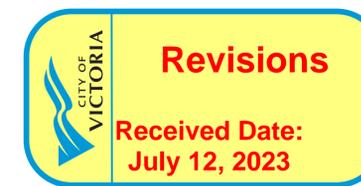


Commercial and Self-Storage Development

2300, 2310 & 2312 Douglas Street, Victoria, BC

BG DOUGLAS VENTURES INC.



ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly Besharat Friars Architects)

600 - 355 Burrard Street
Vancouver, BC V6C 2G8



ARCHITECTURAL DRAWING INDEX

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SA01	SHADOW ANALYSIS

**REISSUED FOR
DEVELOPMENT PERMIT
21 JUNE 2023**

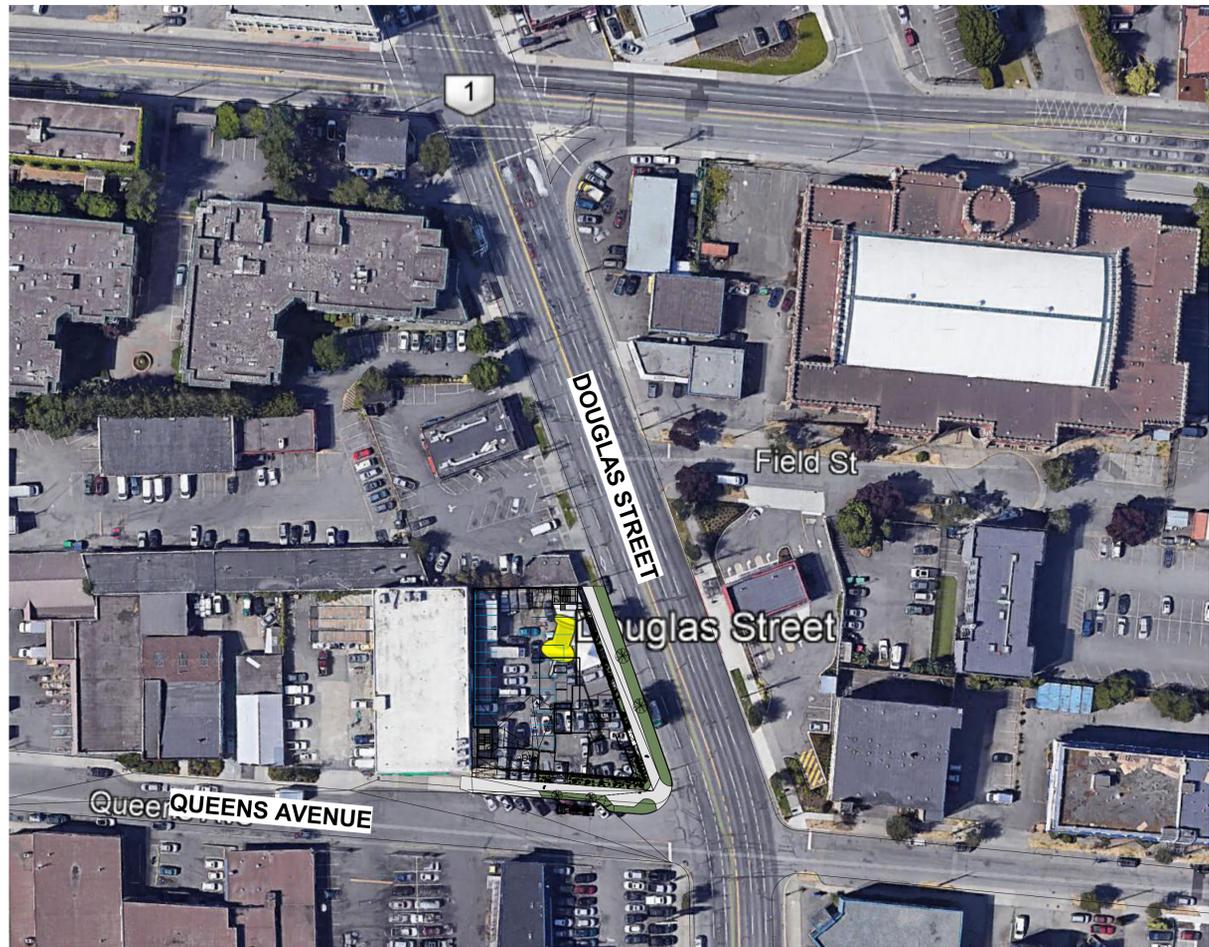
ABBREVIATIONS LEGEND

A.F.F.	ABOVE FINISHED FLOOR	MTL.	METAL	ENCL.	ENCLOSURE	SM	SQUARE METERS
A.B.	AIR BARRIER	NA	NOT APPLICABLE	EQ.	EQUAL	S.S.	STAINLESS STEEL
ALUM.	ALUMINIUM	N.I.C.	NOT IN CONTRACT	EXT.	EXTERIOR	STR.	STAIR
BS	BASEMENT	N.T.S.	NOT TO SCALE	F.D.	FLOOR DRAIN	STD.	STANDARD
BD.	BOARD	O.C.	ON CENTRE	FDN	FOUNDATION	T.O.	TOP OF
B.O.S.	BOTTOM OF SLAB	OPG.	OPENING	FIN.	FINISH	T.O.C.	TOP OF CURB
B.O.W.	BOTTOM OF WALL	P-4-S	PEEL # STICK	FLR.	FLOOR	T.O.F.	TOP OF FLOOR
BLDG.	BUILDING	PLYWD.	PLYWOOD	FTG.	FOOTING	T.O.P.	TOP OF PARAPET
C.B.	CATCH BASIN	PREFIN.	PRE-FINISHED	GA.	GAUGE	T.O.W.	TOP OF WALL
C.I.P.	CAST-IN-PLACE	P.T.	PRESSURE TREATED	GL.	GLASS	T.	TREAD
CLKG.	CAULKING	PIL	PROPERTY LINE	GR.	GRADE	TYP.	TYPICAL
CLG.	CEILING	R.	RADIUS	GWB	GYPSPUM WALLBOARD	UG	UNDERGROUND
CL	CENTRE LINE	R.	RISER	HC	HANDICAPPED	US	UNDERSIDE
CW	COMPLETE WITH	R.W.L.	RAIN WATER LEADER	HT.	HEIGHT	UNO	UNLESS NOTED OTHERWISE
CONC.	CONCRETE	REQD	REQUIRED	HORIZ.	HORIZONTAL	UF	UPPER FLOOR
CONT.	CONTINUOUS	REV	REVISION	H.B.	HOSE BIB	V.B.	VAPOUR BARRIER
CJ	CONTROL JOINT	R # S	ROOF # SHELF	HR.	HOUR	VERT.	VERTICAL
CORR.	CORRIDOR	RM.	ROOM	HWH	HOT WATER HEATER	W.C.	WATER CLOSET (TOILET)
DI.	DIAMETER	R.D.	ROOF DRAIN	LIN.	LINEN	WD	WASHER DRYER
DN	DOWN	R.O.	ROUGH OPENING	MAX.	MAXIMUM	WD.	WOOD
DWGS	DRAWINGS	STL	STEEL	MECH.	MECHANICAL	W.I.C.	WALK-IN CLOSET
DW	DISHWASHER	STRUCT.	STRUCTURAL	MEZZ.	MEZZANINE	W	WITH
ELECT.	ELECTRICAL	SPEC	SPECIFICATION	MIN.	MINIMUM	W.P.	WATERPROOF
ELEV	ELEVATION	SF	SQUARE FEET	MISC.	MISCELLANEOUS	WR	WASHROOM

PROJECT / CONSULTANT TEAM

OWNER BG Douglas Ventures Inc. TEL: 604.319.4350 - 778.389.5444	ARCHITECT / INTERIOR DESIGNER BFA Studio Architects #600 - 355 Burrard St. Vancouver, BC TEL: 604.662.8544	STRUCTURAL ENGINEERING Glotman Simpson 1661 West 5th Avenue, Vancouver, BC V6J 1N5 TEL: 250.900.4915	MECHANICAL ENGINEERING Building Enrgy Solutions Ltd. 722 - 550 West Broadway, Vancouver BC TEL: 778.371.3459	ELECTRICAL ENGINEERING Building Enrgy Solutions Ltd. 722 - 550 West Broadway, Vancouver BC TEL: 778.371.3459	ENVIRONMENTAL CONSULTANT Active Earth 105 - 4343 TYNDALL AVENUE, Victoria BC TEL: 604-314-5477	LANDSCAPE ARCHITECT LADR Landscape Architects 3 - 864 QUEENS AVENUE, Victoria BC TEL: 250-598-0105	CIVIL ENGINEERING Big Fish Endeavours 824 LESLIE DRIVE, Victoria BC TEL: 250.888.0385	GEOTECHNICAL ENGINEER GEOPACIFIC 3351 Douglas Street, Victoria BC TEL: 250.686.7344
TRANSPORTATION CONSULTANT BUNT ENGINEERING Ltd. Suite 530, 645 Fort Street Victoria, BC V8W 1G2 TEL: 778.885.0259	LAND SURVEYOR UNDERHILL GEOMATICS 8337 Eastlake Dr #301, Burnaby, BC V5A 4W2 TEL: 250.813.2609	SIGNAGE DESIGN KNIGHT SIGNS 7462 Progress Way, Delta, BC V4G 1E1 TEL: 604.952.9020	CODE CONSULTANT PONTEM GROUP Suite 309 - 63 W 6th Ave, Vancouver, BC V5Y 1K2 TEL: 604.202.8248					

PROJECT INFORMATION TABLE					NOTES
ZONE (EXISTING)	M-1				
SITE AREA	1,500.3	SM	16,149.1	SF	
TOTAL FLOOR AREA	4,341.5	SM	46,731.0	SF	
COMMERCIAL FLOOR AREA	243.2	SM	2,618.0	SF	
FLOOR SPACE RATIO	3.00		2.89		
SITE COVERAGE %	1,325.6	SM	14,269.0	SF	88.3%
OPEN SITE SPACE %	154.0	SM	1,657.6	SF	10.0%
HEIGHT OF BUILDING	15	M	49.2	FT	
NUMBER OF STOREYS	4				
PARKING STALLS (NUMBER) ON SITE	19				INCLUDING 1 LOADING
BICYCLE PARKING NUMBER (STORAGE & RACK)	12				
BUILDING SETBACKS					
FRONT YARD/DOUGLAS/EAST	1.00	M	9.84	FT	
QUEENS AVENUE/SOUTH	2.17	M	7.12	FT	
SIDE YARD/NORTH	0.10	M	0.33	FT	
SIDE YARD/WEST	0.30	M	0.98	FT	
COMBINED SIDE YARDS	NA	M	NA	FT	
RESIDENTIAL USE DETAILS					
TOTAL NUMBER OF UNITS					NA
UNIT TYPE					NA
GROUND-ORIENTATED UNITS					NA
MINIMUM UNIT FLOOR AREA (M2)					NA
TOTAL RESIDENTIAL FLOOR AREA (M2)					NA



CONTEXT PLAN



OCP PLAN



ZONING MAP

REVISIONS		
NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC

DRAWING TITLE

CONTEXT PLAN

SCALE

DRAWING NO. REVISION

A001

DATE	DRAWN
23/03/10	IT
SCALE	CHECKED
N/A	HB

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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ZONING STATISTICS										
PROJECT DESCRIPTION	TO DEVELOP THE SITE FOR A FOUR STOREY INDUSTRIAL BUILDING COMPRISING OF TWO LEVELS OF BASEMENT, STREET/LEVEL ONE LIGHT MANUFACTURING, PARKING & SELF-STORAGE CUSTOMER LOUNGE/RETAIL AND 3 STOREYS OF SELF-STORAGE BUILDING ABOVE.									
LEGAL DESCRIPTION	LOT 24, 25 AND 26 ALL ON SECTION 3, VICTORIA, PLAN 936									
PID	008-170-037; 008-170-045; 008-170-053									
CIVIC ADDRESS PRESENT	2300, 2310 & 2312 DOUGLAS STREET									
CIVIC ADDRESS FUTURE	TBD									
BUILDING CODE	BCBC 2018 - GROUP F2, F3, E AND POTENTIAL A2 - BCBC 2018									
HERITAGE BUILDINGS	NA									
LOT AREA	16,150	SF	1,500.3	SM	PROVIDED BY SURVEYOR					
LOT SIZE			FT	M						
	NORTH		82.77	25.23						
	EAST / DOUGLAS ST		162.82	49.63						
	SOUTH / QUEENS AVE		137.28	41.84						
	WEST		141.96	43.27						
OCP AND NEIGHBOURHOOD DESIGNATION	CORE EMPLOYMENT AND BURNSIDE GORGE NEIGHBOURHOOD PLAN									
ZONING PRESENT	M-1 ZONE, LIMITED LIGHT INDUSTRIAL DISTRICT									
REZONING	NOT APPLICABLE									
	REQUIRED / PERMITTED			PROPOSED			NOTES			
SITE AREA	16,150	SF	1,500.3	SM						
DENSITY / FLOOR SPACE RATIO / FSR - 3.0	48450	SF	4,501.0	SM	46731	SF	4,341	SM	MAXIMUM DENSITY ALLOWED: 3.00 - PROPOSED FSR: 2.81	
SITE COVERAGE	NA	SF	NA	SM	14314	SF	1,330	SM	PROPOSED 88.30%	
OPEN SITE COVERAGE	NA	SF	NA	SM	1658	SF	154	SM	PROPOSED 10.30%	
MAXIMUM HEIGHT (OUTRIGHT)	49.2	FT	15.00	M	49.2	FT	15.00	M		
NUMBER OF STOREY	4				4					
SITING / SETBACK	REQUIRED / PERMITTED			PROPOSED						
	FT	M			FT	M				
CORNER LOT DIAGONAL			3		9.84	3.00				
NORTH	0.00	0.0			0.33	0.10			PROPOSED VARIANCE - STRUCTURAL REQUIREMENT FOR SEISMIC DRIFT	
EAST/DOUGLAS STREET	3.28	1.0			3.28	1.00				
SOUTH/QUEENS AVENUE	9.84	3.0			7.12	2.17			PROPOSED VARIANCE - 2.2 M. PROVIDED TO MEET 3.34 M HYDRO LINE SETBACK	
WEST	0.00	0.0			0.98	0.30			PROPOSED VARIANCE - STAIR 2 PORTION SETBACK INCREASED TO ALIGN WITH BASEMENT SETBACK	
VEHICLE OFF STREET PARKING SPACES	REQUIRED / PERMITTED			PROPOSED						
INDUSTRIAL AND LIGHT MANUFACTURING	140	SM	2				2			
WAREHOUSE	100	SM	69				17			
TOTAL			71				19		PROPOSED VARIANCE - REFER TO BUNT PARKING/TRANSPORTATION REPORT	
LOADING SPACES	REQUIRED / PERMITTED			PROPOSED						
							3		1 LOADING AND 2 VAN SPACES ARE INCLUDED IN VEHICLE RATIO	
BICYCLE PARKING SPACES	REQUIRED / PERMITTED			PROPOSED						
LONG TERM	1,200	SM	6				6			
SHORT TERM	6 SPACES		6				6			
ELECTRIC VEHICLE CHARGING							12			
GREATER OF 2 ENERGIZED STALLS OR 5% OF TOTAL NUMBER							9			
NOTES:	<ol style="list-style-type: none"> ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & WILL BE ADJUSTED DURING LATER PHASES OF PROJECT VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF VICTORIA BYLAWS VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC 2018 WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES & REQUIRED ENERGY ANALYSIS 									

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC

DRAWING TITLE

ZONING DATA

SEAL

DRAWING NO.

