



Project Information Table	
Zoning (existing)	OTD-1
Site Area (square meters)	876
Total Floor Area (square meters)	681+174+681 = 1536
Commercial Floor Area (square meters)	833
Floor Area Ratio	1.75
Site Coverage (%)	78%
Open Site Space (%)	22%
Height of Building	35'2 5/8"
Number of Stories	2
Parking Stalls (no.) on site	0
Bicycle Parking (storgae and rack)	0
Front yard setback	0
Rear yard setback	2m
Side yard setback	0
Side yard setback	0
Combined Sideyards	0
Total Number of Residential Units	4
Unit Type, e.g. 1 bedroom	1 & 2 bedroom
Ground Oriented Units	0
Minimum Unit Floor Area (square meters)	91
Total Residential Floor Area (square meters)	409



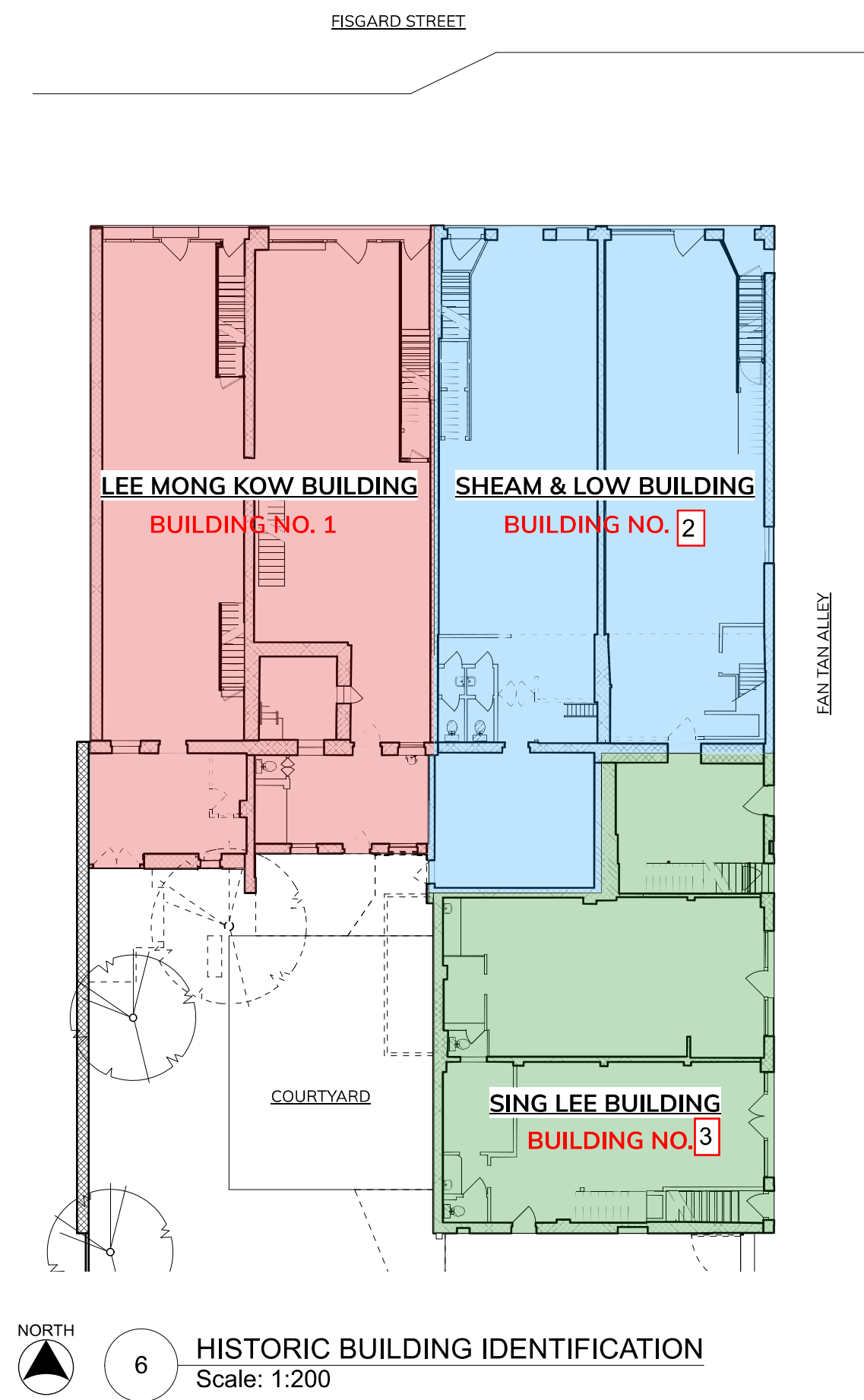
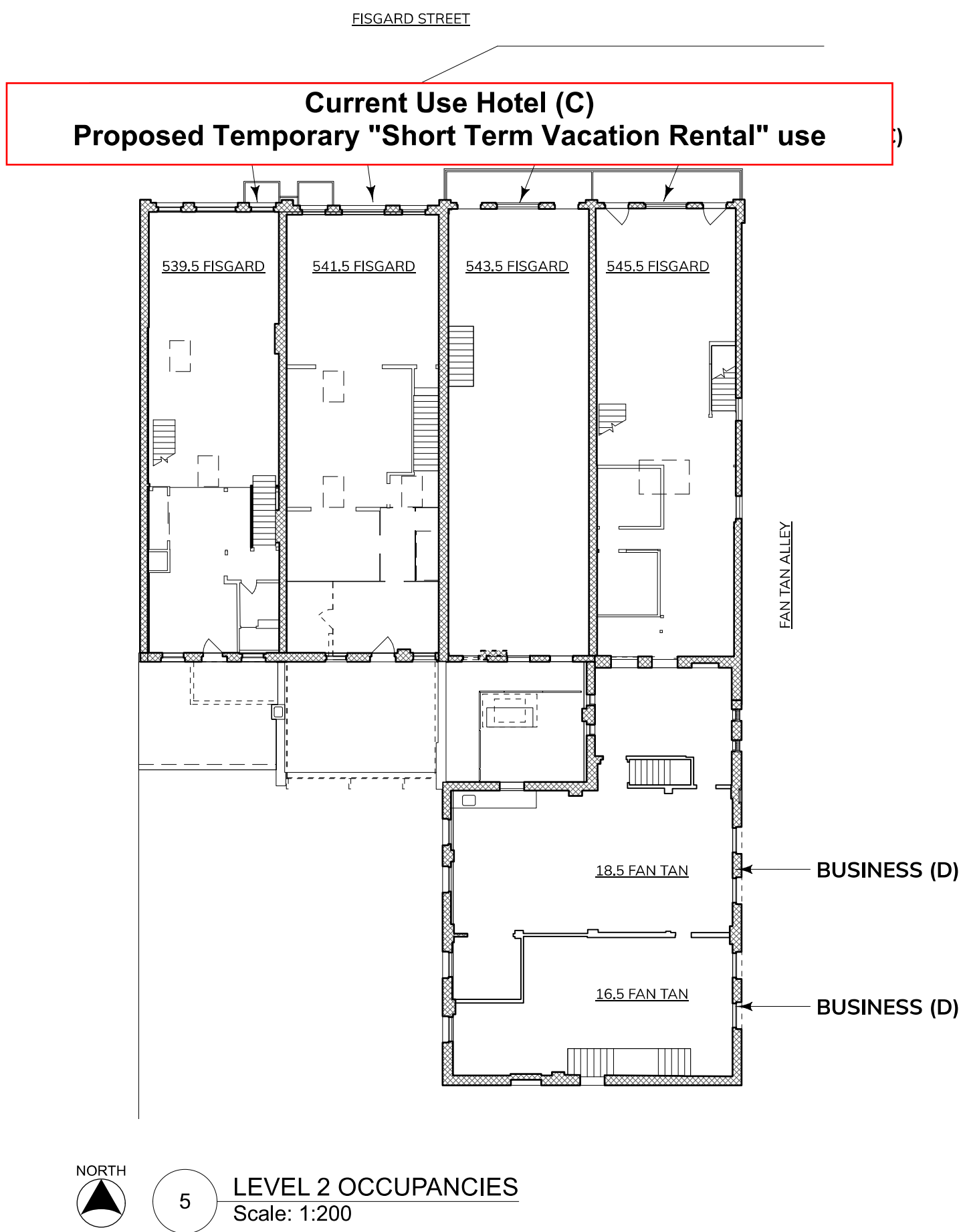
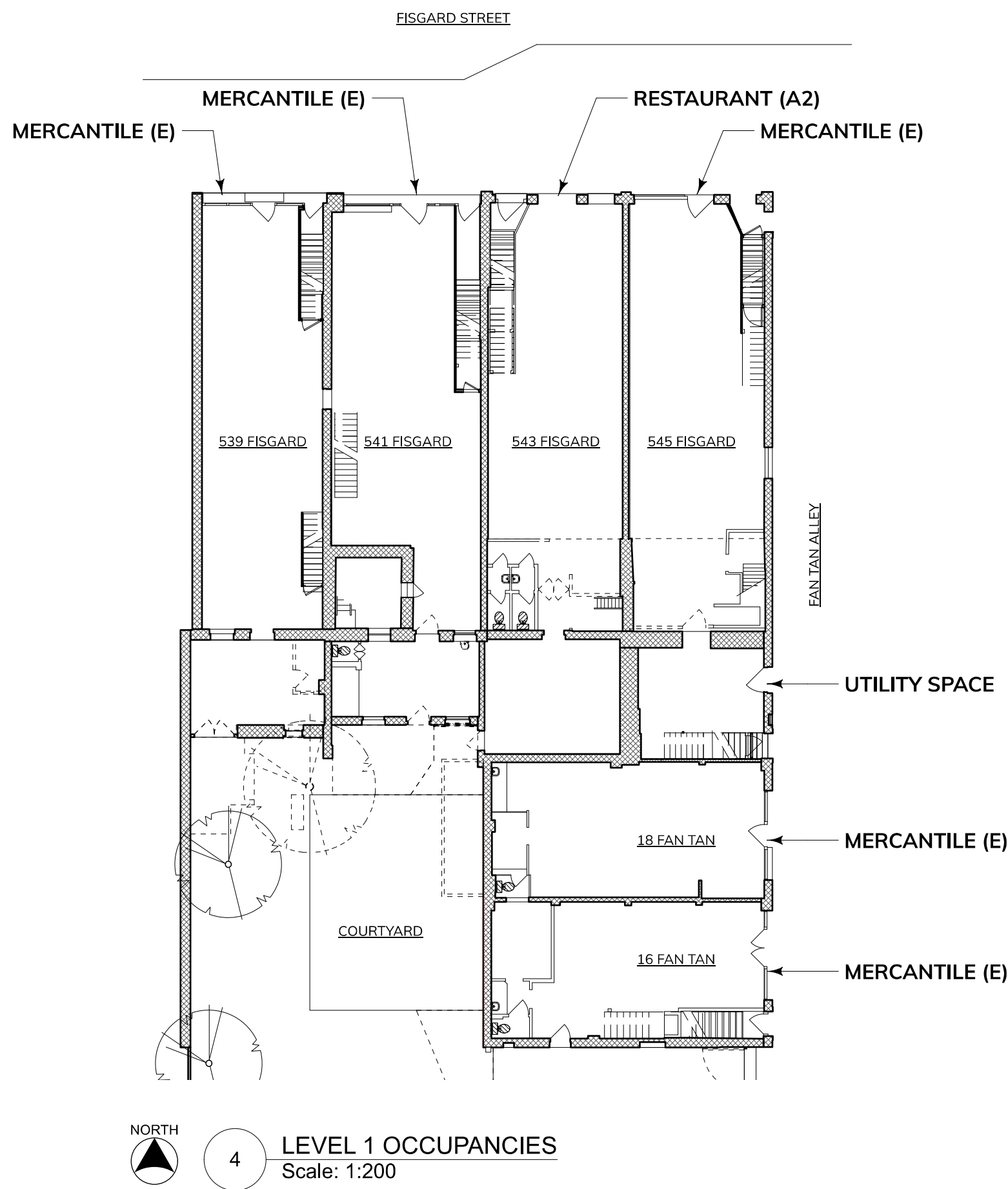
www.waymarkarchitecture.com  
1826 Government Street  
Victoria, BC V8T 4N5

No.	Date	Appr	Revision Notes
6	2021-3-08	Heritage Alteration Permit	
No.	Date	Issue Notes	

**IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.**  
Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Seal	
Owner:	
Project Title: <b>539-545 1/2 Fisgard Street</b>	
Sheet Title: <b>Site Plan</b>	
Scale: n/a	<b>HAP001</b>
Architect of Record: Will King	
Drawn by: WK, KT, CL	
Reviewed by: GMV	
Project ID: 2019-005	





OWNER

Fisgard Street Holdings  
Suite 225-209 Carral Street, Vancouver, BC

Contact: Lorne Gavinchuk  
Phone: 250.361.7696  
Email: lgavinchuk@thesalientgroup.com

ARCHITECT OF RECORD & CRP  
Waymark Architecture

1826 Government Street  
Victoria, BC V8T 4N5

Contact: Will King  
Phone: (778) 977 0660  
Email: will@waymarkarchitecture.com

STRUCTURAL  
Read Jones Christofferson Ltd.

