

**BC LAND SURVEYORS SITE PLAN OF:**

**Civic: 1302 Finlayson Road**

**Legal Lot 15, Block 3, Section 4,  
Victoria District, Plan 1200**

Parcel Identifier: 004-786-378  
in the City of Victoria

Setbacks are derived from field survey.

Parcel dimensions shown hereon are  
derived from Land Title Office records.

This document shows the relative location  
of the surveyed features and shall not be  
used to define property boundaries.

**LEGEND**

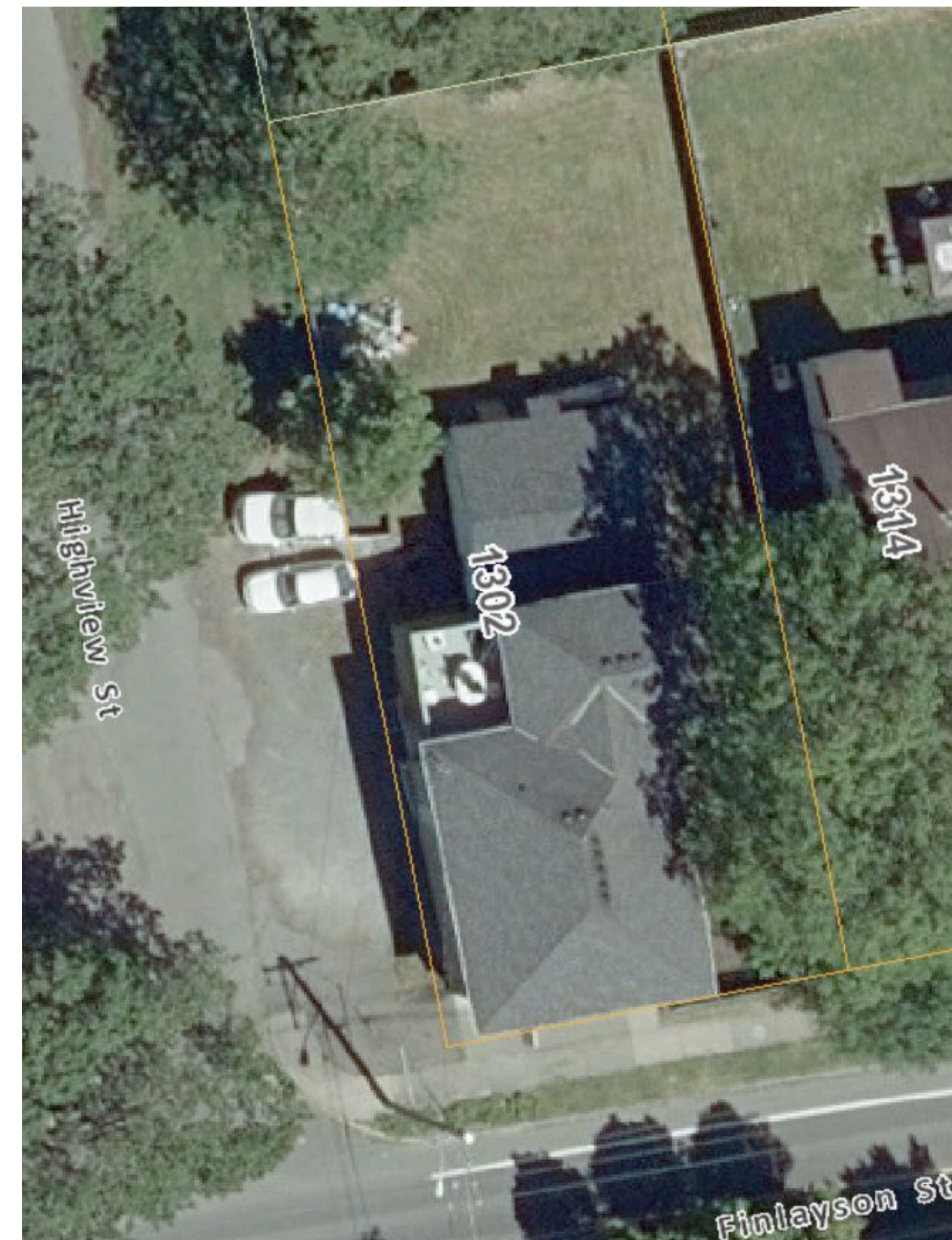
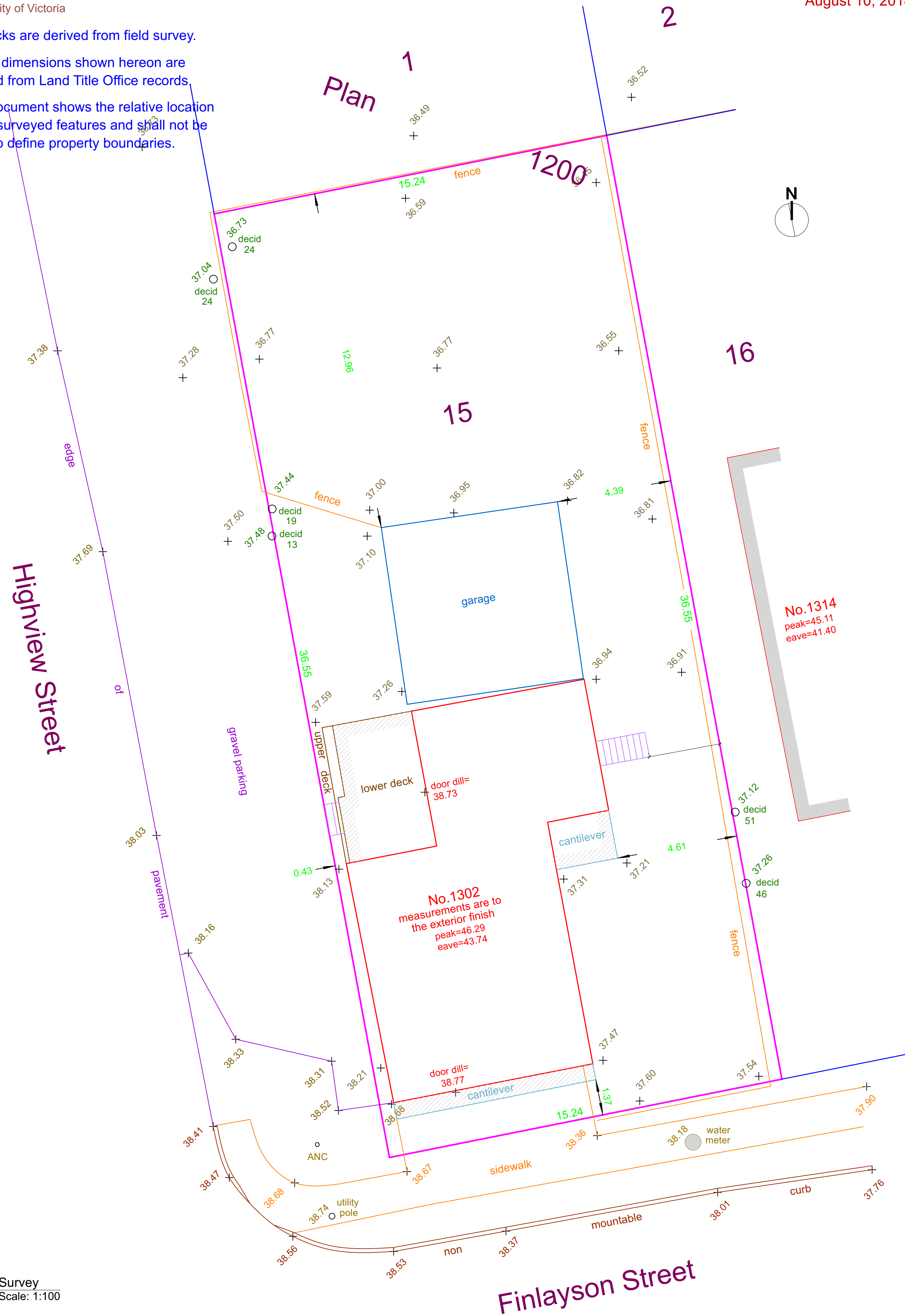
- Elevations are to geodetic datum.
- ANC ○ - denotes - guy wire
- #.# + - denotes - existing elevation
- Tree diameters are in centimetres.

File : 12828-32

**POWELL & ASSOCIATES**  
B C Land Surveyors  
250-2950 Douglas Street  
Victoria, BC V8T 4N4  
phone (250) 382-8855

August 10, 2018

Lot Area = 557 m2



Revisions

Received Date:  
August 16, 2023

		2 2023-08-02 Revised Plans for Development Permit
		1 2023-05-18 Issued for Development Permit
No.	Date	Issue Notes
Design Firm		
Consultant		
Project Title 3109 Highview New Single Family Dwelling Development Permit		
Sheet Title Existing Site Survey		
Project Manager	Project ID	
Drawn By Cantilever Designs	Scale	As Noted
Reviewed By	Sheet No.	
Date 2023-08-02	A 1.0	
CAD File Name	of	
	A 1.6	