REVISION

A001A

DATE

23/03/10

DRAWN

IT

SCALE

N/A

CHECKED

HB

REVISIONS

NO.	DESCRIPTION	DATE
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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC

DRAWING TITLE
STREETSCAPES

SEAL

DRAWING NO. REVISION

A001B

DATE 23/03/10 DRAWN IT
SCALE N/A CHECKED HB



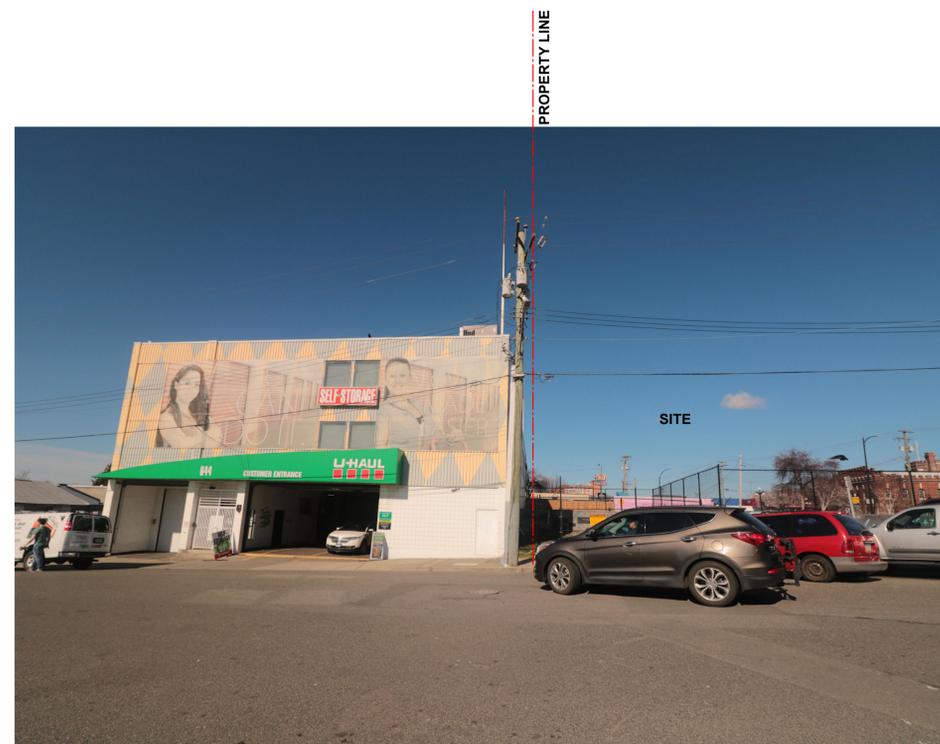
WEST STREETSCAPE ALONG DOUGLAS STREET



EAST STREETSCAPE ALONG DOUGLAS STREET



CORNER OF DOUGLAS STREET & QUEENS AVENUE



QUEENS AVENUE STREETSCAPE

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3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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2300, 2310 & 2312 Douglas
Street, Victoria, BC

DRAWING TITLE

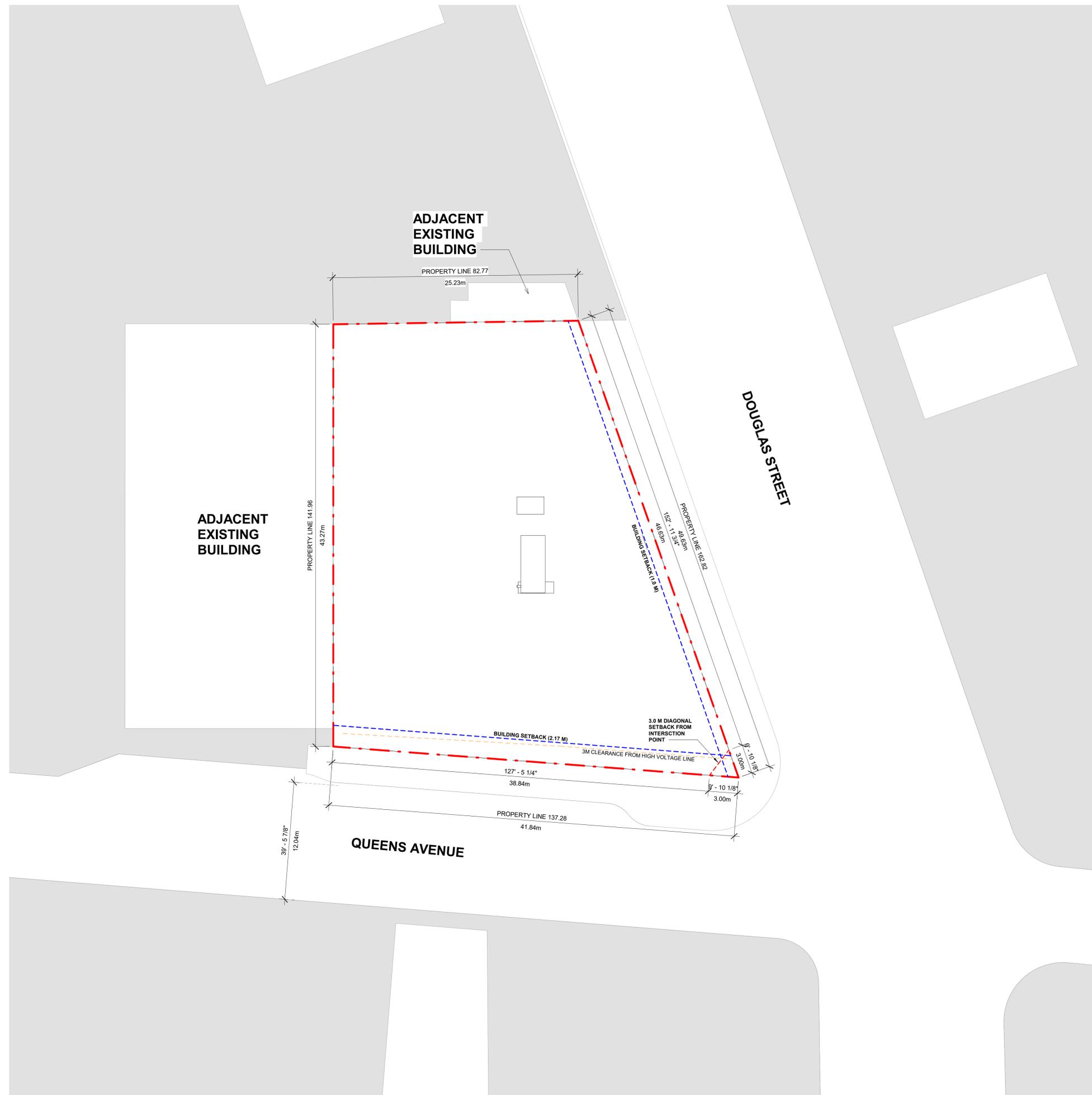
BASE SITE PLAN

SEAL

DRAWING NO. REVISION

A002

DATE 23/03/10 DRAWN IT
SCALE 1/16" = 1'-0" CHECKED HB



ADJACENT
EXISTING
BUILDING

ADJACENT
EXISTING
BUILDING

DOUGLAS STREET

QUEENS AVENUE

LEGEND	
	PROPERTY LINE
	BUILDING SETBACK LINE
	3M CLEARANCE FROM HIGH VOLTAGE LINE

SITE AREA	
SF	16,150
SM	1,500

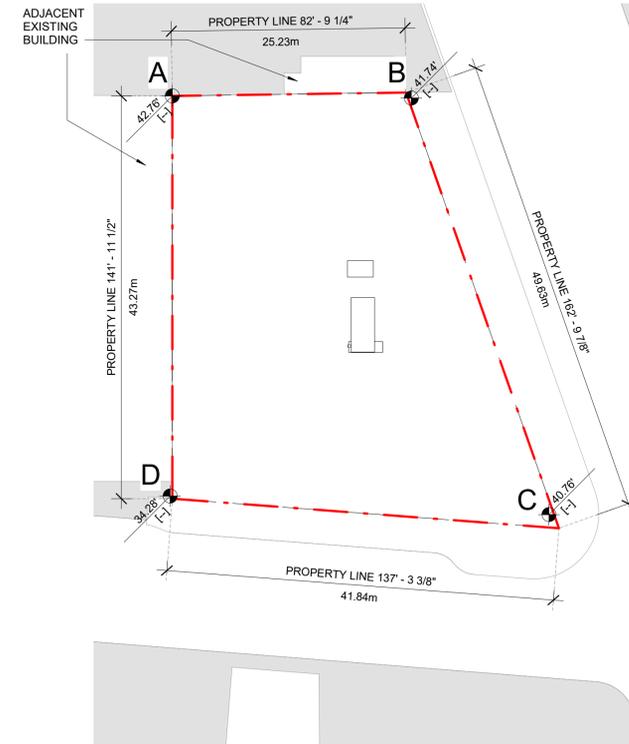
BASE SITE PLAN

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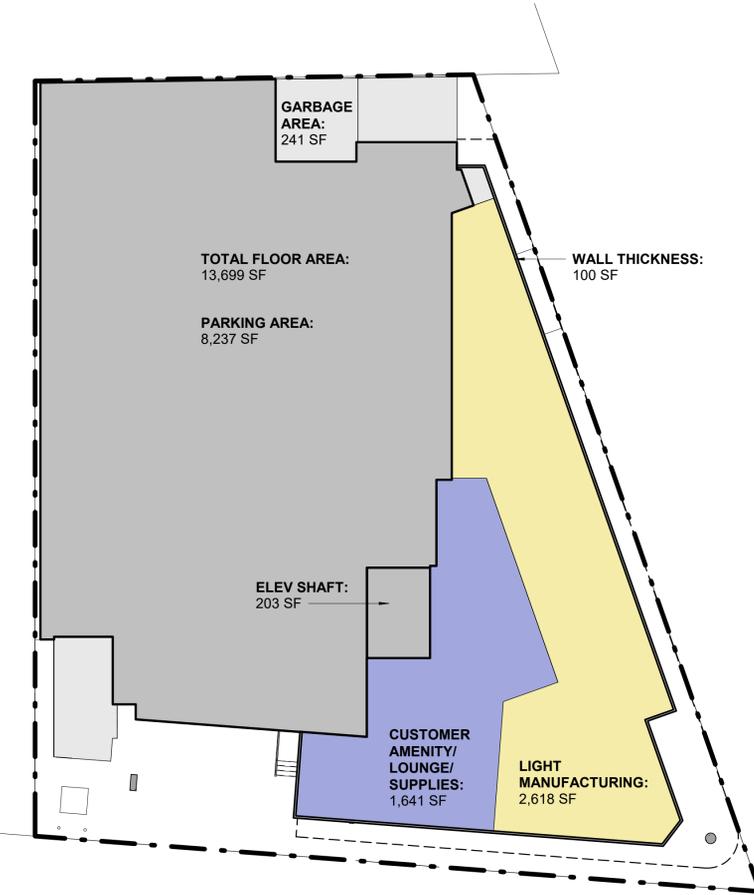
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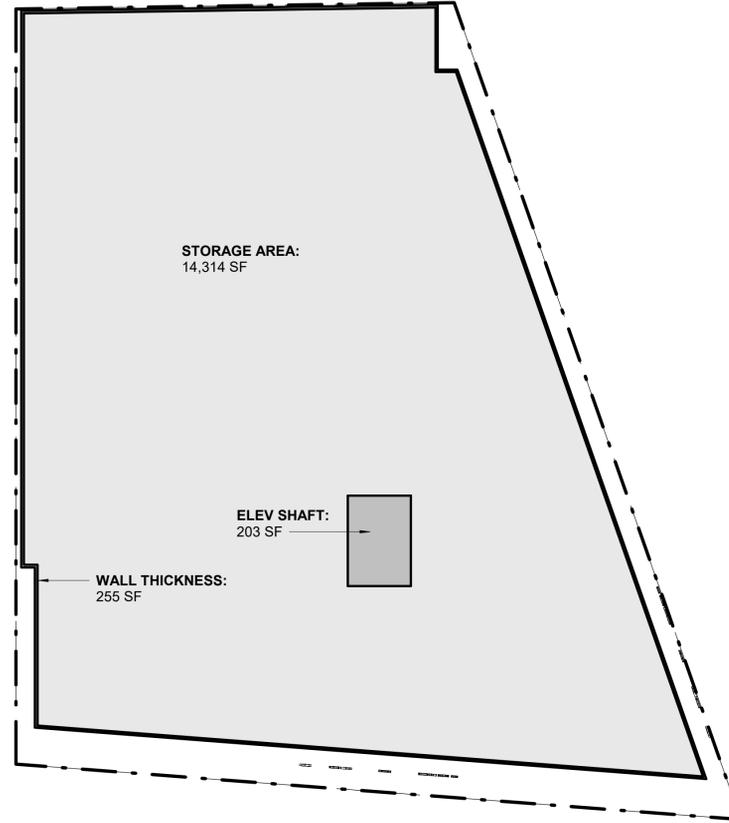
AVERAGE GRADE CALCULATION:



Point	Elev. (ft)	Point	Elev. (ft)	Segment	Average Elevation (ft)	Length (ft)	Elevation x Length = Z
A	42.76	B	41.74	AB	42.25	82.77	3497.03
B	41.74	C	40.76	BC	41.25	162.82	6716.33
C	40.76	D	34.28	CD	37.52	137.28	5150.75
D	34.28	A	42.76	DA	38.52	141.96	5468.30
					TOTAL	TOTAL LENGTH	Total Z'
					159.5	524.83	20832.40
					AVERAGE GRADE		39.69
					MAXIMUM HEIGHT	= A.N.E.G.+ 49.21'	88.90



LEVEL 1 AREA



LEVEL 2 TO 4 AREA

AREA CALCULATIONS SUMMARY	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P=I+O	Q
		NUMBER OF FLOORS	CIRCULATION (SF)	LOCKERS (SF)	LIGHT MANUFACTURING (SF)	CUSTOMER AMENITY/ LOUNGE/ SUPPLIES	WASHROOM AREA (SF)	GARBAGE & RECYCLING RM (SF)	TOTAL GROSS (SF)	TOTAL GROSS (SM)	PARKING / LOADING (SF)	WALL THICKNESS (SF)	ELEVATOR SHAFTS (SF)	BICYCLE STORAGE (SF)	TOTAL EXCLUSIONS (SF)	TOTAL FSR (SF)	TOTAL FSR (SM)
LEVEL 1/ STREET		1	0	0	2,618	1,641	67	241	13,699	1,273	8,237	98	203	0	8,538	5,161	479
LEVEL 2		1	0	0	0	0	109	0	14,314	1,330	0	255	203	0	458	13,857	1,287
LEVEL 3		1	0	0	0	0	109	0	14,314	1,330	0	255	203	0	458	13,857	1,287
LEVEL 4		1	0	0	0	0	109	0	14,314	1,330	0	255	203	0	458	13,857	1,287
SUBTOTAL		4	0	0	2,618	1,641	395	241	56,642	5,262	8,237	864	810	0	9,911	46,731	4,341
					243												
BASEMENT LEVEL 1 (EXCLUDED)			0	0	0	0	111	0	13,626	1,266							
BASEMENT LEVEL 2 (EXCLUDED)			0	0	0	0	111	0	13,626	1,266							
TOTAL:									83,895	7,794							
SITE AREA:			16,150	SF													
TOTAL FSR:			46,731	SF		2.89											
MAX ALLOWED FSR:			48,450	SF		3.00											
ADDITIONAL FSR ALLOWED:			1,719	SF													
PARKING		RATIO (SM/SPACE)		FLOOR AREA (SM)	REQUIRED	PROVIDED											
MAIN AND UPPER		140 (MAIN), 100 (2,3,4)	MAIN, 2, 3, 4	6,873	71												
SUB-TOTAL					71	19											

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

AREA CALCULATIONS

SEAL

DRAWING NO. REVISION

A003

DATE 23/03/10 DRAWN IT
SCALE N/A CHECKED HB

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

FIRE DEPARTMENT SITE PLAN

SCALE

DRAWING NO. REVISION

A004

DATE 23/03/10 DRAWN IT

SCALE 1/16" = 1'-0" CHECKED HB

LEGEND	
	SIAMESE CONNECTION
	FIREFIGHTER'S RESPONSE POINT
	FIREFIGHTER ACCESS ROUTE
CL	ROAD CENTRELINE GRADE
	PROPOSED FIRE HYDRANT WITH 45m RADIUS BOUNDARY

2018 BRITISH COLUMBIA BUILDING CODE SUMMARY		NOTES
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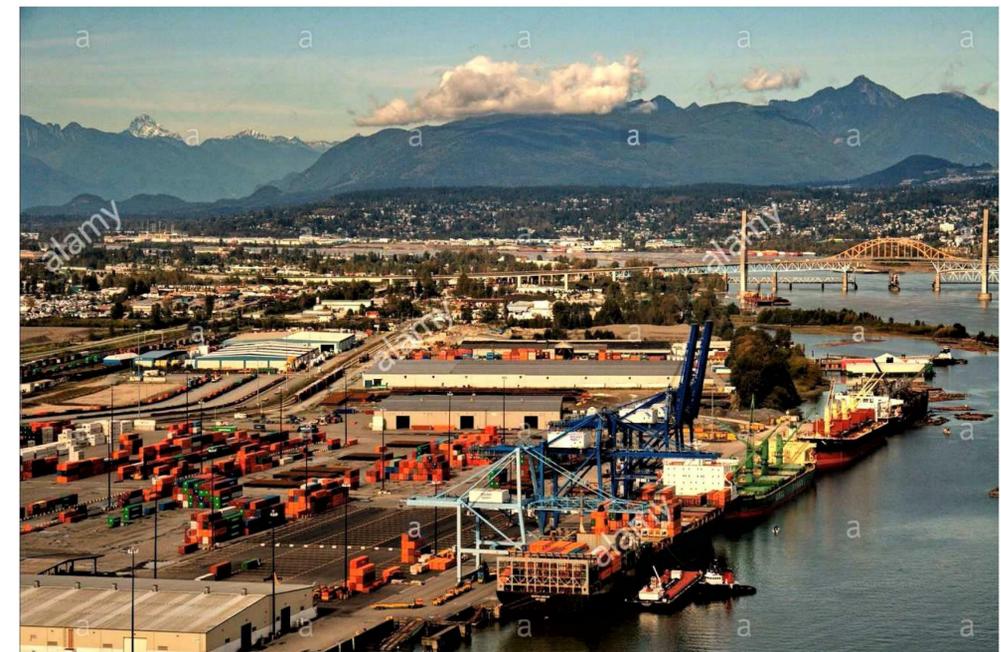
Self Storage Development, 2300, 2310 and 2312 Douglas Street, Victoria, BC		
Construction Article	3.2.2.77. Group F, Division 2, up to 4 Storeys, Sprinklered (1) 3.2.2.59. Group D, up to 4 Storeys, Sprinklered (2) 3.2.2.65. Group E, up to 4 Storeys, Sprinklered (2) 3.2.2.84. Group F, Division 3, up to 4 Storeys, Sprinklered (2)	(1): Group F2: Basement 1-2, Levels 2-4 (2): Groups D, E, F2, F3: Level 1, Light Manufacturing Areas #1-4 must be considered major occupancies if they are intended to be occupied by tenants. Note: Any of the Light Manufacturing Areas with low occupant load (max. 30 persons) with Group A2 major occupancy would be considered a Group D major occupancy (Article 3.1.2.6.). Level 1 Light Manufacturing Areas #1-4 may be considered subsidiary occupancies if they will not be occupied by tenants
Subsidiary/Minor Occupancy	Group D, E, F2, F3	
Building Construction	Combustible construction or noncombustible construction used singly or in combination (Noncombustible proposed)	
Maximum Building Height	Max. 4 storeys	
Maximum Building Area	Max. 2,400 m ² for 4 storeys (Provided = 1,326.2 m ²)	The restrictive area requirement must be applied if Article 3.2.2.65. is used (1,800 m ²).
Floor Assemblies above Ground	45 min fire-resistance rating 1 h fire-resistance rating (1)	(1): Fire-resistance rating must comply with any additional construction article requirements (Articles 3.2.2.59. and/or 3.2.2.65.). Only the floor assembly located above the ground level Unit(s) and its loadbearing supports need to comply with the rating outlined in the construction article which the Unit(s) belong under.
Floor Assemblies at Ground Level	45 min fire-resistance rating	
Floors below Ground	3 h fire-resistance rating	
Loadbearing Supports above Ground	45 Min. Fire-resistance rating or Non-combustible construction Same rating as the assembly it supports (1)	(1): Fire-resistance rating must comply with any additional construction article requirements (Articles 3.2.2.59. and/or 3.2.2.65.). Only the floor assembly located above the ground level Unit(s) and its loadbearing supports need to comply with the rating outlined in the construction article which the Unit(s) belong under.
Loadbearing Support below Ground	Same rating as the assembly it supports	
Roof Assemblies	No fire-resistance rating requirement	
Roof Covering	Class A, B or C roof covering classification	
Exterior Walls	North & West building face: 2 h fire-resistance rating, noncombustible construction, noncombustible cladding	Spatial separation requirements per Article 3.2.3.1.
Sprinkler System	Required and will be provided – system is to comply with NFPA 13 – 2013	
Standpipe System	Required and will be provided – system is to comply with NFPA 14 – 2013	
Fire Alarm System	Required and will be provided – system is to comply with CANULC-S524-14 and monitored by a monitoring station in conformance with CANULC-S561-13	
Emergency Power	30 min duration as per 3.2.7.4. and 3.2.7.8.	
Street Facing	2 Streets	
Emergency Crossover Floors	Doors providing access to floor areas from exit stairs shall not have locking devices to prevent entry into any floor area from which the travel distance up or down to an unlocked door is more than 2 storeys (3rd storey proposed as cross-over floor).	