645 Tyee Rd #220,  
Victoria, BC V9A 6X5

Contact: Clint Plett  
Phone: (778) 746-1125  
Email: cplett@rjc.ca

MECHANICAL  
Avalon Mechanical Consultants Ltd.

1245 Esquimalt Rd #300,  
Victoria, BC V9A 3P2

Contact: Kevin Jackson  
Phone: 250 940 2976  
Email: kjackson@avalonmechanical.com

ELECTRICAL  
AES Engineering

3795 Carey Rd #500,  
Victoria, BC V8Z 6T8

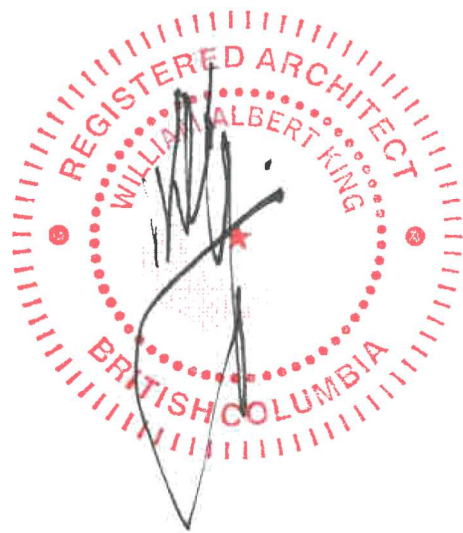
Contact: Gurp Malhi  
Phone: 250-940-3495  
Email: Gurp.Malhi@aesengr.com

CIVIL  
J.E. Anderson & Associates

4212 Glanford Ave.,

Contact: Ross Tuck  
Phone: 250 893-8770  
Email: rtuck@jeanderson.com

NOT FOR CONSTRUCTION



539-545 1/2 Fisgard Street

Issued For: Exterior Building Permit

Date: 2022-04-07  
Cover Sheet  
ProjectID: 2019-005

Architect of Record: Will King





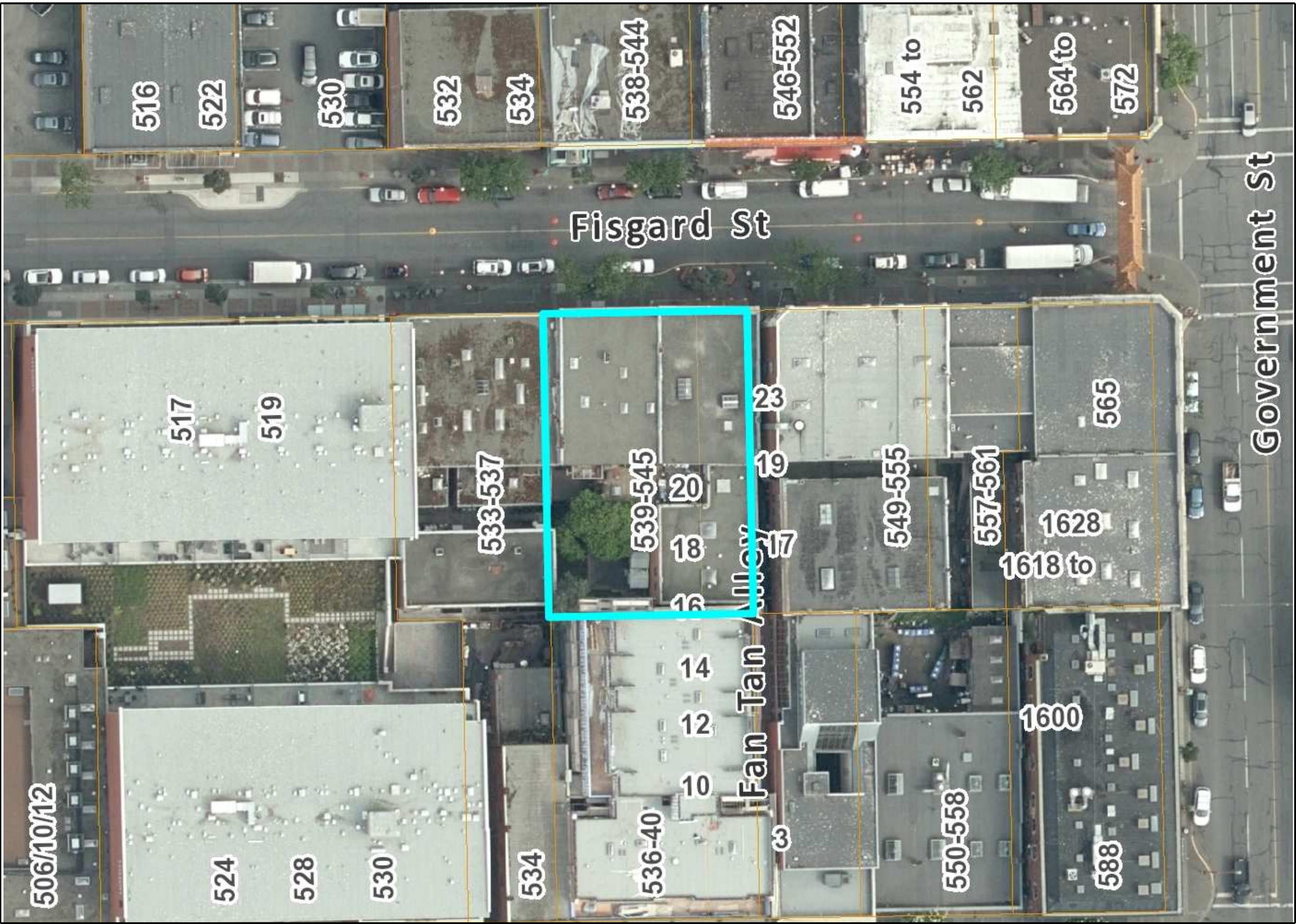
No.	Date	Appr	Revision Notes

**IMPORTANT:** This drawing is not to be used for construction until issued for that purpose by the Architect.

Project Title:

539-545 1/2 Fisgard Street

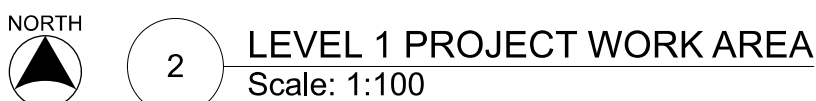
Scale: n/a	Sheet Number:   <div style="text-align: center; font-size: 24pt; font-weight: bold;">BP5-001</div>
Architect of Record: Will King	
Drawn by: WKK, KT, CL	
Reviewed by: GMV	
Project ID: 2019-005	



IMPORTANT: copyright reserved. This design and drawing is the exclusive property of Waymark Architecture and cannot be used for any purpose without the written consent of the Architect.



**(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.**



No.	Date	Appr	Revision Notes
O	2022-04-07	Exterior Building Permit	
No.	Date	Issue Notes	

Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.



539-545 1/2 Fisgard Street

## Level 1 Overview

Sheet Number:

Drawn by:

WK, KT, CL

Project ID:

2019-005

**BP5-002**



IMPORTANT: copyright reserved. This design and drawing is the exclusive property of Waymark Architecture and cannot be used for any purpose without the written consent of the Architect.

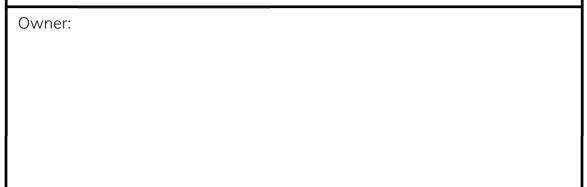


**(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.**



No.	Date	Appr	Revision Notes
O	2022-04-07	Exterior Building Permit	
No.	Date	Issue Notes	

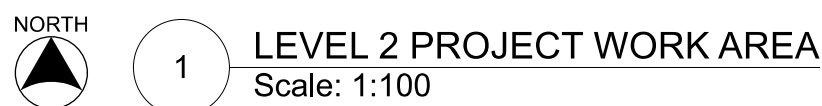
Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.



Sheet Title:

# Level 2 Overview

Scale:	n/a	<div> <div>Sheet Number:</div> <div>BP5-003</div> </div>
Architect of Record:	Will King	
Drawn by:	WJK, KT, CL	
Reviewed by:	GMV	
Project ID:	2019-005	



IMPORTANT: copyright reserved. This design and drawing is the exclusive property of Waymark Architecture and cannot be used for any purpose without the written consent of the Architect.



**(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.**



1 ROOF PLAN  
Scale: 1:100



No.	Date	Appr	Revision Notes
O	2022-04-07	Exterior Building Permit	
No.	Date	Issue Notes	

Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Owner
-------

Project Title

539-545 1/2 Fisgard Street

Sheet Title:

### Roof Plan

Scale:

Architect of Record  
Will King

Drawn by:  
WK, KT, CL

Project ID:  
2019-005

Sheet Number:

**BP5-004**



IMPORTANT: copyright reserved. This design and drawing is the exclusive property of Waymark Architecture and cannot be used for any purpose without the written consent of the Architect.





RESTORATION W-1: (BIP)

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulking to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

RESTORATION W-2: (BIP)

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulking to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted
- window operation to be restored
- locks and handles to be removed, cleaned and re-applied
- replace missing and incongruent locks and handles to match original hardware package

 WAYMARK

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

**REPLACEMENT W-X2** (BIP)

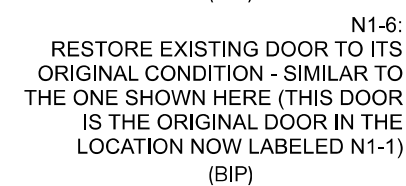
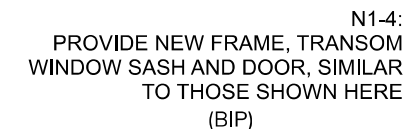
- restore existing frames in place
- remove all existing hardware and restore for use on replacement sashes
- replace original ropes, pullies and other equipment need to restore full functionality
- strip all remaining paint
- fill wood where required
- sashes to be replaced with new, similar sashes with similar glazing, muntins and putty
- provide replacement hardware to suit where original is missing
- prime & paint sashes and frames

**REPLACEMENT D-X2:** <sup>(BIP)</sup>

- restore existing frame in place
- provide upper sash and lite with central muntin to match adjacent original doors
- provide new wood door to match adjacent N1-6
- provide new hinges, door hardware & locks, mailsot etc to match adjacent original doors



