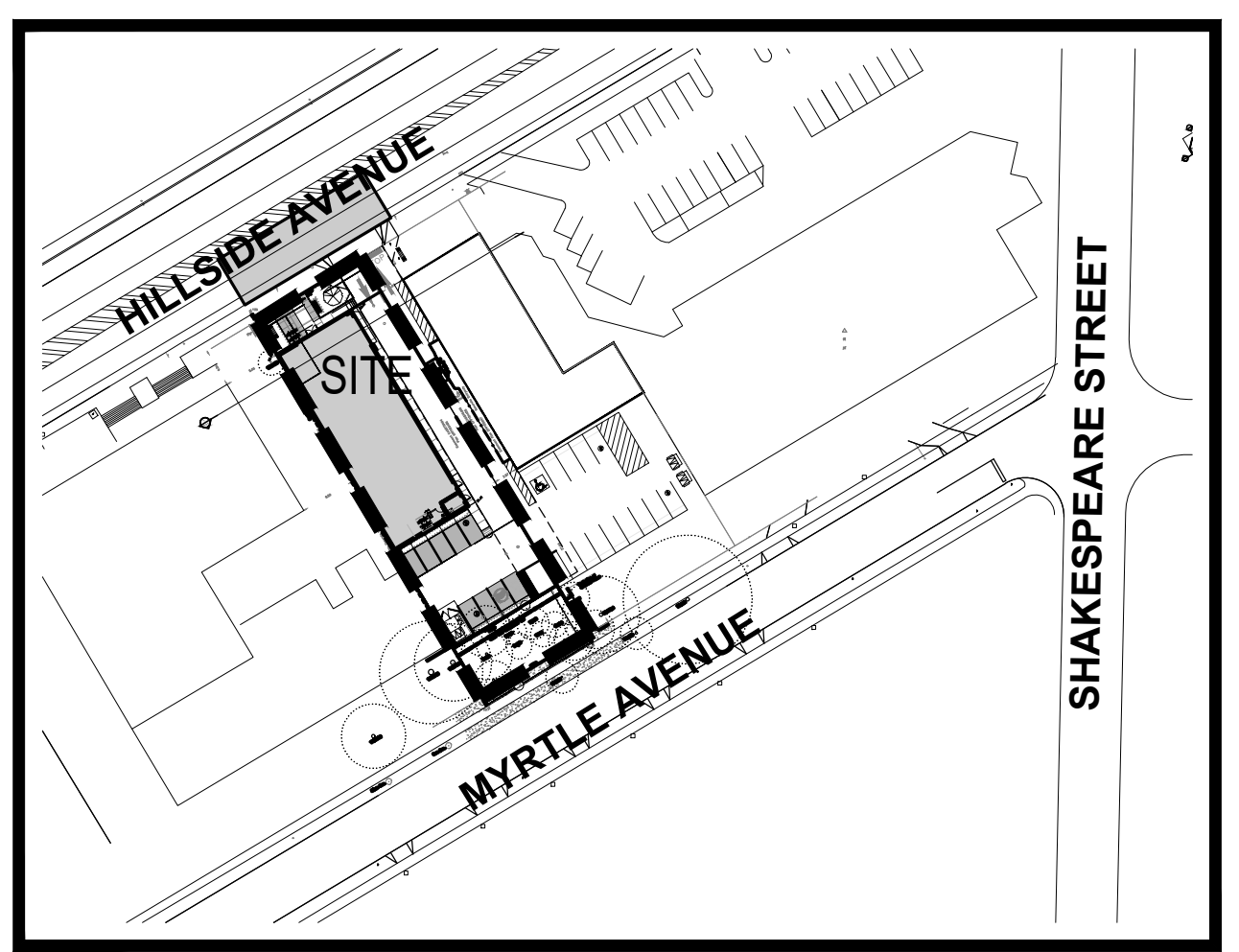
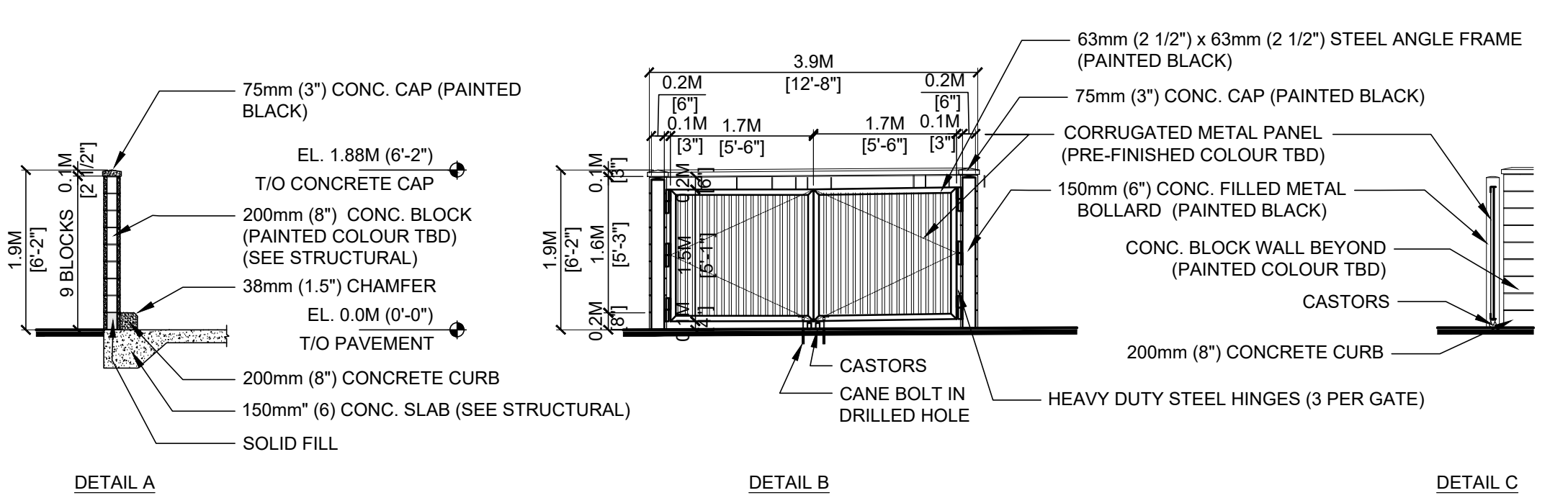
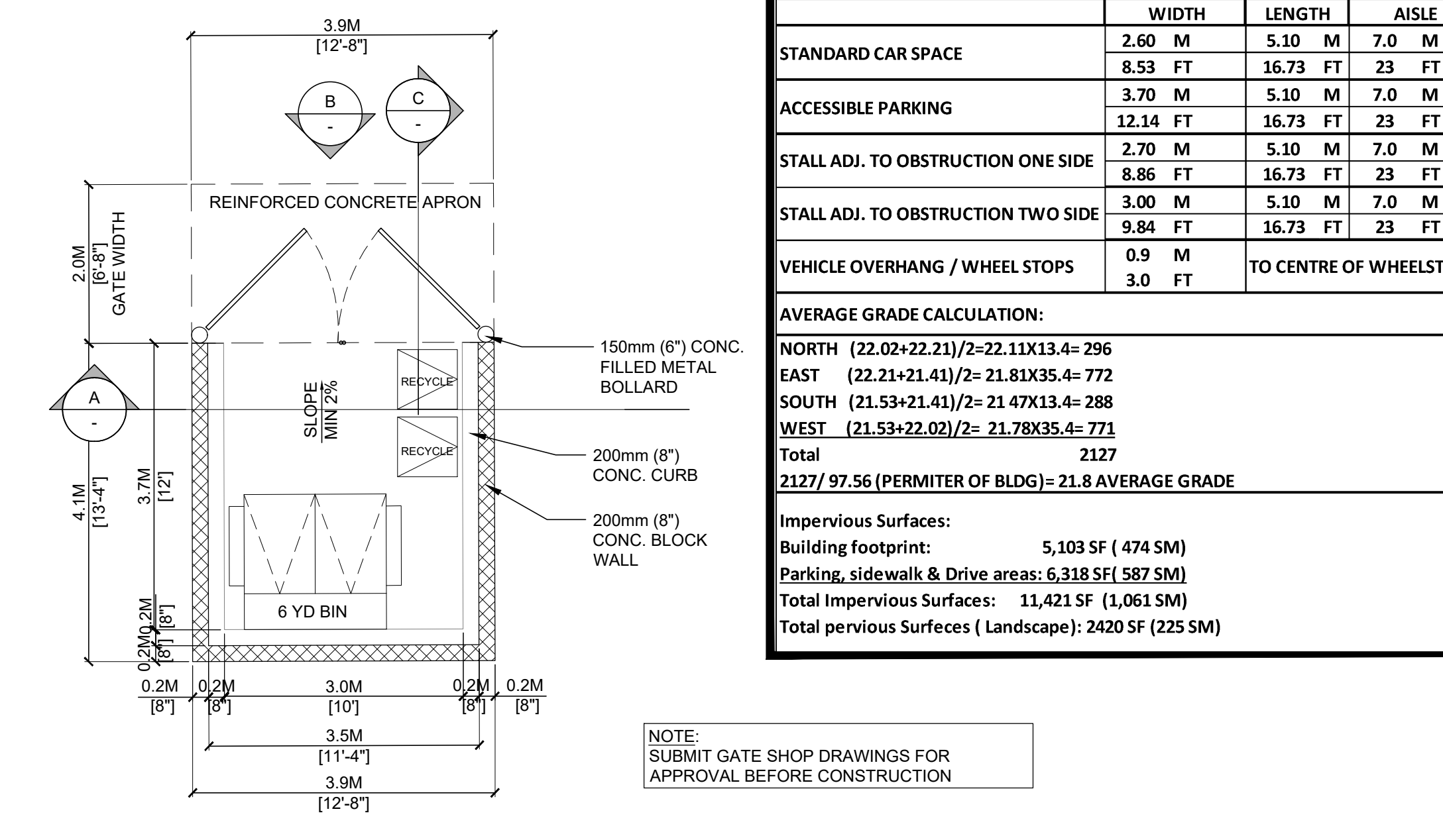


