




1702 QUADRA STREET + 862 FISGARD STREET
VICTORIA, BC

01.06.2023 ISSUED FOR DP

ARYZE
ARYZE DEVELOPMENT
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Revisions

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A3.2 BUILDING SECTION
A3.3 BUILDING SECTION
A3.4 BUILDING SECTION
A3.5 BUILDING SECTION

- A4.1 ENLARGED PLAN - BIKE ROOM

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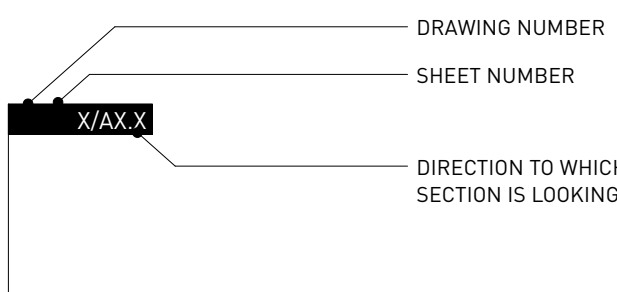
Elizabeth Balderson
E: elizabeth@biophiliacollective.ca

- L1 LANDSCAPE SITE PLAN
L2 TREE REMOVAL AND PROTECTION PLAN
L3 THIRD FLOOR PLAN
L4 ROOFTOP LANDSCAPE PLAN
L5 ROOFTOP PLANTING PLAN

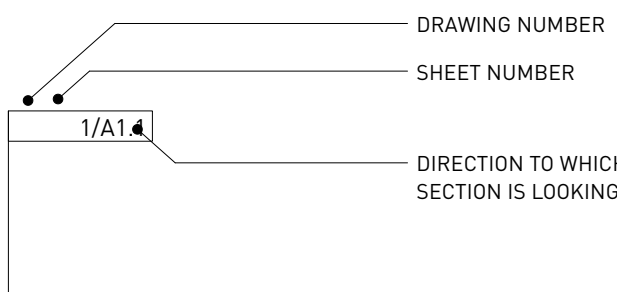
SYMBOL LEGEND:

WALL TYPE	W1
WINDOW TYPE	W01
DOOR NUMBERS	D001
EXISTING DOOR	
NEW DOOR	
FINIISH TYPE	F-1
FLOOR TYPE	LABEL
ROOF TYPE	LABEL
NOTES	N1
GRIDLINE MARKER	1

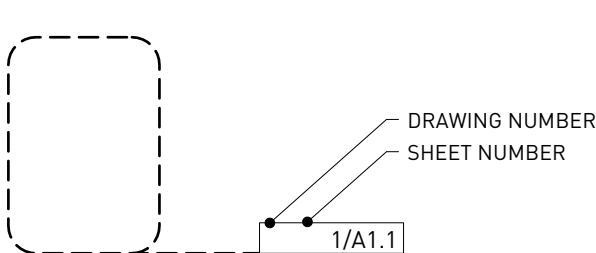
BUILDING SECTIONS:



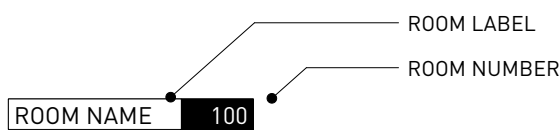
SECTIONS:



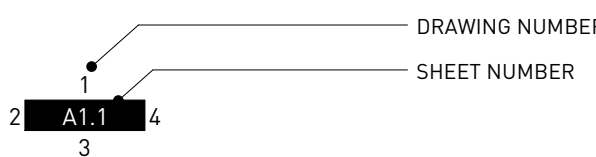
DETAILS:



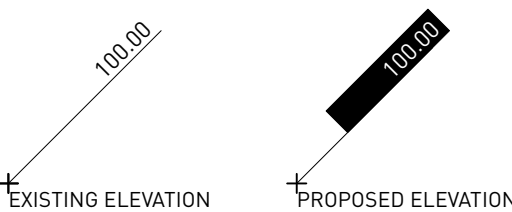
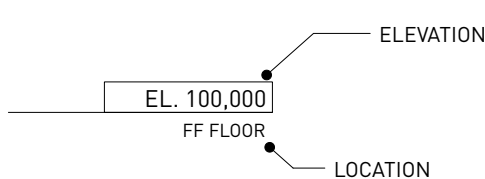
ROOM LABELS:



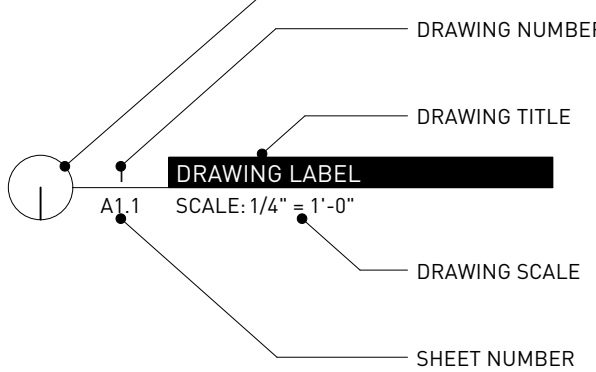
INTERIOR ELEVATIONS:



FLOOR CONSTRUCTION ELEVATIONS:



TITLES:



ABBREVIATIONS:

&	AND
ABV	ABOVE
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
B	AT
ARCH	ARCHITECTURAL
AT	ACOUSTIC TILE
AVB	AIR/VAPOUR BARRIER
BLDG	BUILDING
BLKG	BLOCKING
BRG	BEARING
BS	BOTH SIDES
B TO B	BACK TO BACK
CB	CATCH BASIN
CF	CLEAR FINISH
CG	CORNER GUARD
CJ	CONTROL JOINT
CL	CENTRE LINE
CLG	CEILING
CLR	CLEAR
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
CORR	CORRIDOR
CT	CERAMIC TILE
C/W	COMPLETE WITH
Ø	DIAMETER
DIM	DIMENSION
DN	DOWN
DRWG	DRAWING
DTL	DETAIL
EL	ELEVATION
EW	EACH WAY
EA	EACH
ELEC	ELECTRICAL
EQ	EQUAL
EXIST	EXISTING
EJ	EXPANSION JOINT
EXT	EXTERIOR
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEJ	FLOOR EXPANSION JOINT
FIN	FINISHED
FD	FLOOR DRAIN
FFD	FUNNEL DRAIN
FF	FINISHED FACE
FLEX	FLEXIBLE
FO	FACE OF
FR	FRIDGE
FRR	FIRE RESISTANCE RATING
G	GRILL
GA	GAUGE
GWB	GYP SUM WALL BOARD
GCB	GYP SUM CEILING BOARD
GC	GENERAL CONTRACTOR
GL	GLASS
HM	HOLLOW METAL
HMI	HOLLOW METAL INSULATED
HORIZ	HORIZONTAL
HR	HOUR
HSDG	HERMETICALLY SEALED DOUBLE GLAZING
HSS	HOLLOW STEEL SECTION
HSTG	HERMETICALLY SEALED TRIPLE GLAZING
HT	HEIGHT
HVAC	HEATING, VENTILATING, AIR CONDITIONING
ID	INSIDE DIAMETER
IF	INSIDE FACE
INSUL	INSULATION
INT	INTERIOR
L	LENGTH
m	METRE
mm	MILLIMETRE
MT	MOUNT
MAT'L	MATERIAL
MAX	MAXIMUM
MDF	MEDIUM DENSITY FIBREBOARD
MECH	MECHANICAL
MET	METAL
MIN	MINIMUM
MISC	MISCELLANEOUS
MN	MINUTE
MO	MASONRY OPENING
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
OC	ON CENTRE
OD	OUTSIDE DIAMETER
OPN'G	OPENING
OH	OVERHEAD
OPP	OPPOSITE
OTA	OPEN TO ABOVE
OTB	OPEN TO BELOW
OV	OVEN
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PR	PAIR
PREF	PREFINISHED
PS	PRESSED STEEL
PT	PRESSURE TREATED
PTF	PAINTED FINISH
PL	PROPERTY LINE
R	RADIUS
RD	ROOF DRAIN
REINF	REINFORCED
REQ'D	REQUIRED
REV	REVISION, REVISED, REVERSED
RO	ROUGH OPENING
SH	SHEET FLOORING
SIM	SIMILAR
SPC'D	SPECIFIED
SQ	SQUARE
ST	STEEL
STD	STANDARD
STN	STAIN FINISH
STRUCT	STRUCTURAL
SUSP	SUSPENDED
TEMP	TEMPERED
TG	TEMPERED GLASS
TO	TOP OF
TYP	TYPICAL
U/N	UNLESS OTHERWISE NOTED
U/S	UNDERSIDE
V	VARNISHED FINISH
VERT	VERTICAL
W	WIDE, WIDTH
W/	WITH
W/D	WASHER/DRYER
WD	WOOD
WHC	WOOD HOLLOW CORE
WSC	WOOD SOLID CORE

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Drawn By: EA / MM / AR
Checked By: PB
Printing Date: 01.06.2023

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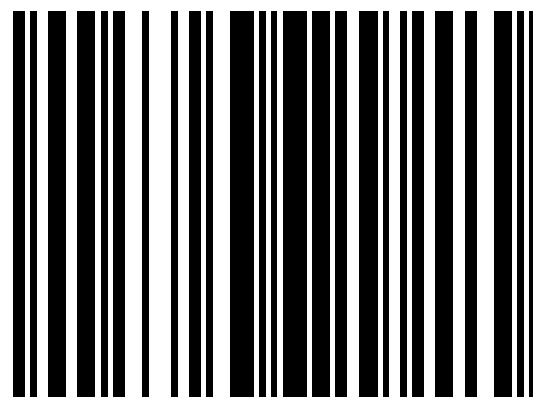
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1702 QUADRA STREET
+ 862 FISGARD STREET

GENERAL NOTES Project
0650
Sheet

AG.1



RENDER 5: AERIAL VIEW OF BUILDING



RENDER 3: STREETVIEW EXPERIENCE ALONG QUADRA



RENDER 4: VIEW OF EAST BUILDING ELEVATION FROM QUADRA

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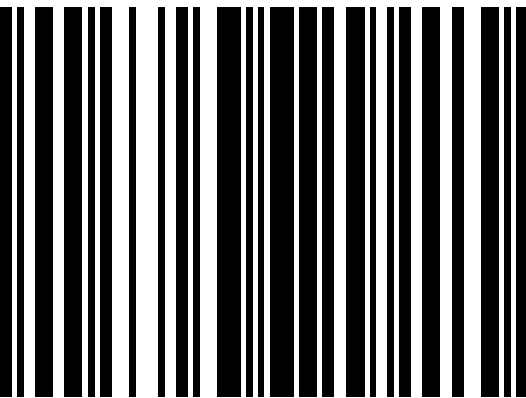
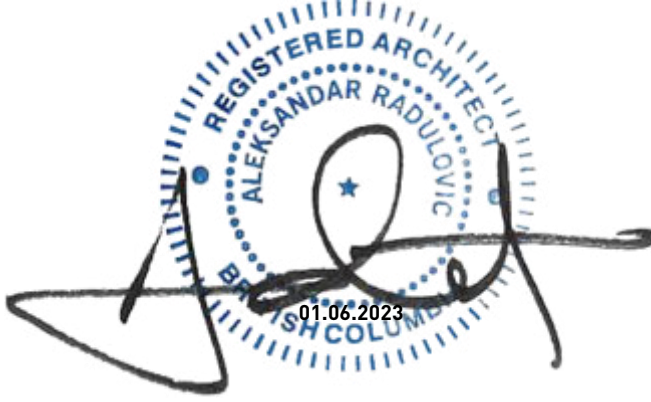
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RENDERINGS Project
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RENDER 7: STREET VIEW [VIEWING EAST DOWN FISGARD STREET]



RENDER 7: STREET VIEW [VIEWING SOUTH DOWN QUADRA STREET]

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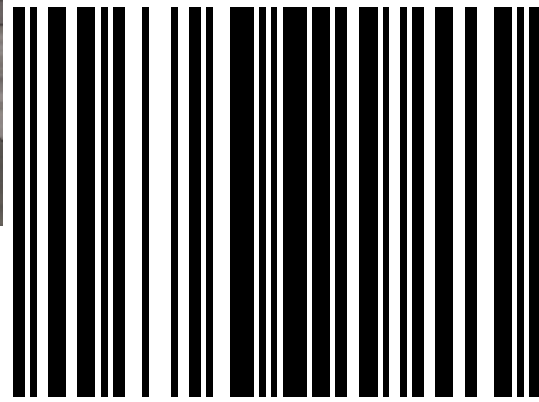
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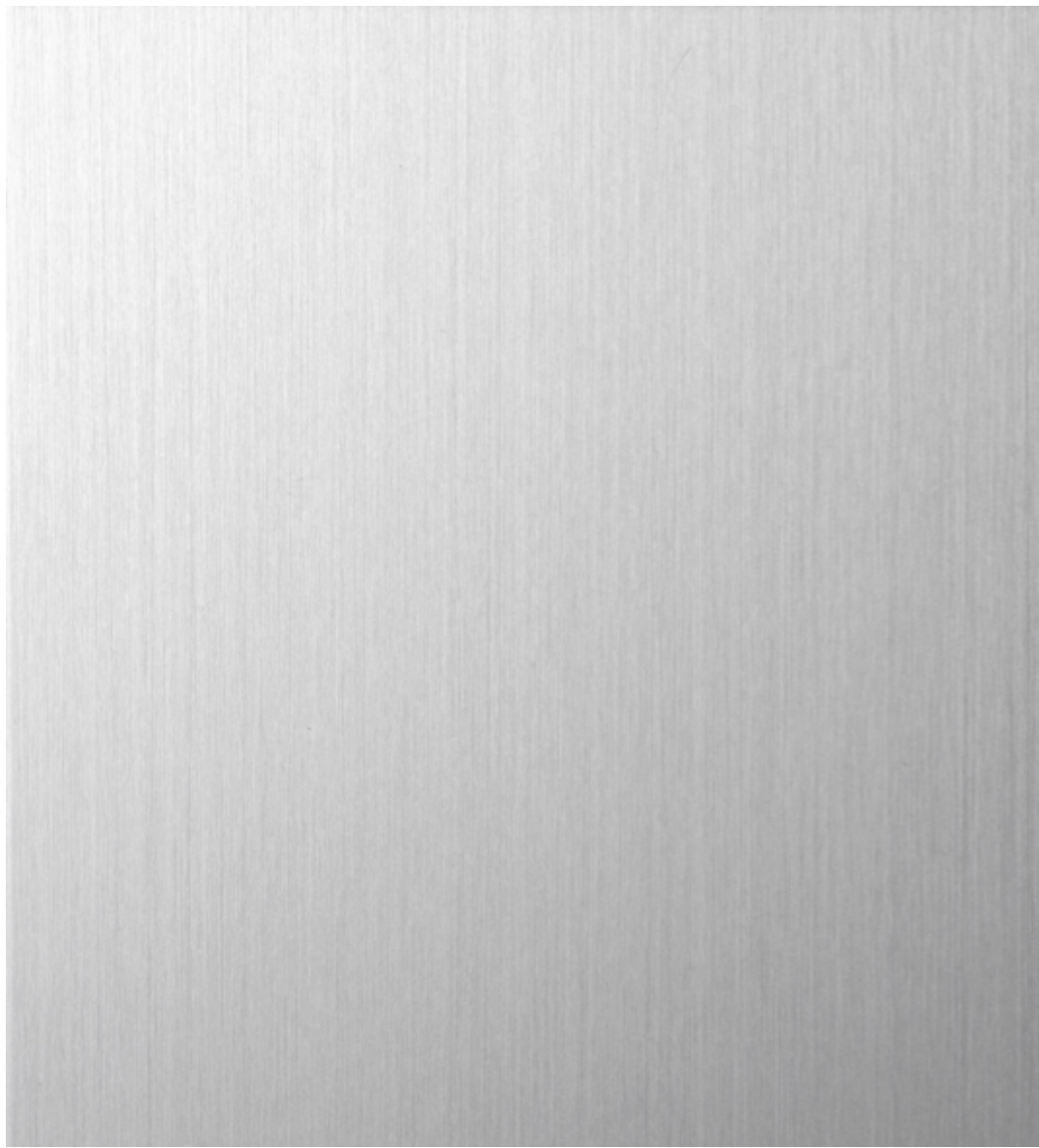
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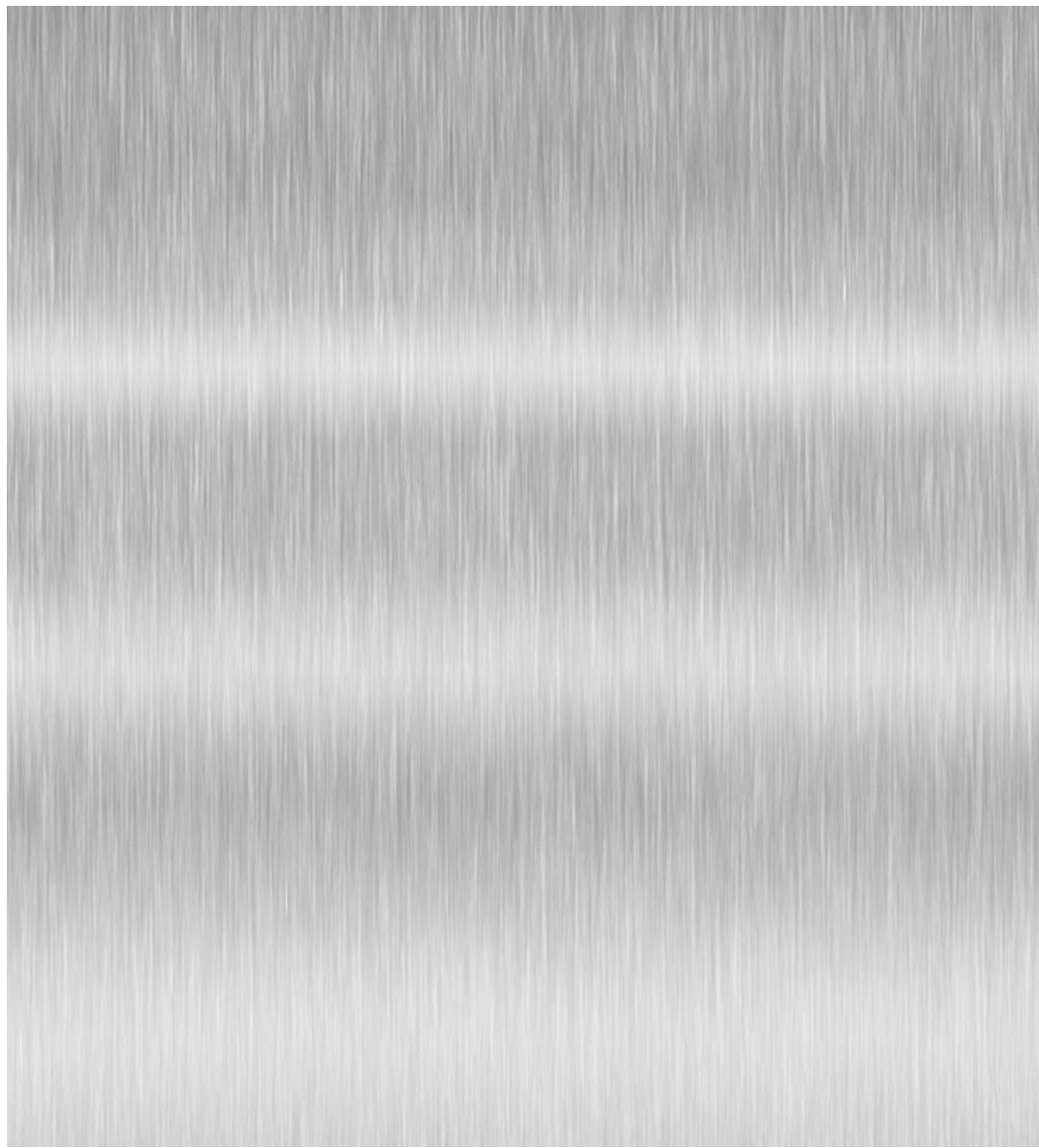
S 4 0 9 7 9 8
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RENDERINGS Project
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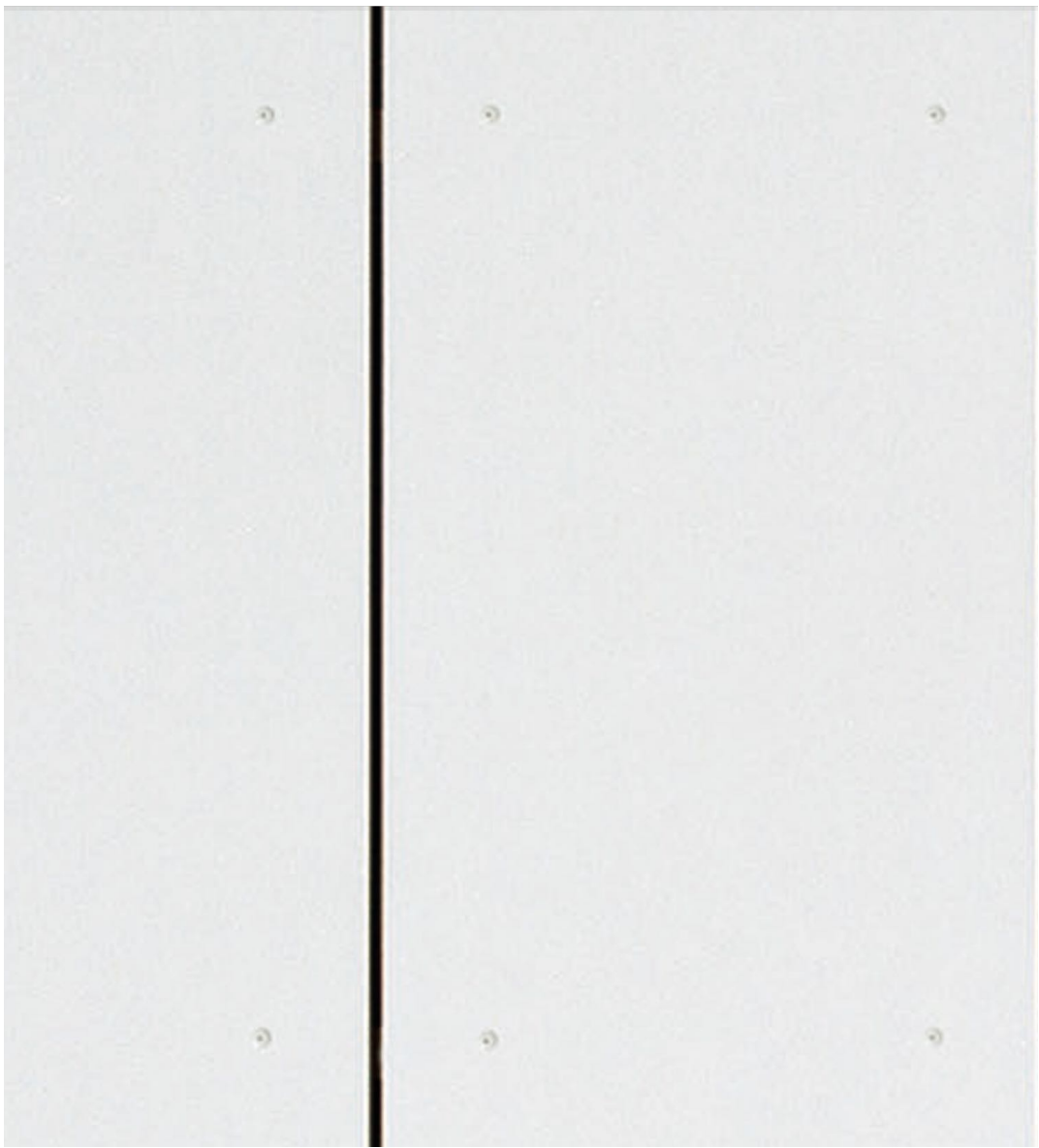
ALUMINUM MILL FINISH



