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	Project In
Zoning (existing)	
Site Area (square meters)	
Total Floor Area (square meters)	
Commercial Floor Area (square meters)	
Floor Area Ratio	
Site Coverage (%)	
Open Site Space (%)	
Height of Building	
Number of Stories	
Parking Stalls (no.) on site	
Bicycle Parking (storgae and rack)	
Front yard setback	
Rear yard setback	
Side yard setback	
Side yard setback	
Combined Sideyards	
Total Number of Residential Units	
Unit Type, e.g. l bedroom	
Ground Oriented Units	
Minimum Unit Floor Area (square meters)	
Total Residential Floor Area (square meters)	



# Attachment : A

ct Infor	nation Table
	OTD-1
	876
	681+174+681 = 1536
	833
	1.75
	78%
	22%
	35'2 5/8"
	2
	0
	0
	0
	2m
	0
	0
	0
	4
	1 & 2 bedroom
	0
	91
	409

# Original Submission Received Date: August 14, 2023



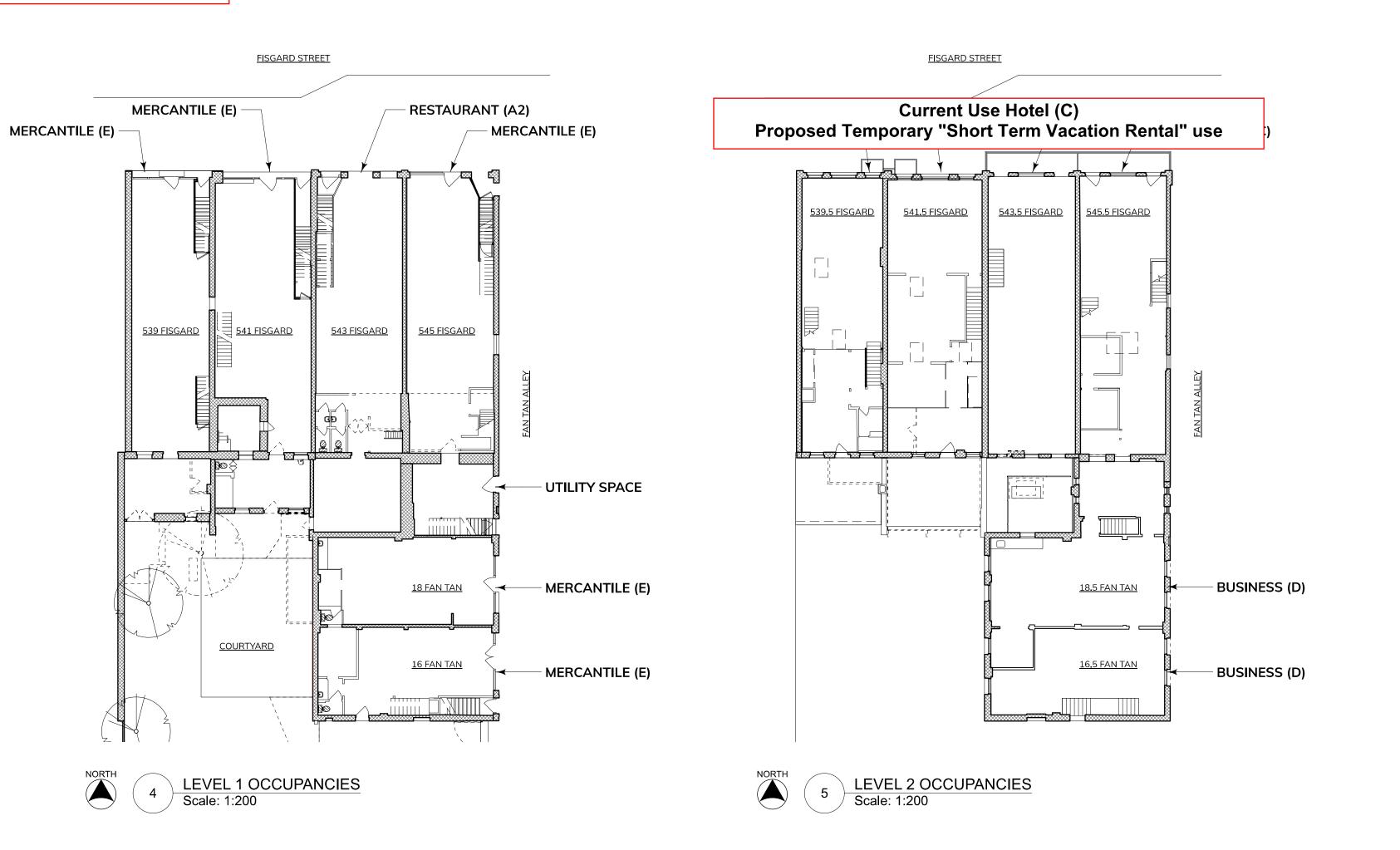
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No.	Date	Appr	Revision Notes
6	2021-3-08	-	Alteration Permit
No.	Date	Issue Not	es

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Owner:	
Owner.	
Project Title:	
Project Title:	
	5 1/2 Fisgard Street
	5 1/2 Fisgard Street
	5 1/2 Fisgard Street
539-545	5 1/2 Fisgard Street
	5 1/2 Fisgard Street
539-545	
539-545	5 <b>1/2 Fisgard Street</b> Site Plan
539-545	
539-548	Site Plan
539-548	
539-548	Site Plan
539-545 Sheet Title: Scale:	Site Plan
539-545 Sheet Title: Scale:	Site Plan
539-545 Sheet Title: Scale: n/a Architect of Record:	Site Plan
539-545 Sheet Title: Scale: n/a Architect of Record: Will King	Site Plan
539-545 Sheet Title: Scale: n/a Architect of Record: Will King Drawn by:	Site Plan
539-545 Sheet Title: Scale: n/a Architect of Record: Will King	Site Plan
539-545 Sheet Title: Scale: n/a Architect of Record: Will King Drawn by:	Site Plan
539-545 Sheet Title: Scale: n/a Architect of Record: Will King Drawn by: WK, KT, CL	Site Plan
539-548 Sheet Title: Scale: n/a Architect of Record: Will King Drawn by: WK, KT, CL Reviewed by GMV	Site Plan
539-545 Sheet Title: Scale: n/a Architect of Record: Will King Drawn by: WK, KT, CL Reviewed by	Site Plan

TEMPORARY SHORT TERM VACATION RENTAL PERMIT APPLICATION 2023 08 11



# OWNER

Fisgard Street Holdings Suite 225-209 Carral Street, Vancouver, BC

Contact: Lorne Gavinchuk Phone: 250.361.7696 lgavinchuk@thesalientgroup.com Email:

# ARCHITECT OF RECORD & CRP Waymark Architecture

1826 Government Street Victoria, BC V8T 4N5

Contact: Will King Phone: (778) 977 0660 Email: will@waymarkarchitecture.com STRUCTURAL Read Jones Christofferson ltd.

645 Tyee Rd #220, Victoria, BC V9A 6X5

Contact: Clint Plett Phone: (778) 746-1125 Email: cplett@rjc.ca

# MECHANICAL Avalon Mechanical Consultants Ltd.

1245 Esquimalt Rd #300, Victoria, BC V9A 3P2

Contact: Kevin Jackson Phone: 250 940 2976 kjackson@avalonmechanical.com Email:

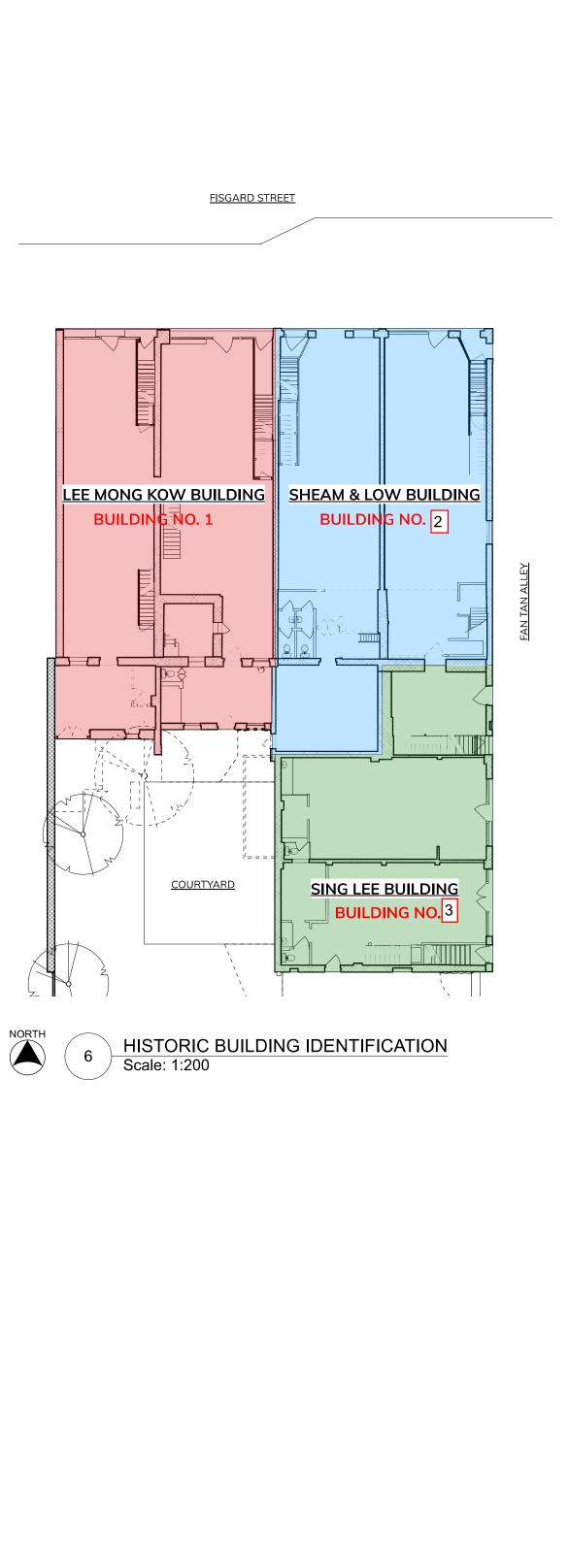
ELECTRICAL **AES Engineering** 

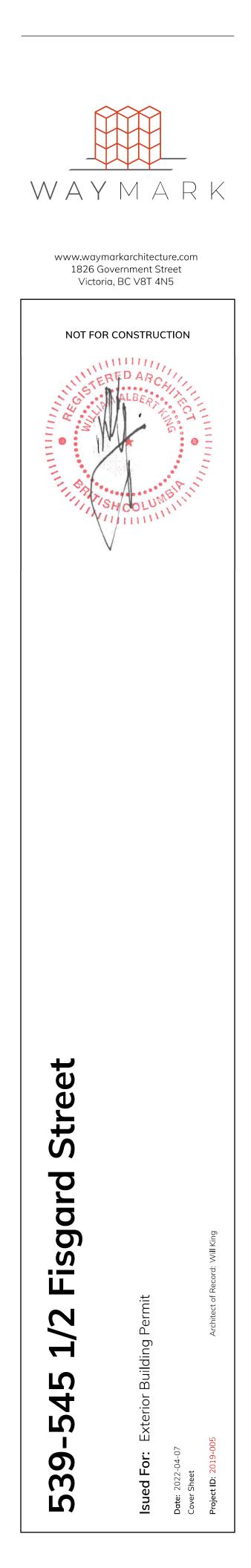
3795 Carey Rd #500, Victoria, BC V8Z 6T8

Contact: Gurp Malhi Phone: 250-940-3495 Email: Gurp.Malhi@aesengr.com CIVIL J.E. Anderson & Associates

4212 Glanford Ave.,

Contact: Ross Tuck Phone: 250 893-8770 Email: rtuck@jeanderson.com







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	No.	Date	Appr	Revision Notes
ſ				
	0 2	2022-04-07	Exterior F	Building Permit
$\left  \right $	No.	Date	Issue Not	

IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.

Seal	ALBER SHOULD BERNIN
	5 1/2 Fisgard Street
Sheet Title:	Site Plan
Scale: n/a Architect of Record: Will King Drawn by: WK, KT, CL Reviewed by GMV Project ID: 2019-005	Sheet Number: BP5-001

(BIP) Work eligible for the Building Incentive Program. To be priced separately per building.