Water Closet Summary (BCBC Section 3.7 Health Requirement)					
Self-Storage					
Occupancy Type	Occupant Load	Number of Each Sex	Number of Water Closets Required		
			M	F	
Light Manufacturing/Retail (per CRU on Level 1; Table 3.7.2.2.B Self-Storage)	max. 30	10(a)	1		CRU O.L. is assumed and must be verified at T1 phase for each unit
(per floor, Basement 1-2, Levels 2-4); Table 3.7.2.2.C	116	58	4	4	

(a) The number of water closets required in a suite of mercantile occupancy whose area is not more than 500 m² is permitted to be determined in accordance with Table 3.7.2.2.-B based solely on the total number of staff. The number of staff in each retail unit is not expected to be more than 10, based on the area of the retail units [Sentence 3.7.2.2.(16)]. Both sexes are permitted to be served by a single water closet with an occupant load of not more than 10 [Sentence 3.7.2.2.(4)].



FIRE DEPARTMENT SITE PLAN



REVISIONS

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
**Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC**

DRAWING TITLE

INSPIRATIONS

SEAL

DRAWING NO. REVISION

A005

DATE 23/03/10

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SCALE

CHECKED HB





SOUTH-EAST VIEW FROM ORNER OF DOUGLAS AND QUEENS

SOUTH-EAST VIEW (CORNER)



ARIAL VIEW OF NEIGHBOURHOOD

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
 2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
3D PERSPECTIVES

SEAL

DRAWING NO. REVISION

A007

DATE	DRAWN
23/03/10	IT
SCALE	CHECKED
N/A	HB



SOUGHT-EAST VIEW



EAST VIEW



NORTH-EAST VIEW

REVISIONS

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	ISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

**Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC**

DRAWING TITLE

3D PERSPECTIVES

SEAL

DRAWING NO. REVISION

A008

DATE DRAWN

23/03/10 IT

SCALE CHECKED

N/A HB



SOUTH VIEW



SOUTH-WEST VIEW



SOUTH CORNER VIEW

REVISIONS

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC

DRAWING TITLE

3D PERSPECTIVES

SEAL

DRAWING NO.

REVISION

A009

DATE

23/03/10

SCALE

N/A

DRAWN

IT

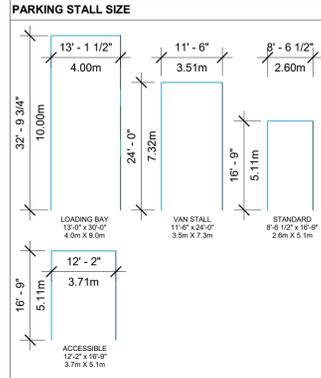
CHECKED

HB



SITE / GRADING PLAN

- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
 - REFER TO GEOTECHNICAL REPORT.
 - NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE. TO BE CONFIRMED BY SURVEYOR.
 - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN.
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- LEGEND - GRADING**
- XXX.XX' [XXX.XXm] - EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
 - XXX.XX' - VALUE IN METERS
 - XXX.XX' - DESIGN ELEVATION (interpolated)
 - T.O.S GRADE
 - T.O. SLAB (or as noted in tag)

REVISIONS

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
 2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
SITE/GRADING PLAN

SEAL

DRAWING NO. REVISION

A100

DATE 23/03/10 DRAWN IT
 SCALE 3/32" = 1'-0" CHECKED HB

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

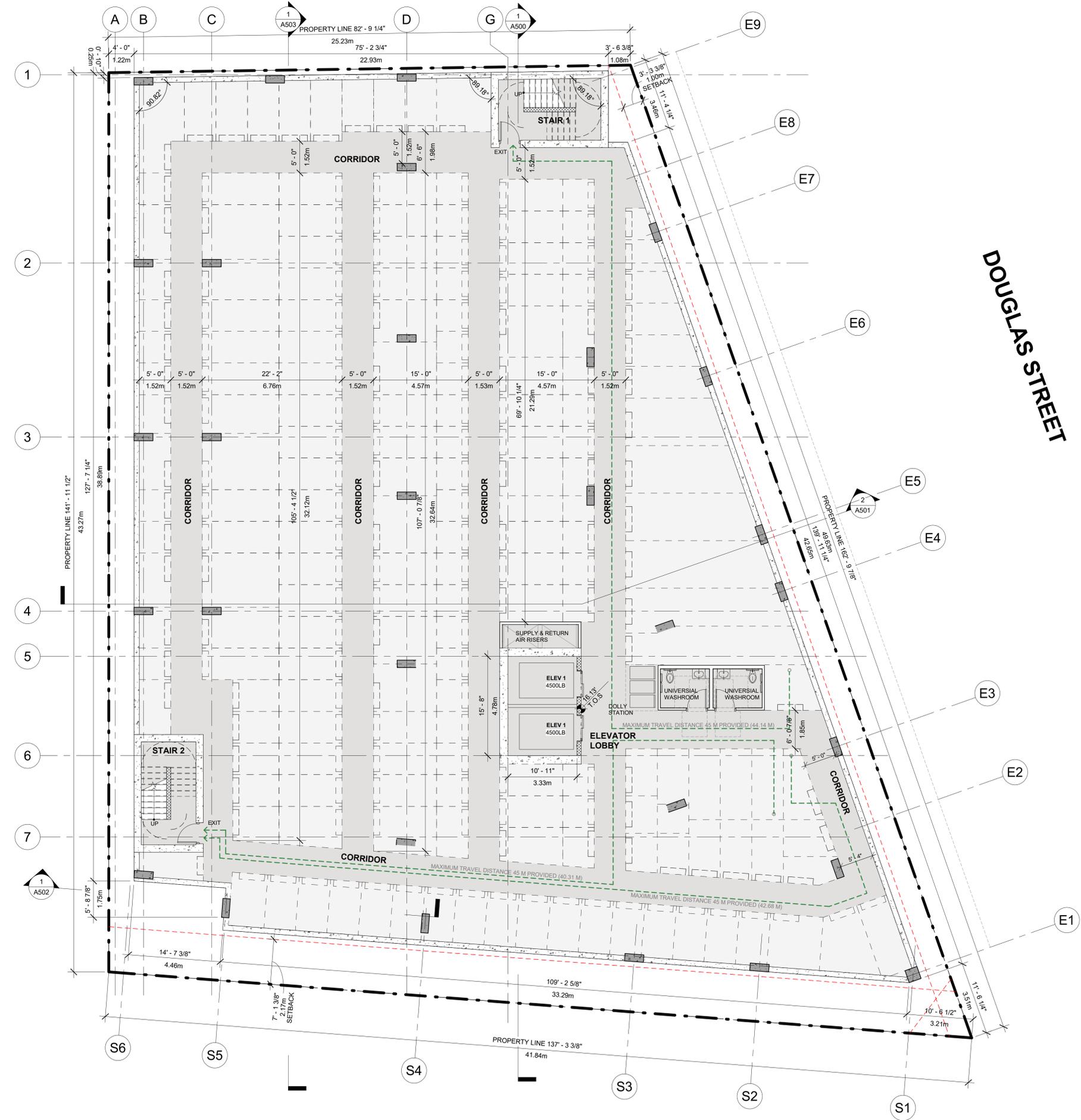
BASEMENT 2

SCALE

DRAWING NO. REVISION

A201

DATE 23/03/10 DRAWN IT
SCALE 1/8" = 1'-0" CHECKED HB



BASEMENT 2

QUEENS AVENUE

- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
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 - VALUE IN METERS
 - XXX.XX' DESIGN ELEVATION (interpolated)
 - T.O.S GRADE
 - T.O. SLAB (or as noted in tag)

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
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3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT
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PROJECT NO.
21500

PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
BASEMENT 1

SEAL

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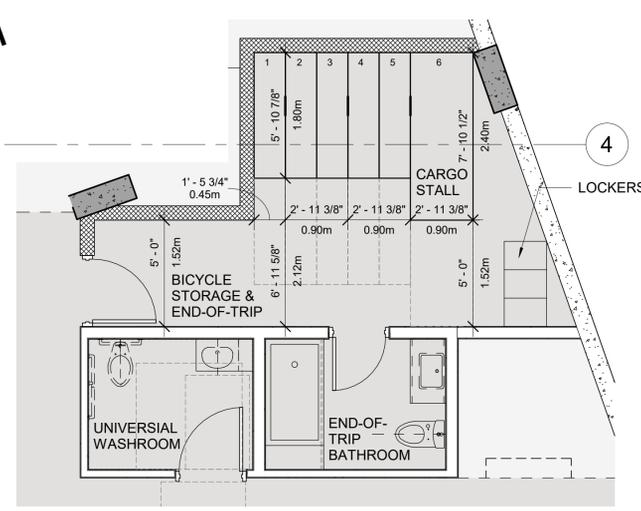
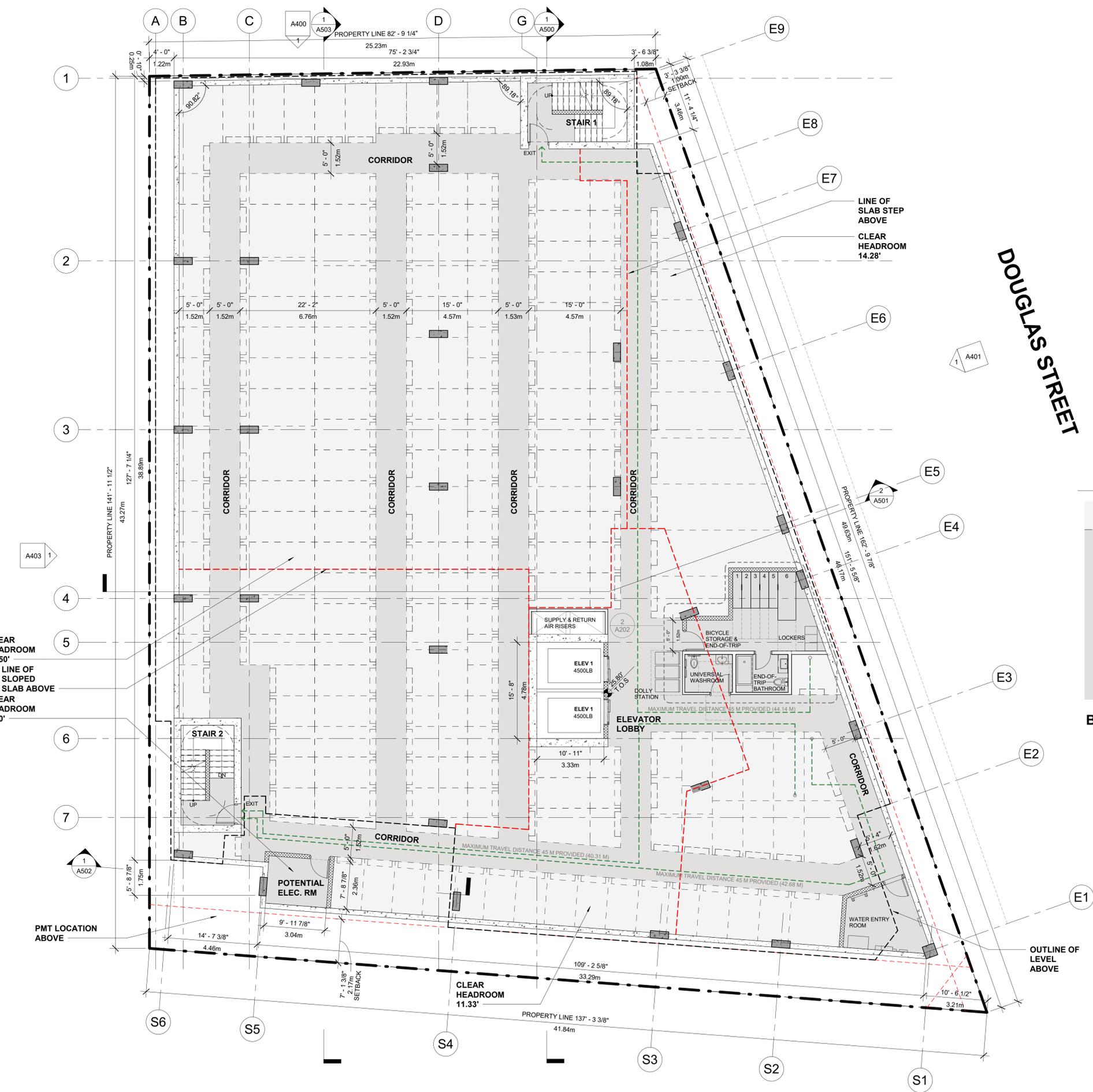
A202

DATE
23/03/10

DRAWN
IT

SCALE
1/8" = 1'-0"

CHECKED
HB



BICYCLE STORAGE PARTIAL PLAN (1/4" = 1'-0")

- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
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 - VALUE IN METERS
 - XXX.XX' — DESIGN ELEVATION (interpolated)
 - T.O.S GRADE
 - T.O.S SLAB (or as noted in tag)

BASEMENT 1

QUEENS AVENUE

DOUGLAS STREET



LEVEL 1

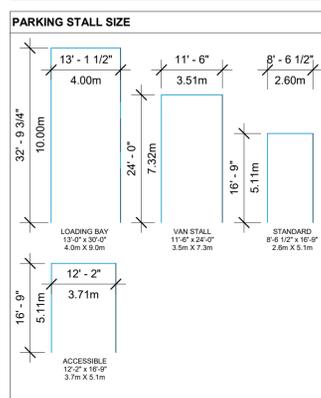
QUEENS AVENUE

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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- PARKADE NOTES**
- ALL PARKING, LOADING & BICYCLE STG AS PER CITY OF VICTORIA BY-LAW
 - SECTION 2.2 SCHEDULE C ZONING BYLAW (80-159), MINIMUM WIDTHS OF 2.7M WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON THE SIDE; MINIMUM WIDTHS OF 3.0M WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON BOTH SIDES; AND

LEGEND - GRADING

	EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
	VALUE IN METERS
	DESIGN ELEVATION (interpolated)
	T.O.S. GRADE
	T.O. SLAB (or as noted in tag)

CLIENT
BG DOUGLAS VENTURES INC.

