

825 FORT STREET - ISSUED FOR DELEGATED DP



**Musson
Cattell
Mackey
Partnership**

Architects Designers Planners

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DRAWING INDEX - ARCHITECTURAL - DDP		
DRAWING NUMBER	DRAWING NAME	SHEET SCALE
A001	Cover Sheet	As indicated
A002	Project Data	As indicated
A003	Shadow Study	As indicated
A101	Survey - for Reference Only	As indicated
A102	Site Plan Existing - for Reference Only	As indicated
A103	Proposed Site Plan & Vicinity Plan - for Reference Only	As indicated
A201	Floor Plan Level P2	1/8" = 1'-0"
A202	Floor Plan Level P1	1/8" = 1'-0"
A203	Floor Plan Ground Level	1/8" = 1'-0"
A204	Floor Plan Level 2	1/8" = 1'-0"
A205	Floor Plan Level 3	1/8" = 1'-0"
A206	Floor Plan Level 4	1/8" = 1'-0"
A207	Floor Plan Level 5 to 7	1/8" = 1'-0"
A208	Floor Plan Level 8 & 9	1/8" = 1'-0"
A209	Floor Plan Level 10	1/8" = 1'-0"
A210	Floor Plan Level 11	1/8" = 1'-0"
A211	Roof Plan	1/8" = 1'-0"
A301	Streetscape Elevation	As indicated
A302	North Building Elevation	1/8" = 1'-0"
A303	East Building Elevation	1/8" = 1'-0"
A304	South Building Elevation	1/8" = 1'-0"
A305	West Building Elevation	1/8" = 1'-0"
A401	Building Section	As indicated
A402	Building Section	1/8" = 1'-0"



CONTEXT PLAN

25	2023-06-08	Delegated DP
24	2023-05-08	Issued for Owner's Review - Not for Construction
23	2022-09-30	FC Show Grading
22	2021-11-09	Post-Tender Addendum #1
21	2021-10-01	DDP/CHAP
20	2021-08-19	DDP/CHAP
19	2021-08-19	BP Response
18	2021-06-30	BP Responses
17	2021-05-26	IFT
16	2021-03-17	IFBP
15	2021-03-04	Delegated DP
14	2021-03-04	BP
13	2020-12-17	Delegated DP
12	2020-10-07	Delegated DP
11	2020-08-17	Delegated DP
10	2020-07-02	Delegated DP
9	2019-07-09	Recurring Revision
8	2019-07-26	Recurring Revision
7	2019-05-24	Recurring Revision
6	2019-01-09	Recurring Revision
5	2018-10-24	Recurring Revision
4	2018-08-31	Recurring Revision
3	2018-04-24	Recurring Revision
2	2018-04-19	Recurring Revision
1	2017-11-08	Recurring Application

Revisions DD MMM YYYY

ARCHITECTURAL

PROJECT DIRECTORY

OWNER

825 Fort Holdings Ltd.



CLIENT / DEVELOPMENT MANAGER

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LANDSCAPE

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Vancouver, BC V6B 2V2
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weareconsidered.com

CIVIL

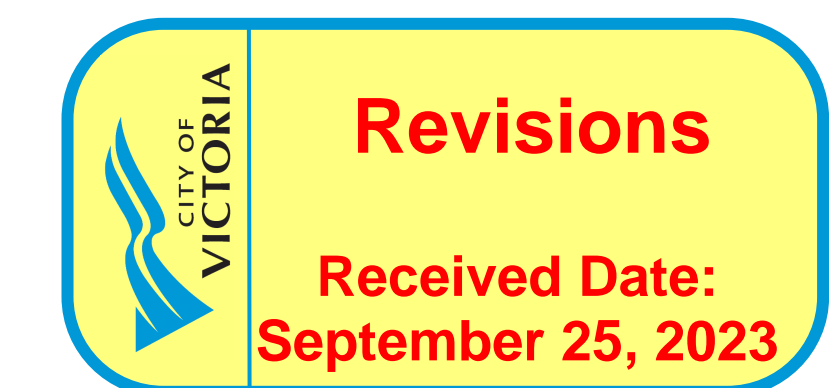
J. E. Anderson & Associates
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GEOTECHNICAL

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28 Crease Avenue
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BUILDING ENVELOPE

RJC Engineers
645 Tye Road, Suite 220
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T: 250-386-7794
F: 250-381-7900
www.rjc.ca



Seal

825 Fort Street
Victoria, BC

Project

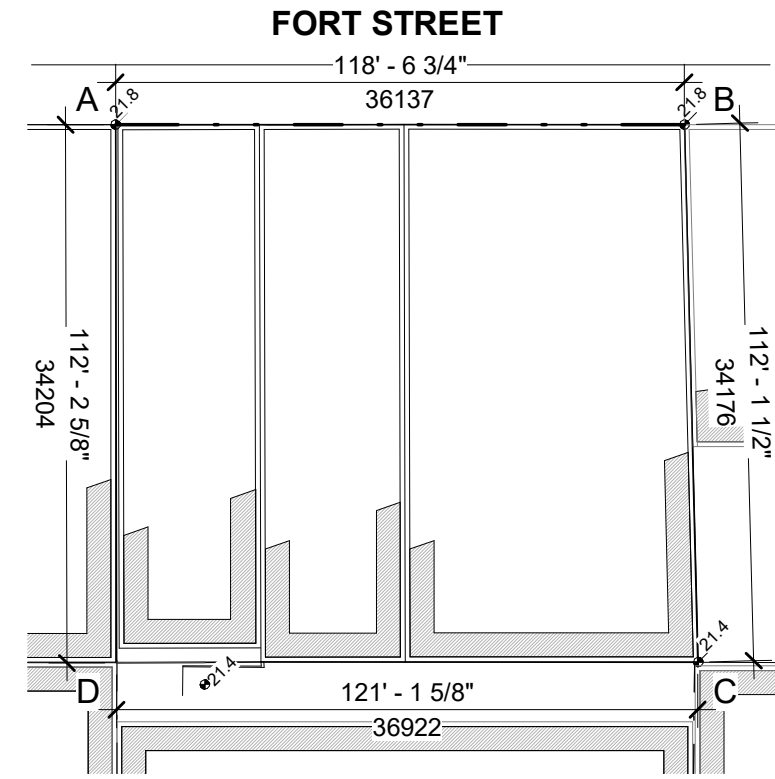
825 Fort Street Victoria -

217033

Sheet **A001**

PROJECT STATISTICS

PROJECT ADDRESS NEIGHBOURHOOD DOWNTOWN CORE AREA PLAN DISTRICT DEVELOPMENT PERMIT AREA	819 - 823 AND 825 - 827 FORT STREET FAIRFIELD RESIDENTIAL MIXED USE DISTRICT DPA 7B (HC)																					
LEGAL DESCRIPTION	VICTORIA PARCEL D, LOT 277 & 278, (DD 2635141) LOT A OF LOTS 276 & 277, VICTORIA, PLAN 26769																					
GOVERNING CODE	B.C. BUILDING CODE 2018, DIVISION B, PART 3 (refer to BUILDING CODE COMPLIANCE REPORT by MCMP dated March 17, 2021) * TO BE UPDATED																					
ENERGY CODE	B.C. ENERGY STEP CODE - STEP 2 (refer to ENERGY MODELLING REPORT by AVALON MECH. dated March 04, 2021) * TO BE UPDATED																					
ZONING (PREVIOUS)	819-823 FORT STREET: CA-HG 825-827 FORT STREET: CA-2																					
NEW ZONING:	RMD-2 (RESIDENTIAL MIXED USE FORT STREET DISTRICT)																					
LOT AREA	1248 SQ.M. (13,434 SQ.FT.)																					
SITE COVERAGE	1232 SQ.M. (13,260 SQ.FT.) (98.7%)																					
OPEN SITE SPACE	16 SQ.M. (172 SQ.FT.)																					
TOTAL FLOOR AREA	TOTAL 7,699.2 SQ.M. (82,873.5 SQ.FT.) (SEE BUILDING AREA CALCULATION) RESIDENTIAL 7,309.5 SQ.M. (78,678.8 SQ.FT.) (LEVELS 2 - 11) COMMERCIAL 389.7 SQ.M. (4,195 SQ.FT.) (TOTAL AREA OF COMMERCIAL UNITS)																					
FLOOR SPACE RATIO	NEW ZONING RMD-2 MAXIMUM 6.17:1 (WITH AMENITIES) ALLOWED UNDER SPECIAL DENSITY AREA (REZONING) PROPOSED: 7699.2 SQ.M. / 1248 SQ.M. = 6.17 F.S.R.																					
FLOOR PLATE SIZE	REQUIRED UNDER DOWNTOWN CORE AREA PLAN: 0 M - 20 M (0' - 65.6') NO RESIDENTIAL OR COMMERCIAL FLOOR PLATE SIZE RESTRICTIONS 20 M - 30 M (65.6' - 98.4') RESIDENTIAL MAXIMUM 930 SQ.M. (10,010 SQ.FT.) > 30 M (> 98.4') RESIDENTIAL MAXIMUM 650 SQ.M. (7,000 SQ.FT.) PROPOSED: 20 M - 30 M (65.6' - 98.4') 665.2 SQ.M. (7,160 SQ.FT.) > 30 M (> 98.4') 559.8 SQ.M. (6,025 SQ.FT.) 21.6m																					
AVERAGE GRADE (GEODETIC)																						
HEIGHT OF BUILDING (ABOVE AVERAGE GRADE)	ALLOWED UNDER DOWNTOWN CORE AREA PLAN: 30 M (98.4') 30-37.5 M PER 6.2.1. POLICY UNDER FAIRFIELD NEIGHBOURHOOD PLAN (2019) ALLOWED UNDER NEW ZONING RMD-2: 30 M PROJECTIONS OF 1M FOR PARAPETS AND 5M FOR ROOFTOP PROPOSED: MAIN ROOF 33.9 M (111.2') (EXCLUDES 0.61 M PARAPET) HIGHEST ROOFTOP 37.4 M (122.8') ELEVATOR 40.1 m (131.6') APPROVED AT REZONING MAIN ROOF 31.7 M (EXCL. 0.61 M PARAPET) 11 STOREYS (EXCLUDING MECH. PENTHOUSE)																					
NUMBER OF STOREYS																						
STREETWALL	REQUIRED UNDER DOWNTOWN CORE AREA PLAN FOR NARROW STREETS (<25m) PROPOSED PRIMARY FACE: WIDTH, MIN 60% SITE WIDTH: 36.1 M (118.6') x 60% = 21.7 M (71.2') HEIGHT, 10 M - 15 M (32.8' - 49.2') SETBACK, 0 M - 3 M (0' - 9.8') SECONDARY FACE: WIDTH, MIN 30% SITE WIDTH 36.1 M (118.6') x 30% = 10.8 M (35.5') HEIGHT, 18 M - 25 M (59.1' - 82') SETBACK, 3 M - 6 M (9.8' - 19.7') SETBACK ABOVE 25 M (82') MIN 6 M (19.7')																					
BUILDING SETBACKS	REQUIRED UNDER DOWNTOWN CORE AREA PLAN FOR HEIGHT 0 - 30 M (0' - 98.4') PROPOSED EXTERIOR WALL, FRONT PROPERTY LINE: PRIMARY STREET WALL: 0 - 3 M FROM P. L., HEIGHT = 10 TO 15 M SECONDARY STREET WALL: 3-6 M FROM P. L., HEIGHT = 18 TO 25 M 1:5 BUILDING SETBACK RATIO STARTING AT 15 M ABOVE GRADE EXTERIOR WALL, SIDE PROPERTY LINE: MIN 3 M (9.8') EXTERIOR WALL, REAR PROPERTY LINE: MIN 3 M (9.8') BALCONIES, SIDE PROPERTY LINE: MIN 3.5 M (11.5') BALCONIES, REAR PROPERTY LINE: MIN 3.5 M (11.5') SETBACK FOR ROOFTOP STRUCTURES FROM OUTER EDGE OF THE ROOF MIN. 3M PROJECTIONS INTO INTERIOR LOT LINE SETBACKS (MAX.) 0.25 M																					
PARKING	PARKING REQUIRED UNDER NEW ZONING BYLAW SCHEDULE C PROPOSED RESIDENTIAL: 66 UNITS (< 45 SQ.M.) x (0.50/UNIT) = 33 34 UNITS(45 - 70 SQ.M.) x (0.60/UNIT) = 20.4 19 UNITS (>70 SQ.M.) x (1.00/UNIT) = 19 119 UNITS x (0.1/UNIT VISITOR STALLS) = 11.9 COMMERCIAL/SERVICE: 135.9 SQ.M. (1,463 SQ.FT.) x (1/50 SQ.M.) = 2.71 COMMERCIAL/RETAIL: 253.8 SQ.M. (2,732 SQ.FT.) x (1/80 SQ.M.) = 3.1 PER SCHEDULE C TOTAL REQUIRED: 90 (72 RESIDENTIAL, 12 VISITOR & 6 COMMERCIAL) 1 REGULAR ACCESSIBLE, 1 VAN ACCESSIBLE, 1 VISITOR ACCESSIBLE, 1 VISITOR VAN ACCESSIBLE, PER NEW SCHEDULE C (TOTAL 4)																					
BICYCLE STORAGE	CLASS 1 BICYCLE PARKING REQUIRED UNDER ZONING NEW BYLAW SCHEDULE C PROPOSED RESIDENTIAL 66 x (1/UNIT<45 SQ.M) = 66 AND 53x (1.25/UNIT>45 SQ.M.) = 66.25 TOTAL = 132 RETAIL @ 1/200 SQ.M. = 1.95 TOTAL REQUIRED: = 134 CLASS 2 BICYCLE PARKING REQUIRED UNDER ZONING NEW BYLAW SCHEDULE C MULTIFAMILY RESIDENTIAL = 119x (0.1/UNIT) = 11.90 RETAIL @ 1/200 SQ.M. = 1.95 TOTAL REQUIRED: = 14																					
RETAIL	NUMBER OF CRU/SERVICE UNITS: 5 AREA: 389.7 SQ.M. (4195 SQ.FT.)																					
SUITE TYPES	PROPOSED CMHC ACCESSIBLE UNITS <table border="0"> <tr> <td>TYPE</td> <td>SIZE RANGE</td> <td>QUANTITY</td> </tr> <tr> <td>STUDIO</td> <td>380 - 603 SQ.FT.</td> <td>9</td> </tr> <tr> <td>1 BEDROOM</td> <td>382 - 591 SQ.FT.</td> <td>69</td> </tr> <tr> <td>2 BEDROOM</td> <td>615 - 850 SQ.FT.</td> <td>34</td> </tr> <tr> <td>3 BEDROOM</td> <td>842 - 991 SQ.FT.</td> <td>7</td> </tr> <tr> <td>GROUND-ORIENTATED</td> <td>N/A</td> <td>0</td> </tr> <tr> <td>TOTAL</td> <td></td> <td>119</td> </tr> </table> CMHC ACCESSIBLE 12 TOTAL CMHC ADAPTABLE PROPOSED 2 TOTAL CMHC UNIVERSAL PROPOSED 2 TOTAL	TYPE	SIZE RANGE	QUANTITY	STUDIO	380 - 603 SQ.FT.	9	1 BEDROOM	382 - 591 SQ.FT.	69	2 BEDROOM	615 - 850 SQ.FT.	34	3 BEDROOM	842 - 991 SQ.FT.	7	GROUND-ORIENTATED	N/A	0	TOTAL		119
TYPE	SIZE RANGE	QUANTITY																				
STUDIO	380 - 603 SQ.FT.	9																				
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GROUND-ORIENTATED	N/A	0																				
TOTAL		119																				



1 Site Plan Existing Grades
SCALE: 1" = 40'-0"

AVERAGE GRADE CALCULATION

GRADES:
A: 21.8 B: 21.8 C: 21.4 D: 21.4*

PROPERTY LINE DISTANCES:

AB	36.151 M
BC	34.164 M
CD	36.942 M
DA	34.175 M
TOTAL	131.432 M

AB	(21.8+21.8)/2 * 36.151 M = 788.0918
BC	(21.8+21.4)/2 * 34.164 M = 521.9424
CD	(21.4+21.4)/2 * 36.942 M = 790.5588
DA	(21.4+21.8)/2 * 34.175 M = 738.1800
TOTAL	= 2838.773

AVERAGE GRADE:
2838.773 / 131.432 M = **21.6**

*LEGAL SURVEY INDICATES GRADE D SLIGHTLY AWAY FROM THE SW PROPERTY CORNER. CORNER INACCESSIBLE DUE TO EXISTING SERVICE BUILDING AT 818 BROUGHTON ST, SO THE NEAREST GEODETIC HAS BEEN USED.