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

> REMOVE PEELING PAINT AND CAULKINGS – FROM MASONRY PILASTERS AND REPAINT RESTORE WINDOWS AND DOORS (AS PER BP5-005) (BIP)

> > А

TOTAL AREA OF HOTEL (C) 532.15m2 (INCL STAIR)

GROUND FLOOR ENTRANCE TO LEVEL 2 HOTEL SUITES. PROPOSED TEMP "SHORT TERM VACATION RENTAL" USE

С

В

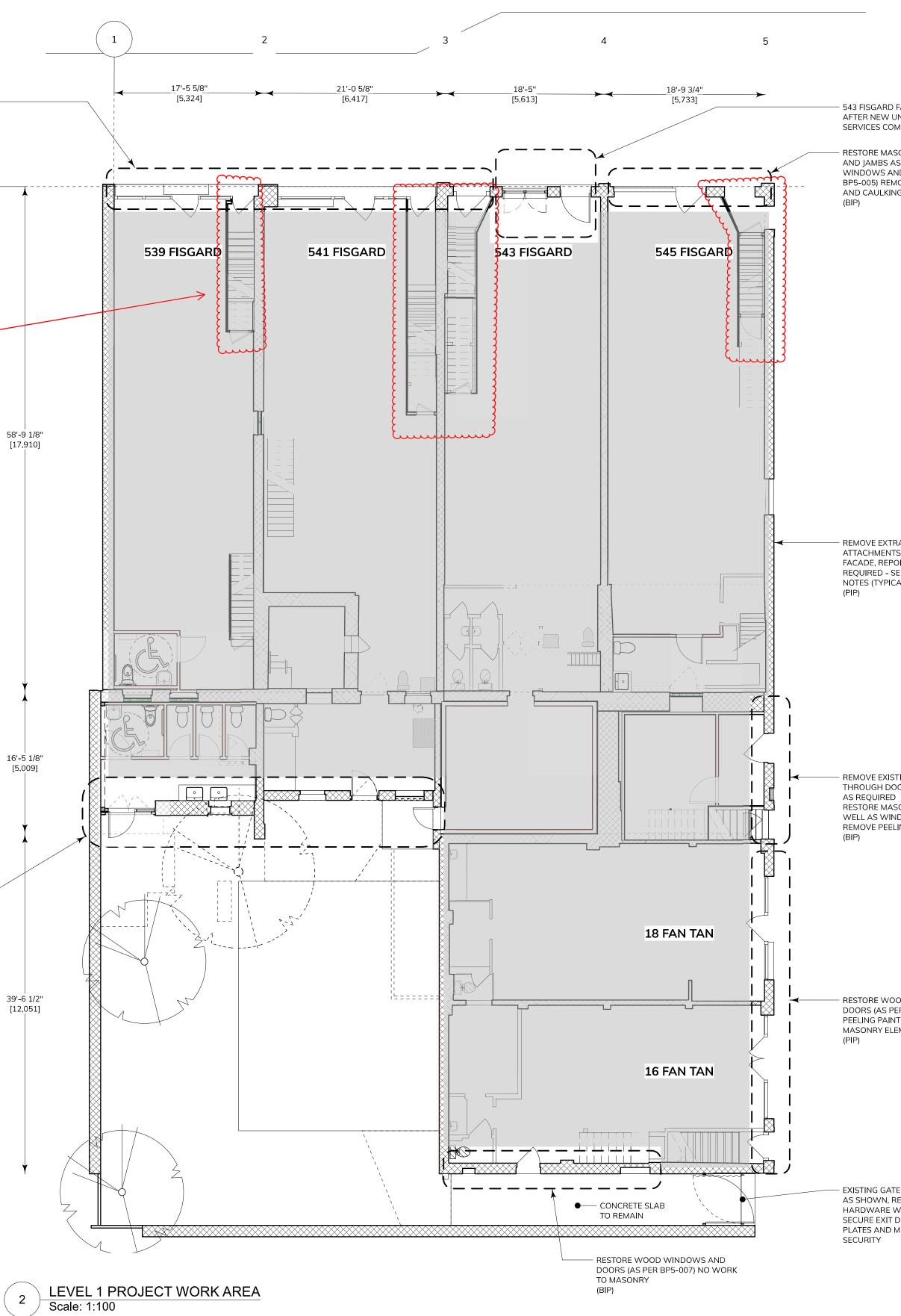
EXTERIOR DOORS REPLACED WITH NEW — WINDOWS RESTORED AS PER BP5-007. EXTERIOR MASONRY WALLS TO BE REPAIRED AS REQUIRED (SEE STRUCTURE) (BIP)

D



WAY MARK

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 — 543 FISGARD FACADE RESTORATION AFTER NEW UNDERGROUND SERVICES COMPLETED

 RESTORE MASONRY SILLS, HEADERS, AND JAMBS AS WELL AS WOOD WINDOWS AND DOORS (AS PER BP5-005) REMOVE PEELING PAINT AND CAULKINGS AND REPAINT

 REMOVE EXTRANEOUS WIRING AND ATTACHMENTS TO MASONRY FACADE, REPOINT MASONRY AS REQUIRED - SEE STRUCTURAL NOTES (TYPICAL)

- REMOVE EXISTING PENETRATIONS, PATCH OPENINGS THROUGH DOOR AND WINDOW FRAMES AND REPAIR AS REQUIRED RESTORE MASONRY SILLS, JAMBS AND HEADERS, AS

WELL AS WINDOWS AND DOORS (AS PER BP5-006) REMOVE PEELING PAINT AND CAULKINGS AND REPAINT (BIP)

 RESTORE WOOD WINDOWS AND DOORS (AS PER BP5-006) REMOVE PEELING PAINT AND CAULKINGS ON MASONRY ELEMENTS AND REPAINT

- EXISTING GATE TO BE RECONFIGURED AS SHOWN, REPLACE EXISTING HARDWARE WITH PUSHBAR FOR SECURE EXIT DOOR. ADD METAL PLATES AND MESH AS REQUIRED FOR

WAYMARK

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No.	Date	Appr	Revision Notes
0	2022-04-07	Exterior E	Building Permit
No.	Date	Issue Not	es

IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.

Sed	ERED ARCAN
Owner:	
Project Title: 539-545	5 1/2 Fisgard Street
Sheet Title:	vel 1 Overview
Scale: n/a Architect of Record: Will King Drawn by: WK, KT, CL Reviewed by GMV	Sheet Number: BP5-002
GMV Project ID: 2019-005	

(BIP) Work eligible for the Building Incentive Program. To be priced separately per building.

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

UPDATE CONNECTIONS OF EXISTING FIRE ESCAPE ----TO MASONRY - SEE STRUCTURE, REMOVE FAILING PAINT AND REPAINT ALL METAL MEMBERS (PIP / BIP)

RESTORE WOOD WINDOWS (AS PER BP5-005) — REMOVE PEELING PAINT AND CAULKINGS ON MASONRY ELEMENTS AND REPAINT (BIP)

A )

AREA PROPOSED FOR TEMPORARY "SHORT TERM RENTAL" USE

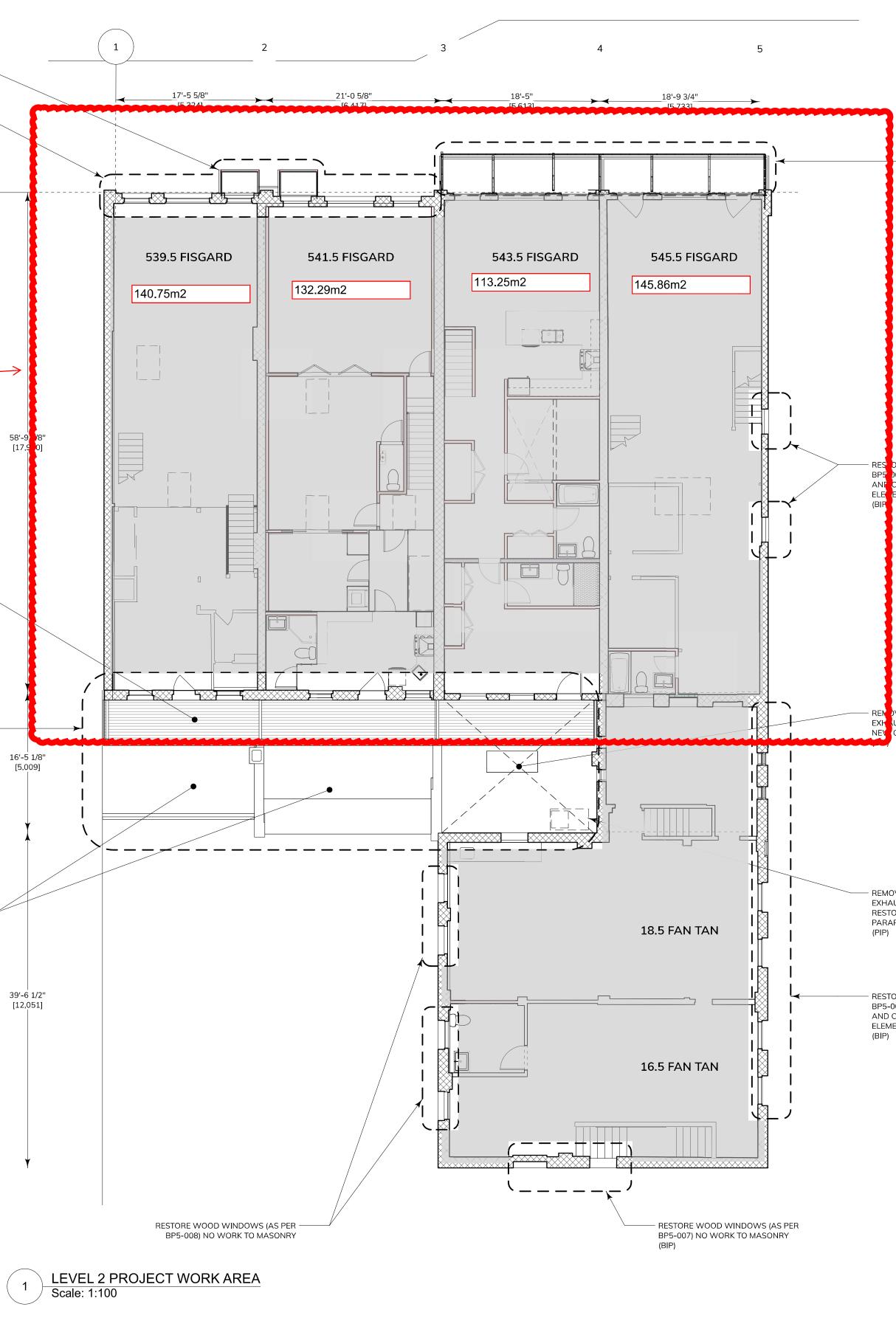
> > В

C

PATCH AND REPAIR EXISTING SBS ROOF — OVER SHED AREA BELOW (BIP)

D

# WAYMARK



# REPAIR AND RESTORE EXISTING BALCONY AS PER BP5-401 (BIP)

DRE WOOD WINDOWS (AS PER

# - RES DRE WOOD WINDOWS (AS PER BP5 006) REMOVE PEELING PAINT ANF CAULKINGS ON MASONRY ELE ENTS AND REPAINT

# - RENDVE EXISTING BALCONY AND KITCHEN EXHAUST, RE-ROOF ENTIRE AREA - REFRAME NEV OPENING TO REPLACE EXISTING SKYLIGHT

REMOVE EXISTING KITCHEN
 EXHAUST AND REPLACE AFTER
 RESTORATION OF MASONRY AND
 PARAPETS ABOVE
 (PIP)

 RESTORE WOOD WINDOWS (AS PER BP5-006) REMOVE PEELING PAINT AND CAULKINGS ON MASONRY ELEMENTS AND REPAINT (BIP) WAYMARK

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No.	Date	Appr	Revision Notes
			Building Permit
No.	Date	Issue Not	es

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Seal	SHCOLUMBIA
Owner:	
Project Title: 539-545	5 1/2 Fisgard Street
Sheet Title:	vel 2 Overview

(BIP) Work eligible for the Building Incentive Program. To be priced separately per building.