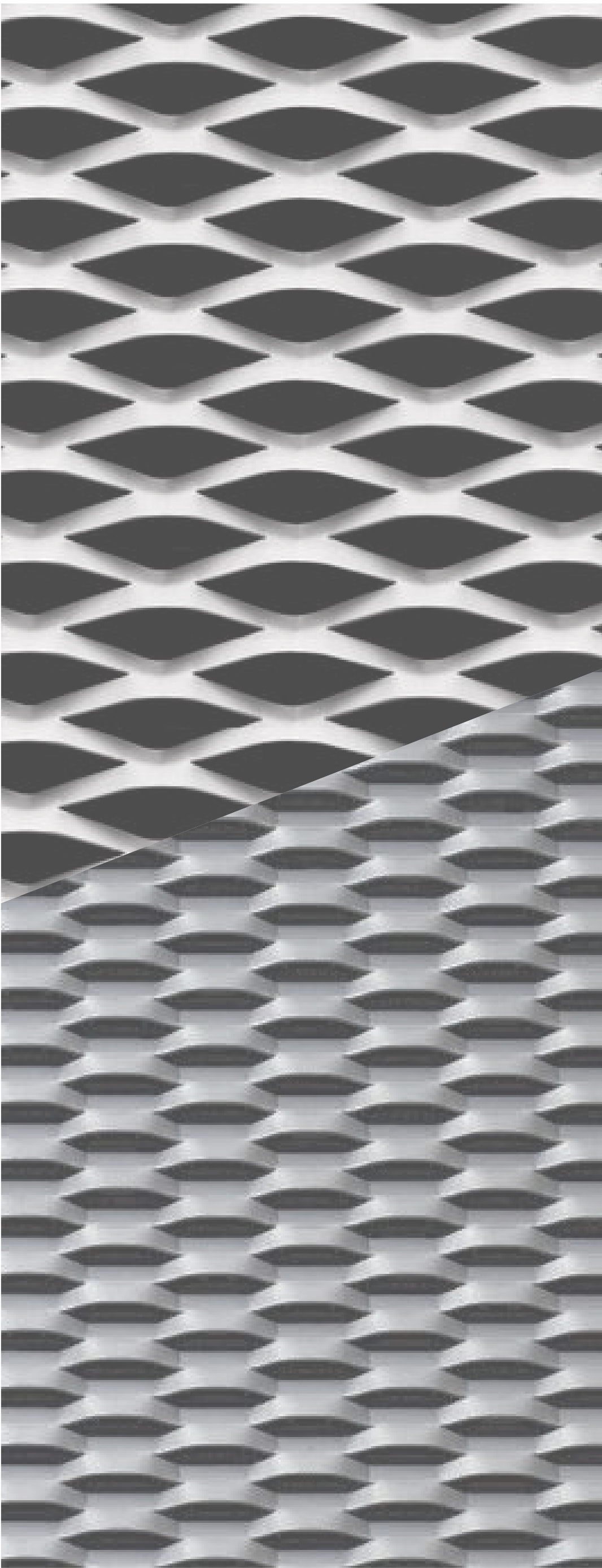
ALUMINUM BRUSHED



ALUMINUM REFLECTIVE



WHITE CEMENTITIOUS PANEL



EXPANDED METAL [ALUMINUM FINISH]



CONCRETE



BRICK



GLASS - REFLECTIVE



GLASS - TRANSLUCEN

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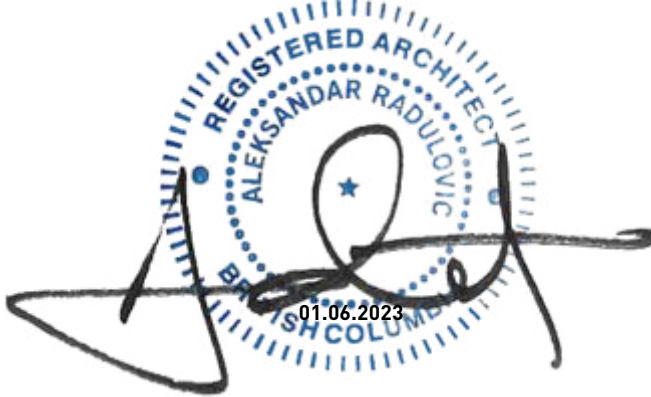
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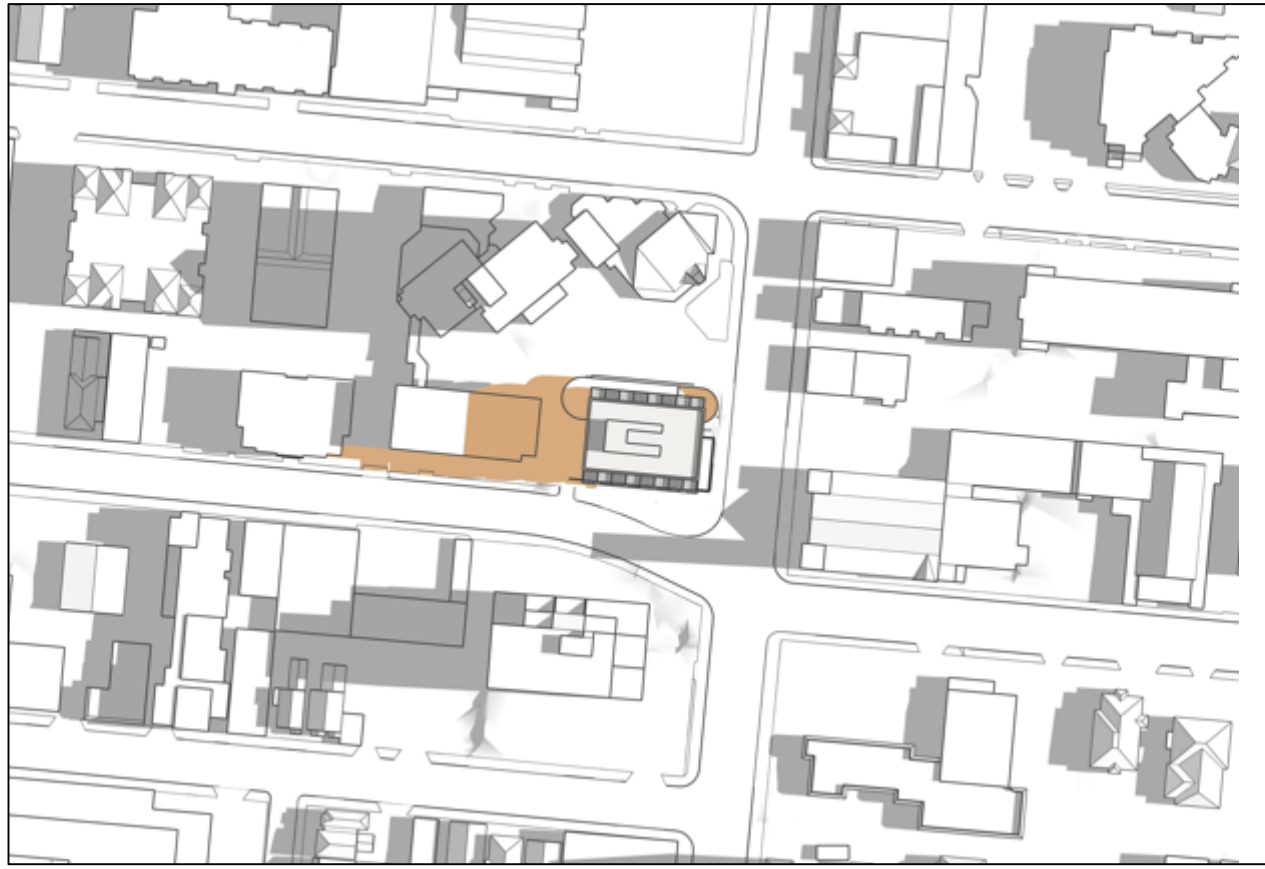
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MATERIALS Project
0650 Sheet



MARCH 20 9:00 AM



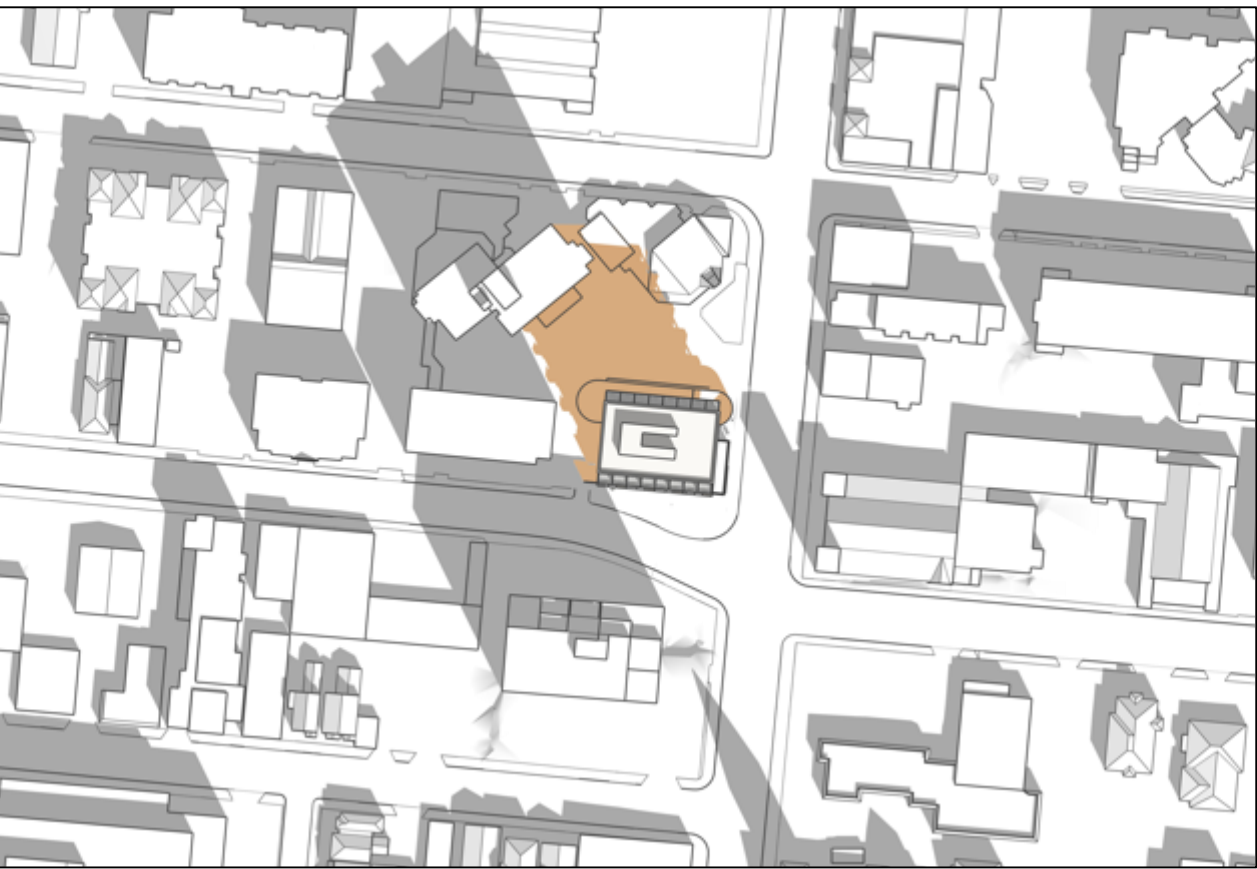
JUNE 21 9:00 AM



SEPTEMBER 22 9:00 AM



DECEMBER 21 9:00 AM



MARCH 20 12:00 PM



JUNE 21 12:00 PM



SEPTEMBER 22 12:00 PM



DECEMBER 21 12:00 PM



MARCH 20 4:00 PM



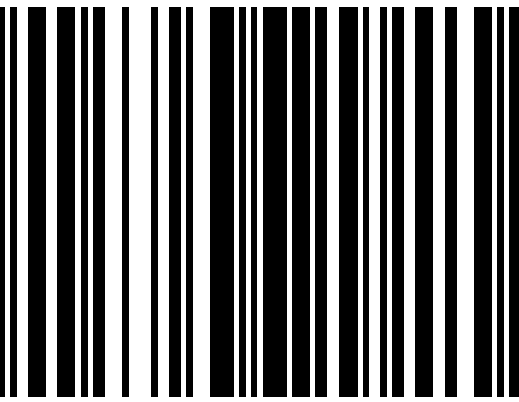
JUNE 21 4:00 PM



SEPTEMBER 22 4:00 PM



DECEMBER 21 4:00 PM





CORMORANT ST.

FISGARD ST.

N PARK ST.

EAST FACADE

EXISTING MULTIFAMILY RESIDENTIAL BUILDING

NEW BIKE PARKING

11



SOUTH FACADE

EXISTING MULTIFAMILY RESIDENTIAL BUILDING

EXISTING MULTIFAMILY RESIDENTIAL BUILDING (BEYOND)

EXISTING MULTIFAMILY RESIDENTIAL BUILDING

11

NEW BUILDING

QUADRA ST.

FIRST METROPOLITAN UNITED CHURCH - EXISTING

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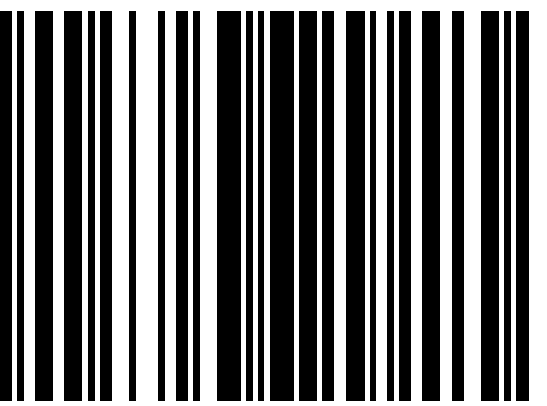
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CONTEXT ELEVATIONS Project
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AG.6

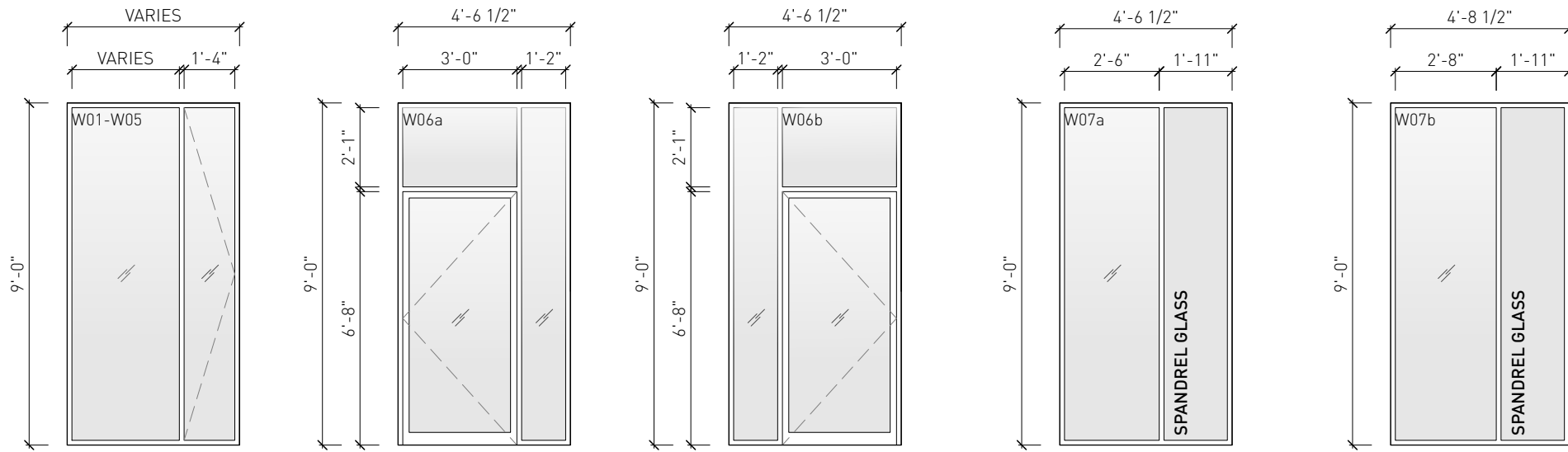
RESIDENTIAL WINDOW SCHEDULE

- ALL GLAZING TO BE HST6, LOW E ON SURFACE 2, ARGON-FILLED W/ SUPERSPACERS, LOW REFLECTIVITY COATING TO REDUCE INTERNAL GLARE
- ALUMINUM WINDOW WALL SYSTEM
- REFER TO WINDOW SUPPLIER CUT SHEETS FOR TEMPERING REQUIREMENTS
- PROVIDE PRE-FINISHED ALUMINUM FLASHING AT HEADS AND SILLS, COLOUR TO BE SELECTED BY ARCHITECT
- GLASS TO BE 3mm CLEAR (UNLESS OTHERWISE NOTED OR REQUIRED BY MANUFACTURING ENGINEER)
- ALL INTERIOR CASINGS TO BE GYPSUM BOARD RETURN
- ALL WINDOWS TO MEET NAFS-17 & CANADIAN TEST STANDARDS, ENVELOPE CONSULTANT TO REVIEW TESTING DATA.
- ALL WINDOW SPECIFICATIONS MUST COMPLY OR SURPASS ENERGY CODE CONSULTANT'S ENERGY MODEL ASSUMPTIONS
- REFER TO ENVELOPE CONSULTANT WINDOW INSTALLATION GUIDELINES FOR SILL AND THREE SIDES MEMBRANE DETAILING FOR ALL RESIDENTIAL WINDOWS
- ENVELOPE CONSULTANT TO REVIEW ALL RESIDENTIAL AND COMMERCIAL GLAZING SHOP DRAWINGS

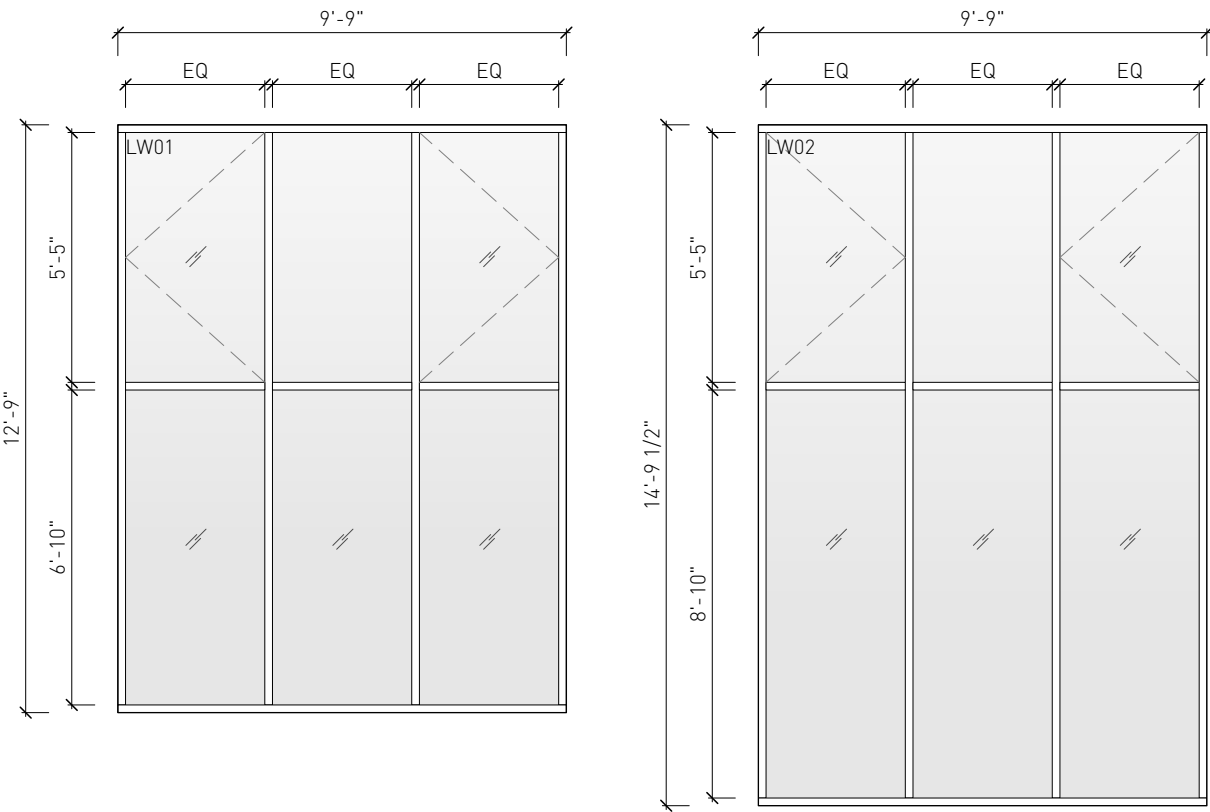
COMMERCIAL WINDOW SCHEDULE

- ALUMICOR THERMALLY BROKEN STOREFRONT OR APPROVED EQUAL, SSG, ANTI-ROTATION BLOCKS TO BE ALUMINUM OR PVC
- ALL GLAZING TO BE HST6, LOW E ON SURFACE 2, ARGON-FILLED W/ SUPERSPACERS, LOW REFLECTIVITY COATING TO REDUCE INTERNAL GLARE
- ALL EXTERIOR CURTAINWALL TO BE TEMPERED, BLACK FRAME
- GLASS TO BE 6mm CLEAR & TEMPERED
- ALL WINDOW SPECIFICATIONS MUST COMPLY OR SURPASS ENERGY CODE CONSULTANT'S ENERGY MODEL ASSUMPTIONS
- SUPPLY SPANDREL PANEL AS REQUIRED FOR MECHANICAL GRILLE PENETRATIONS OF CURTAIN WALL.
- ENVELOPE CONSULTANT TO REVIEW ALL RESIDENTIAL AND COMMERCIAL GLAZING SHOP DRAWINGS