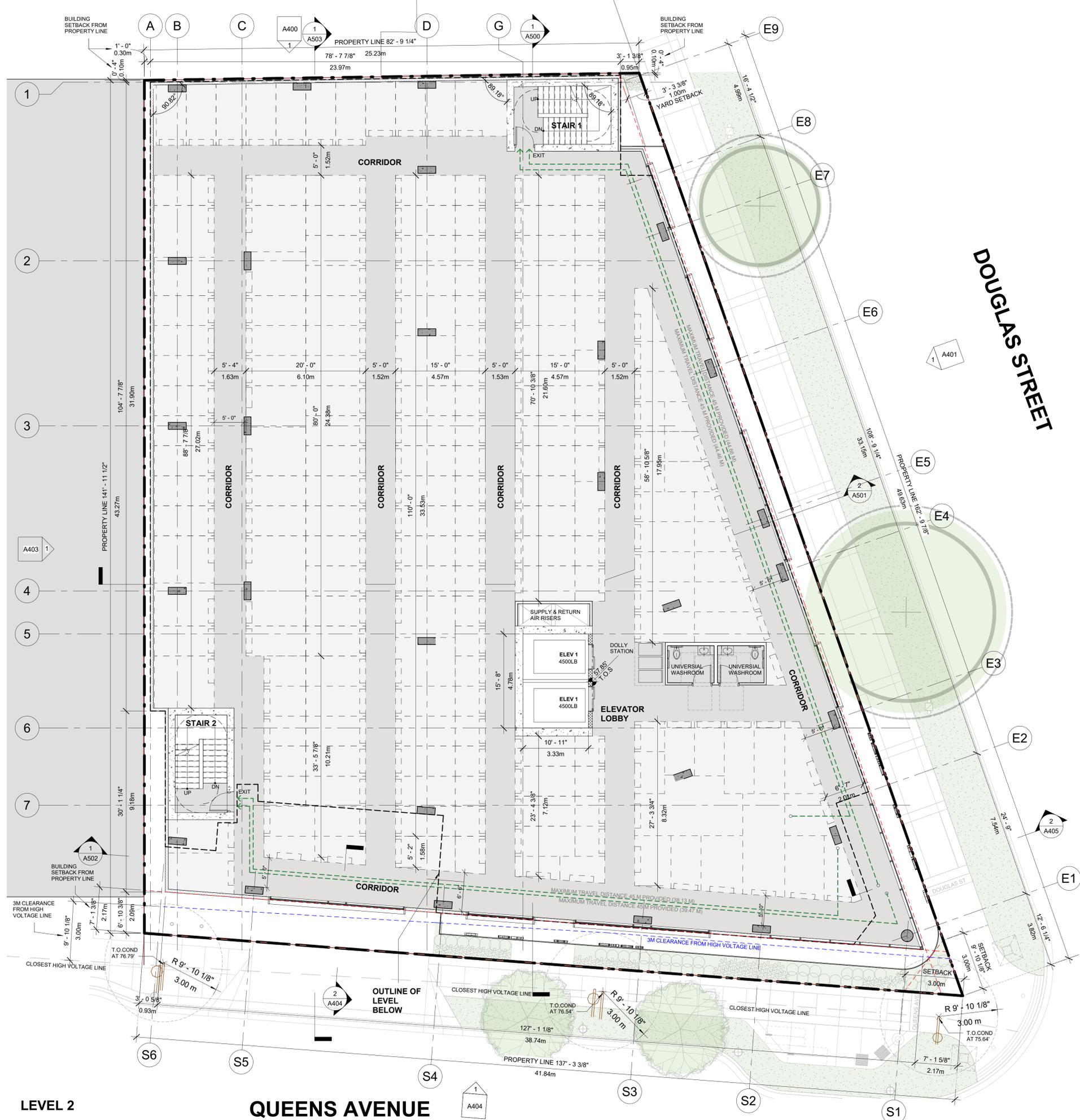
PROJECT NO. 21500
PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
LEVEL 1 PLAN

DRAWING NO. REVISION

A203

DATE 23/03/10 DRAWN IT
SCALE 1/8" = 1'-0" CHECKED HB



LEVEL 2

QUEENS AVENUE

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
LEVEL 2 PLAN

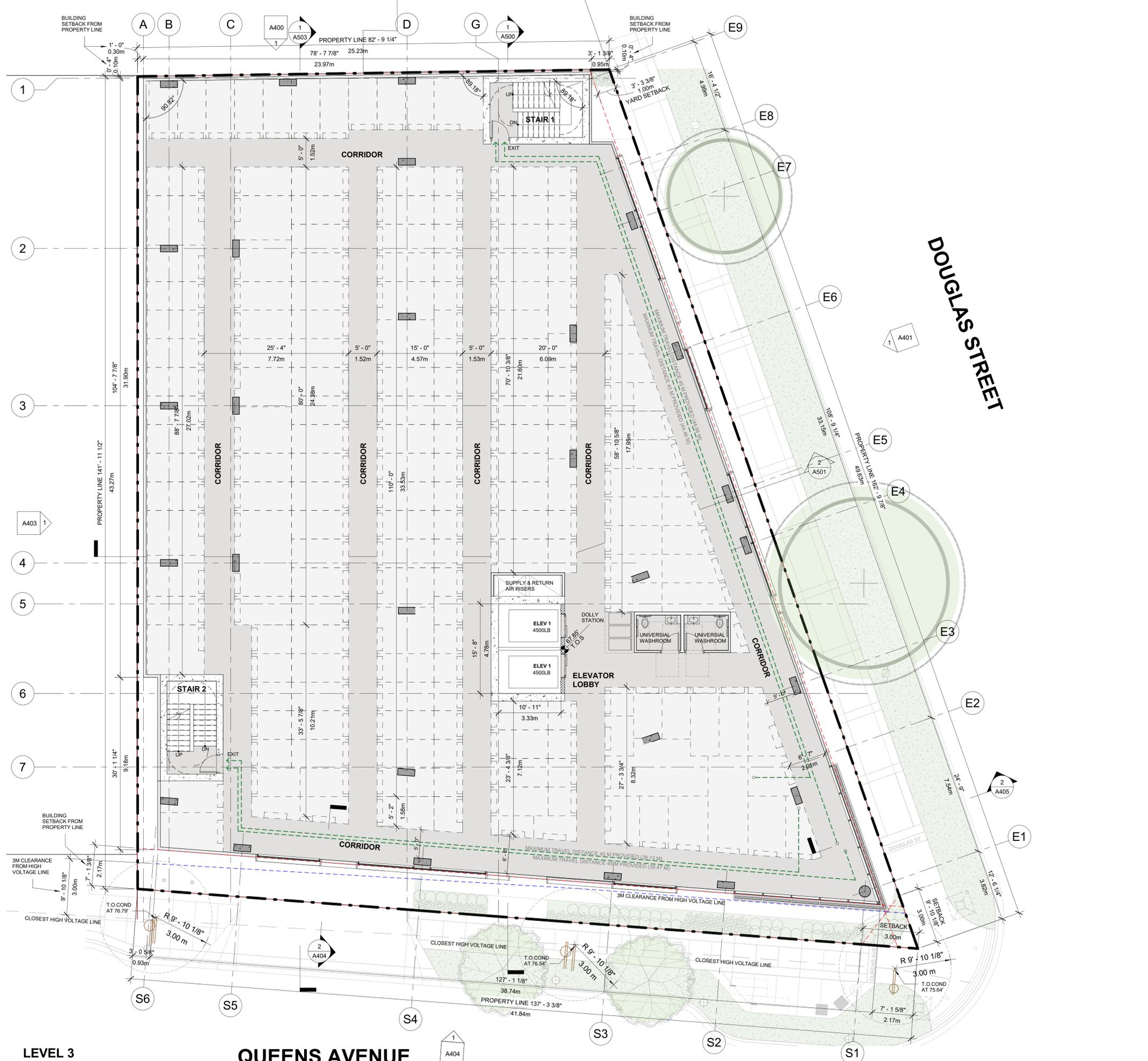
SCALE

- GENERAL NOTES**
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 - XXX.XX' VALUE IN METERS
 - XXX.XX' DESIGN ELEVATION (interpolated)
 - T.O.S GRADE
 - T.O. SLAB (or as noted in tag)

A204

DATE 23/03/10 DRAWN IT
SCALE 1/8" = 1'-0" CHECKED HB



- GENERAL NOTES**
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 - REFER TO GEOTECHNICAL REPORT.
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REVISIONS

NO.	DESCRIPTION	DATE
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CLIENT
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PROJECT NO.
 21500

PROJECT
Commercial and Self-Storage Development
 2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
LEVEL 3 PLAN

SEAL

DRAWING NO.
A205

REVISION

LEVEL 3

QUEENS AVENUE

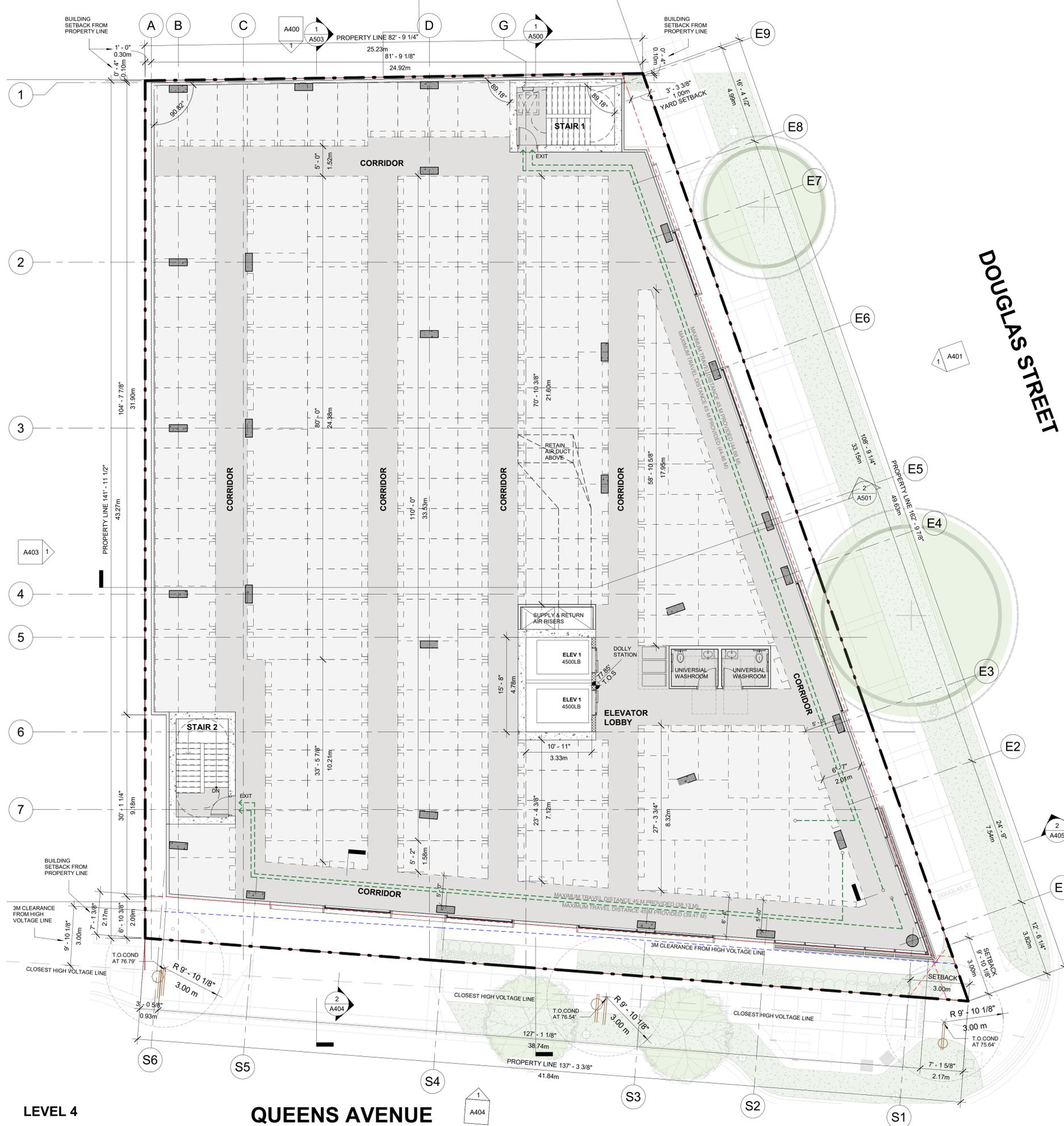
DOUGLAS STREET

DATE
 23/03/10

SCALE
 1/8" = 1'-0"

DRAWN
 IT

CHECKED
 HB



LEVEL 4

QUEENS AVENUE

DOUGLAS STREET

- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
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- XXX.XX' [XXX.XXm] — EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
 - XXX.XX' — VALUE IN METERS
 - XXX.XX' — DESIGN ELEVATION (interpolated)
 - T.O.S GRADE
 - T.O. SLAB (or as noted in tag)

bfa studio architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
 800 - 355 Burrard Street Vancouver, BC V6C 2G8
 T 604 662 8544 F 604 662 4060
 www.besharafiars.com info@besharafiars.com

REVISIONS

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT
BG DOUGLAS VENTURES INC.

PROJECT NO.
 21500

PROJECT
Commercial and Self-Storage Development
 2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
LEVEL 4 PLAN

SCALE

DRAWING NO.
A206

DATE
 23/03/10

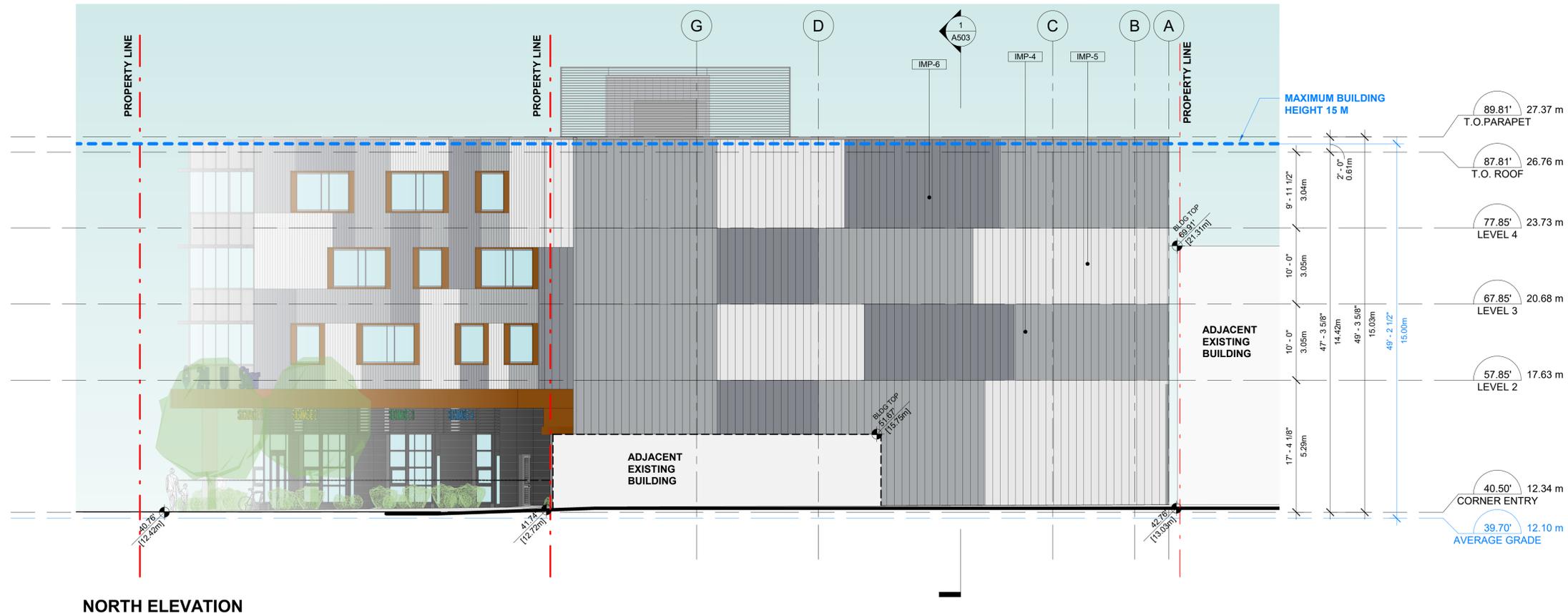
SCALE
 1/8" = 1'-0"

DRAWN
 IT

CHECKED
 HB

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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NORTH ELEVATION

CLIENT
BG DOUGLAS VENTURES INC.

PROJECT NO. 21500
PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
ELEVATION

SEAL

DRAWING NO. REVISION

A400

DATE 23/03/10 DRAWN IT
SCALE 1/8" = 1'-0" CHECKED HB

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH VICWEST BLACK - 56068
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	CLEAR ANODIZED ALUMINUM	WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT WITH PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: CLEAR ANODIZED ALUMINUM	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-2	METAL CANOPY	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH VICWEST BLACK - 56068
IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR	ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
IMP-2	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN REGAL WHITE	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SHD-1	PREFINISHED SHADING DEVICE (INTEGRATED WITH CURTAIN WALL SYSTEM)	COLOR - SILVER
IMP-4	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
IMP-5	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE			
IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC			

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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EAST ELEVATION

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC

DRAWING TITLE

ELEVATION

SEAL

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH VICWEST BLACK - 56068
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	CLEAR ANODIZED ALUMINUM	WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT WITH PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: CLEAR ANODIZED ALUMINUM	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-2	METAL CANOPY	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH VICWEST BLACK - 56068
IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR	ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
IMP-2	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN REGAL WHITE	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SHD-1	PREFINISHED SHADING DEVICE (INTEGRATED WITH CURTAIN WALL SYSTEM)	COLOR - SILVER
IMP-4	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
IMP-5	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE			
IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC			

DRAWING NO. REVISION

A401

DATE 23/03/10 DRAWN IT

SCALE 1/8" = 1'-0" CHECKED HB

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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SOUTH ELEVATION

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

ELEVATION

SEAL

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH VICWEST BLACK - 56068
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	CLEAR ANODIZED ALUMINUM	WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT WITH PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: CLEAR ANODIZED ALUMINUM	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-2	METAL CANOPY	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH VICWEST BLACK - 56068
IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR	ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
IMP-2	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN REGAL WHITE	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SHD-1	PREFINISHED SHADING DEVICE (INTEGRATED WITH CURTAIN WALL SYSTEM)	COLOR - SILVER
IMP-4	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
IMP-5	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN REGAL WHITE			
IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC			