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

A

REMOVE CHIMNEY BRICKS ABOVE – TYPICAL PARAPET HEIGHT AND PROVIDE NEW CAP FLASHING AFTER SEISMIC UPGRADE TO MASONRY (PIP)

EXISTING SKYLIGHTS TO REMAIN —

REDUCE HEIGHT OF PARAPET IN – LOCATION WHERE HEIGHT EXCEEDS 1.5x PARAPET WIDTH (TYPICAL) (PIP)

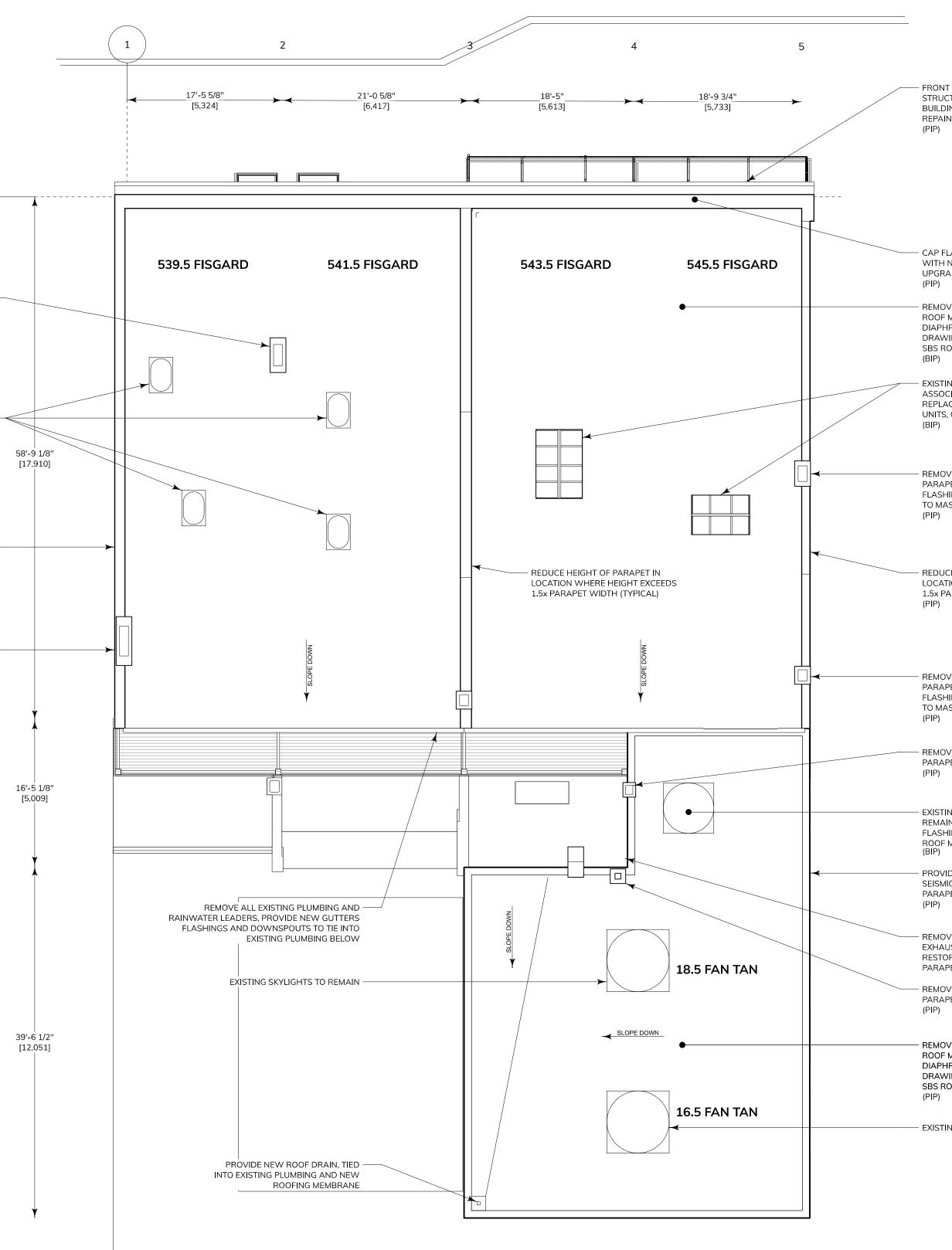
REMOVE CHIMNEY BRICKS ABOVE – PARAPET AND PROVIDE NEW CAP

FLASHING AFTER SEISMIC UPGRADE TO MASONRY PARAPET (TYPICAL) (PIP)

R

С

D





 FRONT CORNICE TO BE STRUCTURALLY SECURED TO BUILDING (SEE STRUCTURE) AND REPAINTED (PIP)

CAP FLASHING TO BE REPLACED
 WITH NEW AFTER PARAPET SESIMIC
 UPGRADE
 (PIP)

- REMOVE EXISTING AGREGATE AND ROOF MEMBRANE - ADD NEW DIAPHRAGM AS PER STRUCTURAL DRAWINGS AND APPLY NEW 2-PLY SBS ROOF MEMBRANE ABOVE (BIP)

- EXISTING SKYLIGHTS AND ASSOCIATED FLASHINGS TO BE REPLACED WITH NEW, SIMILAR UNITS, ON EXISTING CURBS (BIP)

REMOVE CHIMNEY BRICKS ABOVE
 PARAPET AND PROVIDE NEW CAP
 FLASHING AFTER SEISMIC UPGRADE
 TO MASONRY PARAPET (TYPICAL)
 (PIP)

- REDUCE HEIGHT OF PARAPET IN LOCATION WHERE HEIGHT EXCEEDS 1.5x PARAPET WIDTH (TYPICAL) (PIP)

- REMOVE CHIMNEY BRICKS ABOVE PARAPET AND PROVIDE NEW CAP FLASHING AFTER SEISMIC UPGRADE TO MASONRY PARAPET (TYPICAL) (PIP)

- REMOVE CHIMNEY BRICKS ABOVE PARAPET AND CAP WITH FLASHING (PIP)

- EXISTING SKYLIGHT COVER TO REMAIN - REPLACE AND ADD NEW FLASHING AS REQUIRED AFTER ROOF MEMBRANE REPLACEMENT (BIP)

- PROVIDE NEW CAP FLASHING AFTER SEISMIC UPGRADE TO MASONRY PARAPET (TYPICAL)

- REMOVE EXISTING KITCHEN EXHAUST AND REPLACE AFTER RESTORATION OF MASONRY AND PARAPETS ABOVE

- REMOVE CHIMNEY BRICKS ABOVE PARAPET AND CAP WITH FLASHING (PIP)

- REMOVE EXISTING AGREGATE AND ROOF MEMBRANE - ADD NEW DIAPHRAGM AS PER STRUCTURAL DRAWINGS AND APPLY NEW 2-PLY SBS ROOF MEMBRANE ABOVE (PIP)

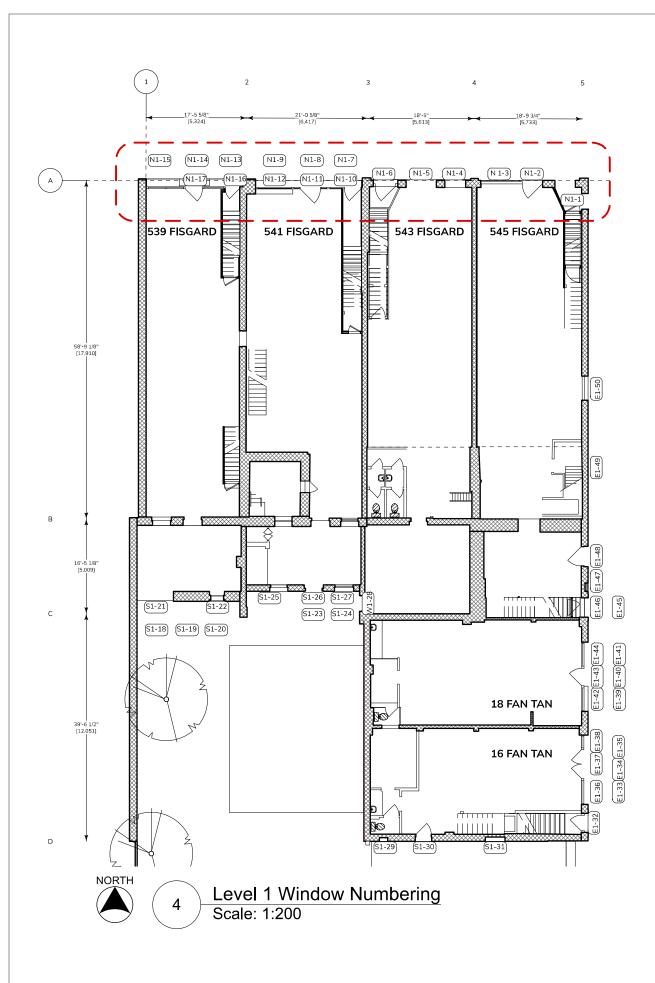
- EXISTING SKYLIGHTS TO REMAIN

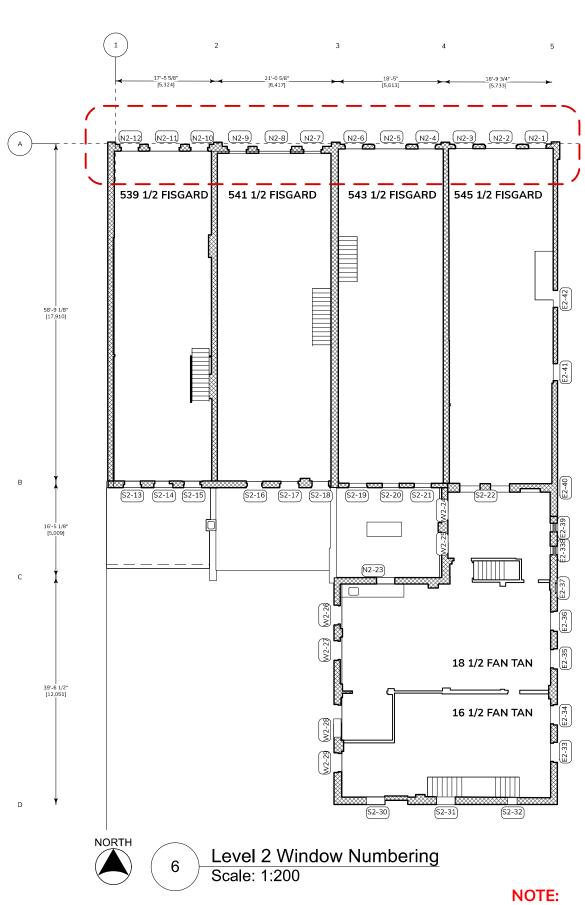


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No.	Date	Appr	Revision Notes
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No.	Date	Issue Not	es
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Derived Titler	
Project Title:	
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539-54	5 1/2 Fisgard Street
539-54	
539-54	<b>5 1/2 Fisgard Street</b> Roof Plan
539-54	
539-54	
539-54	Roof Plan
539-54! Sheet Title: Scale:	Roof Plan
539-54! Sheet Title: Scale: n/a Architect of Record:	Roof Plan
539-54! Sheet Title: Scale: n/a	Roof Plan
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539-54! Sheet Title: Scale: n/a Architect of Record: Will King	Roof Plan
539-54! Sheet Title: Scale: n/a Architect of Record: Will King Drawn by:	Roof Plan
539-54! Sheet Title: Scale: n/a Architect of Record: Will King Drawn by: WK, KT, CL	Roof Plan
539-54! Sheet Title: Scale: n/a Architect of Record: Will King Drawn by: WK, KT, CL Reviewed by GMV	Roof Plan
539-54!	Roof Plan





- All window repair, replacement and restoration is to be carried out as described in the **Conservatoin Plan** 

# **RESTORATION W-1:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is

(BIP)

- caulkings to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

### (BIP) **RESTORATION D-1:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

(BIP)

- hardware to be removed, cleaned and retored to original condition and re-applied
- hinges to be cleaned, greased and restored to original condition

# **RESTORATION W-2:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted
- window operation to be restored
- locks and handles to be removed, cleaned and re-applied
- replace missing and incongruent locks and handles to match orginal hardware package

# **RESTORATION W-3**

- frames to be restored on site
- sashes to be removed and restored offsite
- existing glass and glazing putty to be restored where possible, otherwise replaced with similar
- existing hardware to be removed, cleaned and re-applied
- pullies, roped weights and other operational hardware to be restored
- window to be made operational

- **REPLACEMENT W-X1:** (BIP)
  - existing frames and glazing to be removed

  - provide clear, single fixed lower lite (with no muntin)

  - provide new brickmoulds simialr to original

# **REPLACEMENT W-X2**

- restore existing frames in place
- strip all remaining paint
- fill wood where required

- prime & paint sashes and frames

### (BIP) **REPLACEMENT D-X1:**

- provide new wood frame to match adjacent door N1-6
- provide new wood door to match adjacent N1-6

# **REPLACEMENT D-X2:**

- restore existing frame in place
- provide new wood door to match adjacent N1-6

WAY MARK

(BIP) Work eligible for the Building Incentive Program. To be priced separately per building.