2 AERIAL KEY PLAN
SCALE: NTS



3 KEY PLAN
SCALE: NTS

LEGAL DESCRIPTION:		SITE INFORMATION:		
MUNICIPAL ADDRESS:		LOT A SECTIONS 29-30, VICTORIA DISTRICT, PLAN 25468		
ZONING:		C-1L (COMMERCIAL LANDSCAPE DISTRICT)		
TOTAL SITE AREA:	1,286 SM / 13,841 SF	0.3 AC		
LOT COVERAGE:	474 SM / 5,103 SF	36.87%		
FLOOR SPACE RATIO:	474 SM / 1,286 SM	0.37	:1	
BUILDING AREA & PARKING REQUIREMENTS				
	FLOOR AREAS		PARKING CALC.	
CRU (RETAIL)	465 SM / 5,005 SF	474 SM / 5,103 SF	9.49	
BLDG A M&E ROOM	9 SM / 98 SF	98 SF	ND NEAREST = 9.00	
TOTAL BLDG A	474 SM / 5,103 SF			
TOTAL FLOOR AREA	450 SM / 4,843 SF			
PARKING SUMMARY				
TOTAL PARKING REQUIRED	9 STALLS			
TOTAL PARKING PROVIDED	9 STALLS			
PARKING RATIO (TOTAL GFA)	1.9 /100 SM	1.8 /1,000 SF		
BYLAW REQUIREMENTS				
	BYLAW		PROPOSED	
MAXIMUM FLOOR SPACE RATIO:	1.4 TO 1	0.37	:1	
MAXIMUM BUILDING HEIGHT:	12 M / 39.37 FT	7.6 M / 24.93 FT		
BLDG SETBACK (ADI. TO STREETS - FY):	6 M / 19.68 FT	6 M / 19.68 FT		
BLDG SETBACK (ADI. TO STREETS - RY):	6 M / 19.68 FT	6 M / 19.68 FT		
BUILDING SETBACK (SIDE YARD 1):	0 M / 0.00 FT	5.42 M / 17.78 FT		
BUILDING SETBACK (SIDE YARD 2):	0 M / 0.00 FT	0.06 M / 0.20 FT		
LAND. SETBACK (MYRTLE AVE):	9 M / 29.52 FT	9 M / 29.52 FT		
PARKING REQUIREMENTS				
RETAIL PARKING IN VILLAGE/CENTRE	1 SPACE PER 50 SM G.F.A. (ROUND NEAREST WHOLE NO.)			
ELECTRIC VEHICLES	<10 PROVIDED STALLS = 0; 10-14 PROVIDED STALLS = 1			
BICYCLE PARKING, LONG TERM	1 PER 200SM FLOOR AREA, OR PART THEREOF. PROV'D=2 RACKS = 4			
BICYCLE PARKING, SHORT TERM	1 PER 200SM FLOOR AREA, OR PART THEREOF. PROV'D=2 RACKS = 4			
PARKING DIMENSIONS AND NOTES				
	WIDTH	LENGTH	AISE	NOTES:
STANDARD CAR SPACE	2.60 M / 8.53 FT	5.10 M / 16.73 FT	7.0 M / 22.97 FT	90 DEGREE
ACCESSIBLE PARKING	3.70 M / 12.14 FT	5.10 M / 16.73 FT	7.0 M / 22.97 FT	
STALL ADJ. TO OBSTRUCTION ONE SIDE	2.70 M / 8.86 FT	5.10 M / 16.73 FT	7.0 M / 22.97 FT	
STALL ADJ. TO OBSTRUCTION TWO SIDE	3.00 M / 9.84 FT	5.10 M / 16.73 FT	7.0 M / 22.97 FT	
VEHICLE OVERHANG / WHEEL STOPS	0.9 M / 3.0 FT	5.10 M / 16.73 FT	7.0 M / 22.97 FT	TO CENTRE OF WHEELSTOP
AVERAGE GRADE CALCULATION:				
NORTH	(22.02+22.21)/2=22.11X13.4= 296			
EAST	(22.21+21.41)/2=21.81X35.4= 772			
SOUTH	(21.53+21.41)/2=21.47X13.4= 288			
WEST	(21.53+22.02)/2=21.78X35.4= 771			
Total	2127			
2127/ 97.56 (PERMETER OF BLDG)	= 21.8 AVERAGE GRADE			
Impervious Surfaces:	5,103 SF (474 SM)			
Building footprint:	5,103 SF (474 SM)			
Parking, sidewalk & Drive areas:	6,318 SF (587 SM)			
Total Impervious Surfaces:	11,421 SF (1,061 SM)			
Total pervious Surfaces (Landscape):	2420 SF (225 SM)			



5 GARBAGE ENCLOSURE DETAILS
SCALE: 3/16"=1'-0"

revisions

No	Date	Description
1	2023-05-31	REVISED FOR IP
2	2023-05-31	REVISED FOR IP
3	2023-05-31	REVISED FOR IP
4	2023-05-31	REVISED FOR IP
5	2023-05-31	REVISED FOR IP
6	2023-05-31	REVISED FOR IP
7	2023-05-31	REVISED FOR IP
8	2023-05-31	REVISED FOR IP
9	2023-05-31	REVISED FOR IP
10	2023-05-31	REVISED FOR IP

North arrow pointing up.

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consultant

COMMERCIAL DEVELOPMENT
 1555 HILLSIDE AVE,
 VICTORIA, BC V8T 2C1

REGISTERED ARCHITECT
 PAUL Y. CHIU
 2023-05-31
 BRITISH COLUMBIA

URBAN DESIGN GROUP ARCHITECTS LTD.
 810 - 675 WEST HASTINGS STREET
 VANCOUVER, BC V6P 1G1 CANADA
 TEL 604.687.2334 WWW.UDGA.COM

project number: 5129
 sheet title: SITE PLAN

date: 2023-05-31
 scale: AS NOTED
 drawn: NS
 checked: PC

A-1.1

revisions

1	2023-05-31	REVISION FOR RP
2	2023-05-31	REVISION FOR RP
3	2023-05-31	REVISION FOR RP
4	2023-05-31	REVISION FOR RP
5	2023-05-31	REVISION FOR RP
6	2023-05-31	REVISION FOR RP
7	2023-05-31	REVISION FOR RP
8	2023-05-31	REVISION FOR RP
9	2023-05-31	REVISION FOR RP
10	2023-05-31	REVISION FOR RP
No.	Date	Description

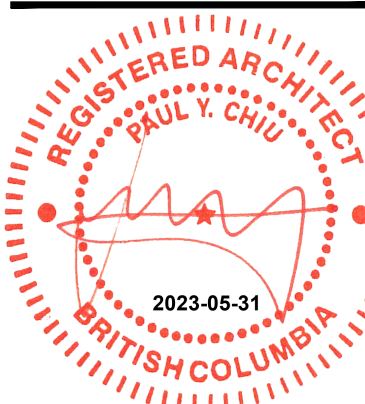
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consultant

COMMERCIAL DEVELOPMENT
PREMISE PROPERTIES

1555 HILLSIDE AVE,
VICTORIA, BC V8T 2C1



URBAN DESIGN GROUP ARCHITECTS LTD.
 610-675 WEST HASTINGS STREET
 VANCOUVER, BC V6B 1N2 CANADA
 TEL 604.687.2334 WWW.UJGGA.COM

project number 5129

sheet title

SITE SECTION

date	2023-05-31	sheet number
scale		A-3.5
drawn	AP	
checked	NS	



SECTION 1
SCALE: 1/8" = 1'-0"

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
10	23.MAY.18	ADD PERMEABLE PAVERS	JR
9	23.FEB.13	REV. PER CLIENT COMMENTS	JR
8	22.OCT.26	NEW SITE PLAN	JR
7	22.SEP.27	COLOUR RENDERING FOR ADP	JR
6	22.AUG.25	NEW SITE PLAN	JR
5	22.JUN.02	REV. PER TREE SURVEY PLAN	JR
4	22.APR.25	NEW SITE PLAN	JR
3	22.FEB.07	RE-ISSUED FOR DP	JR
2	22.FEB.04	NEW SITE PLAN	RJ
1	21.NOV.26	ADDED TREE MANAGEMENT PLAN	JH

CLIENT:

PROJECT:

COMMERCIAL DEVELOPMENT

1555 HILLSIDE AVE,
VICTORIA, BC

DRAWING TITLE:

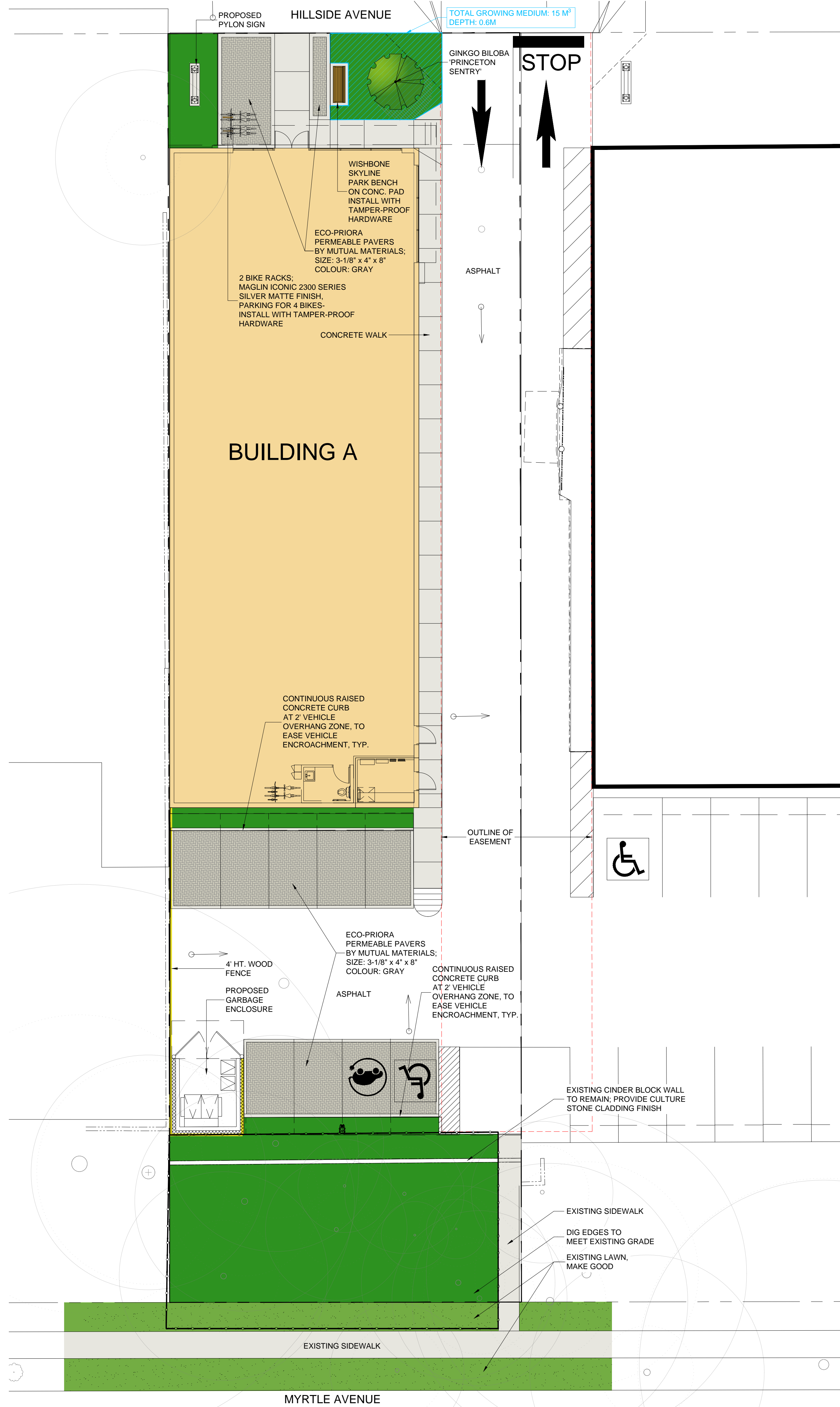
LANDSCAPE PLAN

DATE: 21.NOV.04 DRAWING NUMBER:
SCALE: 3/32"=1'-0"
DRAWN: JH
DESIGN: JH
CHK'D: PC

L1

OF 4

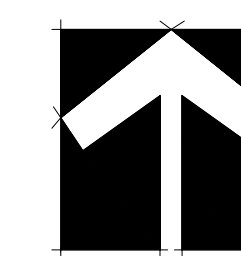
PMG PROJECT NUMBER: 21-207



GINKGO BILOBA 'PRINCETON SENTRY'