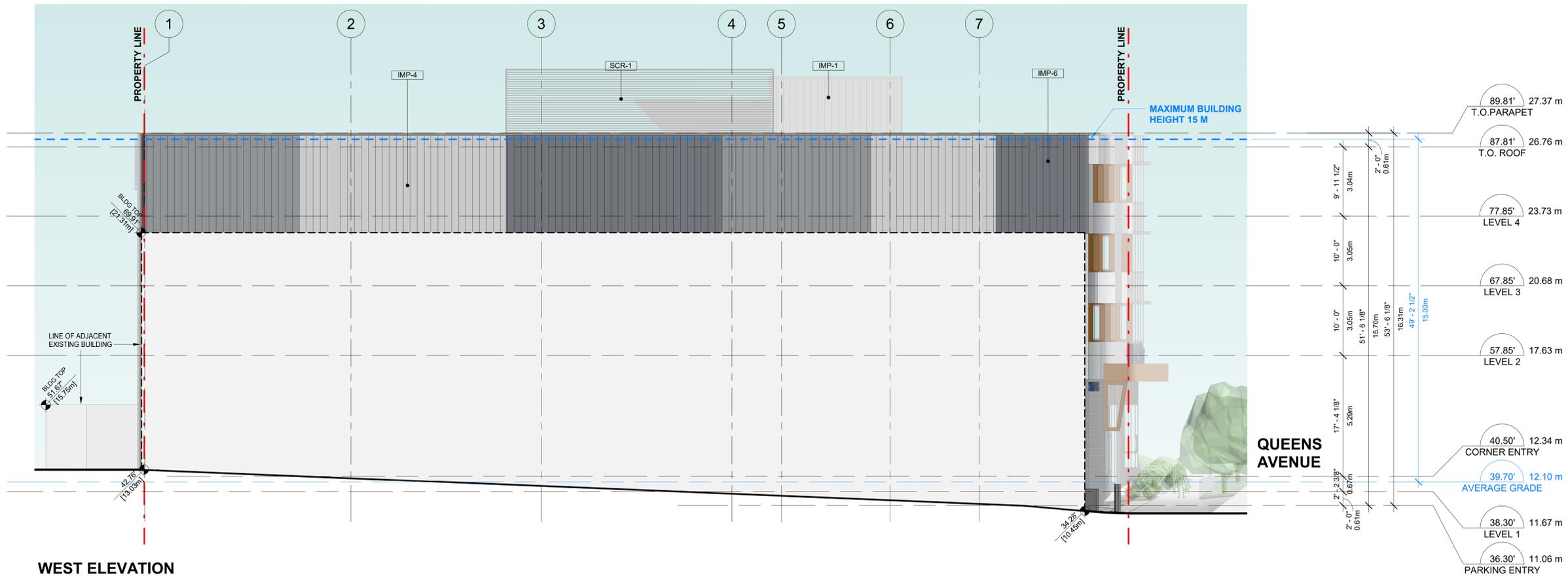
DRAWING NO. REVISION

A402

DATE 23/03/10 DRAWN IT
SCALE 1/8" = 1'-0" CHECKED HB

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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WEST ELEVATION

ELEVATION KEYNOTE LEGEND					
ITEM		COLOUR/FINISH	ITEM		COLOUR/FINISH
CON-1	CONCRETE	LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT	COLOUR TO MATCH VICWEST BLACK - 56068
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	CLEAR ANODIZED ALUMINUM	WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT WITH PREFINISHED ALUMINUM FRAME EXTENSION	FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES	GLASS: LIGHT GRAY / FRAME: CLEAR ANODIZED ALUMINUM	LOU-1	LOUVER	COLOR TO MATCH ADJACENT MATERIAL
DOR-1	INSULATED EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-1	SOFFIT - PERFORATED METAL	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-2	EXTERIOR METAL DOOR	COLOR TO MATCH ADJACENT DOOR	MCL-2	METAL CANOPY	COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-3	INSULATED DOOR WITH CLEAR GLAZING	CLEAR ANODIZED ALUMINUM	MCL-3	METAL CLADDING - VICWEST - CL 400	COLOR TO MATCH VICWEST BLACK - 56068
IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR	ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
IMP-2	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN REGAL WHITE	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP	POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SHD-1	PREFINISHED SHADING DEVICE (INTEGRATED WITH CURTAIN WALL SYSTEM)	COLOR - SILVER
IMP-4	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN DOVE GRAY	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW	DETAL DESIGN BY SIGNAGE CONSULTANT
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IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS)	COLOUR TO MATCH KINGSPAN WHEATHERED ZINC			

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

ELEVATION

SEAL

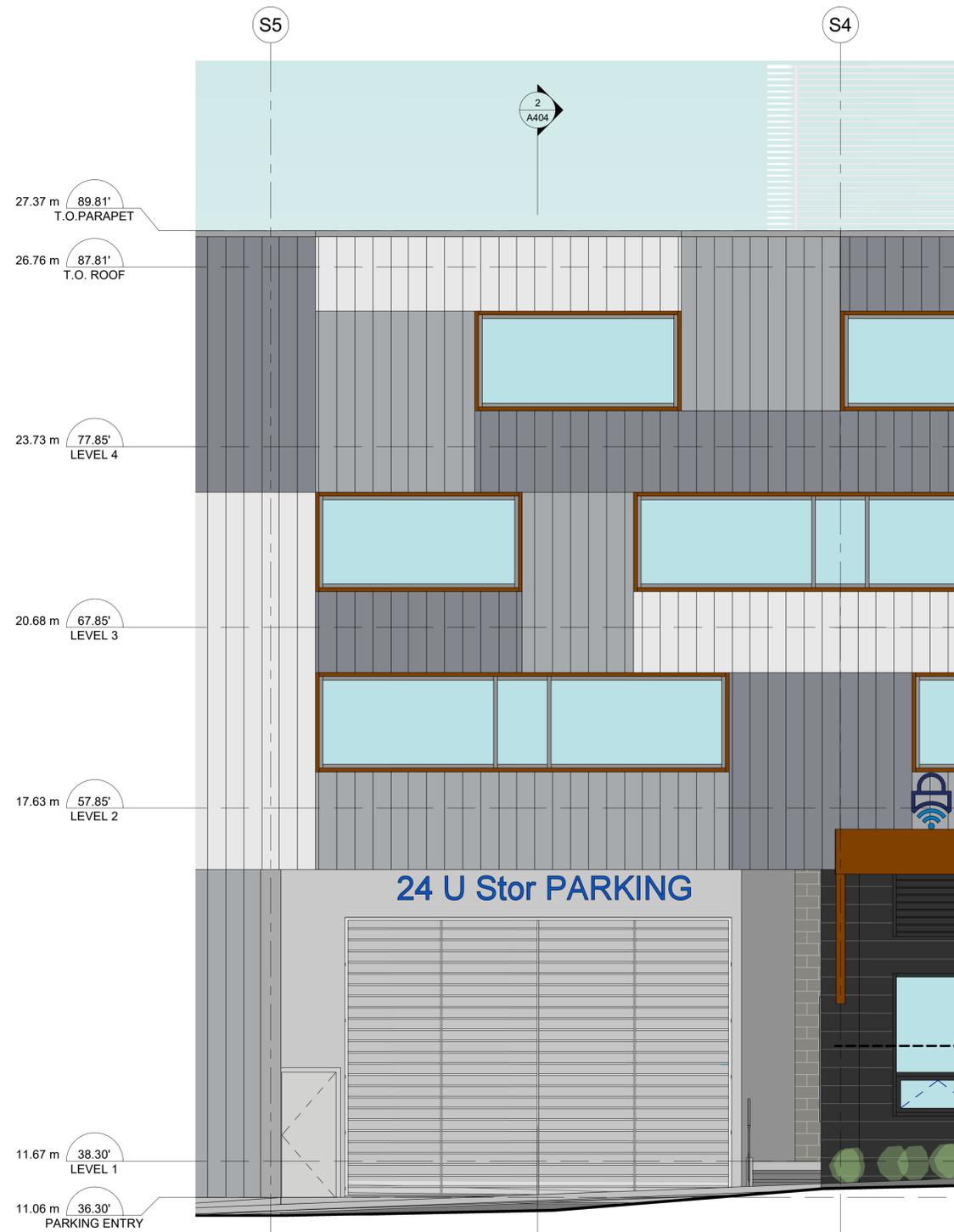
DRAWING NO. REVISION

A403

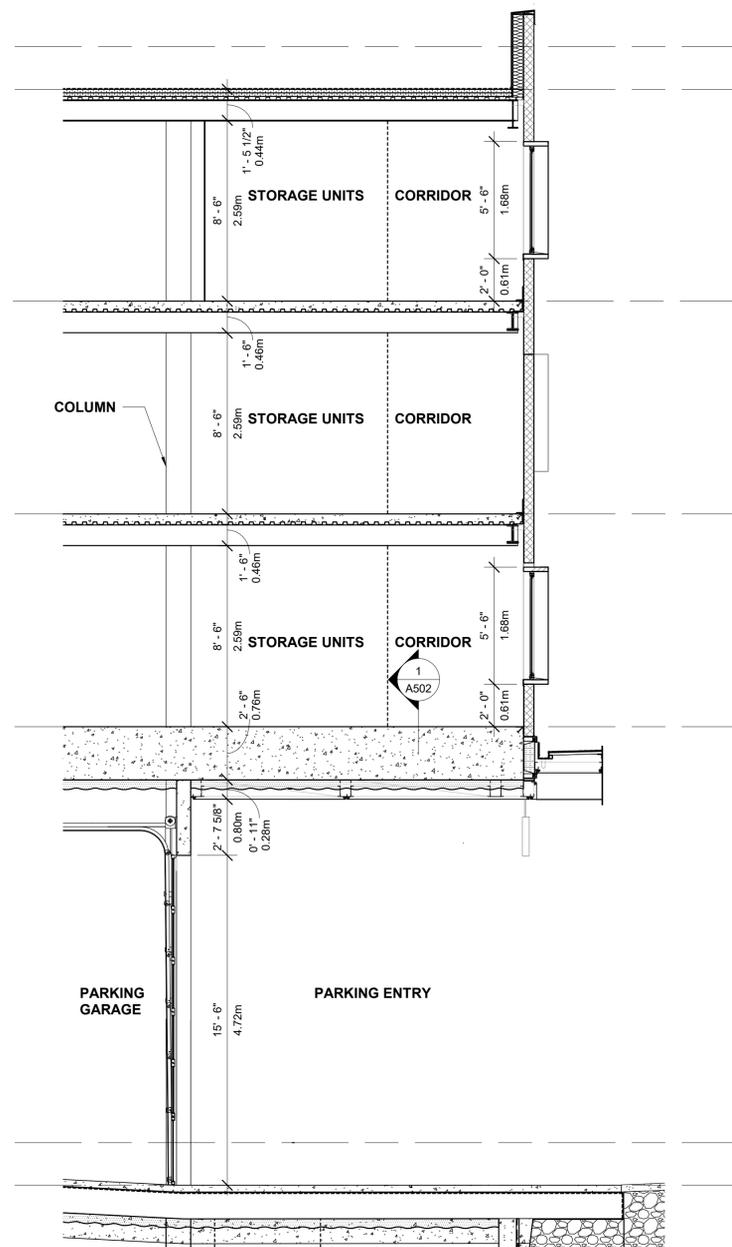
DATE 23/03/10 DRAWN IT
SCALE 1/8" = 1'-0" CHECKED HB

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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SOUTH PARTIAL ELEVATION - QUEENS AVENUE



SECTION

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC

DRAWING TITLE
**SOUTH PARTIAL ELEVATION
/ SECTION**

SEAL

DRAWING NO. REVISION

A404

DATE 23/03/10 DRAWN IT
SCALE 1/4" = 1'-0" CHECKED HB

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
EAST PARTIAL ELEVATION / SECTIONS

SEAL

DRAWING NO. REVISION

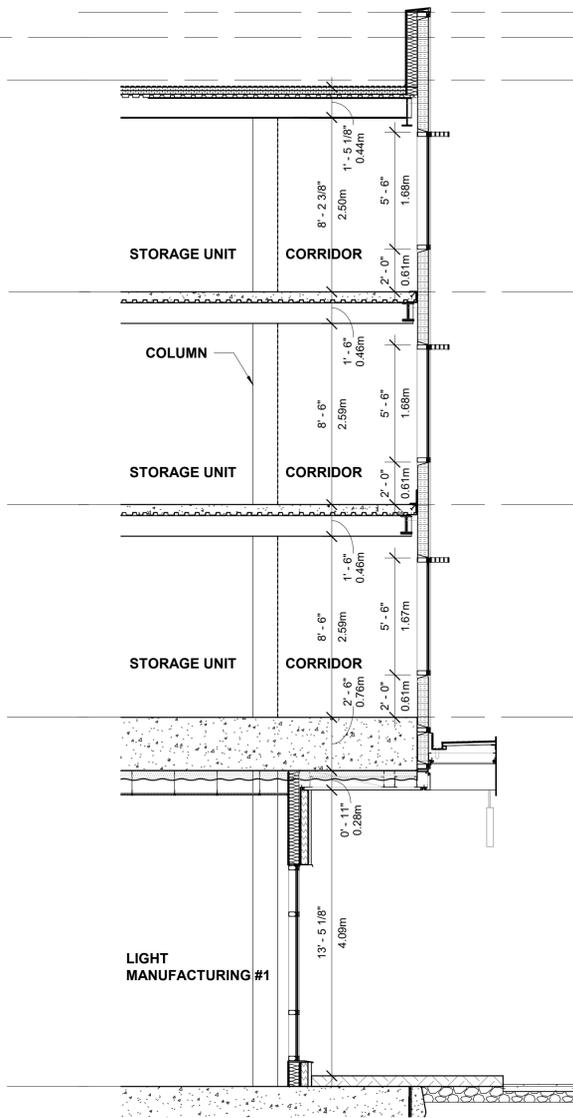
A405

DATE 23/03/10
SCALE 1/4" = 1'-0"

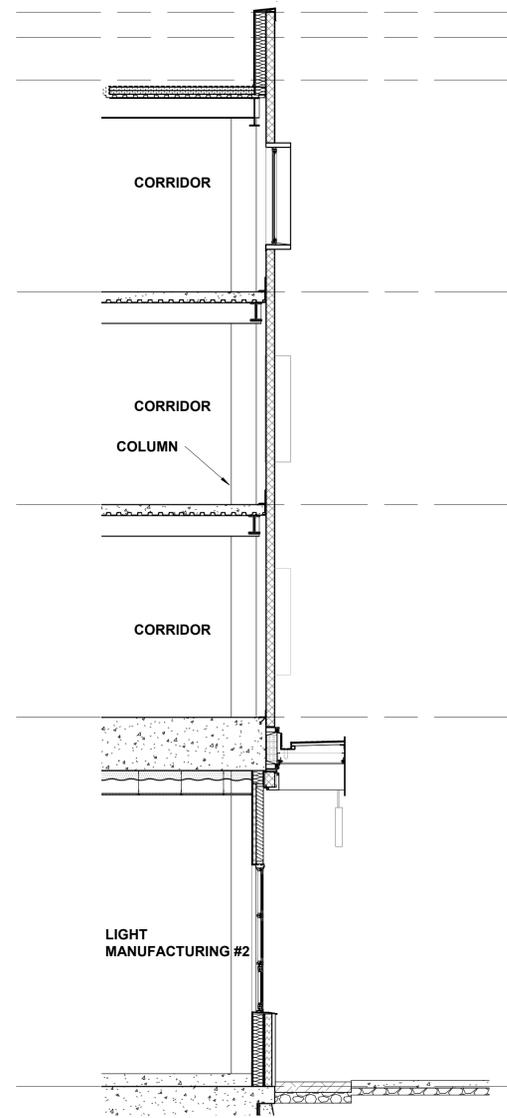
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CHECKED HB



EAST PARTIAL ELEVATION - DOUGLAS STREET



SECTION 2



SECTION 3

REVISIONS		
NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC

DRAWING TITLE

MATERIAL LEGEND

SEAL

DRAWING NO.

REVISION

A406

DATE

23/03/10

SCALE

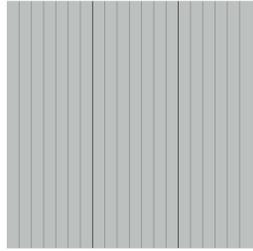
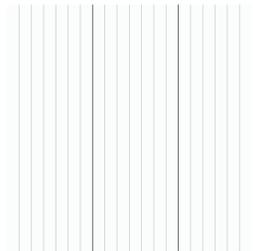
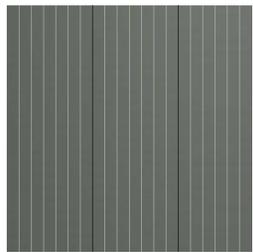
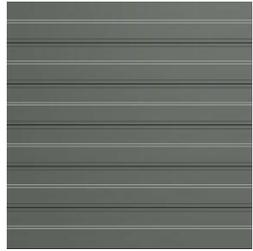
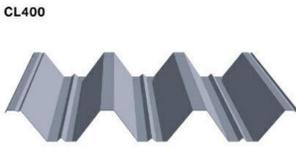
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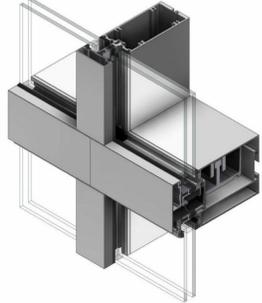
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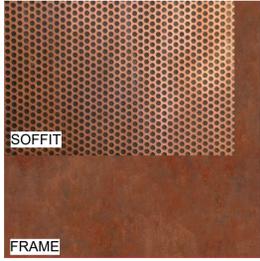
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CHECKED