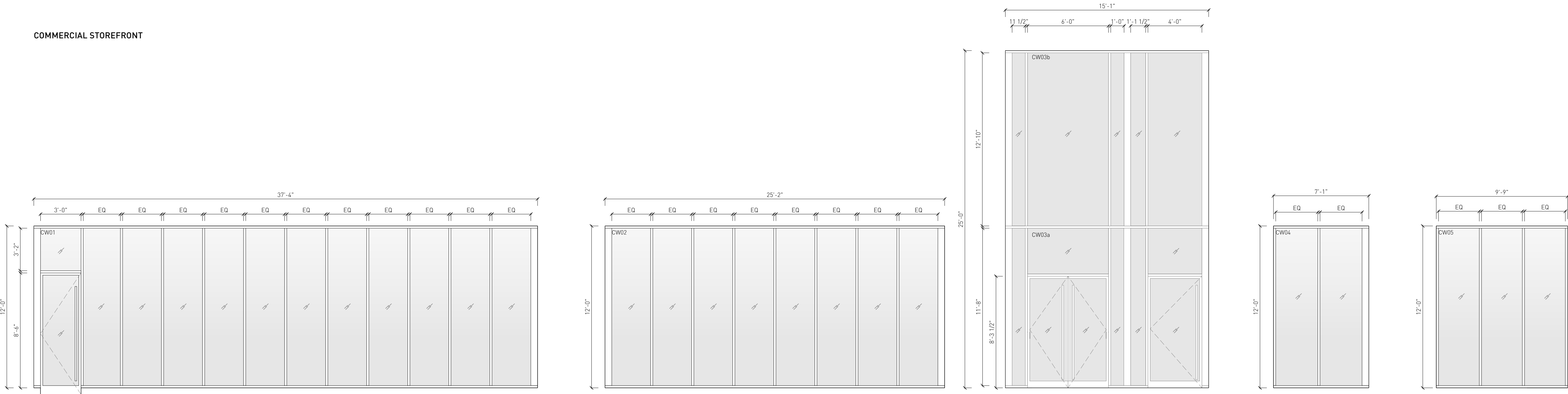
RESIDENTIAL WINDOW WALL



LIVE WORK STOREFRONT



COMMERCIAL STOREFRONT



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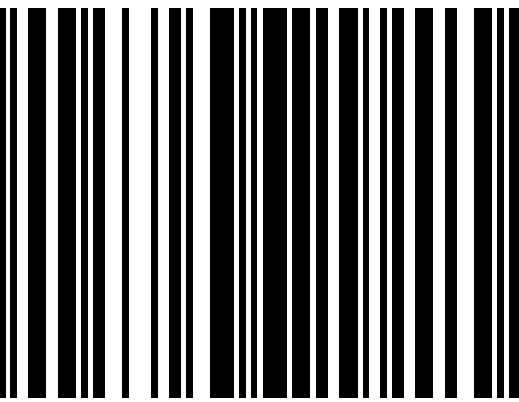
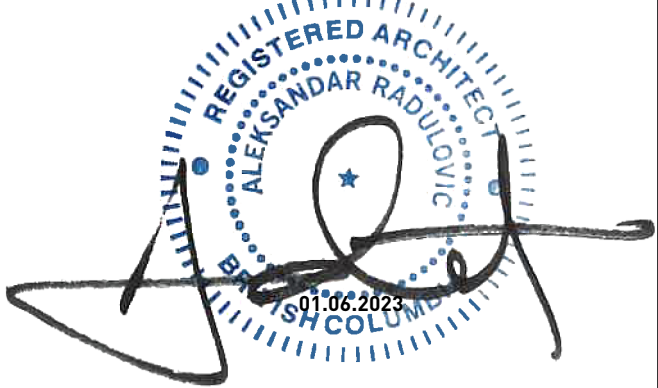
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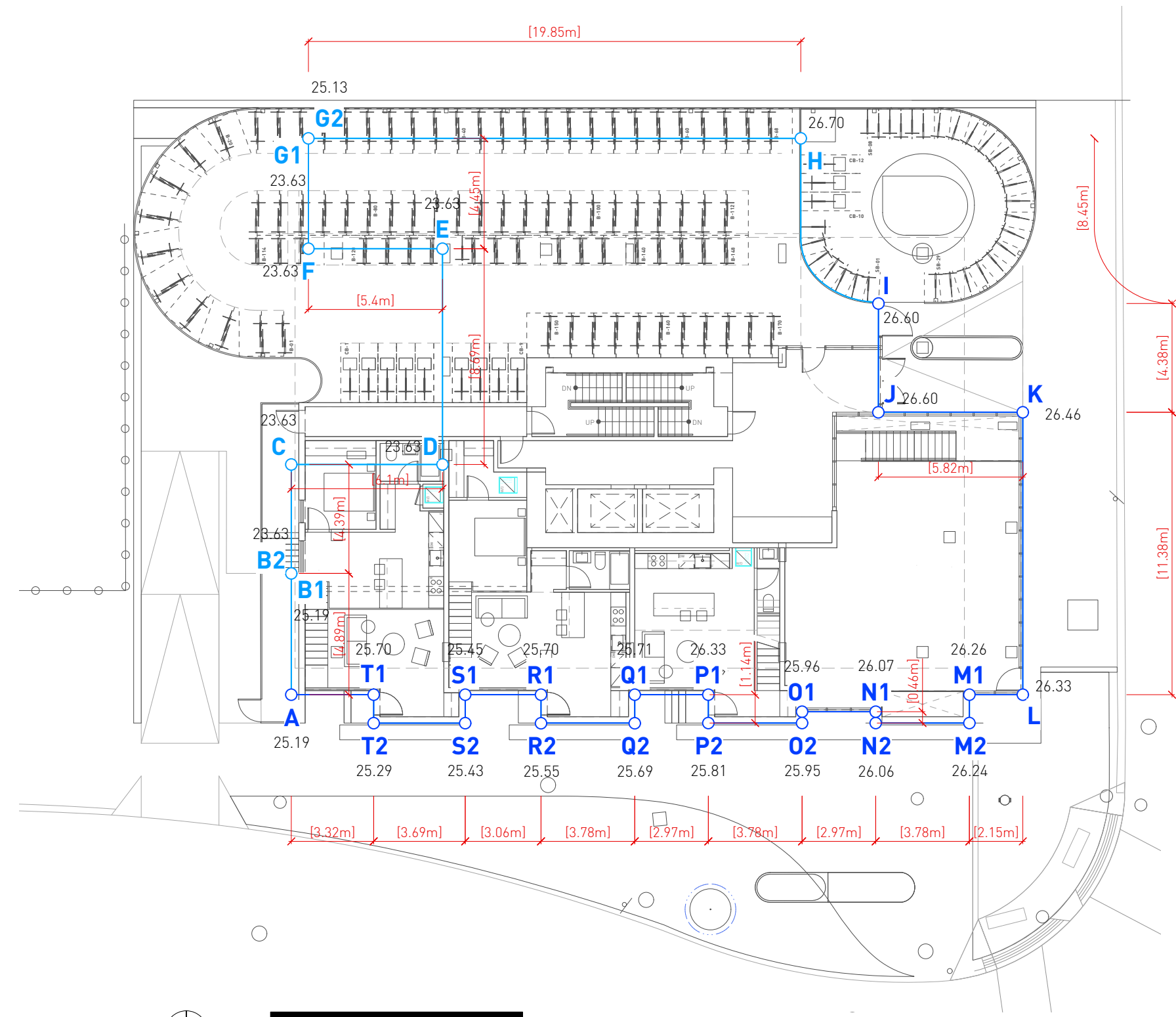


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WINDOW & DOOR
SCHEDULE

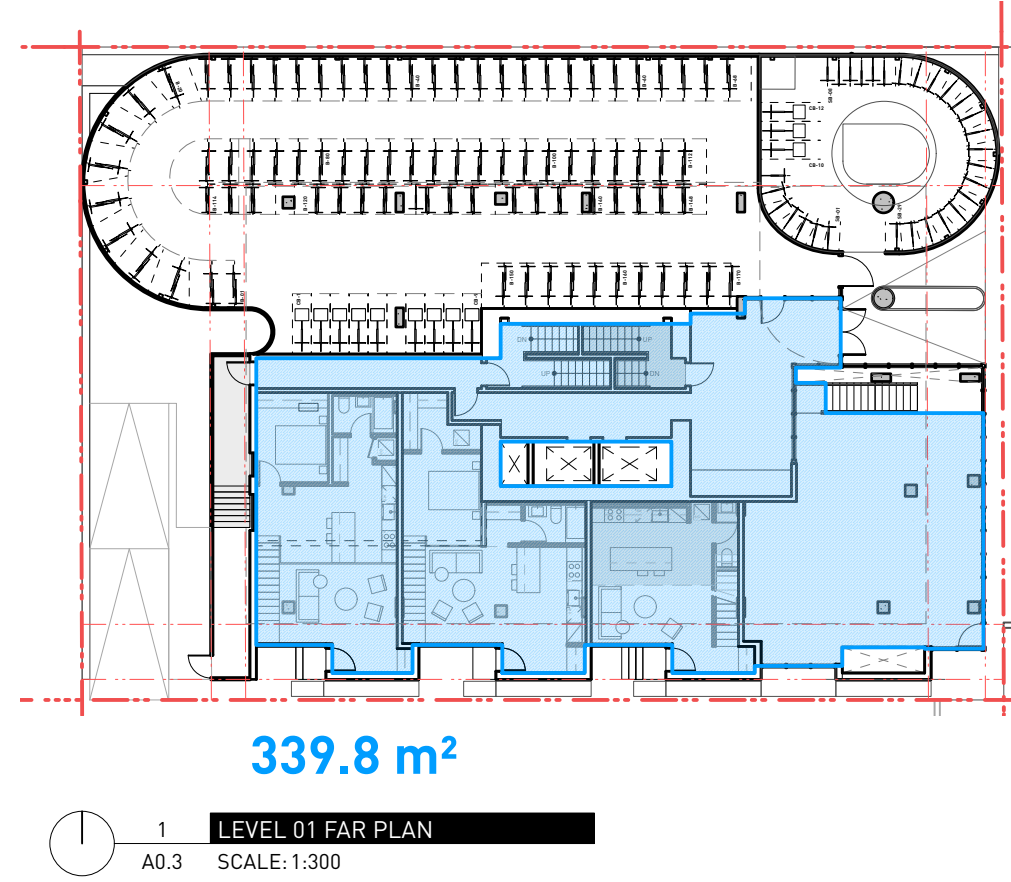
Project
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Sheet



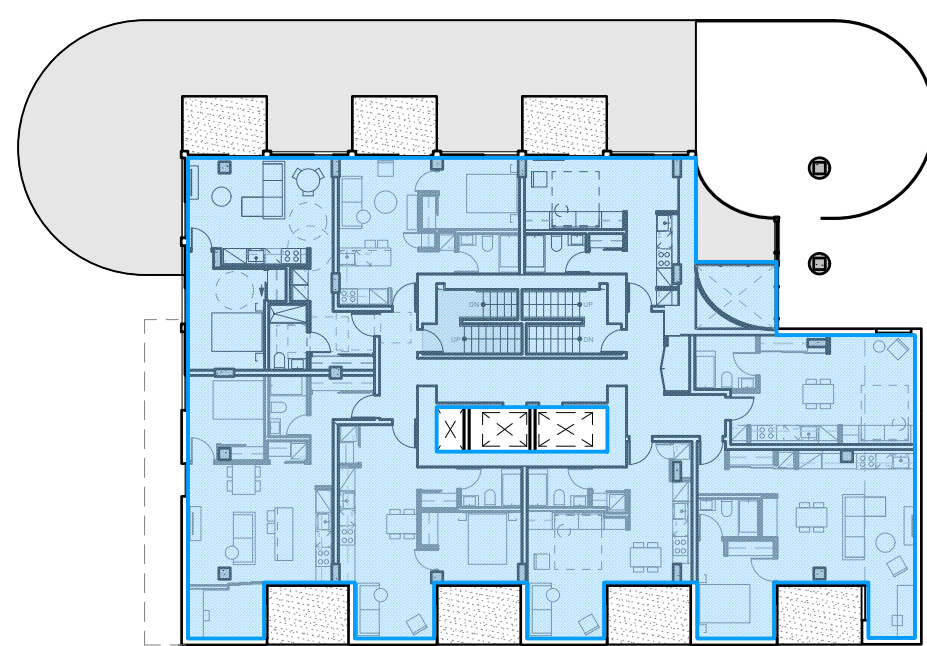
AVERAGE GRADE CALCULATION
SCALE: 1:200

GRADE POINTS		BUILDING PERIMETER
A	25.19	121.06
B1	25.19	
B2	23.63	
C	23.63	
D	23.63	
E	23.63	
F	23.63	
G1	23.63	
G2	25.13	
H	26.70	
I	26.60	
J	26.60	
K	26.46	
L	26.33	
M1	26.26	
M2	26.24	
N1	26.07	
N2	26.06	
O1	25.96	
O2	25.95	
P1	26.33	
P2	25.81	
Q1	25.71	
Q2	25.49	
R1	25.70	
R2	25.55	
S1	25.45	
S2	25.43	
T1	25.70	
T2	25.29	

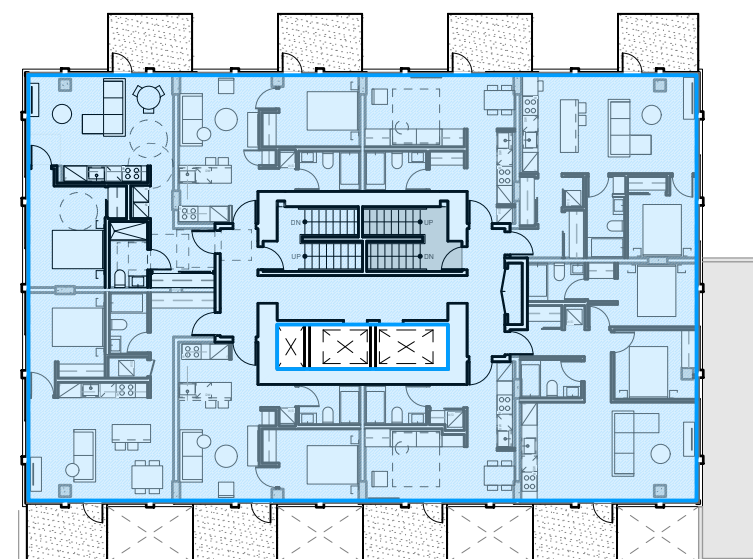
CALCULATION:	AVERAGES	DISTANCE	TOTALS
A & B1	25.19	4.89	123.18
B2 & C	23.63	4.39	103.74
C & D	23.63	4.1	166.14
D & E	23.63	8.69	205.34
E & F	23.63	5.4	127.60
F & G1	23.63	4.45	105.15
G2 & H	25.92	19.85	514.41
H & I	26.65	8.45	225.19
I & J	26.60	4.38	116.51
J & K	26.53	5.82	154.40
K & L	26.40	11.38	300.38
L & M	26.30	2.15	56.53
M1 & M2	26.25	1.14	29.93
M2 & N2	26.15	3.78	98.85
N2 & N1	26.07	0.66	11.99
N1 & O1	26.02	2.97	77.26
O1 & O2	25.96	0.66	11.94
O2 & P2	25.88	3.78	97.83
P2 & P1	26.07	1.14	29.72
P1 & Q1	26.02	2.97	77.28
Q1 & Q2	25.70	1.14	29.30
Q2 & R2	25.62	3.78	96.84
R2 & R1	25.63	1.14	29.21
R1 & S1	25.58	3.06	78.26
S1 & S2	25.44	1.14	29.00
S2 & T2	25.34	3.69	93.58
T2 & T1	25.50	1.14	29.06
T1 & A	25.45	3.32	84.48
			121.06
			3,081.11
AVERAGE GRADE			
25.45			



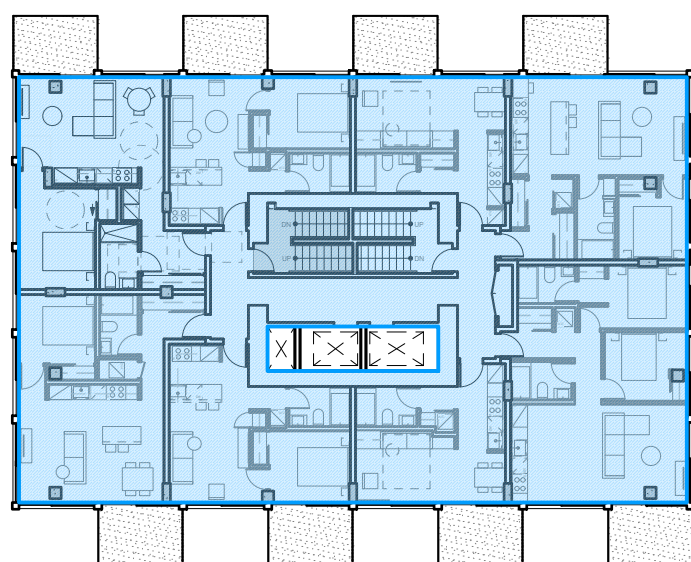
LEVEL 01 FAR PLAN
SCALE: 1:300



LEVEL 02 FAR PLAN
SCALE: 1:300



LEVEL 03 FAR PLAN
SCALE: 1:300



LEVEL 04-12 FAR PLAN
SCALE: 1:300

REVISION NO. 1				May 31, 2023
SITE INFORMATION				
LEGAL DESCRIPTION	ZONING: R3-C	LOTS: A, 1, 2	SUBURBAN LOT: 4	PLAN: CITY 01516011
CIVIC ADDRESS	1702 QUADRA STREET, VICTORIA, BC			

ZONING	CURRENT [R-3C, RESIDENTIAL MULTI-FAMILY]	PROPOSED [R-3C, COMMERCIAL RESIDENTIAL]	1702 QUADRA PROJECT STATS
SITE AREA [m²]			947.78
GROSS FLOOR AREA [m²]			5212.56
FLOOR SPACE RATIO	3.0	5.50	5.50
SITE COVERAGE (%)			78.7%
OPEN SITE SPACE (%)			21.3%
AVERAGE GRADE			25.45 m
BUILDING HEIGHT	NO BUILDING SHALL EXCEED 37 METRES IN HEIGHT	36 METRES	13 STOREYS [42.70m]
SETBACKS			
NORTH [SIDE]	6.0m	3.7m	5.5m [EXCLUDING BIKE PARKING ENCLOSURE]
EAST [FRONT]	4.5m	0.0m	0.7m [BASE] 3.0m [TOWER]
SOUTH [FLANKING]	4.5m	3.0m	0.82m [BASE] 3.0m [TOWER]
WEST [REAR]	6.0m	4.8m	6.5m [EXCLUDING BIKE PARKING ENCLOSURE]

BUILDING DATA			
UNIT TYPES	AVERAGE AREA (M²)	UNIT COUNT	TOTAL AREA (M²)
RESIDENTIAL			
BACHELOR	31.72	23	729.50
1 BEDROOM UNIT	48.28	55	2,655.43
2 BEDROOM UNIT	67.89	10	678.90
OTHER			
COMMERCIAL UNIT [S]	86.32	1	86.32
WORK / LIVE	60.66	3	63.09
TOTAL		92	
TOTAL RENTABLE AREA			4,213.24

RESIDENTIAL UNIT MIX	UNIT COUNT	%
BACHELOR	23	25%
1 BEDROOM UNIT	55	60%
2 BEDROOM UNIT	10	11%

SITE DATA	
	AREA [m²]
LEVEL 01	339.80
LEVEL 02	457.60
LEVEL 03	437.50
LEVEL 04	437.50
LEVEL 05	437.50
LEVEL 06	437.50
LEVEL 07	437.50
LEVEL 08	437.50
LEVEL 09	437.50
LEVEL 10	437.50
LEVEL 11	437.50
LEVEL 12	437.50
LEVEL 13	40.16
TOTAL GROSS FLOOR AREA	5212.56
BUILDING FOOTPRINT	745.69

REQUIRED VEHICULAR PARKING			
	UNIT COUNT	RATE	REQUIRED STALLS
RESIDENTIAL			
UNIT < 45 M²	44	0.85 STALLS / UNIT	37
UNIT 45-70 M²	47	1.0 STALLS / UNIT	47
UNIT > 70 M²	0	1.45 STALLS / UNIT	0
VISITOR	91	0.1 STALLS / UNIT	9
COMMERCIAL			
RESTAURANT	86.32 m²	1.0 STALLS / 20m²	4
TOTAL REQUIRED			98
TOTAL PROPOSED			2

REQUIRED BIKE PARKING			
	UNIT COUNT	RATE	REQUIRED STALLS
LONG TERM			
UNIT < 45 M²	44	1.0 STALLS / UNIT	44
UNIT > 45 M²	47	1.25 STALLS / UNIT	32
RESTAURANT	86.32 m²	1.0 STALLS / 400m²	1
TOTAL REQUIRED			77
TOTAL PROPOSED			170

SHORT TERM			
	UNIT COUNT	RATE	REQUIRED STALLS
RESIDENTIAL	91	0.1 STALLS / UNIT	9.1
RESTAURANT	86.32 m²	1.0 STALLS / 100m²	1
TOTAL REQUIRED			11
TOTAL PROPOSED			32

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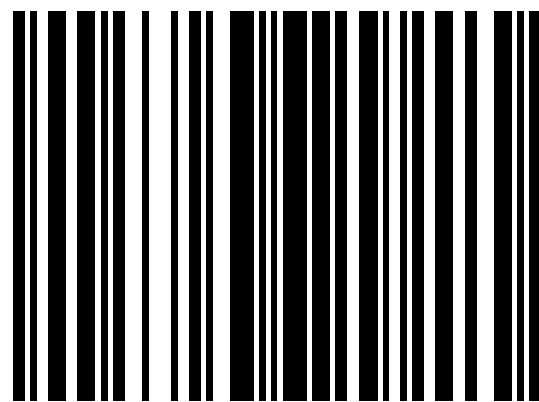
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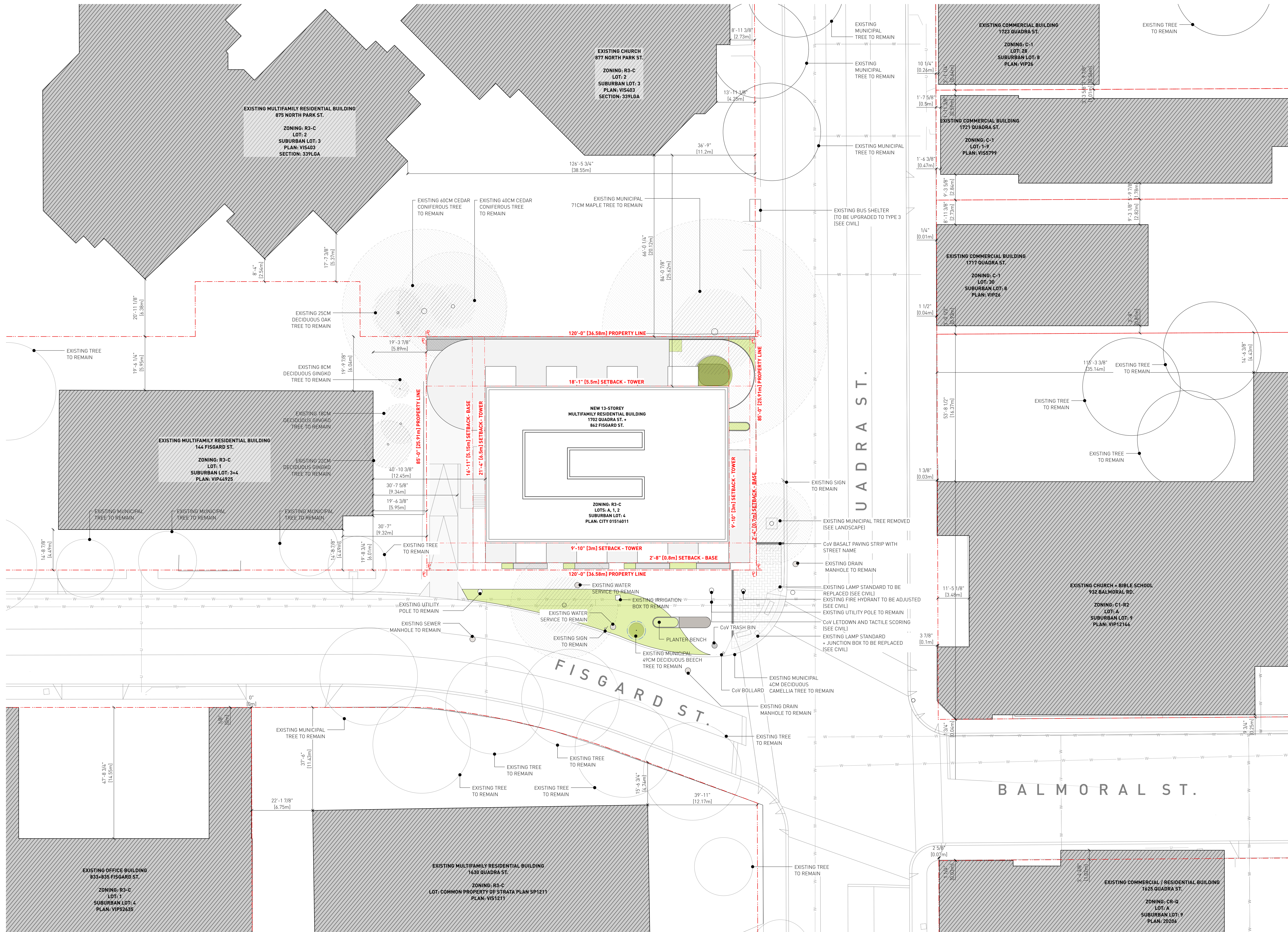


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Winnipeg MB R3B 0S8
P: 204.480.8421
F: 204.480.8876

1702 QUADRA STREET
+ 862 FISGARD STREET

ZONING CALCULATIONS Project
0650
Sheet

AG.8



LEGEND:

- EXISTING BUILDING (TO BE DEMOLISHED)
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPERTY LINE
- SETBACK LINE
- EXISTING FENCE
- EXISTING GAS LINE
- EXISTING WATER MAIN
- EXISTING SANITARY LINE
- EXISTING DRAIN LINE
- EXISTING TREE (TO BE REMOVED)
- EXISTING TREE
- EXISTING TREE ROOT AREA
- EXISTING TREE ROOT AREA (TO BE REMOVED)
- EXISTING HYDRO POLE
- EXISTING FIRE HYDRANT