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

- rough openings restored to original size and substrate - provide new wood frame to match adjacent door N1-6 - provide upper lite with central muntin to match adjacent door N1-6 - provide pullies, weights, ropes etc, as required, to ensure simnilar functionality to orginal

- remove all existing hardware and restore for use on replacement sashes - replace orginal ropes, pullies and other equipment need to restore full functionality

- sashes to be replaced with new, similar sashes with similar glazing, muntins and putty - provide replacement hardware to suit where original is missing

- rough openings restored to original size and substrate - in orginal location at building face

- provide upper lite with central muntin to match adjacent door N1-6

- provide new hinges, door hardware & locks, mailslot and door numbers to match N1-6

- provide upper sash and lite with central muntin to match adjacent original doors - provide new hinges, door hardware & locks, mailslot etc to match adjacent original doors





North Elevation (Facing Fisgard St) Scale: 1:100

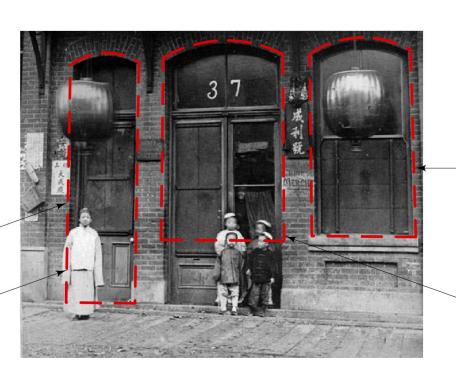
Unit number	Action	(BIP)	
N1-1	NO ACTION		
N1-2	NO ACTION		
N1-3	NO ACTION		
N1-4	REPLACEMENT D-X2		
N1-5	REPLACEMENT W-X1		
N1-6	<b>RESTORATION W-1</b>		
N1-7	NO ACTION		
N1-8	NO ACTION		
N1-9	NO ACTION		REPLACE BROKEN GLASS PANE
N1-10	NO ACTION		
N1-11	NO ACTION		
N1-12	<b>RESTORATION W-1</b>		REPLACE LOWER PANEL WITH NEW OPENIN
N1-13	NO ACTION		
N1-14	NO ACTION		
N1-15	NO ACTION		REPLACE BROKEN GLASS
N1-16	REPLACEMENT D-X1		
N1-17	<b>RESTORATION D-1</b>		
N2-1	NO ACTION		
N2-2	NO ACTION		
N2-3	NO ACTION		
N2-4	NO ACTION		
N2-5	NO ACTION		
N2-6	NO ACTION		
N2-7	<b>RESTORATION W-2</b>		PROVIDE NEW LOCK AND HANDLES TO MAT
N2-8	<b>RESTORATION W-2</b>		
N2-9	<b>RESTORATION W-2</b>		PROVIDE NEW LOCK AND HANDLES TO MAT
N2-10	<b>RESTORATION W-2</b>		
N2-11	<b>RESTORATION W-2</b>		
N2-12	<b>RESTORATION W-2</b>		

PROVIDE NEW FRAME, TRANSOM WINDOW SASH AND DOOR, SIMILAR TO THOSE SHOWN HERE

(BIP)

N1-4: —

N1-6 RESTORE EXISTING DOOR TO ITS **ORIGINAL CONDITION - SIMILAR TO** THE ONE SHOWN HERE (THIS DOOR IS THE ORIGINAL DOOR IN THE LOCATION NOW LABELED N1-1) (BIP)



Notes
NG PANEL TO MATCH DESIGN DETAILING OF DOORS
TCH ORIGINAL HARDWARE PACKAGE
TCH ORIGINAL HARDWARE PACKAGE

PROVIDE NEW FRAME AND WINDOW SASHES SIMILAR TO THOSE SHOWN HERE (SHUTTERS NOT REQUIRED) (BIP)

· N1-5 ROUGH OPENING AND WINDOW SIZE SIMILAR TO DOOR OPENING SHOWN HERE (BIP)

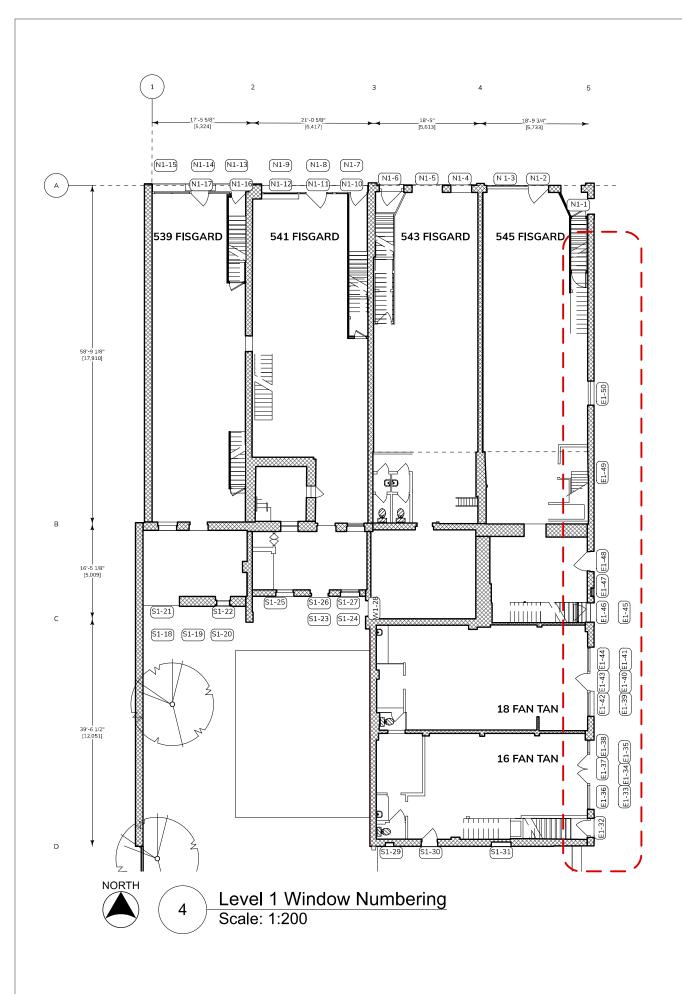
WAYMARK

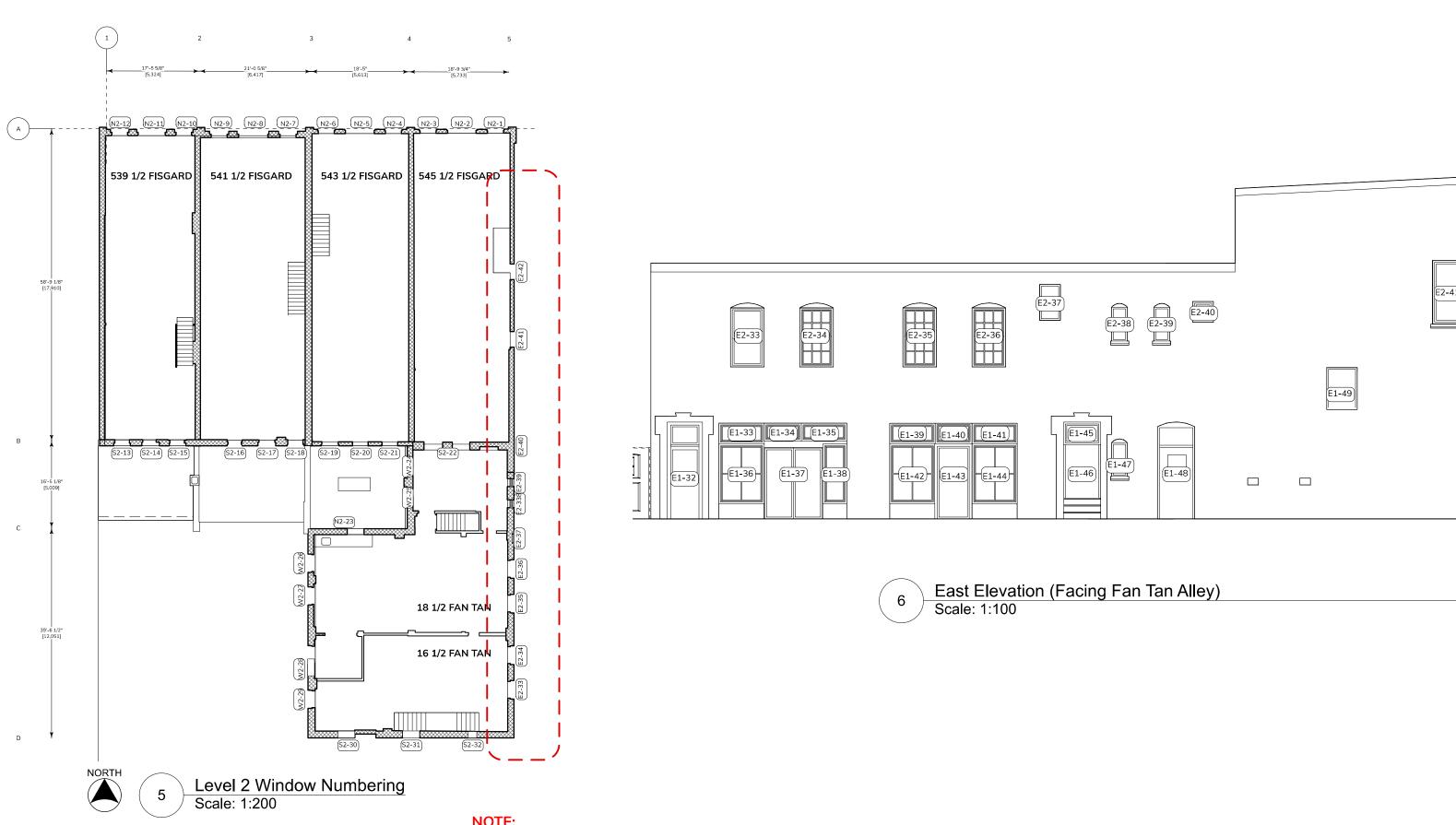
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No.	Date	Appr	Revision Notes
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0	2022-04-07	Exterior E	Building Permit
O : No.	2022-04-07 Date	Exterior E Issue Not	
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North Windows and Doors eet Numbe n/a chitect of Record: Wi**ll** King awn by: **BP5-005** WK, KT, CL eviewed by GMV oject **I**D:

2019-005





# **RESTORATION W-1:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new

(BIP)

- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

### (BIP) **RESTORATION D-1:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

(BIP)

- hardware to be removed, cleaned and retored to original condition and re-applied
- hinges to be cleaned, greased and restored to original condition

# **RESTORATION W-2:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted
- window operation to be restored
- locks and handles to be removed, cleaned and re-applied
- replace missing and incongruent locks and handles to match orginal hardware package

# **RESTORATION W-3**

- frames to be restored on site
- sashes to be removed and restored offsite
- existing glass and glazing putty to be restored where possible, otherwise replaced with similar
- existing hardware to be removed, cleaned and re-applied
- pullies, roped weights and other operational hardware to be restored
- window to be made operational

**REPLACEMENT W-X1:** (BIP)

- existing frames and glazing to be removed
- rough openings restored to original size and substrate
- provide clear, single fixed lower lite (with no muntin)
- provide new brickmoulds simialr to original

# (BIP) **REPLACEMENT W-X2**

- restore existing frames in place
- strip all remaining paint
- fill wood where required

- prime & paint sashes and frames

### (BIP) **REPLACEMENT D-X1:**

- provide new wood frame to match adjacent door N1-6
- provide upper lite with central muntin to match adjacent door N1-6
- provide new wood door to match adjacent N1-6
- **REPLACEMENT D-X2:** 
  - restore existing frame in place
  - provide new wood door to match adjacent N1-6

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# NOTE:

(BIP) Work eligible for the Building Incentive Program. To be priced separately per building.