TREE SCHEDULE				PMG PROJECT NUMBER: 21207
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	1	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR	6CM CAL; 2M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



21207-9.ZIP

SEAL:

10	23.MAY.18	ADD PERMEABLE PAVERS	JR
9	23.FEB.13	REV. PER CLIENT COMMENTS	JR
8	22.OCT.26	NEW SITE PLAN	JR
7	22.SEP.27	COLOUR RENDERING FOR ADP	JR
6	22.AUG.25	NEW SITE PLAN	JR
5	22.JUN.02	REV. PER TREE SURVEY PLAN	JR
4	22.APR.25	NEW SITE PLAN	JR
3	22.FEB.07	RE-ISSUED FOR DP	JR
2	22.FEB.04	NEW SITE PLAN	RJ
1	21.NOV.26	ADDED TREE MANAGEMENT PLAN	JH

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

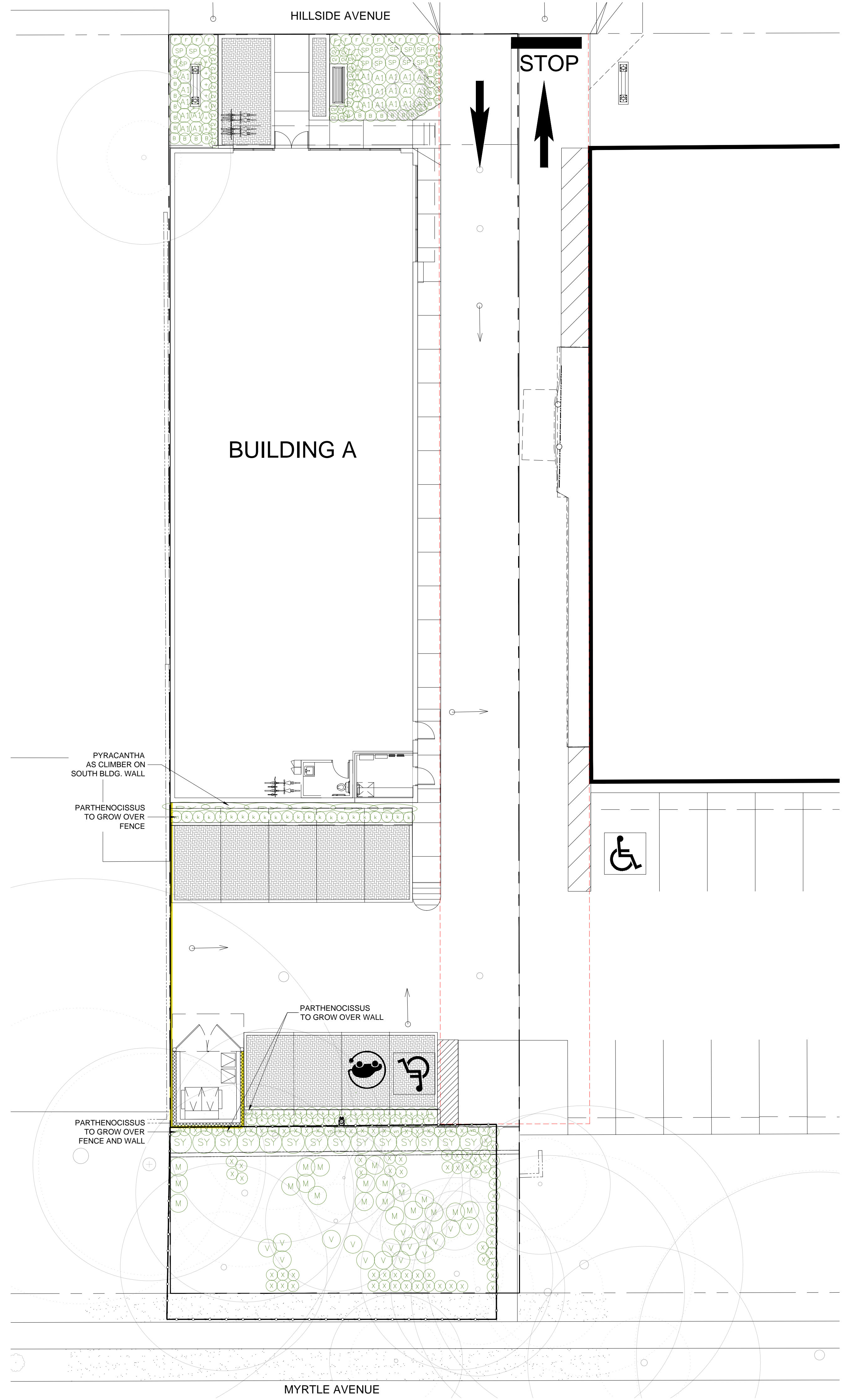
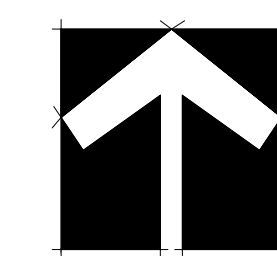
COMMERCIAL DEVELOPMENT

1555 HILLSIDE AVE,
VICTORIA, BC

DRAWING TITLE:

SHRUB PLAN

DATE:	21.NOV.04	DRAWING NUMBER:
SCALE:	3/32"=1'-0"	L2
DRAWN:	JH	
DESIGN:	JH	
CHK'D:	PC	OF 4

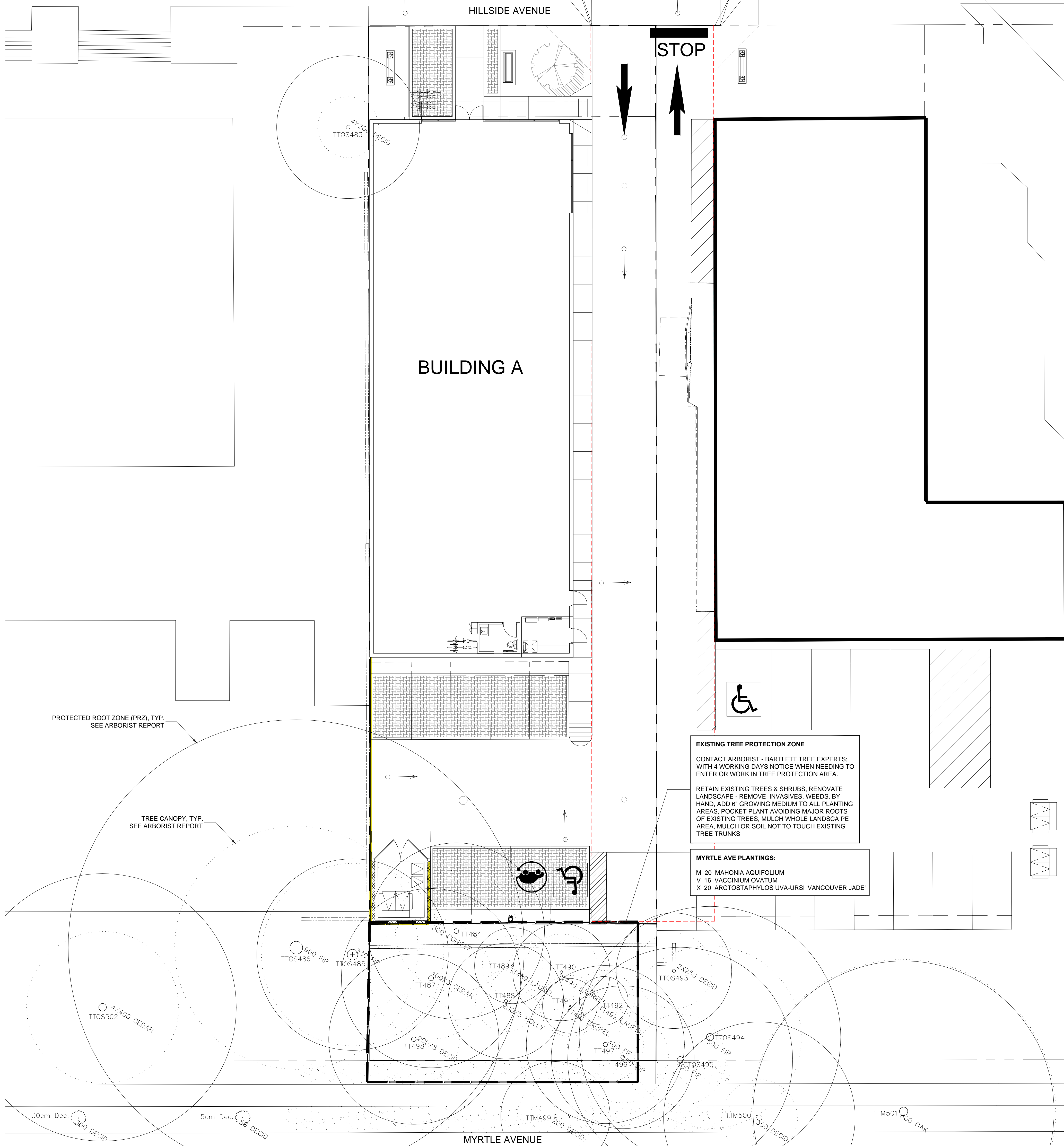


PARTHENOISSUS QUINQUEFOLIA

PYRACANTHA 'RED ELF'

