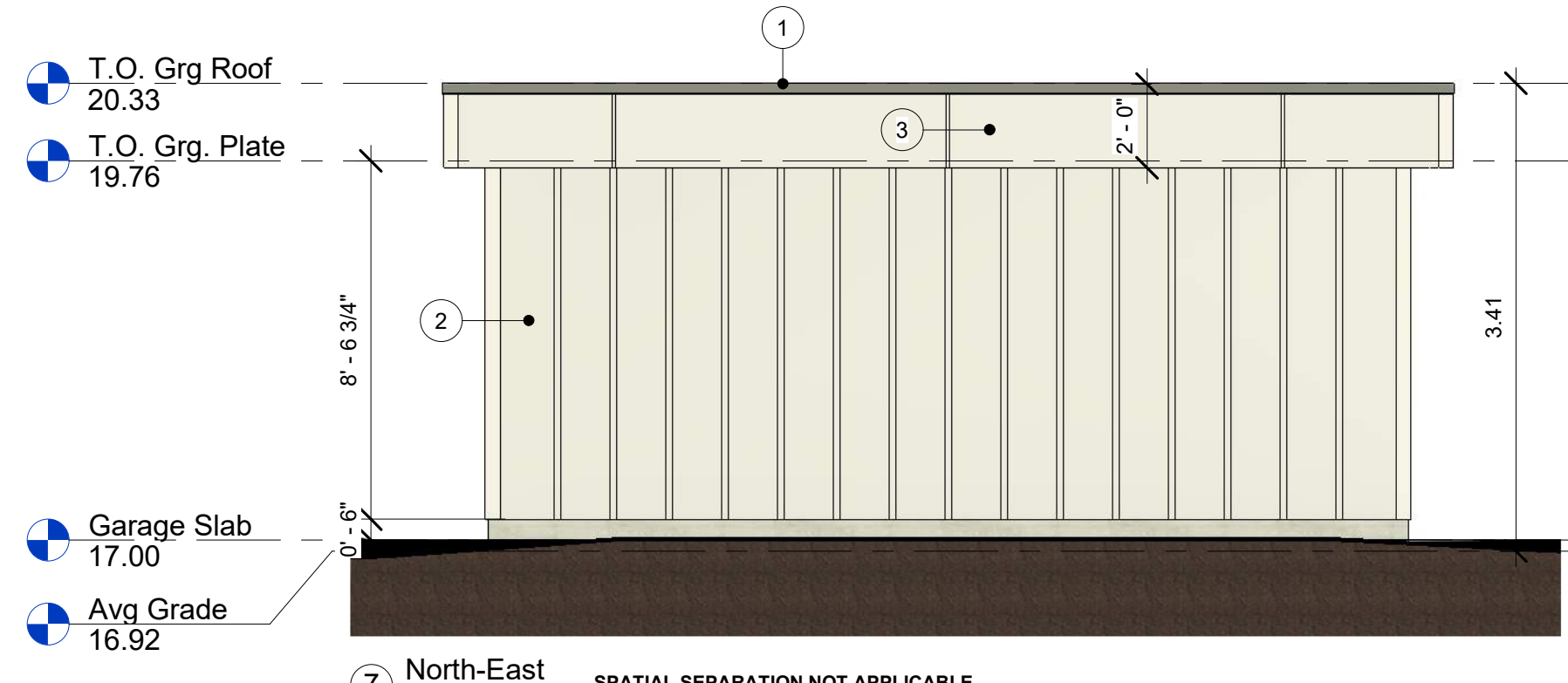
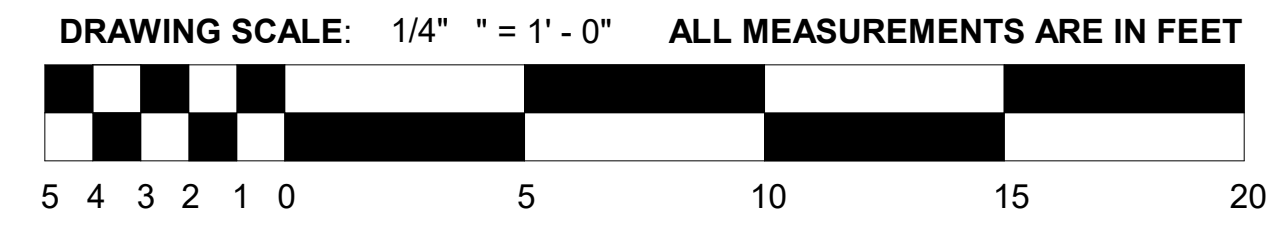
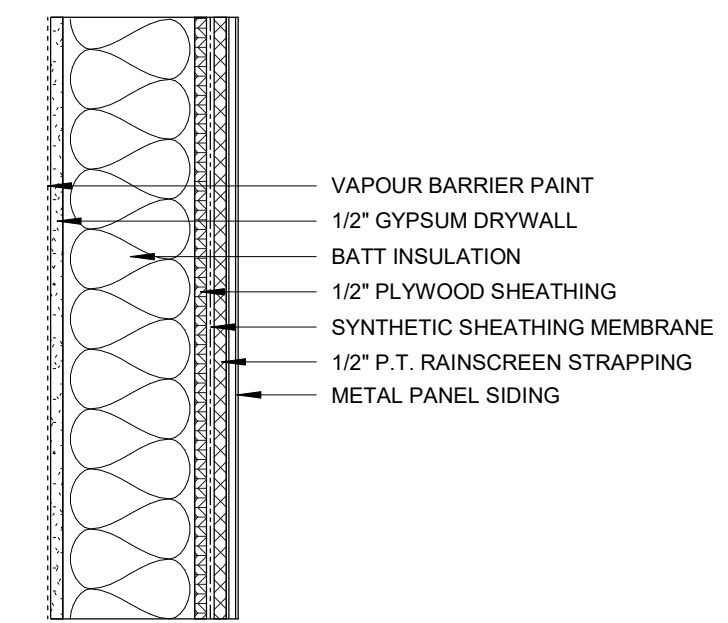
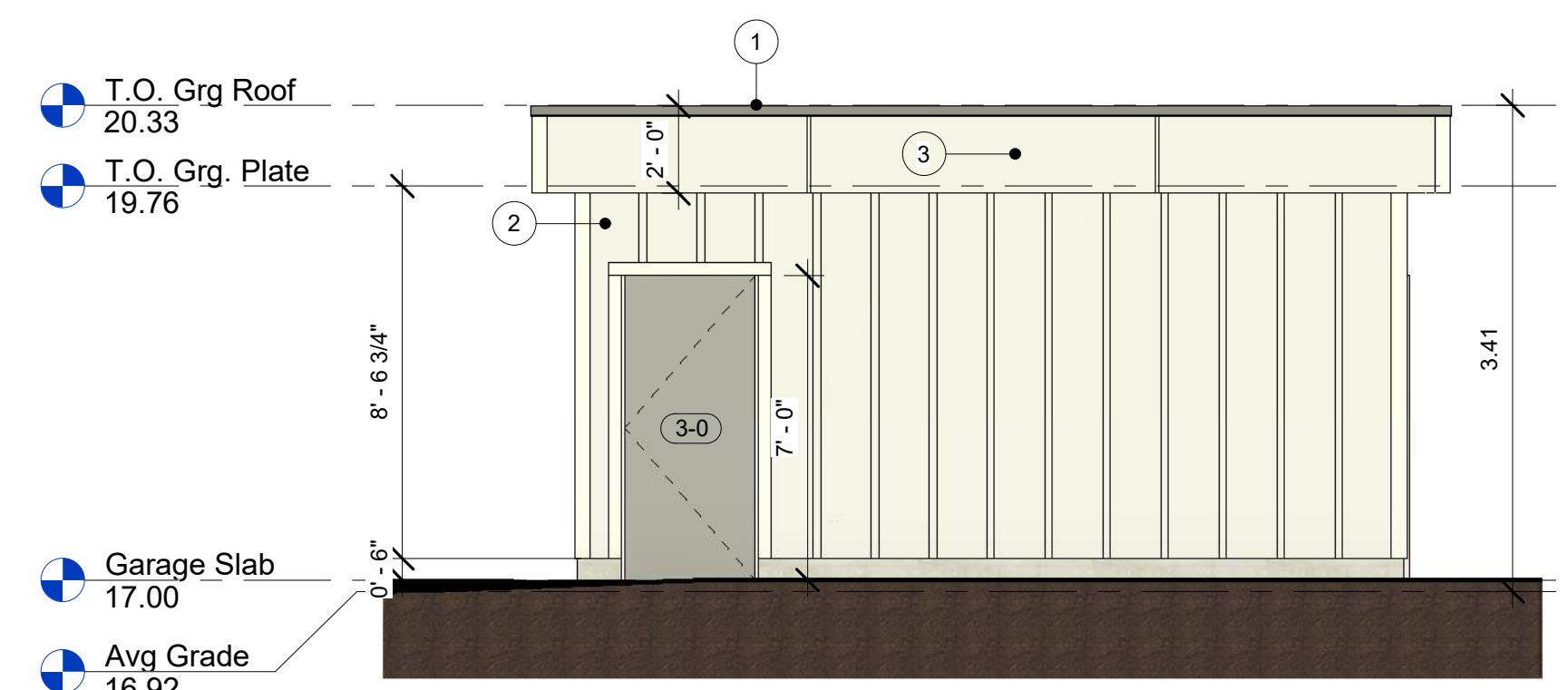
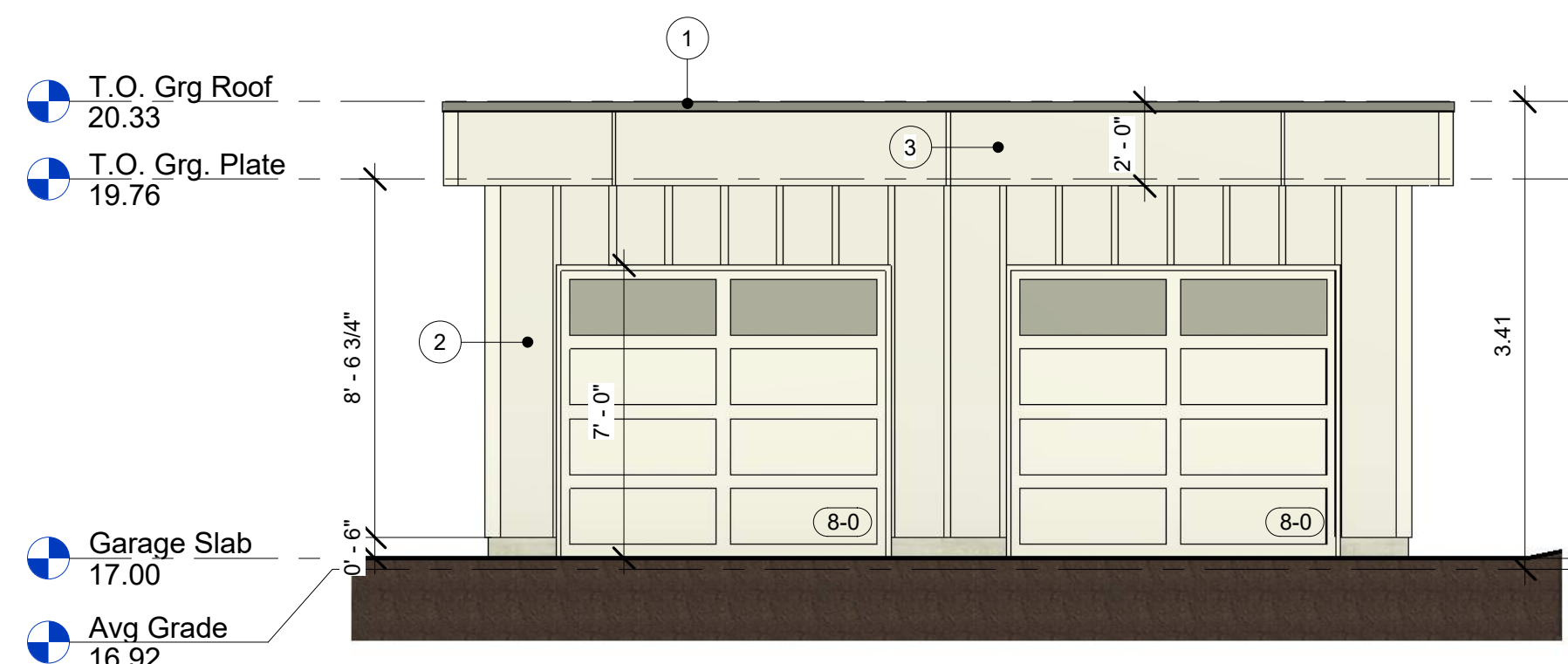