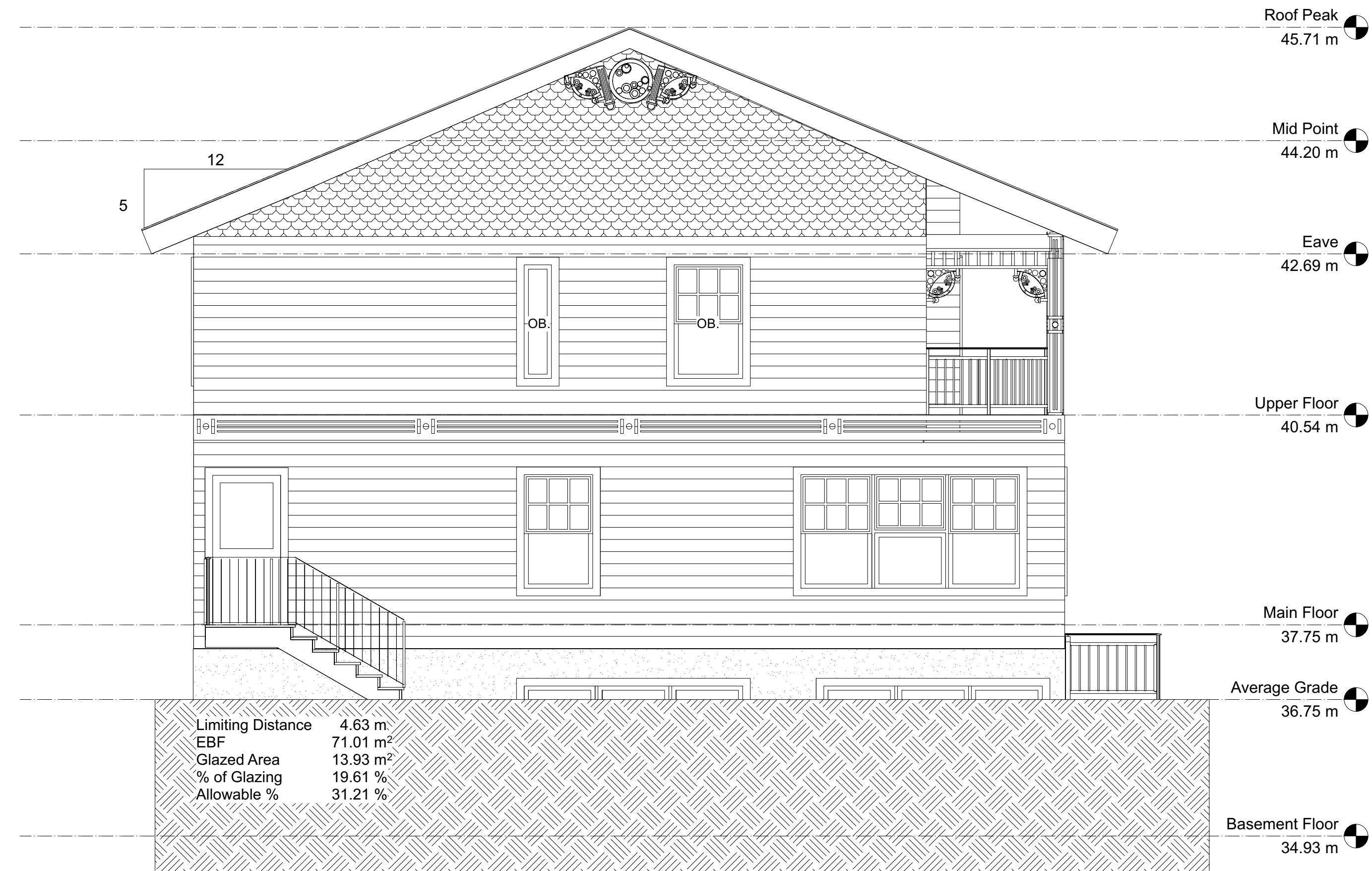
1 Survey  
Scale: 1:100



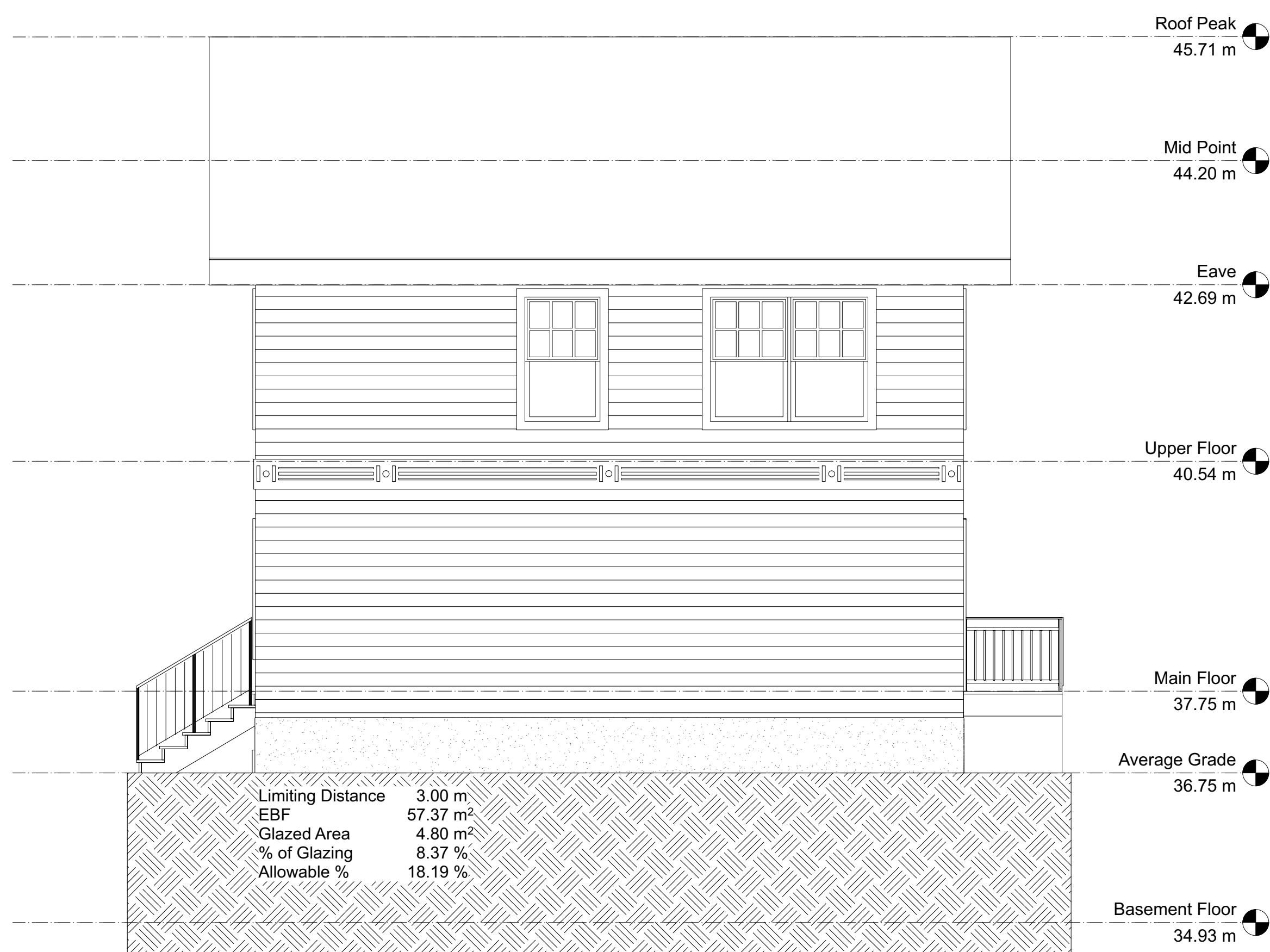




1 North Elevation  
Scale: 1:50



2 East Elevation  
Scale: 1:50



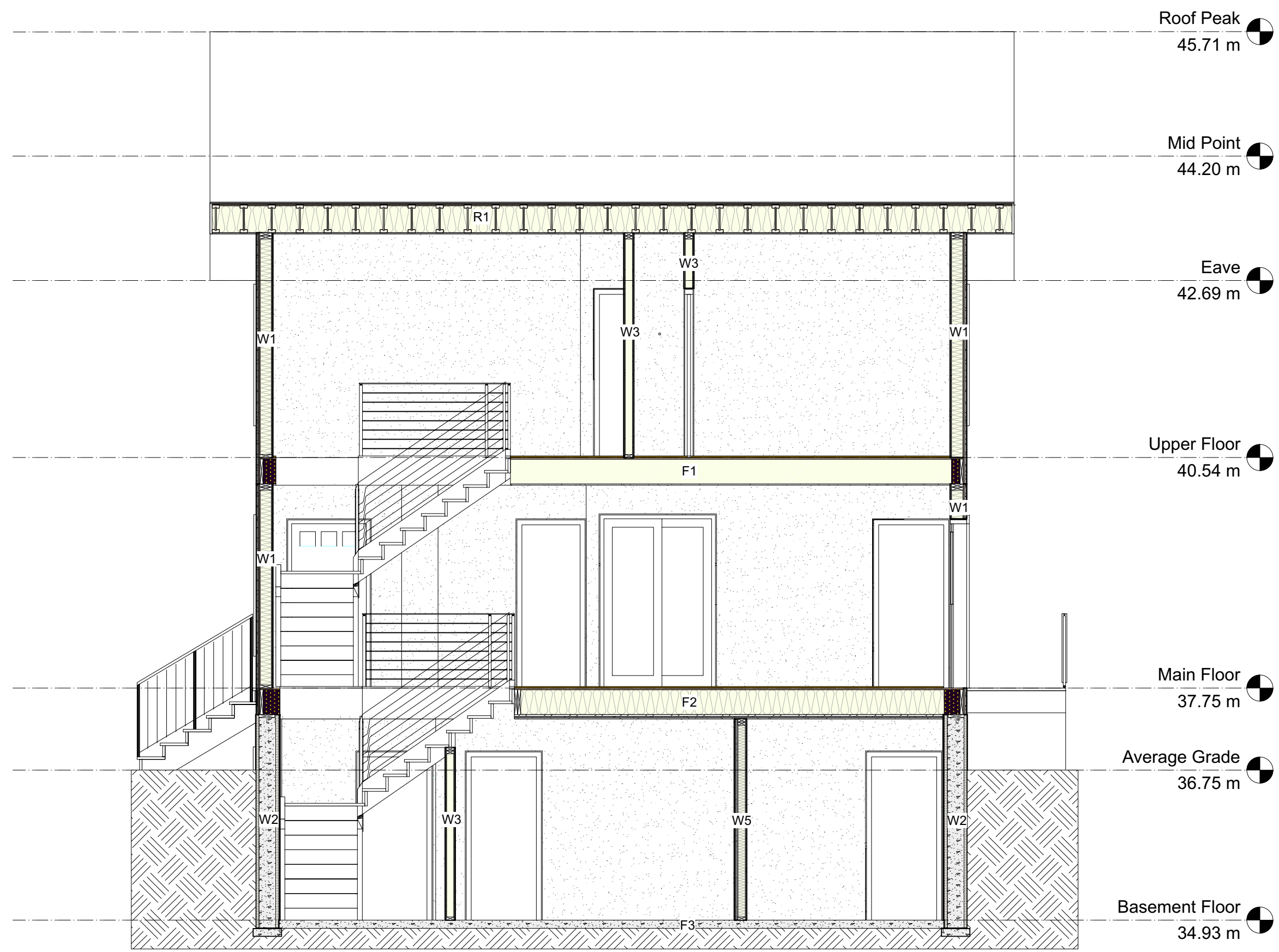
3 South Elevation  
Scale: 1:50



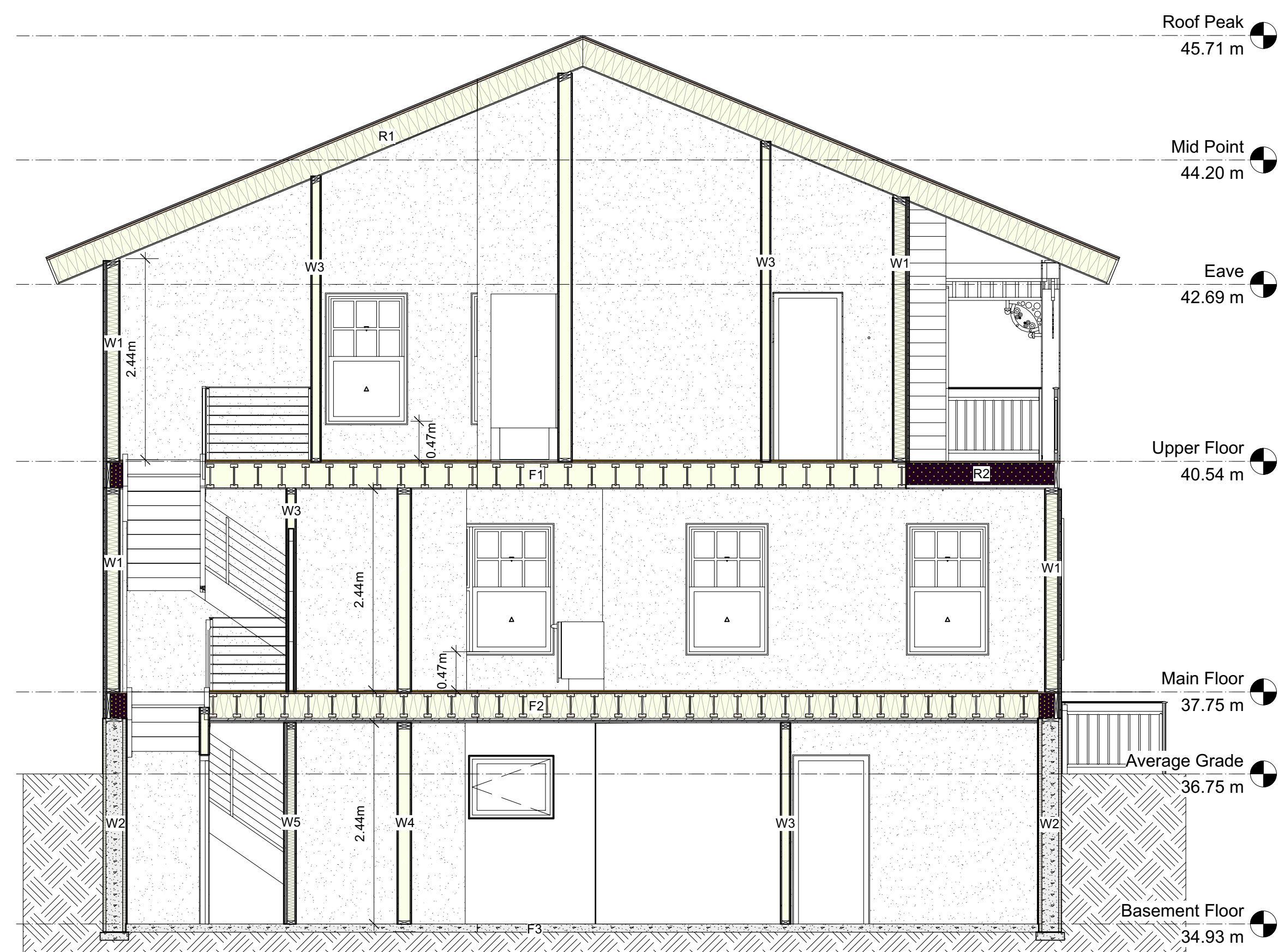
4 West Elevation  
Scale: 1:50

2 2023-08-02 Revised Plans for Development Permit		
1 2023-05-18 Issued for Development Permit		
No.	Date	Issue Notes
Design Firm		
Consultant		
Project Title		
3109 Highview New Single Family Dwelling Development Permit		
Sheet Title		
Elevations		
Project Manager		Project ID
Drawn By Cantlever Designs		Scale As Noted
Reviewed By		Sheet No.
Date 2023-08-02		A 1.2
CAD File Name		of
		A 1.6





1 Cross Section 1  
Scale: 1:50



2 Cross Section 2  
Scale: 1:50

W1 Wall Assembly - Hardie Siding			
	RSI	% of Cavity	Total RSI
Outside Air Film	0.03		0.03
Hardie Siding	0.03		0.03
9.5 mm Strapping	0.15		0.15
Building Wrap or Building Paper	0		0
12.5 mm Plywood Sheathing	0.109		0.109
140 mm studs @ 406 mm o.c.	1.19	23%	2.360
R19 Batt insulation	3.34	77%	
Polyethylene	0		0
Gypsum (12.7 mm)	0.08		0.08
Interior Air Film	0.12		0.12
<b>Assembly Effective RSI</b>			<b>2.88</b>

W2 Wall Assembly			
	RSI	% of Cavity	Total RSI
50 mm XPS 0.036 RSI/mm	1.80		1.80
203 mm Concrete 0.0004 RSI/mm	0.08		0.08
50 mm XPS 0.036 RSI/mm	1.80		1.80
Gypsum (12.7 mm)	0.08		0.08
Interior Air Film	0.12		0.12
<b>Assembly Effective RSI</b>			<b>3.88</b>

W3 Wall Assembly			
Gypsum (12.7 mm)			
89 mm studs @ 406 mm o.c.			
Gypsum (12.7 mm)			

W4 Wall Assembly			
Gypsum (12.7 mm)			
140 mm studs @ 406 mm o.c.			
Gypsum (12.7 mm)			

W5 Wall Assembly - W4b BCBC Table 9.10.3.1.-A			
1 layer 15.9mm Type X GWB			
38 mm x 89 mm studs @ 600 mm o.c.			
89 mm thick rockwool insulation			
Res. metal chan. @ 400 or 600 mm o.c.			
2 layers 15.9mm Type X GWB			
<b>STC 54 FRR 1 Hour</b>			

F1 Floor Assembly	
Finished floor	
Plywood or OSB 15.5 mm subfloor	
Wood I-joists 285mm	
1 layer 12.7 GWB	

F2 Floor Assembly - F6d BCBC Table 9.10.3.1.-B	
Finished floor	
Plywood or OSB 15.5 mm subfloor	
Wood I-joists 285mm @ 600 mm o.c. max	
Absorptive material in cavity	
Steel furring channels @ 600 mm o.c.	
2 layers 15.9mm Type X GWB	
<b>STC 44 FRR 1 Hour</b>	

F3 Floor Assembly	
Finished floor	
Concrete 100 mm	
Polyethylene	
Drainage layer	

R1 Roof Assembly			
	RSI	% of Cavity	Total RSI
Outside Air Film	0.03		0.03
Asphalt Shingles Roofing	0.03		0.03
12.5 mm Plywood Sheathing	0.109		0.109
Air Space (63 mm)	0.16		0.16
Roof joists (285 mm @ 0.0085 RSI/mm)	2.42	9%	4.905
Min R31 Batt insulation	5.46	91%	
Polyethylene	0		0
Gypsum (12.7 mm)	0.08		0.08
Interior Air Film	0.11		0.11
<b>Assembly Effective RSI</b>			<b>5.42</b>

R2 Roof Assembly			
	RSI	% of Cavity	Total RSI
Outside Air Film	0.03		0.03
EPDM Roofing	0.03		0.03
12.5 mm Plywood Sheathing	0.109		0.109
Roof joists (285 mm @ 0.0085 RSI/mm)	2.42	9%	4.971
Min R31 Spray Foam insulation	5.55	91%	
Polyethylene	0		0
Gypsum (12.7 mm)	0.08		0.08
Interior Air Film	0.11		0.11
<b>Assembly Effective RSI</b>			<b>5.33</b>

2 2023-08-02 Revised Plans for Development Permit  
1 2023-05-18 Issued for Development Permit

No.	Date	Issue Notes

Design Firm  
Consultant

Project Title  
**3109 Highview  
New Single Family Dwelling  
Development Permit**

Sheet Title  
**Cross Sections  
Materials**

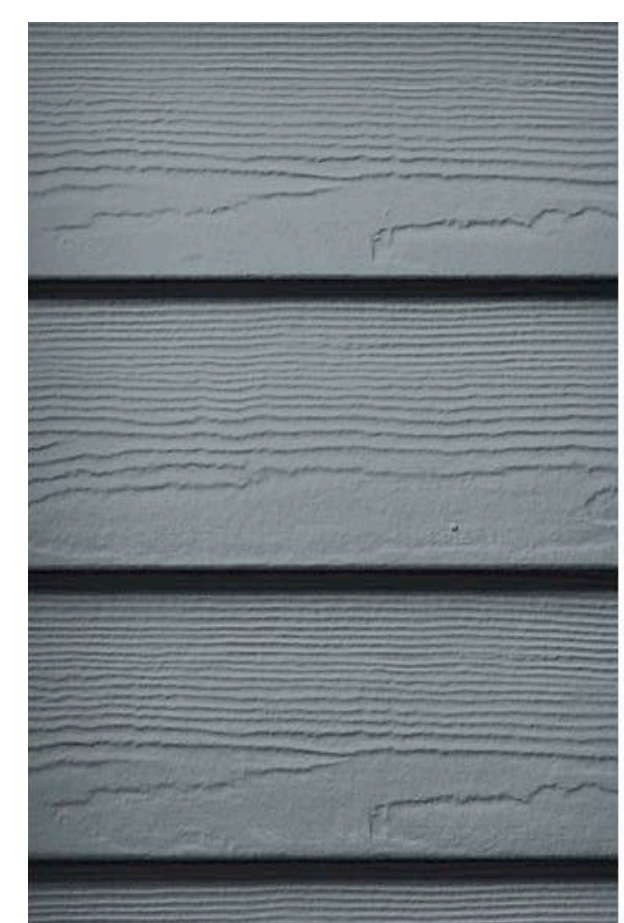
Project Manager  
Drawn By  
Reviewed By  
Date  
CAD File Name

Project ID  
Scale  
As Noted

Sheet No.  
**A 1.3**  
of  
A 1.6



- HARDIESHINGLE SIDING IN HALF-ROUND NOTCHED PANEL INSTALL IN END GABLES - PAINTED WHITE
- HARDIEPLANK LAP SIDING IN SELECT CEDARMILL INSTALLED ON MAIN AND UPPER EXTERIOR WALLS - PAINTED IN PENINSULA (0654) BLUE
- HARDIE TRIM BOARDS - PAINTED WHITE
- PRESSURE TREATED DECKING STAINED BROWN - FRONT DECK AND REAR STAIRS
- PAINTED WHITE RISERS - FRONT AND REAR STAIRS
- DURADECK IN BARNWOOD COLOUR - UPPER COVERED DECK
- STEEL INSULATED DOORS PAINTED IN PENINSULA (0654) BLUE - FRONT AND BACK
- METAL FLASHING, FASCIA AND VENTED SOFFITS - WHITE
- ASPHALT SHINGLES - CHARCOAL GREY



HardiePlank® Lap Siding  
**SELECT CEDARMILL**

Our natural cedar look has a soft texture that mimics wood. A great choice for historic homes, mountain chalets, woody retreats and ranch houses.