Unit number	Action (BIP)	Notes
N1-1	NO ACTION	
N1-2	NO ACTION	
N1-3	NO ACTION	
N1-4	REPLACEMENT D-X2	
N1-5	REPLACEMENT W-X1	
N1-6	RESTORATION W-1	
N1-7	NO ACTION	
N1-8	NO ACTION	
N1-9	NO ACTION	REPLACE BROKEN GLASS PANE
N1-10	NO ACTION	
N1-11	NO ACTION	
N1-12	RESTORATION W-1	REPLACE LOWER PANEL WITH NEW OPENING PANEL TO MATCH DESIGN DETAILING OF DOORS
N1-13	NO ACTION	
N1-14	NO ACTION	
N1-15	NO ACTION	REPLACE BROKEN GLASS
N1-16	REPLACEMENT D-X1	
N1-17	RESTORATION D-1	
N2-1	NO ACTION	
N2-2	NO ACTION	
N2-3	NO ACTION	
N2-4	NO ACTION	
N2-5	NO ACTION	
N2-6	NO ACTION	
N2-7	RESTORATION W-2	PROVIDE NEW LOCK AND HANDLES TO MATCH ORIGINAL HARDWARE PACKAGE
N2-8	RESTORATION W-2	
N2-9	RESTORATION W-2	PROVIDE NEW LOCK AND HANDLES TO MATCH ORIGINAL HARDWARE PACKAGE
N2-10	RESTORATION W-2	
N2-11	RESTORATION W-2	
N2-12	RESTORATION W-2	



No.	Date	Appr	Revision Notes
O	2022-04-07	Exterior Building Permit	
No.	Date	Issue Notes	

**IMPORTANT:** This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Sesal
-------

Owner:

Project Title:	539-545 1/2 Fisgard Street
Sheet Title:	North Windows and Doors

Scale: n/a	<div>Sheet Number:</div> <div>BP5-005</div>
Architect of Record: Will King	
Drawn by: WK, KT, CL	
Reviewed by GMV	
Project ID: 2019-005	

**BP5-005**





No.	Date	Appr	Revision Notes
O No.	2022-04-07 Date	Exterior Building Permit Issue Notes	

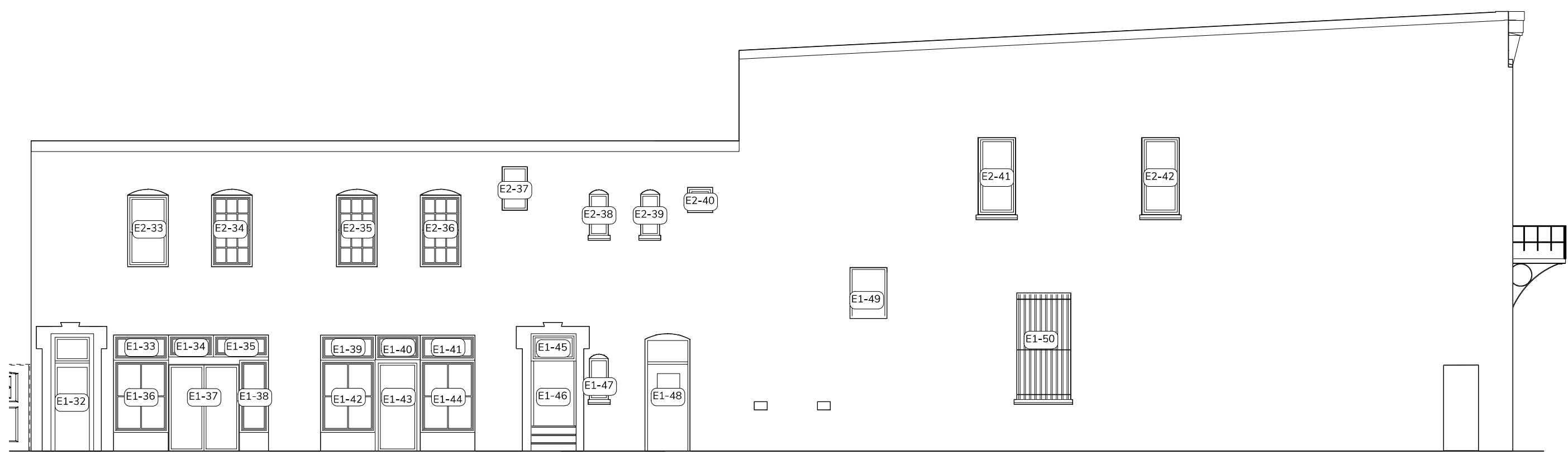
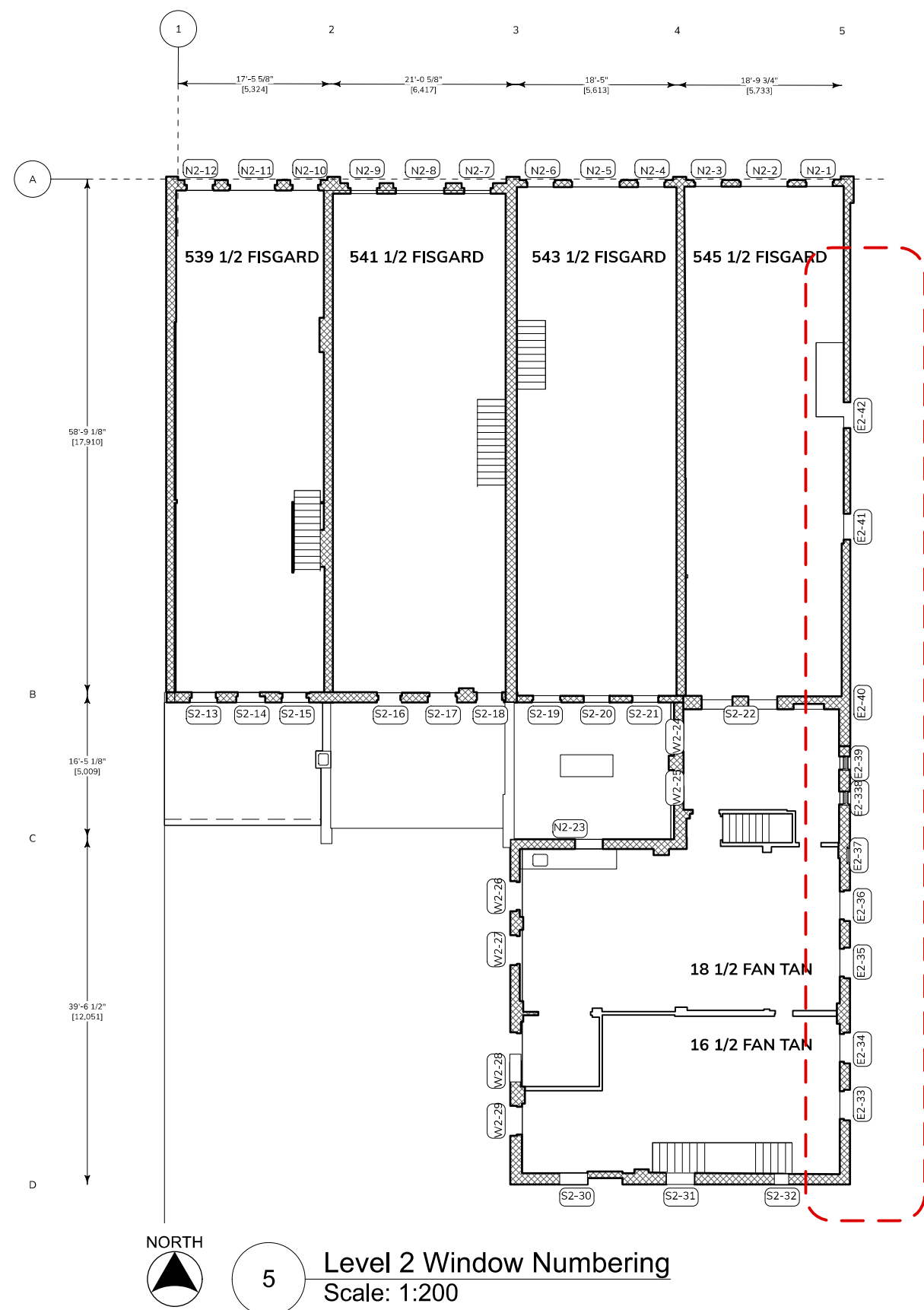
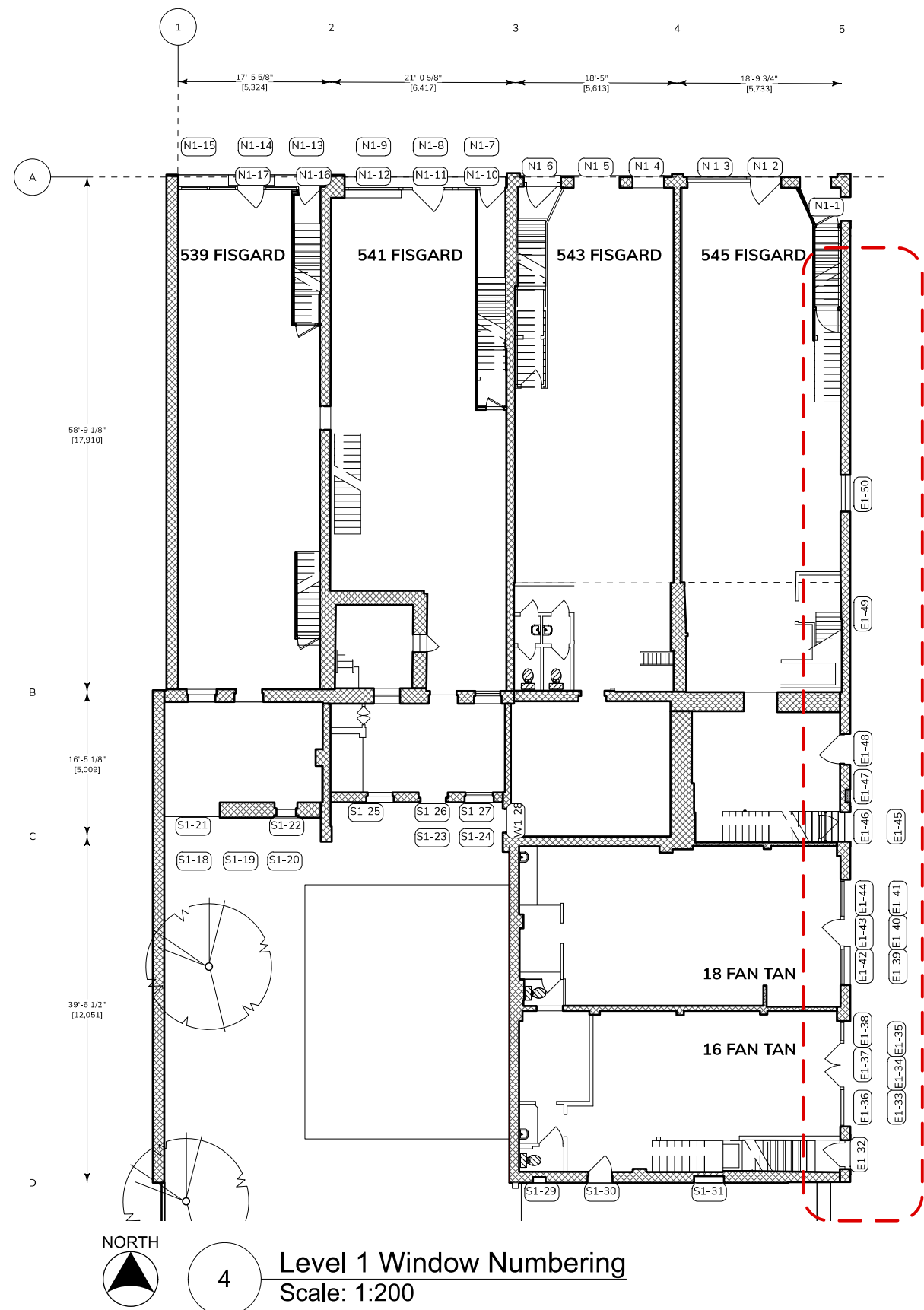
Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Owner:

Sheet Title:

East Windows and Doors

Scale: n/a	<div>Sheet Number:</div> <div>BP5-006</div>
Architect of Record: Will King	
Drawn by: WK, KT, CL	
Reviewed by: GMV	
Project ID: 2019-005	



6 East Elevation (Facing Fan Tan Alley)  
Scale: 1:100

**NOTE:**  
(BIP) Work eligible for the Building Incentive Program. To be priced separately per building.

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

**RESTORATION W-1:** (BIP)

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulking to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted

RESTORATION D-1:

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulking to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted
- hardware to be removed, cleaned and retored to original condition and re-applied
- hinges to be cleaned, greased and restored to original condition

RESTORATION W-2: (BIP)