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

- provide new wood frame to match adjacent door N1-6 - provide upper lite with central muntin to match adjacent door N1-6

- provide pullies, weights, ropes etc, as required, to ensure simnilar functionality to orginal

- remove all existing hardware and restore for use on replacement sashes - replace orginal ropes, pullies and other equipment need to restore full functionality

- sashes to be replaced with new, similar sashes with similar glazing, muntins and putty - provide replacement hardware to suit where original is missing

- rough openings restored to original size and substrate - in orginal location at building face

- provide new hinges, door hardware & locks, mailslot and door numbers to match N1-6

- provide upper sash and lite with central muntin to match adjacent original doors - provide new hinges, door hardware & locks, mailslot etc to match adjacent original doors

Unit number	Action	(BIP)	
E1-32	NO ACTION		
E1-33	NO ACTION		
E1-34	NO ACTION		
E1-35	NO ACTION		
E1-36	NO ACTION		
E1-37	NO ACTION		
E1-38	NO ACTION		
E1-39	NO ACTION		
E1-40	NO ACTION		
E1-41	NO ACTION		
E1-42	NO ACTION		
E1-43	NO ACTION		
E1-44	NO ACTION		
E1-45	NO ACTION		
E1-46	NO ACTION		
E1-47	NO ACTION		REMOVE PLYWOOD AND REPLACE GLAS
E1-48	<b>RESTORATION D-1</b>		
E1-49	NO ACTION		
E1-50	NO ACTION		
E2-33	<b>RESTORATION W-2</b>		
E2-34	<b>RESTORATION W-2</b>		
E2-35	<b>RESTORATION W-2</b>		
E2-36	<b>RESTORATION W-2</b>		
E2-37	<b>RESTORATION W-1</b>		
E2-38	<b>RESTORATION W-1</b>		
E2-39	<b>RESTORATION W-1</b>		
E2-40	<b>RESTORATION W-1</b>		
E2-41	<b>RESTORATION W-2</b>		PROVIDE NEW LOCK, HANDLES AND SAS
E2-42	<b>RESTORATION W-2</b>		PROVIDE NEW LOCK, HANDLES AND SAS

	E2-42		
E1-50			

Notes
SS WITH LAMINATED PANE
ASH LIMITER TO MATCH ORIGINAL HARDWARE PACKAGE
ASH LIMITER TO MATCH ORIGINAL HARDWARE PACKAGE

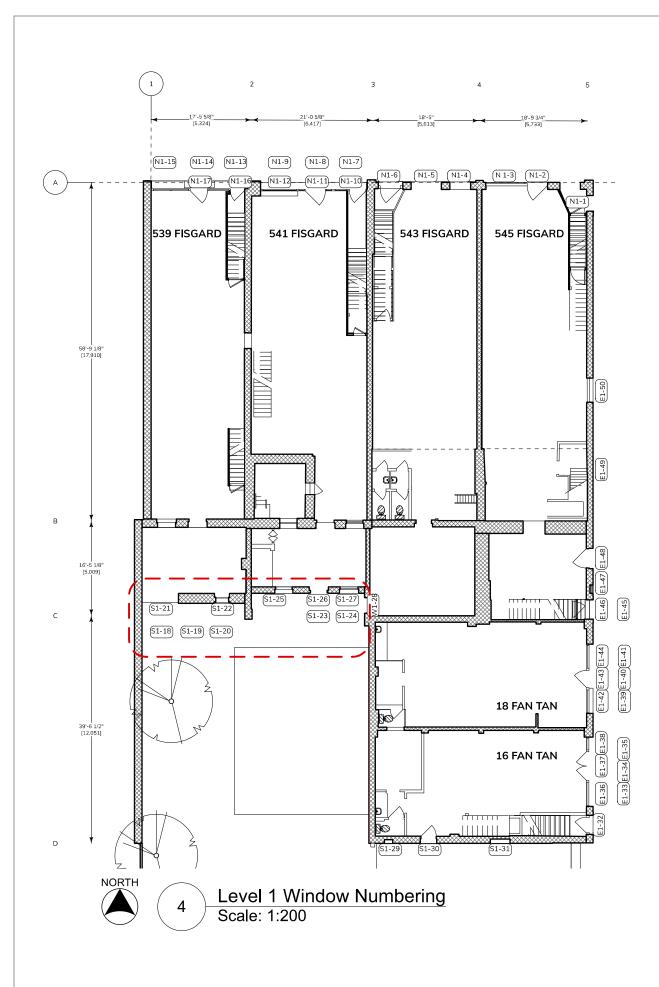


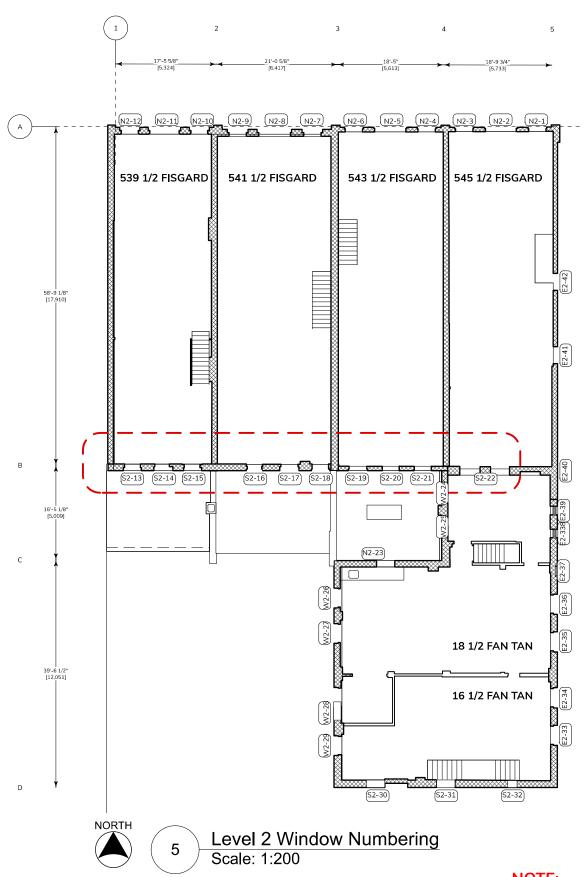
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No.	Date	Appr	Revision Notes
0 2	2022-04-07	Exterior E	Building Permit
No.	Date	Issue Not	

IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.

Seal			
Owner:			
Project Title:			
539-545 1/2 Fisgard Street			
Sheet Title:			
East W	indows and Doors		
Scale:	Sheet Number:		
Scale: n/a	Sheet Number:		
	Sheet Number:		
	Sheet Number:		
n/a	Sheet Number:		
n/a Architect of Record:			
n/a Architect of Record: Wi <b>ll</b> King	Sheet Number: BP5-006		
n/a Architect of Record: Will King Drawn by:			
n/a Architect of Record: Will King Drawn by: WK, KT, CL			
n/a Architect of Record: Will King Drawn by: WK, KT, CL Reviewed by			





# **RESTORATION W-1:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new

(BIP)

- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

### (BIP) **RESTORATION D-1:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

(BIP)

- hardware to be removed, cleaned and retored to original condition and re-applied
- hinges to be cleaned, greased and restored to original condition

# **RESTORATION W-2:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted
- window operation to be restored
- locks and handles to be removed, cleaned and re-applied
- replace missing and incongruent locks and handles to match orginal hardware package

# **RESTORATION W-3**

- frames to be restored on site
- sashes to be removed and restored offsite
- existing glass and glazing putty to be restored where possible, otherwise replaced with similar
- existing hardware to be removed, cleaned and re-applied - pullies, roped weights and other operational hardware to be restored
- window to be made operational

- **REPLACEMENT W-X1:** (BIP)
  - existing frames and glazing to be removed
  - rough openings restored to original size and substrate

  - provide new brickmoulds simialr to original

# (BIP) **REPLACEMENT W-X2**

- restore existing frames in place

- strip all remaining paint
- fill wood where required

- prime & paint sashes and frames

### (BIP) **REPLACEMENT D-X1:**

- provide new wood frame to match adjacent door N1-6
- provide new wood door to match adjacent N1-6

# **REPLACEMENT D-X2:**

- restore existing frame in place

WAYMARK

# NOTE:

(BIP) Work eligible for the Building Incentive Program. To be priced separately per building.

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

- provide new wood frame to match adjacent door N1-6 - provide upper lite with central muntin to match adjacent door N1-6 - provide clear, single fixed lower lite (with no muntin) - provide pullies, weights, ropes etc, as required, to ensure simnilar functionality to orginal

- remove all existing hardware and restore for use on replacement sashes - replace orginal ropes, pullies and other equipment need to restore full functionality

- sashes to be replaced with new, similar sashes with similar glazing, muntins and putty - provide replacement hardware to suit where original is missing

- rough openings restored to original size and substrate - in orginal location at building face

- provide upper lite with central muntin to match adjacent door N1-6

- provide new hinges, door hardware & locks, mailslot and door numbers to match N1-6

- provide upper sash and lite with central muntin to match adjacent original doors - provide new wood door to match adjacent N1-6 - provide new hinges, door hardware & locks, mailslot etc to match adjacent original doors





Scale: 1:100

South Elevation (Facing Courtyard)

Unit number	Action	(BIP)	No
S1-18	<b>RESTORATION W-3</b>		
S1-19	<b>RESTORATION W-3</b>		
S1-20	<b>RESTORATION W-3</b>		
S1-21	REPLACEMENT D-X1		
S1-22	REPLACEMENT W-X1		
S1-23	<b>RESTORATION W-1</b>		
S1-24	<b>RESTORATION W-1</b>		
S1-25	<b>RESTORATION W-2</b>		
S1-26	<b>RESTORATION D-1</b>		
S1-27	<b>REPLACEMENT WX-1</b>		
S2-13	REPLACEMENT W-X2		
S2-14	REPLACEMENT D-X2		
S2-15	REPLACEMENT W-X2		
S2-16	REPLACEMENT W-X2		
S2-17	REPLACEMENT D-X2		ADD NEW SILL AND BRICKMOULD
S2-18	REPLACEMENT W-X2		
S2-19	REPLACEMENT W-X1		
S2-20	REPLACEMENT W-X2		
S2-21	REPLACEMENT D-X2		NEW DOOR, SILL AND BRICKMOULD
S2-22	NO ACTION		