HB

ITEM	COLOUR FINISH / IMAGE	SYSTEM/PATTERN
IMP -1 & IMP -4		
IMP -2 & IMP -5		
IMP -3 & IMP -6		
MCL-3		

ITEM	COLOUR FINISH / IMAGE	SYSTEM
SHD-1		
CON-1		
WIN-2		
CUW-1		

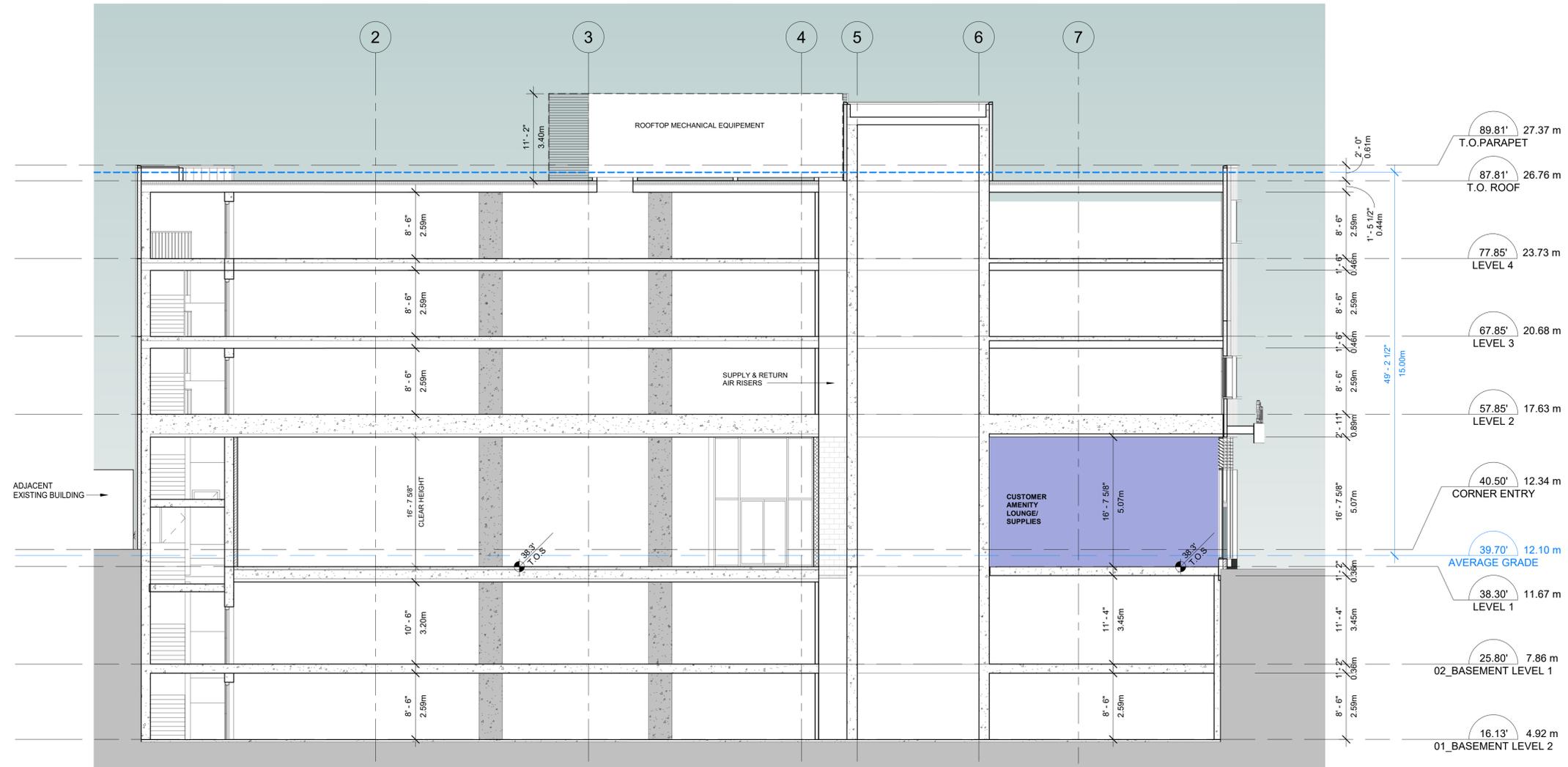
ITEM	COLOUR FINISH / IMAGE	SYSTEM
MCL-1 & MCL-2		

ELEVATION KEYNOTE LEGEND

ITEM	COLOUR/FINISH	ITEM	COLOUR/FINISH
CON-1	CONCRETE LIGHT GRAY	WIN-1	ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT COLOUR TO MATCH VICWEST BLACK - 56068
CUW-1	CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES CLEAR ANODIZED ALUMINUM	WIN-2	ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT WITH PREFINISHED ALUMINUM FRAME EXTENSION FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENSION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST
CUW-2	SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES GLASS: LIGHT GRAY / FRAME: CLEAR ANODIZED ALUMINUM	LOU-1	LOUVER COLOR TO MATCH ADJACENT MATERIAL
DOR-1	INSULATED EXTERIOR METAL DOOR COLOR TO MATCH ADJACENT DOOR	MCL-1	SOFFIT - PERFORATED METAL COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-2	EXTERIOR METAL DOOR COLOR TO MATCH ADJACENT DOOR	MCL-2	METAL CANOPY COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST
DOR-3	INSULATED DOOR WITH CLEAR GLAZING CLEAR ANODIZED ALUMINUM	MCL-3	METAL CLADDING - VICWEST - CL 400 COLOR TO MATCH VICWEST BLACK - 56068
IMP-1	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT COLOUR TO MATCH KINGSPAN DOVE GRAY	OHS-1	OVERHEAD METAL SECTIONAL DOOR ANODIZED ALUMINUM WITH CLEAR TEMPERED GLASS
IMP-2	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT COLOUR TO MATCH KINGSPAN REGAL WHITE	SCR-1	PERFORATED METAL MESH SYSTEM - ROOFTOP POWDER COATED KINGSPAN DOVE GRAY
IMP-3	INSULATED METAL PANEL, MICRO RIB OR EQUIVALENT COLOUR TO MATCH KINGSPAN WHEATHERED ZINC	SHD-1	PREFINISHED SHADING DEVICE (INTEGRATED WITH CURTAIN WALL SYSTEM) COLOR - SILVER
IMP-4	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS) COLOUR TO MATCH KINGSPAN DOVE GRAY	SGN-1	SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW DETAL DESIGN BY SIGNAGE CONSULTANT
IMP-5	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS) COLOUR TO MATCH KINGSPAN REGAL WHITE		
IMP-6	INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS) COLOUR TO MATCH KINGSPAN WHEATHERED ZINC		

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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SECTION 1

CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE

SECTION 1

SEAL

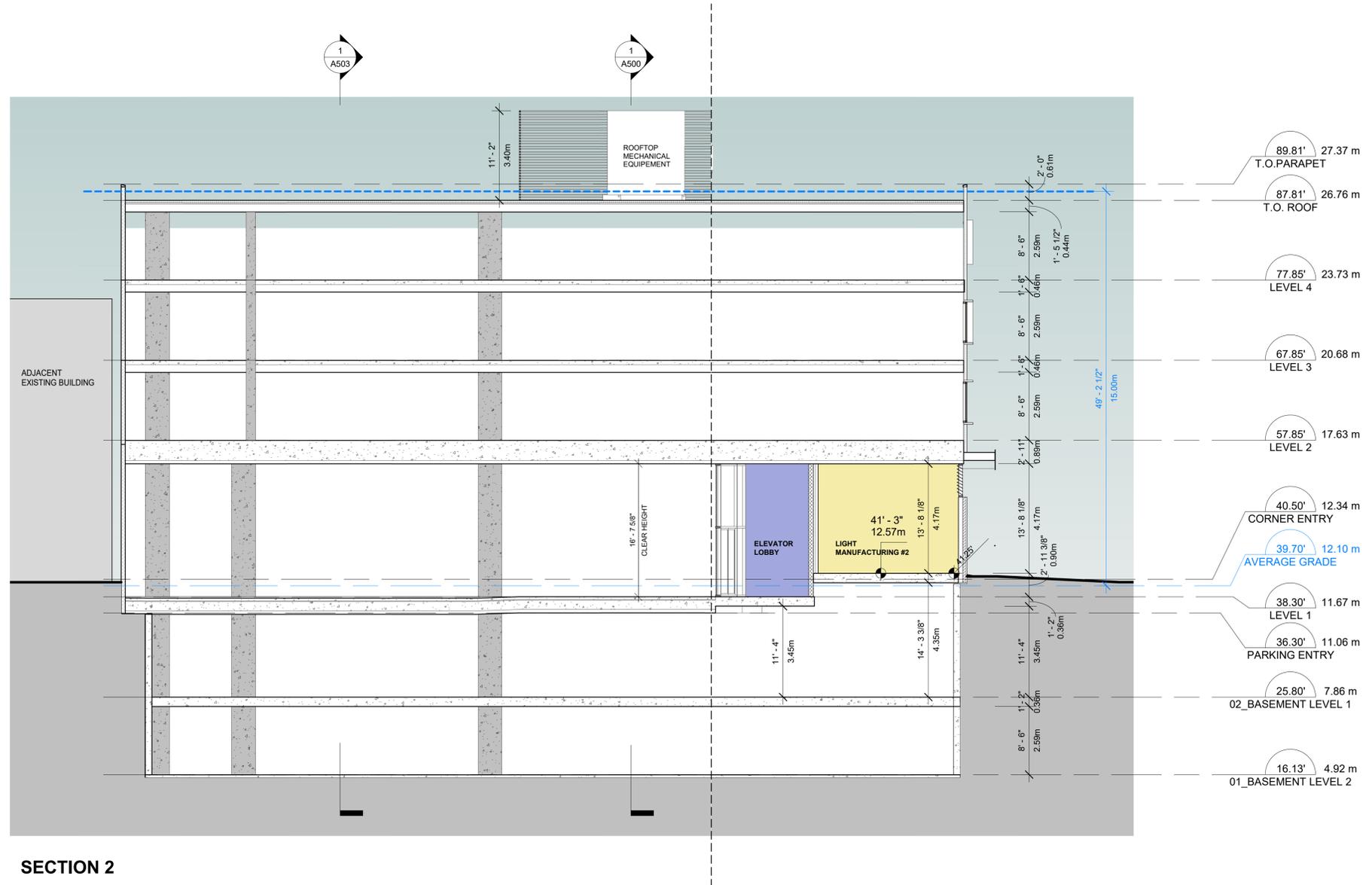
DRAWING NO. REVISION

A500

DATE 23/03/10 DRAWN IT
SCALE 1/8" = 1'-0" CHECKED HB

REVISIONS		
NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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SECTION 2

DD
DRAFT 28
10 MARCH 2023

CLIENT
BG DOUGLAS VENTURES INC.

PROJECT NO.
21500

PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
SECTION 2

SEAL

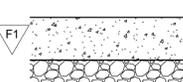
DRAWING NO.	REVISION

A501

DATE 23/03/10	DRAWN IT
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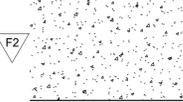
FLOOR SCHEDULE

CONCRETE SLAB ON GRADE
NO REQUIRED FIRE RESISTANCE RATING



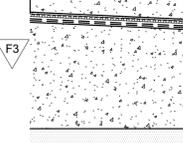
- FLOOR FINISHING PER ROOM FINISH SCHEDULE
- REINFORCED CONCRETE SLAB ON GRADE PER STRUCT. DWGS
- CONT. 10 MIL POLYETHYLENE VAPOUR BARRIER
- COMPACTED SUB-GRADE PER GEOTECHNICAL & STRUCTURAL RECOMMENDATIONS

TYPICAL SUSPENDED CONCRETE FLOOR (BASEMENT)
MIN. 3 HR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, TABLE D-2.1.1 BCBC 2018 (CONC. ONLY)



- SEALER
- REINFORCED CONCRETE SLAB AS PER STRUCT. DWGS

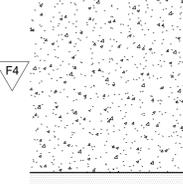
INSULATED VEHICULAR TRAFFIC DECK
MIN. 1.5 HR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, TABLE D-2.1.1 BCBC 2018 (CONC. ONLY)



- MIN. 4" THICK C.I.P. CONC. TOPPING SLAB WITH SLOPE TO DRAIN
- 1/4" PROTECTION BOARD
- 0.4" HEAVY-DUTY DRAINAGE MAT (MIN. 30,000 LB COMPRESSIVE STRENGTH)
- HOT APPLIED RUBBERIZED ASPHALT ROOFING MEMBRANE (HYDROTECH MM6125EV OR APPROVED ALTERNATE)
- REINFORCED CONCRETE SLAB WITH TOP SURFACE SLOPED TO DRAIN (REFER TO STRUCTURAL DWGS.)
- CONT. SPRAY APPLIED NON-COMBUSTIBLE THERMAL INSULATION (MONOGLAS OR APPROVED ALTERNATE) 5" THICK TO ACHIEVE R-20 VALUE

EFFECTIVE R-VALUE: R20

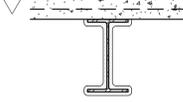
SUSPENDED CONCRETE FLOOR
MIN. 1.5 HOUR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, TABLE D-2.1.1 BCBC 2018 (CONC. ONLY)



- SEALER
- REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS.)
- CONT. SPRAY APPLIED NON-COMBUSTIBLE THERMAL INSULATION (MONOGLAS OR APPROVED ALTERNATE) 5" THICK TO ACHIEVE R-20 VALUE

EFFECTIVE R-VALUE: R20

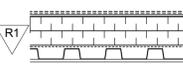
TYPICAL FLOOR ASSEMBLY
MIN. 1 HR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. F904



- MIN. 4 1/2" NORMAL DENSITY CONCRETE TOPPING
- WIRE MESH FABRIC
- 1 1/2" STEEL DECKING WELDED TO BEAMS
- STRUCTURAL STEEL FRAMING, SIZED AND SPACED PER STRUCTURAL DWGS (MINIMUM BEAM SIZE W200X42)
- SPRAY APPLIED FIRE RESISTIVE MATERIAL ISOLATEK / CAFCO BLAZE-SHIELD TYPE II; DENSITY & THICKNESS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

ROOF & DECK ASSEMBLY SCHEDULE

ROOF ASSEMBLY OVER STORAGE (SEMI-HEATED)
NO REQUIRED FIRE RESISTANCE RATING

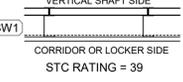


- 2 PLY OF TORCH ON SBS ROOFING MEMBRANE
- 1/4" DENSDECK OVERLAY PROTECTION BOARD; MECHANICALLY FASTENED TO STEEL DECK
- 4" POLYISOCYANURATE RIGID INSULATION W/ FIBERGLASS FACERS; MECHANICALLY FASTENED WITH SCREWS & DISCS TO STEEL DECK; APPLY IN 2 LAYERS WITH OFFSET JOINTS
- CONTINUOUS SELF-ADHERED VAPOUR RETARDER MEMBRANE
- MIN. 1-1/2" STEEL DECKING
- SLOPED STRUCTURAL STEEL FRAMING SIZED & SPACED AS PER STRUCTURAL DRAWINGS

EFFECTIVE R-VALUE: R20

VERTICAL SHAFT WALL SCHEDULE

FULL HEIGHT VERTICAL SHAFT WALL ASSEMBLY
MIN. 1 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W452, SYSTEM 'A'

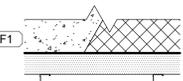


- 1" G.W.B. SHAFTLINER, FITTED IN 'H' FLANGE
- MIN. 25ga. 4" 'C'-H' STUD @ MAX 24" O.C.
- CONTINUOUS 6MIL POLY VAPOUR BARRIER
- 1 LAYER OF 5/8" FIRECODE 'X' G.W.B.

STC RATING = 39

FURRED-OUT WALL SCHEDULE

FURRED-OUT CONCRETE & CMU WALL



- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- 3" ZLB CLOSE CELL SPRAY FOAM INSULATION
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX. 24" O.C.
- 1/2" G.W.B.

EFFECTIVE R-VALUE: R20

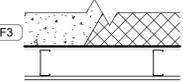
FURRED-OUT CONCRETE & CMU WALL



- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- 4" SEMI-ROGID INSULATION (NON-COMBUSTIBLE) NOM. R17.2
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION THICKNESS (KPS THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- COMPOSITE ALUMINUM PANELS WITH PROPRIETARY CLIPS; DRY JOINT SYSTEM

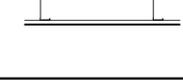
EFFECTIVE R-VALUE: R13

FURRED-OUT CONCRETE & CMU WALL



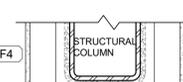
- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- +/- 1" SPACE BETWEEN STUD & CONC.
- MIN. 25ga. 3 3/8" STEEL STUDS @ MAX. 24" O.C.
- 1/2" G.W.B.

FURRED-OUT CONCRETE & CMU WALL



- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- +/- 1" SPACE BETWEEN STUD & CONC.
- MIN. 25ga. 3 3/8" STEEL STUDS @ MAX. 24" O.C.
- 1/2" G.W.B.
- 0.1" FIBERGLASS REINFORCED PANEL (FRP) ON WET SIDE

FURRED-OUT WALL ON STRUCTURAL COLUMN

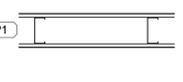


- STRUCTURAL COLUMN (DIMENSION PER STRUCT. DWGS.) c/w SPRAY APPLIED FIRE RESISTIVE MATERIAL PER UL / cUL DESIGN NO. X827 TO ARCHIEVE MIN. 1 HR. F.R.R.
- +/- 2" GAP BETWEEN STUD & COLUMN
- MIN. 25ga. 3 5/8" STEEL STUDS; TERMINATE @ U/S FLOOR / ROOF STRUCTURE
- 1/2" ABUSE RESISTANT GYPSUM WALL BOARD TERMINATED @ U/S FLOOR / ROOF STRUCTURE

INTERIOR PARTITION SCHEDULE

DIMENSIONS ARE TO STUD FACE, UNLESS MARKED OUT-TO-OUT (o/o)

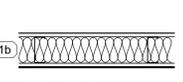
FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING



- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK

*NOTE: GWB MAY TERMINATE 6" ABOVE AN ADJACENT SUSPENDED CEILING

FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING



STC RATING = 48

- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK

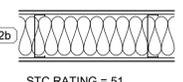
FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING



STC RATING = 48

- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK
- 0.1" FIBERGLASS REINFORCED PANEL (FRP) ON WET SIDE

FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING

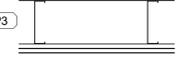


STC RATING = 51

- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO u/s STRUCTURE
- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK

*NOTE: GYPSUM MAY TERMINATE 6" ABOVE AN ADJACENT SUSPENDED CEILING

FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING



STC RATING = 51

- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO u/s STEEL DECK
- 0.1" FIBERGLASS REINFORCED PANEL (FRP) ON WET SIDE

*NOTE: PROVIDE SMOKE SEAL FOR ALL 0-HR. FRR PARTITIONS.