Boothbay Blue 20 finishes

More ColorPlus® Technology colors are available near you...

THICKNESS: 0.312"  
LENGTHS: 144" boards  
WIDTHS: 12"\* 6.25" 7.25" 8.25" 9.25"\*  
EXPOSURES: 10.75" 5" 6" 7" 8"

\*Sizes/exposures not available in ColorPlus® Technology, only primed.

HardieTrim® Boards  
**4/4 SMOOTH**

You can't go wrong with this simple, clean look. With our Color-Plus® Technology finish, your vibrant color will last for years. This trim will complete any style home that needs an update, particularly if your look is more modern.

Navajo Beige 16 finishes

More ColorPlus® Technology colors are available near you...

THICKNESS: 0.75"  
LENGTH: 144" boards  
WIDTHS: 1.65"\* 11.25" 3.5" 5.5" 5.5"\* 7.25" 9.25"

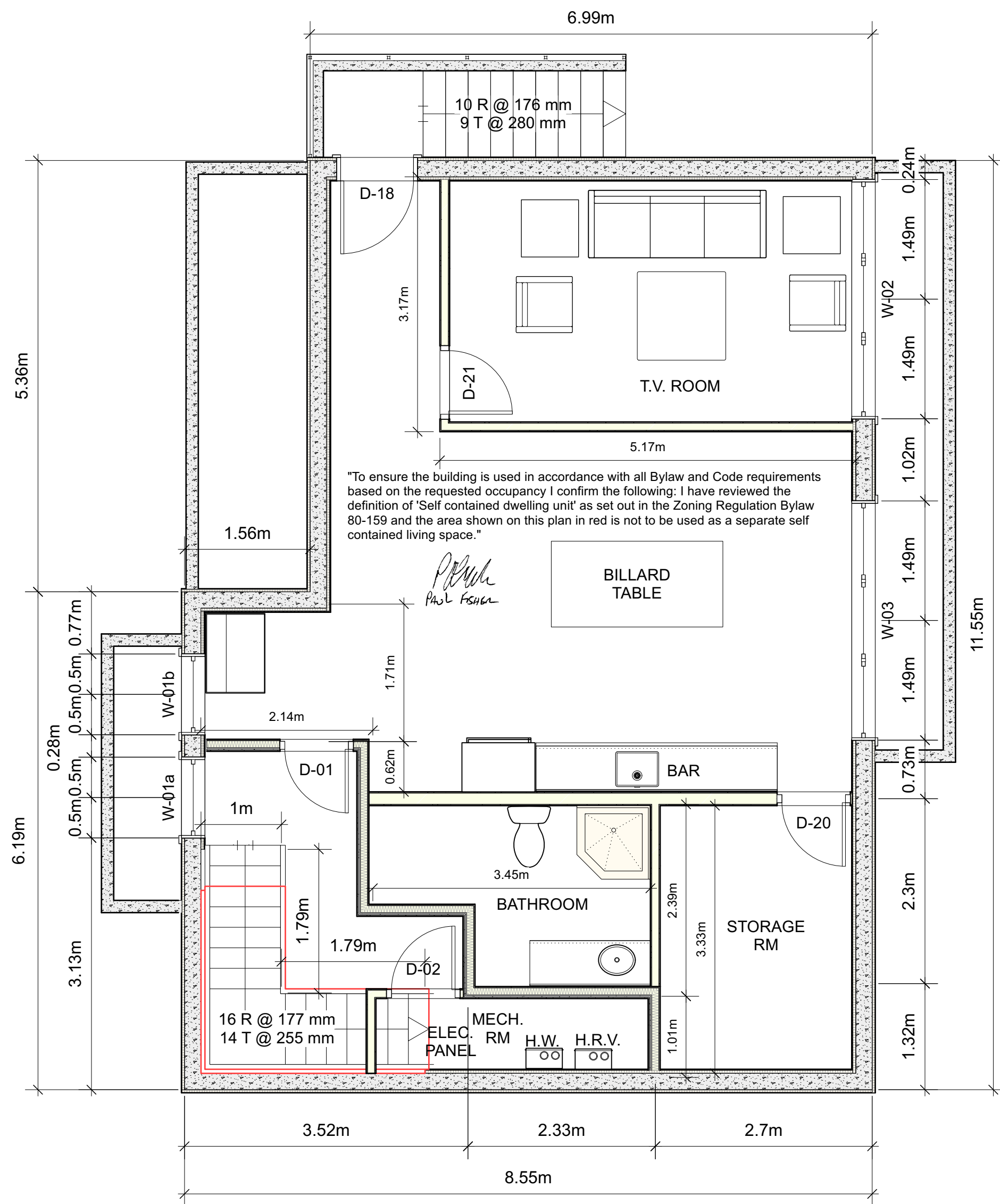
\*Sizes/exposures not available in ColorPlus® Technology, only primed.

**HARDIESHINGLE® SIDING IN HALF-ROUND NOTCHED PANEL**

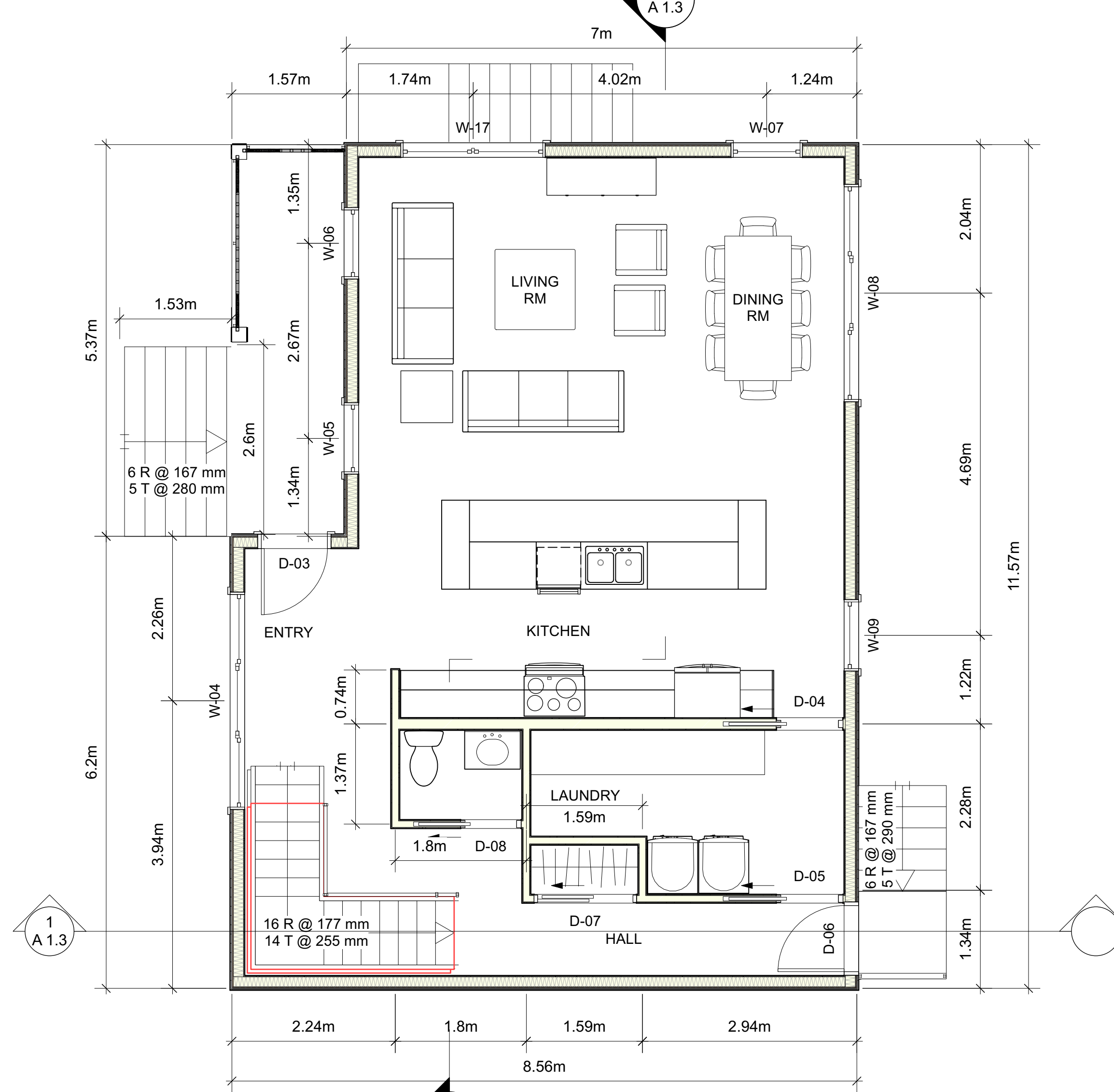


Barnwood

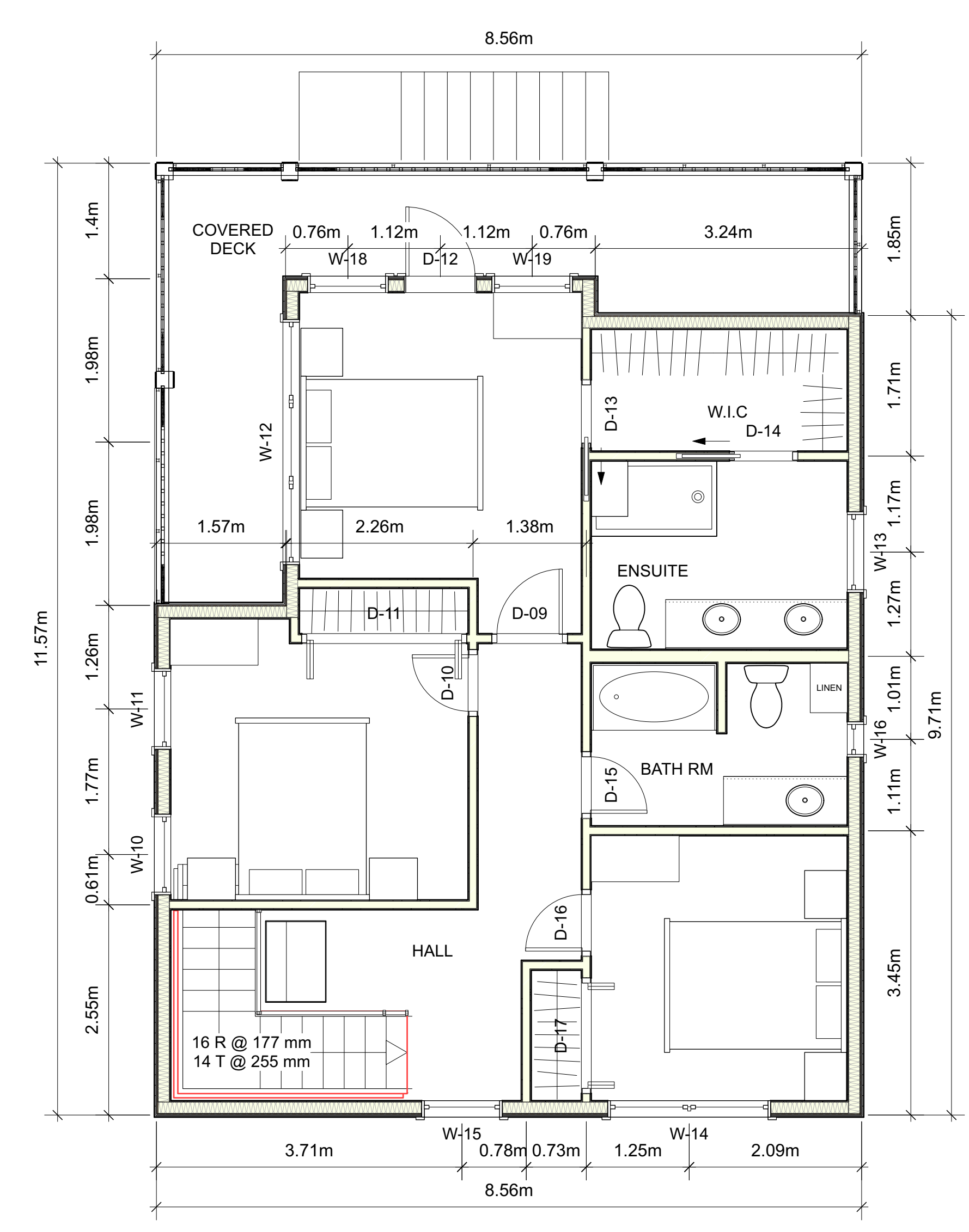




1 Basement Floor Plan  
Scale: 1:50



2 Main Floor Plan  
Scale: 1:50



3 Upper Floor Plan  
Scale: 1:50

ALL WORK TO COMPLY WITH THE CURRENT EDITION OF THE BC BUILDING CODE REFER TO STRUCTURAL PLANS FROM ENGINEER FOR FRAMING, FOUNDATION, FOOTING AND ANY STRUCTURAL ELEMENTS ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE ALL EXPOSED EXTERIOR POSTS TO BE 8X8 MIN. ALL LINTELS TO BE 2-PLY 2X10 U.N.O.

ALL CONCRETE TO BE MINIMUM 25 MPa AT 28 DAYS

EXTERIOR FOUNDATION WALL TO EXTEND MIN 150 mm ABOVE FINISHED GRADE.