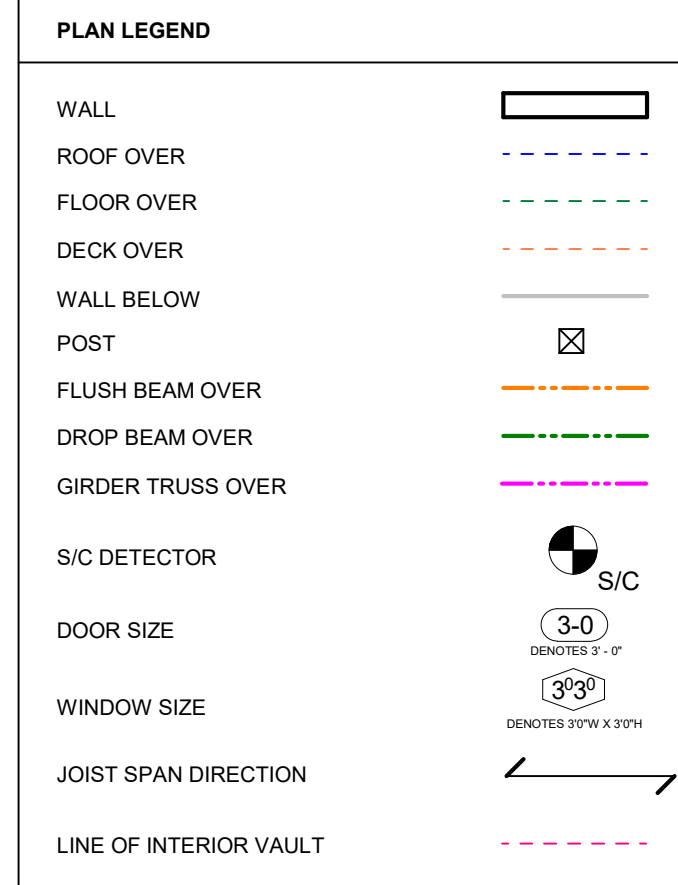
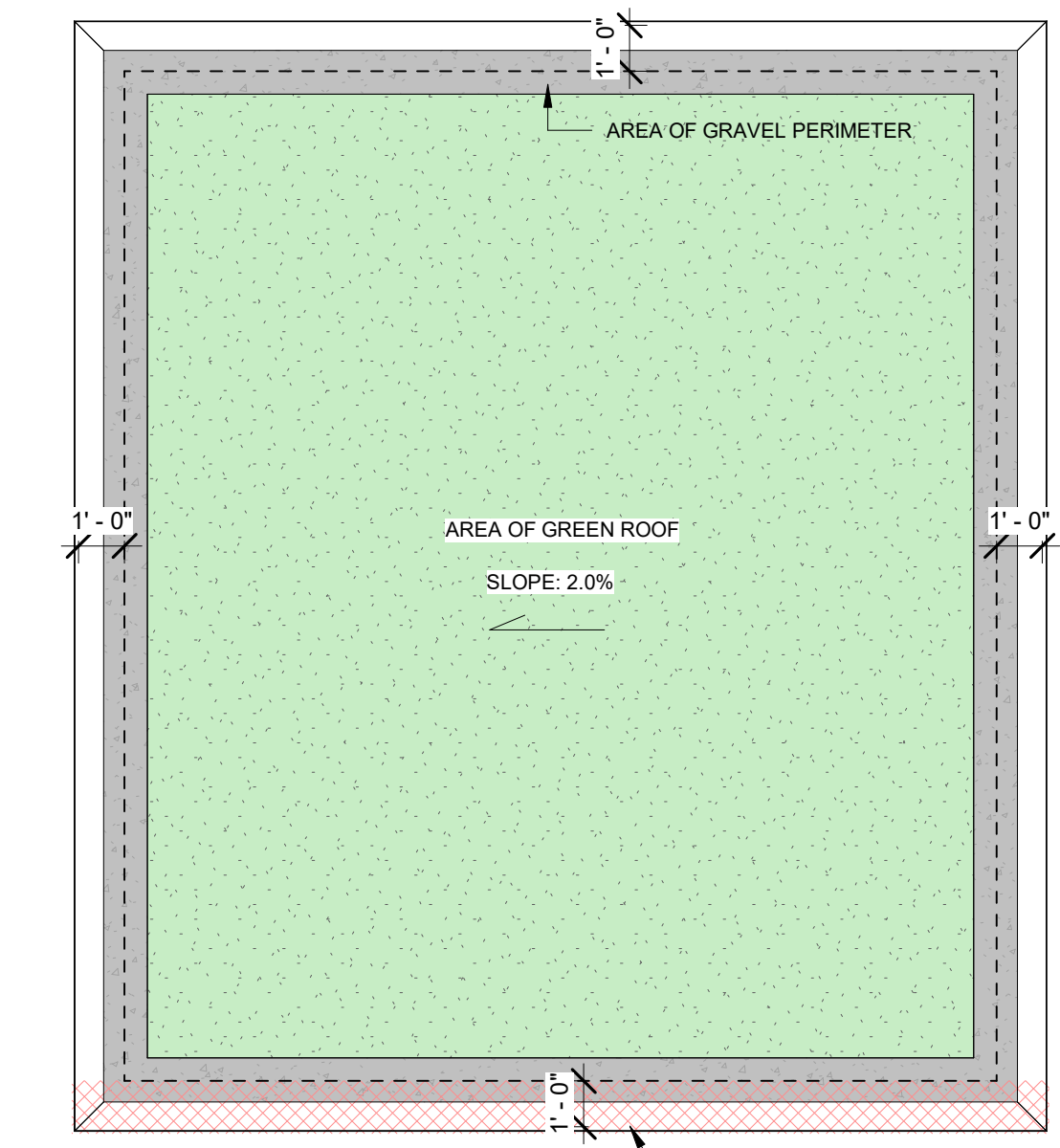
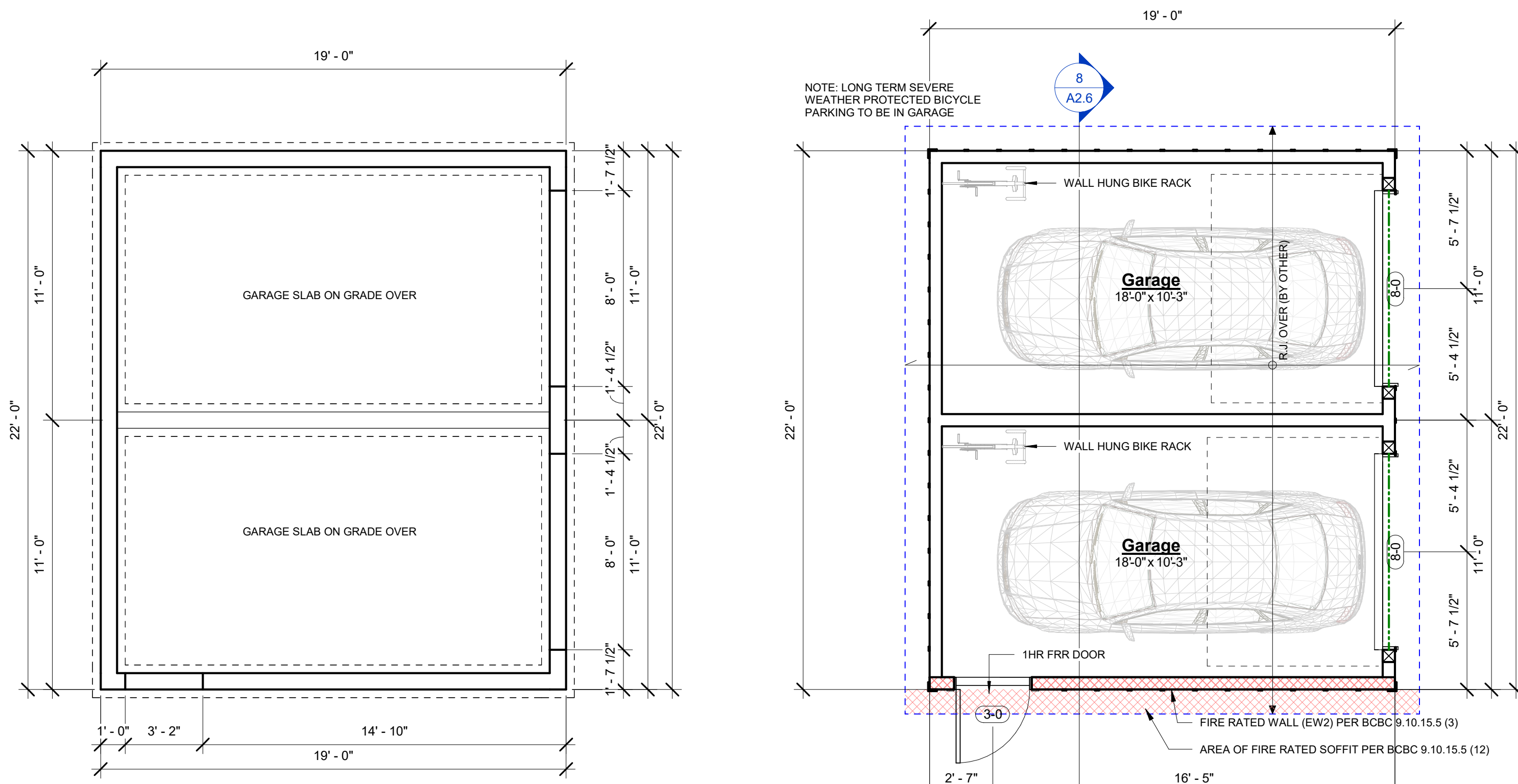
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Second Floor & Roof Plan