- glazing and frames to remain as is
- trims, brickmolds, to remain as is
- caulking to be removed and replaced with new
- all wood elements to be cleaned and remove any isolated, minor paint failures
- all wood elements to be primed and repainted
- window operation to be restored
- locks and handles to be removed, cleaned and re-applied
- replace missing and incongruent locks and handles to match original hardware package

RESTORATION W-3 (BIP)

- frames to be restored on site
- sashes to be removed and restored offsite
- existing glass and glazing putty to be restored where possible, otherwise replaced with similar
- existing hardware to be removed, cleaned and re-applied
- pulleys, roped weights and other operational hardware to be restored
- window to be made operational

REPLACEMENT W-X1: (BIP)

- existing frames and glazing to be removed
- rough openings restored to original size and substrate
- provide new wood frame to match adjacent door N1-6
- provide upper lite with central muntin to match adjacent door N1-6
- provide clear, single fixed lower lite (with no muntin)
- provide pulls, weights, ropes etc, as required, to ensure similar functionality to original
- provide new brickmoulds similar to original

**REPLACEMENT W-X2** (BIP)

- restore existing frames in place
- remove all existing hardware and restore for use on replacement sashes
- replace original ropes, pulleys and other equipment need to restore full functionality
- strip all remaining paint
- fill wood where required
- sashes to be replaced with new, similar sashes with similar glazing, muntins and putty
- provide replacement hardware to suit where original is missing
- prime & paint sashes and frames

**REPLACEMENT D-X1:** (BIP)

- rough openings restored to original size and substrate - in original location at building facade
- provide new wood frame to match adjacent door N1-6
- provide upper lite with central muntin to match adjacent door N1-6
- provide new wood door to match adjacent N1-6
- provide new hinges, door hardware & locks, mailslot and door numbers to match N1-6

REPLACEMENT D-X2: <sup>(BIP)</sup>

- restore existing frame in place
- provide upper sash and lite with central muntin to match adjacent original doors
- provide new wood door to match adjacent N1-6
- provide new hinges, door hardware & locks, mailslot etc to match adjacent original doors

Unit number	Action	(BIP)	Notes
E1-32	NO ACTION		
E1-33	NO ACTION		
E1-34	NO ACTION		
E1-35	NO ACTION		
E1-36	NO ACTION		
E1-37	NO ACTION		
E1-38	NO ACTION		
E1-39	NO ACTION		
E1-40	NO ACTION		
E1-41	NO ACTION		
E1-42	NO ACTION		
E1-43	NO ACTION		
E1-44	NO ACTION		
E1-45	NO ACTION		
E1-46	NO ACTION		
E1-47	NO ACTION		REMOVE PLYWOOD AND REPLACE GLASS WITH LAMINATED PANE
E1-48	RESTORATION D-1		
E1-49	NO ACTION		
E1-50	NO ACTION		
E2-33	RESTORATION W-2		
E2-34	RESTORATION W-2		
E2-35	RESTORATION W-2		
E2-36	RESTORATION W-2		
E2-37	RESTORATION W-1		
E2-38	RESTORATION W-1		
E2-39	RESTORATION W-1		
E2-40	RESTORATION W-1		
E2-41	RESTORATION W-2		PROVIDE NEW LOCK, HANDLES AND SASH LIMITER TO MATCH ORIGINAL HARDWARE PACKAGE
E2-42	RESTORATION W-2		PROVIDE NEW LOCK, HANDLES AND SASH LIMITER TO MATCH ORIGINAL HARDWARE PACKAGE





No.	Date	Appr	Revision Notes
O	2022-04-07	Exterior Building Permit	
No.	Date	Issue Notes	

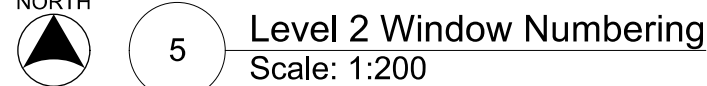
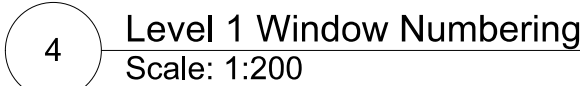
Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Owner:

Sheet Title:

South Windows and Doors

Scale: n/a	<div>Sheet Number:</div> <div></div> <div><b>BP5-007</b></div>
Architect of Record: Will King	
Drawn by: WK, KT, CL	
Reviewed by GMV	
Project ID: 2019-005	

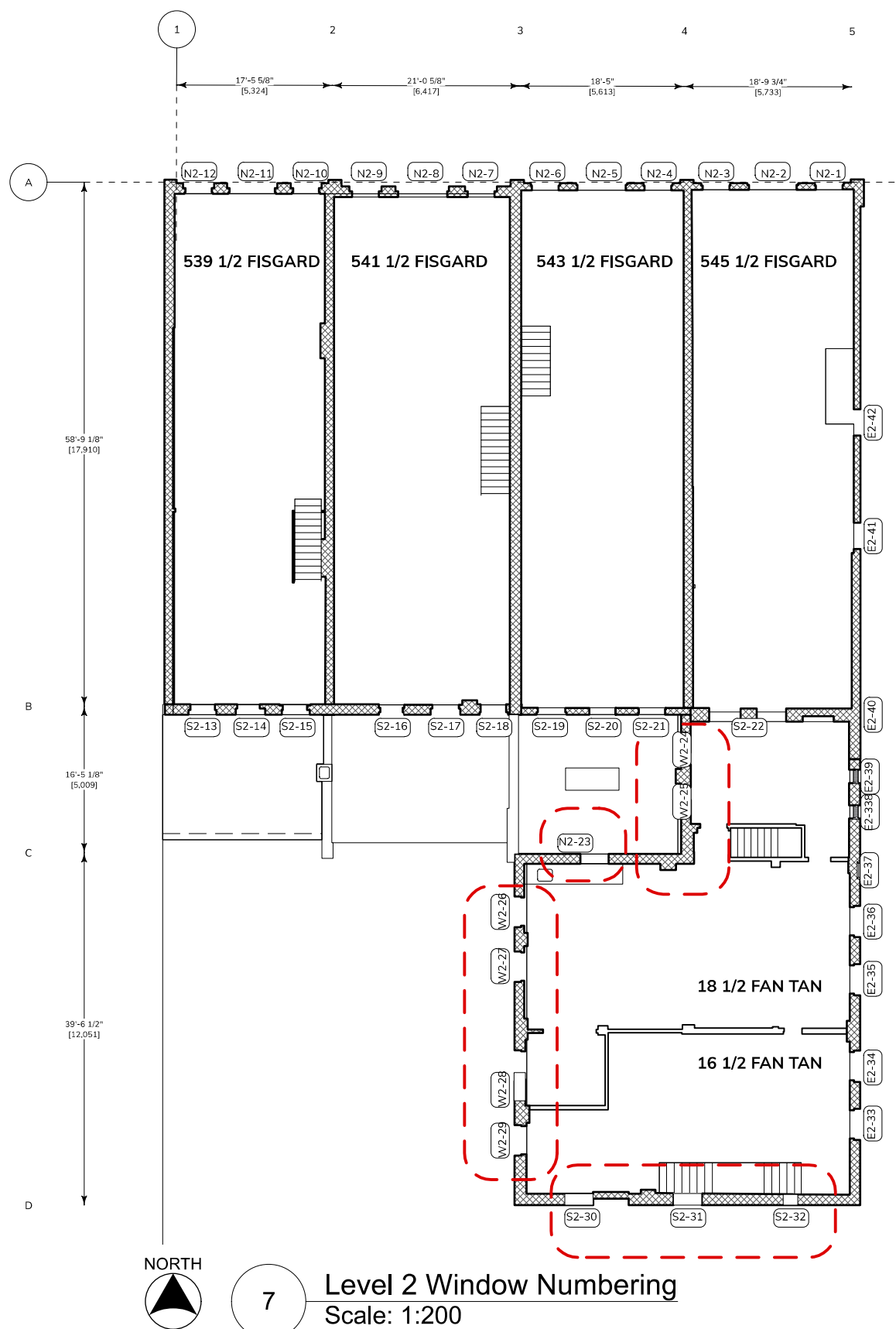


(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.

6 South Elevation (Facing Courtyard)  
Scale: 1:100

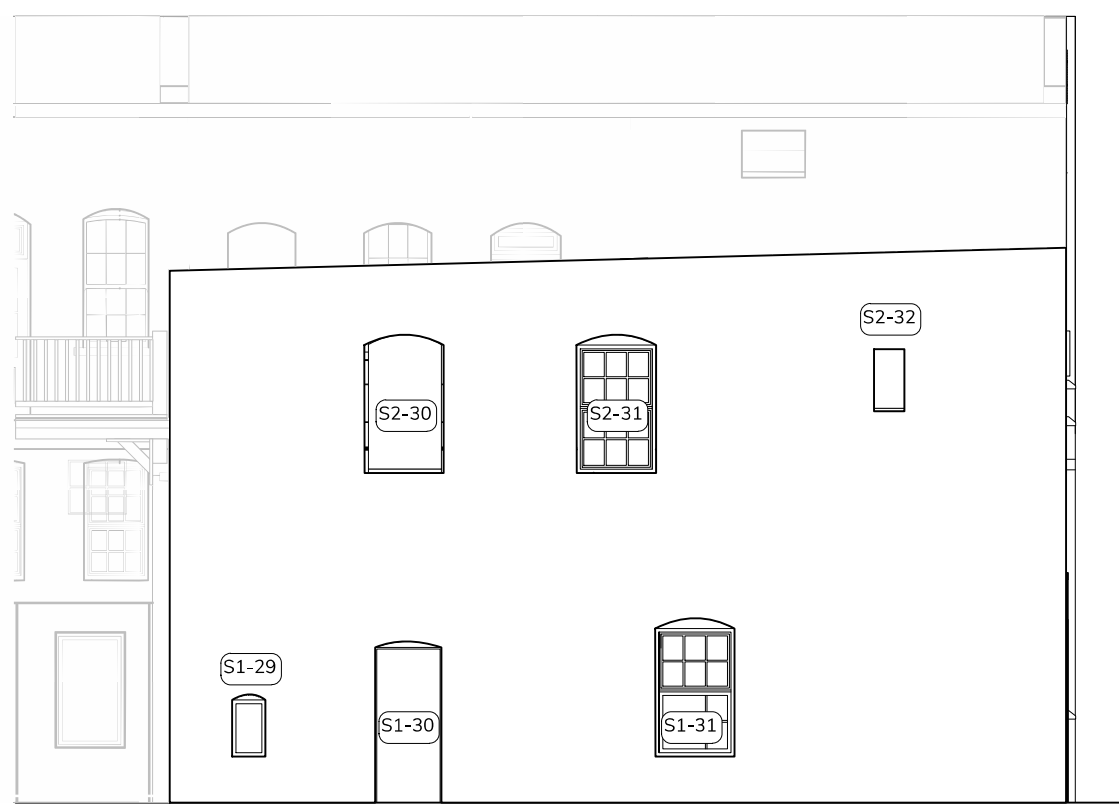
Unit number	Action <sup>(BIP)</sup>	Notes
S1-18	RESTORATION W-3	
S1-19	RESTORATION W-3	
S1-20	RESTORATION W-3	
S1-21	REPLACEMENT D-X1	
S1-22	REPLACEMENT W-X1	
S1-23	RESTORATION W-1	
S1-24	RESTORATION W-1	
S1-25	RESTORATION W-2	
S1-26	RESTORATION D-1	
S1-27	REPLACEMENT WX-1	
S2-13	REPLACEMENT W-X2	
S2-14	REPLACEMENT D-X2	
S2-15	REPLACEMENT W-X2	
S2-16	REPLACEMENT W-X2	
S2-17	REPLACEMENT D-X2	ADD NEW SILL AND BRICKMOULD
S2-18	REPLACEMENT W-X2	
S2-19	REPLACEMENT W-X1	
S2-20	REPLACEMENT W-X2	
S2-21	REPLACEMENT D-X2	NEW DOOR, SILL AND BRICKMOULD
S2-22	NO ACTION	



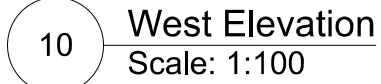


**Level 2 Window Numbering**  
Scale: 1:200

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.