NOTE:
SURVEY DIMS UPDATED PER SITE COORDINATION ON JUNE 2022. LEGAL CONSOLIDATED PLAN DATED FEB. 03, 2021 PREPARED BY JE ANDERSON & ASSOCIATES SHOWN AS A REFERENCE TO BE UPDATED WITH NEW SURVEY

Building Area (FSR)				
Level	Name	Area SF	Area SQ.M	Area Type
P2_	P2 Area	12810 SF	1190.1 m²	Exclude Area
P1	P1 Area	12810 SF	1190.1 m²	Exclude Area
L1	BIKE ROOM	2656 SF	246.8 m²	Exclude Area
L1	ELEV.SHAFT	130 SF	12.1 m²	Exclude Area
L2	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L3	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L4	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L5	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L6	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L7	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L8	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L9	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L10	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L11	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
ROOF DECK	ROOF AREA	934 SF	86.7 m²	Exclude Area
Exclude Area: 15		30642 SF	2846.8 m²	

L1	COMMERCIAL AREA	4195 SF	389.7 m²	Building Area
L1	COMMON AREA	2390 SF	222.1 m²	Building Area
L1	COMMON AREA	1798 SF	167.1 m²	Building Area
L2	RESIDENTIAL AREA	9892 SF	919.0 m²	Building Area
L3	RESIDENTIAL AREA	8987 SF	834.9 m²	Building Area
L4	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L5	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L6	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L7	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L8	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L9	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L10	RESIDENTIAL AREA	6626 SF	615.6 m²	Building Area
L11	RESIDENTIAL AREA	6025 SF	559.8 m²	Building Area
Building Area: 13		82874 SF	7699.2 m²	
Grand total		113516 SF	10546.0 m²	

BUILDING AREA
FSR CALCULATIONS EXCLUDE BELOW GRADE PARKING, PARKING RAMPS, ONLY REQUIRED BIKE STALLS AND ACCESS TO REQUIRED BIKE STALLS, ELEVATOR CORE AND RRROF TOP STRUCTURES.
BIKE STORAGE AREA (AREA EXCL FOR REQ BIKES AND BIKE ACCESS 5' WIDE ONLY)

HORIZONTAL STALLS 74@0.84 SQ.M. = 62.16 SQ.M.
VERTICAL STALLS 65@0.56 SQ.M. = 36.40 SQ.M.
MINIMUM AISLE+ACCESS @0.9 SQ.M. = 148.24 SQ.M.

TOTAL: = 246.8 SQ.M.

FSR: 82,874 SQ.FT / 13,434 SQ.FT. = 6.17
***EXCLUDES 246.8 SQ.M. CLASS 1 & 2 ONLY REQ BIKE STORAGE NOT ALL PROVIDED**
REQ. 134 RES+2 RETAIL+12 VIS = 148 TOTAL (BASED ON 119UNITS)



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22	2023-09-12	SPV Response
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16	2021-08-19	SP Response
15	2021-05-26	SP Response
14	2021-05-26	FT
13	2021-03-17	FRP
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2020-12-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Re zoning Revision
5	2019-07-02	Re zoning Revision
4	2019-05-24	Re zoning Revision
3	2019-04-09	Re zoning Revision
2	2018-10-24	Re zoning Revision
1	2018-08-31	Re zoning Revision

Revisions DD MMM YYYY

Seal

**825 Fort
Street Victoria**

825 Fort Street
Victoria, BC

Project

Project Data

Drawing

Scale As indicated

Project 217033

A002
Sheet

15	2023-06-08	Delegated DP
14	2021-10-21	DDP/DP/HP
13	2021-08-19	DDP/DP/HP
12	2021-03-24	Delegated DP
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10	2020-10-07	Delegated DP
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1	2017-11-08	Recurring Application

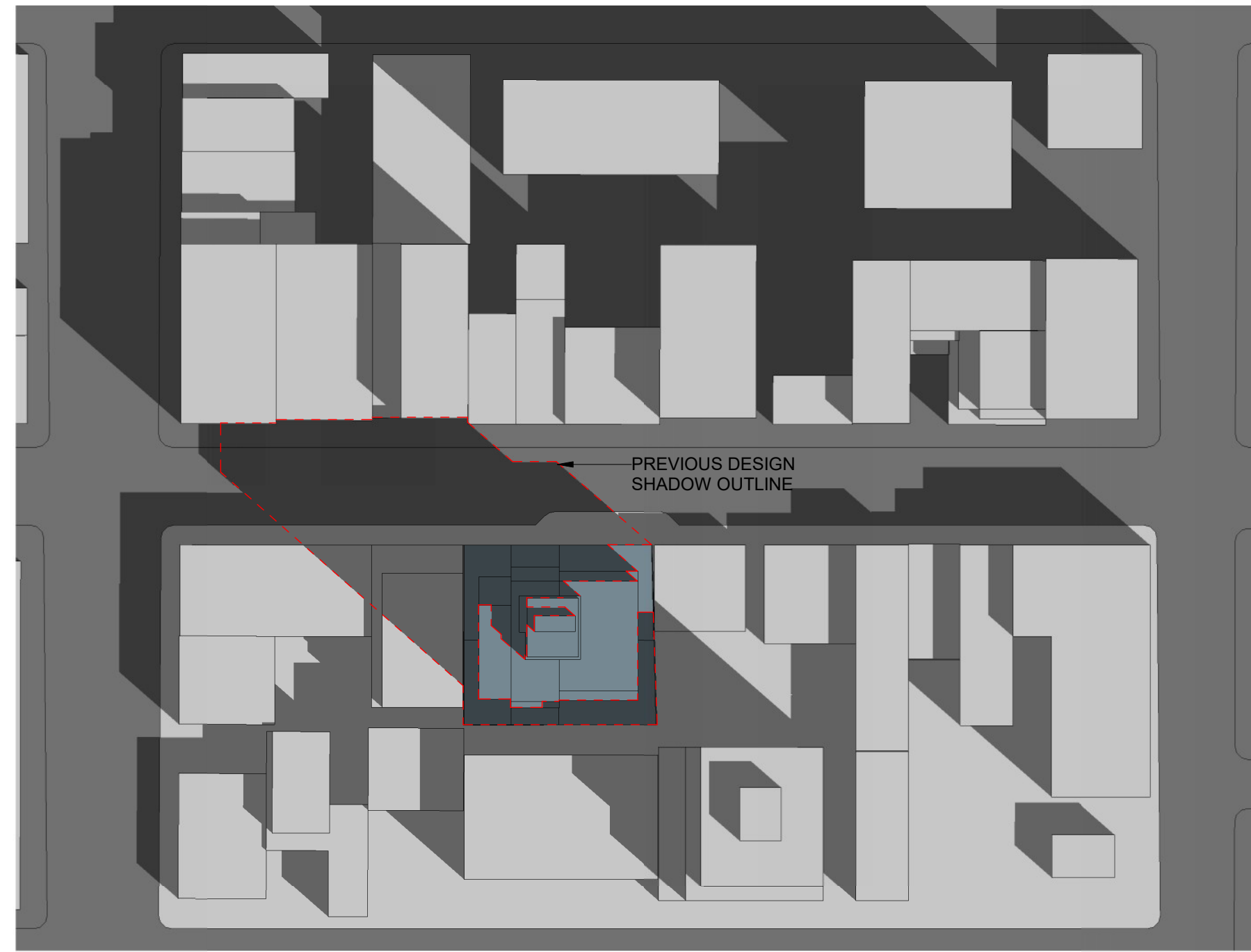
Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

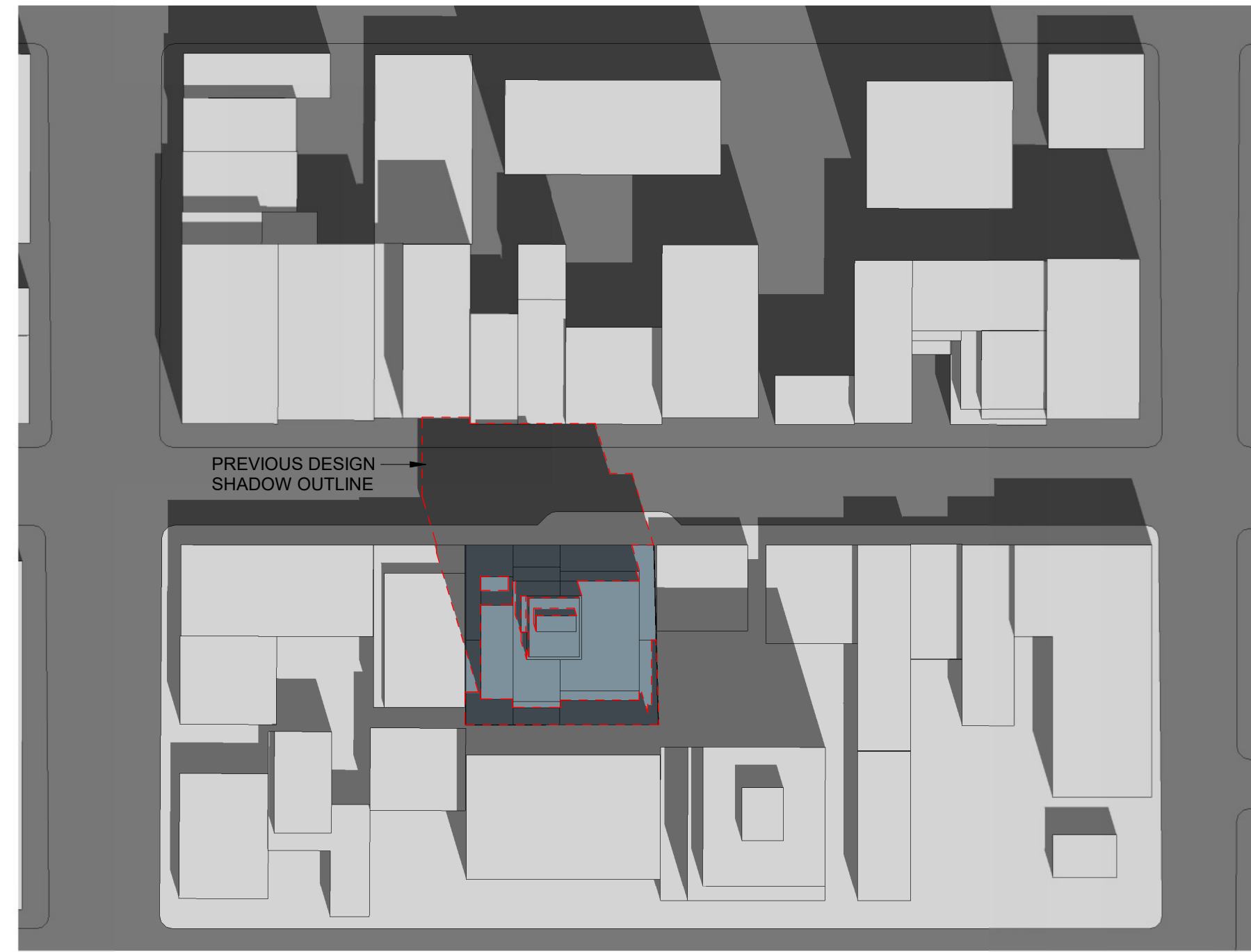
825 Fort Street
Victoria, BC
Project
Shadow Study

Drawing
Scale 12" = 1'-0"
Project 217033

Sheet **A003**



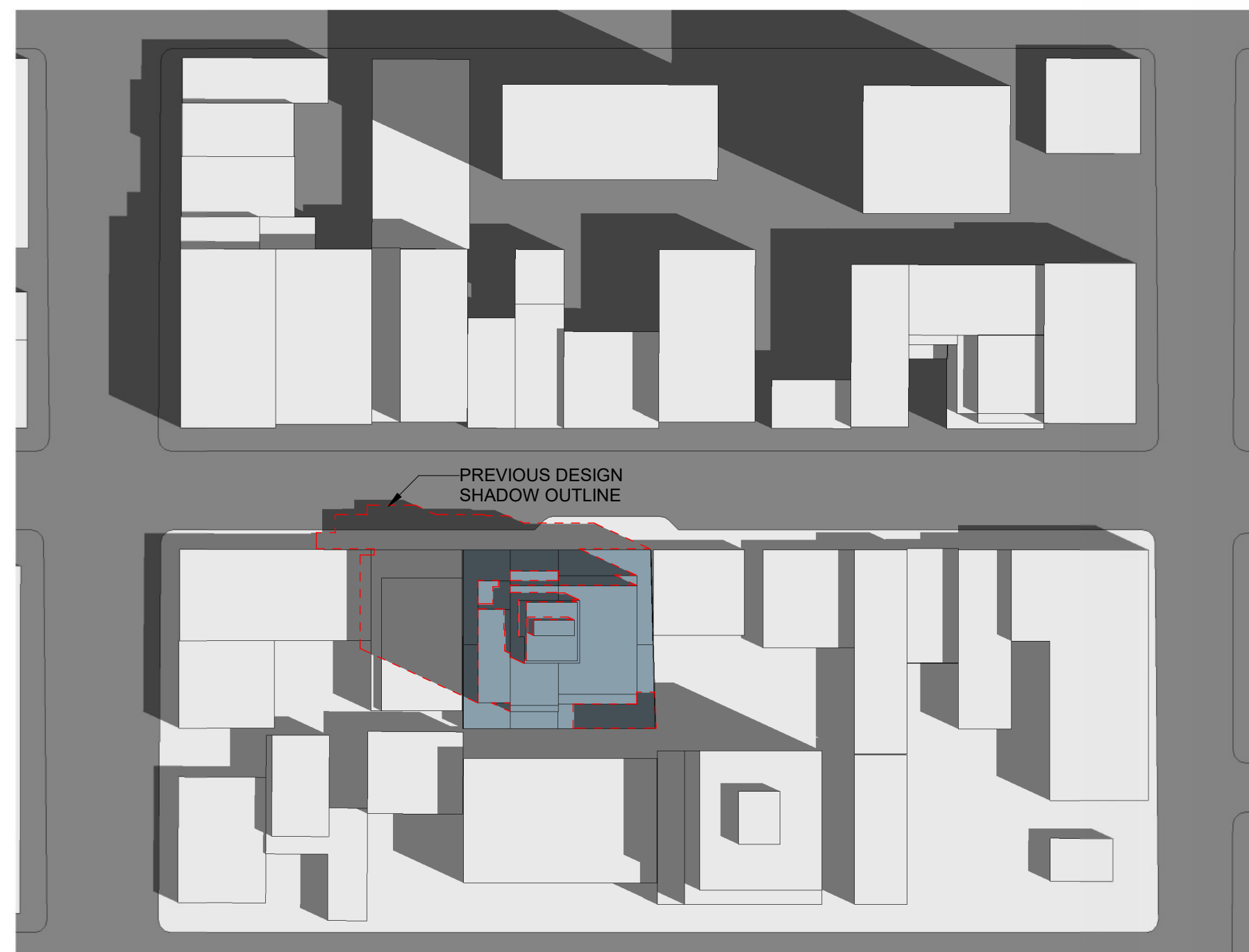
1 Spring Equinox 10 AM
SCALE:



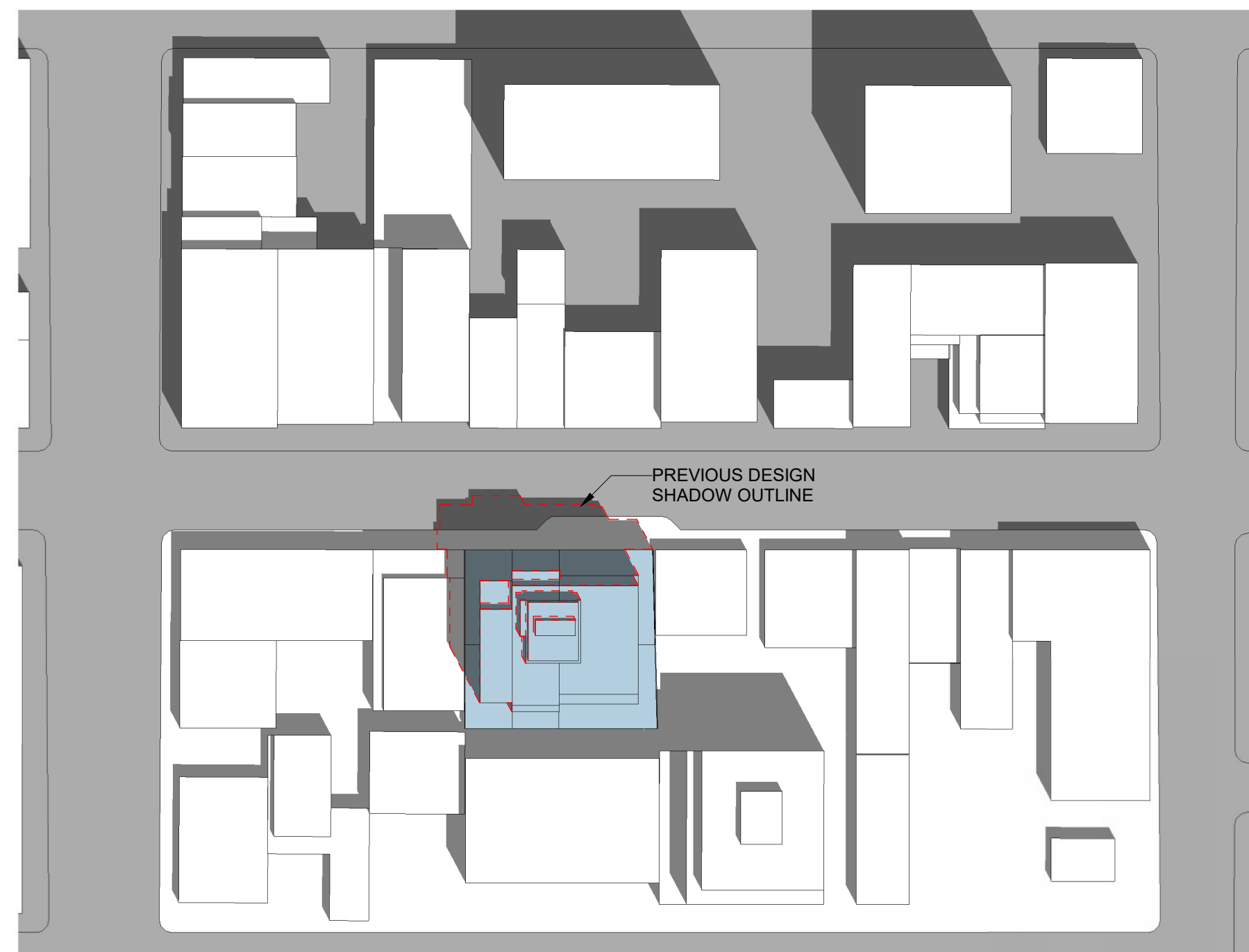
2 Spring Equinox 12 PM
SCALE:



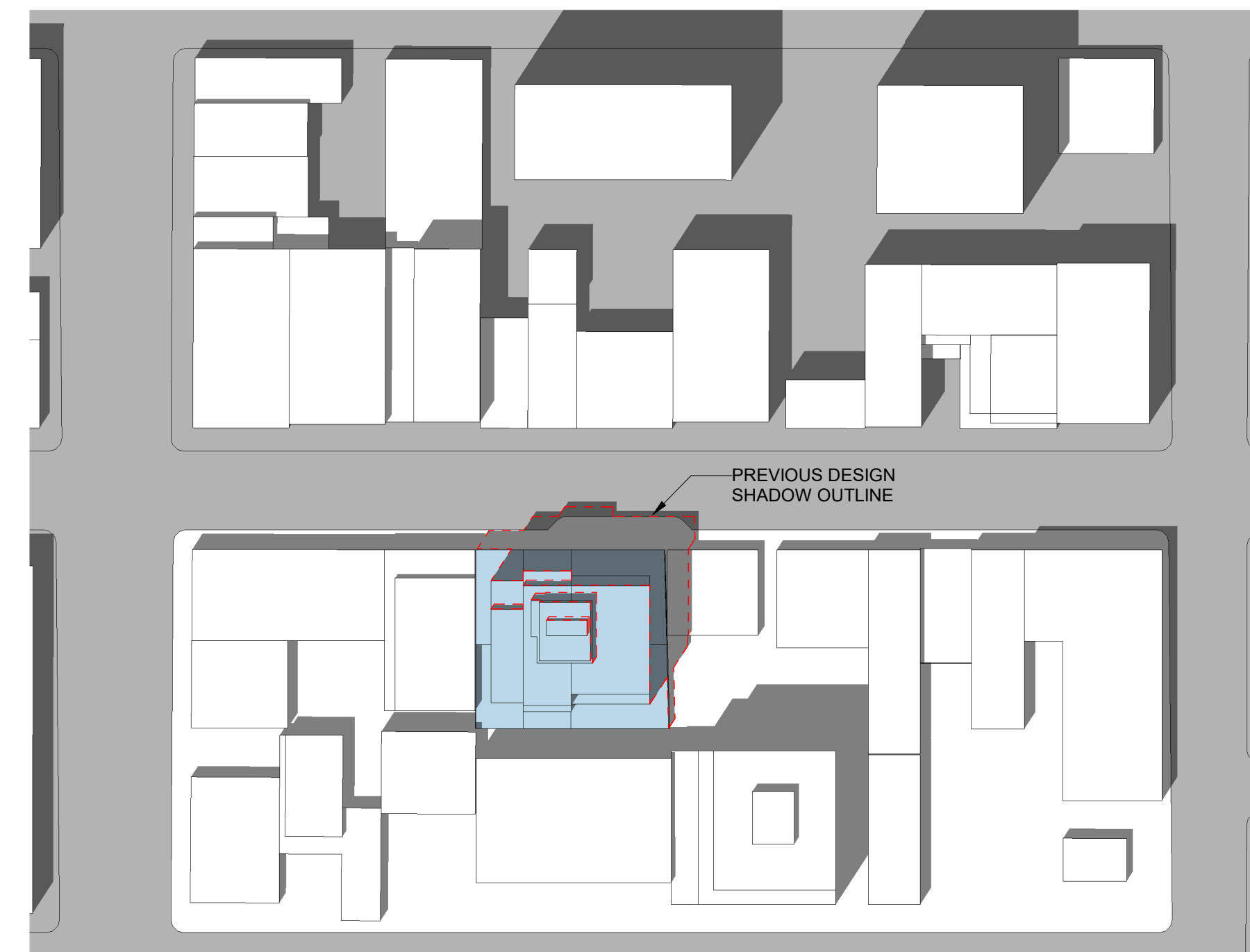
3 Spring Equinox 2 PM
SCALE:



4 Summer Solstice 10 AM
SCALE:



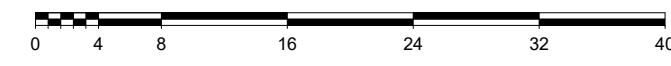
5 Summer Solstice 12 PM
SCALE:



6 Summer Solstice 2 PM
SCALE:

Reference Plan of
Lot A of Lots 276 and 277, Plan 26769 and
Parcel D (DD 263514) of Lots 277 and 278,
Both in Victoria City
Pursuant to Section 100(1)(b) of the Land Title Act
BCGS 92B.044

PLAN EPP109361



The intended plot size of this plan is 864cm in width by 560cm in height (D size) when plotted at a scale of 1:400.

All distances are in metres and decimals thereof.

This plan lies within Integrated Survey Area No. 17, Victoria, NAD83 (CSRS) 3.0 0 BC 1 CRD.

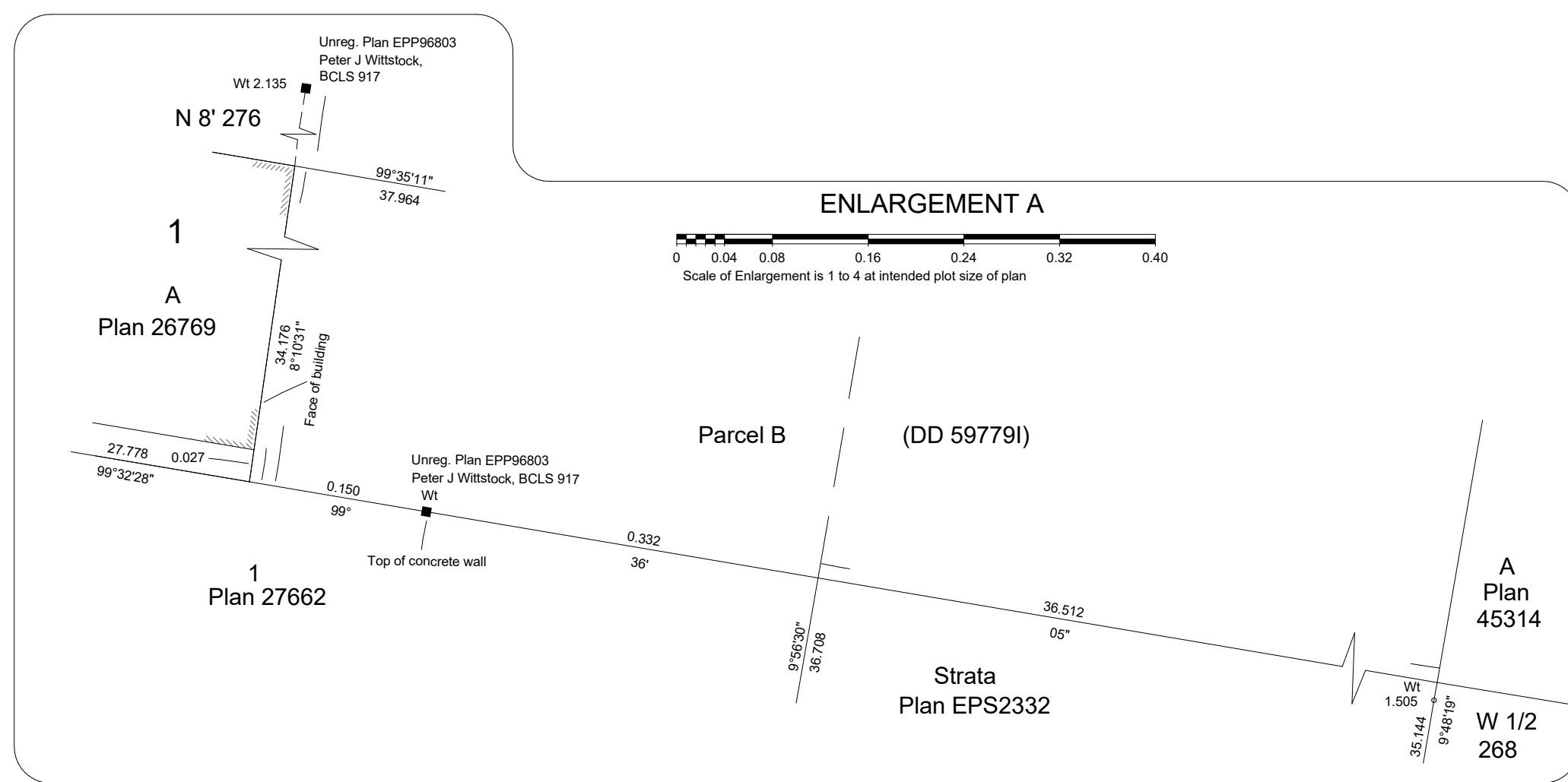
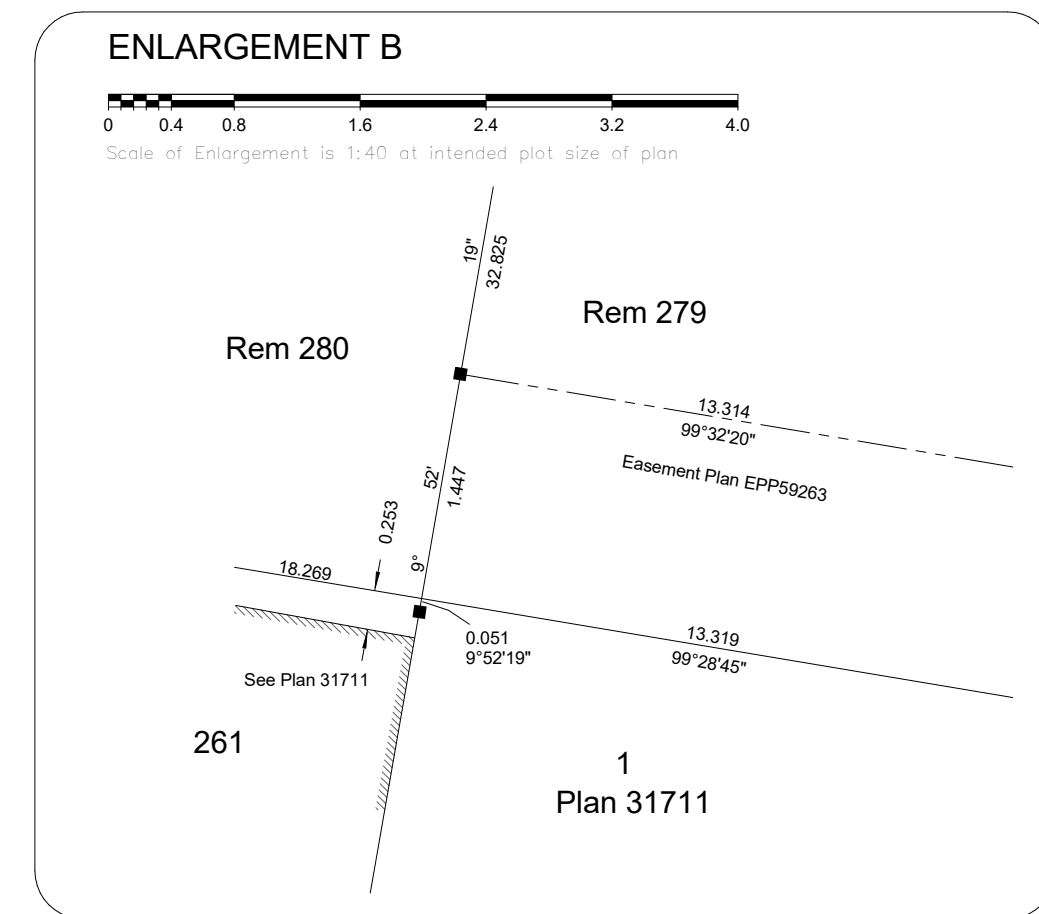
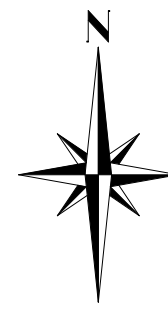
Grid bearings are derived from observations between geodetic control monuments 16-114 and 9-40 and are referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated absolute accuracy achieved are derived from the MARS2017 geoid coordinates and standard deviations for geodetic control monuments 16-114 and 9-40.