ALL INTERIOR DOORS TO BE MINIMUM 68" TALL UNLESS NOTED OTHERWISE; PROVIDE MIN. 2-STUDS E/S AT JAM FRAMING

ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS

DESIGN LOADS: VICTORIA: Ss: 1.5 kPa Sr: 0.3kPa

ALL NEW WINDOWS TO MEET NAFS: DP: 1440 PG: 30 WATER RESIST: 220

HANDRAILS TO COMPLY WITH BCBC DIV B 9.8.7.

GUARDRAILS TO COMPLY WITH BCBC DIV B 9.8.8. NO OPENING GREATER THAN 100MM

AIR BARRIER TO BE OVERLAPPED, STRUCTURALLY SUPPORTED AND SEALED AT ALL JOINTS.

EFFECTIVE RSI MUST BE MAINTAINED BEHIND ELECTRICAL RECEPTACLES AND PIPING AS PER BCBC 9.36

SMOKE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM, EVERY STOREY AND THE AREA OUTSIDE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY. AS PER BCBC DIV B 9.10.19.3. CO2 ALARMS TO BE INSTALLED IN EACH BEDROOM OR 5M OUTSIDE THE BEDROOM DOOR.

BEDROOM WINDOWS TO MEET BCBC DIV B 9.9.10.1. NO DIMENSION LESS THAN 380MM WITH AN AREA OF 0.35M2

ALL NEW FLASHINGS TO COMPLY TO BCBC DIV B 9.27.3.7. - 9.27.3.8.

BATHROOM EXHAUST TO COMPLY WITH 9.32.

VENTILATION TO COMPLY WITH BCBC 9.32.

ROOF SPACE VENT AREA SHALL BE NOT LESS THAN 1/150

SOLID RWL AND PERIMETER DRAIN TO BE CONNECTED TO NEW STORM DRAIN LATERAL

WINDOW WELLS TO BE DRAINED TO COMPLY WITH BCBC 9.14.6.3

### Door Schedule

Mark	Nominal Size			Door Style		Openings	
	Width	Height	Thickness	Configuration	Slab Style	RO Width	RO Height
D-01	0.91m	2.04m	0.04m	Swing Simple	Solid	0.936m	2.053m
D-02	0.91m	2.04m	0.04m	Swing Simple	Solid	0.936m	2.053m
D-03	1m	2.04m	0.04m	Swing Simple	Custom	1.026m	2.053m
D-04	0.91m	2.04m	0.04m	Pocket Simple	Solid	0.936m	2.053m
D-05	0.91m	2.04m	0.04m	Pocket Simple	Solid	0.936m	2.053m
D-06	1m	2.04m	0.04m	Swing Simple	Glass	1.026m	2.053m
D-07	1.4m	2.1m	0.04m	Slider	Panel	1.426m	2.113m
D-08	0.826m	2.04m	0.04m	Pocket Simple	Solid	0.852m	2.053m
D-09	0.914m	2.04m	0.04m	Swing Simple	Solid	0.94m	2.053m
D-10	0.807m	2.04m	0.04m	Swing Simple	Solid	0.833m	2.053m
D-11	2m	2.04m	0.04m	Bi-fold Bi-part	Solid	2.026m	2.053m
D-12	0.875m	2.04m	0.04m	Swing Simple	Glass	0.901m	2.053m
D-13	0.826m	2.04m	0.04m	Pocket Simple	Solid	0.852m	2.053m
D-14	0.826m	2.04m	0.04m	Pocket Simple	Solid	0.852m	2.053m
D-15	0.807m	2.04m	0.04m	Swing Simple	Solid	0.833m	2.053m
D-16	0.807m	2.04m	0.04m	Swing Simple	Solid	0.833m	2.053m
D-17	1.4m	2.04m	0.04m	Bi-fold Bi-part	Solid	1.426m	2.053m
D-18	1m	2.05m	0.04m	Swing Simple	Custom	1.026m	2.063m
D-20	0.91m	2.04m	0.04m	Swing Simple	Solid	0.936m	2.053m
D-21	0.91m	2.04m	0.04m	Swing Simple	Solid	0.936m	2.053m

### Window Schedule

Mark	Nominal Size		Glass	Openings	
	O.A. Width	O.A. Height		Egress Window	Configuration
W-01a	1.03m	0.765m	Clear	YES 0.946 M x 0.679 M	Casement
W-01b	1.03m	0.765m	Clear	YES 0.946 M x 0.679 M	Casement
W-02	3m	0.765m	Clear	YES 0.946 M x 0.679 M	Casement
W-03	3m	0.765m	Clear	YES 0.946 M x 0.679 M	Casement
W-04	3m	1.6m	Clear	YES 0.946 M x 0.729 M	Double Hung
W-05	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-06	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-07	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-08	3m	1.6m	Clear	YES 0.946 M x 0.729 M	Double Hung
W-09	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-10	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-11	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-12	3m	0.6m	Clear	YES 0.946 M x 0.514 M	Awning
W-13	1m	1.6m	Obscured / Frosted	YES 0.914 M x 0.729 M	Double Hung
W-14	2m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-15	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-16	0.45m	1.6m	Obscured / Frosted	No 0.360 M x 0.729 M	Double Hung
W-17	2m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-18	1m	1.1m	Clear	YES 0.914 M x 0.487 M	Double Hung
W-19	1m	1.1m	Clear	YES 0.914 M x 0.487 M	Double Hung

2 2023-08-02 Revised Plans for Development Permit

1 2023-05-18 Issued for Development Permit

No. Date Issue Notes

Design Firm

Consultant

Project Title  
3109 Highview  
New Single Family Dwelling  
Development Permit

Sheet Title  
Basement Floor Plan  
Main Floor Plan  
Upper Floor Plan

Project Manager Project ID

Drawn By Scale  
Cantliever Designs As Noted

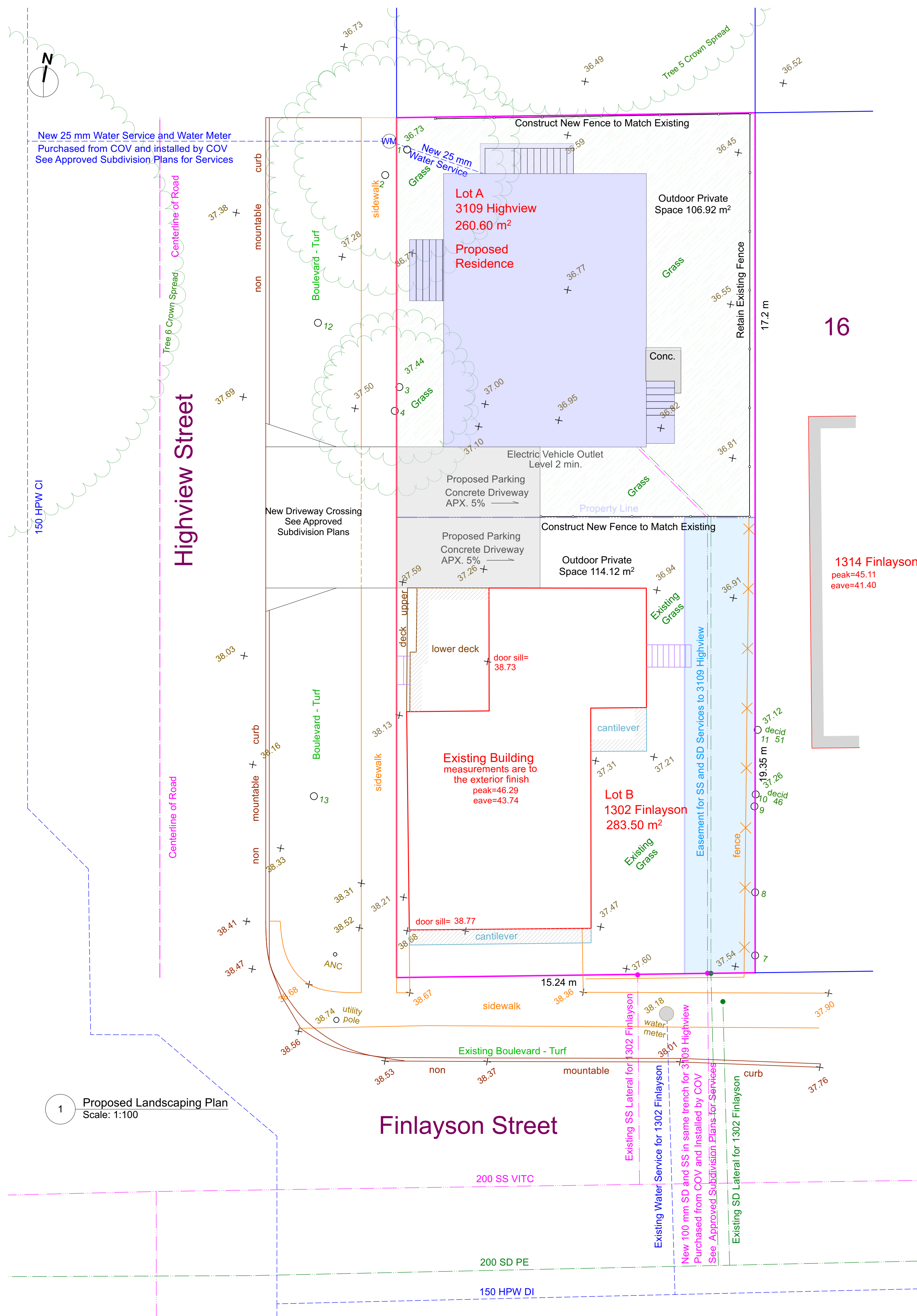
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Date  
2023-08-02

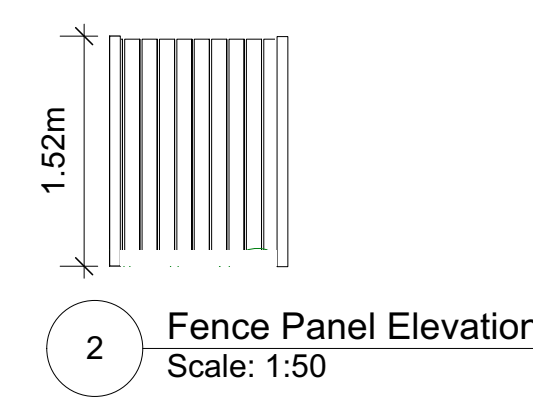
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A 1.4  
of  
A 1.6





Trees					
Tree Number	Species	DBH (m)	Crown Spread (Dia. in m)	CRZ (radius in m)	Comments
1	European Ash - Fraxinus Excelsior	0.22	5.0	2.5	Existing to be removed
2	European Ash - Fraxinus Excelsior	0.22	6.0	2.5	Existing to be removed
3	European Ash - Fraxinus Excelsior	0.19	6.0	2.5	Existing to be removed
4	European Ash - Fraxinus Excelsior	0.12 0.12 0.11	6.0	3.0	Existing to be removed
5	Garry Oak - Quercus garyana	0.75	19.0	7.5	Existing to be retained. (Protected)
6	Garry Oak - Quercus garyana	0.88 0.80 0.73	23.0	18.0	Existing to be retained. (Protected)
7	European Ash - Fraxinus Excelsior	0.26 0.12	7.0	4.0	Existing to be removed
8	Wild Plum - Prunus Species	0.25 0.18 0.17 0.13	10.0	5.5	Existing to be removed
9	European Ash - Fraxinus Excelsior	0.20 0.16	10.0	3.5	Existing to be removed
10	European Ash - Fraxinus Excelsior	0.46	17.0	5.5	Existing to be removed
11	European Ash - Fraxinus Excelsior	0.50	17.0	6.0	Existing to be removed
12	TBD by Parks				New min. 6cm caliper
13	TBD by Parks				New min. 6cm caliper



Existing fence panels. New fence to match existing fence.

1 Proposed Landscaping Plan  
Scale: 1:100

2 Fence Panel Elevation  
Scale: 1:50

2		2023-08-02	Revised Plans for Development Permit
1		2023-08-02	Issued for Development Permit
No.	Date	Issue Notes	
Design Firm			
Consultant			
Project Title		3109 Highview New Single Family Dwelling Development Permit	
Sheet Title		Landscape Plan	
Project Manager		Project ID	
Drawn By Cantilever Designs		Scale As Noted	
Reviewed By		Sheet No.	
Date 2023-08-02		A 1.5	
CAD File Name		of A 1.6	



**1. GENERAL NOTES**

- ALL OFF-SITE WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MMCD SPECIFICATIONS, AS WELL AS THE CITY'S SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042 SCHEDULE B "SUPPLEMENTARY SPECIFICATIONS". IF A DISCREPANCY OCCURS BETWEEN THE TWO DOCUMENTS, THE CITY'S SPECIFICATIONS SHALL TAKE PRECEDENCE, UNLESS OTHERWISE DIRECTED.
- THE APPLICANT SHALL CONTACT THE CITY'S REPRESENTATIVE WITH THE ENGINEERING DEPARTMENT, LAND DEVELOPMENT SECTION (DBECLAERE@VICTORIA.CA) TO ARRANGE FOR A PRE-CONSTRUCTION MEETING FOR THE FRONTAGE WORKS. ONE WEEK (5 WORKING DAYS) ADVANCE NOTICE FOR THE MEETING IS REQUIRED.
- FOLLOWING THE PRE-CONSTRUCTION MEETING, THE CONTRACTOR WILL BE REQUIRED TO COMPLETE AND SUBMIT A CONTRACTOR'S PERMIT TO THE CITY'S ENGINEERING REPRESENTATIVE.
- CONTRACTOR TO OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE MUNICIPALITY 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT EMERGENCY CONTACT NUMBERS TO THE MUNICIPALITY A MINIMUM OF 48 HRS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO MAINTAIN AN UP-TO-DATE SET OF AS-CONSTRUCTED DRAWINGS. DRAWINGS TO BE DELIVERED TO THE ENGINEER PRIOR TO SUBSTANTIAL PERFORMANCE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION LAYOUT, MEANS, METHODS, TECHNIQUES, PROCEDURES, AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
- CONTRACTOR TO ENSURE EXISTING MONUMENTS AND IRON PINS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS OR IRON PINS IN DANGER OF DISTURBANCE SHALL BE REFERENCED AND, IF DISTURBED, REPLACED BY A BCLS AT THE DEVELOPER'S EXPENSE.
- CONTRACTOR TO PROVIDE A MINIMUM OF 24 HRS NOTICE PRIOR TO INSPECTION OR WITNESS TESTS.
- CONTRACTOR IS RESPONSIBLE FOR ANY RESTORATION REQUIRED AS A RESULT OF DAMAGE DONE DURING CONSTRUCTION TO CITY INFRASTRUCTURE. THIS INCLUDES CURB, GUTTER, SIDEWALK, PAVEMENT, ROAD MARKING (LINE PAINTING AND CURB PAINTING) AND BOULEVARD RESTORATION AS REQUIRED.
- CONTRACTOR TO REMOVE AND REPLACE ANY CITY OF VICTORIA SIGNS IMPACTED BY FRONTAGE IMPROVEMENTS.
- RECORD DRAWINGS, AS PER THE CITY'S BYLAW NO. 12-042, SHALL BE SUBMITTED TO THE CITY'S ENGINEERING DEPARTMENT REPRESENTATIVE UPON COMPLETION.
- ALL REQUIRED MATERIAL AND COMPACTION TESTING FOR CONCRETE AND ASPHALT WORKS, AS DESCRIBED IN THE MMCD, SHALL BE SUBMITTED TO THE CITY'S ENGINEERING REPRESENTATIVE AS SOON AS TESTING IS COMPLETED.