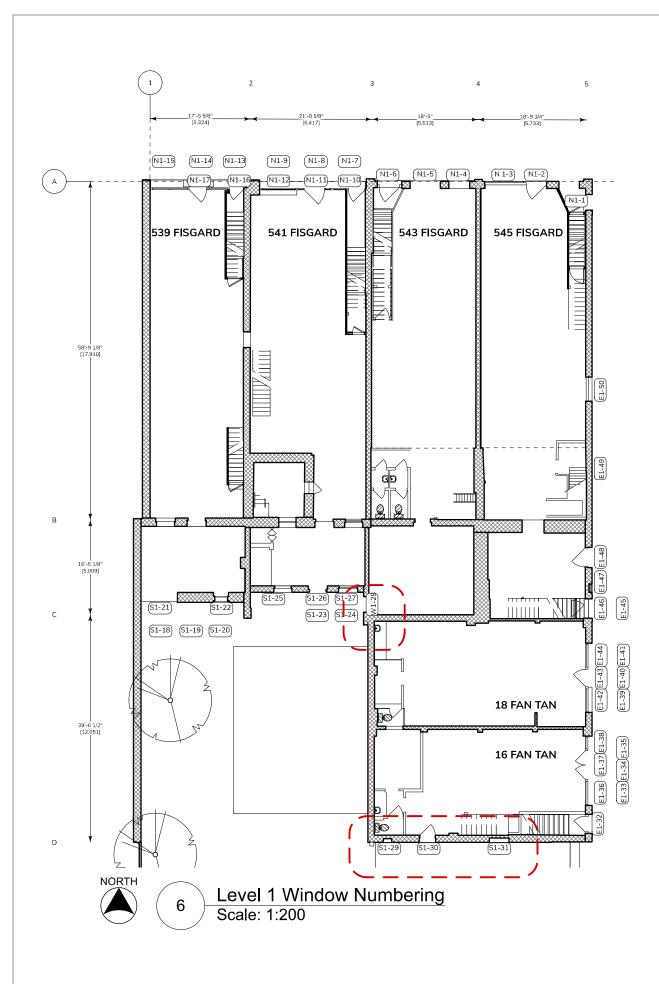
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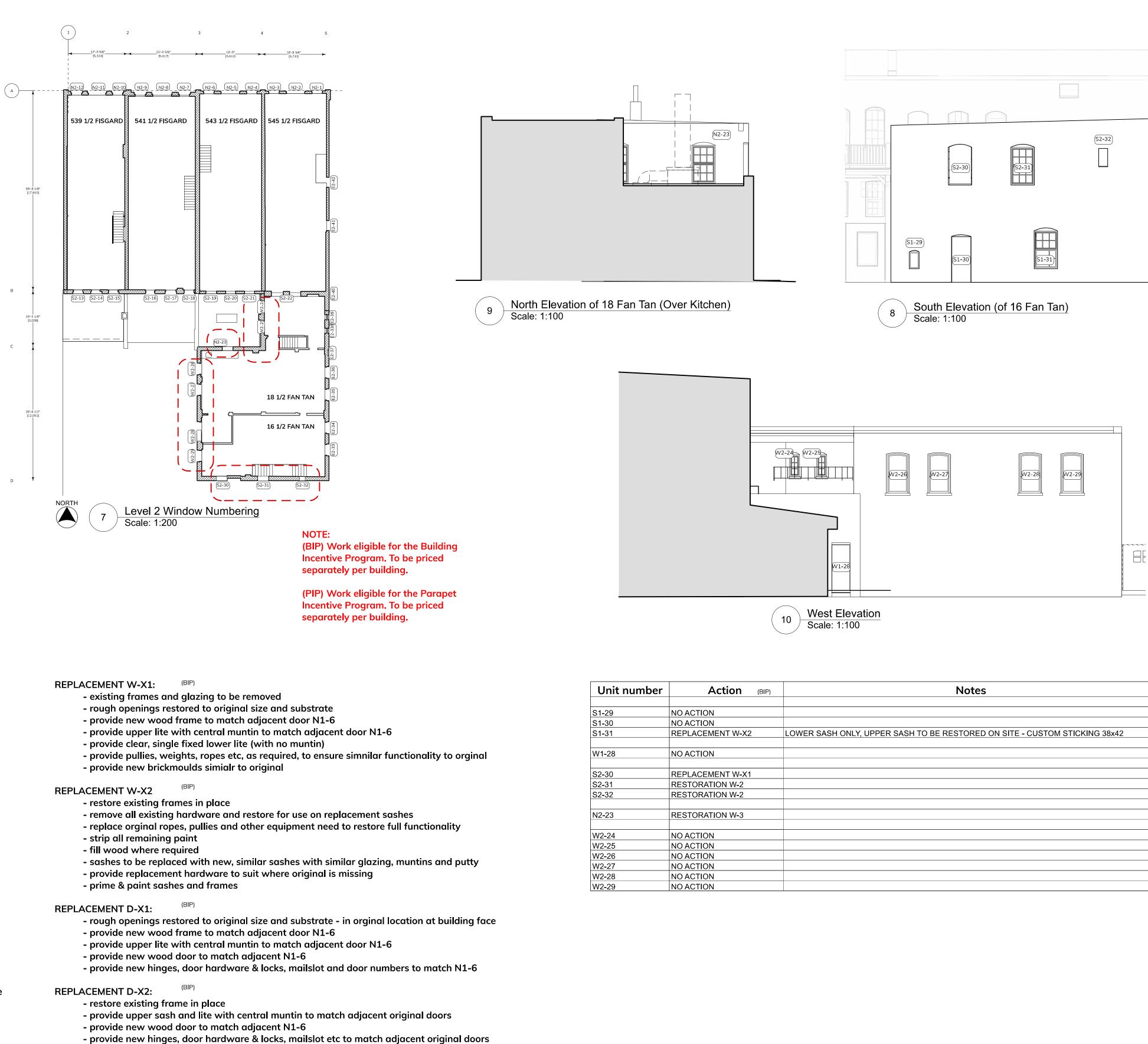
WAYMARK

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No.	Date	Appr	Revision Notes
0 2	2022-04-07	Exterior E	Building Permit
No.	Date	Issue Not	es
IMPOF until is	RTANT: This dro ssued for that p	awing is not t urpose by the	o be used for construction Architect.

	Seal	
	Owner:	
	Project Title:	
	539-545	5 1/2 Fisgard Street
	Sheet Title:	
	South V	Vindows and Doors
	Scale:	Sheet Number:
	n/a	
	Architect of Record:	
	Will King	
	Drawn by:	BP5-007
ļ	WK, KT, CL	
	Reviewed by	
	Reviewed by GMV	





# **RESTORATION W-1:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new

(BIP)

- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

### (BIP) **RESTORATION D-1:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

(BIP)

- hardware to be removed, cleaned and retored to original condition and re-applied
- hinges to be cleaned, greased and restored to original condition

# **RESTORATION W-2:**

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulkings to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted
- window operation to be restored
- locks and handles to be removed, cleaned and re-applied
- replace missing and incongruent locks and handles to match orginal hardware package

# **RESTORATION W-3**

- frames to be restored on site
- sashes to be removed and restored offsite
- existing glass and glazing putty to be restored where possible, otherwise replaced with similar
- existing hardware to be removed, cleaned and re-applied
- pullies, roped weights and other operational hardware to be restored
- window to be made operational

WAYMARK

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[S2-30]	S2-31	S2-32	
S1-30	S1-31)		

Notes
E RESTORED ON SITE - CUSTOM STICKING 38x42

WAY	$\mathbb{M}$	A	R	K

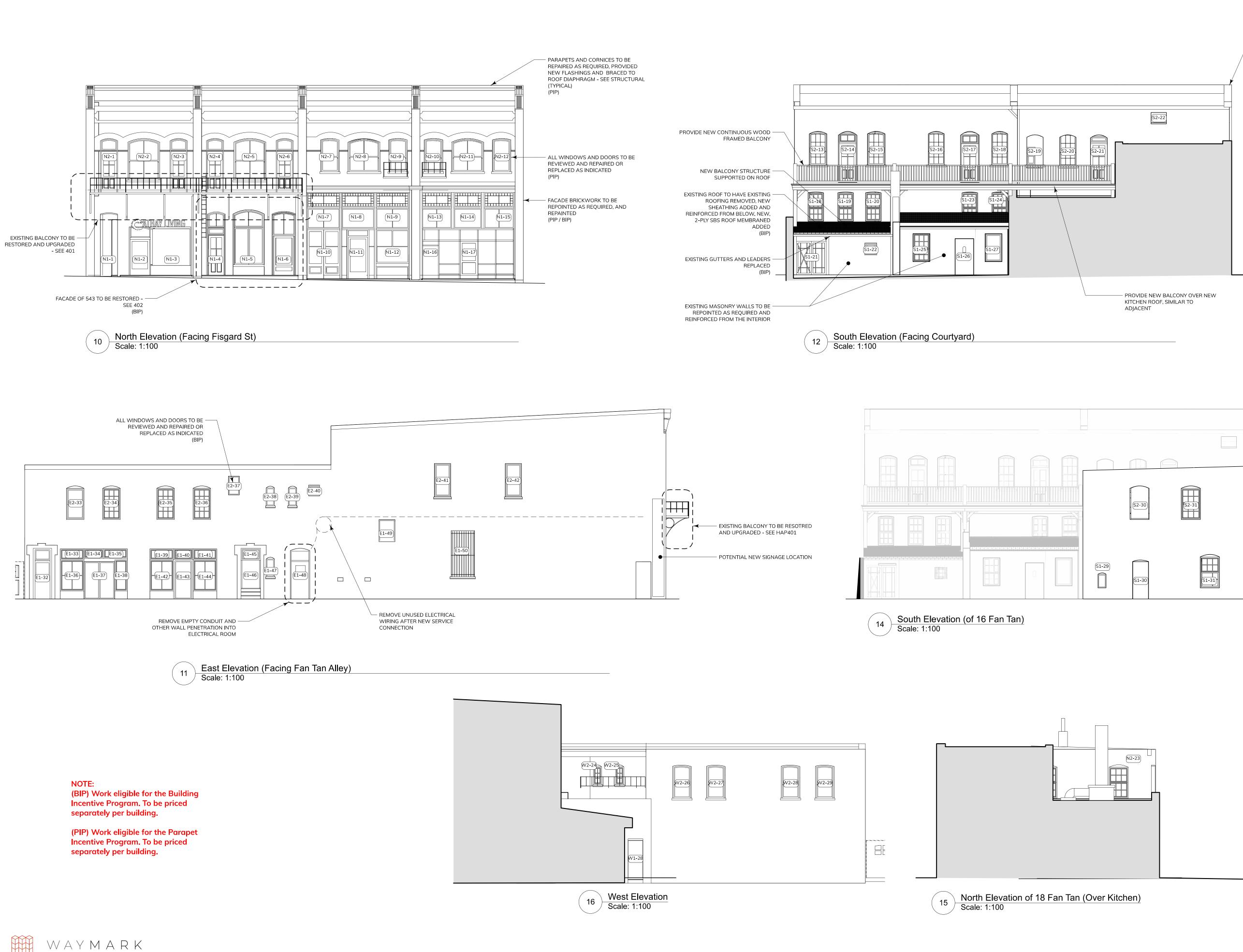
www.waymarkarchitecture.com 1826 Government Street Victoria, BC V8T 4N5

	Daita	<b>A</b>	
No.	Date	Appr	Revision Notes
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No.	Date	Issue Not	es
	RTANT: This dro	awing is not t	o be used for construction
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the W			nion before proceeding with
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roject Title: 539-545 1/2 Fisgard Street heet Title: West Windows and Doors

Scale:	Sheet Num
n/a	
Architect of Record:	
Wi <b>ll</b> King	
Drawn by:	
WK, KT, CL	
Reviewed by	
GMV	
Project ID:	
2019-005	

**BP5-008** 



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 PARAPETS AND CORNICES TO BE REPAIRED AS REQUIRED, PROVIDED NEW FLASHINGS AND BRACED TO ROOF DIAPHRAGM - SEE STRUCTURAL (TYPICAL) (PIP)

		(S2-32)	
S2-30	52-31		
S1-30	S1-31		



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No.	Date	Appr	Revision Notes
0	2022-04-07	Exterior E	Building Permit
No.	Date	Issue Not	
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BP5-201

rawn by:

WK, KT, CL eviewed by GMV oject **I**D:

2019-005



 EXISTING PARGING ON OTHER REAR AREAS 16-18 FAN TAN TO BE PAINTED TO MATCH (BIP) 4 — MATCH EXTENT OF EXISTING PAINTED PARGING OVER UPPER BRICK COURSES 1 ------(BIP) 4 \_\_\_\_\_ NATURAL BRICK TO — REMAIN UNPAINTED \ └─ 7 ∖ \\_ 7 L \_ 7 \ └── 6