This plan shows horizontal ground level distances, unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.9996079. The average combined factor has been determined based on control monuments 16-114 and 9-40.

This plan shows one or more witness posts which are not set on the true corner(s).

Datum: NAD83(CSRS) 3.0 0 BC 1 CRD
Projection: UTM Zone 10N
UTM Northing: 5363514.009
UTM Easting: 473192.947
Station Combined Factor: 0.9996074
Estimated Absolute Accuracy: 0.02



ENLARGEMENT A
Scale of Enlargement is 1 to 4 at intended plot size of plan

LEGEND

- Found Placed
- Standard Iron Post
- Lead Plug
- City of Victoria Bored Monument
- Control Monument
- Exag — Denotes Exaggerated
- PCL — Denotes Parcel
- Unreg — Denotes Unregistered
- UTP — Denotes Unable To Post

J.E. ANDERSON & ASSOCIATES
B.C. Land Surveyors - Consulting Engineers
Victoria-Nanaimo-Parksville-Campbell River, B.C.
File: 30703

Datum: NAD83(CSRS) 3.0 0 BC 1 CRD
Projection: UTM Zone 10N
UTM Northing: 5363514.009
UTM Easting: 473192.947
Station Combined Factor: 0.9996074
Estimated Absolute Accuracy: 0.02

This plan lies within the Capital Regional District
The field survey represented by this plan was completed on the 3rd day of February, 2021.
Peter J Wittstock, BCLS 917

NOTE 2023-06-08
TO BE UPDATED AS NEEDED

12	2023-06-08	Revised DP
11	2023-05-08	Issued by Owner's Review - Not for Construction
10	2022-09-30	Final Review
9	2021-11-09	Post-Tender Addendum #1
8	2021-10-27	DDP/DRAP
7	2021-08-19	DDP/DRAP
6	2021-08-19	SP Response
5	2021-08-30	SP Response
4	2021-08-26	RFI
3	2021-03-17	FBP
2	2021-03-04	Integrated DP
1	2021-03-04	SP

Revisions DD MMM YYYY

Seal
825 Fort Street Victoria

825 Fort Street Victoria, BC

Project
Survey - for Reference Only

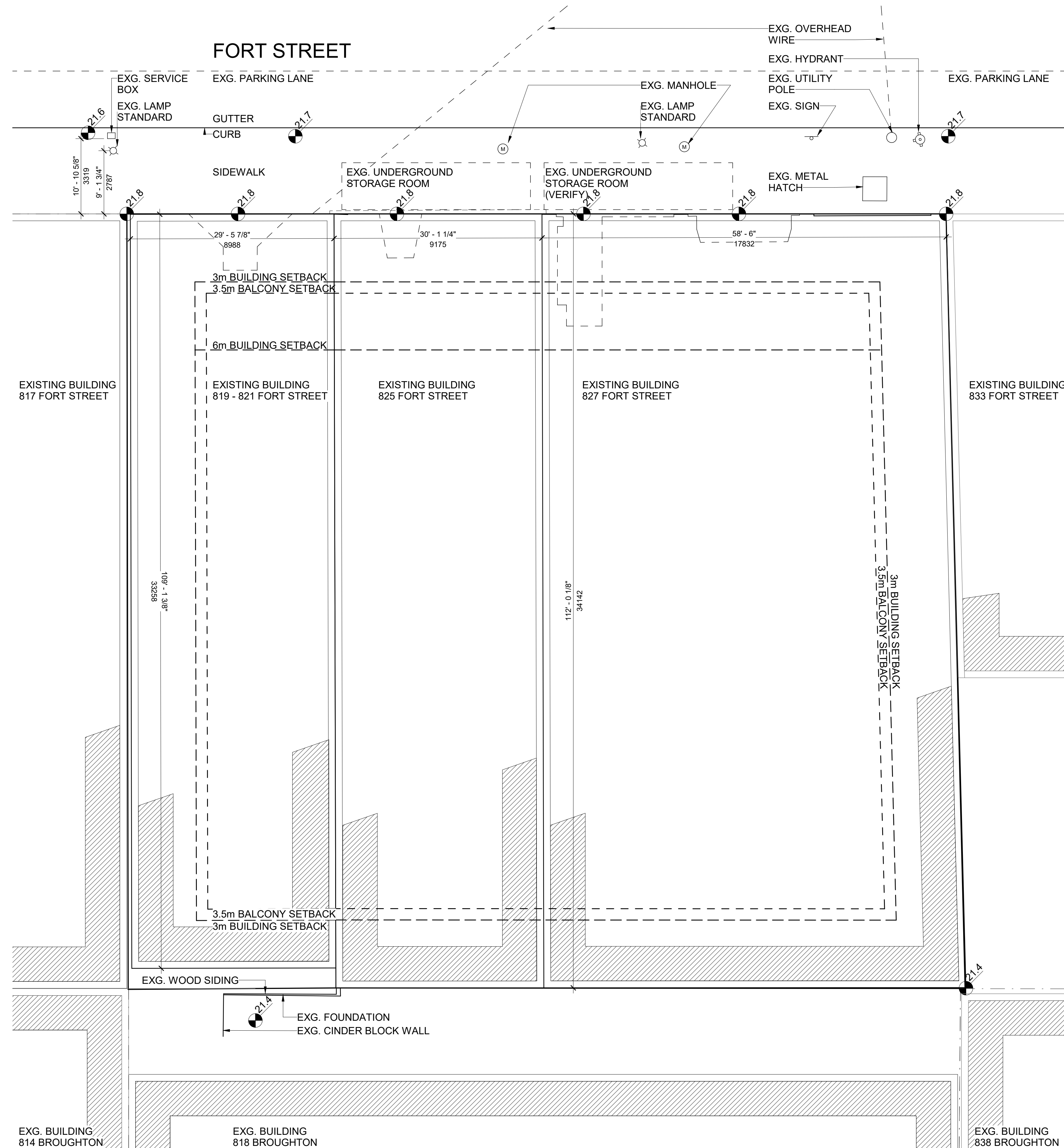
Drawing

Scale NOT TO SCALE

Project 217033

A101
Sheet

1 SURVEY PLAN - FOR REFERENCE ONLY
SCALE: NOT TO SCALE



24	2023-06-08	Delegated DP
23	2023-05-08	Issued for Owner's Review - Not for Construction
22	2022-09-30	IFC Below Grade
21	2021-11-09	Final Tender Addendum #1
20	2021-10-21	DDP/HAP
19	2021-08-19	DDP/HAP
18	2021-08-19	RF Response
17	2021-08-30	RF Response
16	2021-05-28	HIT
15	2021-03-17	FBP
14	2021-03-04	Delegated DP
13	2021-03-04	RF
12	2020-12-17	Delegated DP
11	2020-10-07	Delegated DP
10	2020-09-17	Delegated DP
9	2020-07-02	Delegated DP
8	2019-07-29	Recurring Revision
7	2019-07-09	Recurring Revision
6	2019-05-24	Recurring Revision
5	2019-01-09	Recurring Revision
4	2018-10-24	Recurring Revision
3	2018-08-31	Recurring Revision
2	2018-04-19	Recurring Revision
1	2017-11-08	Recurring Application

Revisions	DD MMM YYYY
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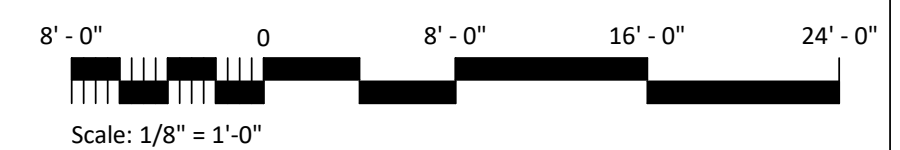
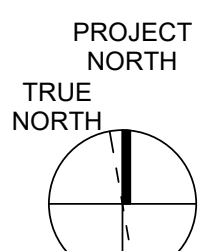
Seal
825 Fort Street Victoria

825 Fort Street Victoria, BC
Project
Site Plan Existing - for Reference Only

Scale 1 : 100
Project 217033

A102
Sheet

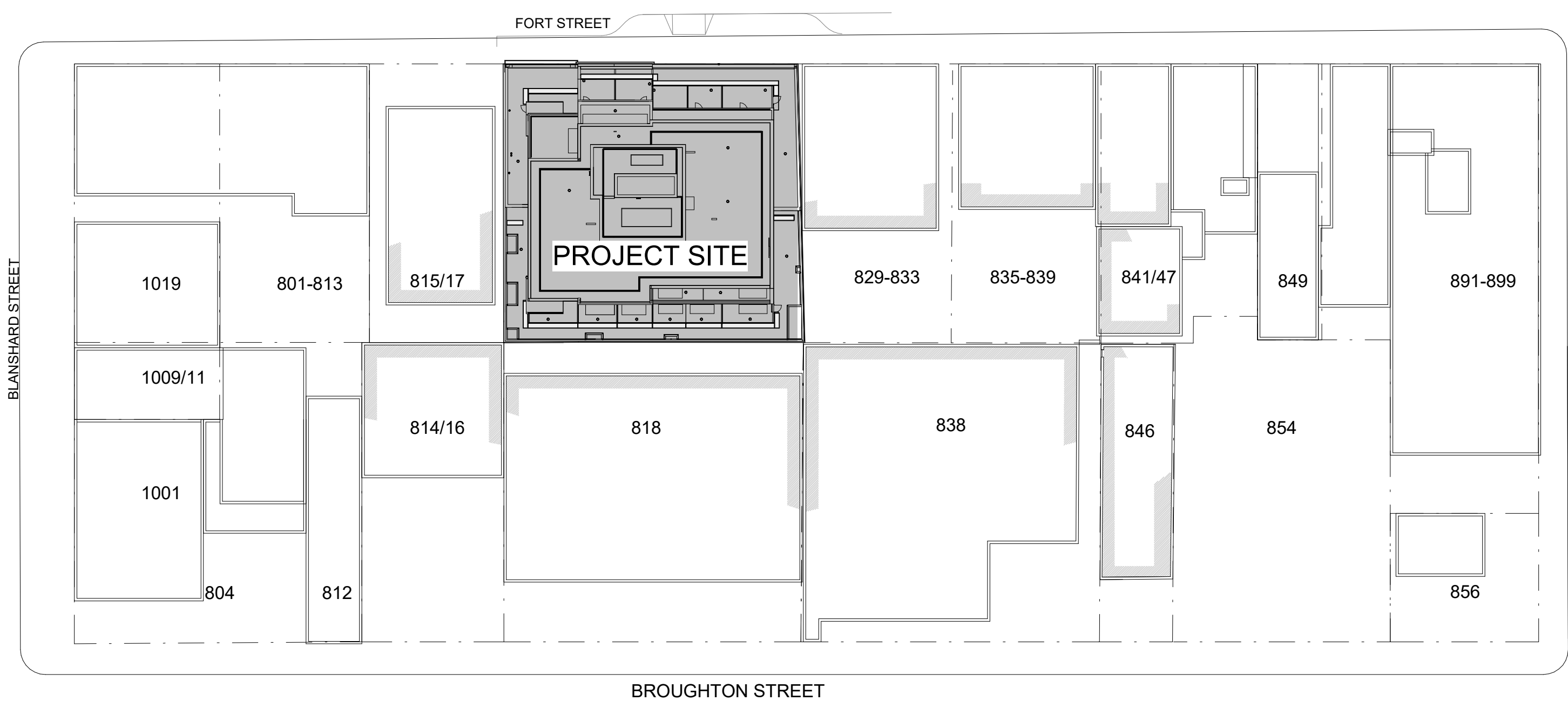
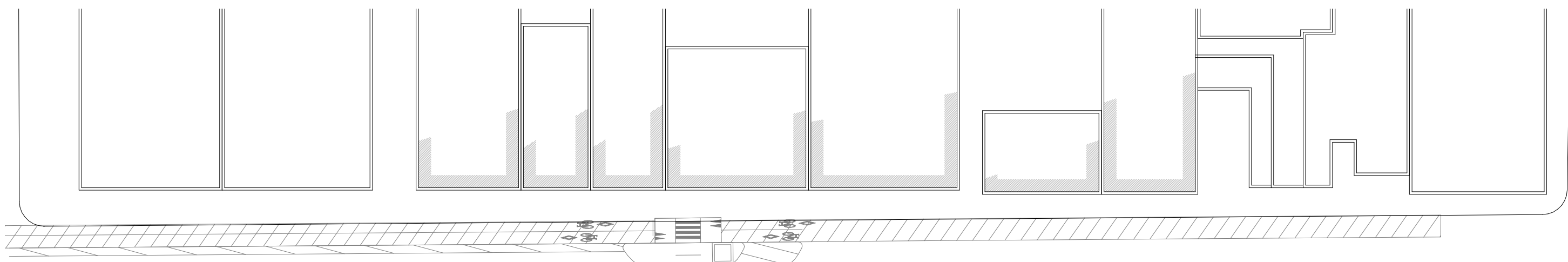
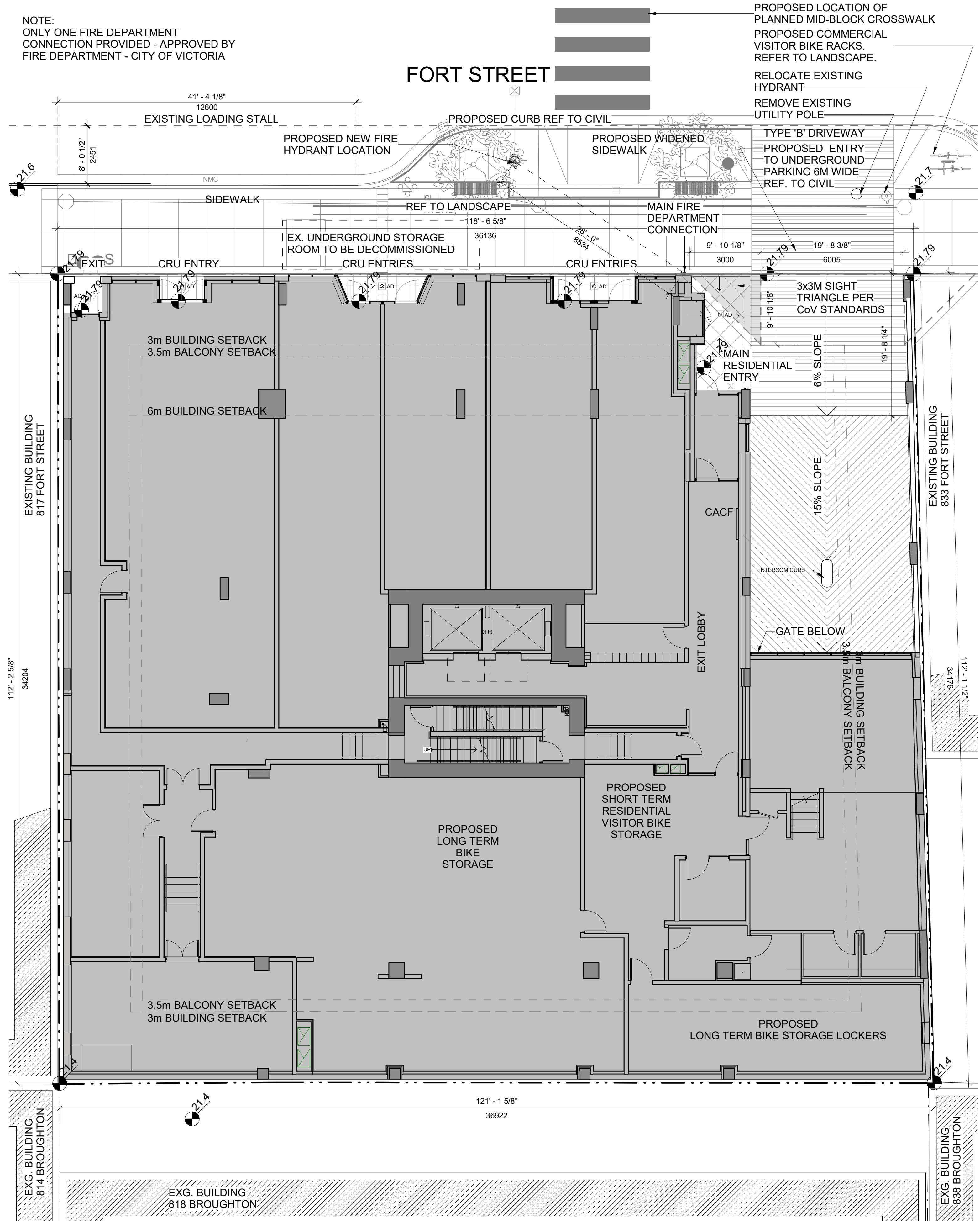
1 Site Plan Existing
A007 SCALE: 1 : 100