8 South Elevation (of 16 Fan Tan)  
Scale: 1:100



10 West Elevation  
Scale: 1:100

- REPLACEMENT D-X2:** (BIP)
- restore existing frame in place
  - provide upper sash and lite with central muntin to match adjacent original doors
  - provide new wood door to match adjacent N1-6
  - provide new hinges, door hardware & locks, mailslot etc to match adjacent original doors

Unit number	Action (BIP)	Notes
S1-29	NO ACTION	
S1-30	NO ACTION	
S1-31	REPLACEMENT W-X2	LOWER SASH ONLY, UPPER SASH TO BE RESTORED ON SITE - CUSTOM STICKING 38x42
W1-28	NO ACTION	
S2-30	REPLACEMENT W-X1	
S2-31	RESTORATION W-2	
S2-32	RESTORATION W-2	
N2-23	RESTORATION W-3	
W2-24	NO ACTION	
W2-25	NO ACTION	
W2-26	NO ACTION	
W2-27	NO ACTION	
W2-28	NO ACTION	
W2-29	NO ACTION	



No.	Date	Appr	Revision Notes
O	2022-04-07	Exterior Building Permit	
No.	Date	Issue Notes	

**IMPORTANT:** This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Seal	
Owner:	
Project Title: <b>539-545 1/2 Fisgard Street</b>	
Sheet Title: <b>West Windows and Doors</b>	
Scale: n/a	<b>BP5-008</b>
Architect of Record: Will King	
Drawn by: WK, KT, CL	
Reviewed by: GMV	
Project ID: 2019-005	





No.	Date	Appr	Revision Notes
O	2022-04-07		Exterior Building Permit
No.	Date	Issue Notes	

Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

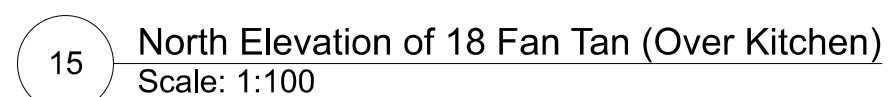
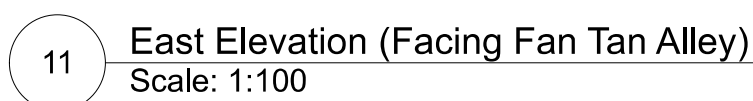
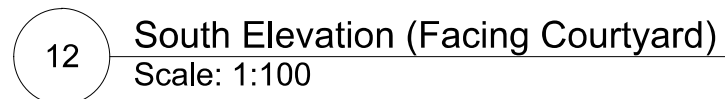
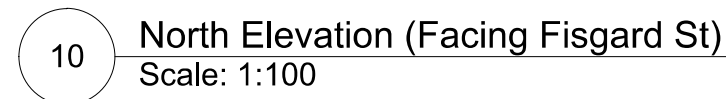
[illegible]

539-545 1/2 Fisgard Street

Elevations

Project ID: \_\_\_\_\_

BP5-201



**(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.**



IMPORTANT: copyright reserved. This design and drawing is the exclusive property of Waymark Architecture and cannot be used for any purpose without the written consent of the Architect.





NOTE:  
(BIP) Work eligible for the Building Incentive Program. To be priced separately per building.

(PIP) Work eligible for the Parapet Incentive Program. To be priced separately per building.



1: BM SIENNA 2092-20  
USED ON WALLS AS FIELD COLOUR  
(BIP)

2: BM HADDINGTON GREY VC-15  
ACCENT FOR WINDOW HEADERS  
AND SILLS, PILLASTERS AND  
MARQUEE AREAS  
\*\*SATIN FINISH  
(BIP)

3: BM HADDINGTON GREY VC-15  
CORNICES  
\*\* GLOSS FINISH  
(BIP)

4: BM GLOSS BLACK VC-35  
WINDOW SASHES AND FRAMES,  
STOREFRONTS AND ALL METAL  
(DECKS RAILS ETC)  
\*\*GLOSS FINISH  
(BIP)

5: RED  
DOOR AND FRAME FOR \$45.5  
ALL WOOD DECK MATERIALS  
(SOFFIT, DECK AND WOOD  
FRAMING)  
(BIP)

6: BM COMOX SAGE VC-16  
CORNICES  
\*\* SATIN FINISH  
(BIP)

7: BM CATS EYE 2036-10  
FAN TAN ALLEY DOOR TRIM  
\*\* SATIN FINISH  
(BIP)



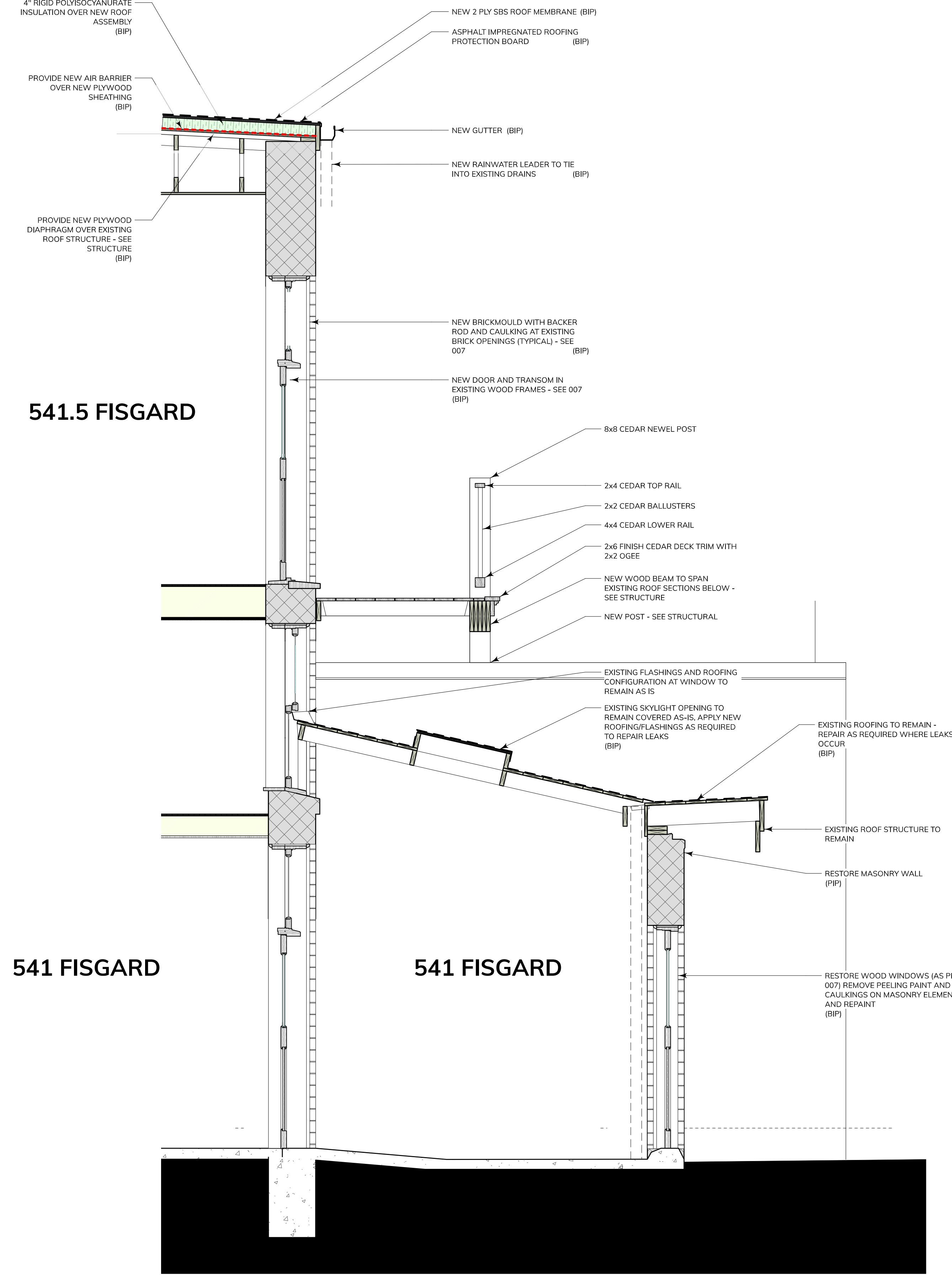
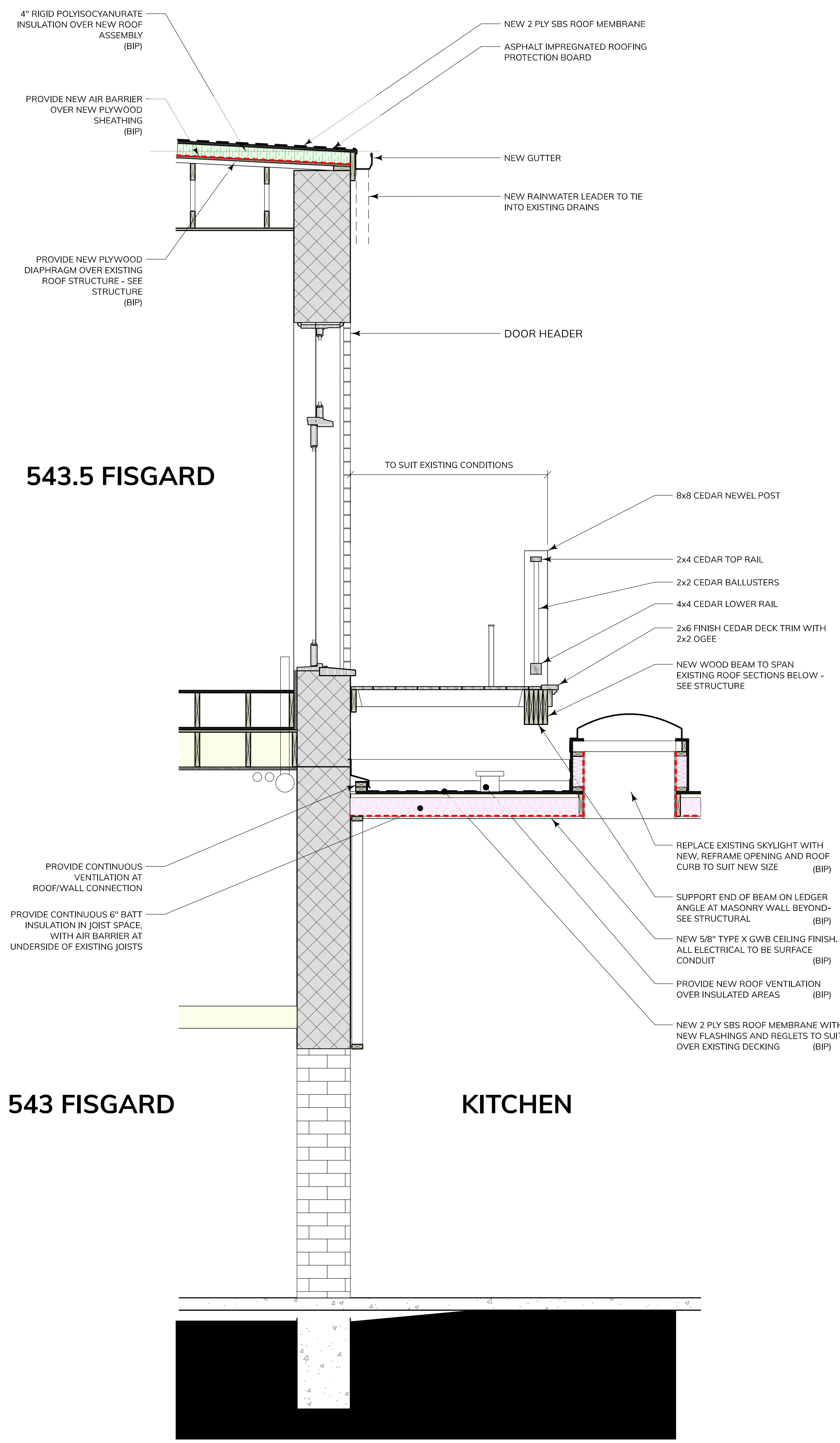
No.	Date	Appr	Revision Notes
O	2022-04-07		Exterior Building Permit
No.	Date	Issue Notes	

IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.

Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Seal			
Owner:			
Project Title:	539-545 1/2 Fisgard Street		
Sheet Title:	Elevations - Colour		
Scale:	n/a	Sheet Number:  <b>BP5-202</b>	
Architect of Record:	Will King		
Drawn by:	WK, KT, CL		
Reviewed by:	GMV		
Project ID:	2019-005		





No.	Date	Appr	Revision Notes
O	2022-04-07		Exterior Building Permit
No.	Date	Issue Notes	

**IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.**

Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Seal	
Owner:	
Project Title: <b>539-545 1/2 Fisgard Street</b>	
Sheet Title: <b>Sections</b>	
Scale: n/a	<b>BP5-301</b>
Architect of Record: Will King	
Drawn by: WK, KT, CL	
Reviewed by: GMV	
Project ID: 2019-005	





No.	Date	Appr	Revision Notes
O	2022-04-07	Exterior Building Permit	
No.	Date	Issue Notes	

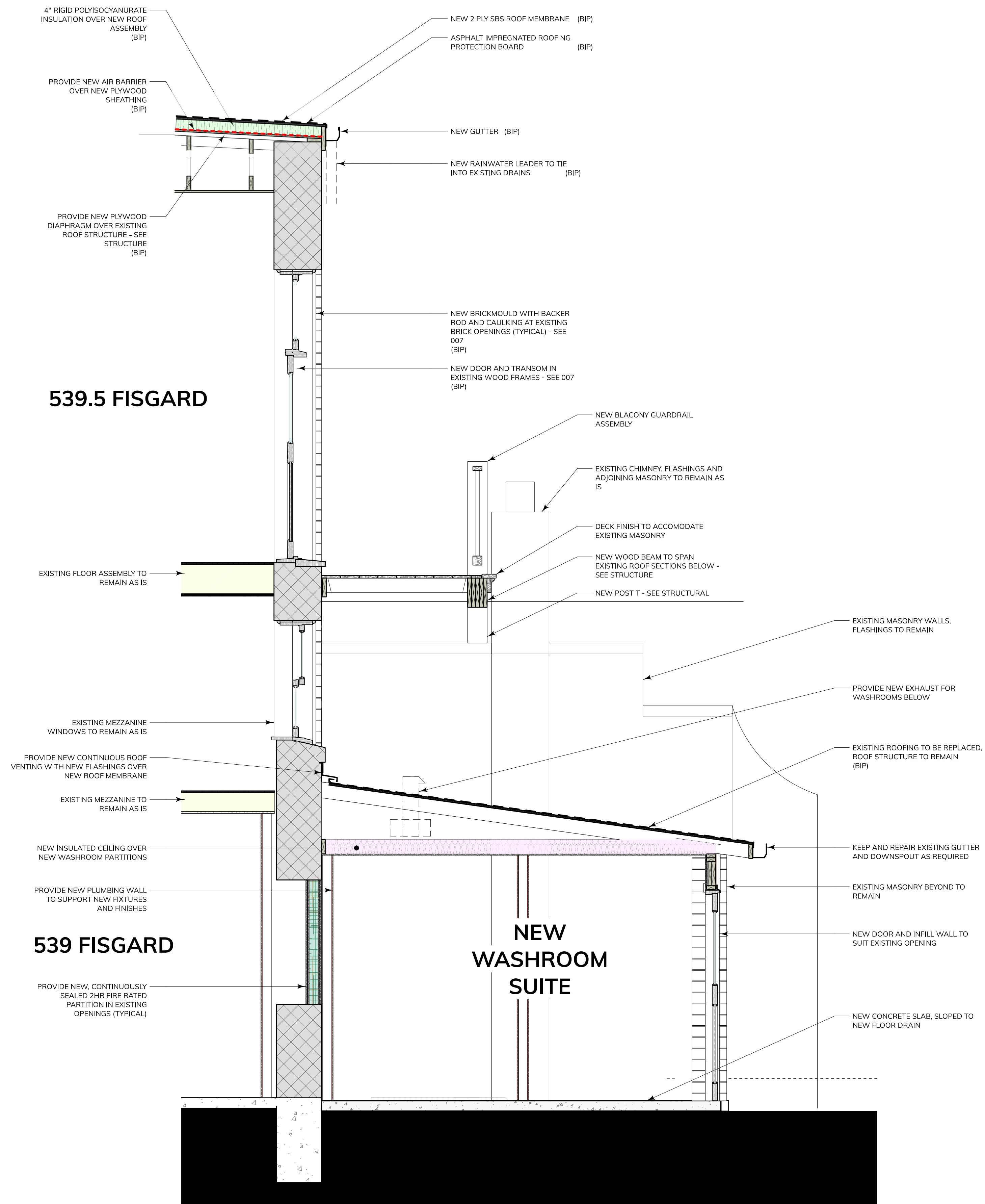
Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Owner:

Sheet Title:

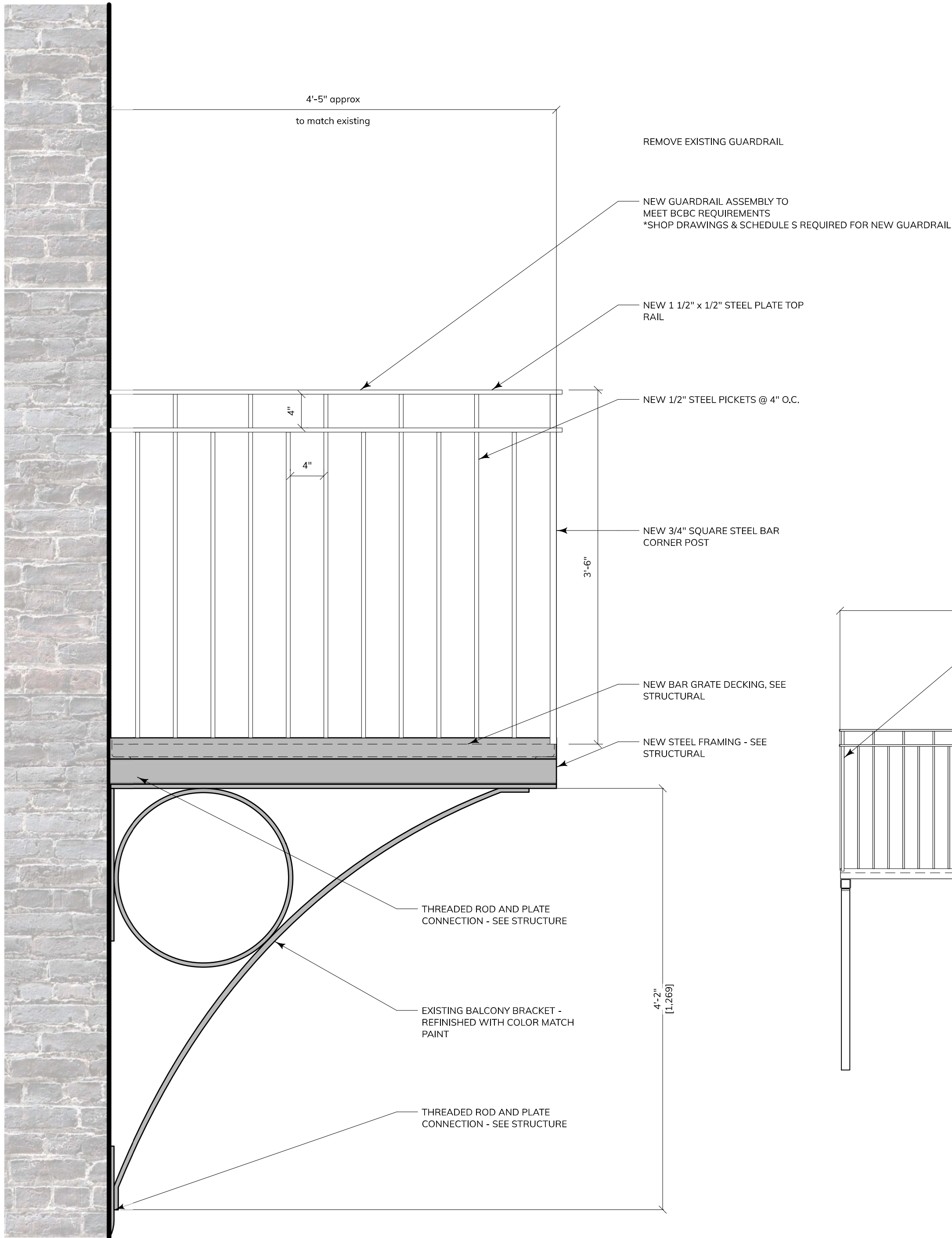
# Sections

Scale:	n/a
Architect of Record:	Will King
Drawn by:	WVK, KT, CL
Reviewed by:	GMV
Project ID:	2019-005

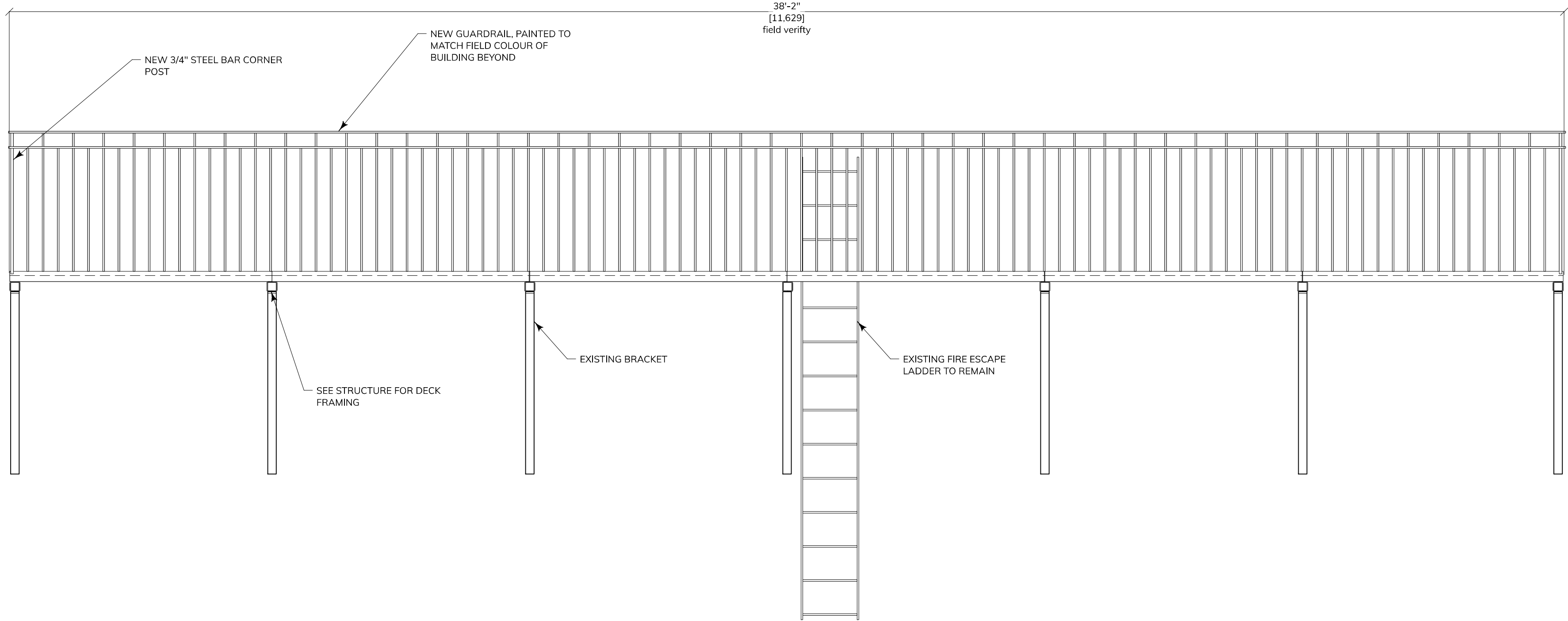


IMPORTANT: copyright reserved. This design and drawing is the exclusive property of Waymark Architecture and cannot be used for any purpose without the written consent of the Architect.