A2.5

- FRAMING NOTES:**
- ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
 - ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
 - ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
 - ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
 - ALL LINTELS TO BE 2-PLY 2X10 L.N.O.
 - ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
 - ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
 - TYPICAL DOOR / WINDOW HEAD HEIGHT:
 - GARAGE: 8'
 - ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS
 - DESIGN LOADS:
VICTORIA: Sr: 2.1kPa
Sr: 0.3kPa

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NORTHWEST ELEVATION SPATIAL SEPARATION

AREA OF EXPOSING BUILDING FACE:	16.0m ²
LIMITING DISTANCE:	0.76m
PERCENTAGE OF GLAZED AREA ALLOWABLE:	0.0%
AREA OF GLAZED OPENINGS ALLOWABLE:	0.0m ²
AREA OF GLAZED OPENINGS PROPOSED:	0.0m ²
PERCENTAGE OF GLAZED AREA PROPOSED:	0.0%

ASSEMBLY DESCRIPTIONS (REFER TO STEP CODE 3 COMPLIANCE REPORT FOR FULL ASSEMBLY DETAILS)

EXTERIOR WALLS		INTERIOR WALLS		FLOOR SYSTEMS		ROOF SYSTEMS	
EW1 FIBRE CEMENT PANEL	EW2 FIBRE CEMENT PANEL (45 MIN FRR)	IW1 INTERIOR WALL - 2X6 WALL	F1 FLOOR - GARAGE SLAB	R1 ROOF - ENG. JOIST - FLAT CEILING (LOW SLOPE/GREEN ROOF)			
1 EXTERIOR AIR FILM	1 EXTERIOR AIR FILM	1 FINISH TO OWNERS SPEC.	1 COMPACTED SUB-BASE	1 OVERBURDEN			
2 FIBRE CEMENT PANEL C/W 2" BATTEN @ 16" O/C	2 FIBRE CEMENT PANEL C/W 2" BATTEN @ 16" O/C	2 1/2" GYPSUM WALL BOARD	2 6mil POLY AN/M BARRIER	2 FILTER LAYER			
3 1/2" AIR SPACE (FROM RAINSCREEN)	3 1/2" AIR SPACE (FROM RAINSCREEN)	3 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	3 4" CONCRETE S.O.G.	3 DRAIN MAT			
4 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B	4 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B	4 1/2" GYPSUM WALL BOARD	4 SLOPED POWER TROWEL FINISH	4 EXTERIOR AIR FILM			
5 SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER)	5 SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER)	5 FINISH TO OWNERS SPEC.		5 2-PLY SBS MEMBRANE			
6 1/2" PLYWOOD SHEATHING	6 1/2" PLYWOOD SHEATHING			6 5/8" T&G PLYWOOD			
7 BATT INSULATION	7 1/2" PLYWOOD SHEATHING			7 SLOPED TAPERS			
8 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)	8 BATT INSULATION			8 R40 SPF INSULATION (A/M BARRIER)			
9 1/2" GYPSUM WALL BOARD	9 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER)			9 ENG. ROOF JOISTS (BY OTHER)			
10 VAPOUR BARRIER PAINT	10 1/2" GYPSUM WALL BOARD			10 CEILING FINISH TO OWNERS SPEC.			
11 FINISH TO OWNERS SPECIFICATION	11 VAPOUR BARRIER PAINT			11 INTERIOR AIR FILM			
12 INTERIOR AIR FILM	12 FINISH TO OWNERS SPECIFICATION						
	13 INTERIOR AIR FILM						

ELEVATION NOTES LEGEND

1	GREEN ROOF
2	FIBRE CEMENT PANEL C/W 2" BATTENS @ 16" O/C
3	FIBRE CEMENT PANEL C/W TRIM JOINT

EXTERIOR FINISH NOTES

SOFFIT:	TYPICAL EAVE:	VENTED ALUMINUM OR VINYL
GUTTERS:	HIDDEN GUTTER	
FASCIA BOARDS:	24" FRAMED PARAPET FASCIA	
CORNER BOARDS:	1X4 PAINTED COMB FACE SPF	
DOOR TRIMS:	1X4 PAINTED COMB FACE SPF	

PROJECT

27 South Turner Street
202144

ISSUE DATE: REV

No.:

Description:

Date:

Garage Plans

A2.6

ASSEMBLY DESCRIPTIONS (REFER TO STEP CODE 3 COMPLIANCE REPORT FOR FULL ASSEMBLY DETAILS)			
EXTERIOR WALLS	INTERIOR WALLS	FLOOR SYSTEMS	ROOF SYSTEMS
EW1 EXTERIOR WALL - FIBRE CEMENT LAP SIDING 1 EXTERIOR AIR FILM 2 FIBRE CEMENT LAP SIDING 3 1/2" AIR SPACE (FROM RAINSCREEN) 4 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B 5 SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER) 6 1/2" PLYWOOD SHEATHING 7 R20 BATT INSULATION 8 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 9 1/2" GYPSUM WALL BOARD 10 VAPOUR BARRIER PAINT 11 FINISH TO OWNERS SPECIFICATION 12 INTERIOR AIR FILM	IW1 INTERIOR WALL - 2X4 WALL 1 FINISH TO OWNERS SPEC. 2 1/2" GYPSUM WALL BOARD 3 2X4 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 4 1/2" GYPSUM WALL BOARD 5 FINISH TO OWNERS SPEC.	F1 FLOOR - TYPICAL JOIST FLOOR ASSEMBLY 1 FLOOR FINISH TO OWNERS SPEC. 2 5/8" T&G PLYWOOD SUBFLOOR 3 ENG. FLOOR JOISTS (BY OTHER) 4 5/8" GYPSUM CD BOARD	R1 ROOF - TYPICAL TRUSS - FLAT CEILING 1 ASPHALT SHINGLE ROOFING 2 MANUFACTURER APPROVED UNDERLAY 3 1/2" PLYWOOD ROOF SHEATHING C/W H-CLIPS 4 EXTERIOR AIR FILM 5 ENG. ROOF TRUSSES (BY OTHER) 6 R40 LOOSE FILL INSULATION 7 6mil POLY AV BARRIER 8 5/8" GYPSUM CD BOARD 9 INTERIOR AIR FILM
EW2 EXTERIOR WALL - FIBRE CEMENT PANEL 1 EXTERIOR AIR FILM 2 FIBRE CEMENT PANEL C/W 2" BATTEN @ 16" O/C 3 1/2" AIR SPACE (FROM RAINSCREEN) 4 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B 5 SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER) 6 1/2" PLYWOOD SHEATHING 7 R20 BATT INSULATION 8 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 9 1/2" GYPSUM WALL BOARD 10 VAPOUR BARRIER PAINT 11 FINISH TO OWNERS SPECIFICATION 12 INTERIOR AIR FILM	IW2 INTERIOR WALL - 2X6 WALL 1 FINISH TO OWNERS SPEC. 2 1/2" GYPSUM WALL BOARD 3 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 4 1/2" GYPSUM WALL BOARD 5 FINISH TO OWNERS SPEC.	F2 FLOOR - BASEMENT SLAB ON GRADE 1 COMPACTED SUB-BASE 2 6mil POLY A/V BARRIER 3 XPS INSULATION (PERIMETER TO CODE) 4 4" CONCRETE S.O.G. 5 SMOOTH HAND TROWEL FINISH	R2 ROOF - ENG. JOIST - FLAT CEILING (LOW SLOPE) 1 2 PLY MOD. BIT. ROOFING 2 PROTECTION BOARD 3 5/8" T&G PLYWOOD ROOF SHEATHING 4 SLOPED TAPERS 5 2X4 GROSS PURLIN 6 EXTERIOR AIR FILM 7 ENG. ROOF JOISTS (BY OTHER) 8 R40 BATT INSULATION 9 6mil POLY AV BARRIER 10 5/8" GYPSUM CD BOARD 11 INTERIOR AIR FILM
EW3 EXTERIOR WALL - BRICK VENEER 1 EXTERIOR AIR FILM 2 2" BRICK VENEER 3 SCRATCH & BROWN COAT (PORTLAND CEMENT) 4 STUCCO RITE 5 1/2" AIR SPACE (FROM RAINSCREEN) 6 1/2" P.T. RAINSCREEN STRAPPING @ 8" O/C C/W INSECT SCREEN T&B 7 SYNTHETIC SHEATHING MEMBRANE (A/M BARRIER) 8 1/2" PLYWOOD SHEATHING 9 R20 BATT INSULATION 10 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 11 1/2" GYPSUM WALL BOARD 12 VAPOUR BARRIER PAINT 13 FINISH TO OWNERS SPECIFICATION 14 INTERIOR AIR FILM	IW3 INTERIOR WALL - 2X6 WALL BETWEEN UNHEATED SPACES 1 EXTERIOR AIR FILM 2 1/2" GYPSUM WALL BOARD 3 2X6 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 4 R20 BATT INSULATION 5 6mil POLY AV BARRIER 6 1/2" GYPSUM WALL BOARD 7 INTERIOR AIR FILM	F3 FLOOR ASSEMBLY - (RATED OVER SUITE) BCBC A-9.10.3.1.B F60 (1 HR) 1 FLOOR TO OWNERS SPEC. 2 5/8" T&G PLYWOOD SUBFLOOR 3 ENG. FLOOR JOISTS (BY OTHER) 4 MINERAL WOOL INSULATION 5 STEEL FURRING CHANNELS @600mm O/C 6 2 LAYERS 5/8" TYPE X GYPSUM WALL BRD.	R3 ROOF - ENG. JOIST - FLAT SOFFIT (LOW SLOPE) (UNINSULATED) 1 2 PLY MOD. BIT. ROOFING 2 PROTECTION BOARD 3 5/8" T&G PLYWOOD ROOF SHEATHING 4 SLOPED TAPERS 5 2X4 CROSS PURLIN 6 EXTERIOR AIR FILM 7 ENG. ROOF JOISTS (BY OTHER) 8 SOFFIT TO OWNERS SPEC.
EW4 EXTERIOR - INSULATED BASEMENT WALL 1 EXTERIOR AIR FILM 2 DRAINAGE MAT OR CAPILLARY BREAK 3 DAMPROOFING OR WATERPROOFING AS REQ'D 4 8" CONCRETE FOUNDATION WALL 5 1" RIGID INSULATION 6 R12 BATT INSULATION 7 2X4 WALL STUDS @ 16" O/C (SPF #2 OR BETTER) 8 1/2" GYPSUM WALL BOARD 9 VAPOR BARRIER PAINT 10 INTERIOR AIR FILM	IW4 INTERIOR WALL - FIRE RATED WALL BCBC A-9.10.3.1.A W13A (1 HR FRF)(57STC) 1 FINISH TO OWNERS SPEC. 2 5/8" TYPE X GYPSUM WALL BOARD 3 MINERAL WOOL INSULATION 4 TWO ROWS 2X4 STUDS @ 16" O/C ON SEPARATE 2X4 PLATES (ALL SPF #2 OR BETTER) 5 MINERAL WOOL INSULATION 6 5/8" TYPE X GYPSUM WALL BOARD 7 INTERIOR AIR FILM	F4 FLOOR - CANTILEVERED FLOOR 1 INTERIOR AIR FILM 2 5/8" T&G PLYWOOD SUBFLOOR 3 MINERAL WOOL INSULATION 4 ENG. FLOOR JOISTS (BY OTHER) 5 SOFFIT TO OWNERS SPECIFICATION 6 EXTERIOR AIR FILM	