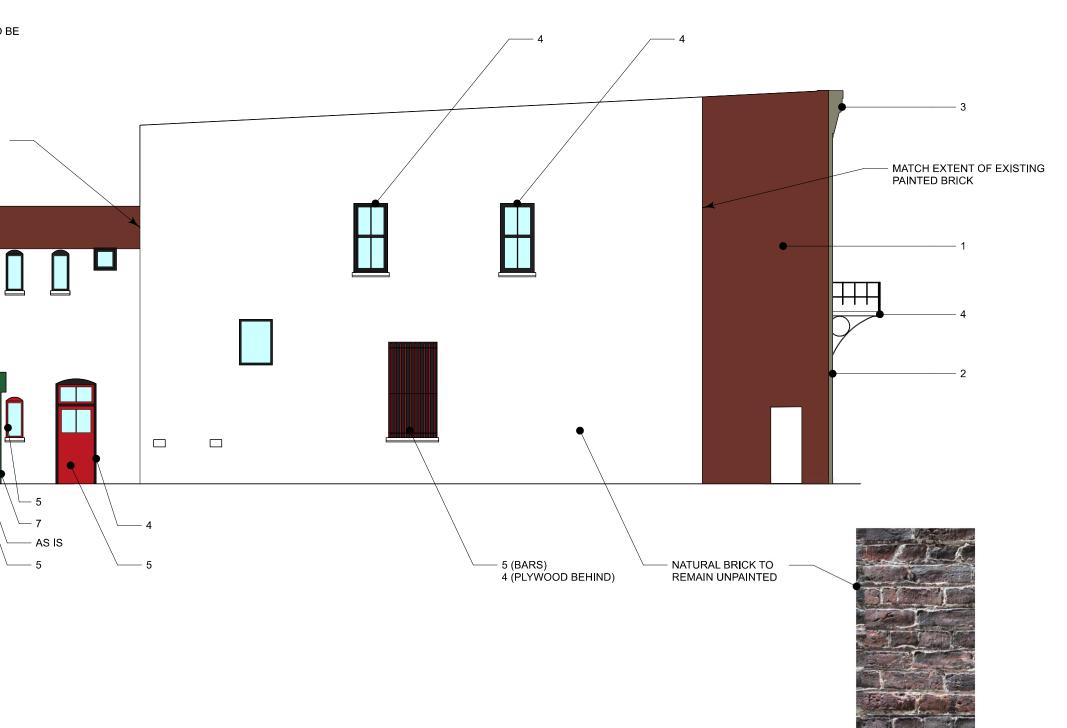
# NOTE:

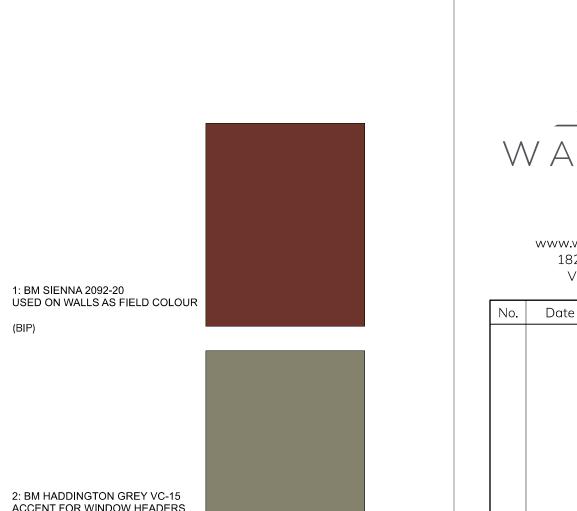
(BIP) Work eligible for the Building Incentive Program. To be priced separately per building.

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

# WAY MARK

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2: BM HADDINGTON GREY VC-15 ACCENT FOR WINDOW HEADERS AND SILLS, PILLASTERS AND MARQUEE AREAS \*\*SATIN FINISH (BIP)

(BIP)

3: BM HADDINGTON GREY VC-15 CORNICES •• GLOSS FINISH (BIP)

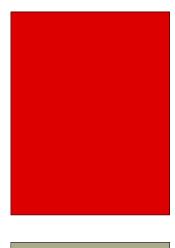
4: BM GLOSS BLACK VC-35 WINDOW SASHES AND FRAMES, STOREFRONTS AND ALL METAL (DECKS RAILS ETC) \*\*GLOSS FINISH (BIP)

5: RED DOOR AND FRAME FOR 545.5 ALL WOOD DECK MATERIALS (SOFFIT, DECK AND WOOD FRAMING) (BIP)

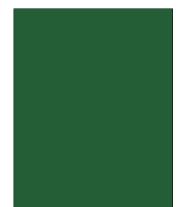
6: BM COMOX SAGE VC-16 CORNICES •• SATIN FINISH (BIP)

7: BM CATS EYE 2036-10 FAN TAN ALLEY DOOR TRIM •• SATIN FINISH (BIP)









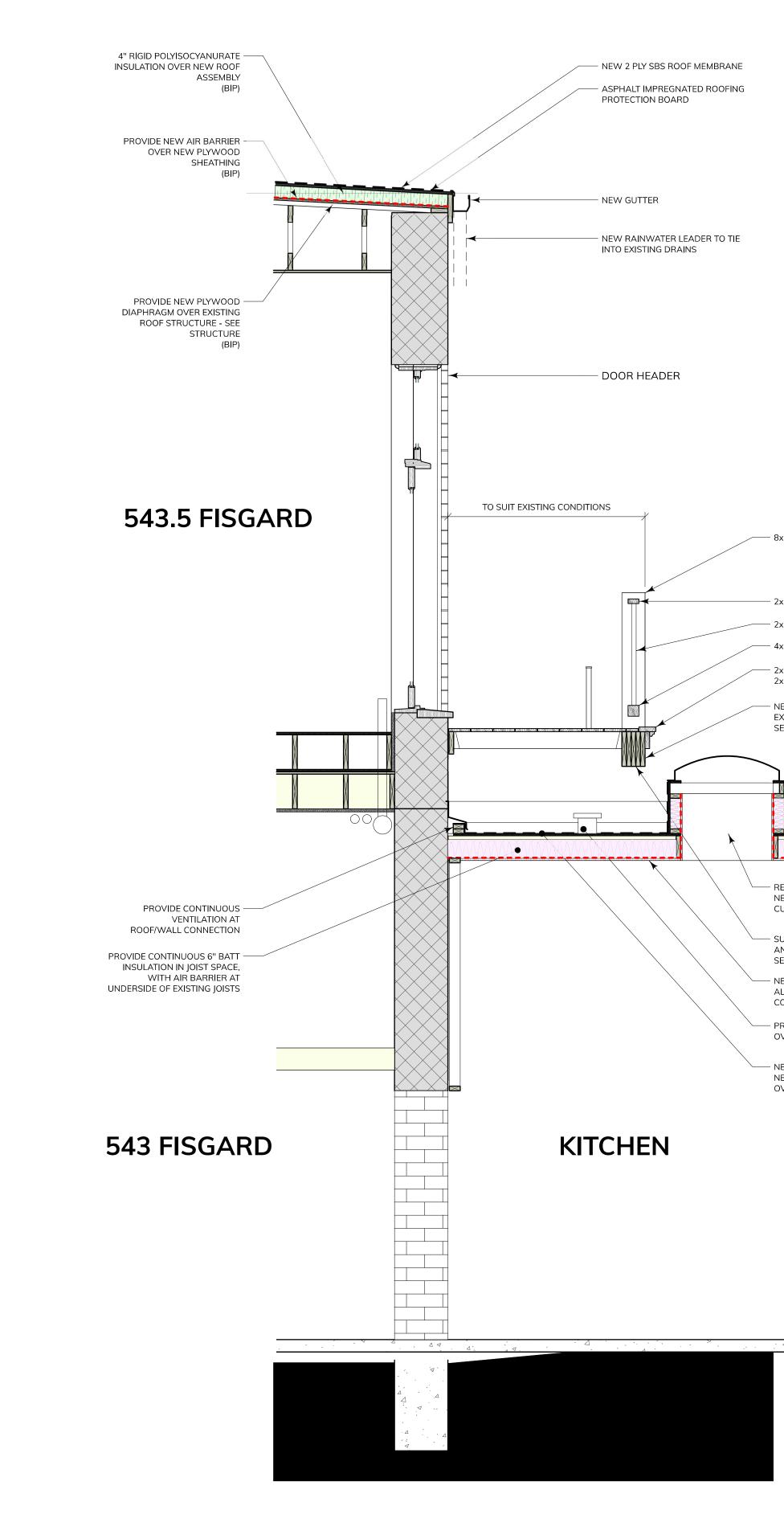


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No.	Date	Appr	Revision Notes
0	2022-04-07	Exterior E	Building Permit
No.	Date	Issue Not	

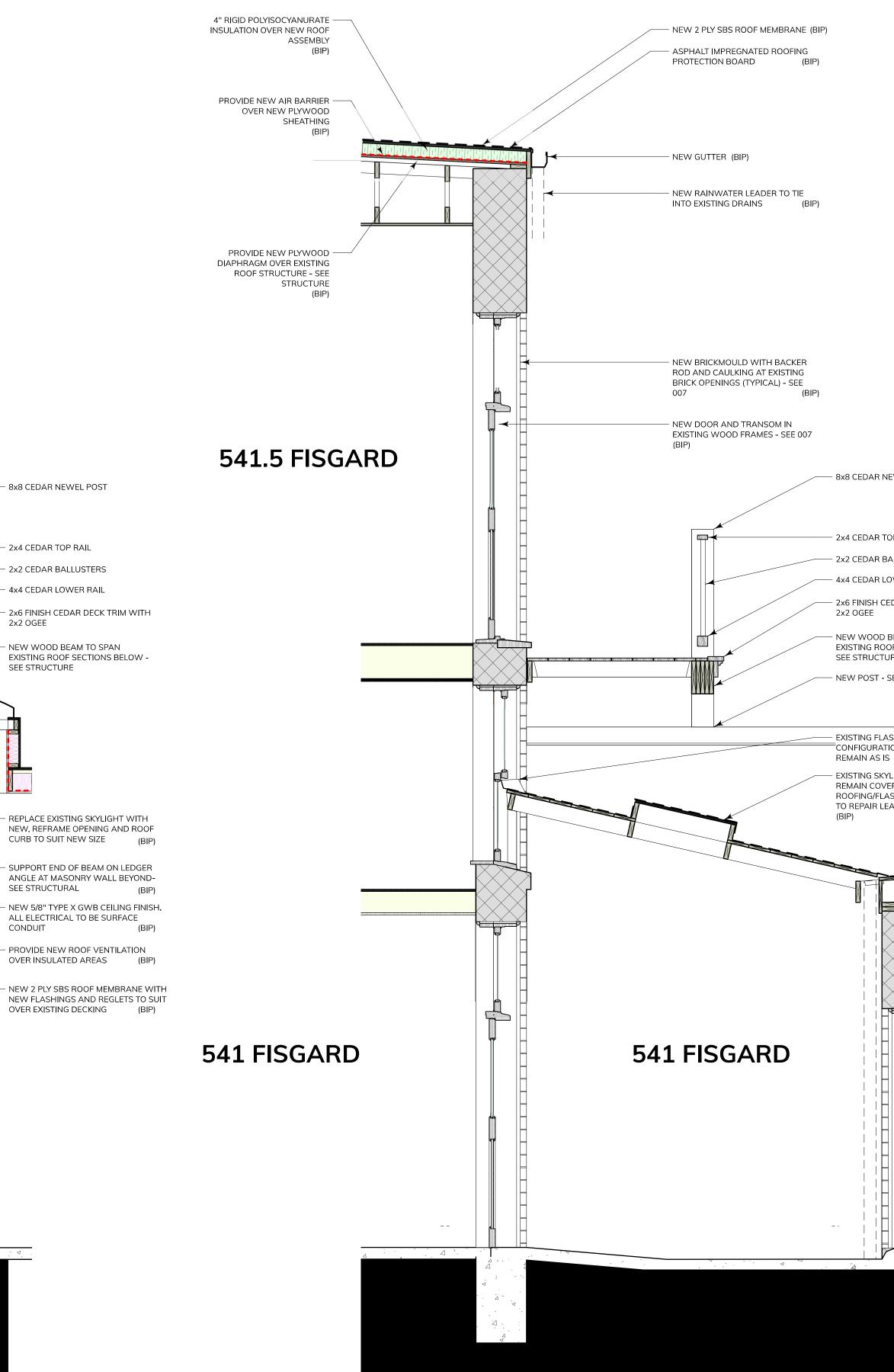
IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.