FULL HEIGHT STEEL STUD INTERIOR PARTITION
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W453



- 2 LAYERS OF 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s STEEL DECK
- MIN. 25ga. 6" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- 2 LAYERS OF 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s STEEL DECK

FULL HEIGHT STEEL STUD INTERIOR PARTITION
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W453 (THIS ASSEMBLY IS PROVIDED WHERE MIN. 3/4 HOUR F.R.R. IS REQUIRED)



STC RATING = 48

- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s STEEL DECK
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s STEEL DECK

FULL HEIGHT STEEL STUD INTERIOR PARTITION
MIN. 1 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W453 (THIS ASSEMBLY IS PROVIDED WHERE MIN. 3/4 HOUR F.R.R. IS REQUIRED)

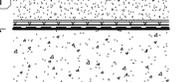


STC RATING = 51

- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s STEEL DECK
- MIN. 25ga. 6" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s STEEL DECK

FOUNDATION & EXTERIOR WALL SCHEDULE

FOUNDATION WALL (BLIND FORMED & UN-INSULATED)



- SHOT-CRETE SHORING (REFER TO GEOTECHNICAL AND STRUCTURAL DWGS.)
- CONT. COMPOSITE DRAIN MAT
- CARRIER SHEET ATTACHED TO DRAIN MAT
- SPRAY WATERPROOFING ON CARRIER SHEET; MIN. 60MIL
- STRUCTURAL CONCRETE WALL PER STRUCT. DWGS.
- PAINT ON EXPOSED CONCRETE WALL

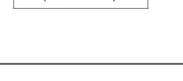
FIRE RATED INSULATED METAL PANEL
MIN. 2 HR FIRE RESISTANCE RATING BASED ON CAN/ULC-S101 DESIGN NO. KIP/CWP 180-1 PER WARNOCK HERSEY INTERTEK



EFFECTIVE R-VALUE: R21.6 (PANEL ONLY)

- 6" MINERAL WOOL CORE INSULATED METAL PANEL UL-263, CAN/ULC-S101, CAN/ULC-S102 (Mineral Fiber Core)

NON-FIRE RATED INSULATED METAL PANEL
NO REQUIRED FIRE RESISTANCE RATING

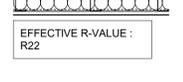


EFFECTIVE R-VALUE: R36 (PANEL ONLY)

- 5" POLYCYANURATE CORE INSULATED METAL PANEL

PANEL NEEDS TO BE TESTED TO CAN/ULC-S101 FOR 10 MIN AS PER SENTENCE 3.1.5.7 (3) FLAME SPREAD RATING 150 REQUIREMENTS LISTED IN (IV) NEEDS TO COMPLY WITH CAN/ULC-S134 FOR COMBUSTIBLE CLADDING ON EXTERIOR WALLS (3.1.5.5.)

STEEL STUD WALL WITH METAL CLADDING



EFFECTIVE R-VALUE: R22

- COMPOSITE ALUMINUM PANELS WITH PROPRIETARY CLIPS; DRY JOINT SYSTEM
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION THICKNESS (KPS THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE); ALIGN WITH WALL STUDS
- 4" SEMI-ROGID INSULATION (NON-COMBUSTIBLE) NOM. R17.2
- CONTINUOUS VAPOUR PERMEABLE WEATHER BARRIER (SELF-ADHERED OR FLUID APPLIED)
- 1/2" DENSGLAS SHEATHING
- MIN. 20ga. 6" STEEL STUDS (ENGINEERED) SPACED AS PER STRUCT. DWGS REQUIREMENTS; MAX. 16" O.C.
- NOMINAL R22 BATT INSULATION TO FILL STUD SPACE
- CONTINUOUS 6MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM WALLBOARD

STEEL STUD WALL WITH METAL CLADDING

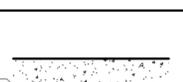


EFFECTIVE R-VALUE: R13

- COMPOSITE ALUMINUM PANELS WITH PROPRIETARY CLIPS; DRY JOINT SYSTEM
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION THICKNESS (KPS THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE); ALIGN WITH WALL STUDS
- 4" SEMI-ROGID INSULATION (NON-COMBUSTIBLE) NOM. R17.2
- CONTINUOUS AIR / VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- STRUCTURAL CONCRETE OR CMU WALL (PER STRUCTURAL)

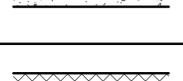
CONCRETE & CMU WALL SCHEDULE

CONCRETE WALL
MIN. 3 HOUR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, BCBC 2018



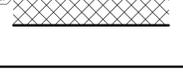
- REINFORCED CONCRETE WALL WITH THICKNESS AS INDICATED ON PLANS (MIN. 8")
- PAINT FINISH ON BOTH SIDES U.N.O.

CONCRETE WALL
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, BCBC 2018



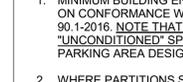
- REINFORCED CONCRETE WALL WITH THICKNESS AS INDICATED ON PLANS (MIN. 8")
- PAINT FINISH ON BOTH SIDES U.N.O.

CONCRETE BLOCK WALL
MIN. 3 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. U904



- NOMINAL 8" REINFORCED CONC. BLOCK WITH LISTING (PAINT FINISH BOTH SIDES IF EXPOSED UNLESS NOTED OTHERWISE)

CONCRETE BLOCK WALL
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. U906



- NOMINAL 8" REINFORCED CONC. BLOCK WITH LISTING (PAINT FINISH BOTH SIDES IF EXPOSED UNLESS NOTED OTHERWISE)

EXTERIOR WALL GENERAL NOTES:

- MINIMUM BUILDING ENVELOPE THERMAL PERFORMANCE REQUIREMENTS ARE BASED ON CONFORMANCE WITH CLIMATE ZONE 5 REQUIREMENTS UNDER ASHRAE 90.1-2016. NOTE THAT BUILDING IS DESIGNED WITH BOTH "CONDITIONED" AND "UNCONDITIONED" SPACE AS DEFINED IN ASHRAE 90.1-2016, WITH CAR WASH BAY AND PARKING AREA DESIGNATED AS "UNCONDITIONED" SPACE.
- WHERE PARTITIONS SEPARATE SEMI-HEATED AND CONDITIONED SPACES AS DEFINED IN ASHRAE 90-2016, THE FULL ASSEMBLY SHALL BE CONTINUOUS FOR FULL-HEIGHT AND ALL JOINTS SHALL BE SEALED.

REVISIONS

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300, 2310 & 2312 Douglas Street, Victoria, BC

DRAWING TITLE
PRELIMINARY WALL & ROOF ASSEMBLIES

SCALE

DRAWING NO. REVISION

A701

DATE 23/03/10 DRAWN IT
SCALE CHECKED
1" = 1'-0" HB

NO.	DESCRIPTION	DATE
1-	ISSUED FOR DP	2022-03-25
2-	REISSUED FOR DP	2022-06-16
3-	REISSUED FOR DP	2023-03-10
4-	REISSUED FOR DP	2023-06-21

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

**Commercial and Self-Storage
Development
2300, 2310 & 2312 Douglas
Street, Victoria, BC**

DRAWING TITLE

SHADOW ANALYSIS

SEAL

DRAWING NO.

REVISION

SA01

DATE

23/03/10

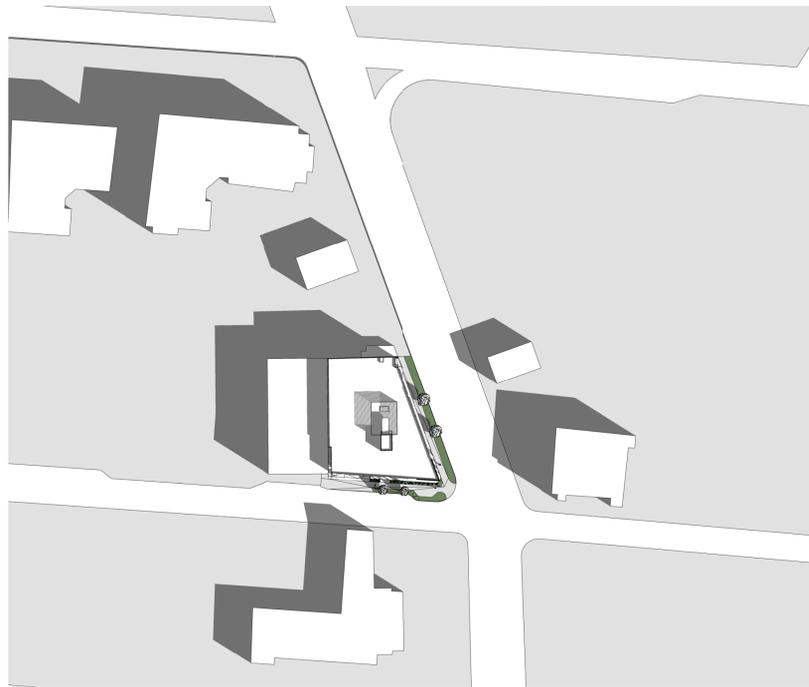
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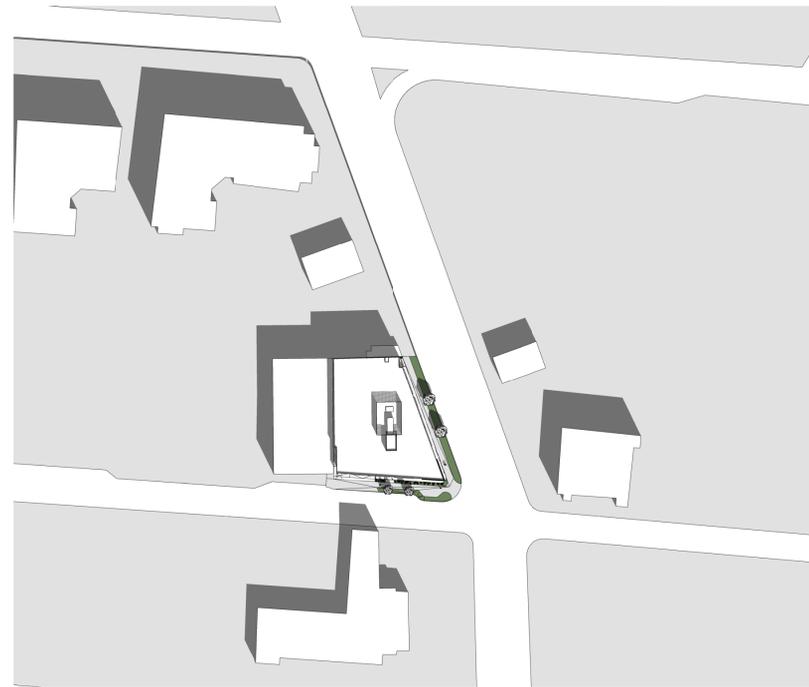
SCALE

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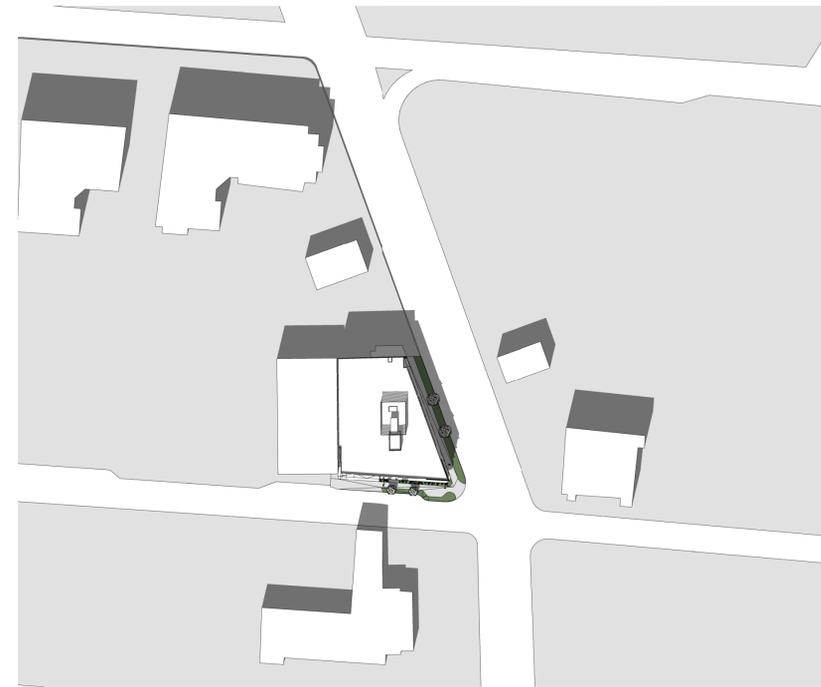
HB



1 MARCH-21 10:00AM



2 MARCH-21 12:00PM



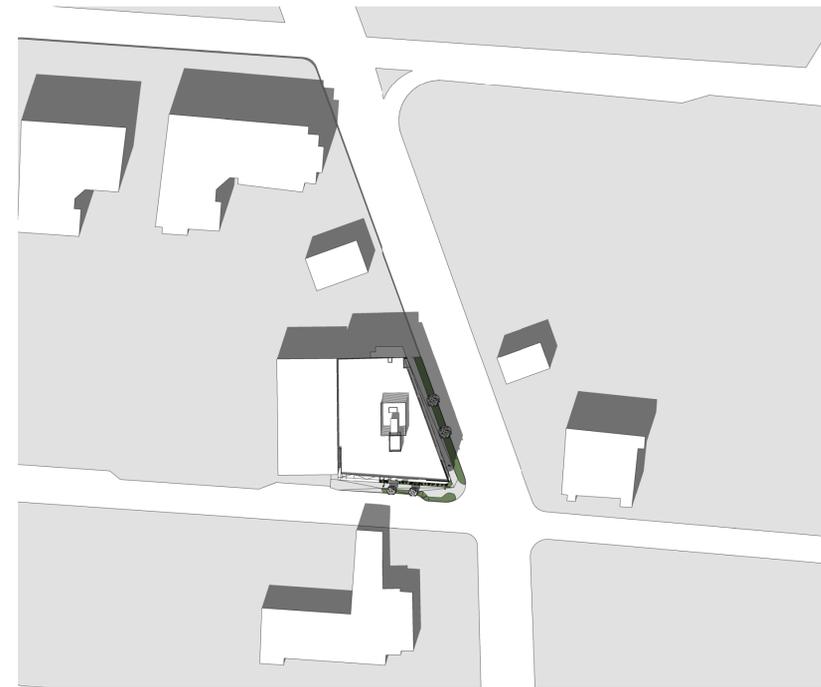
3 MARCH-21 2:00PM



4 SEPTEMBER-21 10:00AM



5 SEPTEMBER-21 12:00PM



6 SEPTEMBER-21 2:00PM

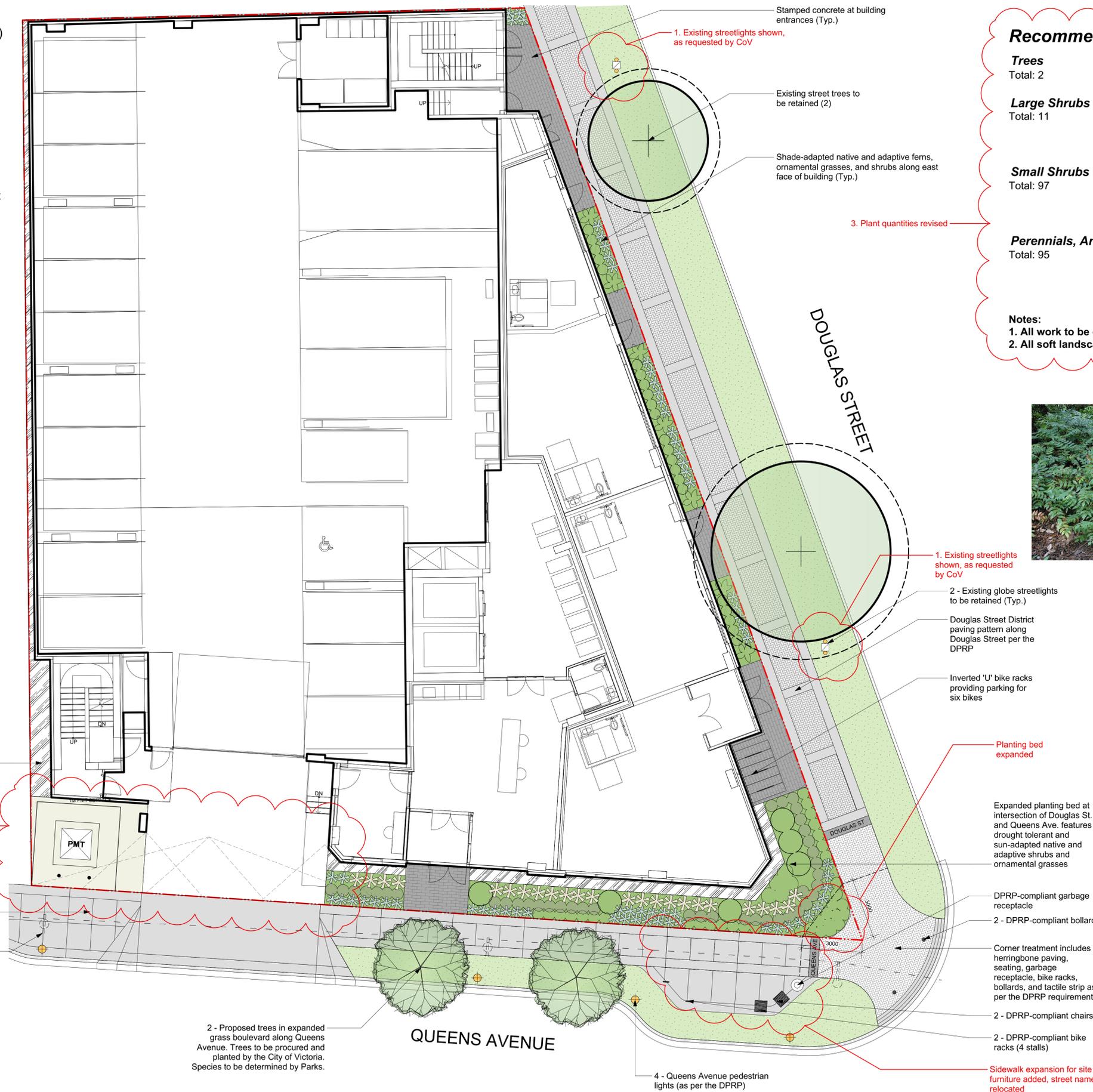
OFFSITE FURNITURE (DPRP COMPLIANT)



INDUSTRIAL HERITAGE CHAIR STANDARD BIKE RACK

MODERN METAL BIN RELIANCE FOUNDRY BOLLARD

MODERN HERITAGE DOUBLE LIGHT



2. PMT location and adjacent paving revised; building column relocated; sight triangles added; planting within sight triangles revised

Rock Bay District paving pattern along Queens Avenue per the DPRP

Existing power pole locations (Typ.)