SHRUB SCHEDULE				PMG PROJECT NUMBER: 21-207
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
A	22	AZALEA JAPONICA 'HINODENGIRI'	AZALEA; BRIGHT CRIMSON	#2 POT; 25CM
B	24	BUXUS SEMPERVIRENS GREEN VELVET	GREEN VELVET BOXWOOD	#3 POT; 40CM
C	20	MAHONIA AQUIFOLIUM	OREGON GRAPE	#1 POT; 30CM
D	6	PYRACANTHA 'RED ELF'	RED ELF FIRETHORN	#2 POT; 50CM
E	14	SPIRAEA X BUMALDA 'GOLDMOUND'	DWARF SPIREA	#2 POT; 40CM
F	14	SYMPHORICARPOS MOLLIS	TRAILING SNOWBERRY	#2 POT; 30CM
G	16	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#1 POT; 30CM
GRASS				
H	32	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	11 CM POT
I	15	FESTUCA OVINA 'GLAUCA'	BLUE FESCUE	#1 POT
VINE				
J	8	PARTHENOISSUS QUINQUEFOLIA	VIRGINIA CREEPER	#1 POT; 45CM - STAKED
PERENNIAL				
K	18	FUCHSIA MAGELLANICA 'RICCARTONII'	HARDY FUSCHIA	15 CM POT
GC				
L	56	ARCTOSTAPHYLOS LVA-URSI	KINNIKINNICK	#1 POT; 20CM
M	81	BLECHNUM SPICANT	DEER FERN	#1 POT; 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



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pmg
 LANDSCAPE ARCHITECTS
 Suite C100 - 4185 Still Creek Drive
 Burnaby, British Columbia, V5C 6G9
 p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
10	23.MAY.18	ADD PERMEABLE PAVERS	JR
9	23.FEB.13	REV. PER CLIENT COMMENTS	JR
8	22.OCT.26	NEW SITE PLAN	JR
7	22.SEP.27	COLOUR RENDERING FOR ADP	JR
6	22.AUG.25	NEW SITE PLAN	JR
5	22.JUN.02	REV. PER TREE SURVEY PLAN	JR
4	22.APR.25	NEW SITE PLAN	JR
3	22.FEB.07	RE-ISSUED FOR DP	JH
2	22.FEB.04	NEW SITE PLAN	JH
1	21.NOV.26	ADDED TREE MANAGEMENT PLAN	JH

CLIENT:

PROJECT:
COMMERCIAL DEVELOPMENT

1555 HILLSIDE AVE,
 VICTORIA, BC

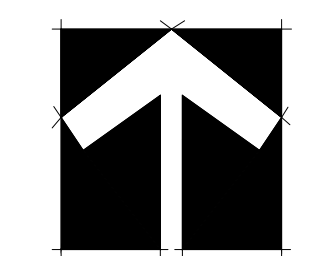
DRAWING TITLE:
EXISTING TREE MANAGEMENT PLAN

DATE: 21.NOV.04 DRAWING NUMBER:
 SCALE: 3/32"=1'-0" **L3**
 DRAWN: JH
 DESIGN: JH
 CHK'D: PC

PMG PROJECT NUMBER: 21-207

LEGEND

EXISTING TREE TO BE RETAINED



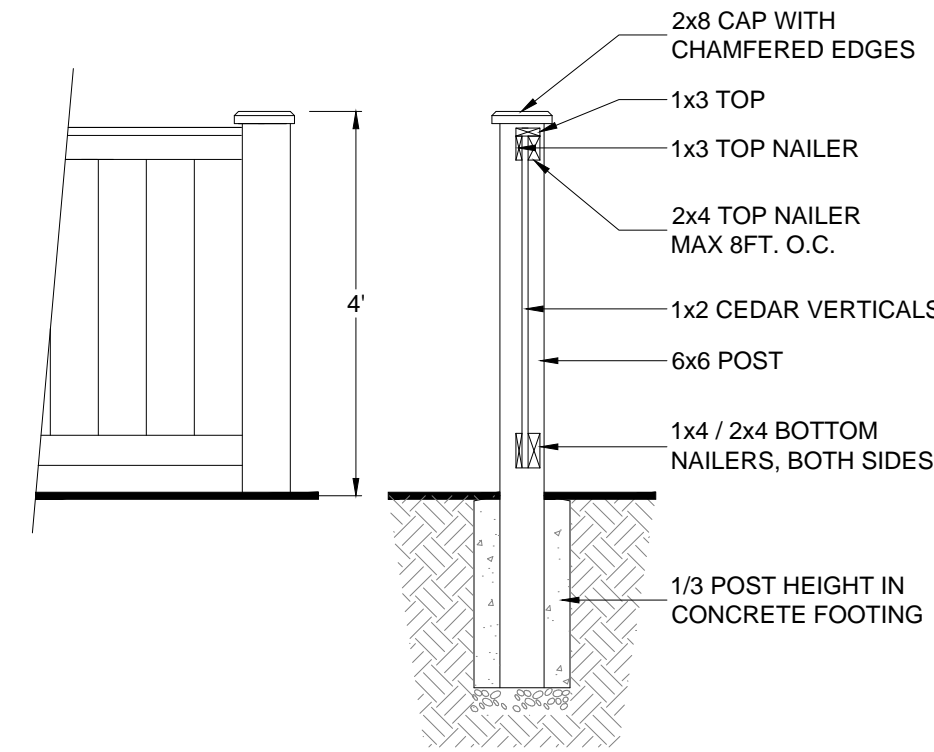
21207-9-ZIP



**MAGLIN
ICONIC 2300 SERIES
SILVER MATTE FINISH**



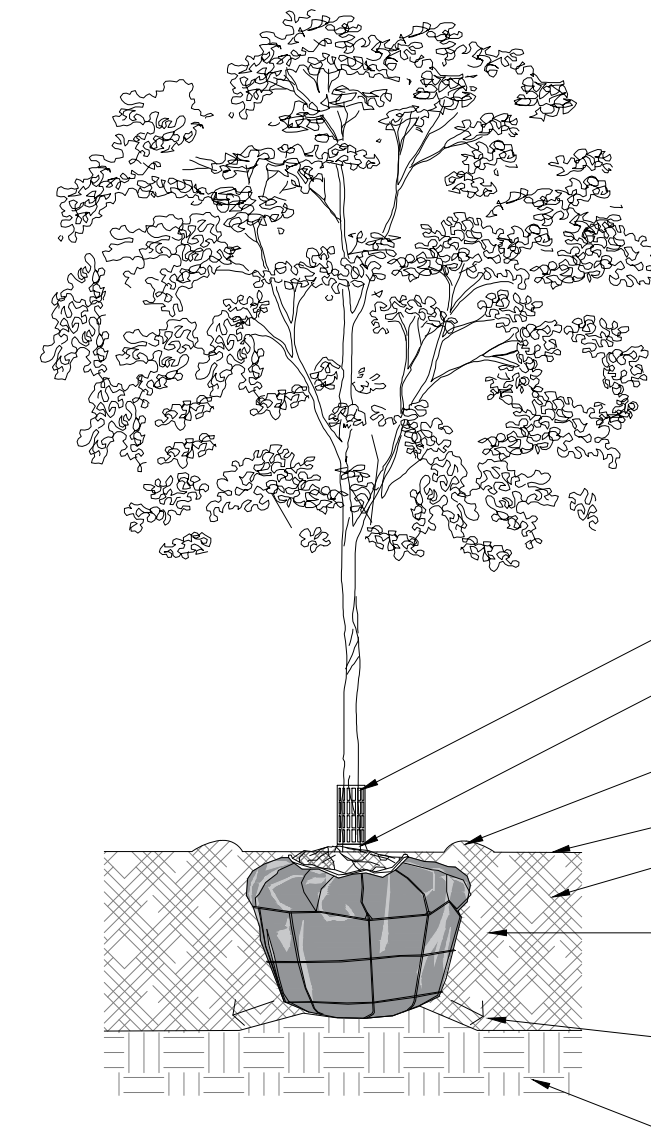
**WISHBONE
SKYLINE PARK BENCH**



- NOTE**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3'-6".

1 4'-0" HEIGHT WOOD FENCE

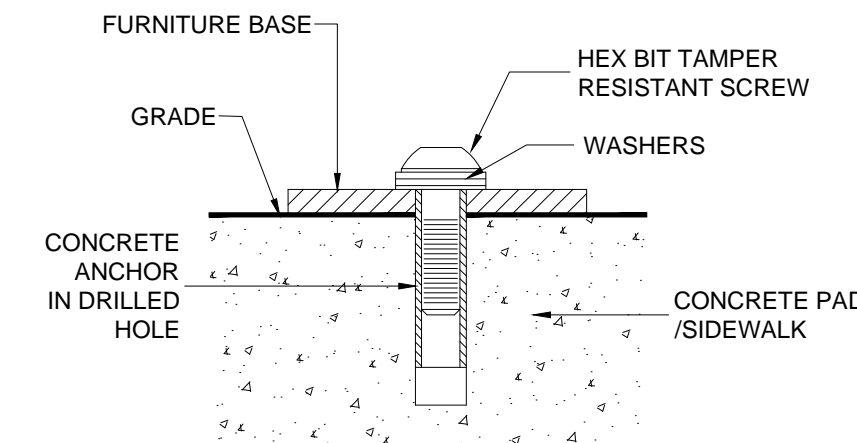
SCALE: 1/2"=1'-0"



- NOTES:**
1. TREE TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL LEVEL WITH FINISH GRADE ELEVATION.
 2. COMPOSTED BARK MULCH TO BE KEPT AT LEAST 50mm AWAY FROM BASE OF TREE TRUNK.
 3. ONLY PRUNE BROKEN OR DAMAGED BRANCHES USING APPROVED PRUNING TOOLS AND STANDARD I.S.A PRUNING PRACTICES AS DIRECTED BY CONSULTANT OR PROJECT ARBORIST. SEE SPECIFICATIONS.
 4. PLANTING PIT MUST BE FREE DRAINING.
 5. THE BELOW DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.