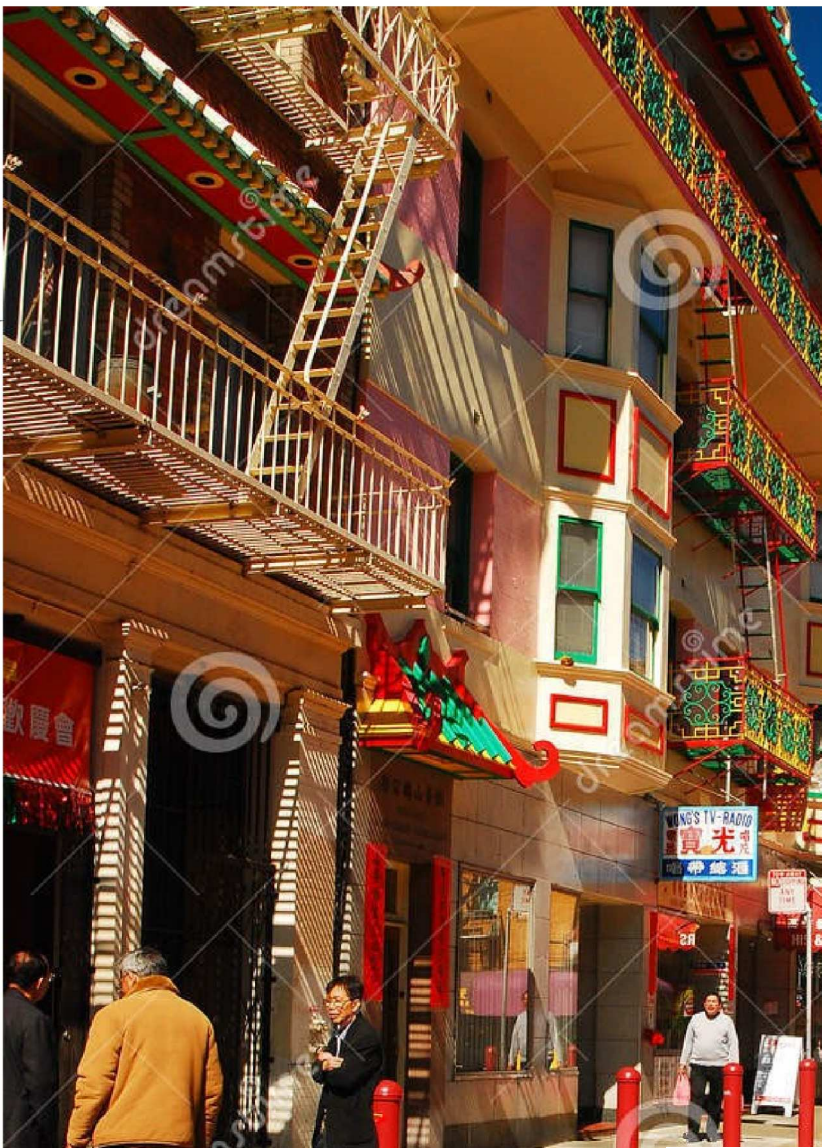


6 Balcony - West Elevation  
Scale: 1:10



7 Balcony - North Elevation  
Scale: 1:25

NEW STEEL GUARDRAIL AND  
BALCONY SIMILAR TO THIS



No.	Date	Appr	Revision Notes
A	2022-04-22		Revised For DHAP
O	2022-04-07		Exterior Building Permit
No.	Date	Issue Notes	

**IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.**  
Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

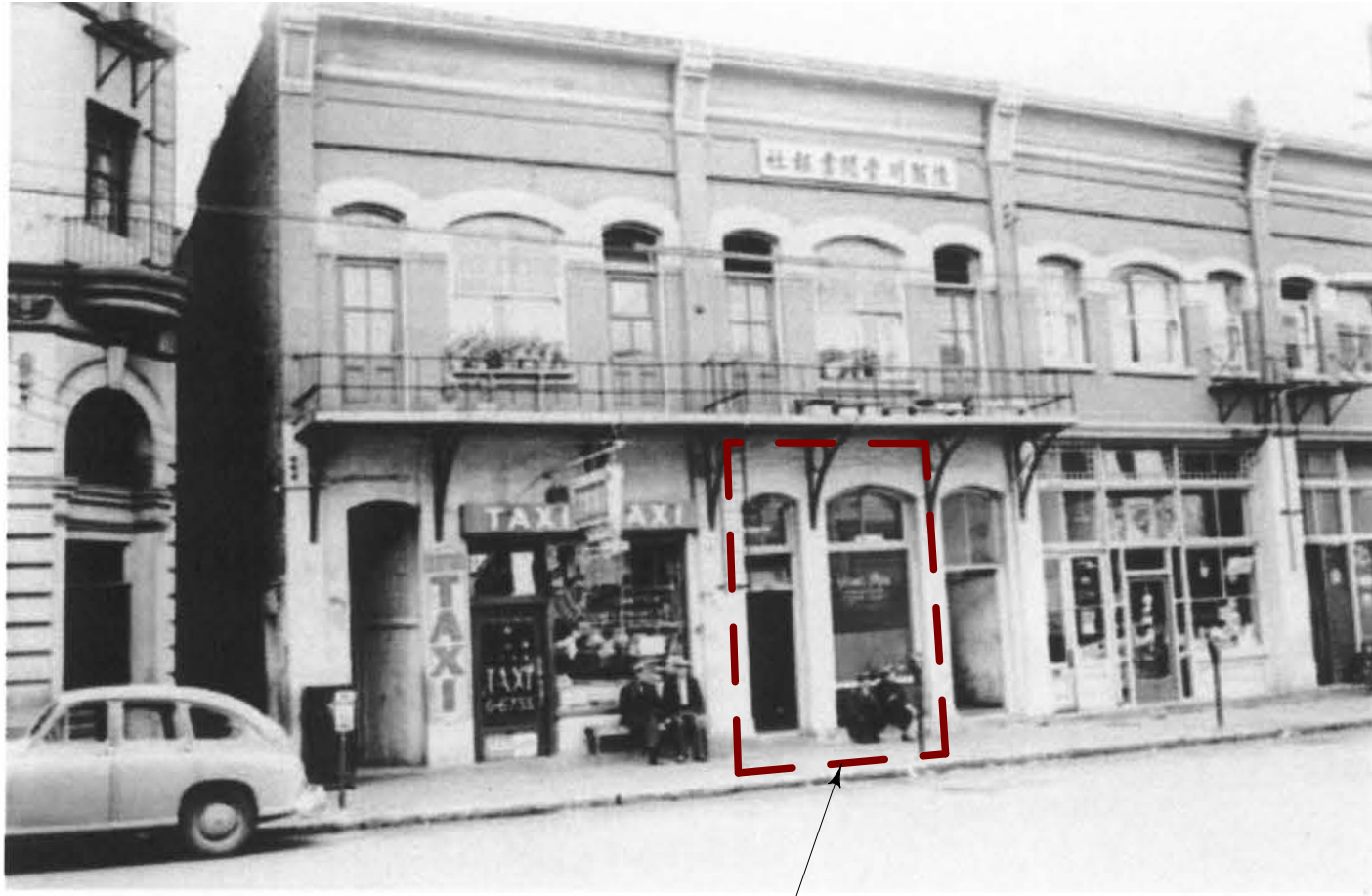
Seal	
Owner:	
Project Title: <b>539-545 1/2 Fisgard Street</b>	
Sheet Title: <b>Front Balcony</b>	
Scale: n/a	<b>BP5-401</b>
Architect of Record: Will King	
Drawn by: WK, KT, CL	
Reviewed by: GMV	
Project ID: 2019-005	