River rock strip at rear of building

2 - Proposed trees in expanded grass boulevard along Queens Avenue. Trees to be procured and planted by the City of Victoria. Species to be determined by Parks.

4 - Queens Avenue pedestrian lights (as per the DPRP)

Stamped concrete at building entrances (Typ.)

1. Existing streetlights shown, as requested by CoV

Existing street trees to be retained (2)

Shade-adapted native and adaptive ferns, ornamental grasses, and shrubs along east face of building (Typ.)

3. Plant quantities revised

1. Existing streetlights shown, as requested by CoV

2 - Existing globe streetlights to be retained (Typ.)

Douglas Street District paving pattern along Douglas Street per the DPRP

Inverted 'U' bike racks providing parking for six bikes

Planting bed expanded

Expanded planting bed at intersection of Douglas St. and Queens Ave. features drought tolerant and sun-adapted native and adaptive shrubs and ornamental grasses

DPRP-compliant garbage receptacle

2 - DPRP-compliant bollards

Corner treatment includes herringbone paving, seating, garbage receptacle, bike racks, bollards, and tactile strip as per the DPRP requirements

2 - DPRP-compliant chairs

2 - DPRP-compliant bike racks (4 stalls)

Sidewalk expansion for site furniture added, street name relocated

Recommended Nursery Stock

Trees

Total: 2

Botanical Name
Street trees. Species & size to be selected by City of Victoria Parks Department

Large Shrubs

Total: 11

Botanical Name
Mahonia aquifolium
Rhododendron 'Rosa Mundi'

Common Name
Tall Oregon Grape
Rosa Mundi Rhododendron

Size
#5 pot
#7 pot

Small Shrubs

Total: 97

Botanical Name
Gaultheria shallon
Lavandula stoechas 'Otto Quast'
Mahonia nervosa

Common Name
Salal
Spanish Lavender
Low Oregon Grape

Size
#1 pot
#1 pot
#1 pot

Perennials, Annuals and Ferns

Total: 95

Botanical Name
Calamagrostis x acutiflora 'Karl Foerster'
Helictotrichon sempervirens
Polystichum munitum

Common Name
Karl Foerster Feather Reed Grass
Blue Oat Grass
Sword Fern

Size
#1 pot
#1 pot
#1 pot

Notes:

- 1. All work to be completed to current BCSLA Landscape Standards
- 2. All soft landscape to be irrigated with an automatic irrigation system

PROPOSED NATIVE PLANT PALETTE



MAHONIA NERVOSA



GAULTHERIA SHALLON



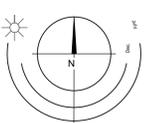
RIBES SANGUINEUM



MAHONIA AQUIFOLIUM



POLYSTICHUM MUNITUM



1:100



Mar 9-23
June 10-22
May 16-22
March 22-21

2300-2312 Douglas St. | Landscape Concept Plan

BOULEVARD TREE SOIL VOLUME TABLE

Planting Area ID	Area (M2)	Soil Volume multiplier*	A Estimated soil Volume	Replacement Trees Proposed			Soil Volume Required (m3)			
				# Small	# Medium	# Large	E Small	F Medium	G Large	Total **
Onsite										
A	49	0.92	45	0	2	0	0	30	0	30
Offsite (Excluding City Property)										
Planting Area OSA X										
Offsite (Excluding City Property)							E	F	G	TOTAL
							Calculation: $\begin{matrix} \text{if } B = 1, B \times 8 & \text{if } C = 1, C \times 20 & \text{if } D = 1, D \times 35 \\ \text{if } B > 1, B \times 6 & \text{if } C > 1, C \times 15 & \text{if } D > 1, D \times 30 \end{matrix}$			

* On ground (excluding exposed bedrock): use 1, On structure: use depth of soil, On soil cells: use 0.92, On structural soil: use 0.2
 ** Total must not exceed A. If Total exceeds A, then the number or size of proposed replacement trees must be reduced.

SUMMARY TREE TABLE

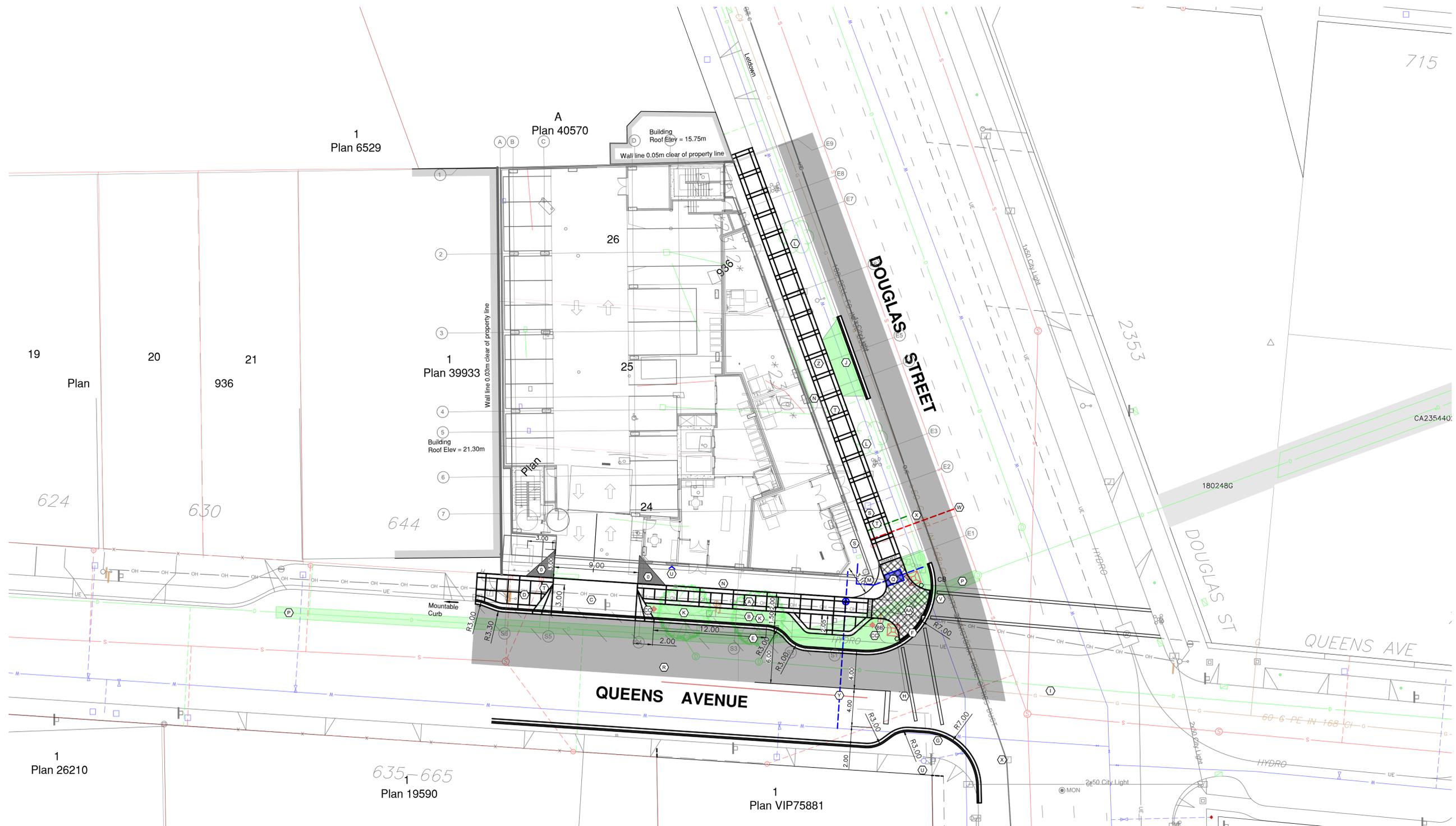
	Count	Multiplier	Total
ONSITE Minimum replacement tree requirement			
A. Protected trees removed	0	X 1	A. 0
B. Replacement trees proposed per Schedule "E", Part 1	0	X 1	B. 0
C. Replacement trees proposed from Schedule "E", Part 2	0	X 0.5	C. 0
D. Replacement trees proposed per Schedule "E", Part 3	0	X 1	D. 0
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number			E. 0
F. Onsite replacement tree deficit (A-E) Record 0 if negative number			F. 0
ONSITE Minimum trees per lot requirement (onsite trees)			
G. Tree minimum on lot*			G. 8
H. Protected trees retained (other than specimen trees)	0	X 1	H. 0
I. Specimen trees retained	0	X 3	I. 0
J. Trees per lot deficit (G-(B+C+H+I) Record 0 if negative number			J. 8
OFFSITE Minimum replacement tree requirement (offsite trees)			
K. Protected trees removed	0	X 1	K. 0
L. Replacement trees proposed per Schedule "E", Part 1 or Part 3	2	X 1	L. 2
M. Replacement trees proposed from Schedule "E", Part 2	0	X 0.5	M. 0
N. Total replacement trees proposed (L+M) Round down to nearest whole number			N. 2
O. Offsite replacement tree deficit (K-N) Record 0 if negative number			O. 0
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu Enter F. or J., whichever is the greater number			P. 8
Q. Offsite trees proposed for cash-in-lieu Enter O.			Q. 0
R. Cash-in-lieu proposed ((P+Q) X \$2,000)			R. 16,000



2300-2312 Douglas St. | Tree Management Plan



March 9, 2023 / K:\Dropbox\BFE\Eng\Projects\2035 - Base March 6 2023.dwg
 Engineering\02 - Drawings & Sketches (Eng)\2035 - Base March 6 2023.dwg



CONCEPT DEVELOPMENT – PROPOSED OFFSITE IMPROVEMENTS:

- (A) 2.0M WIDE CONCRETE SIDEWALK – PATTERN ACCORDANCE WITH DPRP SPECIFICATIONS; REFUGE AREA FOR DPR STREET FURNITURE ON QUEENS NEAR INTERSECTION
- (B) 1.5M WIDE FURNITURE/LANDSCAPE STRIP
- (C) 9.0M WIDE COMMERCIAL DRIVEWAY
- (D) SIDEWALK ADJACENT PMT LOCATION BUILT TO DRIVEWAY STANDARD AND MOUNTABLE FOR BC HYDRO CRANE TRUCK. PMT LOCATION DEPENDANT ON BC HYDRO APPROVAL.
- (E) PARALLEL PARKING 12.0m(USE TYPE TO BE DETERMINED)
- (F) SIDEWALK LETDOWNS IN ACCORDANCE WITH CoV SPECIFICATIONS TO BE PROVIDED, INCLUDING ALIGNMENT AND APPURTENANCES TO ACCOMMODATE VISUALLY IMPAIRED.
- (G) SOUTH SIDE OF QUEENS CONCEPT FOR INFORMATION ONLY TO INDICATE FUTURE COMPLETE BUILD OF NEW INTERSECTION
- (H) CROSSWALK AND TRAFFIC MARKINGS. SHOWN FOR INFORMATION OF FUTURE WORKS BY OTHERS.
- (I) INTERSECTION DESIGN TO ACCOMMODATE FUTURE SIGNALIZATION OF INTERSECTION, DETAILS TBD. DEVELOPER TO SUPPLY AND INSTALL UNDERGROUND COMPONENTS ON FRONTAGE AS REQUIRED.
- (J) REMOVAL OF EXISTING DRIVEWAY ACCESS AND REPAIRS TO CURB AND BOULEVARD AS REQUIRED.

CONCEPT DEVELOPMENT – PROPOSED OFFSITE IMPROVEMENTS:

- (K) NEW STREET TREES – SEE LANDSCAPE PLAN FOR DETAILS (ALL TREES ON QUEENS FRONTAGE)
- (L) EXISTING STREET TREES TO BE RETAINED (ALL TREES DOUGLAS FRONTAGE)
- (M) ROW DEDICATION TO COVER PROPOSED SIDEWALK. BCLS TO PROVIDE PLAN DURING LOT CONSOLIDATION STAGE.
- (N) EXCAVATIONS MAY REQUIRE STRUCTURAL STABILIZATION, GEOTECHNICAL AND STRUCTURAL ENGINEERS TO DETERMINE REQUIREMENTS DURING EXCAVATIONS, SHOULD STABILIZATION REQUIRING ENCROACHMENT INTO PUBLIC ROW BCLS TO DOCUMENT FOR ANY ENCROACHMENT AGREEMENTS REQUIRED BY CoV.
- (O) SIGHT TRIANGLES – CLEAR OF OBSTRUCTIONS
- (P) LOCATION OF 1.2Mx1.8M BRICK STORM MAIN SHOWN, DEPTH VARIES FROM 4-6 METERS. NO CONFLICTS WITH GRADE LEVEL INFRASTRUCTURE SUCH AS SIGNAL POLE BASES, CATCH BASINS, JUNCTION BOXES OR OTHER IS ANTICIPATED.
- (Q) WATER FIRE SERVICE VAULT WITHIN ROW. 90° BEND WITHIN PRIVATE PROPERTY.
- (R) QUEENS AVE. REPAVING FROM NEW CURB TO CENTERLINE. DOUGLAS CURBSIDE LANE; PAINT AND MARKINGS AS REQUIRED.
- (S) CoV FORCES TO ABANDON ALL EXISTING WATER SERVICES.

CONCEPT DEVELOPMENT – PROPOSED OFFSITE IMPROVEMENTS:

- (T) OWNERS CONTRACTOR TO CAP AND DECOMMISSION ALL GRAVITY SEWER AND DRAIN CONNECTION AT PL.
- (U) NEAREST EXISTING FIRE HYDRANT AND BUILDING SIAMESE CONNECTION. DISTANCE APART 34m.
- (V) CATCH BASIN AND LEAD TO BE UPGRADED TO CURRENT STANDARD.
- (W) NEW SANITARY SEWER CONNECTION BY CoV FORCES
- (X) NEW STORM DRAIN CONNECTION BY CoV FORCES
- (Y) NEW DOMESTIC WATER SERVICE CONNECTION BY CoV FORCES
- (Z) DOUGLAS STREET SIDEWALK AND FRONTAGE TO BE RETAINED NORTH OF NEW SEWER AND DRAIN SERVICE CONNECTION LOCATION. FRONTAGE TO BE DOCUMENTED FOR CONDITION BY CIVIL CONSULTANT AND CoV STAFF JOINTLY. DEVELOPER REQUIRED TO BOND FOR POTENTIAL RECONSTRUCTION IN THE EVENT FRONTAGE IS DAMAGED DURING CONSTRUCTION. *Developer to protect sidewalk during construction. Staff are to review the condition of the sidewalk with the developer post construction impact to determine if full reinstatement is required. CoV
- (AA) INFRASTRUCTURE TO ACCOMMODATE FUTURE SIGNALIZED INTERSECTION ADDED PER COOPERATION WITH CoV TRANSPORTATION STAFF
- (BB) EXISTING BC HYDRO POLE TO BE REPLACED AT BCH DISCRETION, DAVIT ARM STREET LIGHT TO BE UPGRADED BY DEVELOPER

CONCEPT DEVELOPMENT – PROPOSED OFFSITE IMPROVEMENTS:

- (CC) PEDESTRIAN LIGHTING PER DPR GUIDE

BC 1 CALL
 1-800-474-6886
 THE CONTRACTOR IS TO CALL B.C. ONE CALL AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION

MARCH 9 2023
APPROVAL SUBMISSION
 1:100 0 2 6m 1:500 0 10 30m

NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK	NO.	DESCRIPTION	YYYYMMDD	DE	DA
3	DP SUBMISSION	20230309	CBW	CBW						
3	PRELIMINARY REVIEW (arch site plan update)	20220614	CBW	CBW						
2	PRELIMINARY REVIEW	20220530	CBW	CBW						
1	PRELIMINARY REVIEW	20220222	CBW	CBW						

ENGINEER OF RECORD
MSR SOLUTIONS INC.
 INNOVATIVE ENGINEERING SERVICES
 125 - 662 GOLDSTREAM AVENUE, VICTORIA B.C.
 V9B 0N8
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 info@msrsolutions.ca
 www.msrsolutions.ca

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 250 888 0385
 CARL@BIGFISHENDEAVORS.CA

Bradley Group of Companies
 2300 DOUGLAS STREET
 CONCEPTUAL DEVELOPMENT PLAN
 2305 CD01
 CITY OF VICTORIA MUN. FILE SHEET 1 OF 1