4 TREE PLANTING DETAIL

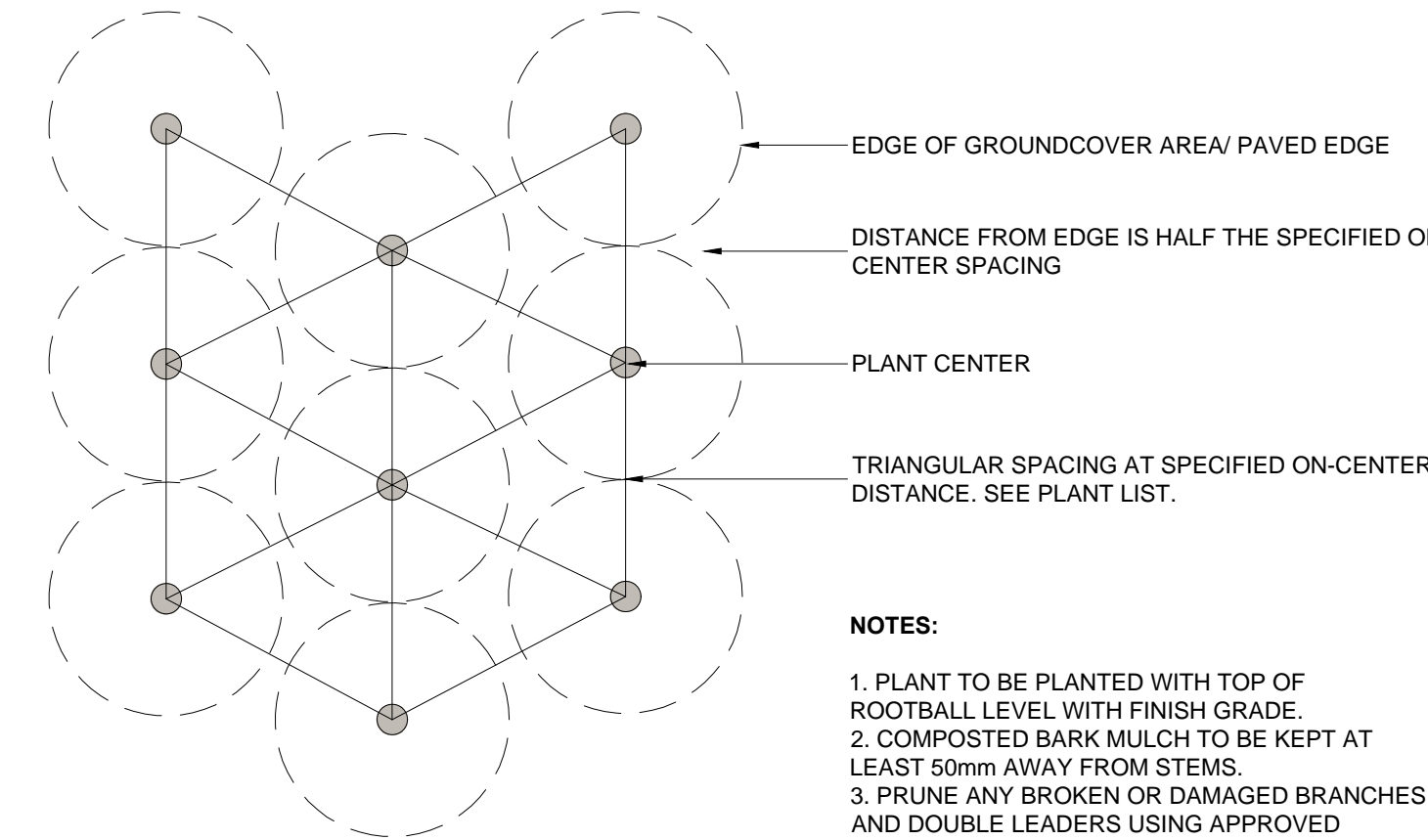
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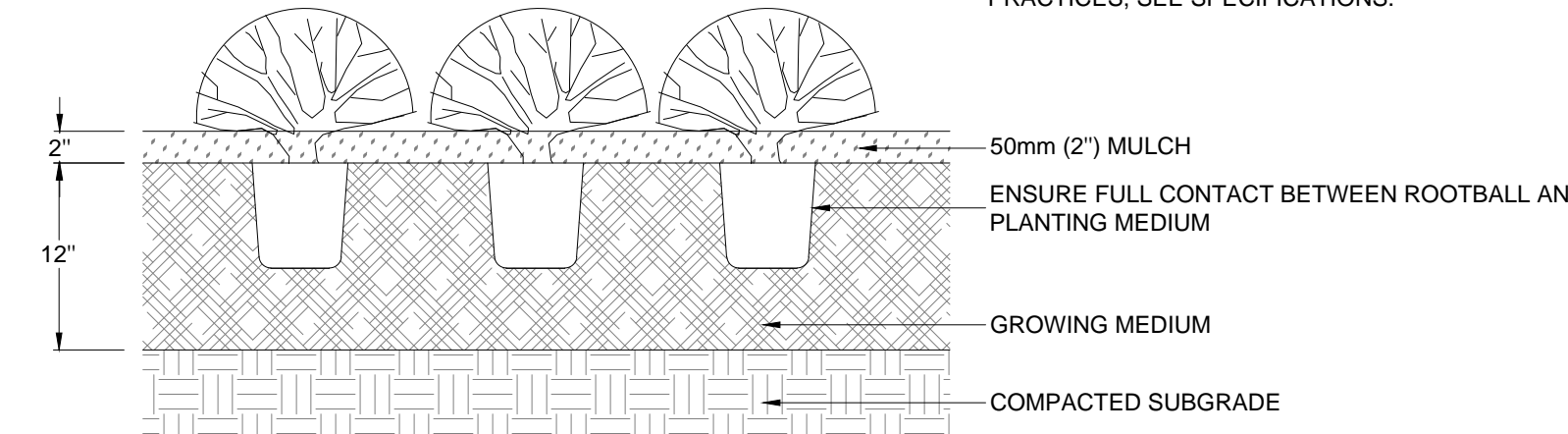
- NOTE:**
- SITE FURNISHINGS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS

2 SITE FURNITURE MOUNTING

SCALE: N.T.S.

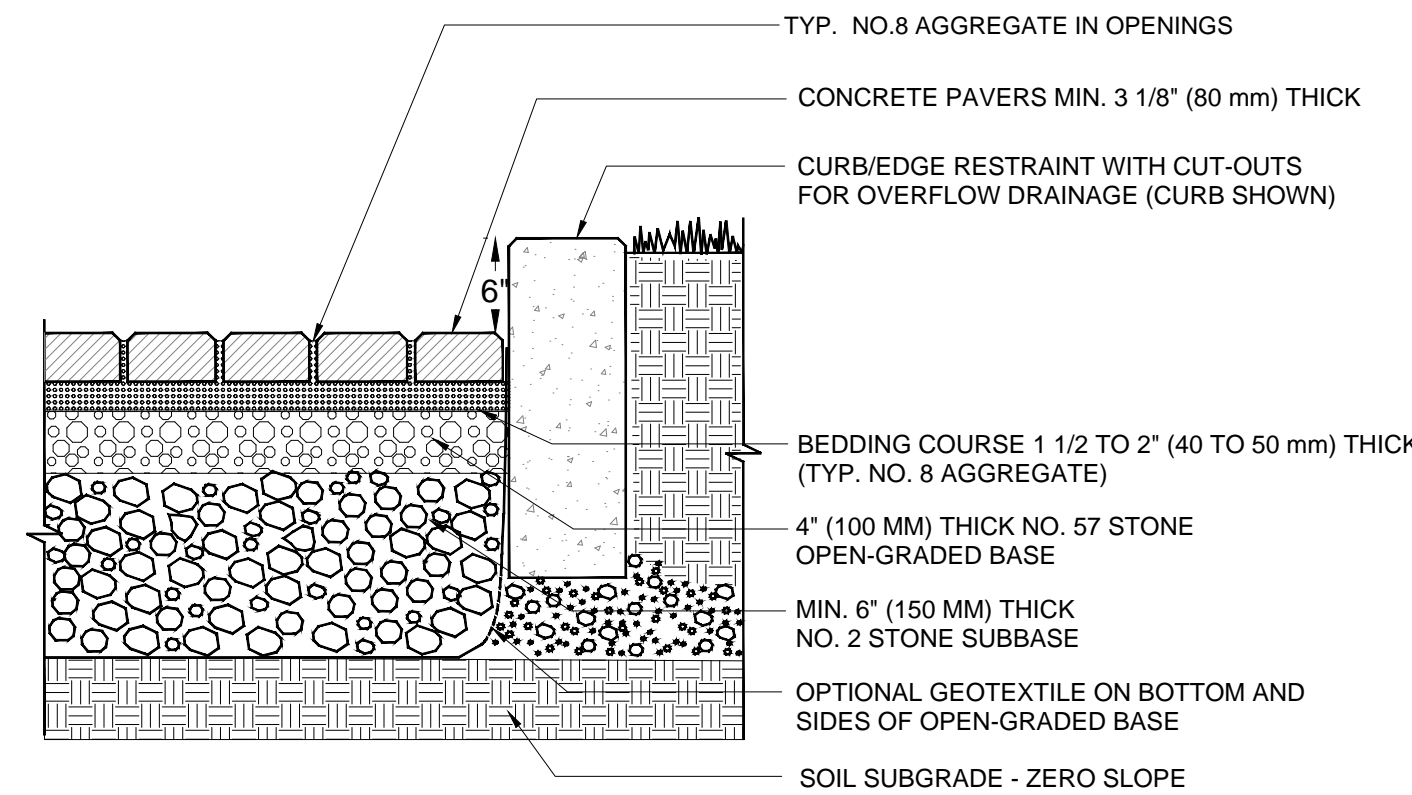


- NOTES:**
1. PLANT TO BE PLANTED WITH TOP OF ROOTBALL LEVEL WITH FINISH GRADE.
 2. COMPOSTED BARK MULCH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS.
 3. PRUNE ANY BROKEN OR DAMAGED BRANCHES AND DOUBLE LEADERS USING APPROVED PRUNING TOOLS AND STANDARD I.S.A PRUNING PRACTICES. SEE SPECIFICATIONS.