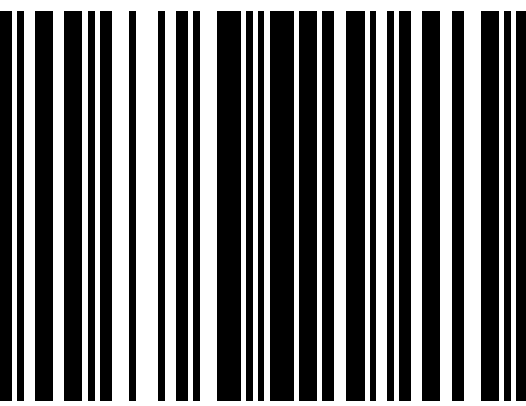
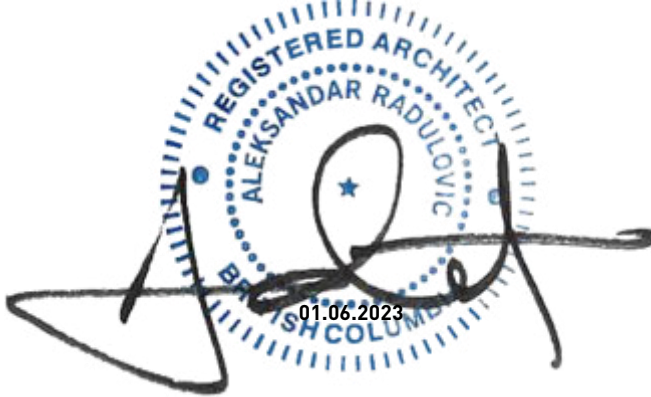
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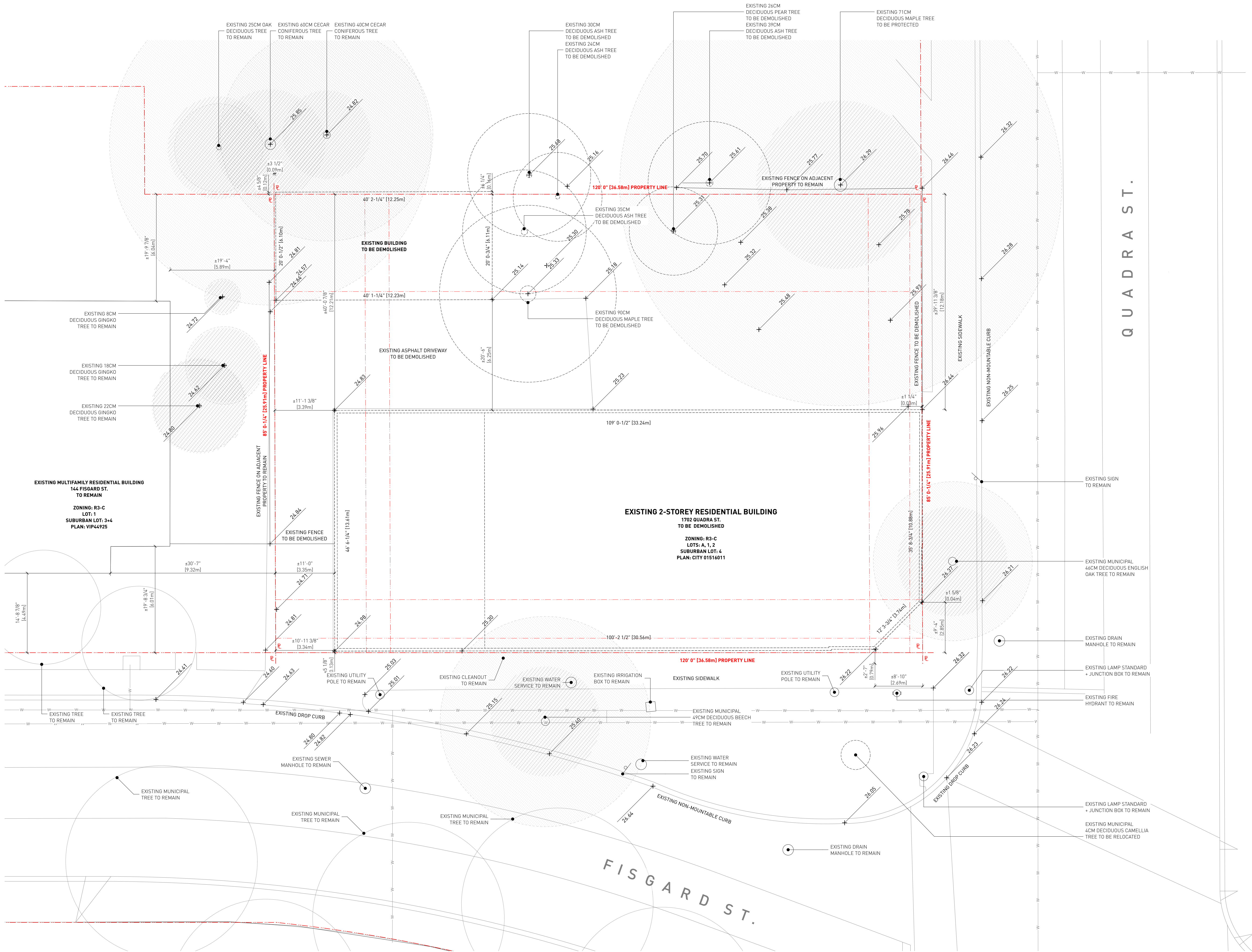
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CONTEXT SITE PLAN Project
0650
Sheet



LEGEND:

- EXISTING BUILDING (TO BE DEMOLISHED)
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPERTY LINE
- SETBACK LINE
- EXISTING FENCE
- EXISTING GAS LINE
- EXISTING WATER MAIN
- EXISTING SANITARY LINE
- EXISTING DRAIN LINE
- EXISTING TREE (TO BE REMOVED)
- EXISTING TREE
- EXISTING TREE ROOT AREA
- EXISTING TREE ROOT AREA (TO BE REMOVED)
- EXISTING HYDRO POLE
- EXISTING FIRE HYDRANT

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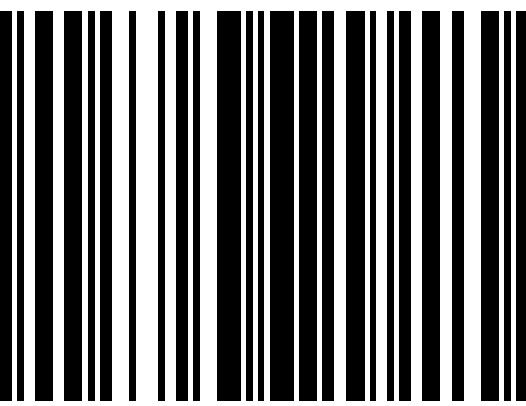
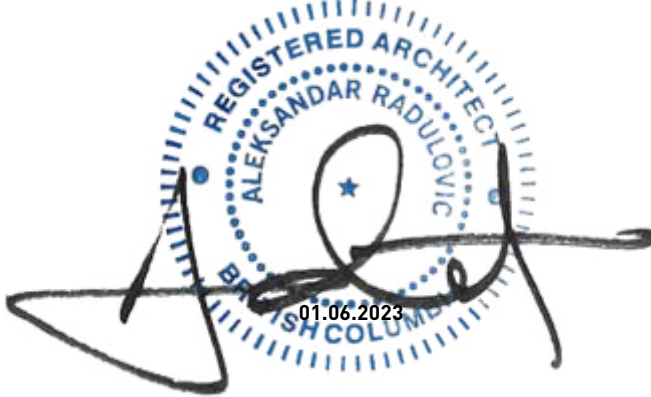
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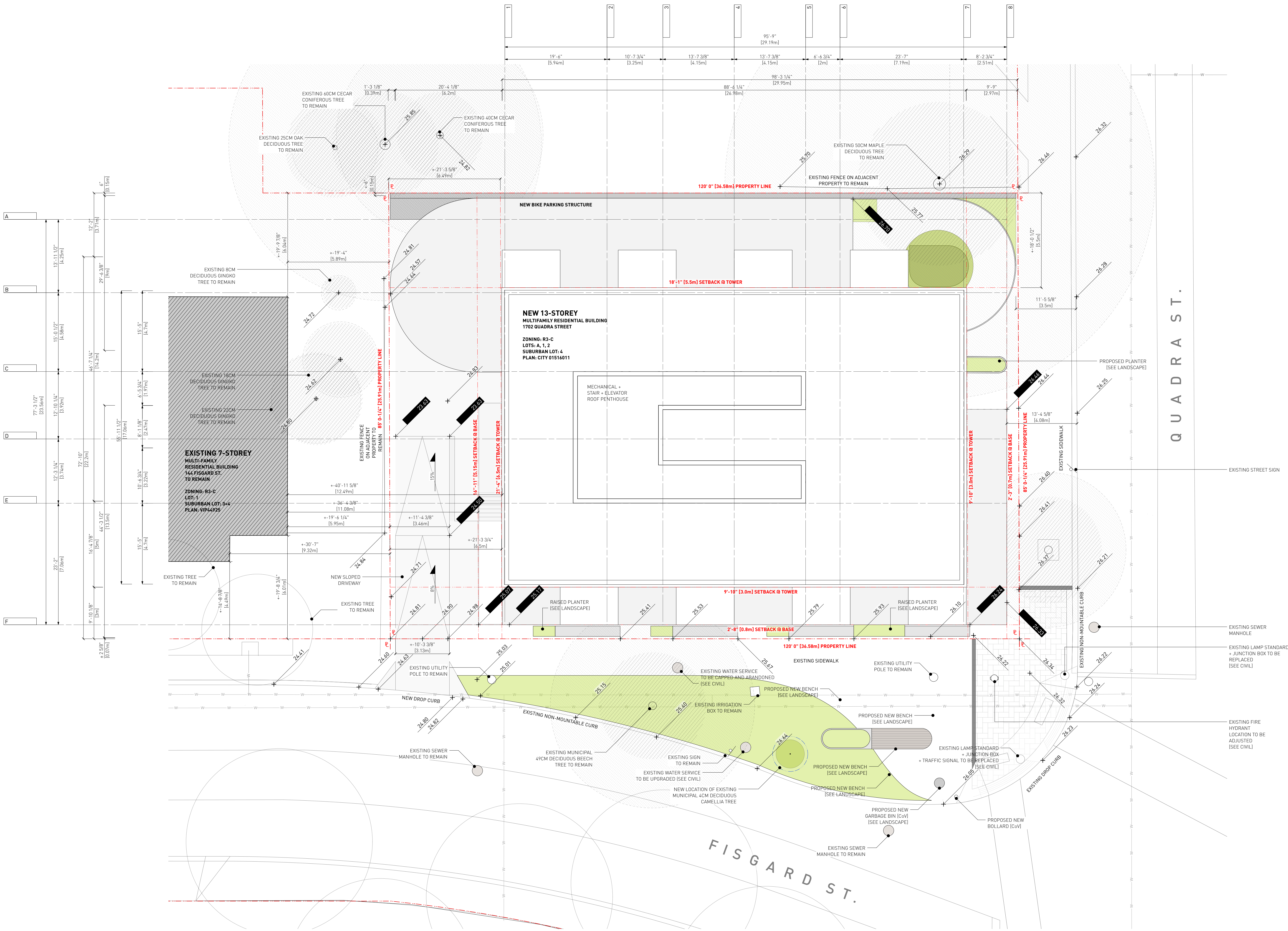
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1702 QUADRA STREET
+ 862 FISGARD STREET

EXISTING SITE PLAN +
DEMOLITION

Project
0650
Sheet

A0.2



- LEGEND:**
- BELOW
 - ABOVE
 - EXISTING BUILDING
 - PROPOSED BUILDING
 - PROPERTY LINE
 - SETBACK LINE
 - FENCE
 - TREE (REF. TO ANNOTATION)
 - CRITICAL ROOT ZONE
 - EXISTING HYDRO POLE
 - EXISTING FIRE HYDRANT
 - PROPOSED DECK / BENCH
 - PROPOSED BIKE PARKING

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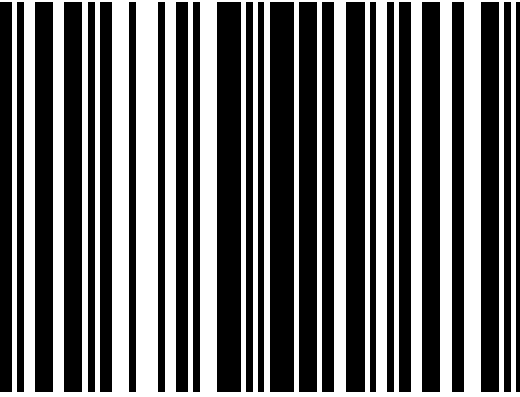
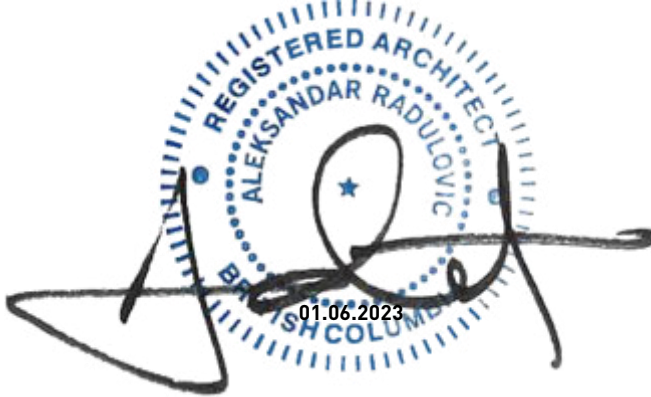
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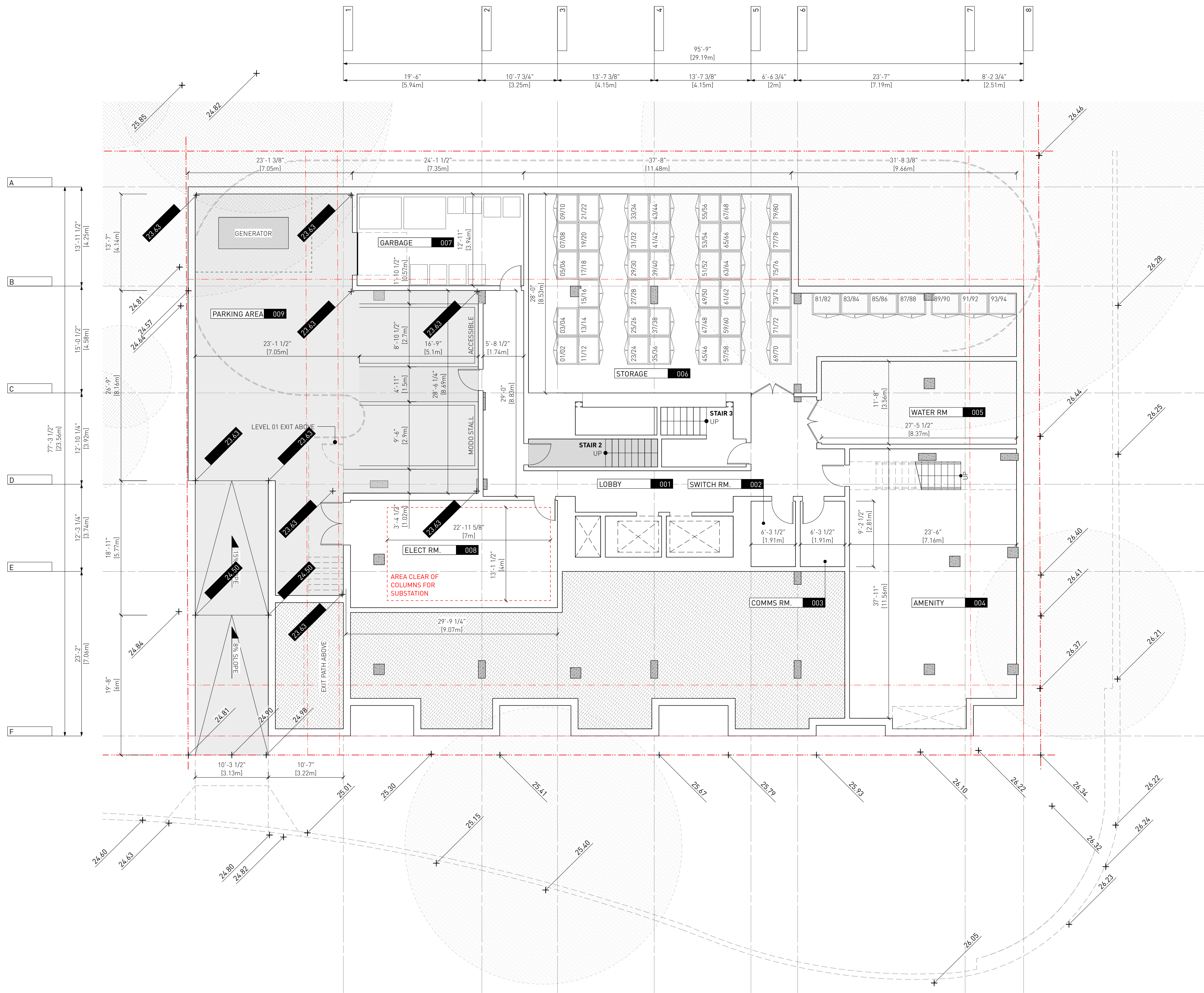
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7
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1702 QUADRA STREET
+ 862 FISGARD STREET



LEGEND:

- BELOW
ABOVE
EXISTING BUILDING
PROPOSED BUILDING
PROPERTY LINE
SETBACK LINE
FENCE
TREE (REF. TO ANNOTATION)
CRITICAL ROOT ZONE
EXISTING HYDRO POLE
EXISTING FIRE HYDRANT
PROPOSED DECK / BENCH
PROPOSED BIKE PARKING

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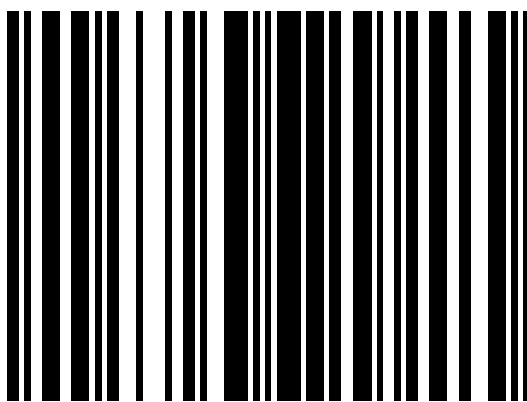
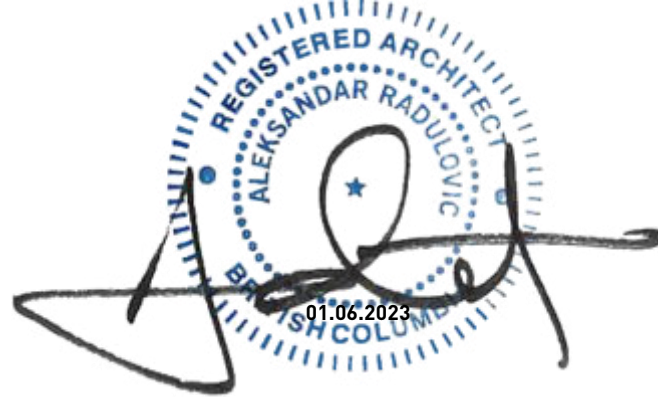
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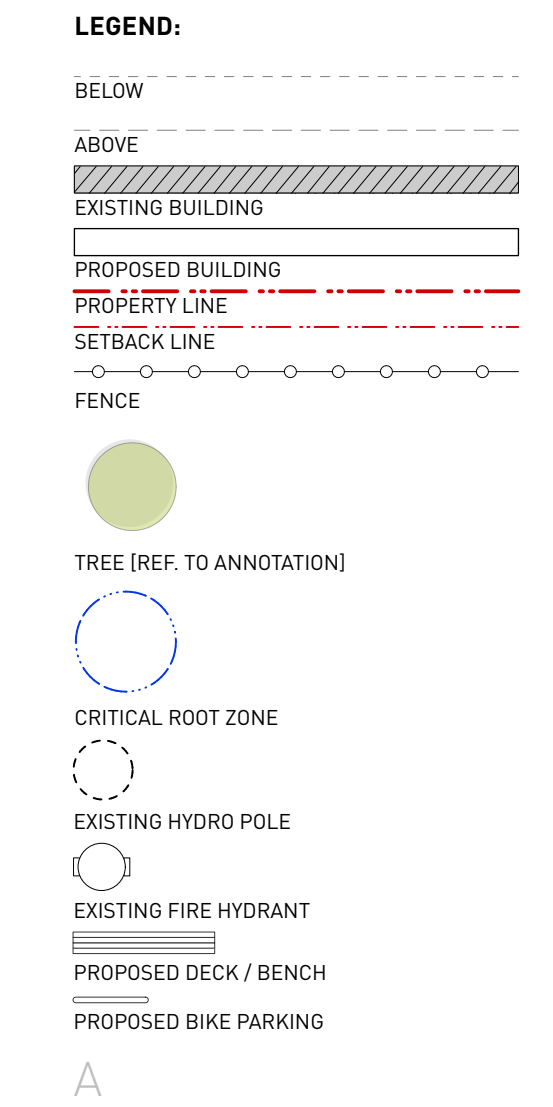
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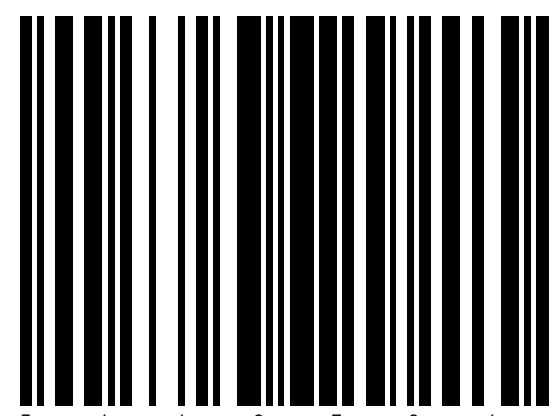


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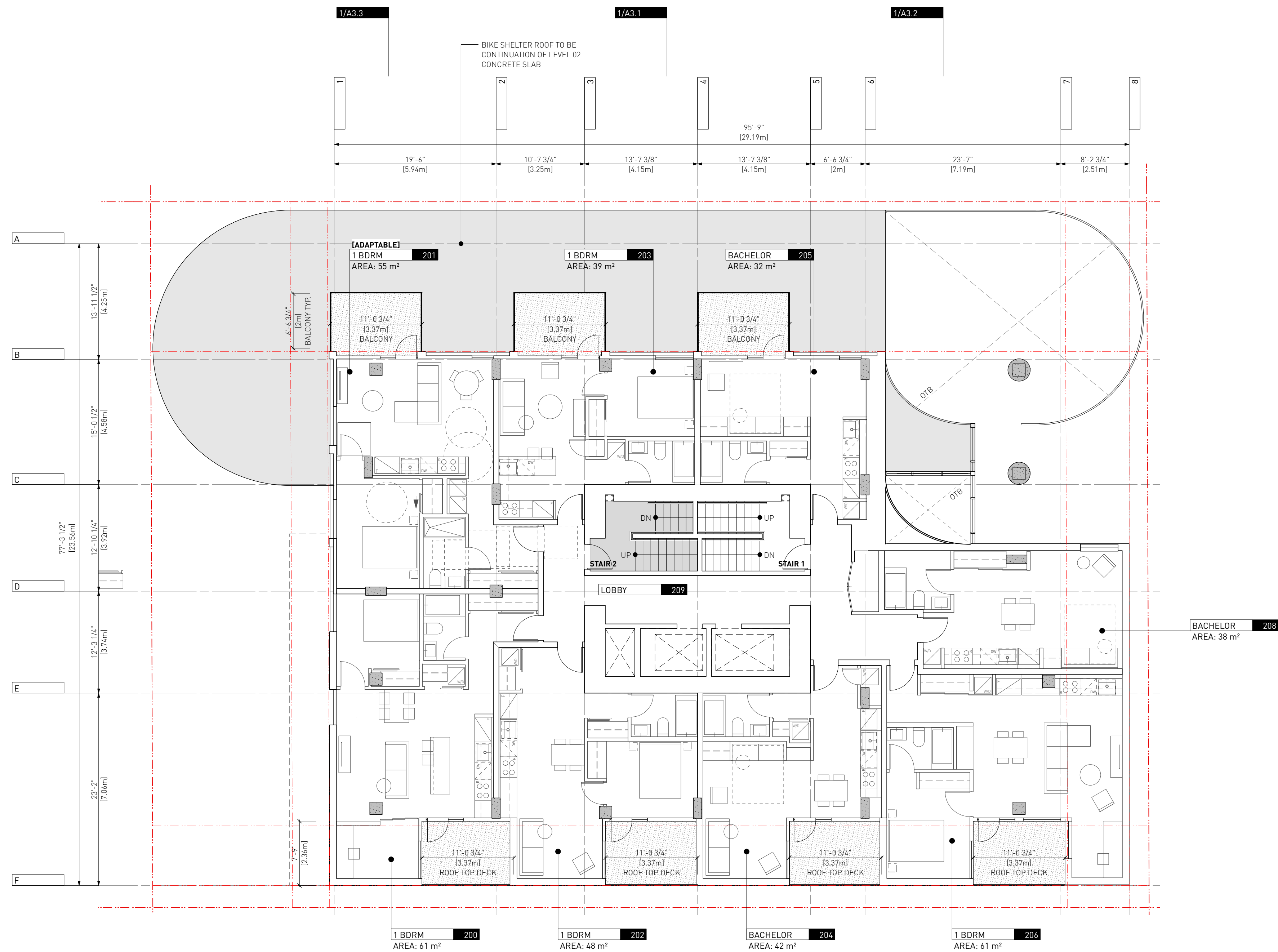
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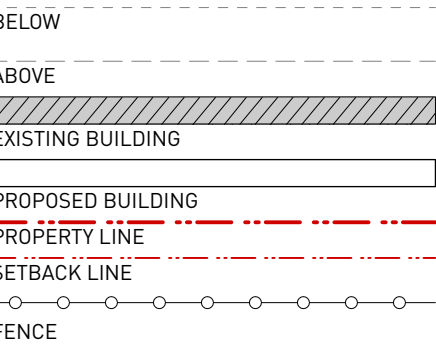