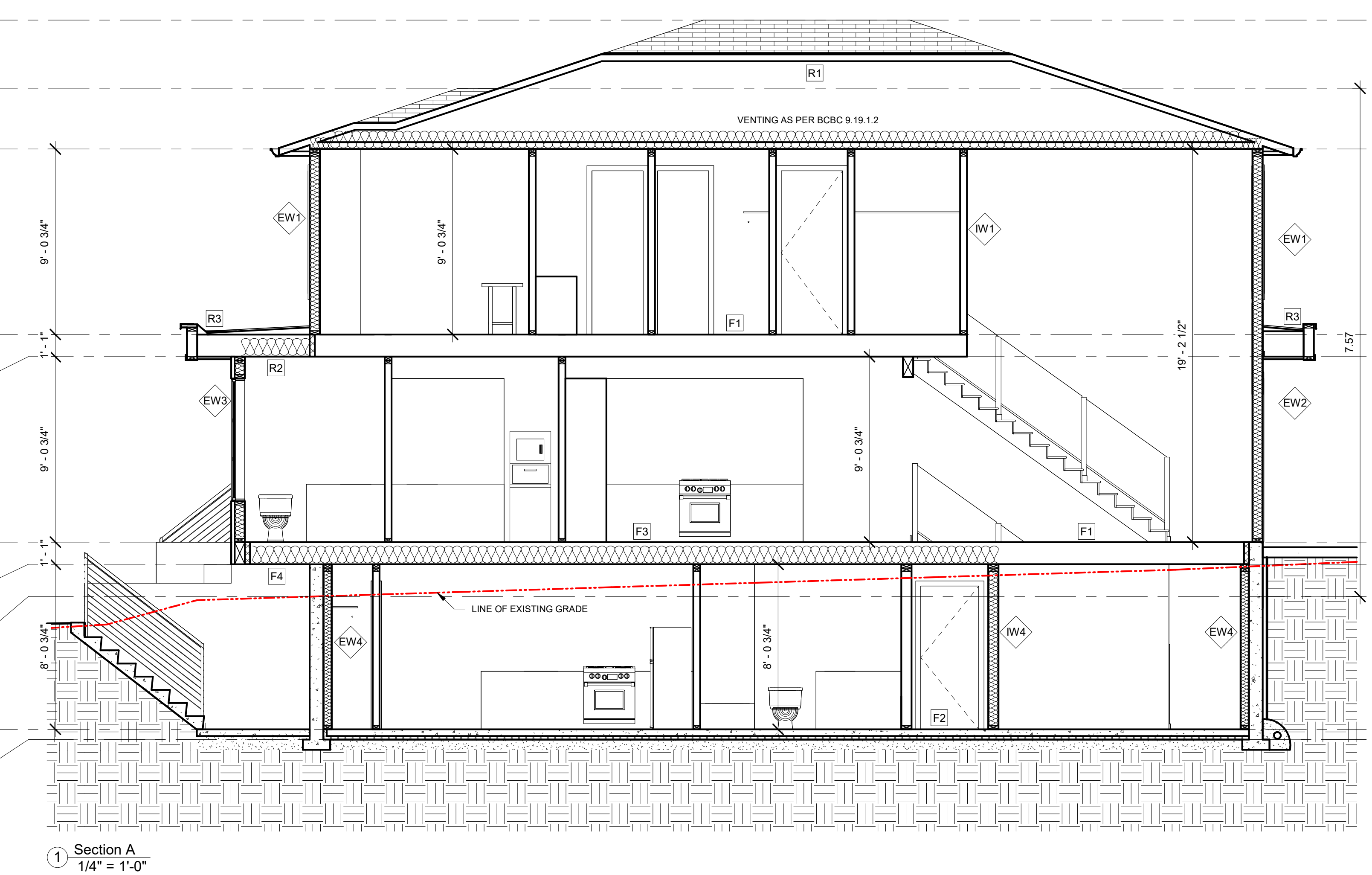
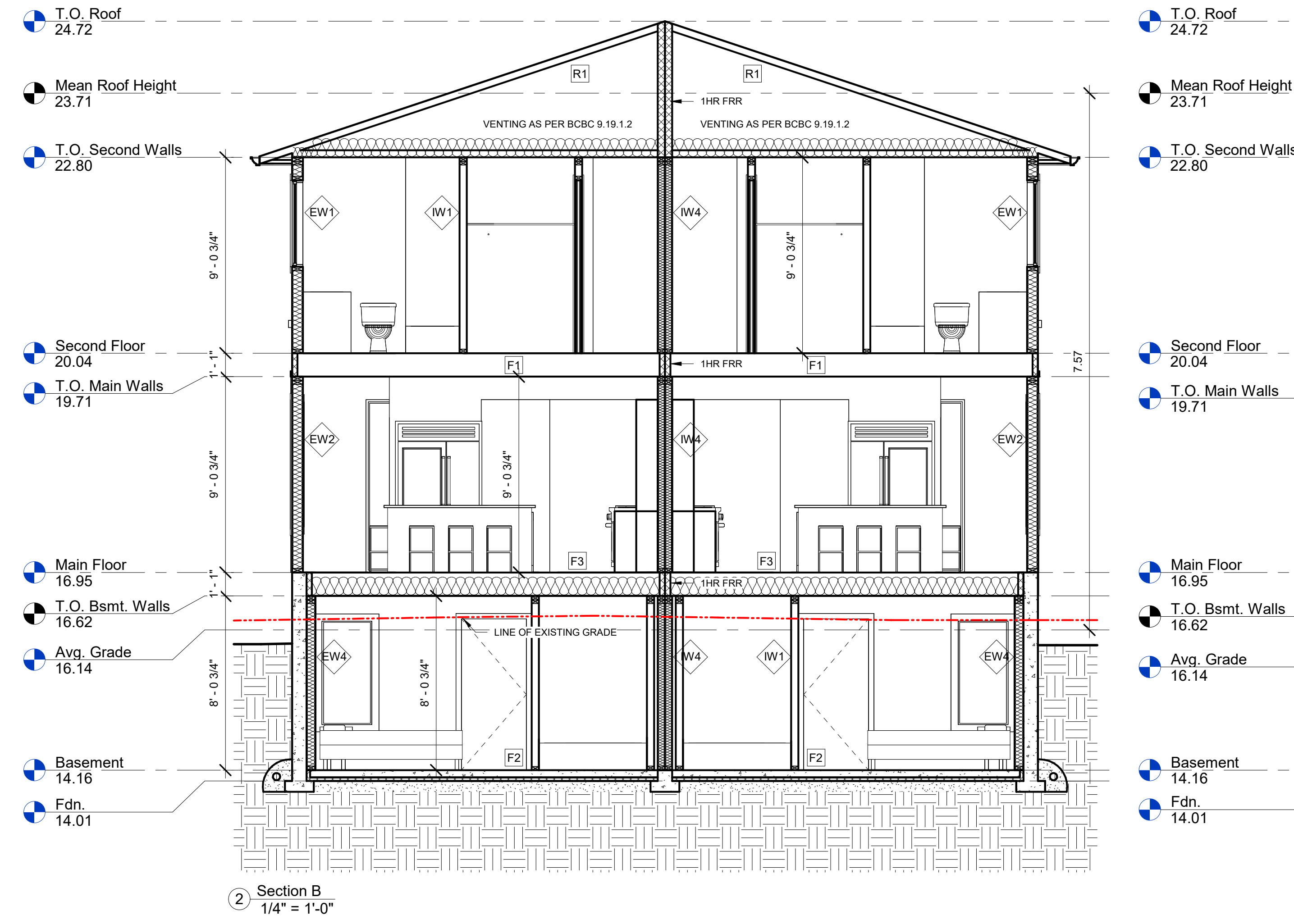
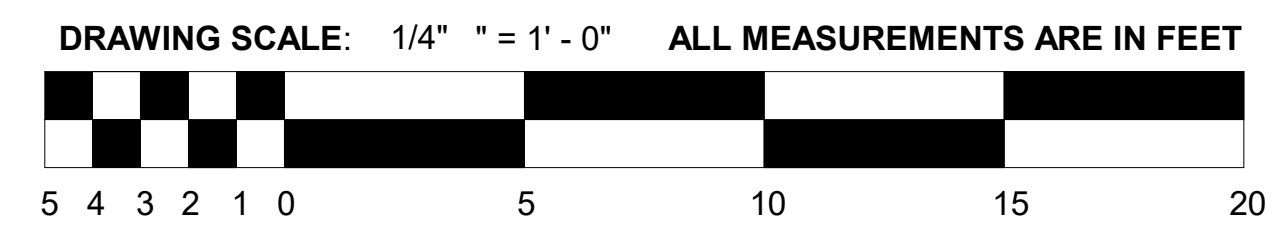
BCBC 9.32 COMPLIANCE		
HEATING SYSTEM (UNITS A & B)		
HEAT PUMP & AIR HANDLER		
VENTILATION REQUIREMENTS		
KITCHEN AND BATHROOM FANS IN ACCORDANCE WITH 9.32.3.6:		
KITCHEN:	INTERMITTENT	CONTINUOUS
BATHROOM:	47L/S	N/A
	23L/S	9L/S
PRINCIPAL VENTILATION SYSTEM SUPPLY AIR (9.32.3.4)		
DUCTED FORCED AIR SYSTEM		
PROVIDE SUPPLY AIR TO EACH BEDROOM AND EACH FLOOR LEVEL WITHOUT A BEDROOM		
PRINCIPAL VENTILATION SYSTEM EXHAUST FAN (9.32.3.5)		
TOTAL FLOOR AREA:	143.5m ² (PER UNIT)	
NUMBER OF BEDROOMS:	2	
PRINCIPAL EXHAUST FAN		
MINIMUM AIR-FLOW RATE PER 9.32.3.4:	28.0L/S	
PRINCIPAL VENTILATION SYSTEM EXHAUST FAN:		
POWDER ROOM FAN		
SUITE HEATING SYSTEM (SUITE A & B)		
HEAT PUMP & AIR HANDLER		
SUITE VENTILATION SYSTEM SUPPLY AIR (9.32.3.4)		
DUCTED FORCED AIR SYSTEM		
PROVIDE SUPPLY AIR TO EACH BEDROOM AND EACH FLOOR LEVEL WITHOUT A BEDROOM		
SUITE VENTILATION SYSTEM EXHAUST FAN (9.32.3.5)		
TOTAL FLOOR AREA:	43.4m ²	
NUMBER OF BEDROOMS:	1	
PRINCIPAL EXHAUST FAN		
MINIMUM AIR-FLOW RATE PER 9.32.3.4:	14.0L/S	
PRINCIPAL VENTILATION SYSTEM EXHAUST FAN:		
SUITE BATHROOM FAN		

FRAMING NOTES:	
1.	ALL FRAMING TO BE IN ACCORDANCE WITH THE 2018 BC BUILDING CODE
2.	ALL LUMBER TO BE SPF#2 OR BETTER UNLESS NOTED OTHERWISE
3.	ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE
4.	ALL EXPOSED EXTERIOR POSTS TO BE 6X6 MIN.
5.	ALL LINTELS TO BE 2-PLY 2X10 U.L.D.
6.	ALL CONCRETE TO BE MINIMUM 25MPa AT 28 DAYS
7.	ALL INTERIOR DOORS TO PROVIDE MIN. 2-STUDS E/S AT JAMB FRAMING
8.	TYPICAL DOOR / WINDOW HEAD HEIGHT: BASEMENT: 7' MAIN FLOOR: 8' SECOND FLOOR: 8'
9.	ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER. FIELD TREAT ALL CUTS
10.	DESIGN LOADS: VICTORIA: Ss: 2.1kPa Sr: 0.3kPa

- GENERAL NOTES:
- All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are the property of HDC. HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
 - The Contractor shall work with a B.C.L.S. to verify competent placement, siting and elevation of the proposed buildings or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to siting, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
 - The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HDC of any changes to the design required by the Structural Engineer, trade manufacturer or other engineer component supplier.