5 GROUNDCOVER PLANTING DETAIL

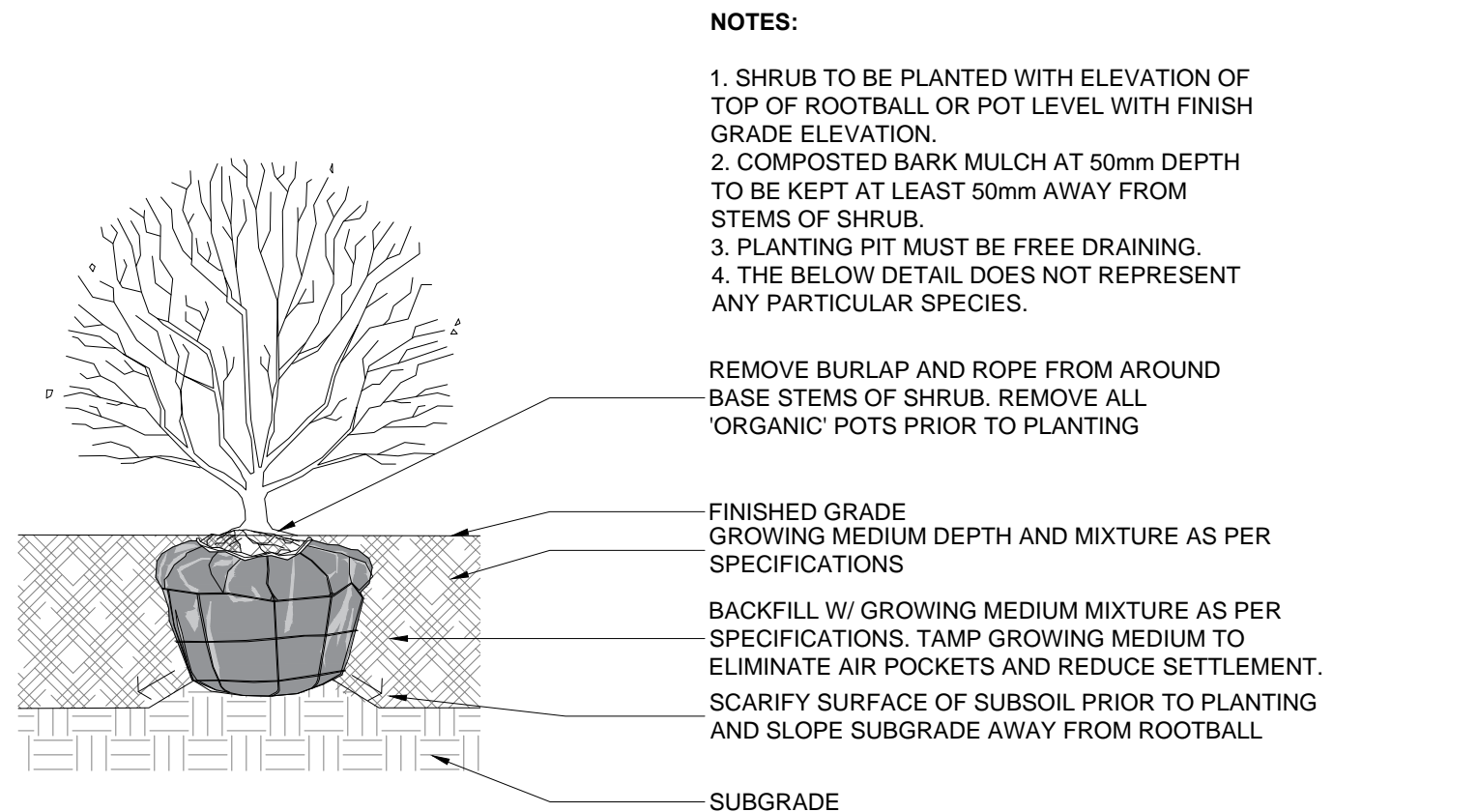
SCALE: N.T.S.



- NOTES:**
1. 2 3/8" (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN APPLICATIONS.
 2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.

3 PERMEABLE PAVERS

SCALE: 3/4"=1'-0"



- NOTES:**
1. SHRUB TO BE PLANTED WITH ELEVATION OF TOP OF ROOTBALL OR POT LEVEL WITH FINISH GRADE ELEVATION.
 2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF SHRUB.
 3. PLANTING PIT MUST BE FREE DRAINING.
 4. THE BELOW DETAIL DOES NOT REPRESENT ANY PARTICULAR SPECIES.

6 SHRUB PLANTING DETAIL

SCALE: N.T.S.



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

10	23.MAY.18	ADD PERMEABLE PAVERS	JR
9	23.FEB.13	REV. PER CLIENT COMMENTS	JR
8	22.OCT.26	NEW SITE PLAN	JR
7	22.SEP.27	COLOUR RENDERING FOR ADP	JR
6	22.AUG.25	NEW SITE PLAN	JR
5	22.JUN.02	REV. PER TREE SURVEY PLAN	JR
4	22.APR.25	NEW SITE PLAN	JR
3	22.FEB.07	RE-ISSUED FOR DP	JR
2	22.FEB.04	NEW SITE PLAN	JR
1	21.NOV.26	ADDED TREE MANAGEMENT PLAN	JH

NO.	DATE	REVISION DESCRIPTION	DR.
-----	------	----------------------	-----

CLIENT:

PROJECT:

COMMERICAL DEVELOPMENT

**1555 HILLSIDE AVE,
VICTORIA,BC**

**DRAWING TITLE:
LANDSCAPE
DETAILS**

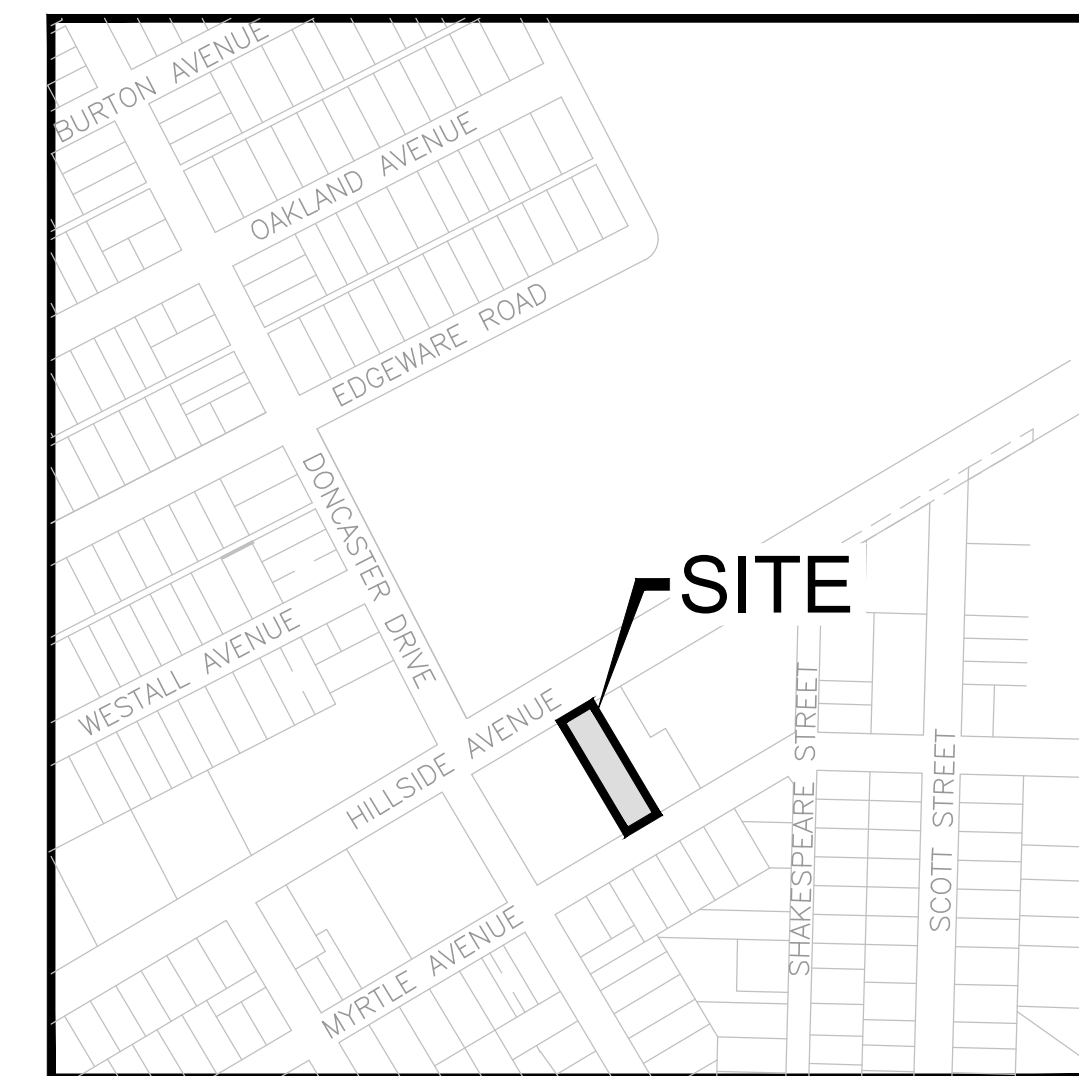
DATE:	21.NOV.04	DRAWING NUMBER:	
SCALE:	AS NOTED		
DRAWN:	JH		
DESIGN:	JH		
CHK'D:	PC		

L4

OF 4

LEGEND

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
		EDGE OF PAVEMENT			REDUCER
		CURB AND GUTTER			FENCE
		EDGE OF GRAVEL			DITCH/SWALE
		TOP/BOTTOM OF BANK			WATERMAIN (SIZE AND MATERIAL NOTED)
		CATCH BASIN			SANITARY SEWER (SIZE AND MATERIAL NOTED)
		WATER VALVE			STORM DRAIN (SIZE AND MATERIAL NOTED)
		FIRE HYDRANT			UNDERGROUND TELEPHONE
		CAPPED END			UNDERGROUND HYDRO
		UTILITY POLE AND STREET LIGHT (LABELLED PP,TP,PP/LS ETC.)			IRRIGATION SLEEVES
		MANHOLE			MONUMENT
		CLEANOUT			PROPERTY LINE
		SANITARY/STORM INSPECTION CHAMBER (200# RISER)			CENTERLINE AND STATIONING
		JUNCTION BOX			SANITARY SEWER SERVICE CONNECTION AT MAIN
		AIR VALVE			ELEVATIONS
		WATER METER			PAVEMENT REMOVAL
					NEW ASPHALT



LOCATION PLAN
NTS

CIVIC ADDRESS: 1555 HILLSIDE AVENUE
 LEGAL: LOT A, SECTION 29-30, VICTORIA DISTRICT, PLAN 25468.
 ZONING: OAKLAND TOWN CENTRE
 LAND USE: COMMERCIAL
 PROPOSED: COMMERCIAL
 SITE AREA: 1286m²
 BUILDING FOOTPRINT AREA: 471m²
 MAIN FLOOR ELEVATION: 22.20m

GENERAL NOTES:

- ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE CITY OF VICTORIA (CoV) SPECIFICATIONS, ITS SUPPLEMENTARY MASTER MUNICIPAL SPECIFICATIONS, STANDARD DETAIL DRAWINGS AND MMCD UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- SIGNATURE BLOCK FOR SHALLOW UTILITIES TO BE SIGNED AND DATED PRIOR TO CONSTRUCTION.
- PERMITS TO CONSTRUCT WORKS ON THE CoV RIGHT OF WAY MUST BE OBTAINED FROM THE CoV ENGINEERING DEPARTMENT PRIOR TO COMMENCING WORK. PERMITS MUST BE ON SITE FOR REVIEW AS REQUIRED.
- CONFIRM LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONFIRM THAT ELEVATION, LOCATION AND GRADIENT OF ASPHALT MATCH EXISTING PRIOR TO PLACEMENT OF ASPHALT OR CONCRETE.
- ALL TREES NOT BEING REMOVED IN THE CONSTRUCTION AREA SHALL BE PROTECTED. CARE TO BE TAKEN TO RETAIN AS MANY TREES AS POSSIBLE.
- ADJUST ALL MANHOLES, WATER VALVES, HYDRO VAULTS, ETC. TO MATCH NEW CONSTRUCTION.
- ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED BY USE OF A PIPE LOCATOR AND MANUAL DIGGING. ALL OR ANY STRUCTURES NOT NECESSARILY SHOWN.
- ALL EXCAVATED TRENCH AND SUBEXCAVATION MATERIALS TO BE DISPOSED OF OFFSITE.
- ALL ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERENCED TO CITY OF VICTORIA INTEGRATED SURVEY MONUMENT 26-10. ELEVATION = 21.2023m.
- DATA SOURCES:
-TOPOGRAPHIC SURVEY COMPLETED BY J.E. ANDERSON & ASSOCIATES, NOVEMBER 23 2021.