Seal					
Owner:					
Project Title:					
	5 1/2 Eigaard Street				
559-545	5 1/2 Fisgard Street				
Sheet Title:					
Elev	Elevations - Colour				
Scale:	Sheet Number:				
n/a					
Architect of Record:					
Will King					
Drawn by:	BP5-202				
WK, KT, CL					
Reviewed by GMV					
Project ID:					
2019-005					



WAYMARK

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			V A `	Y [\/	AR
			1826		hitecture.com ent Street /8T 4N5
		No.	Date	Appr	Revision Note
AR NEWEL POST					
AR TOP RAIL					
AR BALLUSTERS AR LOWER RAIL					
SH CEDAR DECK TRIM WITH E					
DOD BEAM TO SPAN 6 ROOF SECTIONS BELOW - JCTURE					
ST - SEE STRUCTURAL					
		O No.		7 Exterior Issue No	Building Permit
FLASHINGS AND ROOFING JRATION AT WINDOW TO AS IS		IMPO until i	RTANT: This dr	rawing is not purpose by th	to be used for cons le Architect.
G SKYLIGHT OPENING TO COVERED AS-IS, APPLY NEW G/FLASHINGS AS REQUIRED IR LEAKS	EXISTING ROOFING TO REMAIN - REPAIR AS REQUIRED WHERE LEAKS	and v descr	erify drawing di epancies betwe	imensions, dat een informatio	k, the Contractor shal ums, and levels to ide on on this drawing ) the remaining (
	OCCUR (BIP)	Docur	ments. The Co tion of the Archt	ntractor shal	l bring these items ation before proceed
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	EXISTING ROOF STRUCTURE TO REMAIN				
	RESTORE MASONRY WALL				
	(PIP)				
	007) REMOVE PEELING PAINT AND CAULKINGS ON MASONRY ELEMENTS AND REPAINT (BIP)	Owner	:		
		Project	Title:		
		5	539-545	5 1/2 Fi	sgard Stre
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				Sectio	ons
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			ect of Record: Will King		
			WK, KT, CL	В	P5-301
		Project	GMV		
			019-005		

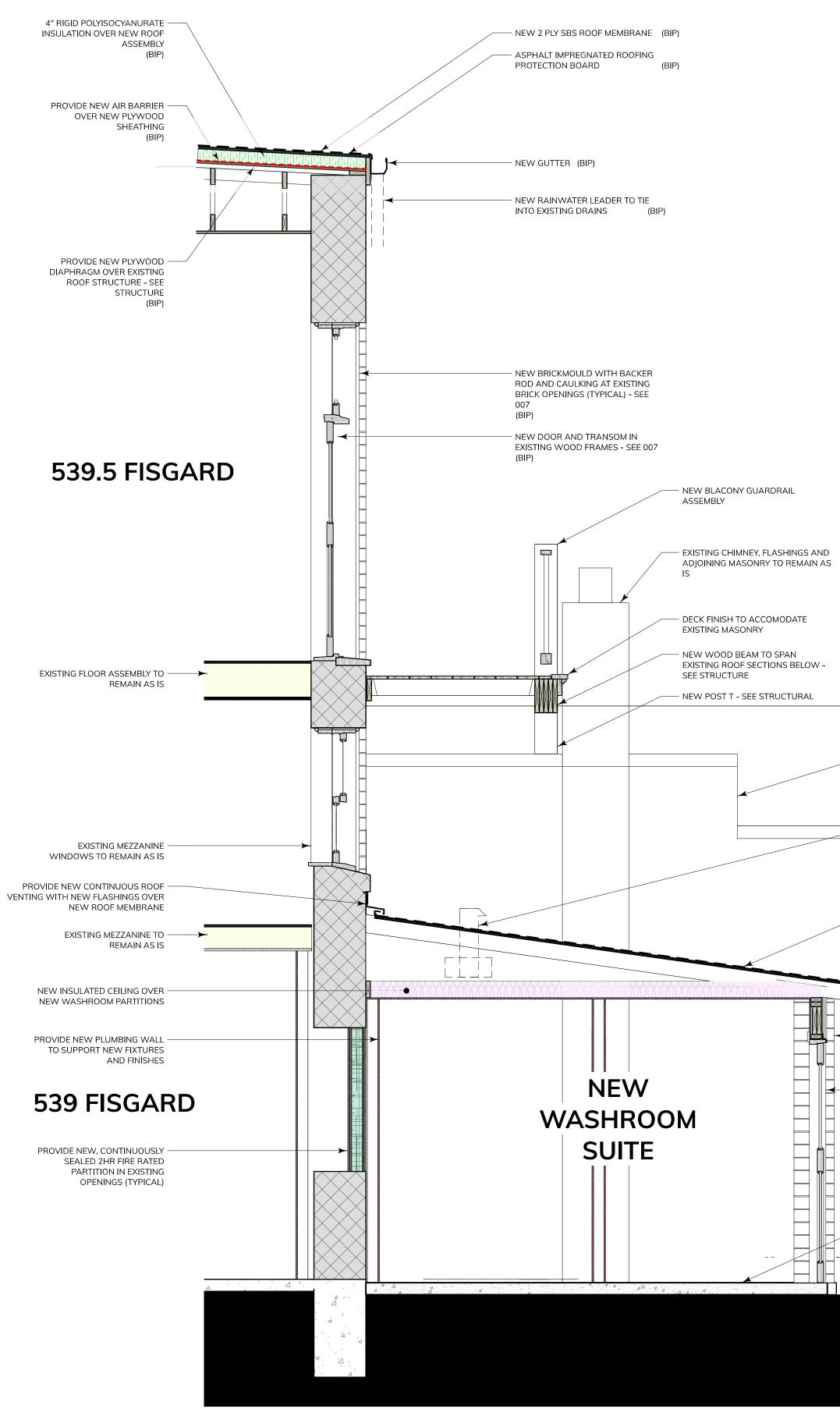


# karchitecture.com rnment Street 3C V8T 4N5

No.	Date	Appr	Revision Notes			
O : No.	2022-04-07 Date	Exterior E Issue Not	Building Permit			
	RTANT: This dro		o be used for construction			
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Project	Project Title:					
539-545 1/2 Fisgard Street						
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		Sectio	ns			

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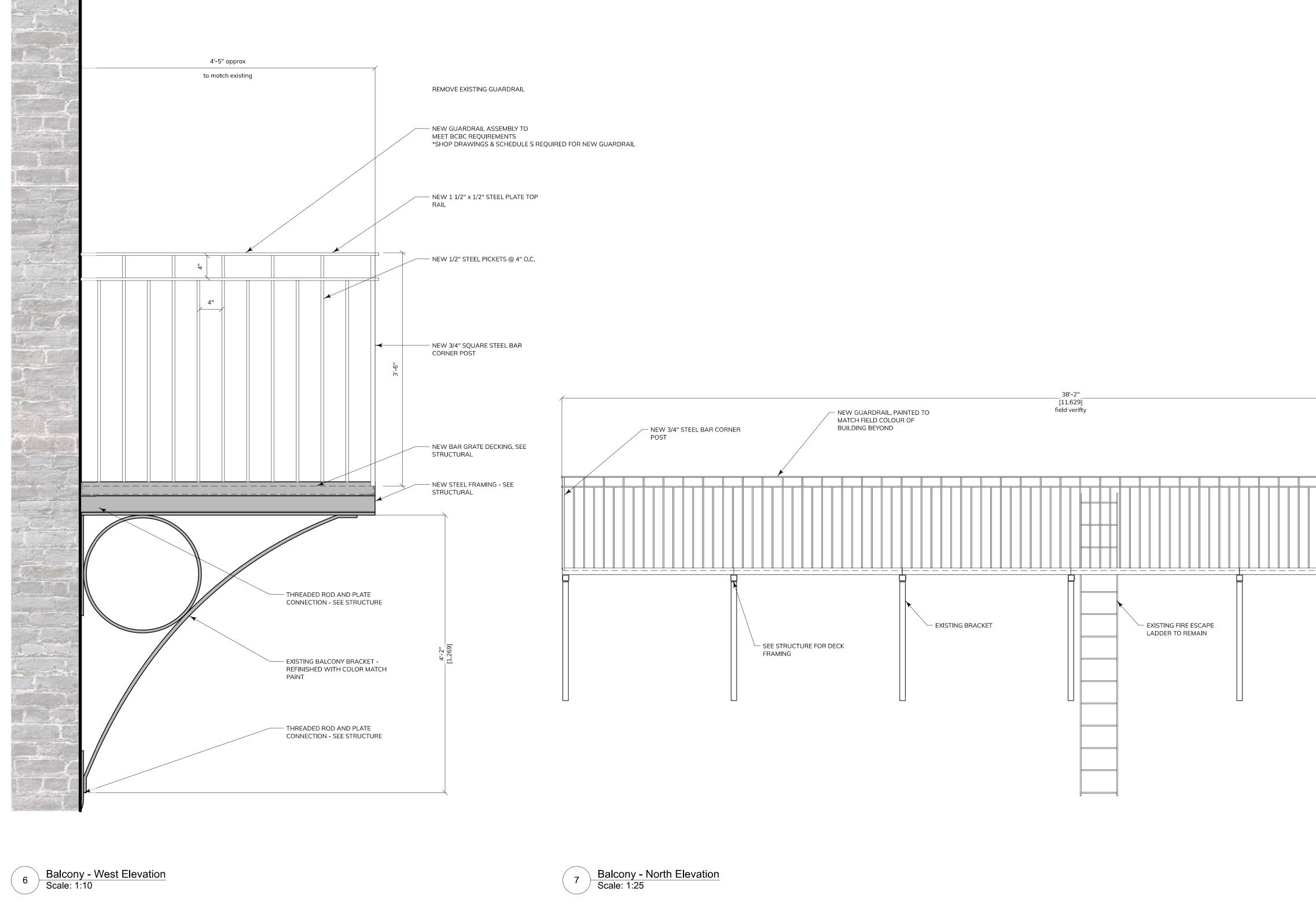
			XISTING MASONRY WALLS, LASHINGS TO REMAIN
	1		ROVIDE NEW EXHAUST FOR VASHROOMS BELOW
		R	XISTING ROOFING TO BE REPLACED, OOF STRUCTURE TO REMAIN BIP)
			EEP AND REPAIR EXISTING GUTTER ND DOWNSPOUT AS REQUIRED
	≺		XISTING MASONRY BEYOND TO EMAIN
			IEW DOOR AND INFILL WALL TO UIT EXISTING OPENING
			IEW CONCRETE SLAB, SLOPED TO IEW FLOOR DRAIN
4 , , , , , , , , , , , , , , , , , , ,			

WAYMARK www.waymarkarchitecture.com 1826 Government Street Victoria, BC V8T 4N5 No. Date Appr Revision Notes

O 2022-04-07 Exterior Building Permit No. Date Issue Notes

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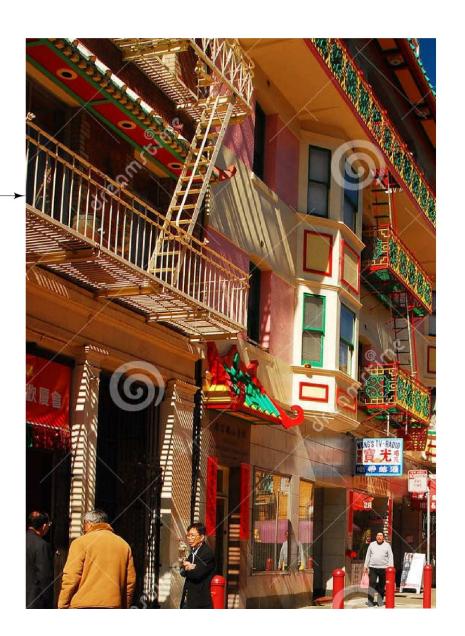
Owner:	
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	5 1/2 Fisgard Street
539-54	5 1/2 Fisgard Street
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539-54	<b>5 1/2 Fisgard Street</b> Sections
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NEW STEEL GUARDRAIL AND — BALCONY SIMILAR TO THIS



WAYMARK

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No.	Date	Appr	Revision Notes
A	2022-04-22		Revised For DHAP
0	2022-04-07	Exterior E	Building Permit
No.	Date	Issue Not	es

IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.

Seal	
Owner:	
Project Title:	
539-549	5 1/2 Fisgard Street
	3
Sheet Title:	
F	ront Balcony
	-
Scale:	Sheet Number:
n/a	
Architect of Record:	
Will King	
Drawn by:	
	BP5-401
WK, KT, CL	BP5-401
WK, KT, CL Reviewed by	BP5-401
WK, KT, CL	BP5-401
WK, KT, CL Reviewed by	BP5-401
WK, KT, CL Reviewed by GMV	BP5-401