FLOOR AREA	
BASEMENT:	1391 SF
MAIN FLOOR:	1576 SF
SECOND FLOOR:	1094 SF
TOTAL BUILDING SF:	4061 SF

NAFS SPECIFICATIONS	
PERFORMANCE GRADE:	40
STRUCTURAL:	1920 Pa
WATER:	360 Pa
AIR:	A2



PROJECT

27 South Turner Street
202144

ISSUE DATE: 22Dec09 REV 13

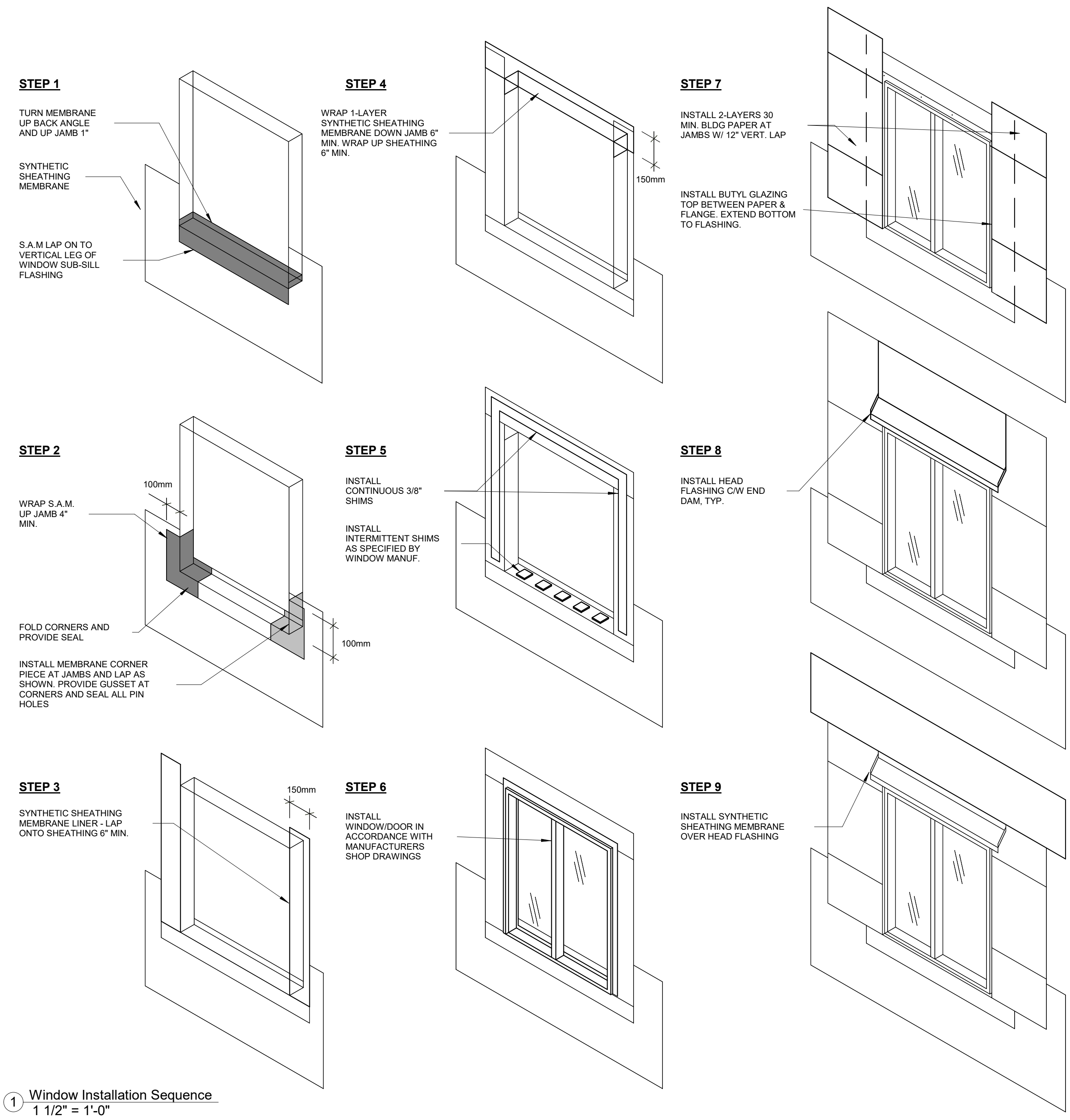
Date:	Description:	No.:
21Dec16	Dev. Permit Rev.2	7
22June24	Dev. Permit Rev.3	8
22Oct04	Dev. Permit Rev.4	9
22Oct13	Dev. Permit Rev.5	10
22Oct17	Dev. Permit Rev.6	11
22Nov17	Dev. Permit Rev.7	12
22Dec09	Dev. Permit Rev.8	13

Section & Assemblies

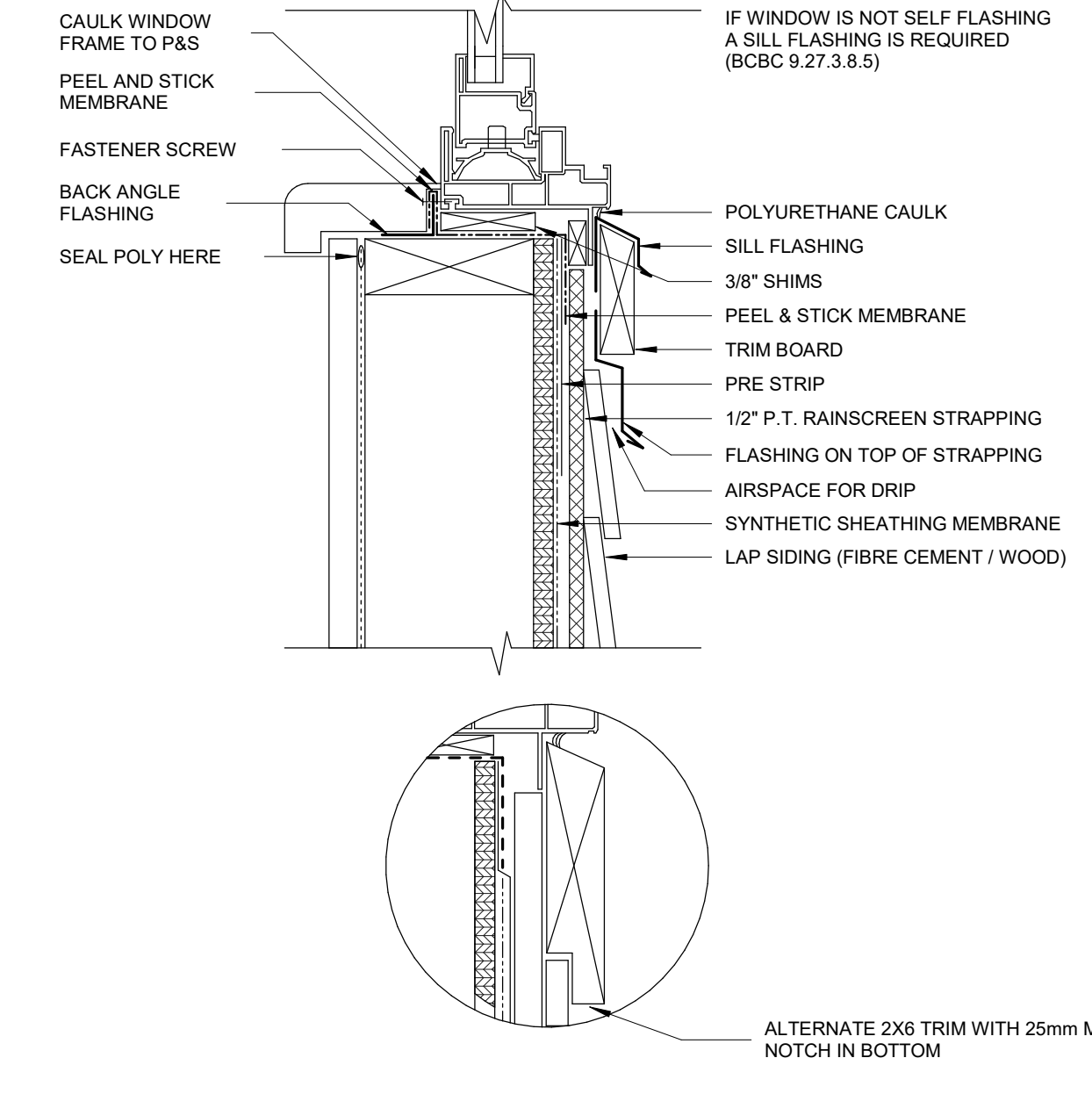
A3.1

GENERAL NOTES:

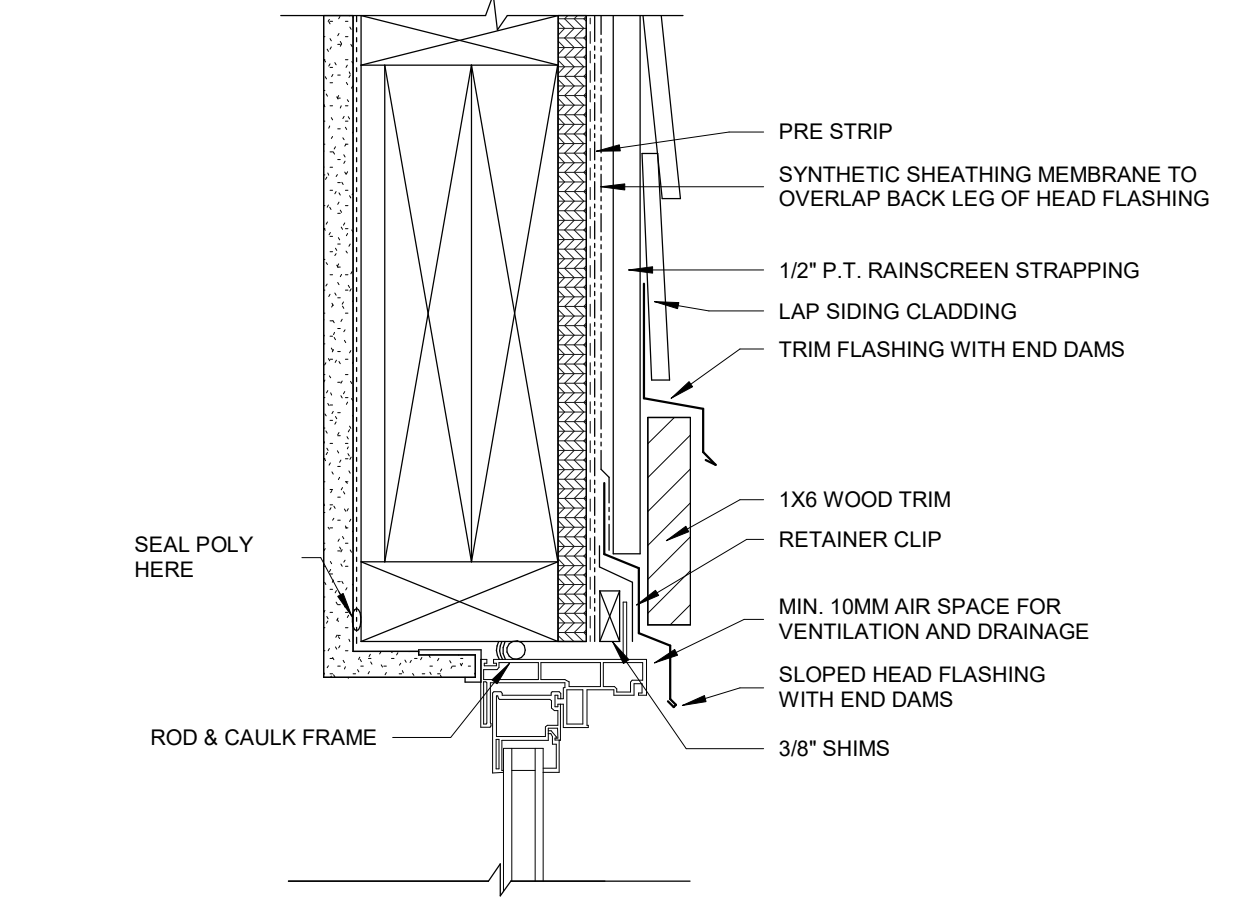
- All drawings, plans, models, designs, specifications and other documents prepared by Hoyt Design Co (HDC) and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of HDC whether the work is executed or not, and HDC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as applicable to the project and the proposed work. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings prior to commencement of the work. Commencement of construction or any part thereof constitutes acceptance of the drawings, acceptance of the existing site conditions, and means dimensions and elevations have been considered, verified and are acceptable.
- The Contractor shall work with a B.C.L.S. to verify component placement, siting and elevation of the proposed buildings or structures on the property prior to commencing the work. HDC is not responsible for any encroachments with respect to elevation, siting or placement. Any proposed changes with respect to elevation, siting or placement shall be confirmed with a B.C.L.S. prior to execution.
- The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify HDC of any changes to the design required by the Structural Engineer, their manufacturer or other engineered component supplier.