**2. TRAFFIC MANAGEMENT**

- THE APPLICANT SHALL CONTACT THE TRANSPORTATION DEPARTMENT (ENG@VICTORIA.CA) TO DISCUSS THE PROPOSED WORKS AND STREET OCCUPANCY PERMIT REQUIREMENTS. ONE WEEK (5 WORKING DAYS) IN ADVANCE OF STARTING CONSTRUCTION.
- CONTRACTOR TO PROVIDE TRAFFIC MANAGEMENT PLAN IN ACCORDANCE WITH MOTI TRAFFIC MANAGEMENT MANUAL MINIMUM TEN (10) BUSINESS DAYS BEFORE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES UNLESS OTHERWISE PERMITTED BY THE MUNICIPALITY.
- ACCESS TO PRIVATE PROPERTY SHALL BE MAINTAINED. THE CONTRACTOR SHALL ACCOMMODATE FOOT ACCESS AT ALL TIMES. CONTRACTOR TO PROVIDE 24 HOURS NOTICE TO RESIDENCES IF VEHICULAR ACCESS CAN NOT BE MAINTAINED. VEHICLE ACCESS MUST BE RESTORED PRIOR TO THE END OF THE WORKING DAY.

**3. PUBLIC IDENTIFICATION**

- THE PUBLIC NOTICE SHALL BE DISTRIBUTED A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCING OF CONSTRUCTION.
- THE PUBLIC NOTICE IS TO BE PREPARED BY THE CONTRACTOR AND PRESENTED TO THE ENGINEER FOR REVIEW PRIOR TO THE DISTRIBUTION TO RESIDENCES.
- THE PUBLIC NOTICE SHALL IDENTIFY THE PROJECT, EXPECTED CONSTRUCTION PERIOD AND PROVIDE CONTACT INFORMATION FOR THE CONTRACTOR, ENGINEER AND THE MUNICIPALITY.
- THE PUBLIC NOTICE SHALL BE HAND DELIVERED TO ALL RESIDENTS AND BUSINESSES WITHIN ONE BLOCK OF THE PROJECT LIMITS.

**4. ENVIRONMENTAL PROTECTION**

- PRIOR TO COMMENCEMENT OF EXCAVATION, SOIL RELOCATION OR DE-WATERING OF THE CONSTRUCTION SITE, CONTRACTORS SHALL BE REGISTERED UNDER BYLAW 14-071, SCHEDULE G: CODE OF PRACTICE FOR CONSTRUCTION AND DEVELOPMENT ACTIVITIES. CONTACT ADAM STEELE, STORMWATER MANAGEMENT SPECIALIST, AT 250.361.0318 OR ASTEELE@VICTORIA.CA TO REGISTER. THE APPLICANT SHALL IMPLEMENT SEDIMENTATION CONTROL TO ENSURE NO SILT LOADED WATER OR DEBRIS FROM EXCAVATION WORKS ENTER THE ADJACENT CATCH BASIN(S) AND THE CITY'S DRAINAGE SYSTEM.
- ALL DISCHARGES FROM CONSTRUCTION SITES TO THE CITY STORM SYSTEM MUST BE REGISTERED AND COMPLIANT WITH THE CITY'S CODES OF PRACTICE PROGRAM. THE PROPERTY MUST BE REGISTERED (SCHEDULE F) AND MUST ENSURE THAT ANY DISCHARGE IS COMPLIANT (SCHEDULES D AND H). THIS INCLUDES AN EROSION AND SEDIMENT CONTROL PLAN, SPILL RESPONSE, SETTLING/FILTRATION WORKS IN PLACE WITH INSPECTIONS AND MAINTENANCE, SAMPLING LOCATIONS, AND SAMPLE COLLECTION AND ANALYSIS.
- NO PROHIBITED WASTE (SCHEDULE D) CAN DRAIN TO THE STORM SYSTEM. IF THIS IS NOT POSSIBLE THEN THE APPLICANT MUST APPLY TO THE CRD TO DISCHARGE TO THE SANITARY SYSTEM.
- TO PROTECT THE SOIL, WATER, AND VEGETATIVE RESOURCES OF THE DEVELOPMENT ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION OF THE WORKS AND SERVICES CONTAINED IN THE ENGINEERING DRAWINGS ARE TO BE DISTURBED.

- PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR CONTROLLING EROSION AND SEDIMENT TRANSFER BY UTILIZING SUCH MEASURES AS CONSTRUCTION OF INTERCEPTOR DITCHES, SILT FENCES, HAY BALE STRUCTURES, SEDIMENT CONTROL PONDS, SEDIMENT TRAPS, STAGED GRAVEL FILTERS, OR OTHER METHODS HE MAY DEEM NECESSARY TO PREVENT DISCHARGE OF SEDIMENT INTO WATERCOURSES.
- PRIOR TO SUBSTANTIAL COMPLETION THE CONTRACTOR SHALL PREPARE AND REVIEW WITH THE OWNER A PLAN WHEREBY THE OWNER WILL UPON FINAL COMPLETION ASSUME RESPONSIBILITY FOR ONGOING EROSION AND SEDIMENT CONTROL MEASURES ON THIS SITE.
- THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR DAMAGES RESULTING FROM IMPROPER EROSION AND SEDIMENT CONTROL MEASURES UNDERTAKEN BY THE CONTRACTOR.
- ENVIRONMENTAL PROTECTION MEASURES TO BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR TO OBTAIN PERMIT PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY.

**5. HYDRO/TELEPHONE/CABLE/STREETLIGHTING**

- HYDRO/TEL/CABLE SERVICING AND STREETLIGHT DESIGN ARE SHOWN SCHEMATICALLY ON THESE PLANS. REFER TO UTILITIES PLANS FOR DETAILED INSTRUCTIONS.

**6. QUALITY ASSURANCE TESTING**

- CONTRACTOR SHALL RETAIN AND PAY THE SERVICES OF A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEER FOR QUALITY ASSURANCE TESTING DURING CONSTRUCTION IN MUNICIPAL RIGHT-OF-WAY AND SHALL AT A MINIMUM PROVIDE:
  - SIEVE ANALYSIS OF SANDS AND AGGREGATES TO BE USED IN THE WORK
  - STANDARD PROCTOR DENSITY CURVES FOR BACKFILL MATERIALS
  - STANDARD PROCTOR DENSITY CURVES FOR APPROVED BORROW MATERIALS
  - COMPACTION TESTS:
    - TRENCH BEDDING (MAINLINE) - ONE FOR EVERY 75 M OF TRENCH
    - TRENCH BACKFILL (MAINLINE) - ONE FOR EVERY 75 M OF TRENCH
    - TRENCH BEDDING (SERVICE) - ONE PER DAY
    - TRENCH BACKFILL (SERVICE) - ONE PER DAY
  - SUB-GRADE APPROVAL BY GEOTECH. (MEMO)
  - GRANULAR BASE (SIDEWALKS/CURBS/GUTTER) - ONE FOR EVERY 50M AND INCLUDES ROLL-TEST BY GETEOCH.
  - CONCRETE MIX DESIGN
  - CONCRETE STRENGTH TESTS
    - ONE PER 150M OF SIDEWALK AND/OR CURB AND GUTTER. MINIMUM OF ONE CORE PER DAY DURING CONCRETE PLACING.
- ASPHALT MIX DESIGN & ASPHALT TESTING
  - AGGREGATE GRADATION TESTS - ONE PER EACH 300 TONNES OF PRODUCTION (MINIMUM ONE PER DAY DURING ASPHALT PLACEMENT).
  - MARSHALL TEST - THREE BRIQUETTES FOR EVERY 300 TONNES OF PRODUCTION (MINIMUM ONCE PER DAY DURING ASPHALT PLACEMENT)
  - COMPACTION - ONE CORE FOR EACH 500 SQ. M.

**7. TRENCHING, EXCAVATING, AND BACKFILLING**

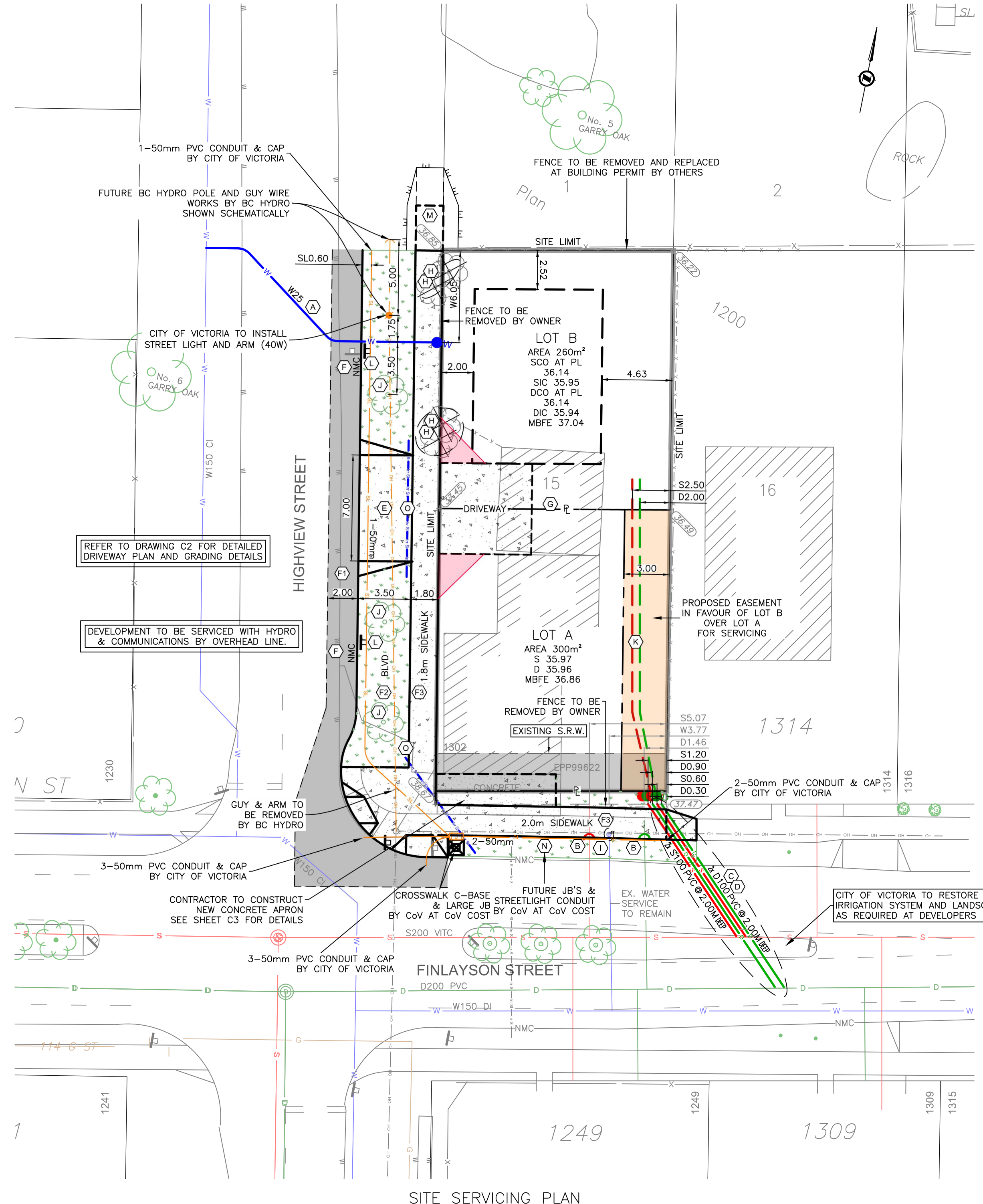
- EXISTING UTILITIES SHOWN ARE AS PER MUNICIPAL RECORDS. THE CONTRACTOR SHALL EXPOSE ALL CROSSINGS PRIOR TO COMMENCING CONSTRUCTION. SHOULD ANY CONFLICT OR DISCREPANCIES ARISE, THE CONTRACT SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- CONTRACTOR TO OBTAIN PERMIT PRIOR TO DEPOSIT OR REMOVAL OF MATERIALS ON THIS SITE.
- ALL SERVICES SHALL BE INSPECTED BY THE ENGINEER AND/OR MUNICIPAL INSPECTOR PRIOR TO BACKFILLING.
- CONTRACTOR TO ENSURE EXISTING SERVICES REMAIN IN SERVICE DURING CONSTRUCTION.

**8. GAS**

- GAS SERVICING IS SHOWN SCHEMATICALLY ON THESE PLANS. REFER TO FORTISBC PLANS FOR DETAILED INSTRUCTIONS. MINIMUM COVER 600MM ON ALL GAS MAINS. 1.5M HORIZONTAL SEPARATION FROM WATER MAINS AND SERVICES. 1.0M SEPARATION FROM OTHER SERVICES.
- CALL BC ONE CALL MINIMUM 72 HOURS PRIOR TO EXCAVATION 1-800-474-6886.

**9. LANDSCAPING**

- ALL EXISTING IRRIGATION IS TO BE PROTECTED. ANY DAMAGE SHALL BE REPAIRED BY CONTRACTOR WITHOUT DELAY TO COV PARKS SATISFACTION.
- CONSTRUCTION STAGING, MATERIALS STORAGE OR VEHICLE PARKING ARE NOT PERMITTED ON THE MUNICIPAL BOULEVARD. THE FINISHED GRADE SHALL BE SMOOTH TO THE EXTENT REQUIRED FOR THE SOD TO BE CARRIED OUT. THE GRADE SHALL BE FIRM AGAINST FOOTPRINTS, LOOSE TEXTURED AND FREE OF ALL STONES, ROOTS AND BRANCHES. AREAS THAT ARE EXCESSIVELY COMPACTED SHALL HAVE THEIR SURFACE LOOSENEED BY MEANS OF A THOROUGH SCARIFICATION, DISCING OR HARROWING TO A MINIMUM OF 6 INCHES.
- SOD MUST BE SUFFICIENTLY ESTABLISHED SO THAT ITS ROOTS ARE GROWING INTO THE UNDERLYING GROWING MEDIUM. IT MUST BE MOWED AT LEAST ONCE TO A HEIGHT OF 1.5 INCHES. SOD LAWNS MUST SHOW NO VISIBLE SEAMS AND MUST BE RELATIVELY FREE OF WEEDS AND INVASIVE PLANTS - CONTAINING NO MORE THAN 5 BROADLEAF WEEDS OR 25 ANNUAL WEEDS PER 120YD2.
- THE PARKS DEPARTMENT MUST INSPECT THE GRADED AND COMPACTED GROWING MEDIA PRIOR TO INSTALLATION OF THE SOD.