A1.2



1 LEVEL 02 PLAN
A1.3 SCALE: 1:100

LEGEND:



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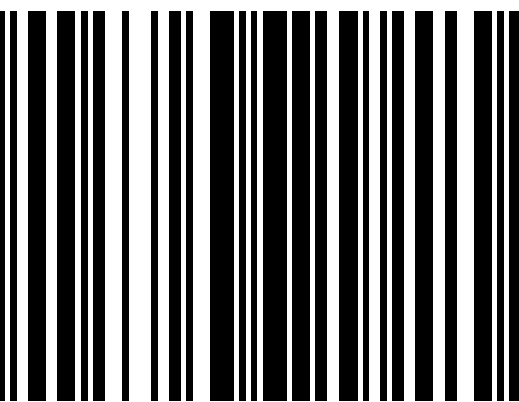
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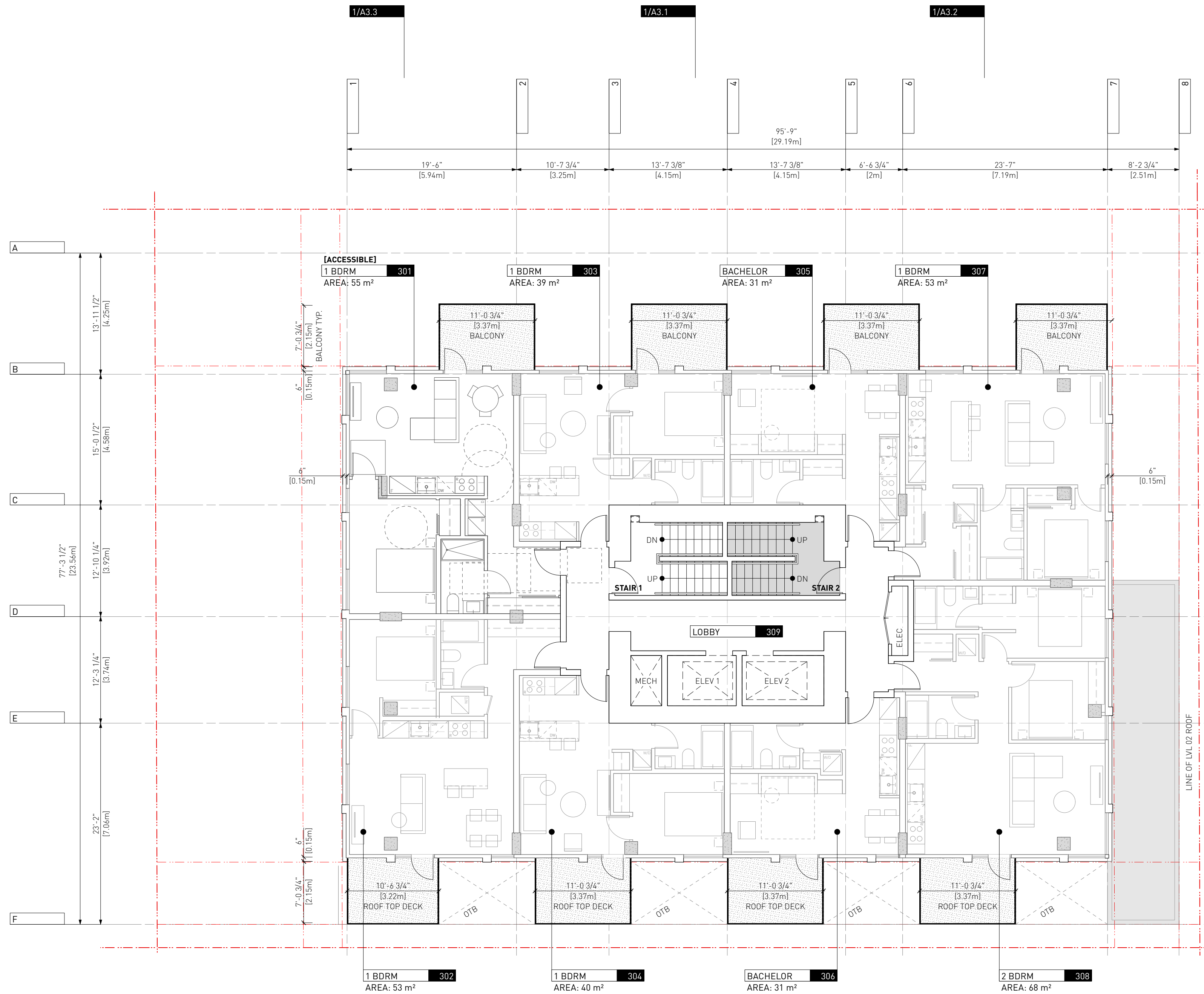
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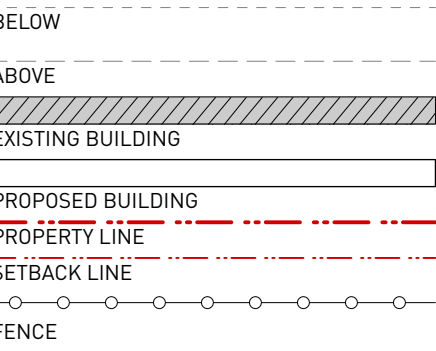
1702 QUADRA STREET
+ 862 FISGARD STREET

LEVEL 02 PLAN Project
A1.3 0650
Sheet



1 LEVEL 03 PLAN
A1.4 SCALE: 1:100

LEGEND:



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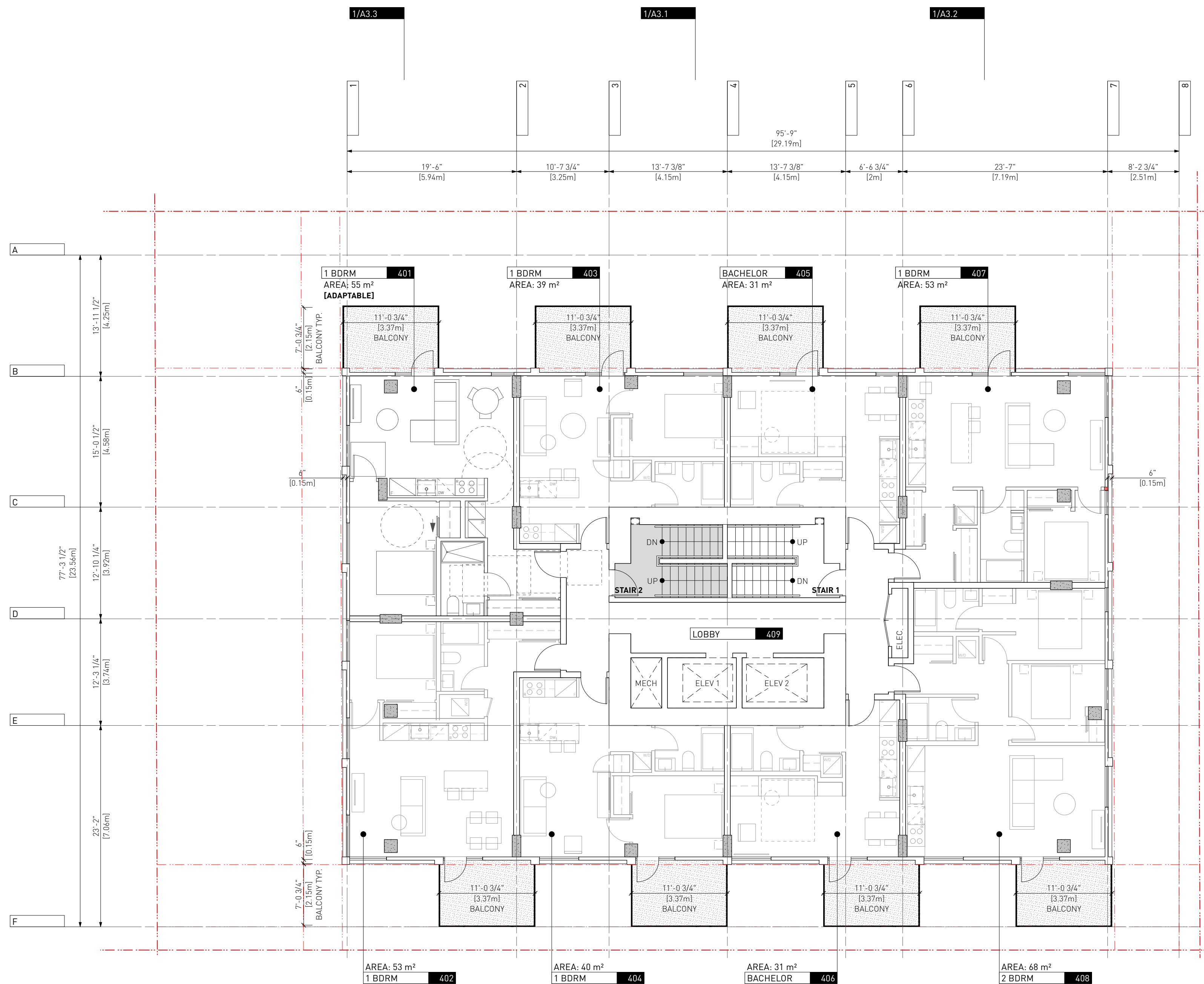
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+ 862 FISGARD STREET

LEVEL 03 PLAN Project
0650
Sheet

A1.4



1
A1.5
LEVEL: 04 / 06 / 08 / 10 / 12
SCALE: 1:100

LEGEND:

BELOW
ABOVE
EXISTING BUILDING
PROPOSED BUILDING
PROPERTY LINE
SETBACK LINE
FENCE

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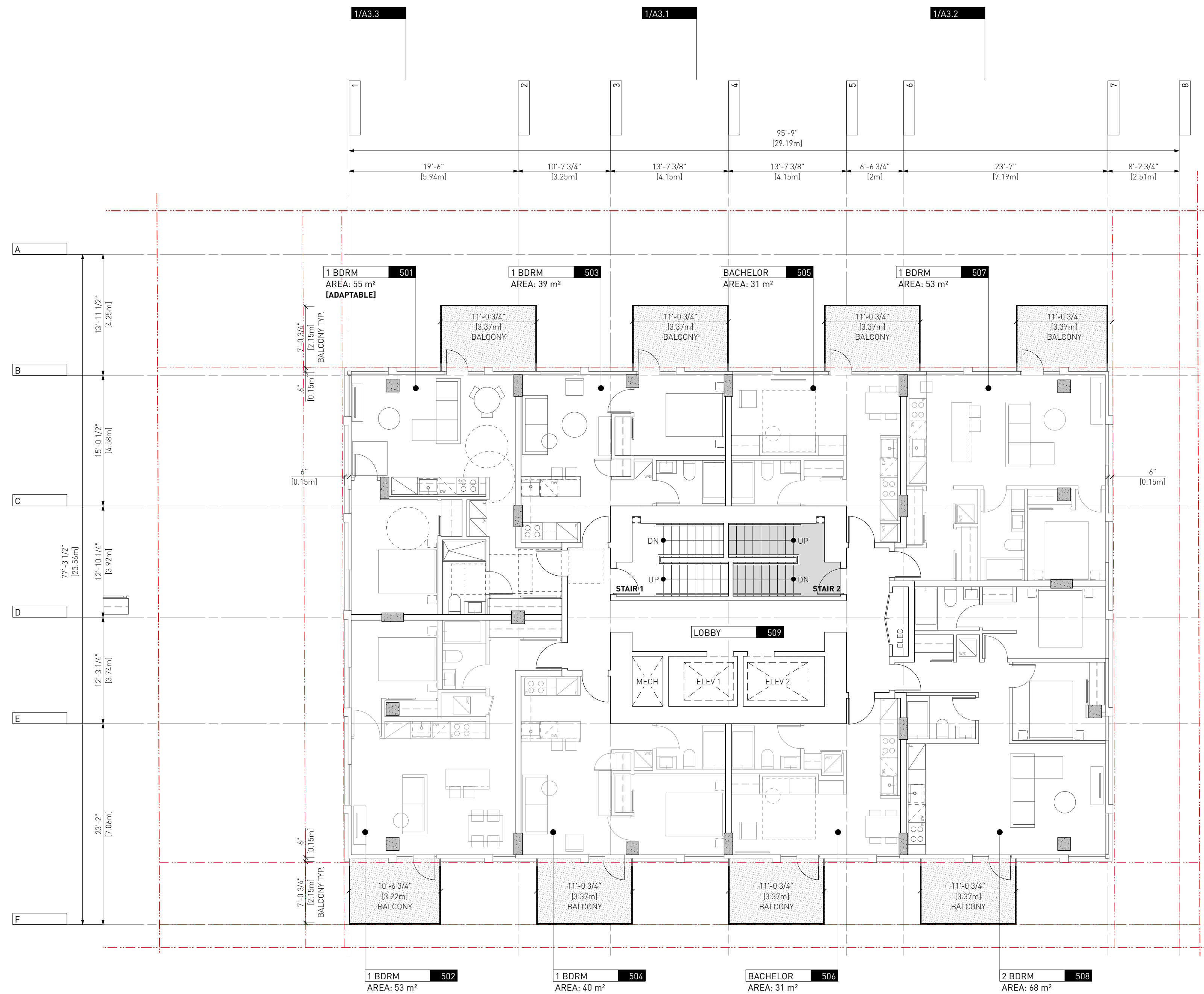


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+ 862 FISGARD STREET

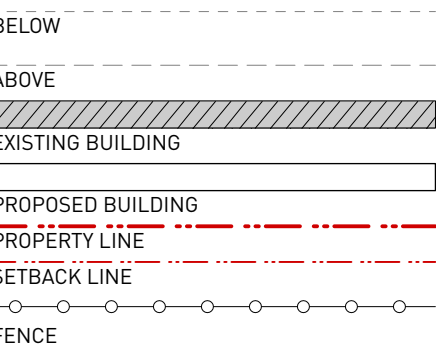
LEVEL 04/06/08/10/12 Project
0650
Sheet

A1.5



1
A1.6
LEVEL 05 / 07 / 09 / 11
SCALE: 1:100

LEGEND:



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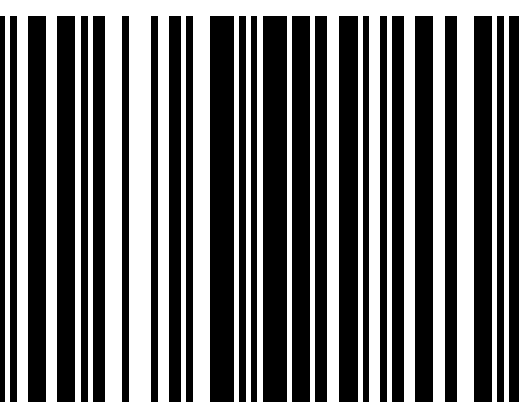
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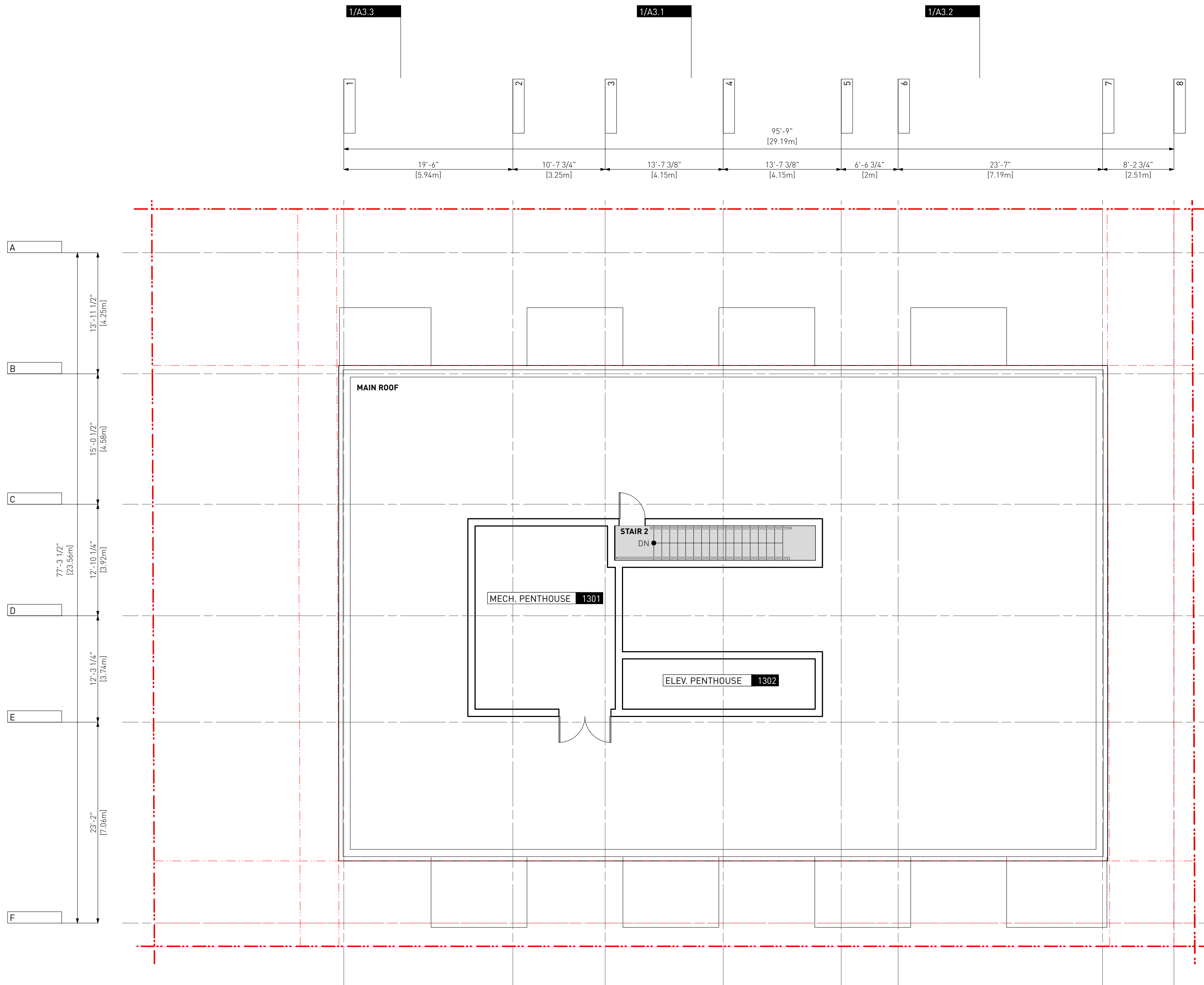


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+ 862 FISGARD STREET

LEVEL 05/07/09/11 Project
0650
Sheet

A1.6



1 LEVEL 13
A1.7 SCALE: 1:100

LEGEND:

BELOW
ABOVE
EXISTING BUILDING
PROPOSED BUILDING
PROPERTY LINE
SETBACK LINE
FENCE

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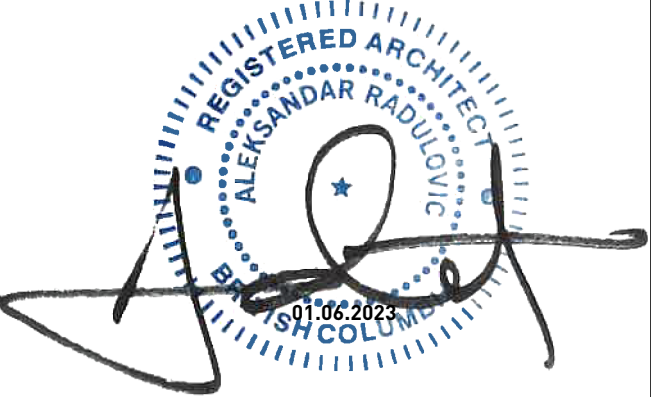
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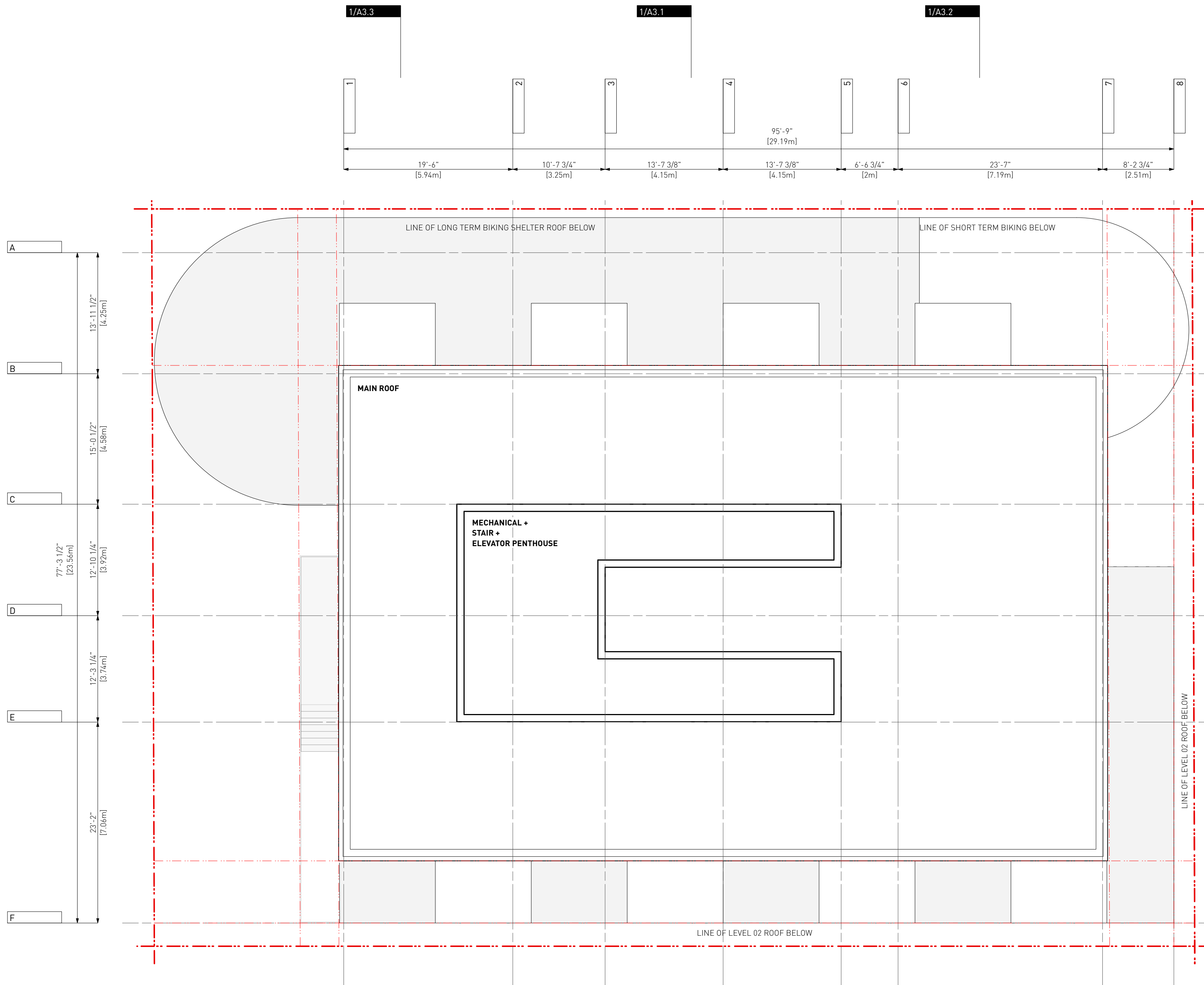


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1702 QUADRA STREET
+ 862 FISGARD STREET

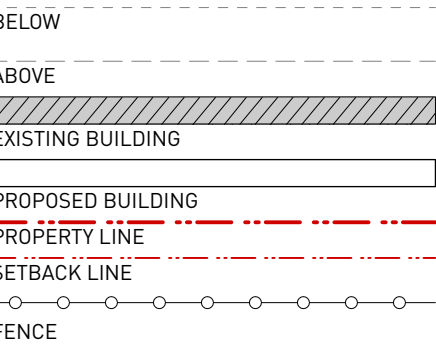
LEVEL 13 Project
0650 Sheet

A1.7



1 LEVEL ROOF
A1.8 SCALE: 1:100

LEGEND:



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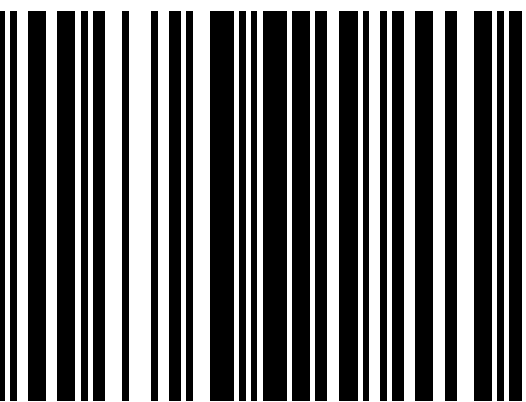
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1702 QUADRA STREET
+ 862 FISGARD STREET

ROOF PLAN Project
0650
Sheet

A1.8

42.70m [MAX HEIGHT]
FROM AVERAGE GRADE

EL. 138.40
T.O. ROOF SHEATHING

EL. 135.36
T.O. LEVEL 12

EL. 132.31
T.O. LEVEL 11

EL. 129.26
T.O. LEVEL 10

EL. 126.21
T.O. LEVEL 09

EL. 123.16
T.O. LEVEL 08

EL. 120.12
T.O. LEVEL 07

EL. 117.07
T.O. LEVEL 06

EL. 114.02
T.O. LEVEL 05

EL. 110.97
T.O. LEVEL 04

EL. 107.92
T.O. LEVEL 03

EL. 104.88
T.O. LEVEL 02

EL. 100.00
T.O. LEVEL 01 B CORE

EL. 99.77
T.O. COMMERCIAL

25.45 [AVERAGE GRADE]

EL. 97.03
T.O. LEVEL 00 B AMENITY \ CORR

EL. 95.51
T.O. ELEVATOR PIT

1/A3.3

1/A3.2

1/A3.1

ELEVATOR AND
STAIR CORE

PROPERTY LINE

SETBACK

SETBACK

PROPERTY LINE

BIKE PARK STRUCTURE BEYOND

PLANTER
(SEE
LANDSCAPE)

11

BRICK WALL BUILT
OF SALVAGED BRICK
FROM EXISTING
BUILDING &
LOCATION OF
EXISTING WALL

LIVE / WORK
ENTRY STEPS

BALCONY
GUARD (TYP.)