ROAD NOTES:

- CONSTRUCT ALL SIDEWALK AND DRIVEWAY CROSSINGS IN ACCORDANCE WITH CoV STANDARDS AND MMCD AS NOTED ON DRAWINGS.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG HILLSIDE AVENUE DURING CONSTRUCTION.
- ROAD RESTORATION FOR HILLSIDE AVENUE TO CoV SUPPLEMENTAL DWG. No. SD G5a AND G5b.
- THE PROVISION OF APPROVED SIGNS AND CERTIFIED TRAFFIC CONTROL PERSONNEL IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
- ALL PAVEMENT EXCAVATIONS TO BE SAWCUT.
- PROJECT FRONTAGE TO BE RESTORED AS NOTED ON CIVIL, LANDSCAPE AND ARCHITECTURAL DRAWINGS AS PER CoV "HILLSIDE TOWN CENTRE" SPECIFICATIONS.
- PEDESTRIAN WALKING AREA TO BE DELINEATED DURING THE CONSTRUCTION OF THE WORKS AND MUST BE EASILY RECOGNIZABLE BY THE PUBLIC AND CONTAIN NO OBSTRUCTIONS TO MOBILITY SCOOTERS OR WHEELCHAIRS AND NO HAZARDOUS CONDITIONS. THE PUBLIC USING THESE AREAS MUST BE ADEQUATELY PROTECTED FROM TRAFFIC.

WATER NOTES:

- WATER SERVICE CONNECTION TO BE PER CoV STD. DWG. No. W2d SS.
- CONTRACTOR TO CONFIRM THAT EXISTING WATER SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.

STORM DRAIN AND SANITARY SEWER NOTES:

- CONTRACTOR TO CONFIRM THAT EXISTING SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.
- STORM DRAIN AND SANITARY SEWER CONNECTIONS TO BE AS PER CoV STD. DWG. No. S7 SS.
- STORM DRAIN CONNECTION TO BE XXXØ PVC SDR28 AT A MINIMUM GRADE OF 2.00%.
- SANITARY SEWER CONNECTION TO BE XXXØ PVC SDR28 AT A MINIMUM GRADE OF 2.00%.
- UNDERGROUND SERVICES TO BE LOCATED, EXPOSED AND ELEVATIONS CONFIRMED AT CROSSINGS PRIOR TO INSTALLATION OF CONNECTIONS.

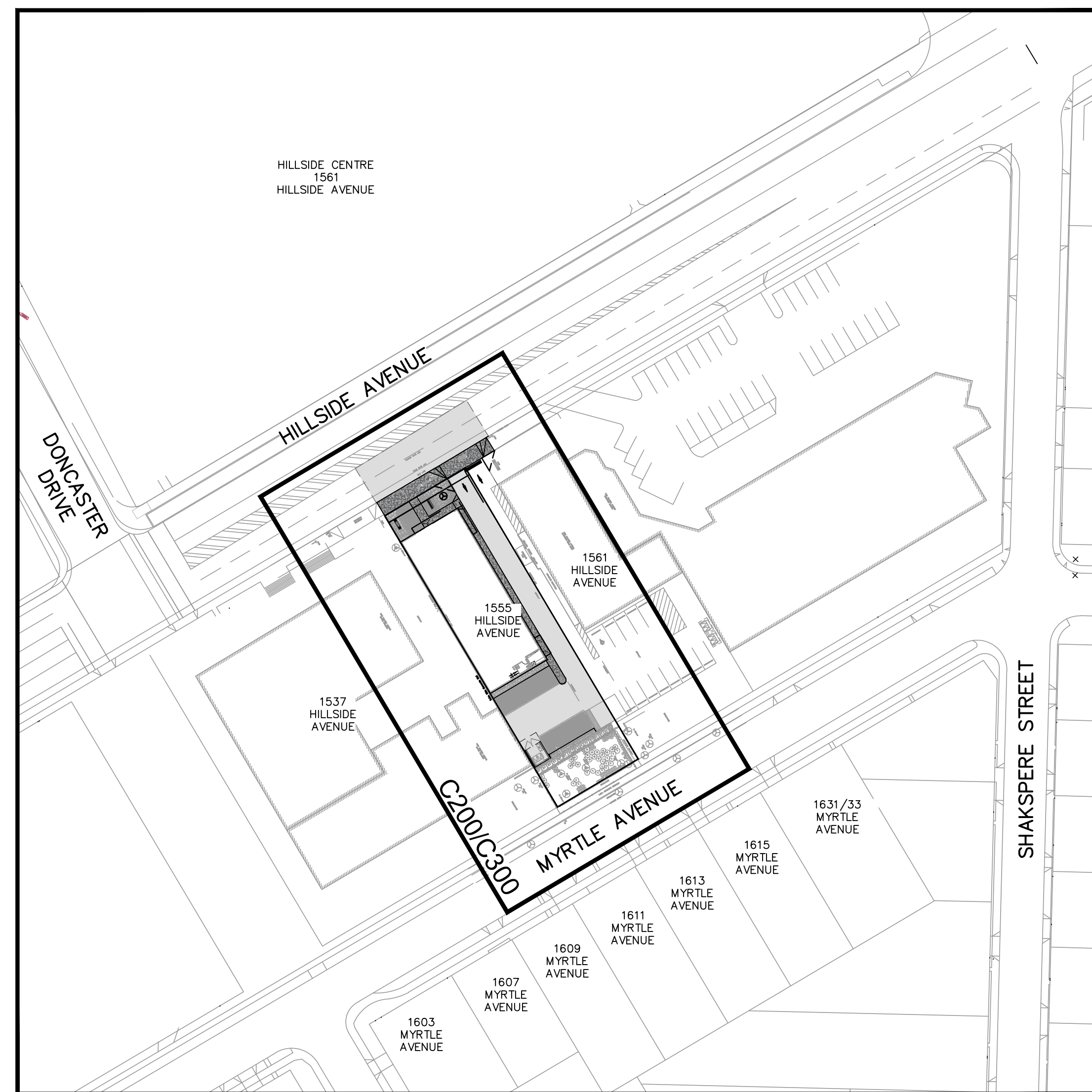
SHALLOW UTILITY AND STREET LIGHT NOTES:

- EXISTING BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC INFRASTRUCTURE INFORMATION SHOWN ON DRAWINGS IS SCHEMATIC AND FOR INFORMATION ONLY.
- REFER TO UTILITY COMPANY DESIGN DRAWINGS FOR CONSTRUCTION DETAILS. CONSTRUCT UNDERGROUND UTILITIES AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS, SHAW CABLE SPECIFICATIONS AND DRAWINGS.
- CONFIRM AND COORDINATE WITH CoV FORCES REINSTATEMENT OF LAMP STANDARDS AS PER CoV SUPPLEMENTARY STANDARD DETAIL DRAWINGS, INCLUDING BASES, CONDUIT AND JUNCTION BOX.
- CONTACT BC 1 CALL AT 1-800-474-6886 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC 48 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- BC HYDRO TO COORDINATE AND PROVIDE LIAISON WITH CoV PRIOR TO AND DURING CONSTRUCTION.

ISSUES		
No.	DATE	ISSUED FOR
1	2022.01.10	Development Permit
2	2022.02.07	Re-issued for Development Permit
3	2022.06.17	Re-issued for Development Permit 2
4	2023.05.30	Re-issued for Development Permit 3

CLIENT

ISSUED FOR
DEVELOPMENT PERMIT



KEY PLAN
1:750



LIST OF DRAWINGS

DWG. No.	DESCRIPTION
C100	GENERAL NOTES, LOCATION PLAN, LEGEND AND KEY PLAN
C200	SITE SERVICING PLAN
C300	GRADING AND SURFACE WORKS PLAN