**DETAILED CONSTRUCTION NOTES:**

- CITY OF VICTORIA TO INSTALL NEW 25mm WATER SERVICE AT DEVELOPERS EXPENSE. PUBLIC WORKS TO COORDINATE WITH PARKS & ARBORIST FOR WORKS WITHIN CRITICAL ROOT ZONE OF TREE No. 6. NOTE: PUBLIC WORKS TO DEFLECT SERVICE AS NEEDED TO AVOID ROOTS. NOTE: SERVICE TO BE INSTALLED PERPENDICULAR TO P.L. UP TO NEW ASPHALT CUT.
- CONTRACTOR TO CUT AND CAP EXISTING SANITARY SERVICE & DRAIN SERVICE AT PROPERTY LINE.
- CITY OF VICTORIA TO INSTALL 2x NEW 100mm SANITARY SERVICES ANGLED AT SANITARY MAIN AS PER MMCD DWG. S7 AT DEVELOPERS EXPENSE.
- CITY OF VICTORIA TO INSTALL 2x NEW 100mm DRAIN SERVICES ANGLED AT STORM MAIN AS PER MMCD DWG. S7 AT DEVELOPERS EXPENSE.
- CONTRACTOR TO CONSTRUCT NEW 7.0m WIDE 150mm CONCRETE DRIVEWAY APRON COMPLETE WITH BROOM FINISH CONCRETE TO R AS PER CITY OF VICTORIA HIGHWAY ACCESS BYLAW AND COV STD. DWG. C7a & C7c. CONTRACTOR TO CONSTRUCT 1.0m CONCRETE TRANSITIONS AND FLARES AT CURB.
- CONTRACTOR TO CONSTRUCT NEW CONCRETE BARRIER CURB AS PER MMCD STD. DWG. C4.
- CONTRACTOR TO CONSTRUCT NEW 2.0m STRIP OF ASPHALT AS PER COV STD. DWG. G5a AND MMCD DWG. G5. CONTRACTOR TO VERIFY EXISTING DEPTH OF ASPHALT TO DETERMINE IF LAP-JOINT AND 60mm ASPHALT IN 2 LIFTS IS REQUIRED.
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- CONTRACTOR TO CONSTRUCT 1.8M/2.0M CONCRETE SIDEWALK AS PER COV STD. DWG. C15.
- EXISTING BUILDING TO BE REMOVED UNDER SEPARATE DEMOLITION PERMIT BY OWNER.
- CITY OF VICTORIA PARKS TO CUT & REMOVE TREE AT DEVELOPERS EXPENSE. CONTRACTOR TO CLEAR & GRUB.
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- CONTRACTOR TO CONSTRUCT ONSITE SANITARY & STORM SERVICE AND TRANSFER NEW SERVICES TO EXISTING HOUSE AS REQUIRED. WORKS UNDER SEPARATE PLUMBING PERMIT. SEE NOTE K1 ON SHEET C3.
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- CONTRACTOR TO INSTALL 100MM DIAMETER SCH 40 PVC OR SDR SEWER PIPE, BURIED AT 400MM DEPTH. EXTEND ENDS OF SLEEVE 300MM BEYOND EDGE OF HARD SURFACE.

UTILITY	PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
		NAME	SIGNATURE	
UTILITY	BC HYDRO ELECTRIC	BOBBI BUCIC	ON FILE	20220502
	TELUS	AMANDEEP SINGH	ON FILE	20220427
	FORTIS BC			
	SHAW CABLE	SHAWN O'CONNOR	ON FILE	20220428
MUNICIPAL	UNDERGROUND			
	PARKS			
	TRANSPORTATION			
	LAND DEVELOPMENT			



KEY PLAN  
1:2500  
LEGAL DESCRIPTION: LOT 15, BLOCK 3, SECTION 4, VICTORIA DISTRICT, PLAN 1200

**ISSUED FOR CONSTRUCTION**

NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK	REV.	DESCRIPTION	YYYYMMDD	DE	DA	CK
2	ISSUED FOR CONSTRUCTION	20220915	RT	KHG							
1	ISSUED FOR SUBDIVISION APPROVAL	20211125	RT	KHG							

**REVISION**

NO.	DESCRIPTION	DATE	BY	CHKD

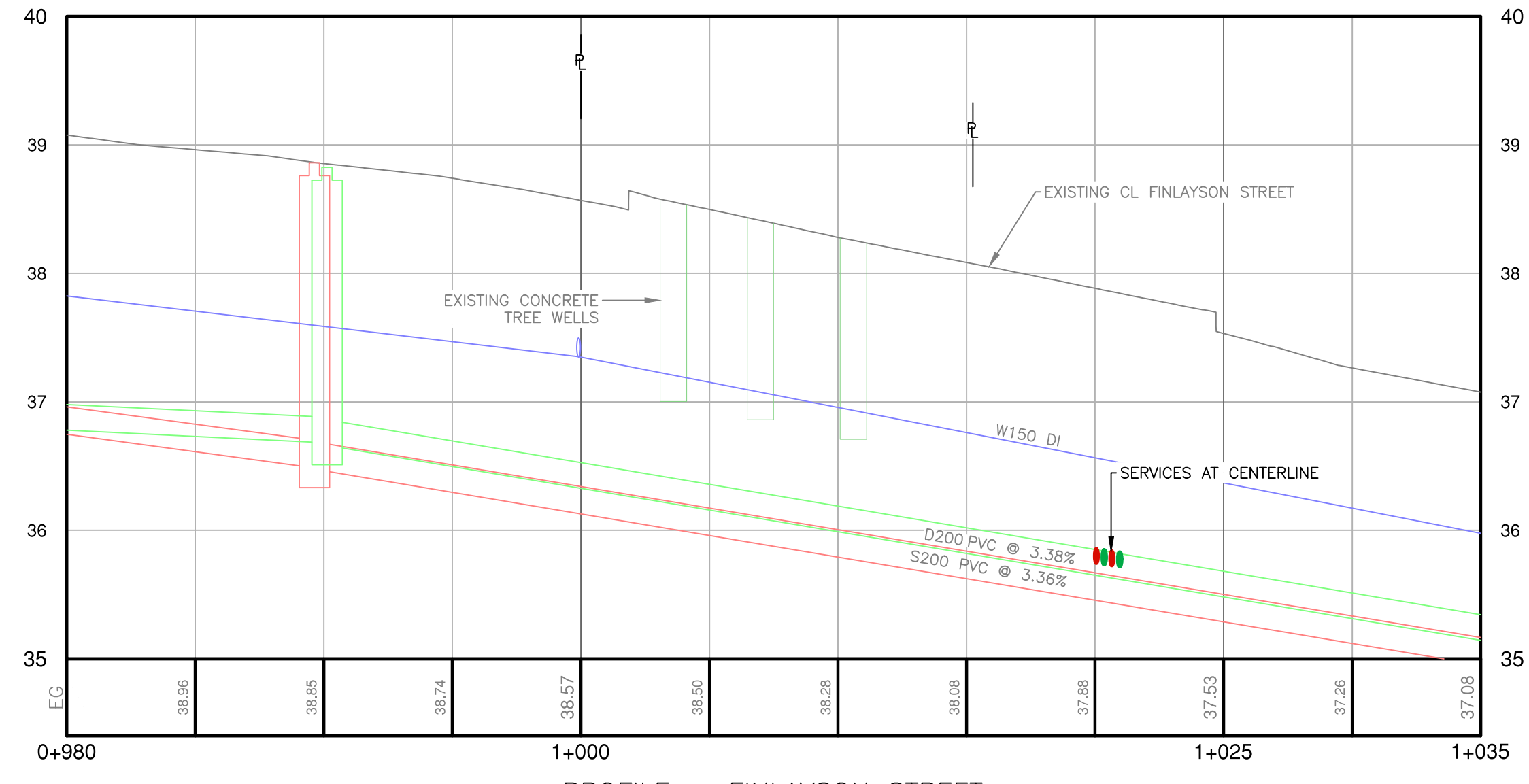
**LEGEND**

LAMP STANDARD	← LS	CLEANOUT	□	DITCH	—
POLE (Hydro, Tel.)	← PP	CATCHBASIN	□	METER	⊙
U/G WIRING	— UE	MANHOLE	⊙	FLUSH VALVE	⊙
GAS	— G	SERVICE RISER	⊙	VALVE	⊙
WATER	— W	MOUNTABLE CURB	— MC	REDUCER	—
SEWER	— S	NON-MOUNT. CURB	— NMC	HYDRANT	⊙
DRAIN	— D	EDGE ASPHALT	—	AIR VALVE	⊙

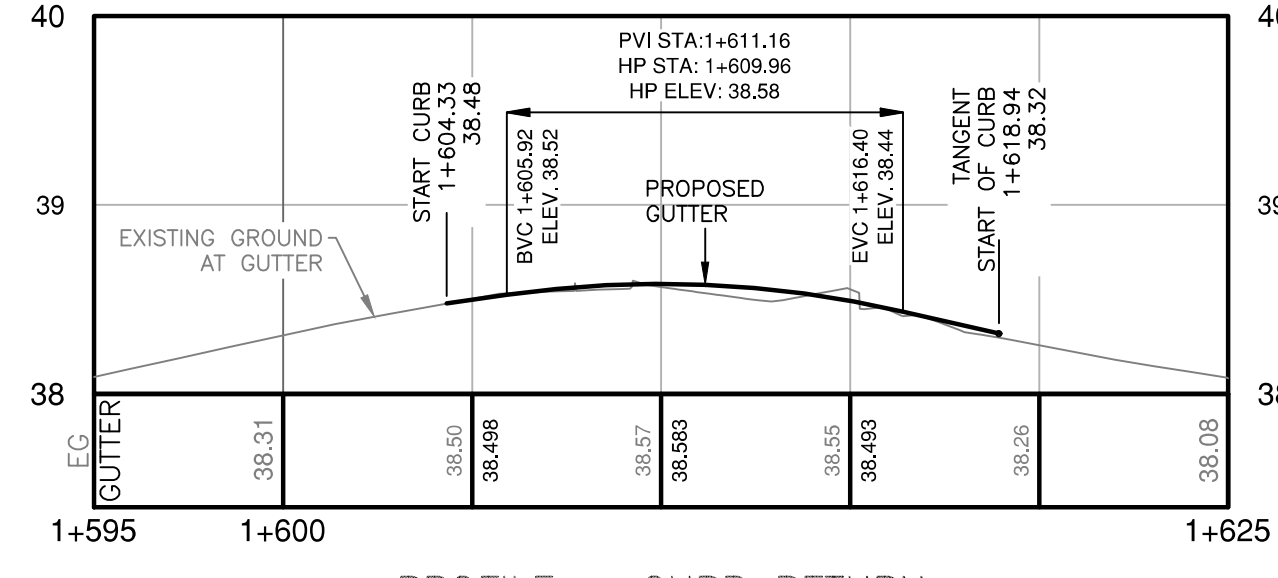
**JEA J E ANDERSON & ASSOCIATES**  
SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER  
PHONE: 250-727-2214 info@jeanderson.com

JURISDICTION	CLIENT
CITY OF VICTORIA	PAUL FISHER
PROJECT	1302 FINLAYSON & 3105 HIGHVIEW CIVIL SITE SERVICING
SITE SERVICING PLAN, NOTES & KEY PLAN	32444 02 C1
ENGINEERS SEAL	MUN. FILE SUB00384 SHEET 1 OF 3