8'-4"
(2.54m)
TYP.

8'-4"
(2.54m)
TYP.

BALCONY
GUARD

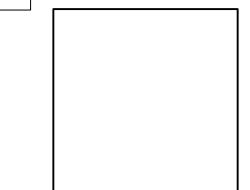
8'-4"
(2.54m)
TYP.

26'-24"

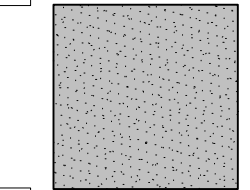
26'-22"

LEGEND:

1 ALUMINUM (VARIES)



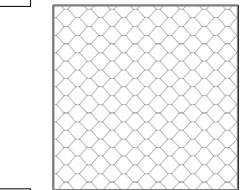
2 CONCRETE



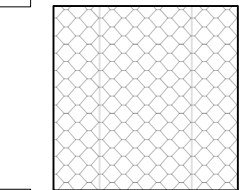
3 GLASS



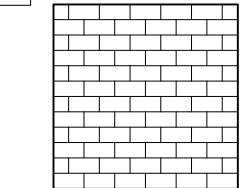
4 EXPANDED METAL MESH GUARD / SCREEN



5 EXPANDED METAL MESH + CEMENTIOUS PANEL



6 SALVEGED BRICK



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PB
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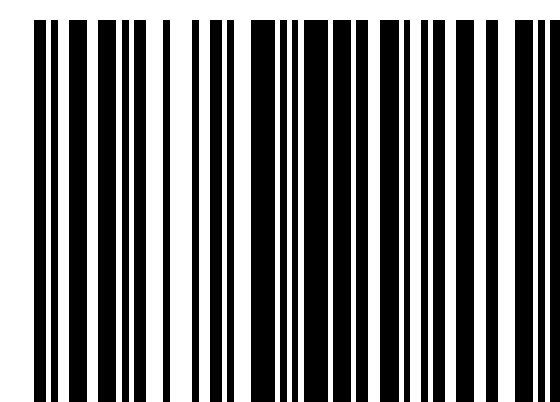
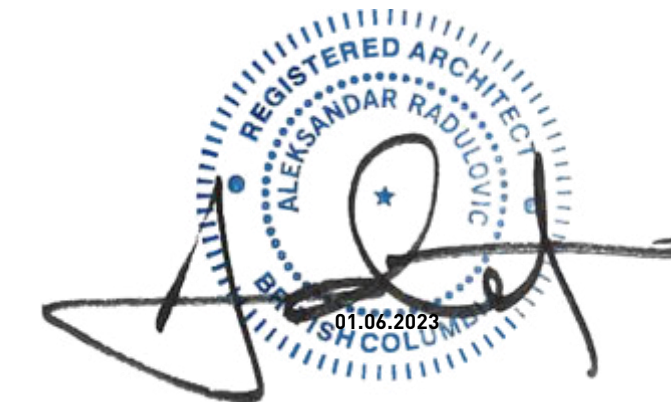
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F: 204.480.8876

1702 QUADRA STREET
+ 862 FISGARD STREET

BUILDING ELEVATIONS

Project
0650
Sheet

A2.1

1 BUILDING ELEVATION [SOUTH]
A2.1 SCALE: 1:100

42.70m [MAX HEIGHT]
FROM AVERAGE GRADE

EL. 138.40
T.O. ROOF SHEATHING

EL. 135.36
T.O. LEVEL 12

EL. 132.31
T.O. LEVEL 11

EL. 129.26
T.O. LEVEL 10

EL. 126.21
T.O. LEVEL 09

EL. 123.16
T.O. LEVEL 08

EL. 120.12
T.O. LEVEL 07

EL. 117.07
T.O. LEVEL 06

EL. 114.02
T.O. LEVEL 05

EL. 110.97
T.O. LEVEL 04

EL. 107.92
T.O. LEVEL 03

EL. 104.88
T.O. LEVEL 02

EL. 100.00
T.O. LEVEL 01 B CORE

EL. 99.77
T.O. COMMERCIAL
25.45 [AVERAGE GRADE]

EL. 97.03
T.O. LEVEL 00 B AMENITY CORR

EL. 95.51
T.O. ELEVATOR PIT

BALCONY
GUARD
BEYOND

BALCONY
GUARD (TYP.)

NEON SIGN

COMMERCIAL
ENTRY DOOR

FRITTED PATTERN IMAGE OF
ORIGINAL BUILDING OWNERS
ON CRU GLAZING

RESIDENTIAL
ENTRY DOOR

SHORT TERM BIKE
PARK ENTRY
CONCRETE COLUMN
PLANTER (SEE
LANDSCAPE)

IMAGE OF ORIGINAL BUILDING OWNERS
INCORPORATED ON TO BIKE SHELTER
SCREEN THROUGH SCREEN PRINTING OR
CUSTOM SCREEN CLADDING

ELEVATOR AND
STAIR CORE

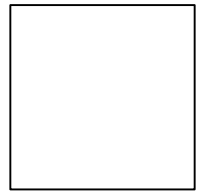
BALCONY
GUARD (TYP.)

BALCONY
GUARD
BEYOND

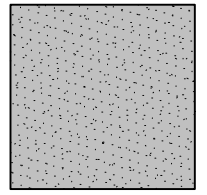
BIKE PARK STRUCTURE BEYOND

LEGEND:

1 ALUMINUM (VARIES)



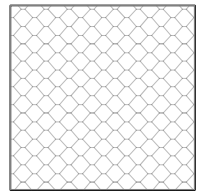
2 CONCRETE



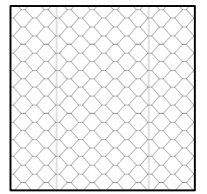
3 GLASS



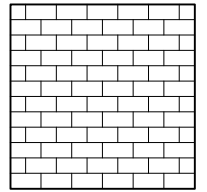
4 EXPANDED METAL MESH GUARD / SCREEN



5 EXPANDED METAL MESH + CEMENTIOUS PANEL



6 SALVAGED BRICK



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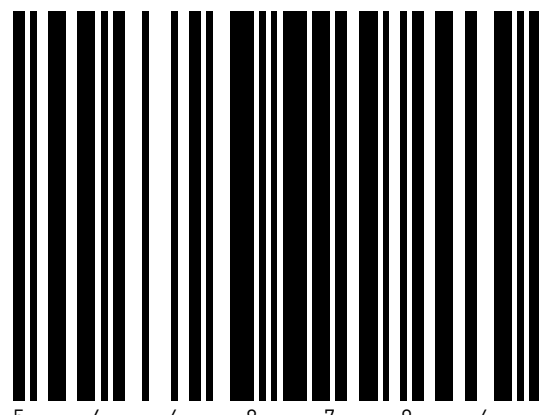
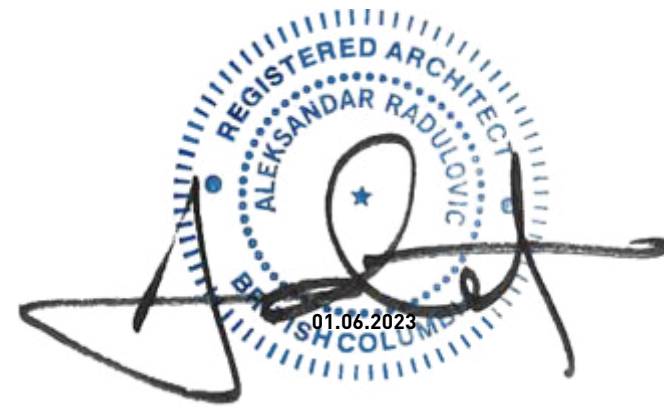
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1702 QUADRA STREET
+ 862 FISGARD STREET

BUILDING ELEVATIONS

Project
0650
Sheet

A2.2

42.70m [MAX HEIGHT]
FROM AVERAGE GRADE

EL. 138.40
T.O. ROOF SHEATHING

EL. 135.36
T.O. LEVEL 12

EL. 132.31
T.O. LEVEL 11

EL. 129.26
T.O. LEVEL 10

EL. 126.21
T.O. LEVEL 09

EL. 123.16
T.O. LEVEL 08

EL. 120.12
T.O. LEVEL 07

EL. 117.07
T.O. LEVEL 06

EL. 114.02
T.O. LEVEL 05

EL. 110.97
T.O. LEVEL 04

EL. 107.92
T.O. LEVEL 03

EL. 104.88
T.O. LEVEL 02

EL. 100.00
T.O. LEVEL 01 @ CORE

EL. 99.77
T.O. COMMERCIAL

25.45 [AVERAGE GRADE]

EL. 97.03
T.O. LEVEL 00 @ AMENITY \ CORR

EL. 95.51
T.O. ELEVATOR PIT

QUADRA ST.

BIKE PARK STRUCTURE

1/A3.1

1/A3.2

1/A3.3

ELEVATOR AND
STAIR CORE

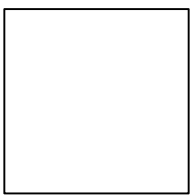
BALCONY
GUARD (TYP.)

3'-5"
(1.07m)
(TYP.)

LEGEND:

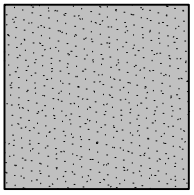
1

ALUMINUM (VARIES)



2

CONCRETE



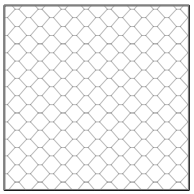
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GLASS



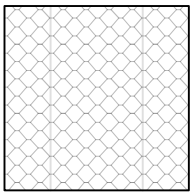
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EXPANDED METAL MESH GUARD / SCREEN



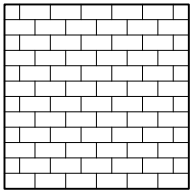
5

EXPANDED METAL MESH + CEMENTIOUS PANEL



6

SALVEGED BRICK



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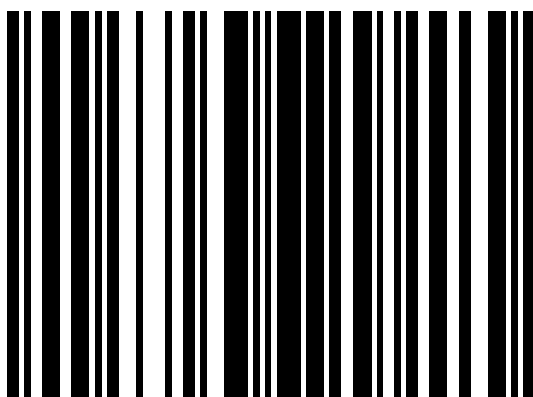
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1702 QUADRA STREET
+ 862 FISGARD STREET

BUILDING ELEVATIONS

Project
0650
Sheet

A2.3

42.70m [MAX HEIGHT]
FROM AVERAGE GRADE

EL. 138.40
T.O. ROOF SHEATHING

EL. 135.36
T.O. LEVEL 12

EL. 132.31
T.O. LEVEL 11

EL. 129.26
T.O. LEVEL 10

EL. 126.21
T.O. LEVEL 09

EL. 123.16
T.O. LEVEL 08

EL. 120.12
T.O. LEVEL 07

EL. 117.07
T.O. LEVEL 06

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EL. 100.00
T.O. LEVEL 01 B CORE

EL. 99.77
T.O. COMMERCIAL

25.45 [AVERAGE GRADE]

EL. 97.03
T.O. LEVEL 00 B AMENITY \ CORR

EL. 95.51
T.O. ELEVATOR PIT

BIKE PARK STRUCTURE

ELEVATOR AND
STAIR CORE

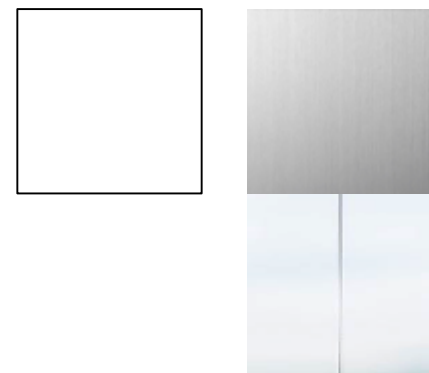
RAMP TO LEVEL 0
BEYOND

EXIT PATH &
EXIT PATH STAIR

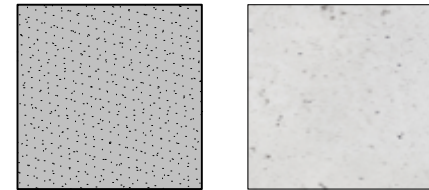
FISGARD ST.

LEGEND:

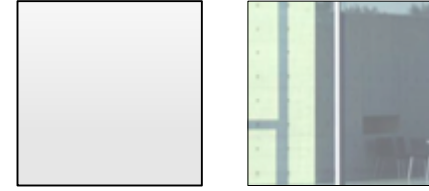
1 ALUMINUM (VARIES)



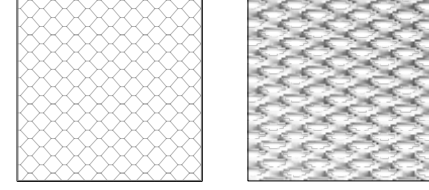
2 CONCRETE



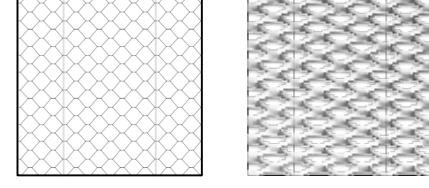
3 GLASS



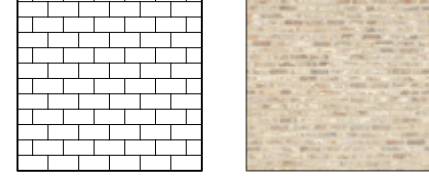
4 EXPANDED METAL MESH GUARD / SCREEN



5 EXPANDED METAL MESH + CEMENTIOUS PANEL



6 SALVEGED BRICK



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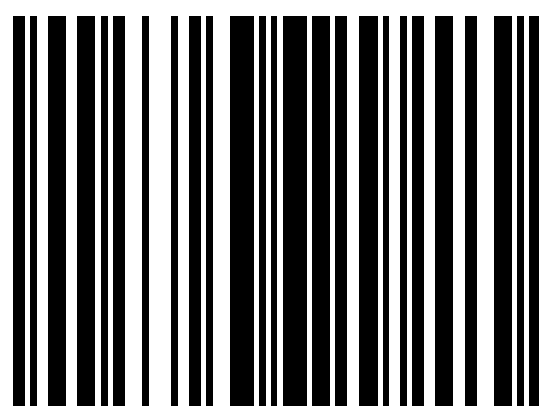
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+ 862 FISGARD STREET

BUILDING ELEVATIONS

Project
0650
Sheet

A2.4

42.70m [MAX HEIGHT]
FROM AVERAGE GRADE

EL. 138.40
T.O. ROOF SHEATHING

EL. 135.36
T.O. LEVEL 12

EL. 132.31
T.O. LEVEL 11

EL. 129.26
T.O. LEVEL 10

EL. 126.21
T.O. LEVEL 09

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T.O. LEVEL 03

EL. 104.88
T.O. LEVEL 02

EL. 100.00
T.O. LEVEL 01 @ CORE

EL. 99.77
T.O. COMMERCIAL

EL. 97.03
T.O. LEVEL 00 @ AMENITY CORR

EL. 95.51
T.O. ELEVATOR PIT

FISGARD ST.

EL. 42.00

ROOF TOP DECK

BALCONY

AMENITY

WATER ROOM

STORAGE

LOBBY

CRU

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

RESIDENTIAL

BIKE PARK
(SHORT TERM)

BIKE SHELTER ROOF TO BE
CONTINUATION OF LEVEL 02
CONCRETE SLAB

BALCONY

ROOF TOP DECK

ROOF TOP DECK

ROOF TOP DECK

ROOF TOP DECK

ROOF TOP DECK

ROOF TOP DECK

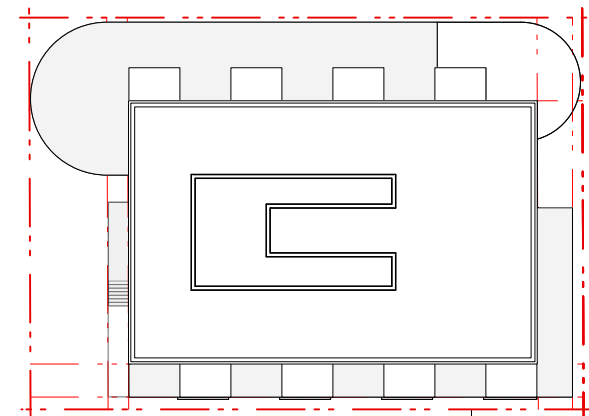
ROOF TOP DECK

ROOF TOP DECK

ROOF TOP DECK

ROOF TOP DECK

KEY PLAN



- LEGEND:**
- 1 ALUMINUM (VARIES)
 - 2 CONCRETE
 - 3 GLASS
 - 4 EXPANDED METAL MESH GUARD / SCREEN
 - 5 EXPANDED METAL MESH + CEMENTIOUS PANEL
 - 6 SALVAGED BRICK

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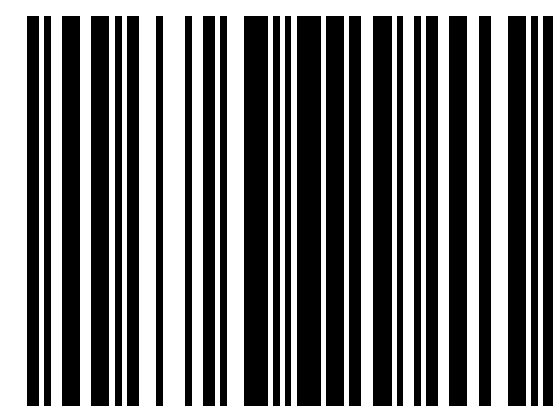
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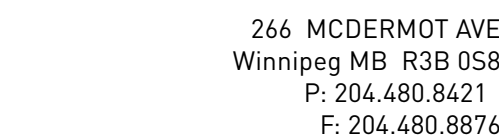
1702 QUADRA STREET
+ 862 FISGARD STREET

BUILDING SECTION Project
0650
Sheet

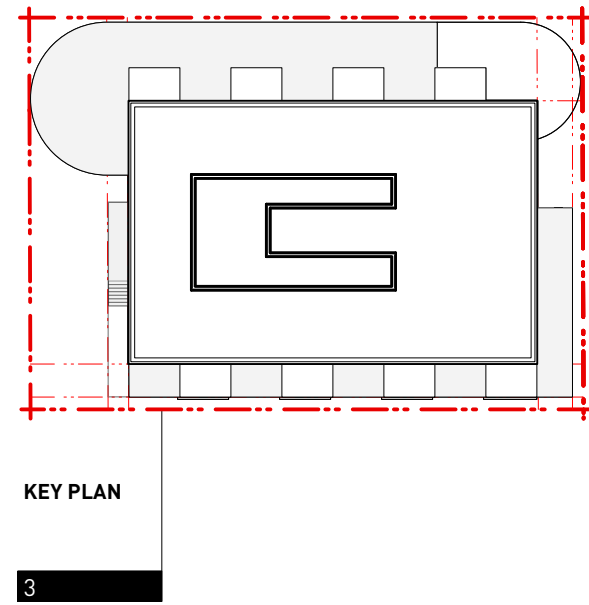
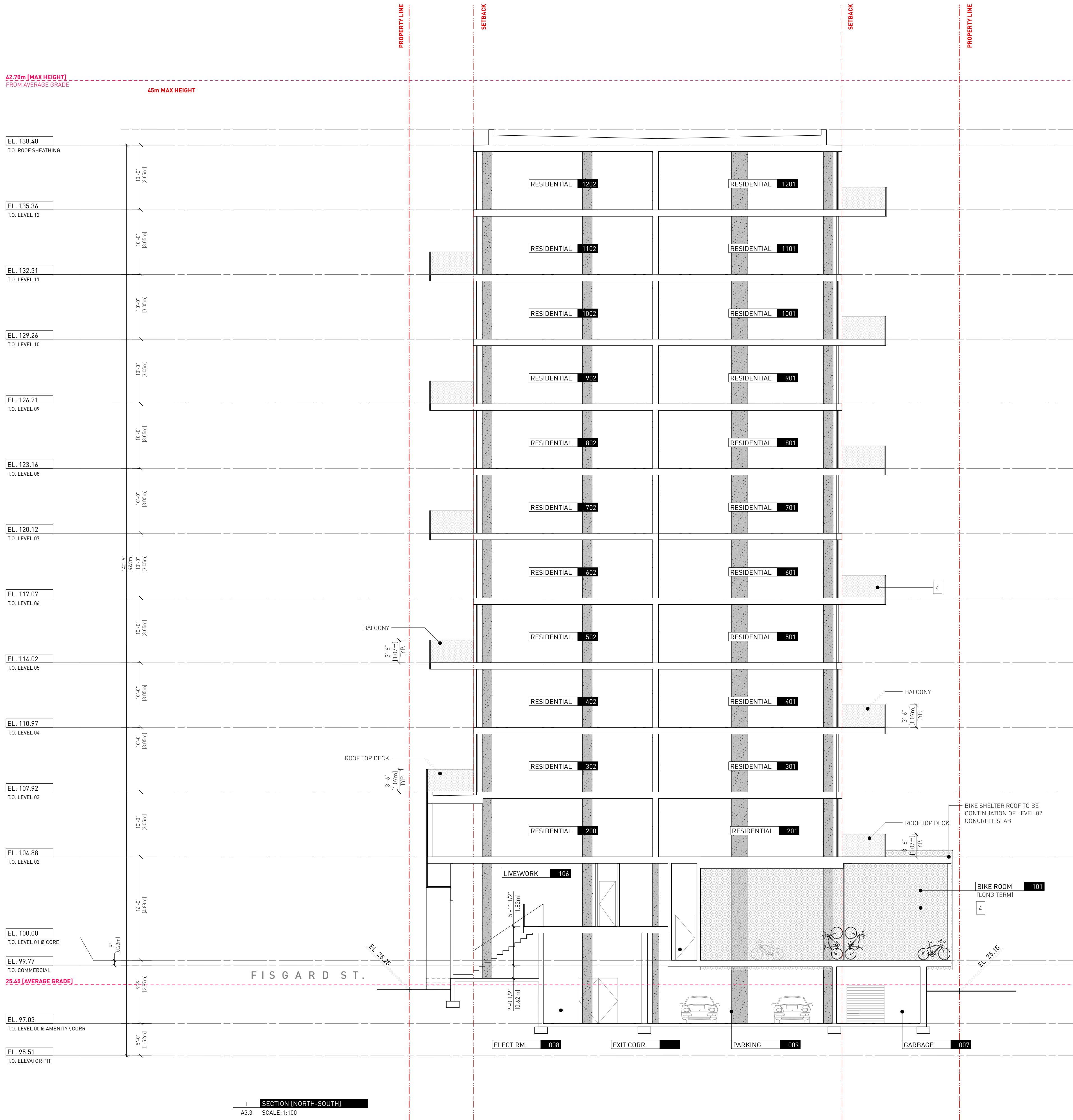
A3.1