PROJECT INFORMATION TABLE

ZONE (PREVIOUS)	CA-HG
NEW ZONE	CA-2
SITE AREA	RMD-2 (RESIDENTIAL MIXED USE FORT STREET DISTRICT)
TOTAL FLOOR AREA	1248 SQ.M. (13,434 SQ.FT.)
COMMERCIAL FLOOR AREA	7,699.2 SQ.M. (82,874 SQ.FT.)
FLOOR SPACE RATIO	389.7 SQ.M. (4,195 SQ.FT.)
SITE COVERAGE (%)	6.17
OPEN SITE SPACE	98.7%
HEIGHT OF BUILDING (m)	16 SQ.M. (172 SQ.FT.)
NUMBER OF STOREYS	33.9 M (M. ROOF) PREVIOUS 31.7 M
PARKING STALLS ON SITE	11
BICYCLE PARKING NUMBER:	56
CLASS 1	142
CLASS 2	14
BUILDING SETBACKS (m):	
FRONT YARD	4.2 M - 6.0 M
REAR YARD	4.4 M
SIDE YARD (E)	3.1 M
SIDE YARD (W)	3.0 M
COMBINED SIDE YARDS	6.1 M
RESIDENTIAL USE DETAILS:	
TOTAL NUMBER OF UNITS	119
STUDIO	9
1 BEDROOM	69
2 BEDROOM	34
3 BEDROOM	7
GROUND-ORIENTATED	N/A
MINIMUM UNIT FLOOR AREA:	
STUDIO	33.0 SQ.M. (362 SQ.FT.)
1 BEDROOM	34.3 SQ.M. (369 SQ.FT.)
2 BEDROOM	55.3 SQ.M. (596 SQ.FT.)
3 BEDROOM	76.4 SQ.M. (819 SQ.FT.)
TOTAL RESIDENTIAL FLOOR AREA:	7,309.5 SQ.M. (78,678 SQ.FT.)

NOTE:
ONLY ONE FIRE DEPARTMENT CONNECTION PROVIDED - APPROVED BY FIRE DEPARTMENT - CITY OF VICTORIA

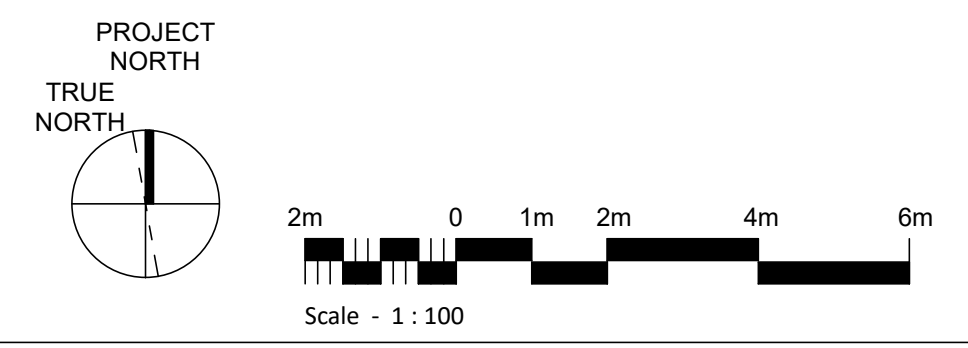


22	2023-08-12	DPV Response
21	2023-06-08	DPV
20	2022-09-30	IFC Below Grade
19	2021-11-09	Final Tender Addendum #1
18	2021-10-21	DDP/CD/HP
17	2021-08-19	DDP/CD/HP
16	2021-08-19	SP Response
15	2021-06-30	SP Response
14	2021-05-26	IFT
13	2021-03-17	Final
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2020-12-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Revising Revision
5	2019-05-24	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-04	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY

2 Vicinity Plan
A007 SCALE: 1 : 500

1 Site Plan
A007 SCALE: 1 : 100

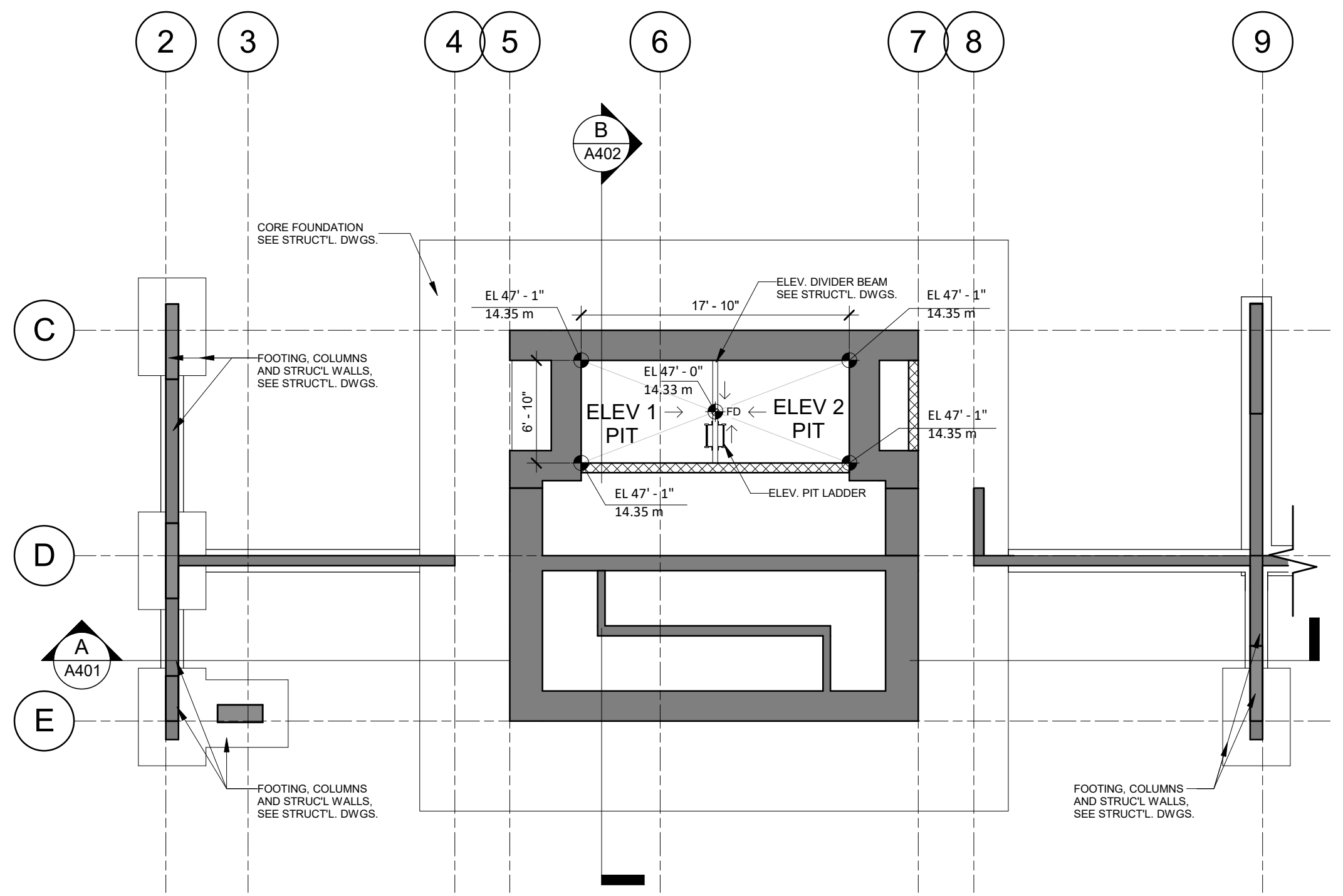
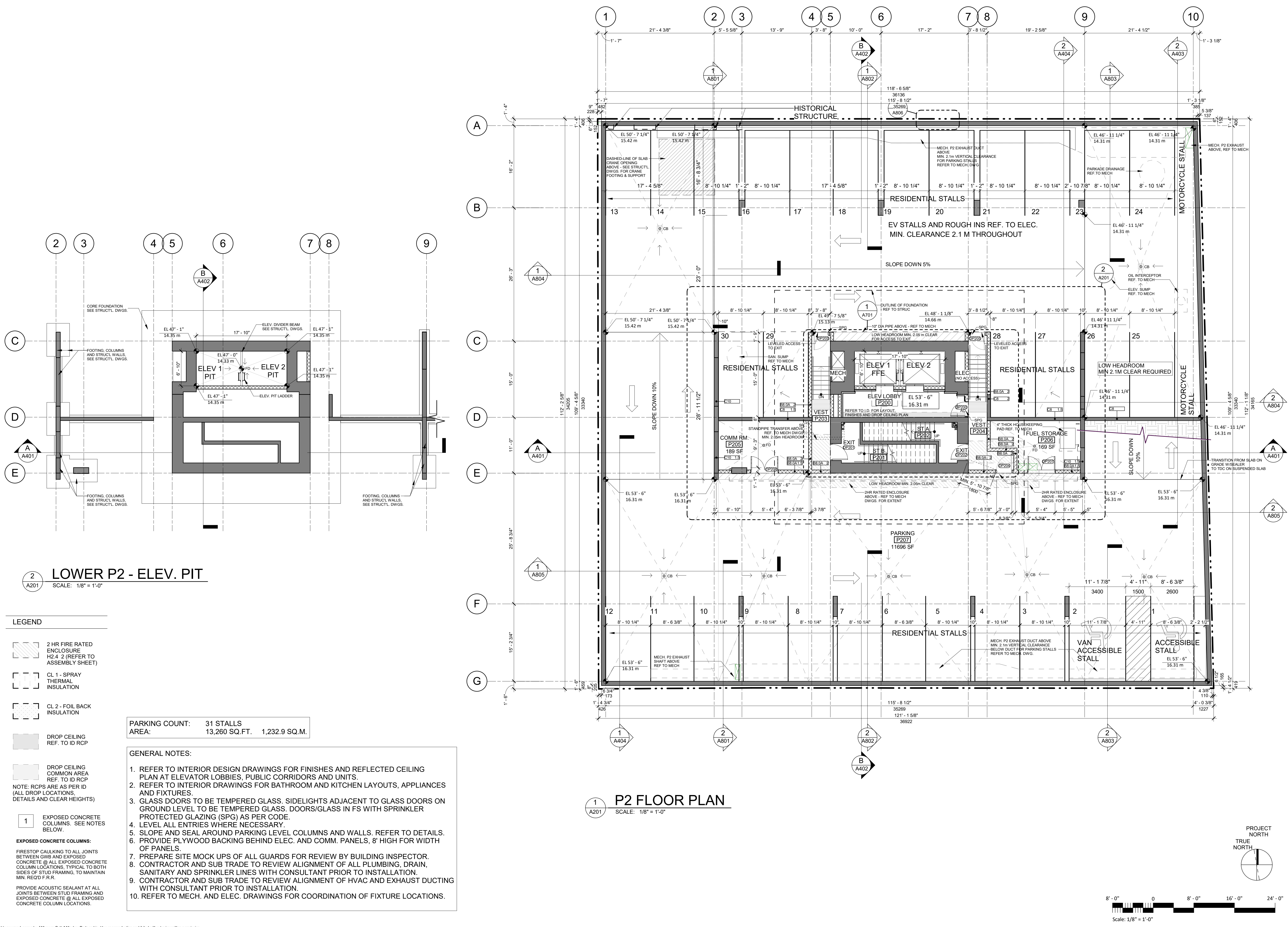


Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC
Project
Proposed Site
Plan & Vicinity
Plan - for
Reference
Only As indicated

Project 217033

A103
Sheet



2 LOWER P2 - ELEV. PIT
A201 SCALE: 1/8" = 1'-0"

- LEGEND**
- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)
- 1** EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.
- EXPOSED CONCRETE COLUMNS:**
FIRESTOP CALLING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.
PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

PARKING COUNT: 31 STALLS
AREA: 13,260 SQ.FT. 1,232.9 SQ.M.