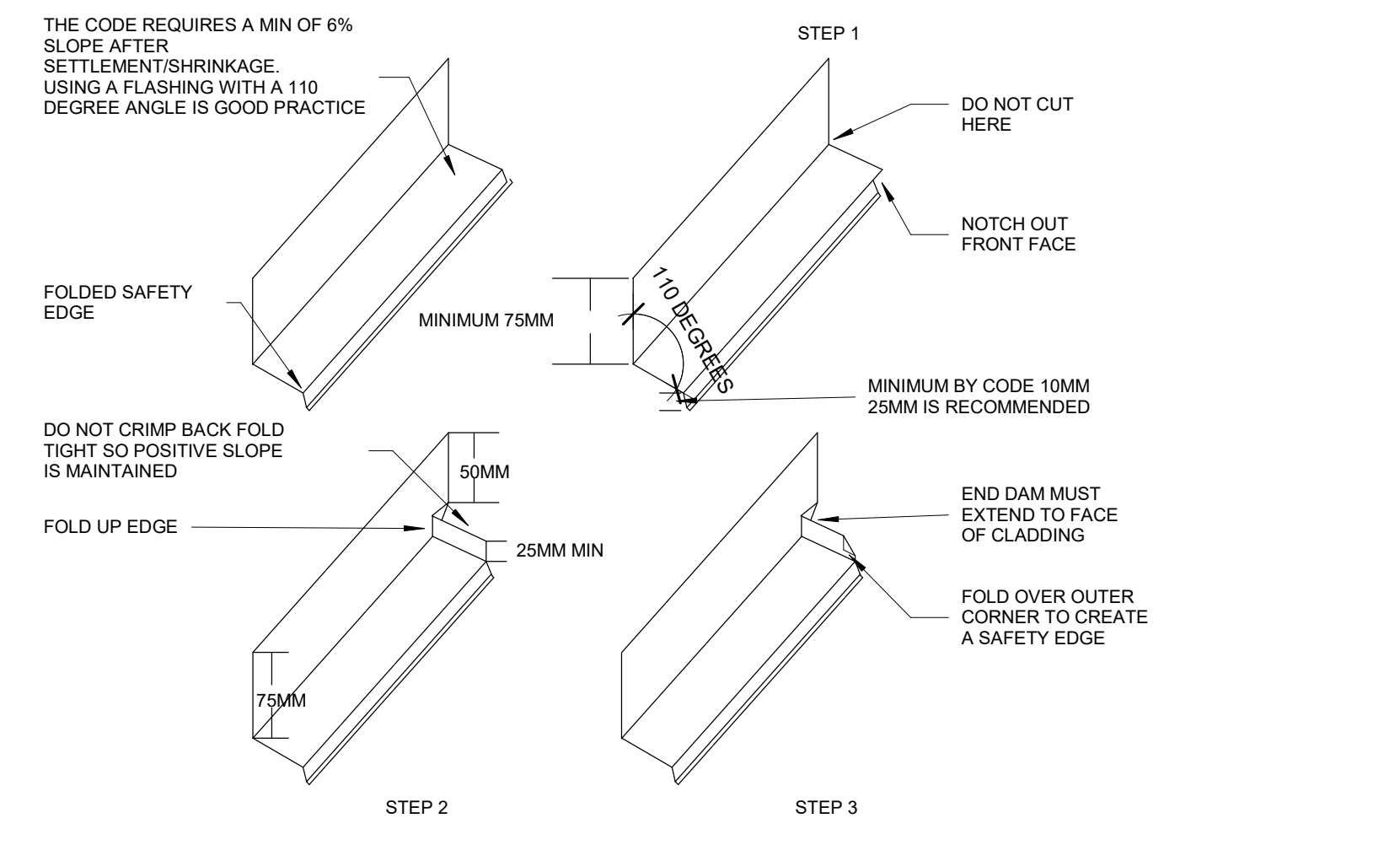
1 Window Installation Sequence
1 1/2" = 1'-0"



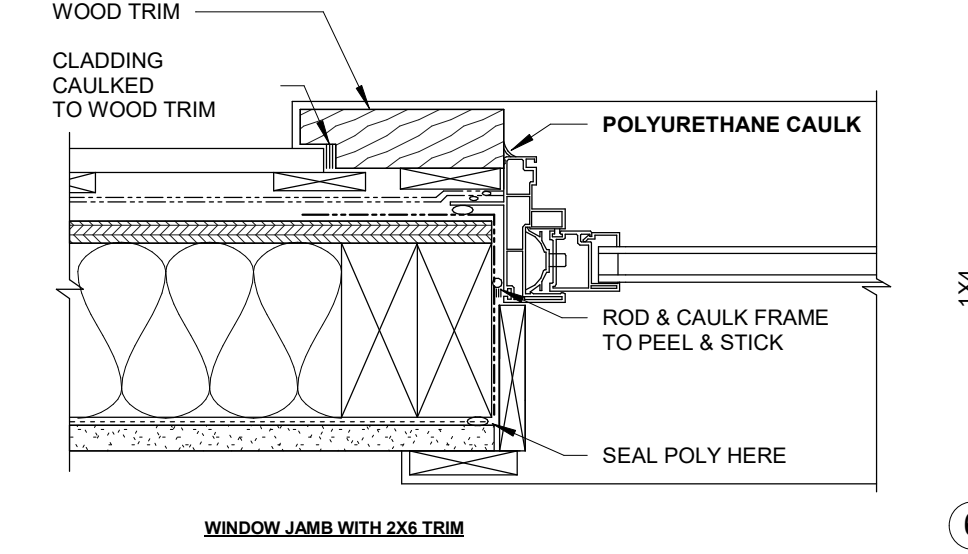
2 Window Sill Detail - Lap Siding
2" = 1'-0"



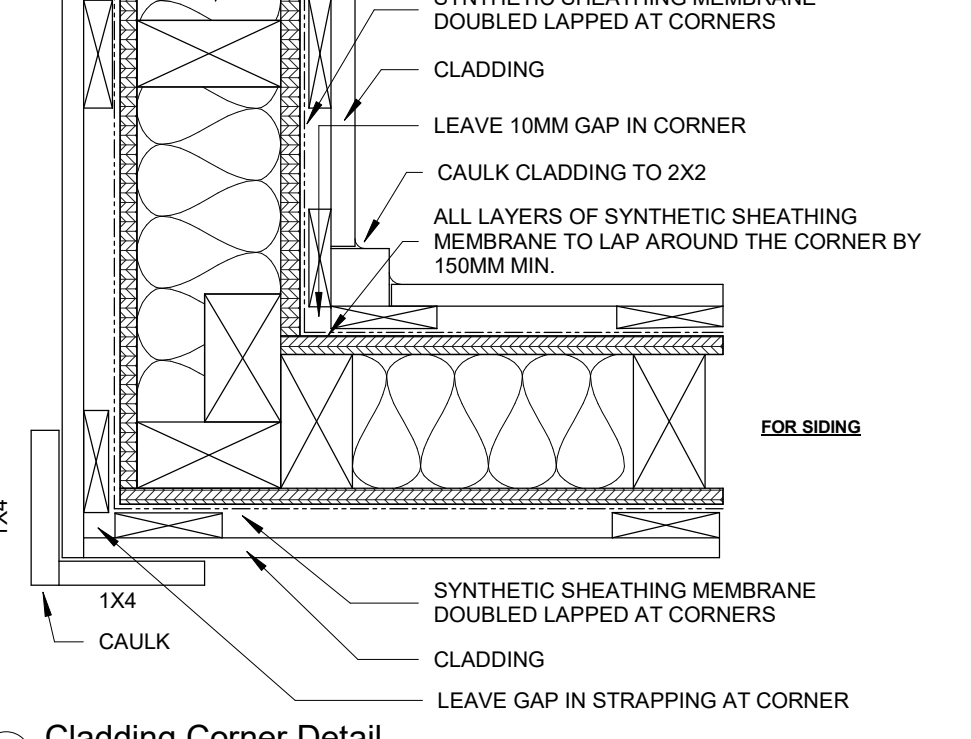
4 Window Head Detail - Lap Siding
2" = 1'-0"



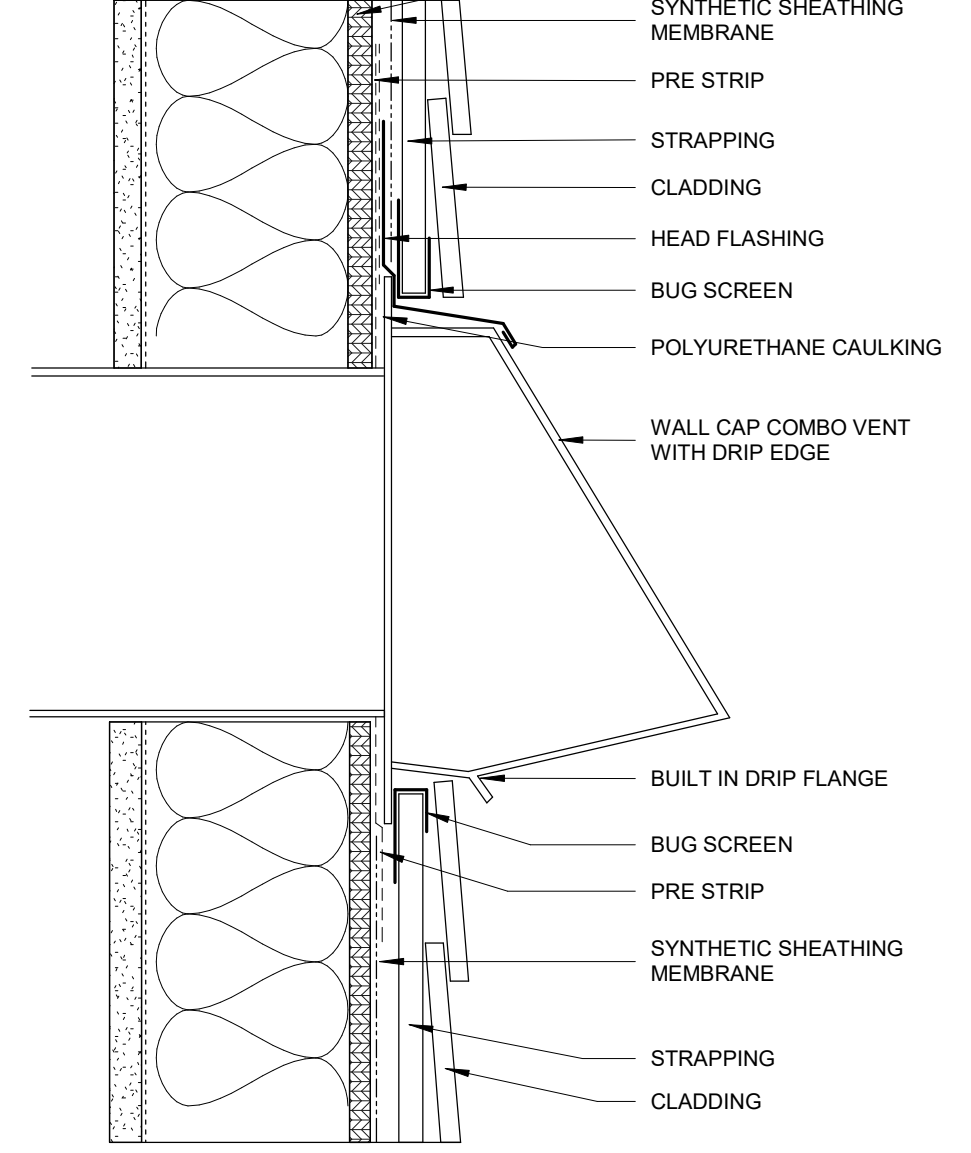
3 Typical Flashing With End Dam
1 1/2" = 1'-0"