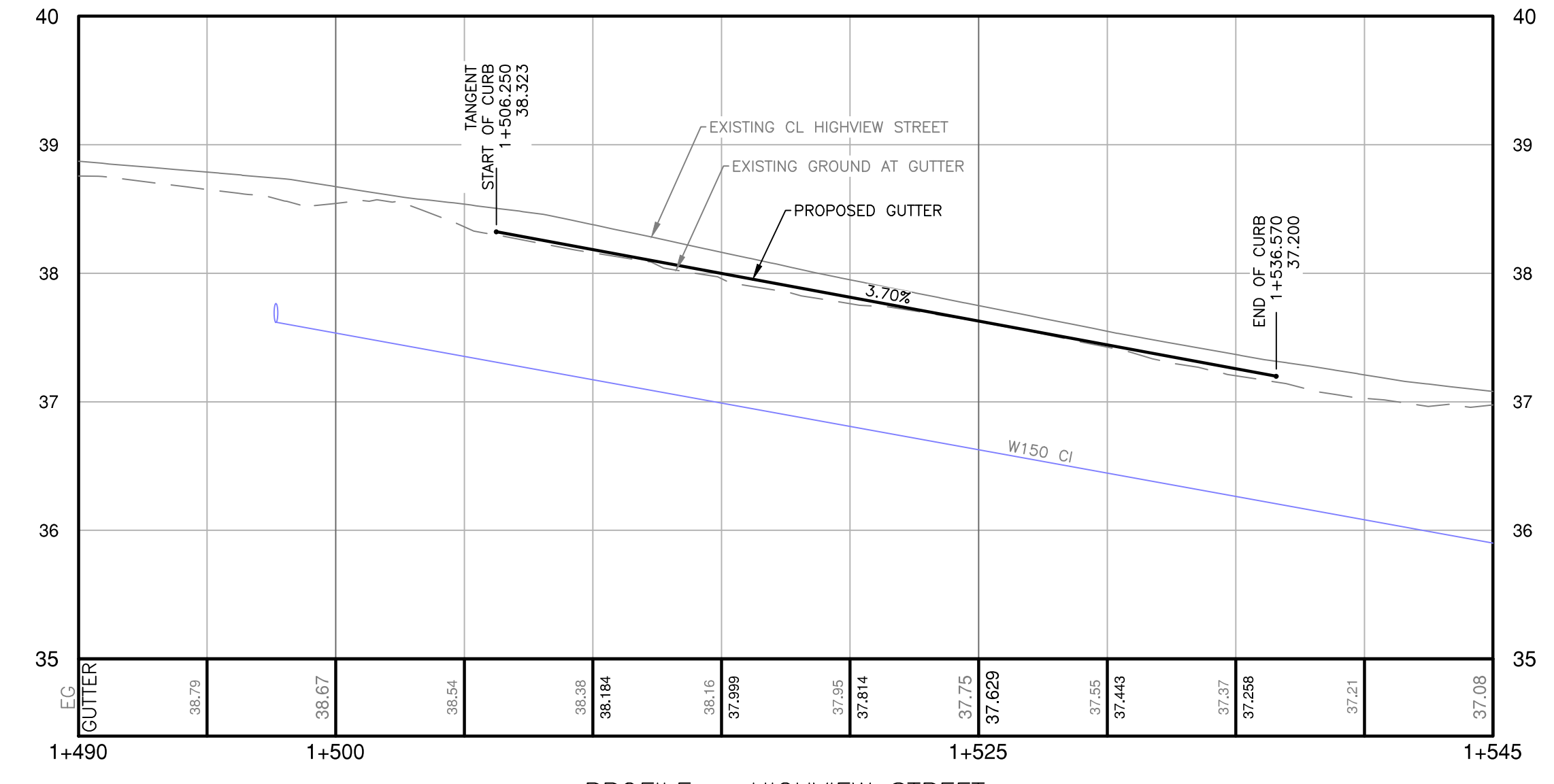




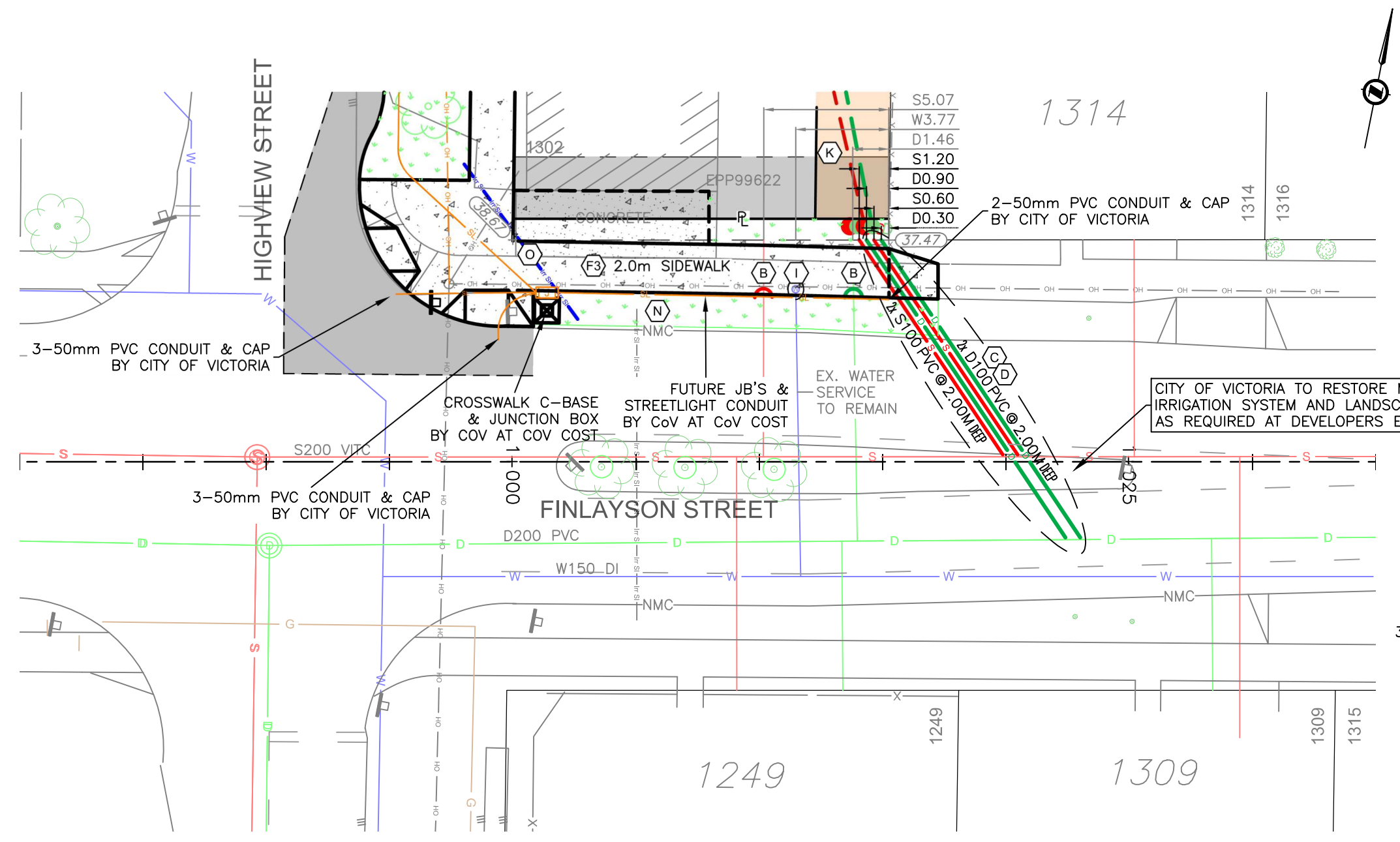
PROFILE - FINLAYSON STREET  
H 1:40  
H 1:200



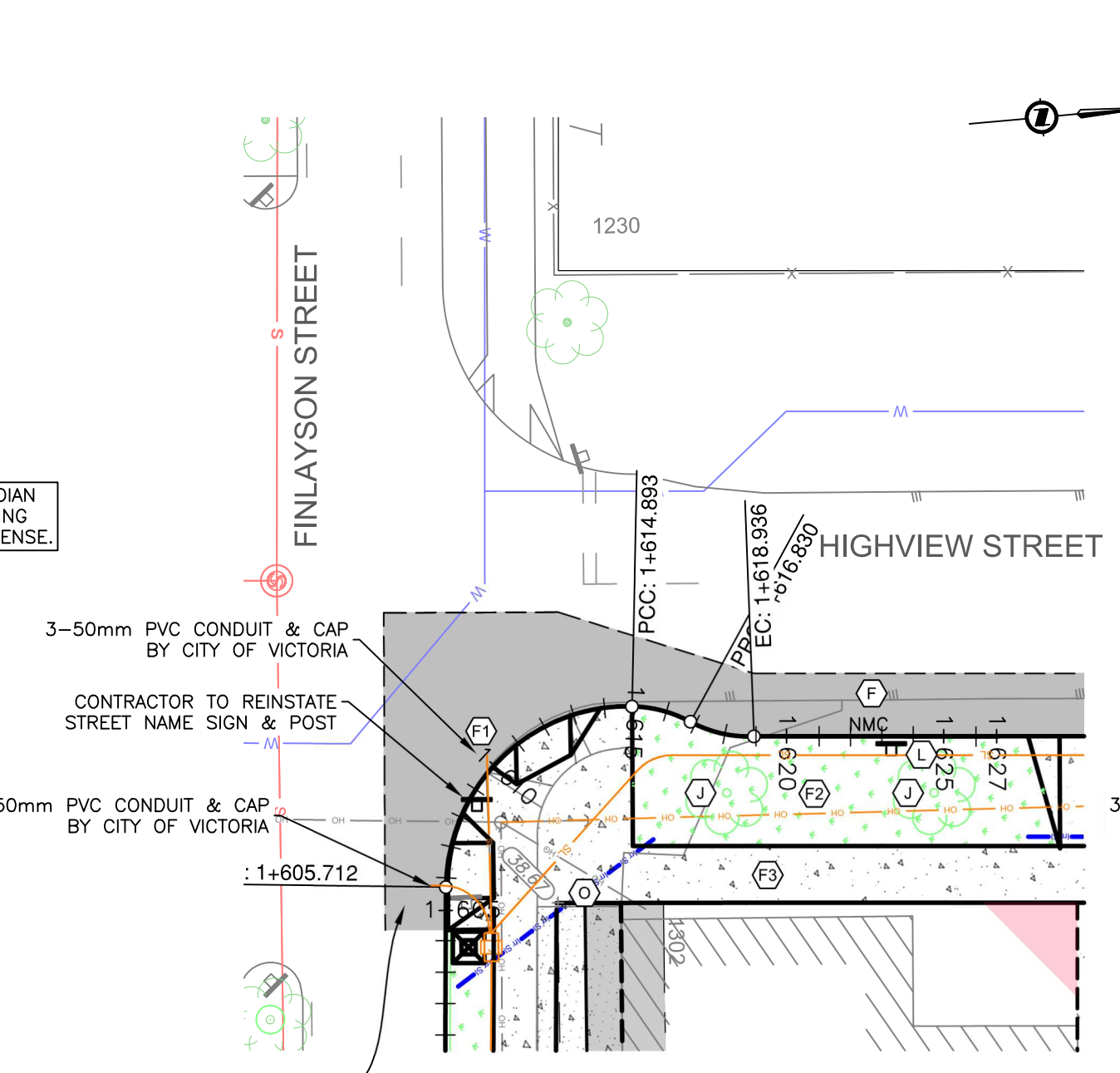
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H 1:40  
H 1:200



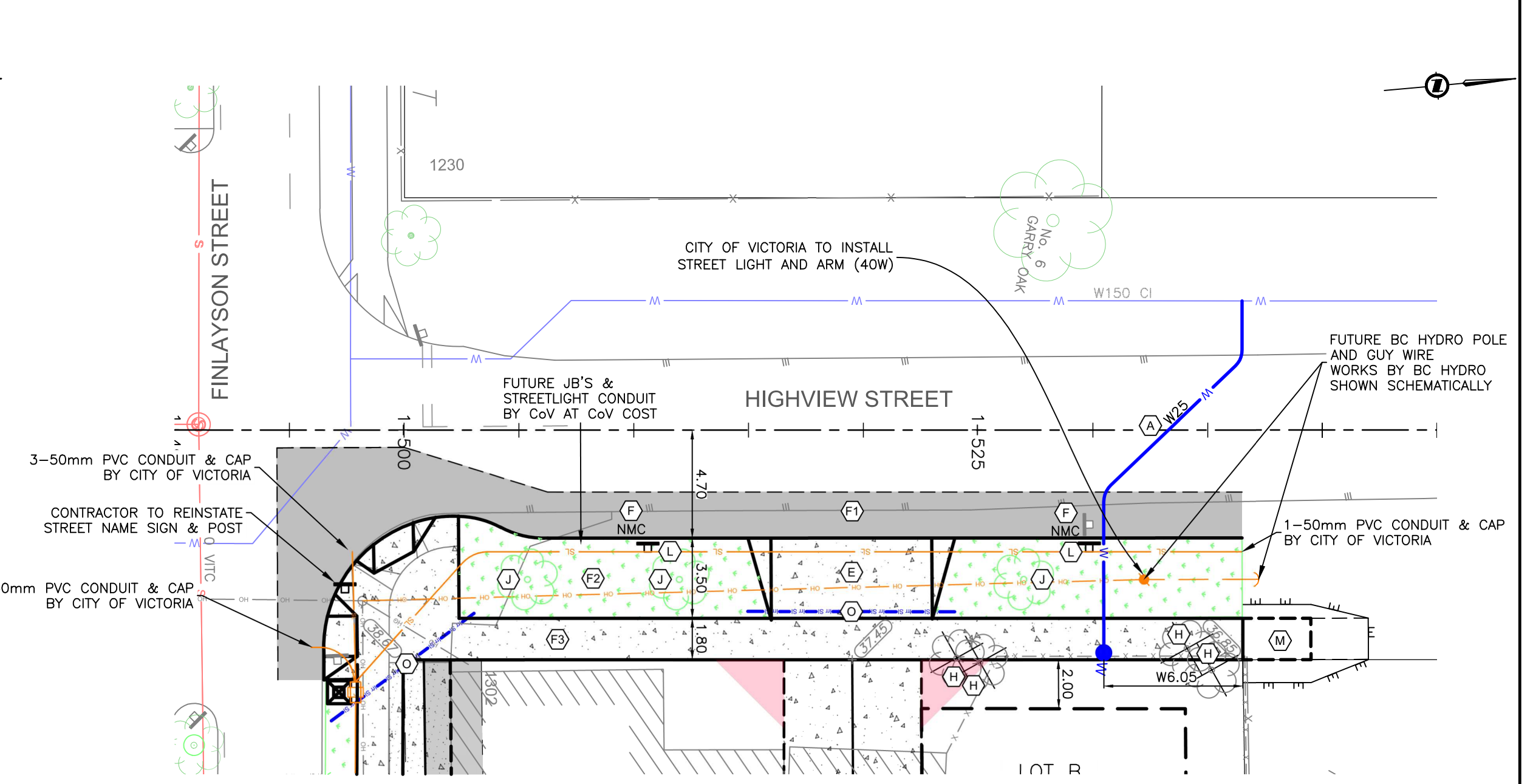
PROFILE - HIGHVIEW STREET  
H 1:40  
H 1:200



PLAN - FINLAYSON STREET  
H 1:200



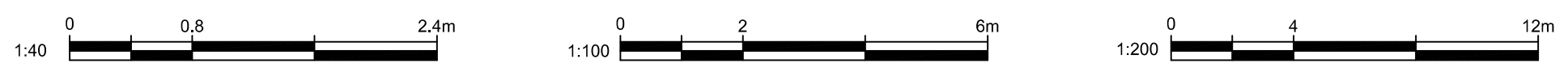
PLAN - CURB RETURN  
H 1:200



PLAN - HIGHVIEW STREET  
H 1:200

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**ISSUED FOR CONSTRUCTION**



ISSUED		REVISION			
NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK
2	ISSUED FOR CONSTRUCTION	20220915	RT	KHG	
1	ISSUED FOR SUBDIVISION APPROVAL	20211125	RT	KHG	