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A3.2



- LEGEND:
- 1 ALUMINUM (VARIES)
 - 2 CONCRETE
 - 3 GLASS
 - 4 EXPANDED METAL MESH GUARD / SCREEN
 - 5 EXPANDED METAL MESH + CEMENTIOUS PANEL
 - 6 SALVEGED BRICK

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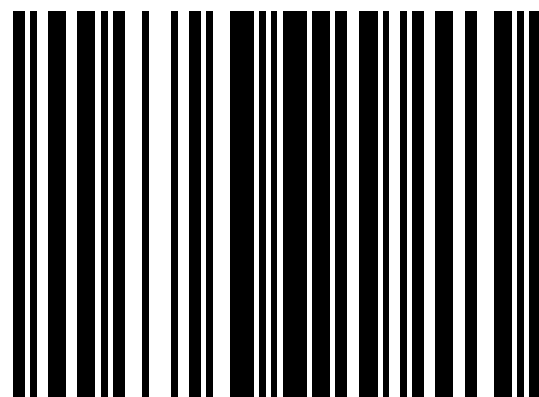
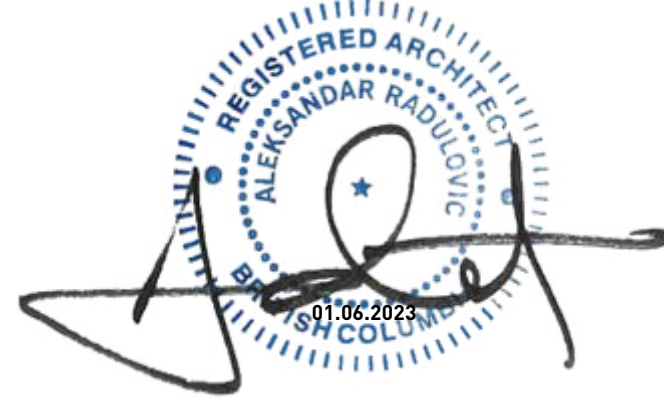
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1702 QUADRA STREET
+ 862 FISGARD STREET

BUILDING SECTION

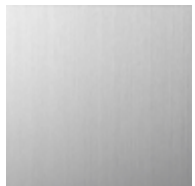

Project
0650
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A3.3

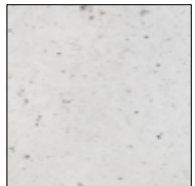
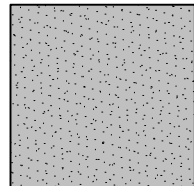
LEGEND:

- 1


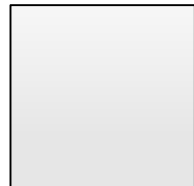
ALUMINUM (VARIES)


- 2

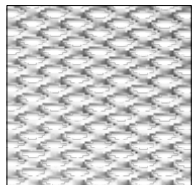
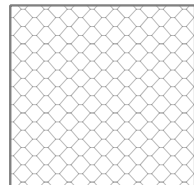
CONCRETE


- 3

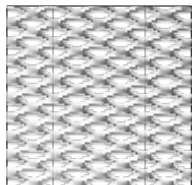
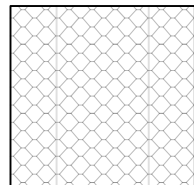
GLASS


- 4


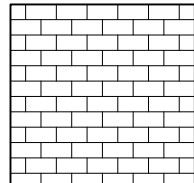
EXPANDED METAL MESH GUARD / SCREEN


- 5

EXPANDED METAL MESH + CEMENTIOUS PANEL


- 6

SALVEGED BRICK



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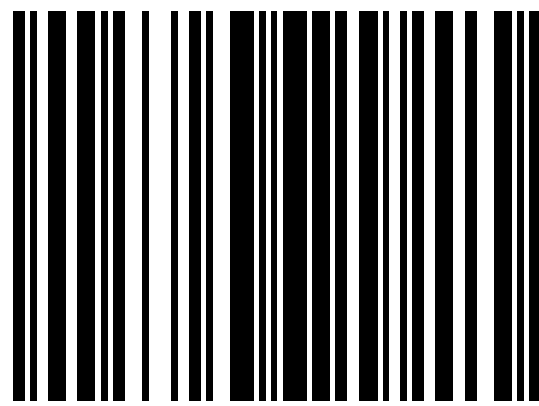
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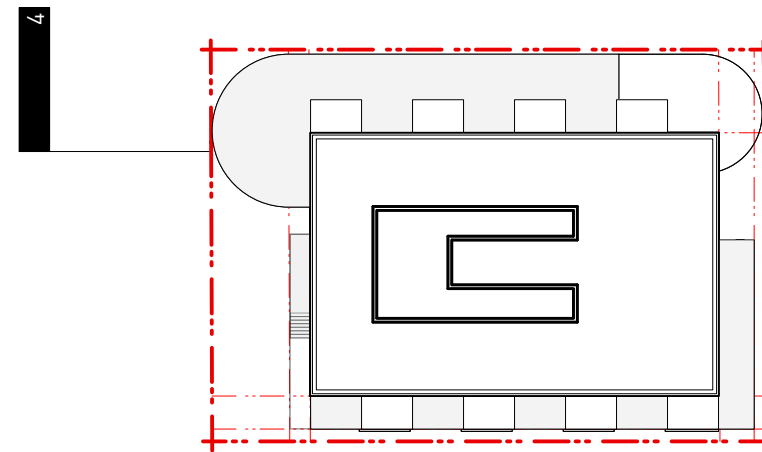


8
7
6
5
4
3
2
1
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1702 QUADRA STREET
+ 862 FISGARD STREET

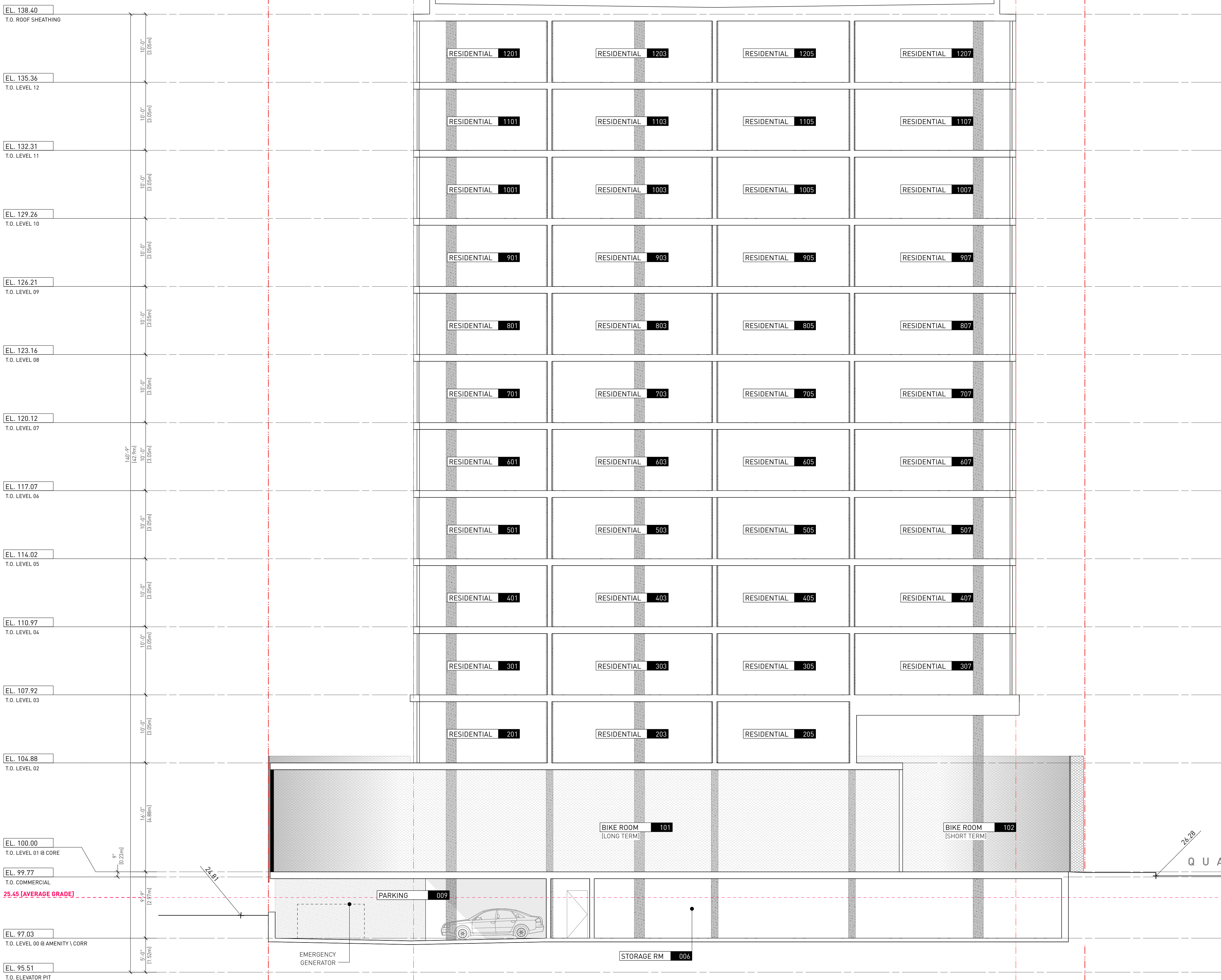
BUILDING SECTION Project
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A3.4

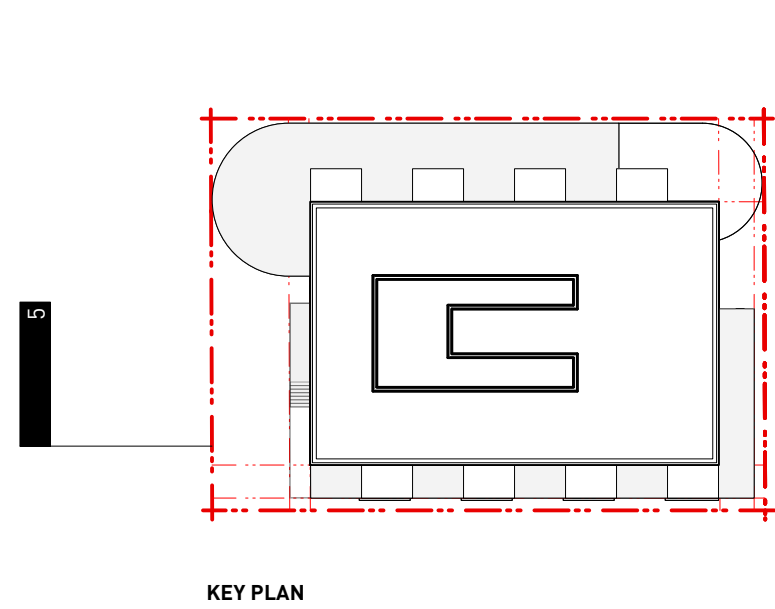


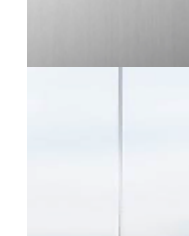


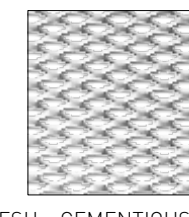
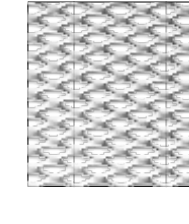
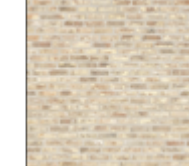
KEY PLAN

42.70m (MAX HEIGHT)
FROM AVERAGE GRADE
45m MAX HEIGHT



1 SECTION (EAST-WEST)
A3.4 SCALE: 1:100



- | | | |
|---|--|---|
| 1 | ALUMINUM (VARIES) |  |
| 2 | CONCRETE |  |
| 3 | GLASS |  |
| 4 | EXPANDED METAL MESH GUARD / SCREEN |  |
| 5 | EXPANDED METAL MESH + CEMENTIOUS PANEL |  |
| 6 | SALVAGED BRICK |  |

1 Issued For DP 01.06.2023

Drawn By:
Checked By: PB
Printing Date: 01.06.2023

The Contractor shall verify all dimensions, datums and levels prior to commencement of work.

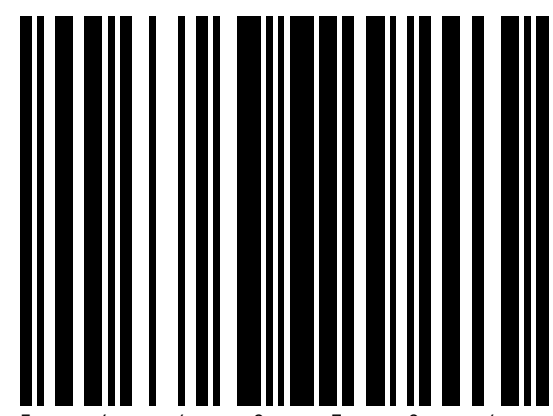
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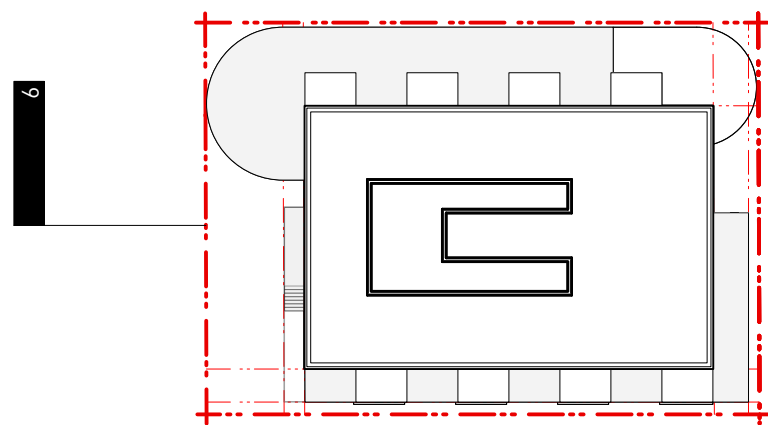
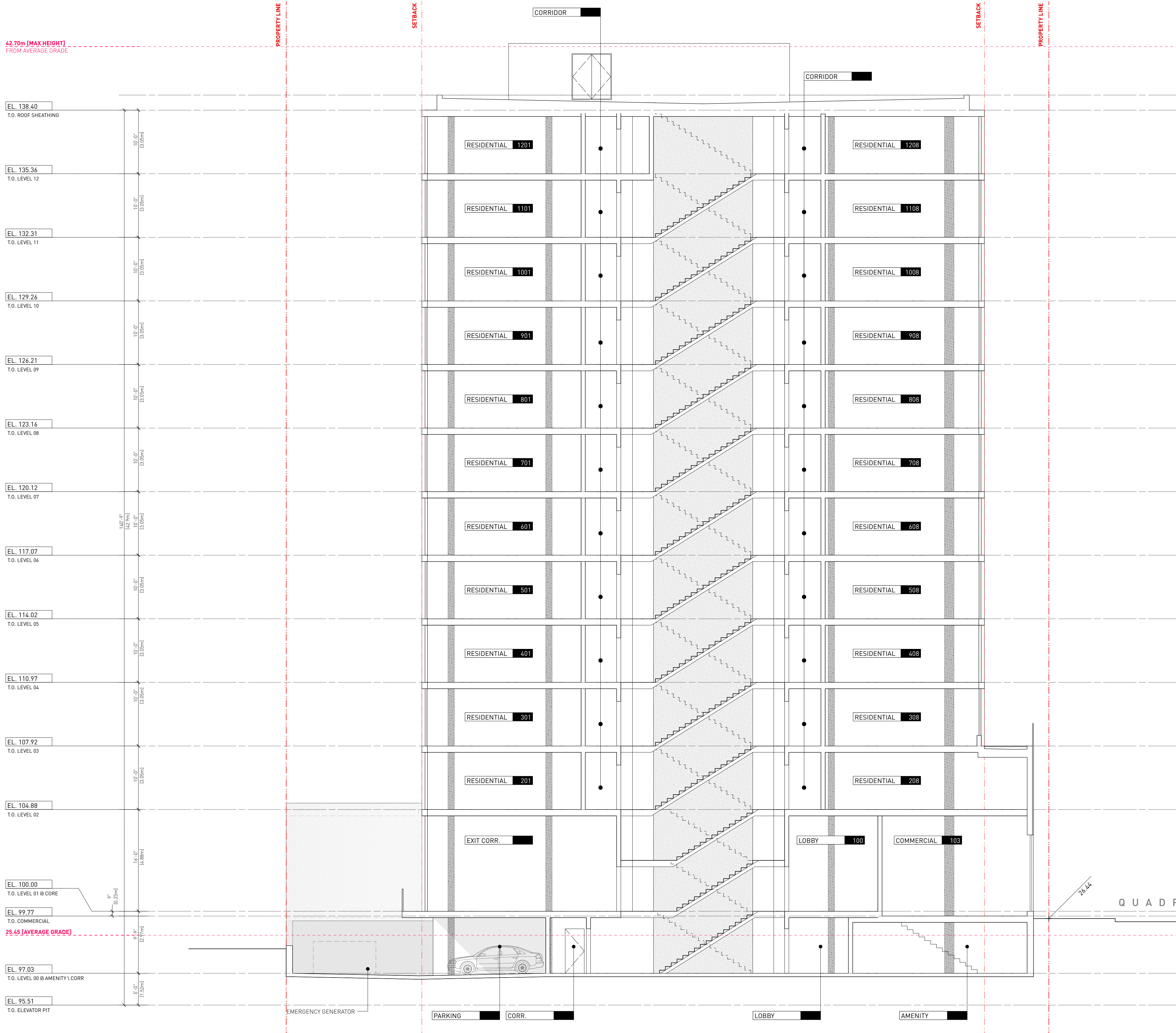


266 MCDERMOT AVE
Winnipeg MB R3B 0S8
P: 204.480.8421
F: 204.480.8876

1702 QUADRA STREET
+ 862 FISGARD STREET

BUILDING SECTION	Project
	0650
	Sheet

A3.5



KEY PLAN

- LEGEND:**
- 1 ALUMINUM (VARIES)
 - 2 CONCRETE
 - 3 GLASS
 - 4 EXPANDED METAL MESH GUARD / SCREEN
 - 5 EXPANDED METAL MESH + CEMENTIOUS PANEL
 - 6 SALVEGED BRICK

1 Issued For DP 01.06.2023

Drawn By:
Checked By:
Printing Date:

PB
01.06.2023

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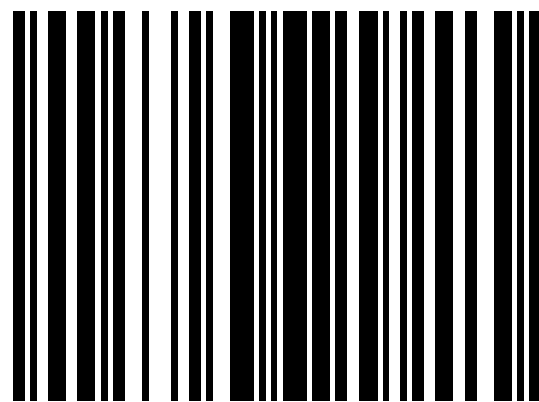
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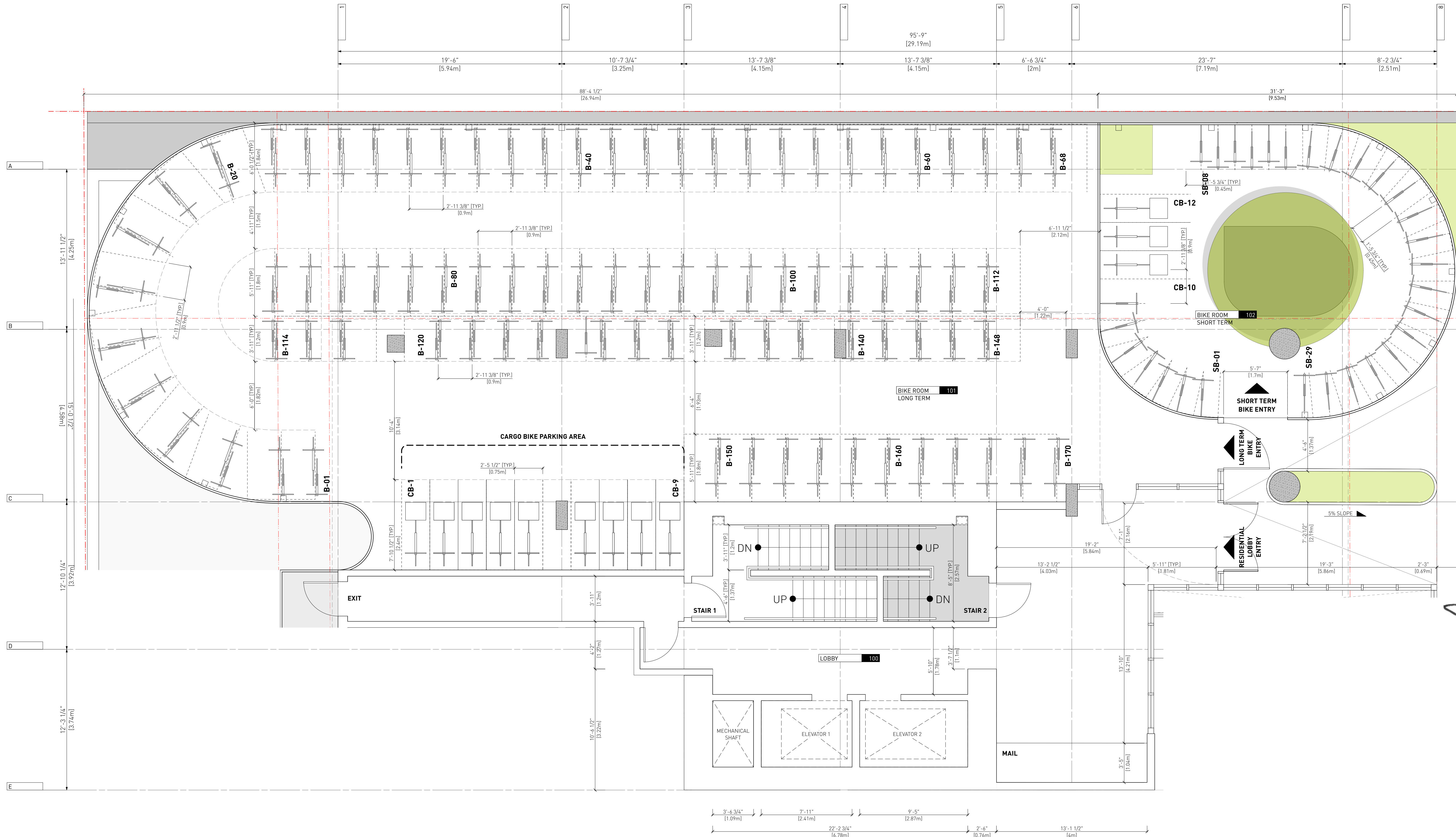
8
7
6
5
4
3
2
1
ARCHITECTURE INC
266 MCDERMOT AVE
Winnipeg MB R3B 0S8
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1702 QUADRA STREET
+ 862 FISGARD STREET