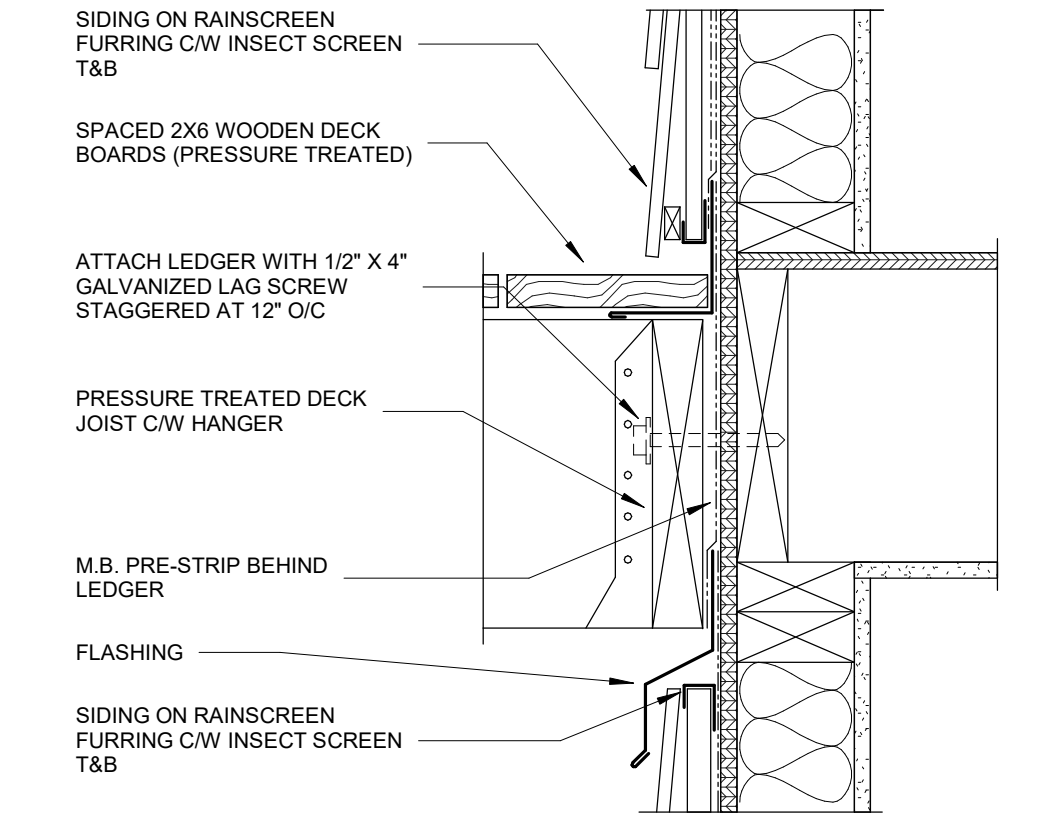
5 Window Jamb Detail - Lap Siding
2" = 1'-0"



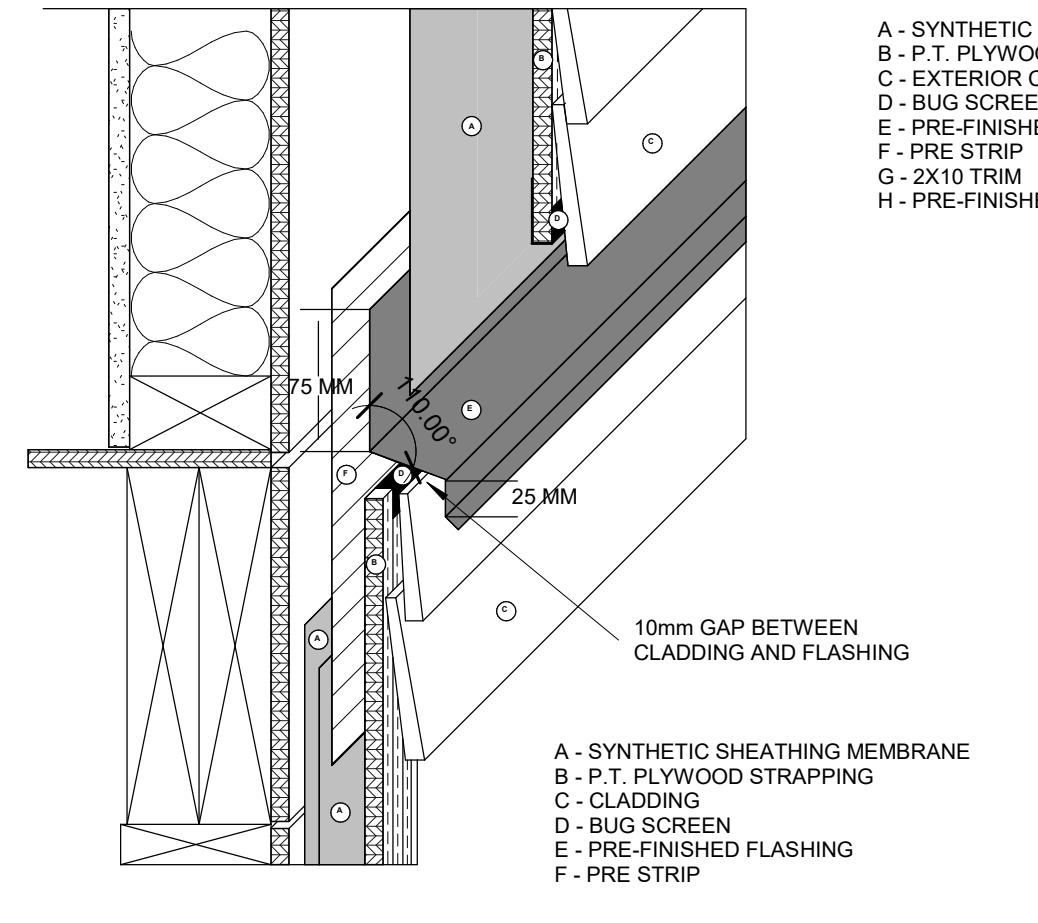
6 Cladding Corner Detail
2" = 1'-0"



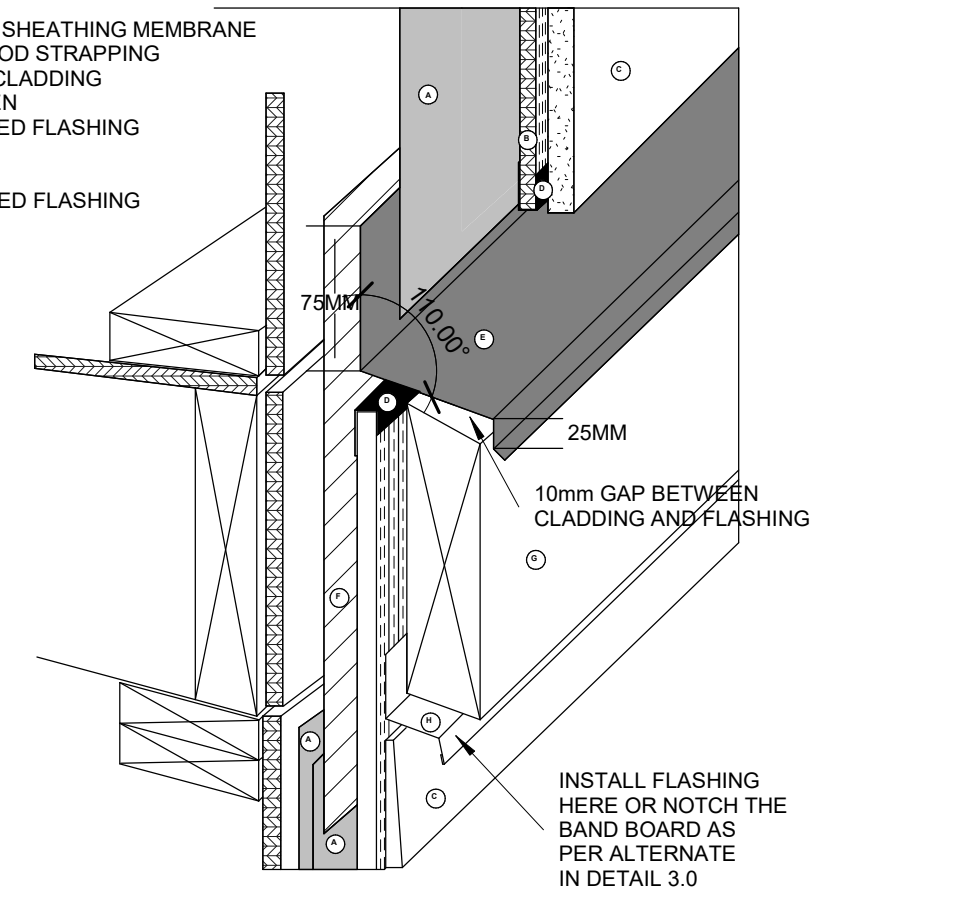
8 Vent Penetration Detail
2" = 1'-0"