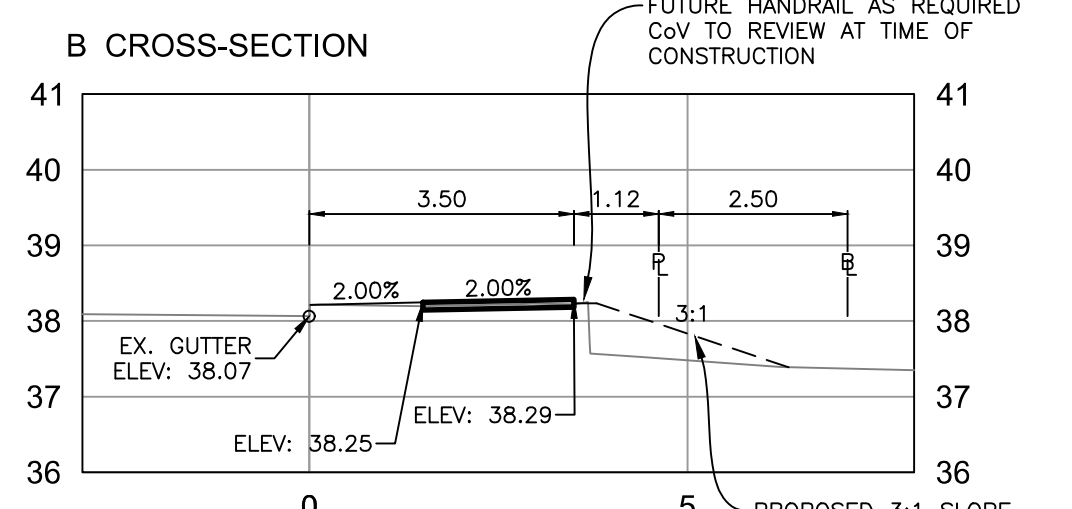
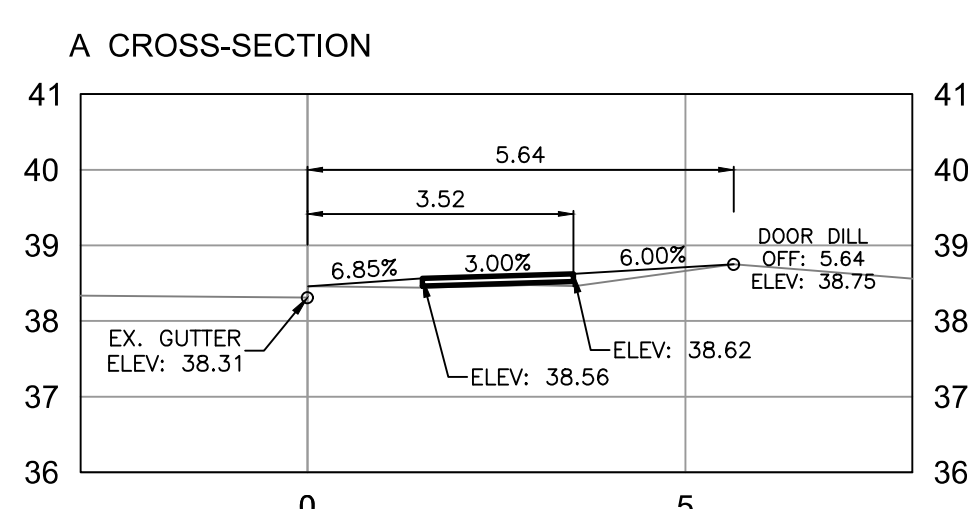
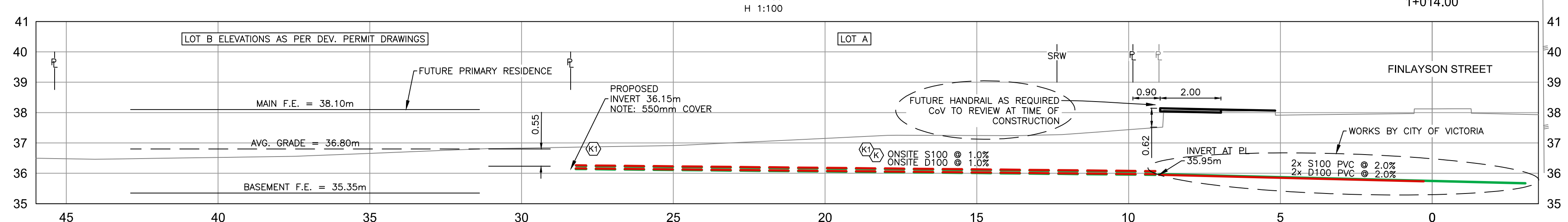
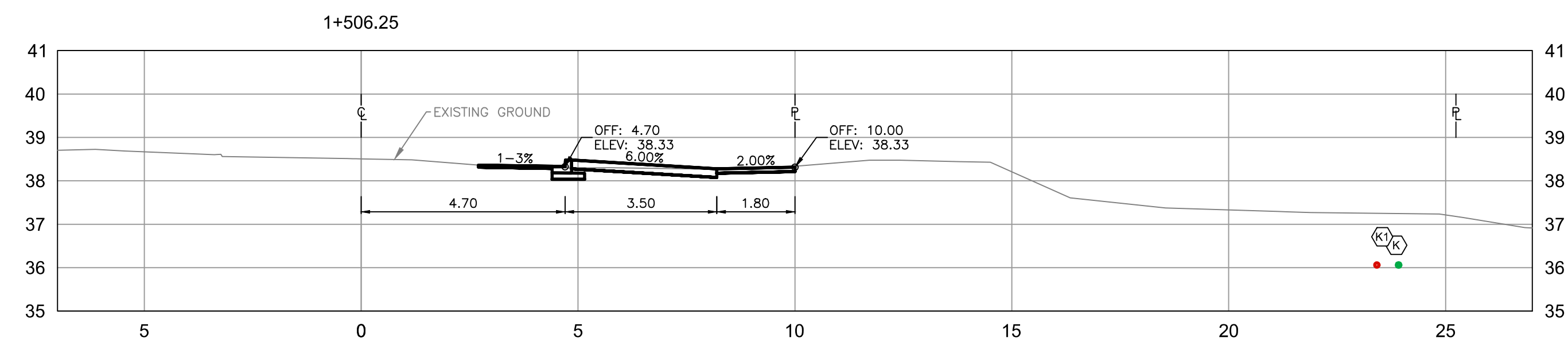
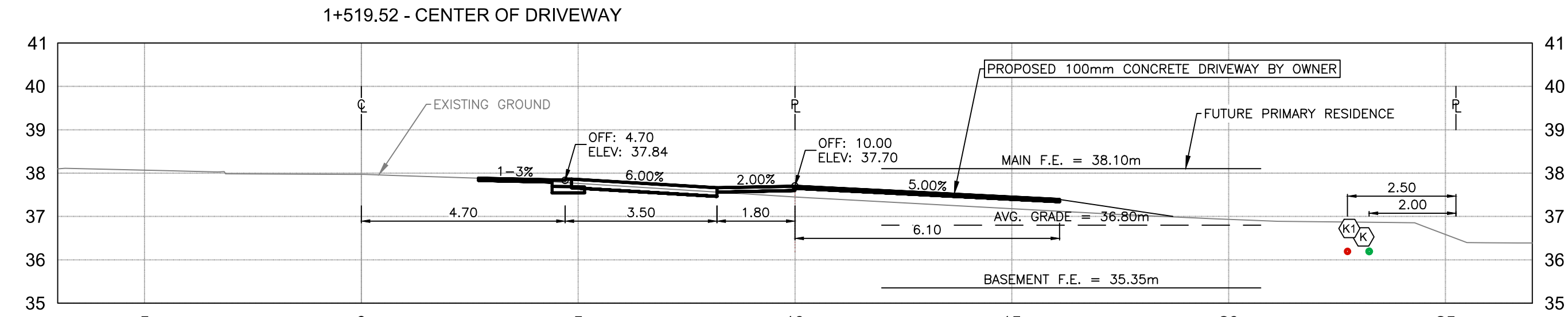
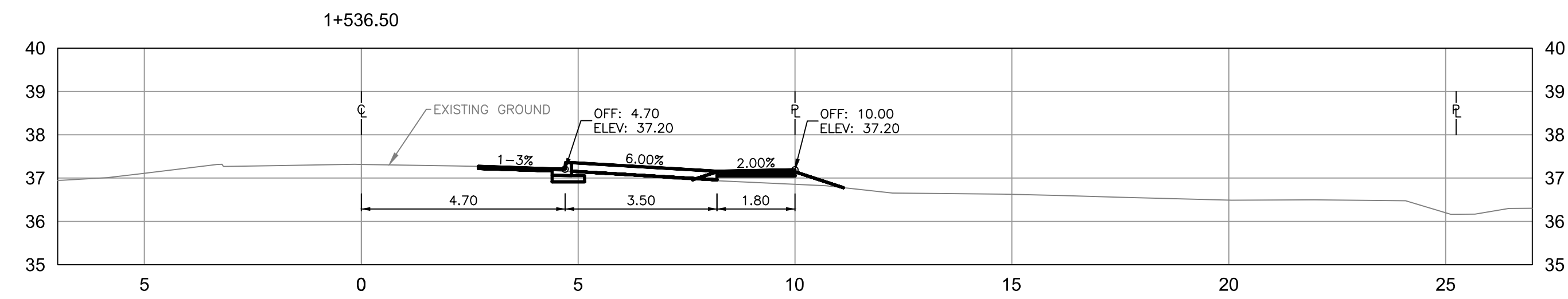
LEGEND	
LAMP STANDARD	← LS
POLE (Hydro, Tel.)	← PP
U/G WIRING	← UE
GAS	← G
WATER	← W
SEWER	← S
DRAIN	← D
CLEANOUT	← C
CATCHBASIN	← CB
MANHOLE	← M
SERVICE RISER	← SR
MOUNTABLE CURB	← MC
NON-MOUNT. CURB	← NMC
EDGE ASPHALT	← EA
DITCH	← DCH
METER	← M
FLUSH VALVE	← FV
VALVE	← V
REDUCER	← R
HYDRANT	← H
AIR VALVE	← AV

**JEA J E ANDERSON & ASSOCIATES**  
SURVEYORS - ENGINEERS  
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PHONE: 250-727-2214 info@jeanderson.com

JURISDICTION: CITY OF VICTORIA  
CLIENT: PAUL FISHER  
PROJECT: 1302 FINLAYSON & 3105 HIGHVIEW CIVIL SITE SERVICING  
PLAN & PROFILE  
32444 02 C2  
ENGINEERS SEAL: R. TUCK #28072  
MUN. FILE SUB00384 SHEET 2 OF 3

\\Victoria01\Common\Projects\32444 - Engineering\02 - Drawings & Sketches (Eng)\32444 - Design & Base.dwg - Design & Base.dwg - Plot Date: September 15, 2022

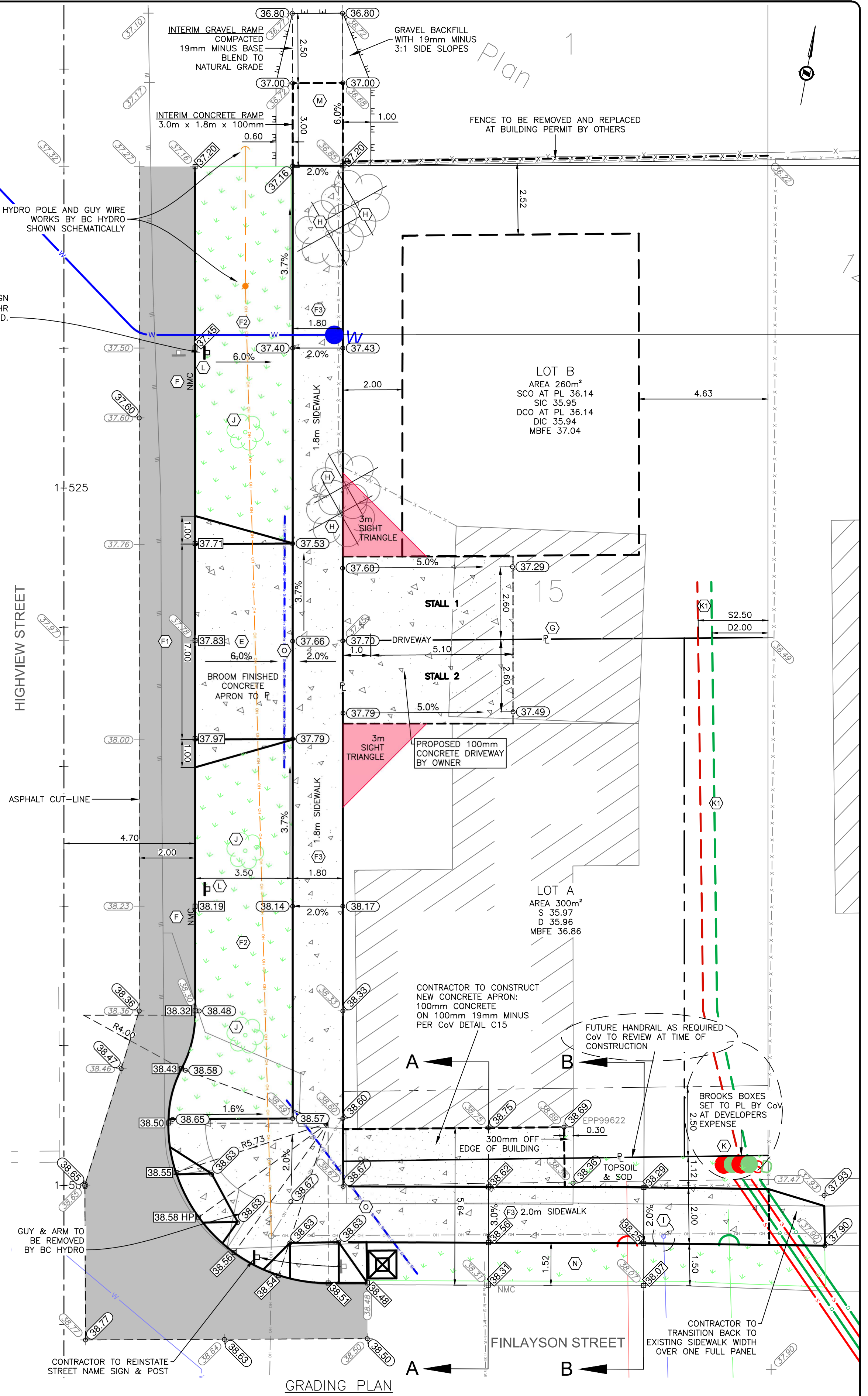




SECTION - FINLAYSON STREET - DOOR DILL  
V 1:100  
H 1:100

SECTION - FINLAYSON STREET - SIDEWALK  
V 1:100  
H 1:100

- DETAILED CONSTRUCTION NOTES:**
- (A) NOTE REMOVED.
  - (E) CONTRACTOR TO CONSTRUCT NEW 7.0m WIDE 150mm CONCRETE DRIVEWAY APRON COMPLETE WITH BROOM FINISH CONCRETE TO F AS PER CITY OF VICTORIA HIGHWAY ACCESS, BYLAW AND COV STD. DWG. C7a & C7c. CONTRACTOR TO CONSTRUCT 1.0m CONCRETE TRANSITIONS AND FLARES AT CURB.
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  - (N) CONTRACTOR TO CONSTRUCT ONSITE SANITARY & STORM SERVICE AND TRANSFER NEW SERVICES TO EXISTING HOUSE AS REQUIRED. WORKS UNDER SEPARATE PLUMBING PERMIT.
  - (O) CONTRACTOR TO INSTALL NEW 100mm PVC SDR 28 DRAIN & SEWER LINES AS PER BC PLUMBING CODE COMPLETE WITH CLEAN-OUTS AT PROPERTY LINE. CONTRACTOR TO MAINTAIN A MINIMUM 600mm COVER. BACKFILL AS PER MMCD G4. COMPLETE WITH TOPSOIL AND SEED.
  - (P) CONTRACTOR TO INSTALL NEW "30 MIN. MAX" PARKING SIGN WITH "DIRECTION ARROWS". COMPLETE WITH CONCRETE BASE AND POST.
  - (Q) CONTRACTOR TO CONSTRUCT INTERIM CONCRETE RAMP TO BOULEVARD. SEE DETAILS ON SHEET C3.
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ISSUED				REVISION			
NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
2	ISSUED FOR CONSTRUCTION	20220915	RT KHG				
1	ISSUED FOR SUBDIVISION APPROVAL	20211125	RT KHG				

LEGEND		
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		DITCH
		METER
		FLUSH VALVE
		VALVE
		REDUCER
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		AIR VALVE

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JURISDICTION: CITY OF VICTORIA  
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SECTIONS: DRIVEWAY DETAILS & GRADING  
32444 02 C3  
MUN. FILE SUB00384 SHEET 3 OF 3

\\Victoria01\Common\Projects\32444 - Engineering\02 - Drawings & Sketches (Eng)\32444 - Design & Base.dwg Plot Date: September 15, 2022





3109 Highview Proposed SFD

1302 Finlayson Existing Retail and SFD

1 Highview Frontage  
Scale: 1:50



1302 Finlayson Existing Retail and SFD

1314 Finlayson Existing SFD

2 Finlayson Frontage  
Scale: 1:50

2 2023-08-02 Revised Plans for Development Permit		
1 2023-05-18 Issued for Development Permit		
No.	Date	Issue Notes
Design Firm		
Consultant		
Project Title 3109 Highview New Single Family Dwelling Development Permit		
Sheet Title Street Elevations		
Project Manager	Project ID	
Drawn By Cantilever Designs	Scale	As Noted
Reviewed By	Sheet No.	
Date 2023-08-02	A 1.6	
CAD File Name	of	
	A 1.6	