BUILDING SECTION

Project
0650
Sheet

A3.6



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Drawn By: SK
Checked By: PB
Printing Date: 01.06.2023

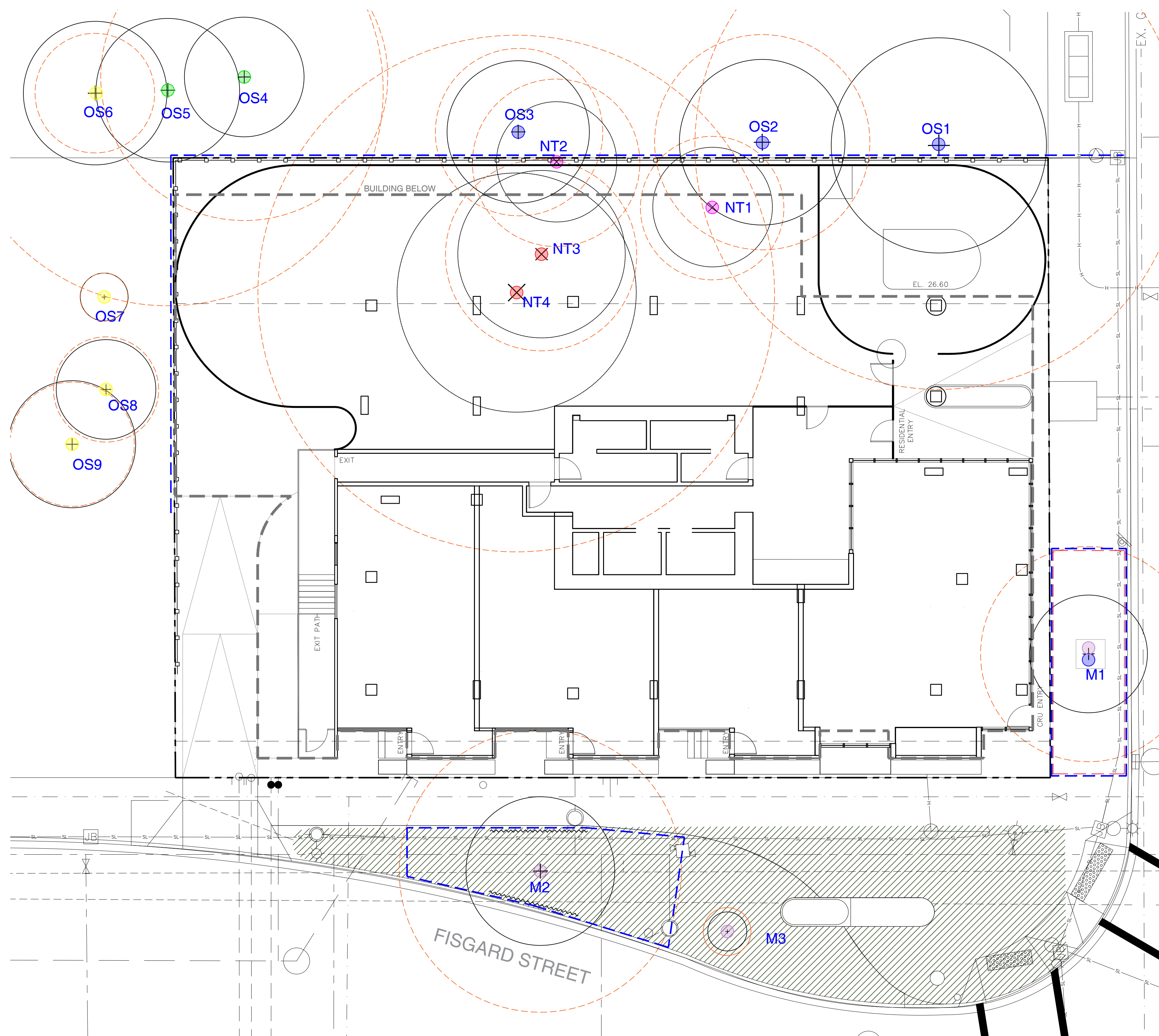
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1702 QUADRA STREET
+ 862 FISGARD STREET

ENLARGED PLAN - BIKE ROOM Project 0650 Sheet

A4.1



TREE STATUS LEGEND

OS7

EXISTING TREE TAG

EXISTING TREE STATUS UNDETERMINED

+

EXISTING TREE TO REMAIN

×

EXISTING TREE TO BE REMOVED

EXTENT OF CRITICAL ROOT ZONE

- SEE ARBORIST REPORT PREPARED BY TALBOT MACKENZIE & ASSOCIATES

TREE PROTECTION FENCING

- TO OUTSIDE OF CRZ OR DRIPLINE AS POSSIBLE
- FENCING LOCATIONS APPROXIMATE - PENDING ARBORIST REPORT
- TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION
- TO MUNICIPAL STANDARD

ROOT BARRIER

BUILDING BELOW

EXTENT OF EXISTING LANDSCAPED BOULEVARD

PROTECTED TREE FOR REMOVAL

TREE TO BE RETAINED

TREE FOR REMOVAL

MUNICIPAL TREE

PROTECTED TREE TO RETAIN

PROTECTED TREE RETENTION SUBJECT TO FURTHER INVESTIGATION BY PROJECT ARBORIST

TREE DATA

TREE SURVEYED IN TOTAL: 16

MUNICIPAL TREE: 3
MUNICIPAL TREE TO BE REMOVED: 0
MUNICIPAL TREE TO BE DETERMINED: 1

PROTECTED TREE ON SITE: 2
PROTECTED TREE ON SITE TO BE REMOVED: 2

PROTECTED TREE OFFSITE: 5
PROTECTED TREE OFFSITE TO BE REMOVED: 0
PROTECTED TREE OFFSITE TO BE DETERMINED: 3

TOTAL CONFIRMED TREE REMOVAL: 4
TOTAL TREE RETENTION TO BE DETERMINED: 4

1702 Quadra Street - Tree Resource Spreadsheet

Inventory date: September 17, 2020

Prev. ID #	Tag or ID #	Surveyed ? (Yes/No)	Location (On, Off, Shared, City)	Bylaw protected ? (Yes/No)	Name	Common	Botanical	dbht (cm)	Critical root zone radius (m)	Dripline diameter (m)	Condition Health	Structural	Retention Suitability (onsite trees)	Relative tolerance	General field observations/remarks	Tree retention / location comments
NT1	M1	Yes	Municipal		Municipal English Oak	Quercus robur	46		4.6	5	Fair	Fair		Good	Columnar form. Clearance pruned away from building.	Within proposed sidewalk (if tree grate is not retained).
NT15	M2	Yes	Municipal		Municipal Cut-leaf Beech	Fagus sylvatica 'Asplenifolia'		49 (below union)	5.9	6	Good	Fair		Poor	Measured at 1m. Hydro clearance pruned.	May be impacted by sidewalk/underground services.
NT16	M3	Yes	Municipal	Municipal	Deciduous Camellia	Stewartia pseudocamellia	4		1	1	Fair	Fair			Moderate Juvenile tree. Weedwacker damage.	Potential conflict with proposed sidewalk.
NT8	NT1	Yes	On-site	No	Pear	Pyrus spp.		26	3.1	5	Fair	Fair	Suitable	Moderate	Topped. Gravel parking adjacent. Within building footprint.	
NT9	NT2	Yes	On-site	No	Ash	Fraxinus spp.		~18,10	2.8	5	Fair	Fair-poor	Conditional	Good	Located between fence and storage shed. Topped, epicormic growth. Within building footprint.	
NT10	NT3	Yes	On-site	Yes	Ash	Fraxinus spp.		~35	3.5	7	Fair-poor	Poor	Unsuitable	Good	Located between storage shed and brick garage. Large seam up trunk, likely from past failure, decaying. Lowest limb actively falling has been shortened, will rest on garage roof. Within building footprint.	
NT11	NT4	Yes	On-site	Yes	Big-Leaf Maple	Acer macrophyllum		90 (below unions)	10.8	10	Fair-poor	Fair-poor	Conditional	Moderate	Large deadwood/decay north canopy. Pruning stubs and deadwood in primary stem, response growth lower stem. Large surface roots lifting surrounding asphalt. Within building footprint.	
NT2	OS1	Yes	Off-site	Yes	Big-Leaf Maple	Acer macrophyllum	~50,35		10.2	9	Fair	Fair		Moderate	North neighbouring property. Codominant stems, narrow attachments. Previous thinning. Located against fence.	Conflict with building footprint.
NT3	OS2	Yes	Off-site	Yes	Ash	Fraxinus spp.		~30,15	4.5	7	Fair	Fair		Good	North neighbouring property. Located against fence. Previous thinning and raising. Epicormic growth.	Conflict with building footprint.
NT4	OS3	Yes	Off-site	Yes (if estimate is correct)	Ash	Fraxinus spp.		~30	3	7	Fair	Fair		Good	North neighbouring property. Located against fence. Previously topped, epicormic growth, heavy seed crop.	Conflict with building footprint.
NT5	OS4	Yes	Off-site	Yes	Western Red Cedar	Thuja plicata		~40	6	5	Good	Good		Poor	North neighbouring property.	Potential conflict with building footprint.
NT6	OS5	Yes	Off-site	Yes	Western Red Cedar	Thuja plicata		~60	9	6	Good	Good		Poor	North neighbouring property.	Potential conflict with building footprint.
NT7	OS6	Yes	Off-site	No	English Oak	Quercus robur	~25		2.5	6	Good	Fair		Good	North neighbouring property.	
NT12	OS7	Yes	Off-site	No	Maidenhair Tree	Ginkgo biloba		~8	1	2	Good	Fair		Moderate	West neighbouring property.	
NT13	OS8	Yes	Off-site	No	Maidenhair Tree	Ginkgo biloba		~18	2.2	3	Good	Fair		Moderate	West neighbouring property. Codominant top. Canopy beginning to encroach on driveway on subject property.	Possible clearance pruning for driveway access.
NT14	OS9	Yes	Off-site	No	Maidenhair Tree	Ginkgo biloba		~22	2.6	4	Good	Fair		Moderate	West neighbouring property. Codominant top. Canopy beginning to encroach on driveway on subject property.	Possible clearance pruning for driveway access.

Prepared by:
Talbot Mackenzie and Associates



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilialcollective.ca 250 590 1156

PROJECT NAME:
THE ABBEY

PROJECT ADDRESS:
1702 QUADRA STREET
VICTORIA, BC

DESIGNED BY: BIANCA BODLEY
DRAWN BY: KIM TANG

NO.	ISSUED FOR	YYMMDD
1	CIS PRESENTATION	12/07/2021
2	DEVELOPMENT PERMIT	12/22/2021
3	ADP MEETING	04/13/2022
4	REVISED AND RE-ISSUED FOR DP	2023/06/01
5		
6		

SEAL

NORTH ARROW



DRAWING TITLE:
TREE REMOVAL &
PROTECTION PLAN

DWG NO:

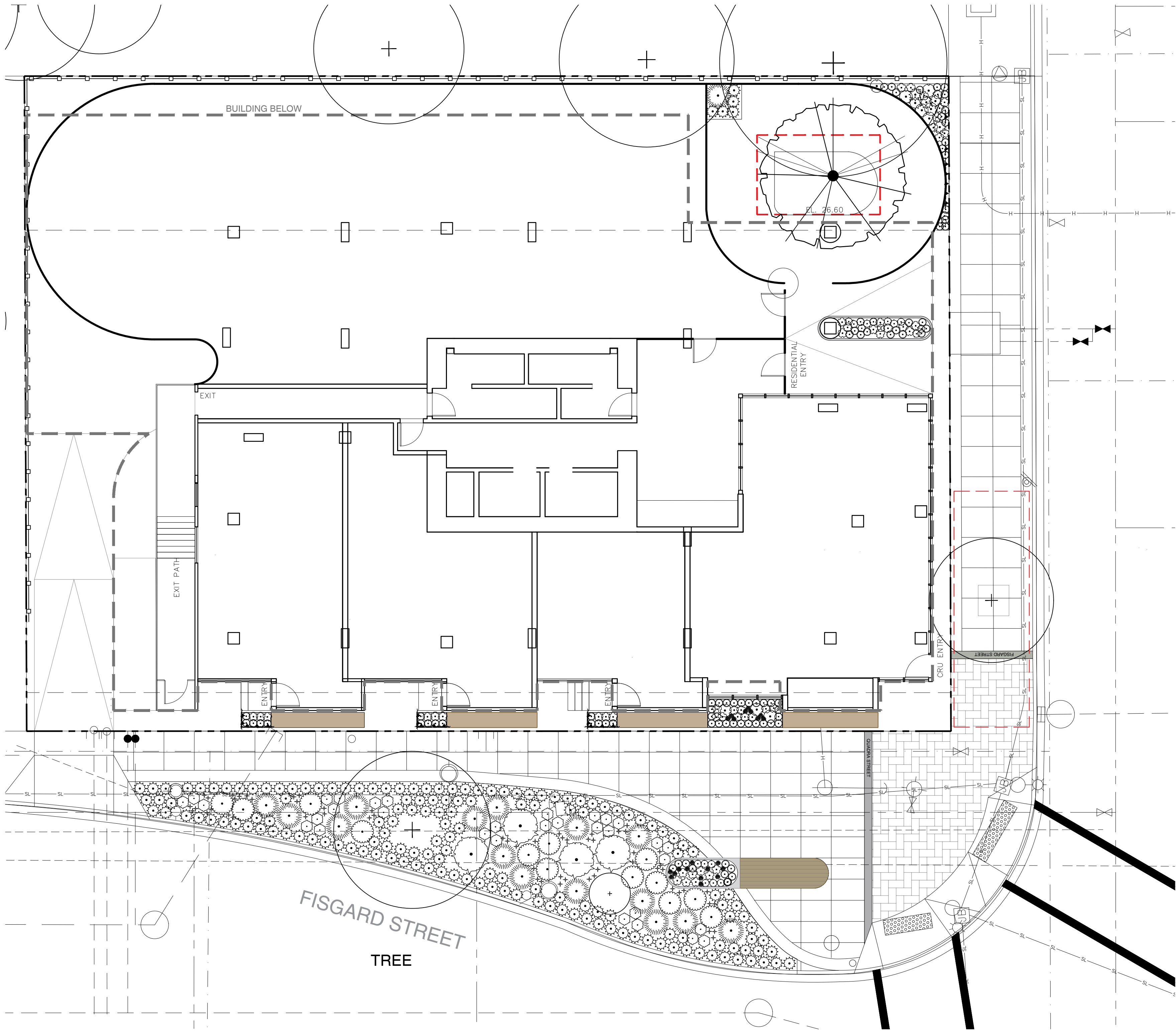
SCALE: 1:100

L0

[illegible]

- ON-SITE:
 - ALL PLANTERS AND AT-GRADE LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM.
 - DETAILED IRRIGATION PLAN TO BE SUBMITTED AT BUILDING PERMIT APPLICATION STAGE.
 - ALL IRRIGATION DESIGNS AND INSTALLATIONS SHALL MEET THE MINIMUM STANDARDS OF THE IRRIGATION INDUSTRY ASSOCIATION OF B.C. (IIABC).
- OFF-SITE (MUNICIPAL)
 - MUNICIPAL BOULEVARD TO BE IRRIGATED BY A SEPARATE SYSTEM FROM A SEPARATE CITY SOURCE CONFORMING TO THE **CITY OF VICTORIA** SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C TO BYLAW 12-042, SUBDIVISION BYLAW.
 - IRRIGATION DESIGN DRAWINGS MUST BE SENT TO PARKS FOR REVIEW 30 DAYS PRIOR TO INSTALLATION.
 - DRAWINGS SHOULD INDICATE ALL COMPONENTS, MODELS AND MATERIALS FROM WATER SUPPLY TO IRRIGATION HEADS.
 - THE CITY WILL REQUIRE 4 INSPECTIONS FOR IRRIGATION INSTALLATION: 1) SLEEPING, 2) OPEN TRENCH MAINLINE AND PRESSURE TEST, 3) OPEN TRENCH AND LATERAL LINE, 4) OPERATION AND COVERAGE, AND BACKFLOW PREVENTER ASSEMBLY TEST REPORT.

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GLEDITSIA TRIACANTHOS



DWARF MUGO PINE



FIREFLY HEATHER



PRAIRIE FIRE SEDGE



EMERALD GREEN HEBE



CREEPING MAHONIA



NEW ZEALAND GRASS



MISCANTHUS



VERBENA



WOOLLY SUNFLOWER

TREE SCHEDULE ON-SITE						
TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	REMARKS
	1	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	B@B	70 MM	MINIMUM BRANCH HEIGHT 1.2M

PLANT SCHEDULE ON-SITE						
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	22	ARCTOSTAPHYLOS UVA-URSI 'MASSACHUSETTS'	MASSACHUSETTS KINNICKINICK	#1 CONT	0.5m	POLLINATOR
	69	CALLUNA VULGARIS 'FIREFLY'	FIREFLY HEATHER	#1 CONT	0.3m	POLLINATOR
	41	CAREX TESTACEA 'PRAIRIE FIRE'	PRAIRIE FIRE ORANGE SEDGE	#1 CONT	0.35m	
	9	ERIOPHYLLUM LANATUM	WOOLLY SUNFLOWER	#1 CONT	0.2m	NATIVE/POLLINATOR
	10	HEBE X 'EMERALD GREEN'	EMERALD GREEN HEBE	#2 CONT	0.3m	POLLINATOR
	10	MAHONIA REPENS	CREEPING MAHONIA	#2 CONT	0.5m	POLLINATOR
	1	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	#3 CONT	1.0m	
	9	STIPA ARUNDINACEA	NEW ZEALAND WIND GRASS	#2 CONT	0.5m	

PLANT SCHEDULE MUNICIPAL						
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	REMARKS
	10	CALLUNA VULGARIS 'FIREFLY'	FIREFLY HEATHER	#1 CONT	0.3m	POLLINATOR
	8	CAREX TESTACEA 'PRAIRIE FIRE'	PRAIRIE FIRE ORANGE SEDGE	#1 CONT	0.35m	
	12	ERIOPHYLLUM LANATUM	WOOLLY SUNFLOWER	#1 CONT	0.2m	NATIVE/POLLINATOR
	6	HEBE X 'EMERALD GREEN'	EMERALD GREEN HEBE	#2 CONT	0.3m	POLLINATOR
	153	MAHONIA REPENS	CREEPING MAHONIA	#2 CONT	0.5m	POLLINATOR
	13	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT EULALIA GRASS	#3 CONT	0.9m	
	15	PINUS MUGO 'COMPACTA'	DWARF MUGO PINE	#3 CONT	1m	
	4	ROSA NUTKANA	NOOTKA ROSE	#2 CONT	1.5m	NATIVE/POLLINATOR
	32	STIPA ARUNDINACEA	NEW ZEALAND WIND GRASS	#2 CONT	0.5m	
	60	VERBENA BONARIENSIS	TALL VERBENA	#1 CONT	0.2m	POLLINATOR

NOTES:
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.

PLANT RATIOS - ON SITE	
NATIVE PLANTS	
• % BY QUANTITY = 4%	
• % BY AREA = 2%	
POLLINATOR PLANTS	
• % BY QUANTITY = 76%	
• % BY AREA = 76%	

PLANT RATIOS - OFF SITE	
NATIVE PLANTS	
• % BY QUANTITY = 3%	
• % BY AREA = 1%	
POLLINATOR PLANTS	
• % BY QUANTITY = 65%	
• % BY AREA = 57%	



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VICTORIA, BC

DESIGNED BY: BIANCA BODLEY
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SEAL

NORTH ARROW

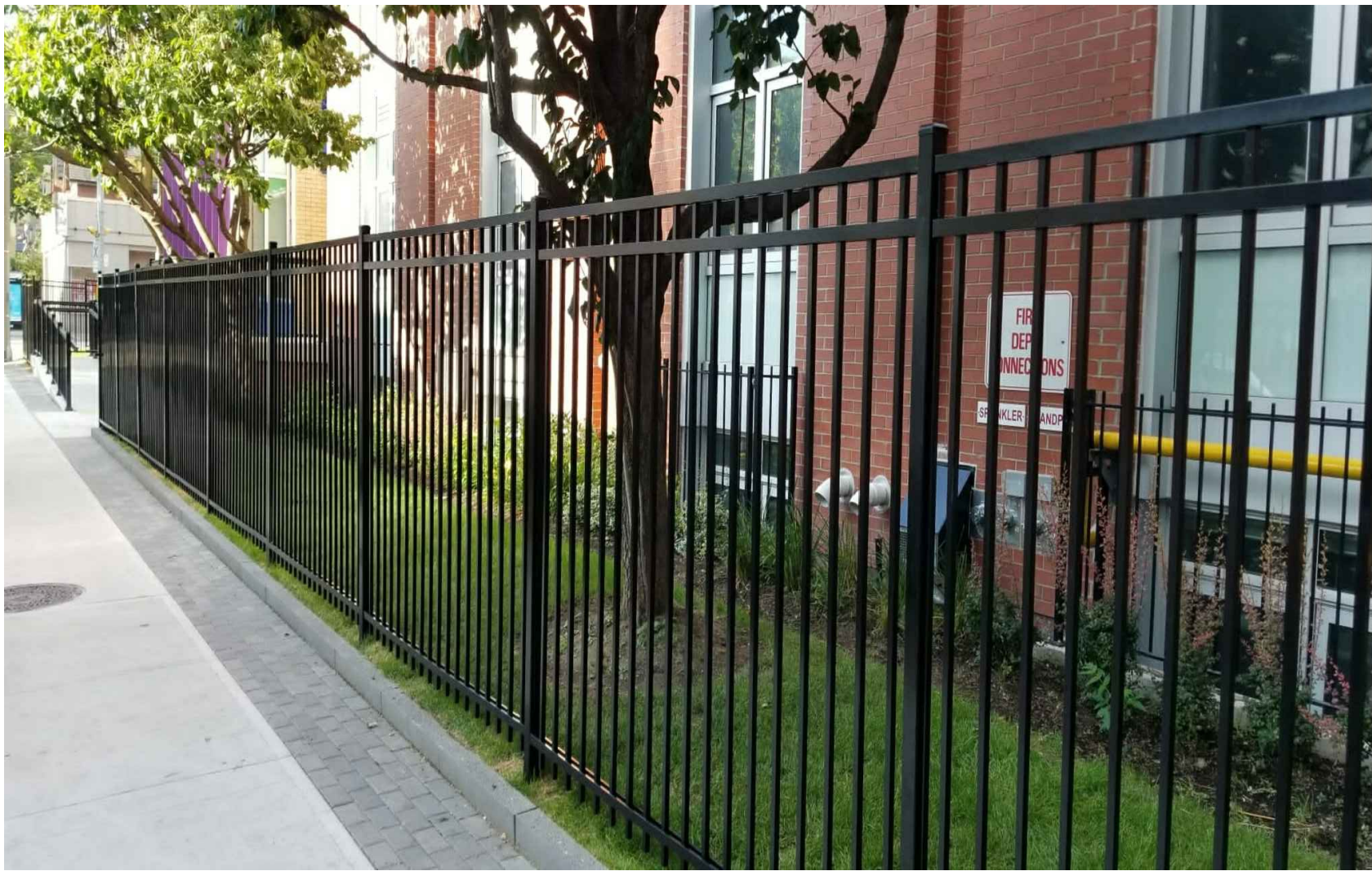


DRAWING TITLE:
PLANTING PLAN

DWG NO:

SCALE: 1:100

L2



1 6' HT PERIMETER FENCE
L3 NTS



2 SOUTH ELEVATION PLANTERS - ELEVATION
L3 1:100



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6		

SEAL

NORTH ARROW



DRAWING TITLE:

**SITE FURNITURE +
PLANTER ELEVATION**

DWG NO:

SCALE: **AS NOTED**

L3