7 Deck to Wall Connection - Spaced Deck Boards
2" = 1'-0"

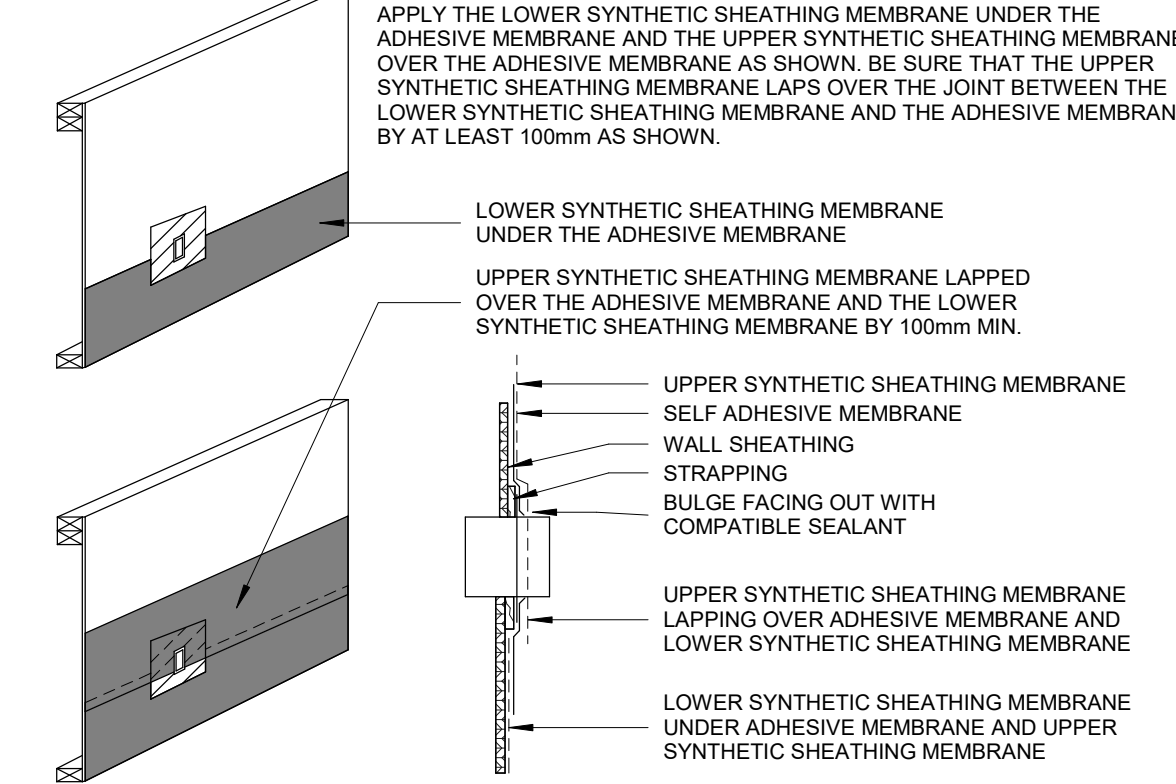


15 Thru Cavity Flashing Detail
1 1/2" = 1'-0"



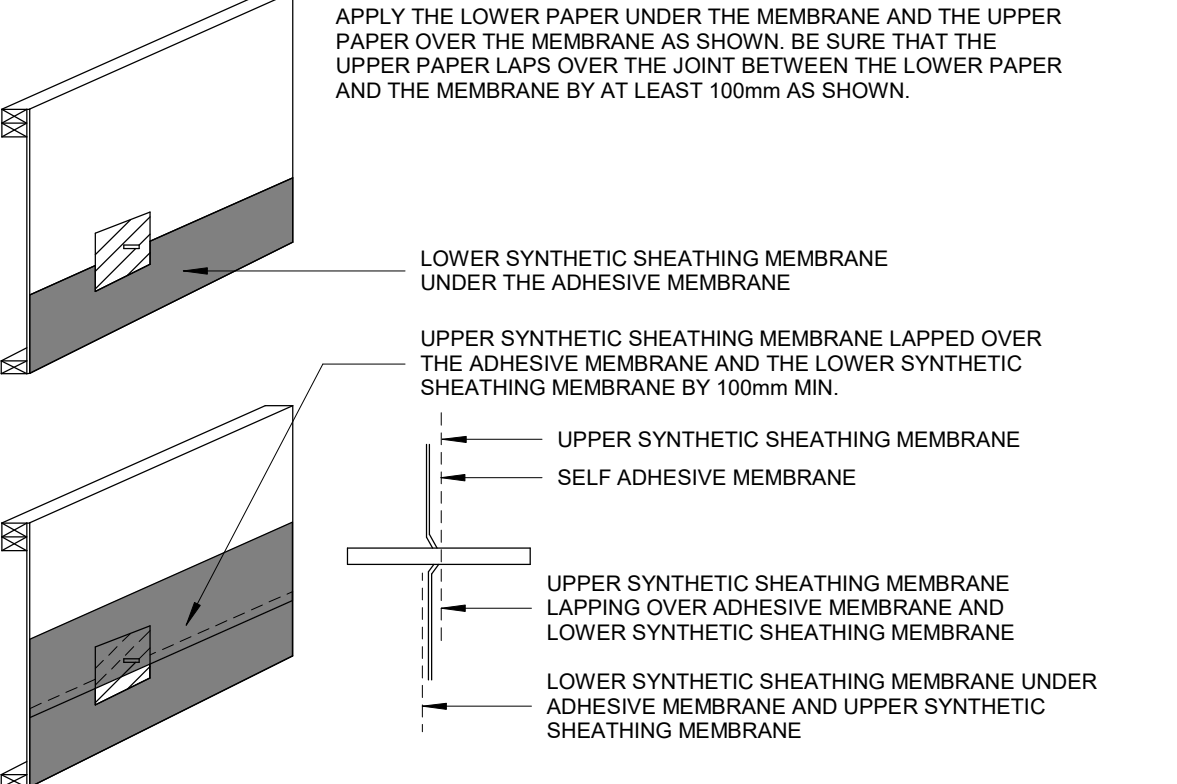
16 Belly Band Trim Detail
1 1/2" = 1'-0"

ALL ELECTRICAL BOXES MUST HAVE GASKETS AND FLANGES
ATTACH THE FLANGED BOX ON THE WALL WITH A PIECE OF STRAPPING BEHIND THE FLANGE.
APPLY POLYURETHANE CAULK TO THE FLANGE OF THE BOX.
CUT A HOLE 25mm SMALLER IN BOTH DIRECTIONS THAN THE SIZE OF THE OPENING IN THE BOX IN THE MIDDLE OF A 300mm X 300mm SQUARE OF SELF ADHESIVE MEMBRANE.
STRETCH THE MEMBRANE OVER THE OPENING OF THE BOX AND SEAL IT TO THE FLANGE. IT MUST BE A TIGHT FIT. STAPLE ONLY THE TOP OF THE MEMBRANE TO THE WALL.
APPLY THE LOWER SYNTHETIC SHEATHING MEMBRANE UNDER THE ADHESIVE MEMBRANE AND THE UPPER SYNTHETIC SHEATHING MEMBRANE OVER THE ADHESIVE MEMBRANE AS SHOWN. BE SURE THAT THE UPPER SYNTHETIC SHEATHING MEMBRANE LAPS OVER THE LOWER SYNTHETIC SHEATHING MEMBRANE AND THE ADHESIVE MEMBRANE BY AT LEAST 100mm AS SHOWN.

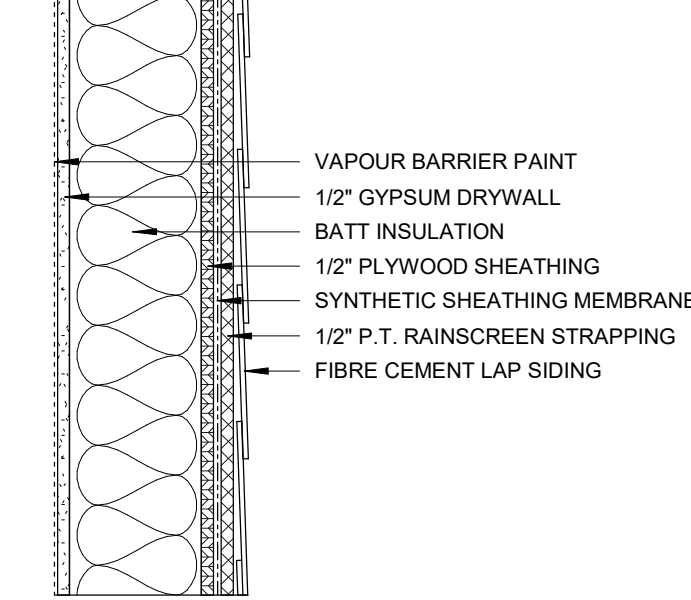


9 Electrical Reception Penetration Detail
1 1/2" = 1'-0"

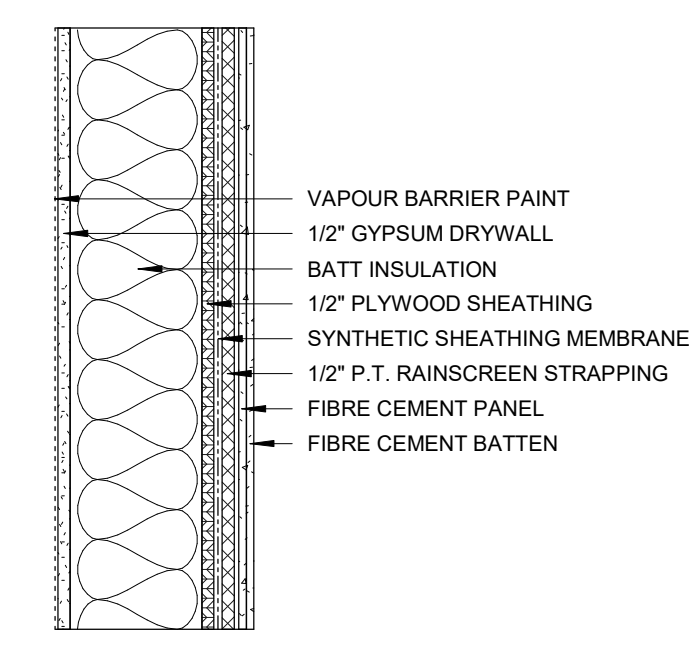
DRILL OR PUNCH (DO NOT CUT WITH A KNIFE) A 5mm HOLE IN THE MIDDLE OF A 300mm X 300mm SQUARE OF SELF ADHESIVE RUBBER ROOFING MEMBRANE AND PUSH THE PIPE THROUGH IT. IT MUST MAKE A TIGHT FIT.
PLACE THE PIPE IN THE WALL AND STAPLE ONLY THE TOP OF THE MEMBRANE TO THE WALL SHEATHING. SOLDER THE PIPE INTO THE PLUMBING SYSTEM AT THE INSIDE OF THE WALL. TAKE CARE NOT TO DAMAGE THE ADHESIVE MEMBRANE.
WHEN APPLYING THE SYNTHETIC SHEATHING MEMBRANE, PULL THE BOTTOM OF THE ADHESIVE MEMBRANE OUTWARDS AND THEN PUSH IT BACK ALONG THE PIPE SO IT BULGES OUT NOT IN AT THE PIPE.
APPLY THE LOWER PAPER UNDER THE MEMBRANE AND THE UPPER PAPER OVER THE MEMBRANE AS SHOWN. BE SURE THAT THE UPPER PAPER LAPS OVER THE JOINT BETWEEN THE LOWER PAPER AND THE MEMBRANE BY AT LEAST 100mm AS SHOWN.



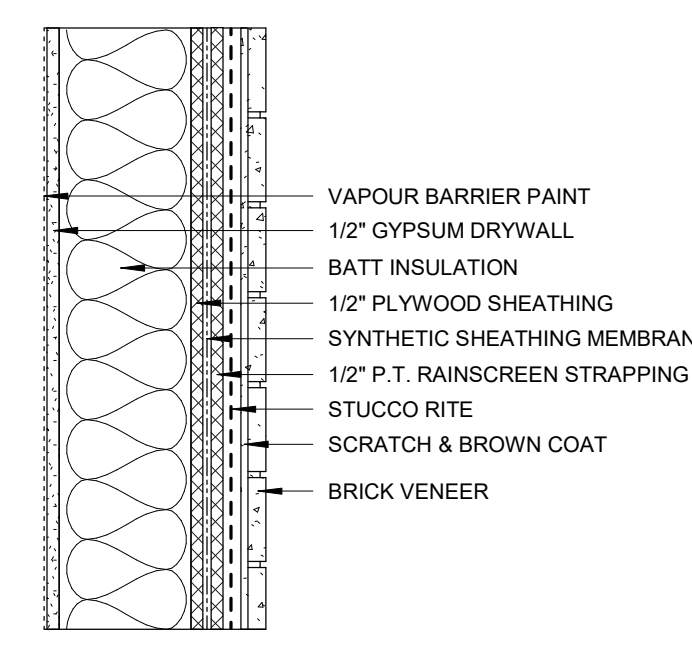
10 Hose Bib Penetration Detail
1 1/2" = 1'-0"



14 Wall Assembly - Lap Siding
1 1/2" = 1'-0"



11 Wall Assembly - Board & Batten
1 1/2" = 1'-0"



12 Wall Assembly - Brick Veneer
1 1/2" = 1'-0"

PROJECT

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ISSUE DATE: 22Dec09 REV 13

No.:	7	8	9	10	11	12	13
Date:	21Dec16	22Jun24	22Oct04	22Oct13	22Oct17	22Nov17	22Dec09
Description:	Dev. Permit Rev.2	Dev. Permit Rev.3	Dev. Permit Rev.4	Dev. Permit Rev.5	Dev. Permit Rev.6	Dev. Permit Rev.7	Dev. Permit Rev.8

Details

A4.1