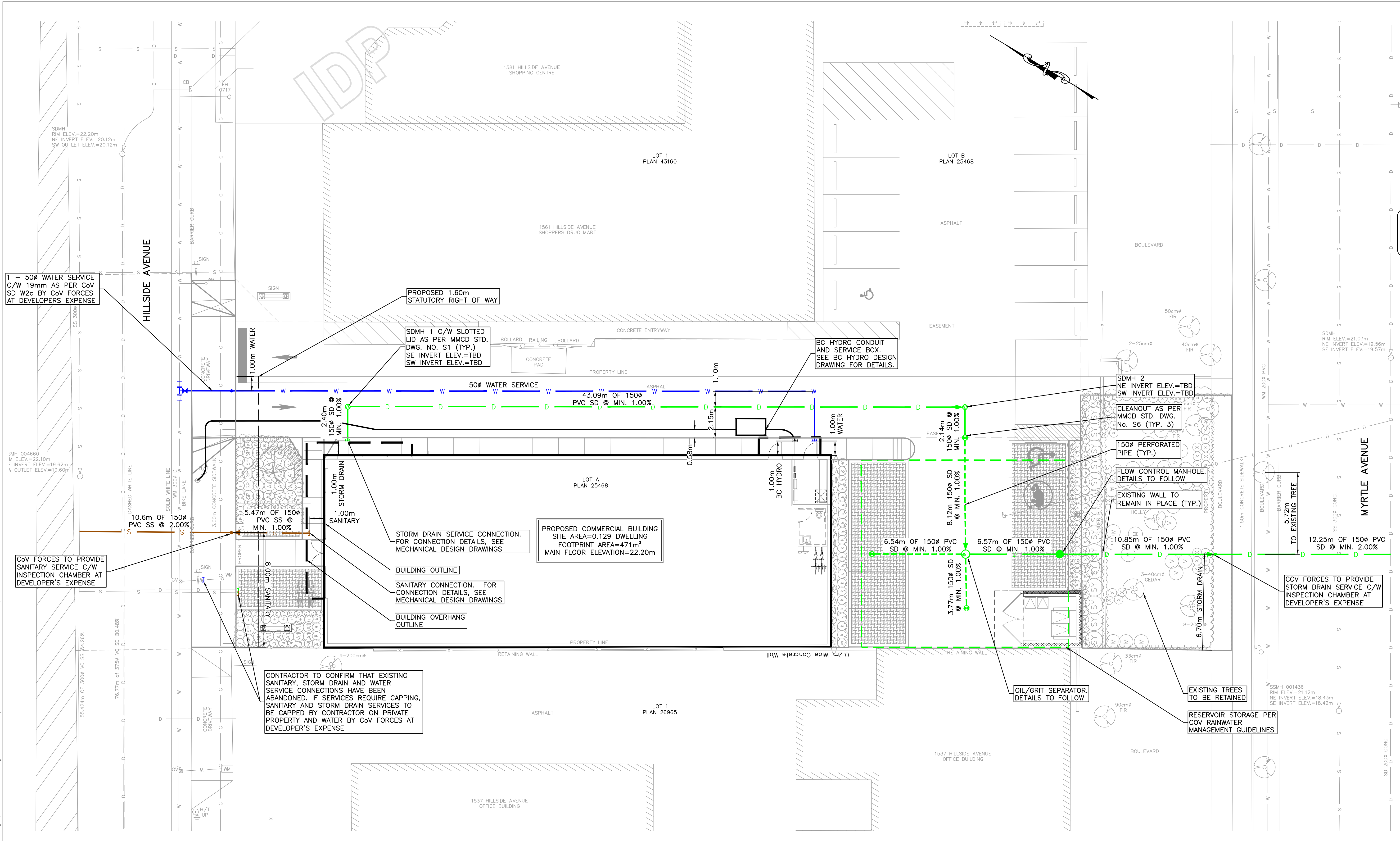
1555 HILLSIDE AVENUE
 COMMERCIAL DEVELOPMENT
 URBAN DESIGN GROUP ARCHITECTS LTD.
 CITY OF VICTORIA, BC
 NO. 176 SAIL VIEW VENTURES LTD.

HEROLD ENGINEERING
 Unit 600-1112 Fort St, Victoria, BC V8V 3K8
 Tel: 250-590-4875 Fax: 250-590-4392
 Email: mail@heroldengineering.com

GENERAL NOTES,
LOCATION PLAN,
LEGEND AND
KEY PLAN

DESIGNED JSR	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED SAC	
DRAFTING REVIEW	
PROJECT No. 5783-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C100	REVISION 1 OF 3 4

File: \\Projects\5783-001 1555 Hillside Avenue-Civil\04C Drawings\5783-001 Civil.dwg Plot Time: May, 30, 23 3:31 PM User: Sarah Campden



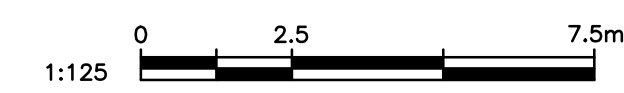
SITE SERVICING PLAN
1:200

NOTES:

- FOR GENERAL NOTES SEE SHEET C100.
- ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- FOR SHALLOW UTILITIES DESIGN, SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
- CONTRACTOR TO CONFIRM THAT EXISTING SANITARY, STORM DRAIN AND WATER SERVICE CONNECTIONS HAVE BEEN ABANDONED. IF SERVICES REQUIRE CAPPING, SANITARY AND STORM DRAIN SERVICES TO BE CAPPED BY CONTRACTOR ON PRIVATE PROPERTY AND WATER BY COV FORCES AT DEVELOPER'S EXPENSE
- BC HYDRO INFRASTRUCTURE TO PROVIDE BOTH TEMPORARY AND POST CONSTRUCTION SERVICES. TEMPORARY UNDERGROUND INFRASTRUCTURE TO REMAIN ABANDONED IN PLACE. SEE BC HYDRO DETAILED DESIGN DRAWING 5XXX-XXX-XXXXX FOR DETAILS.

UNDERGROUND SERVICE INFORMATION		
INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY SEWER
EXISTING DEPTH (m)	UNKNOWN	UNKNOWN
PROPOSED DEPTH (m)	XX.XXm	21.44m
PROPOSED INVERT ELEVATION (m)	XX.XXm	XX.XXm
MAXIMUM DEPTH REQUESTED	YES <input type="checkbox"/> NO <input type="checkbox"/>	YES <input type="checkbox"/> NO <input type="checkbox"/>

WORKS AND SERVICES CHECKLIST				
UTILITY	PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	NAME	NAME	NAME	
HYDRO ELECTRICAL COMPANY				
MUNICIPAL				



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ISSUED FOR DEVELOPMENT PERMIT

**1555 HILLSIDE AVENUE
COMMERCIAL DEVELOPMENT
URBAN DESIGN GROUP ARCHITECTS LTD.**

CITY OF VICTORIA, BC
NO. 176 SAIL VIEW VENTURES LTD.

HEROLD ENGINEERING
Unit 600-1112 Fort St, Victoria, BC V8V 3K8
Tel: 250-590-4875 Fax: 250-590-4392
Email: mail@heroldengineering.com

SITE SERVICING PLAN	
DESIGNED JSR	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED SAC	
DRAFTING REVIEW	
PROJECT No. 5783-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C200	REVISION 2 OF 3

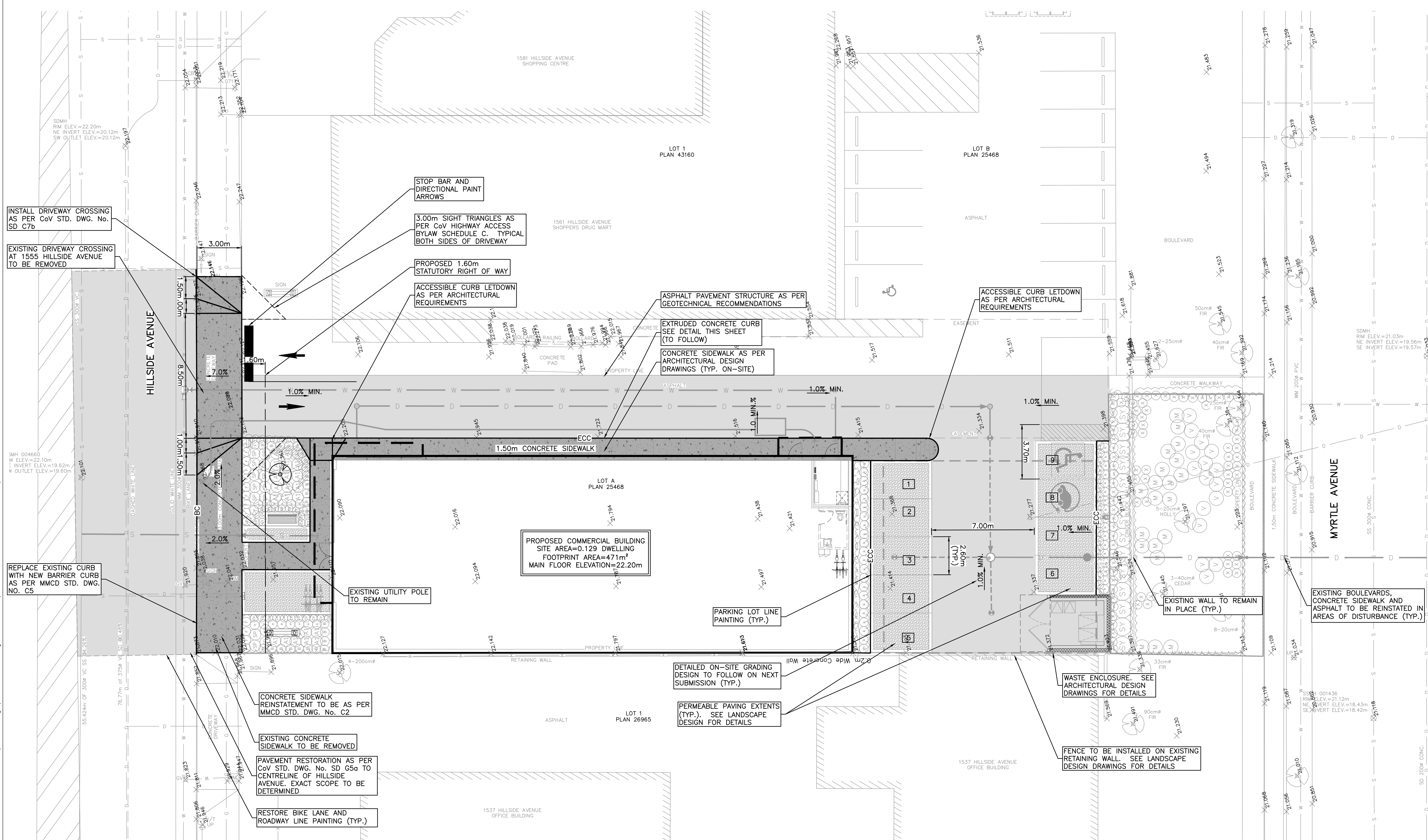
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NOTES:

1. FOR GENERAL NOTES SEE SHEET C100.
2. ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
3. FOR SHALLOW UTILITIES DESIGN, SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
4. CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY TOE FORCES.
5. BC HYDRO INFRASTRUCTURE TO PROVIDE BOTH TEMPORARY AND POST CONSTRUCTION SERVICES. TEMPORARY UNDERGROUND INFRASTRUCTURE TO REMAIN ABANDONED IN PLACE. SEE BC HYDRO DETAILED DESIGN DRAWING 5XXX-XXX-XXXX FOR DETAILS.

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ISSUED FOR DEVELOPMENT PERMIT



SITE SERVICING PLAN
1:200



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GRADING AND SURFACE WORKS PLAN

DESIGNED	JSR	ENGINEER'S SEAL
DESIGN REVIEW	AJH	
DRAFTED	SAC	
DRAFTING REVIEW		
PROJECT No.	5783-001	CLIENT DRAWING No.
SCALE	H: AS NOTED V: -	PERMIT No.
HEL DRAWING No.	C300	REVISION
	3 of 3	4