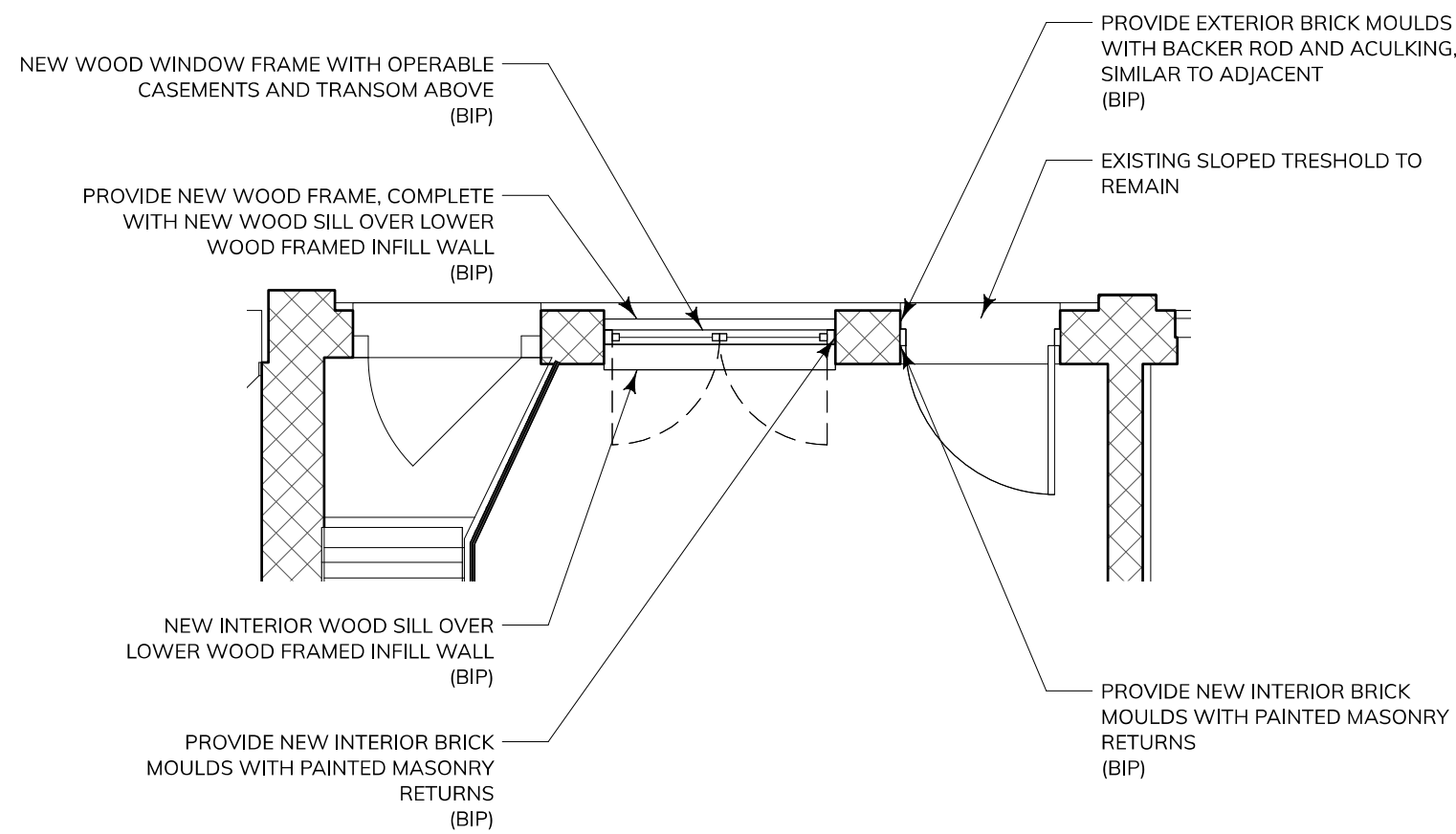


9 North Elevation (Proposed)  
Scale: 1:100

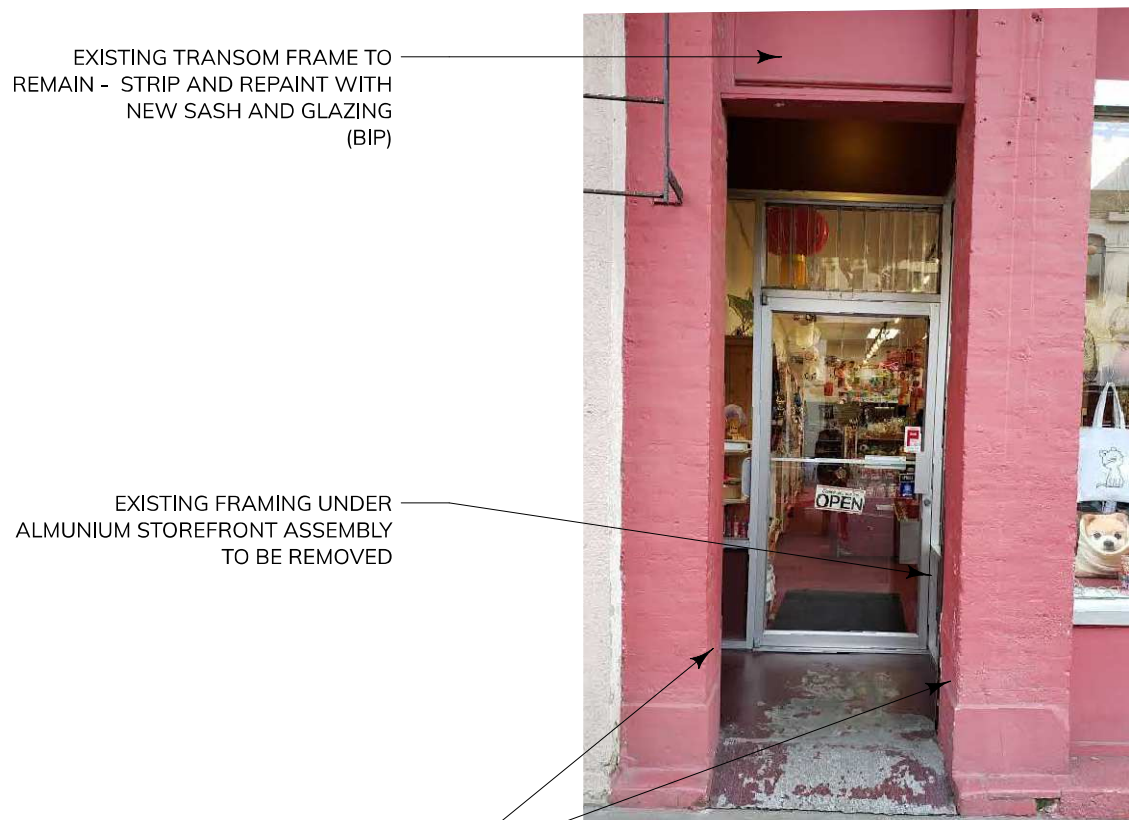
- EXISTING DOOR AND TRANSOM TO REMAIN - SEE 005 FOR DETAILS ON RESOTRATION
- COMPLETE WINDOW AND ASSOCIATED FRAMING TO BE REMOVED AND REPLACED WITH HERITAGE WOOD REPLICA (BIP)
- ENTRY SYSTEM TO BE REMOVED AND REPLACED WITH NEW HERITAGE WOOD REPLICA DOOR, INCLUDES ALL ALUMINIUM FRAMING (BIP)



NEW HERITAGE REPLICA DOOR AND WINDOW TO BE SIMILAR TO THOSE SHOWN HERE (BIP)



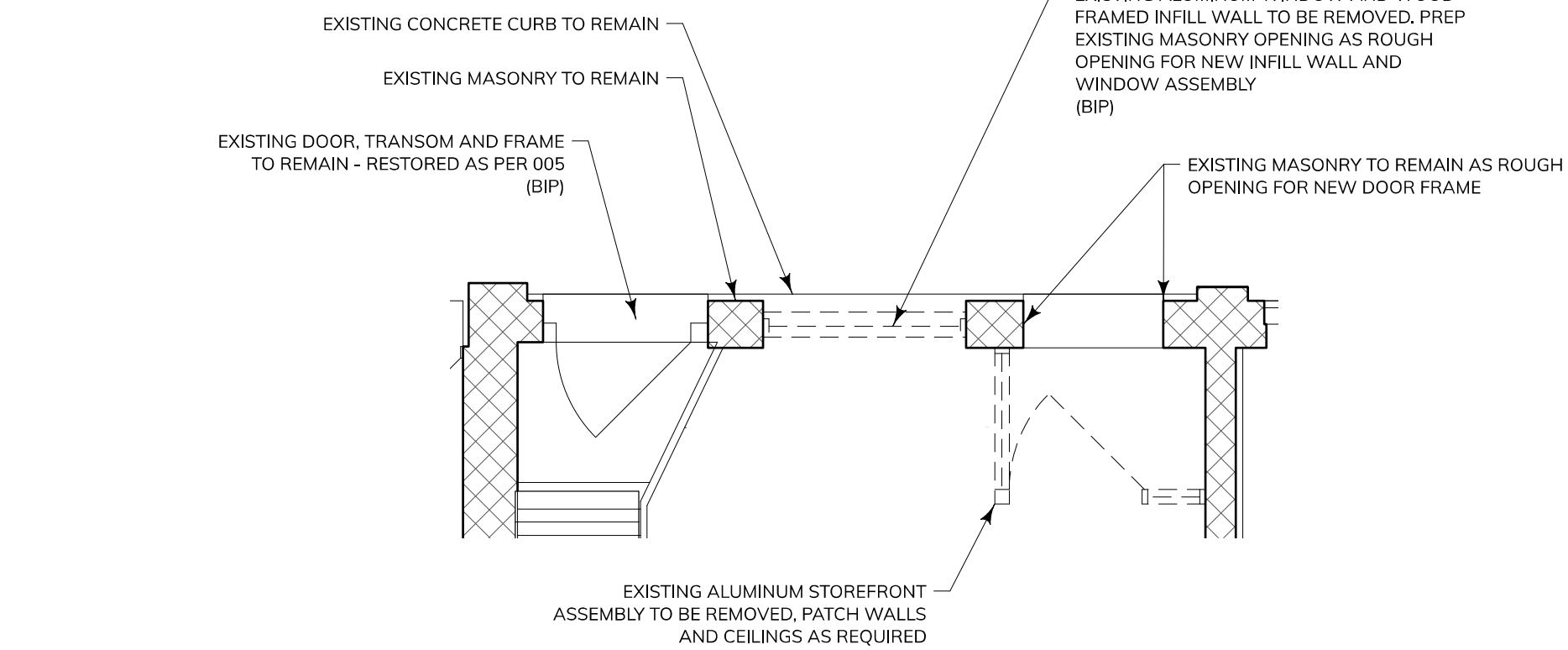
8 Restored Storefront Plan  
Scale: 1:50



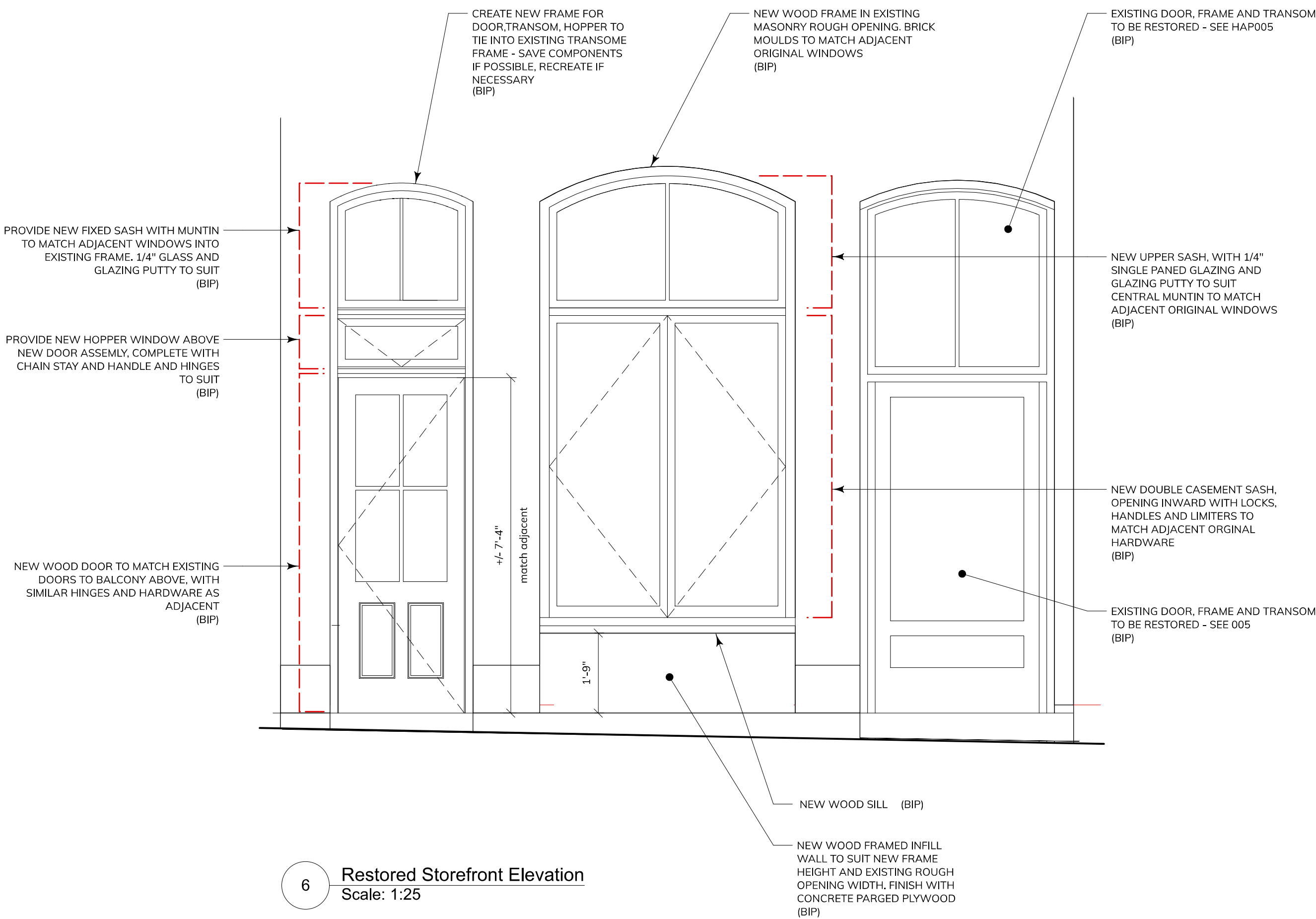
- EXISTING TRANSOM FRAME TO REMAIN - STRIP AND REPAINT WITH NEW SASH AND GLAZING (BIP)
- EXISTING FRAMING UNDER ALUMINIUM STOREFRONT ASSEMBLY TO BE REMOVED
- EXISTING MASONRY TO BE PREPARED AS ROUGH OPENING FOR NEW HERITAGE REPLICA DOOR ASSEMBLY - TO BE COMBINED WITH EXISTING TRANSOM ALREADY IN PLACE ABOVE



- REMOVE EXISTING WINDOW FRAME, INCLUDING TRIMS AND SILL
- REMOVE FRAMING UNDER WINDOW AND PREPARE MASONRY SUBSTRATE AS NEW ROUGH OPENING



7 Existing Storefront Demolition  
Scale: 1:50



6 Restored Storefront Elevation  
Scale: 1:25



WAYMARK

www.waymarkarchitecture.com  
1826 Government Street  
Victoria, BC V8T 4N5

No.	Date	Appr	Revision Notes
O	2022-04-07		Exterior Building Permit
No.	Date	Issue Notes	

**IMPORTANT: This drawing is not to be used for construction until issued for that purpose by the Architect.**

Prior to commencement of the Work, the Contractor shall review and verify drawing dimensions, datums, and levels to identify all discrepancies between information on this drawing and 1) actual site conditions; and 2) the remaining Contract Documents. The Contractor shall bring these items to the attention of the Architect for clarification before proceeding with the Work.

Seal	
Owner:	
Project Title:	
539-545 1/2 Fisgard Street	
Sheet Title:	
543 Fisgard Facade Restoration	
Scale:	Sheet Number:
n/a	
Architect of Record:	BP5-402
Will King	
Drawn by:	
WK, KT, CL	
Reviewed by:	
GMV	
Project ID:	
2019-005	



WAYMARK

IMPORTANT: copyright reserved. This design and drawing is the exclusive property of Waymark Architecture and cannot be used for any purpose without the written consent of the Architect.