- GENERAL NOTES:**
1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
 2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
 3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
 4. LEVEL ALL ENTRIES WHERE NECESSARY.
 5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
 6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
 7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
 8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
 9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
 10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

1 P2 FLOOR PLAN
A201 SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION	BY
22	2023-09-12	DPV Response	DD
21	2023-09-08	DPV	DD
20	2023-09-30	FC Below Grade	DD
19	2023-11-08	Final Tender Addendum #1	DD
18	2023-10-21	DDP/CHAP	DD
17	2023-08-19	DDP/CHAP	DD
16	2023-08-19	SP Response	DD
15	2023-08-19	SP Response	DD
14	2023-08-19	SP Response	DD
13	2023-03-17	Final	DD
12	2023-03-17	Delegated D/P	DD
11	2023-03-17	SP	DD
10	2023-03-17	Delegated D/P	DD
9	2023-10-47	Delegated D/P	DD
8	2023-08-17	Delegated D/P	DD
7	2023-07-29	Delegated D/P	DD
6	2023-07-29	Revising Revision	DD
5	2023-07-29	Revising Revision	DD
4	2023-05-24	Revising Revision	DD
3	2023-05-24	Revising Revision	DD
2	2023-05-24	Revising Revision	DD
1	2023-05-24	Revising Revision	DD

Revisions DD MMM YYYY

Seal
825 Fort Street Victoria

825 Fort Street
Victoria, BC

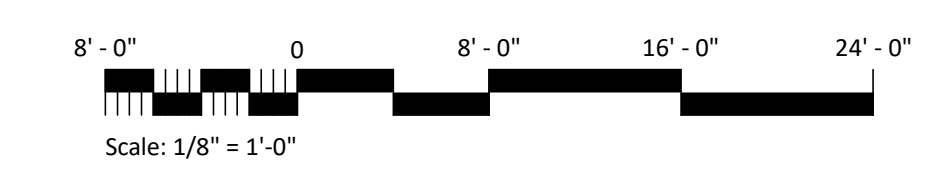
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Floor Plan Level P2

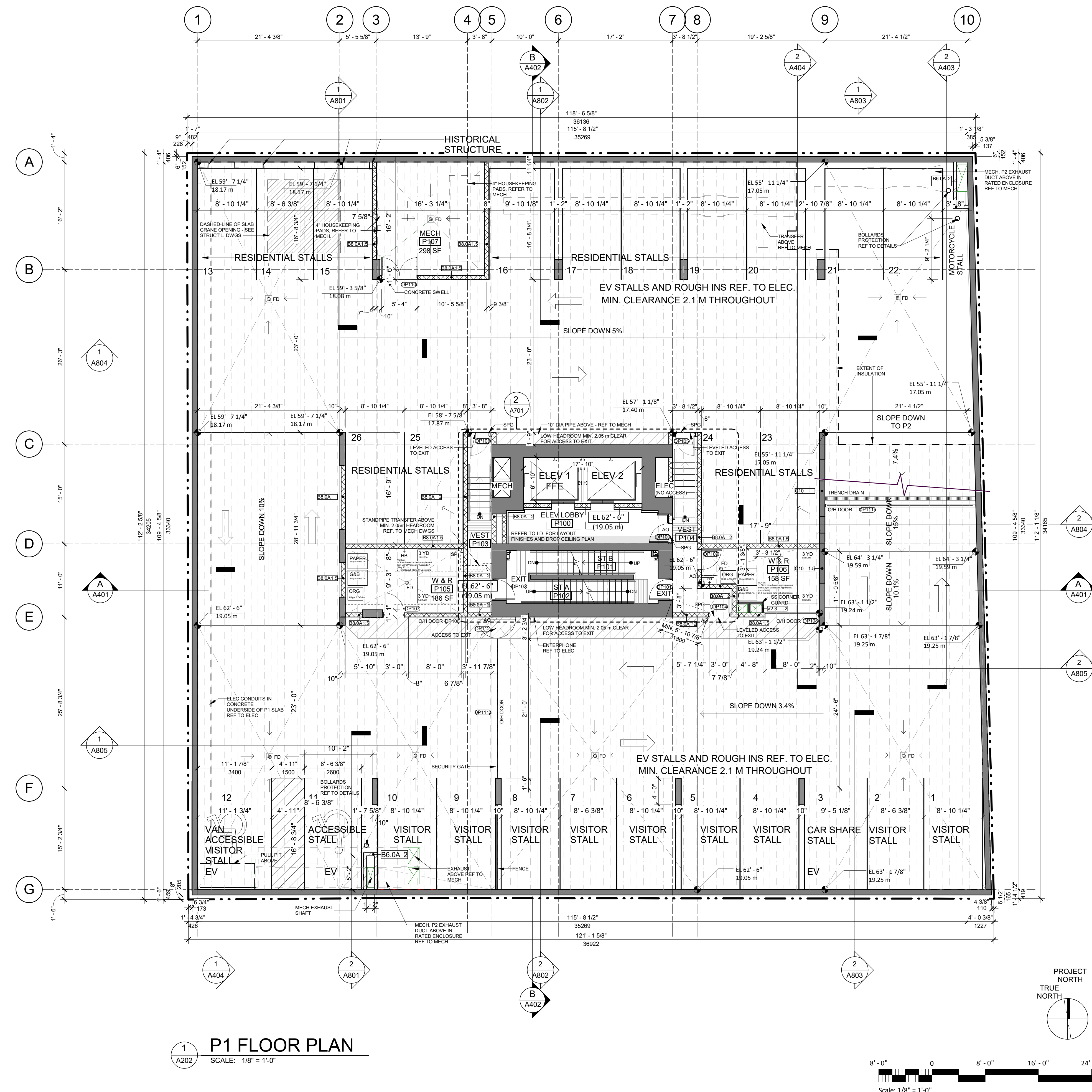
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Scale As indicated

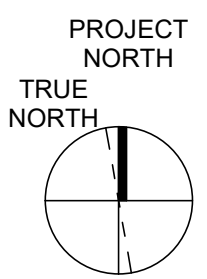
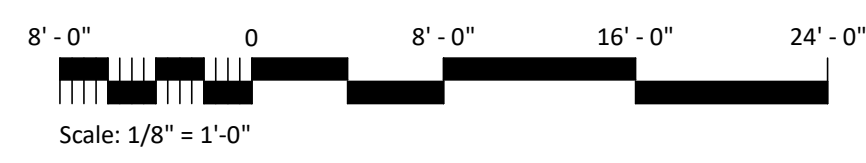
Project 217033

A201
Sheet





P1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



- LEGEND**
- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

- EXPOSED CONCRETE COLUMNS:**
- FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS, TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.
- PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

PARKING COUNT: 26 STALLS
AREA: 13,260 SQ.FT. 1,232.9 SQ.M.

- GENERAL NOTES:**
1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
 2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
 3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
 4. LEVEL ALL ENTRIES WHERE NECESSARY.
 5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
 6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
 7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
 8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
 9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
 10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

23	2023-09-27	DPV Response
22	2023-09-12	DPV Response
21	2023-09-08	DPV
20	2023-09-30	F.C. Below Grade
19	2023-11-08	Final Tender Addendum #1
18	2023-10-21	DDP/CHAP
17	2023-08-19	DDP/CHAP
16	2023-08-19	SP Response
15	2023-06-30	SP Response
14	2023-05-26	FFI
13	2023-03-17	FFI
12	2023-03-04	Delegated DP
11	2023-03-04	SP
10	2023-02-17	Delegated DP
9	2023-10-07	Delegated DP
8	2023-08-17	Delegated DP
7	2023-07-02	Delegated DP
6	2023-07-29	Revising Revision
5	2023-07-29	Revising Revision
4	2023-05-24	Revising Revision
3	2023-04-20	Revising Revision
2	2023-03-04	Revising Revision
1	2023-02-21	Revising Revision

Revisions DD MMM YYYY

Seal
825 Fort Street Victoria

825 Fort Street Victoria, BC

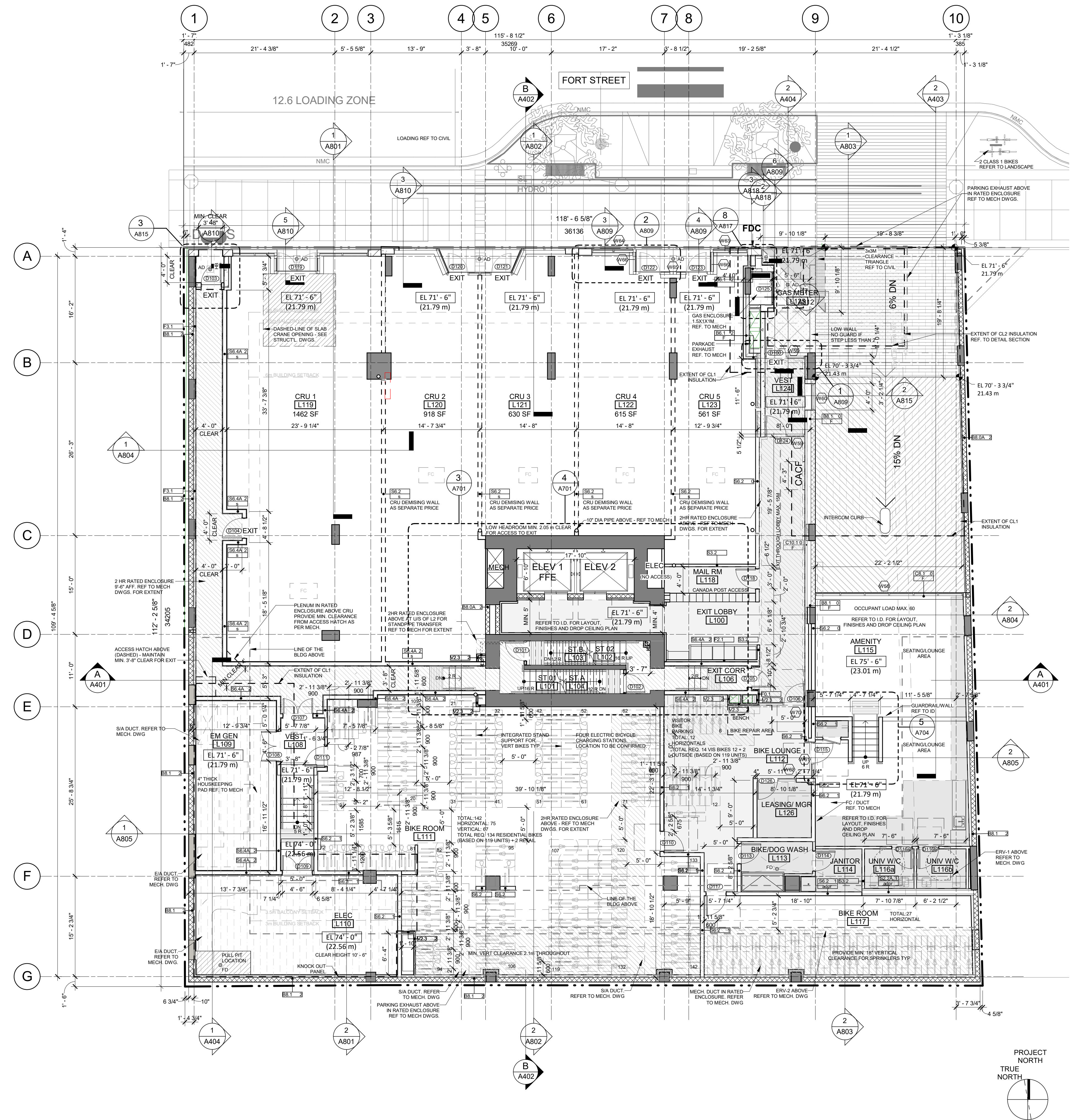
Project
Floor Plan Level P1

Drawing

Scale As indicated

Project 217033

A202
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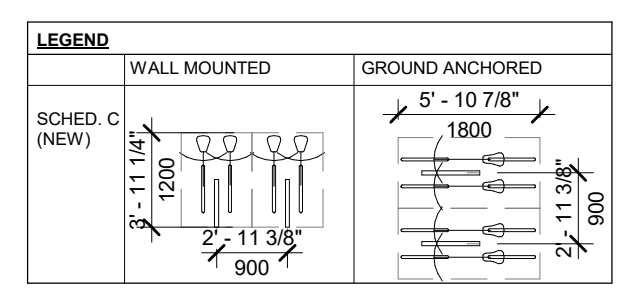


LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

1 EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.

EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING. TO MAINTAIN MIN. REQ'D F.R.R.
PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.



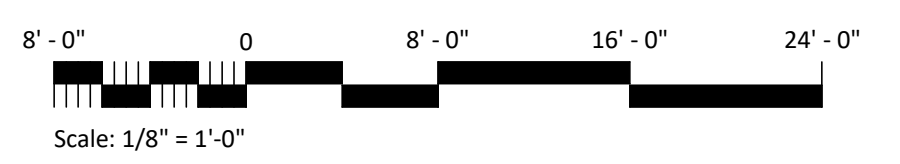
NUMBER OF STALLS	
TYPE	GROUND ANCHORED
RESIDENTS	75 + 27
VISITOR	67
TOTAL: 142*	

* 2 ADDITIONAL VISITOR STALLS OUTSIDE. REFER TO SITE PLAN.

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS. PROVIDE SOLID BACKING WHERE NEEDED.
11. FOR BIKE AND STORAGE ROOMS, PROVIDE WALL PROTECTIONS WHERE NEEDED.

1 GROUND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



Revisions DD MMM YYYY

23	2023-09-21	DPV Response
22	2023-09-12	DPV Response
21	2023-09-06	DPV
20	2023-09-30	F.C. Below Grade
19	2023-11-08	Final Tender Addendum #1
18	2023-10-21	DDP/CHAP
17	2023-08-19	DDP/CHAP
16	2023-08-19	SP Response
15	2023-05-30	SP Response
14	2023-05-28	FFI
13	2023-03-17	FFI
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2020-12-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-04	Revising Revision
1	2018-08-31	Revising Revision

825 Fort Street Victoria, BC

Floor Plan
Ground Level

Drawing

Scale As indicated

Project 217033

A203
Sheet

02	2023-09-12	DPV Response
21	2023-08-28	DPV
20	2023-09-30	FC Below Grade
19	2023-11-09	Final Tender Addendum #1
18	2023-10-21	DDP/CHAP
17	2023-08-19	DDP/CHAP
16	2023-08-19	SP Response
15	2023-05-30	SP Response
14	2023-05-26	FFI
13	2023-03-17	FFI
12	2023-03-04	Delegated DP
11	2023-03-04	SP
10	2023-02-17	Delegated DP
9	2023-02-17	Delegated DP
8	2023-02-17	Delegated DP
7	2023-02-17	Delegated DP
6	2019-07-29	Revising Revision
5	2019-05-24	Revising Revision
4	2019-05-24	Revising Revision
3	2019-05-24	Revising Revision
2	2018-05-04	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

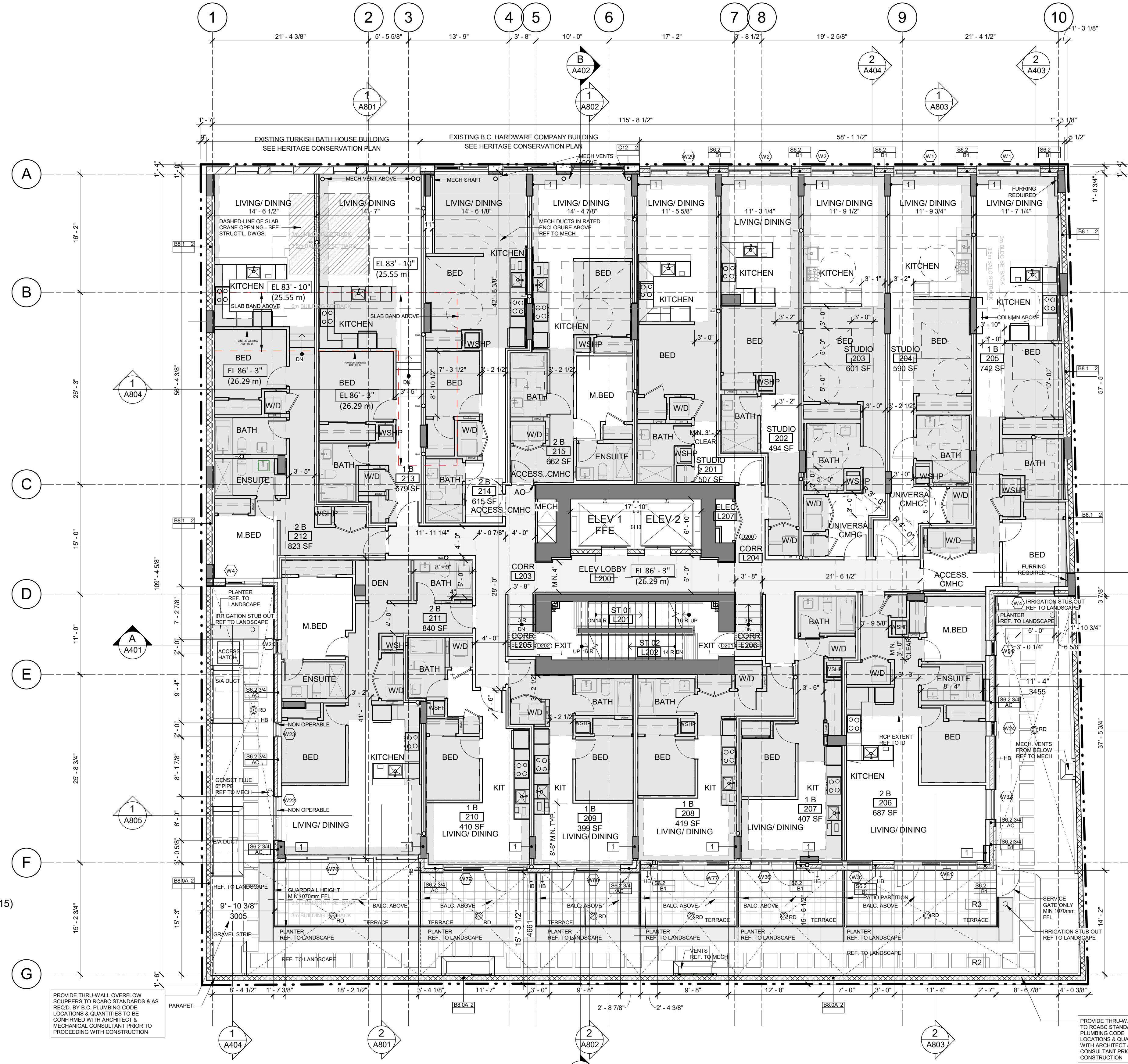
Floor Plan
Level 2

Drawing

Scale As indicated

Project 217033

A204
Sheet



LEVEL 2 FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

1 EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.

EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWS AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.

PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

- CMHC ACCESSIBLE**
PER CMHC ACCESSIBILITY CRITERIA BASED ON SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (Including Saanich Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004))
- CMHC ADAPTABLE**
PER CMHC ADAPTABILITY REQUIREMENTS
- CMHC UNIVERSAL**
PER CMHC UNIVERSAL DESIGN REQUIREMENTS

L 02 UNITS	
1 B	6
2 B	5
STUDIO	4
Grand total:	15

L2
CMHC UNIVERSAL - 2 UNITS (203, 204)
CMHC ACCESSIBLE - 3 UNITS (205, 214, 215)

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
11. WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
12. PROVIDE EXTRA LAYER OF 5/8" GWS TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR WSH/ ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A WALL WITH 2 LAYERS OF 5/8" GWS AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES BETWEEN THE STUDS. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.

22	2023-09-12	DPV Response
21	2023-06-08	DPV
20	2022-09-30	IFC Below Grade
19	2021-11-08	Final Tender Addendum #1
18	2021-10-21	DDP/CHAP
17	2021-08-19	DDP/CHAP
16	2021-08-19	DDP/CHAP
15	2021-06-30	SP Response
14	2021-05-26	IFT
13	2021-03-17	IFB
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2021-03-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-04	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

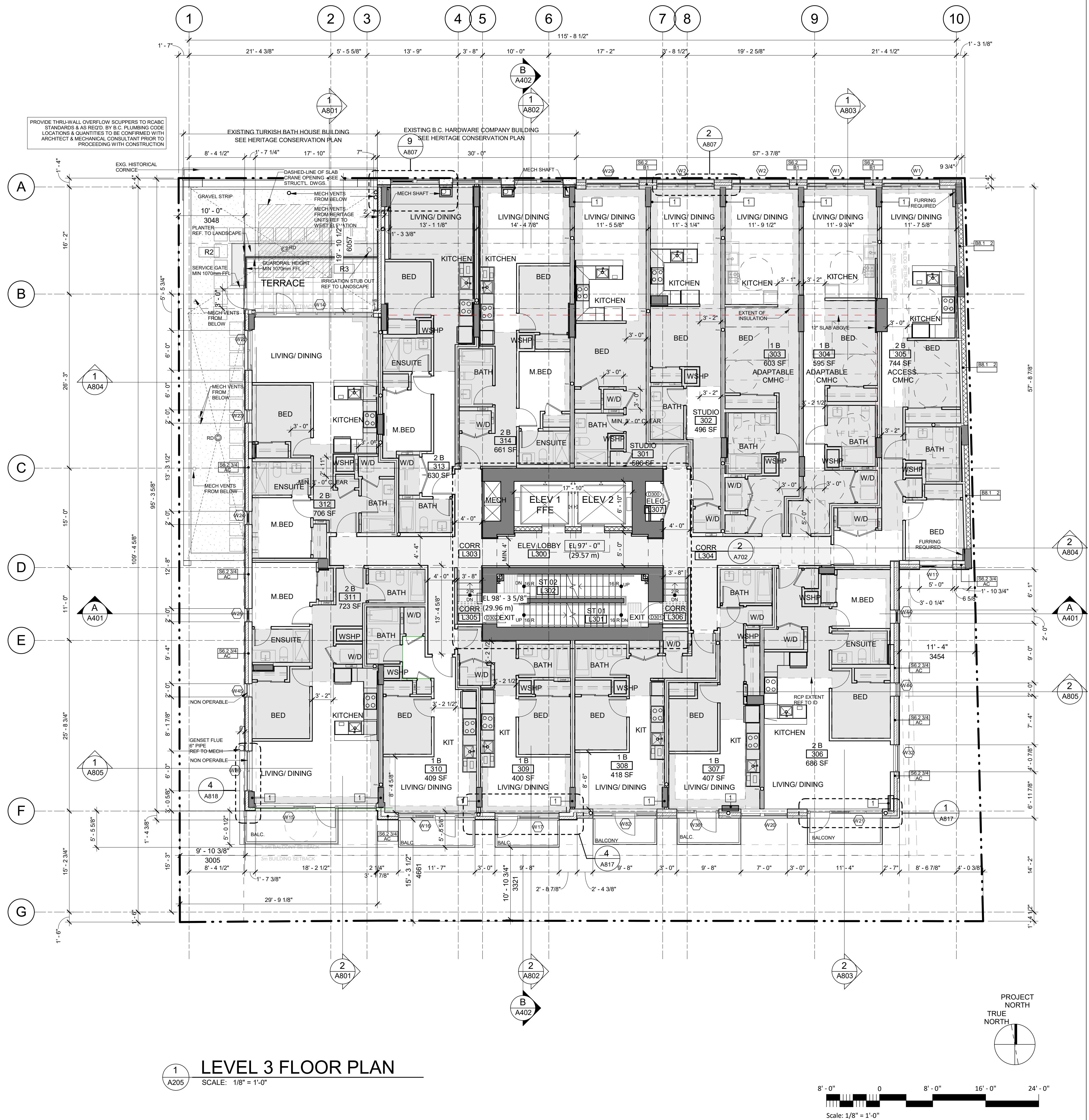
Floor Plan
Level 3

Drawing

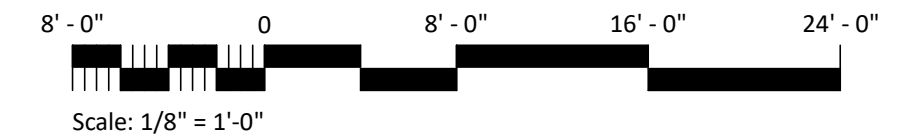
Scale As indicated

Project 217033

A205
Sheet



1 LEVEL 3 FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4 2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

- EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.
- EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.
PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

L.03 UNITS	
1 B	6
2 B	6
STUDIO	2
Grand total:	14

L3
CMHC ADAPTABLE - 2 UNITS (303, 304)
CMHC ACCESSIBLE - 1 UNIT (305)

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS. 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
11. WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTICAL SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
12. PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR WSH/P ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.

22	2023-09-12	DPV Response
21	2023-08-28	DPV
20	2023-09-30	FC Below Grade
19	2023-11-08	Final Tender Addendum #1
18	2023-10-21	DDP/CHAP
17	2023-08-19	DDP/CHAP
16	2023-08-19	SP Response
15	2023-05-30	SP Response
14	2023-05-28	FFI
13	2023-03-17	FFI
12	2021-03-24	Delegated DP
11	2021-03-24	SP
10	2023-03-17	Delegated DP
9	2023-03-17	Delegated DP
8	2023-03-17	Delegated DP
7	2023-03-17	Delegated DP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-24	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

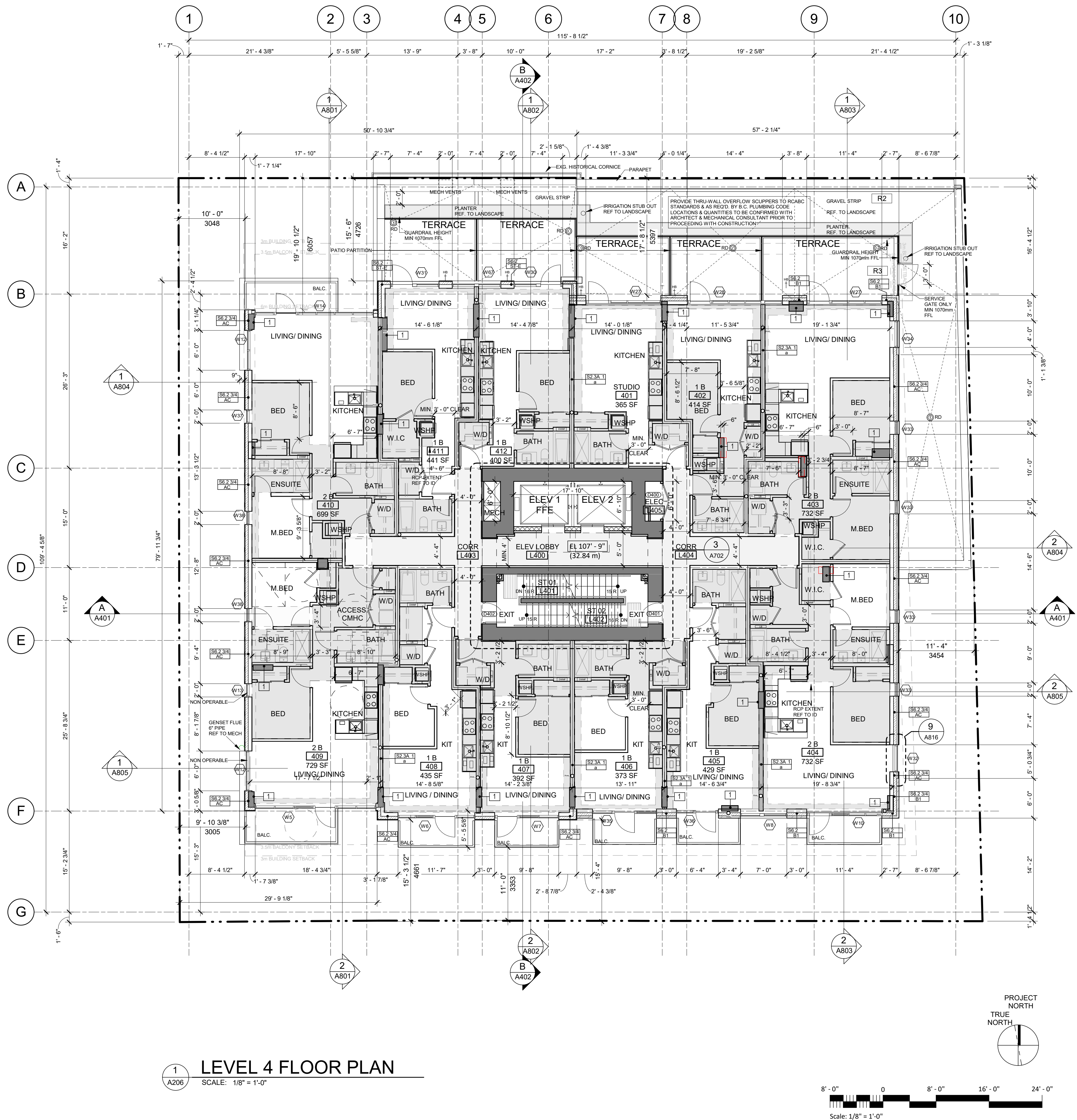
Project
Floor Plan
Level 4

Drawing

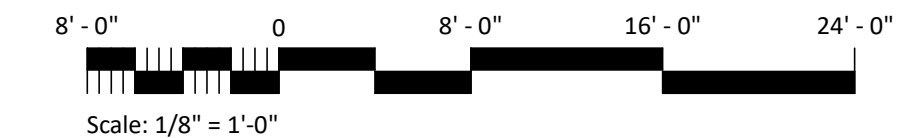
Scale As indicated

Project 217033

A206
Sheet



1 LEVEL 4 FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

1 EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.

EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS, TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.

PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

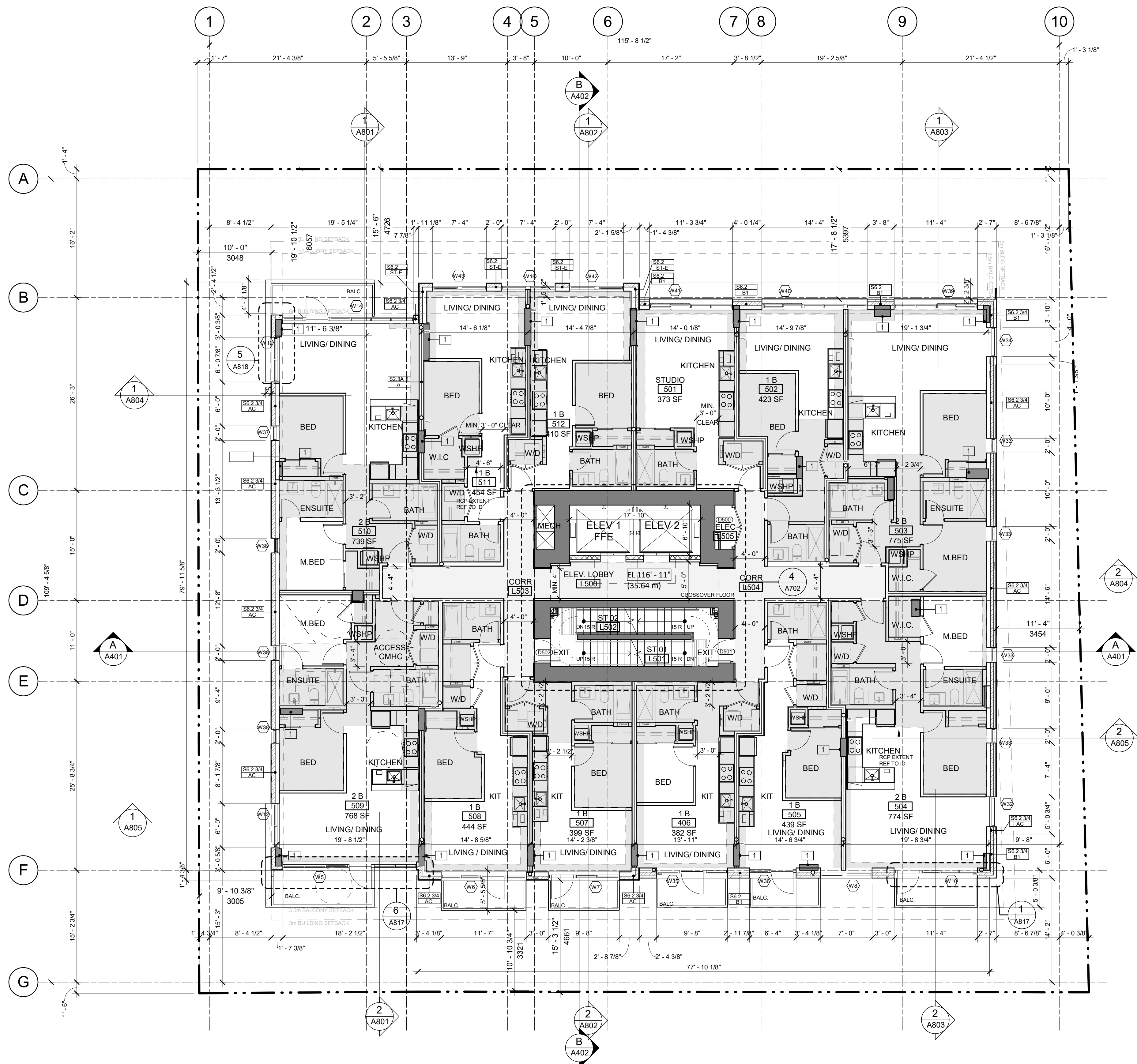
- CMHC ACCESSIBLE**
PER CMHC ACCESSIBILITY CRITERIA BASED ON SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (Including Saanich Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004))
- CMHC ADAPTABLE**
PER CMHC ADAPTABILITY REQUIREMENTS
- CMHC UNIVERSAL**
PER CMHC UNIVERSAL DESIGN REQUIREMENTS

L 04 UNITS	
1 B	7
2 B	4
STUDIO	1
Grand total:	12

L4
CMHC ACCESSIBLE - 1 UNIT (409)

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS. 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
11. WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
12. PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR W/SHHP ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.



LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPS ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

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PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

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PER CMHC ACCESSIBILITY CRITERIA BASED ON SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (Including Saanich Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004))
- CMHC ADAPTABLE**
PER CMHC ADAPTABLE REQUIREMENTS
- CMHC UNIVERSAL**
PER CMHC UNIVERSAL DESIGN REQUIREMENTS

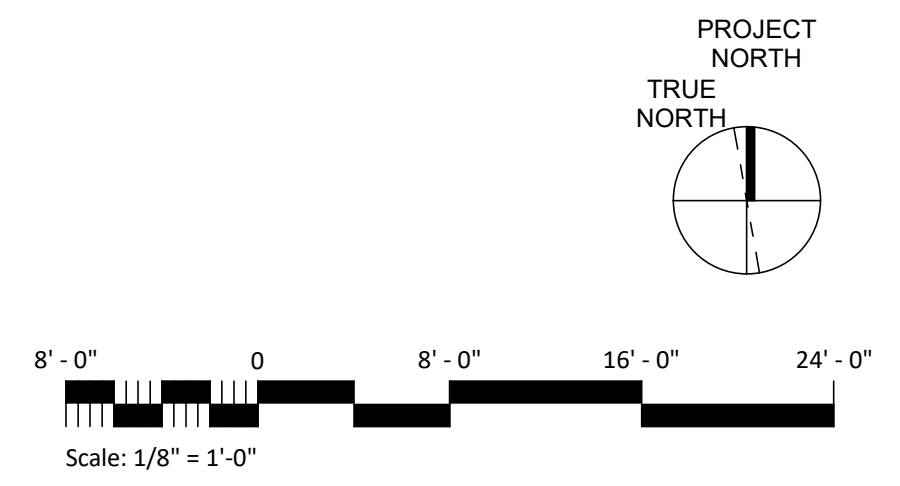
L 05 UNITS	
1 B	7
2 B	4
STUDIO	1
Grand total:	12

L5 - 7 total units: 36
L5 TO 7
CMHC ACCESSIBLE - 3 UNIT (509, 609, 709)

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
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12. PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR WSHPC ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.

1 LEVEL 5 FLOOR PLAN
SCALE: 1/8" = 1'-0"



NO.	DATE	DESCRIPTION
22	2023-09-12	DPV Response
21	2023-08-08	DPV
20	2022-09-30	FC Below Grade
19	2021-11-08	Final Tender Addendum #1
18	2021-10-21	DDP/CHAP
17	2021-08-19	DDP/CHAP
16	2021-08-19	SP Response
15	2021-05-26	SP Response
14	2021-05-26	FFI
13	2021-03-17	FFI
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2021-03-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-04	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY

Seal
825 Fort Street Victoria

825 Fort Street
Victoria, BC

Project
Floor Plan Level 5 to 7

Drawing

Scale As indicated

Project 217033

A207
Sheet

27	2023-09-08	Revised progress set
26	2023-07-07	Revised progress set
25	2023-08-31	Final Tender Addendum #2
24	2023-08-14	Issued for coordination
23	2023-06-16	Issued for Progress Set
22	2023-05-08	Issued for Owner's Review - Not for Construction
21	2021-11-09	Final Tender Addendum #1
20	2021-10-21	DDPH/HAAP
19	2021-08-19	DDPH/HAAP
18	2021-08-19	RF Responses
17	2021-06-30	RF Responses
16	2021-06-03	Addendum #2
15	2021-05-07	Addendum #1
14	2021-05-26	RFI
13	2021-03-17	RFI
12	2021-03-24	Delegated DP
11	2020-12-17	Delegated DP
10	2020-10-01	Delegated DP
9	2020-08-17	Delegated DP
8	2020-07-02	Delegated DP
7	2020-07-02	Revising Revision
6	2019-05-24	Revising Revision
5	2019-01-01	Revising Revision
4	2018-10-24	Revising Revision
3	2018-08-31	Revising Revision
2	2018-04-19	Revising Revision
1	2017-11-08	Revising Application

Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

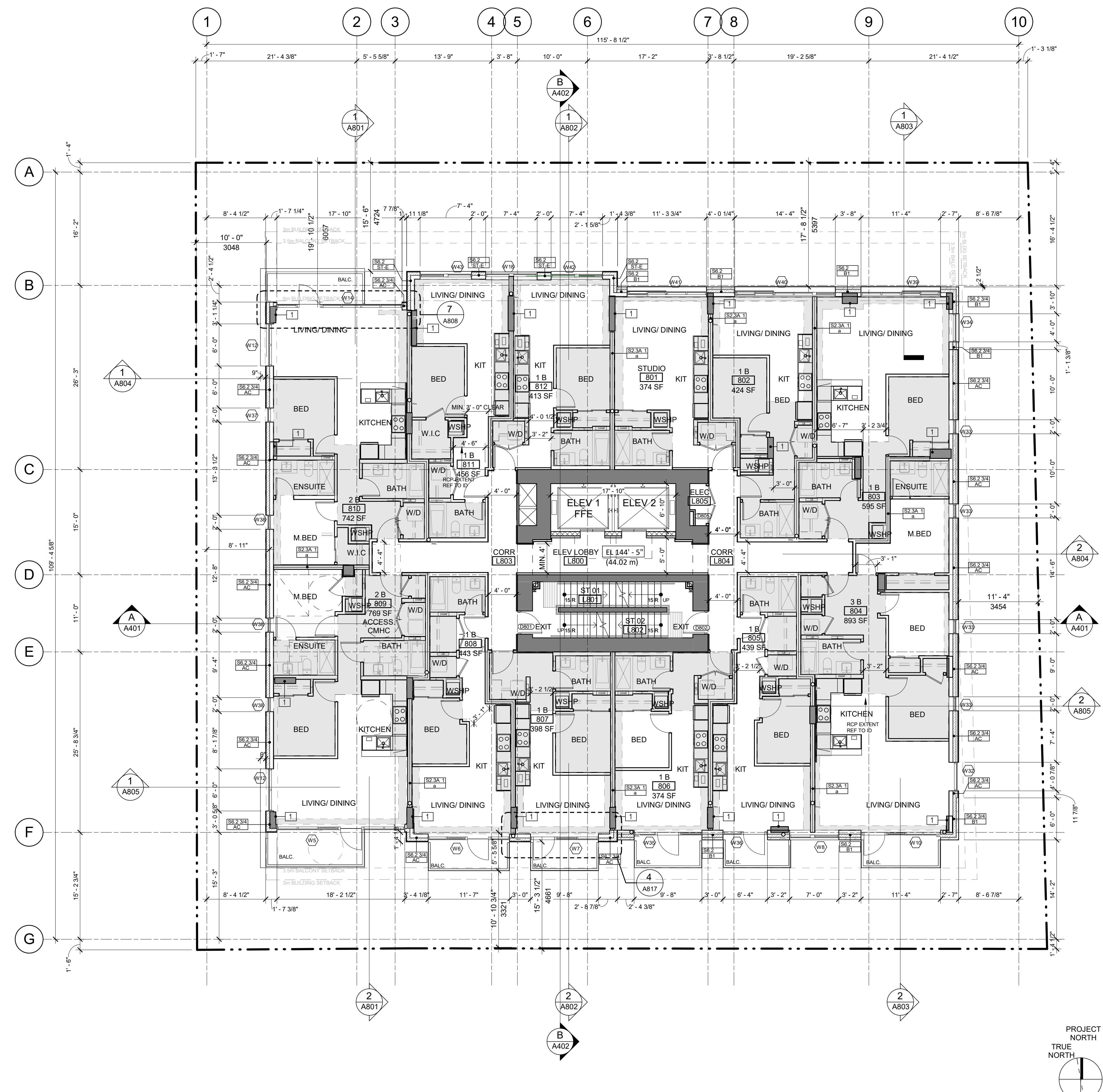
Project
Floor Plan
Level 8 & 9

Drawing

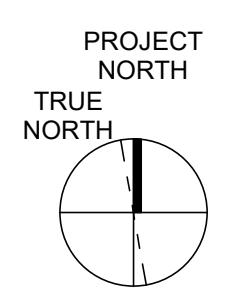
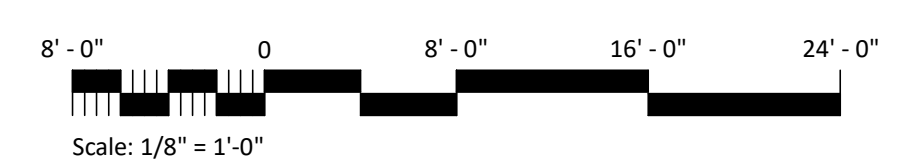
Scale As indicated

Project 217033

A208
Sheet



1 LEVEL 8 & 9 FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4 2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPS ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

1 EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.

EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.

PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

- CMHC ACCESSIBLE**
PER CMHC ACCESSIBILITY CRITERIA BASED ON SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (Including Saanich Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004))
- CMHC ADAPTABLE**
PER CMHC ADAPTABLE REQUIREMENTS
- CMHC UNIVERSAL**
PER CMHC UNIVERSAL DESIGN REQUIREMENTS

L 08 UNITS	
1 B	8
2 B	2
3 B	1
STUDIO	1
Grand total:	12

L8 and 9 total units: 24
L8 AND 9
CMHC ACCESSIBLE - 2 UNIT (809, 909)

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS. 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
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12. PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR WSHIP ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.

LEGEND

- 2 HR FIRE RATED ENCLOSURE
 - H2.4.2 REFER TO ASSEMBLY SHEET
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

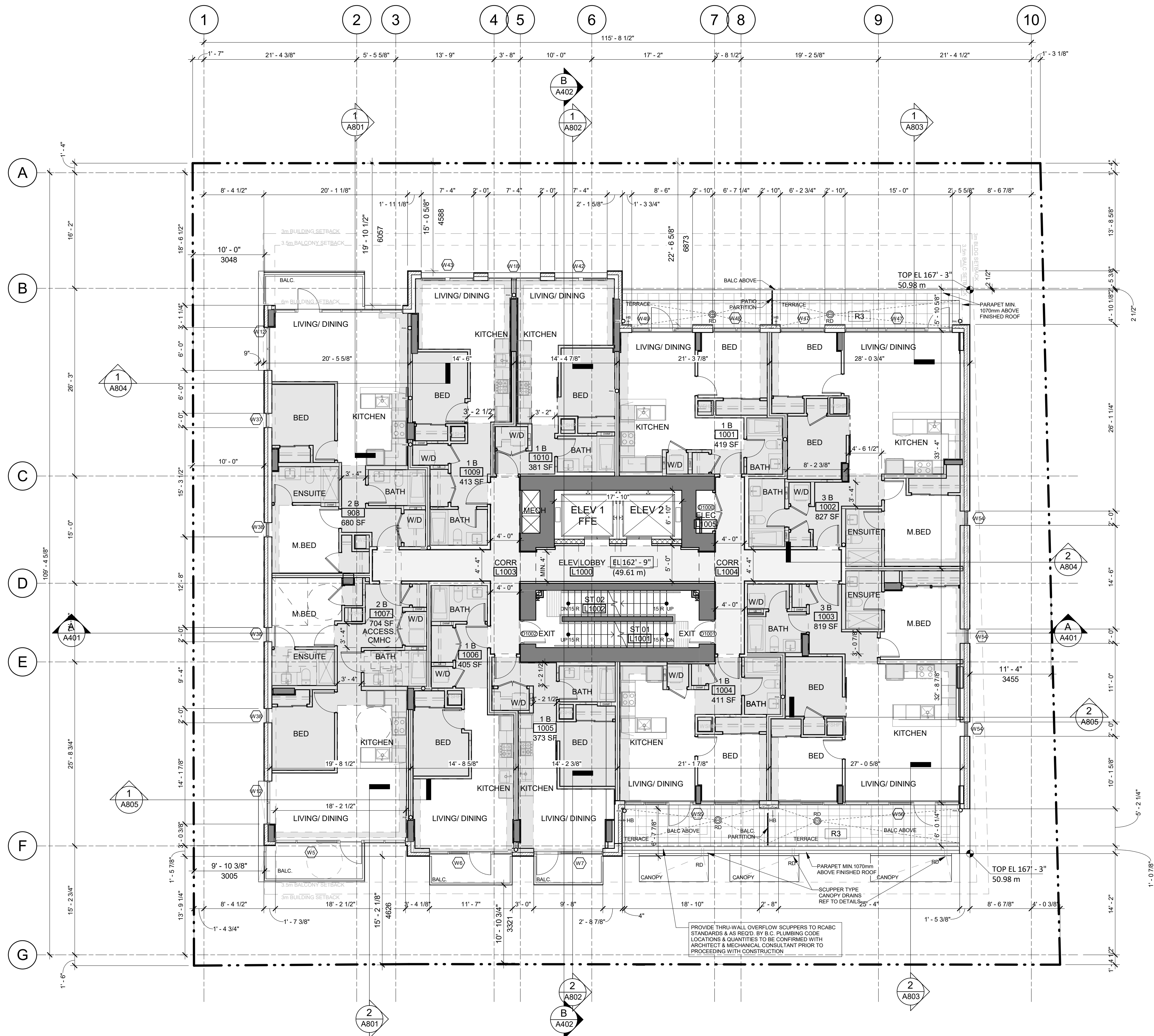
NOTE:

- ACCESSIBLE**
SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (CMHC ACCESSIBILITY CRITERIA) - CMHC MINIMUM ACCESSIBILITY
Saanch Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004)
- ADAPTABLE**
CMHC ADAPTABLE REQUIREMENTS
- UNIVERSAL**
CMHC UNIVERSAL DESIGN

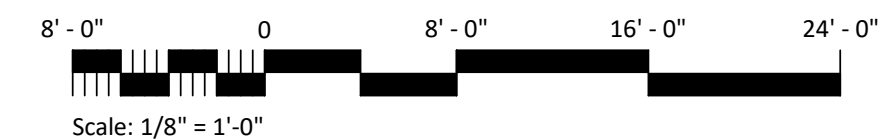
L 09 UNITS	
1 B	6
2 B	2
3 B	2
Grand total: 10	

GENERAL NOTES:

- REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
- REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
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- LEVEL ALL ENTRIES WHERE NECESSARY.
- SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
- PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
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- PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
- FOR WSPH ENCLOSURE IT IS RECOMMENDED TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES.



1 LEVEL 10 FLOOR PLAN
SCALE: 1/8" = 1'-0"



Revisions	DD MMM YYYY
1	2023-06-08
2	2023-05-08
3	2021-11-09
4	2021-10-21
5	2021-08-19
6	2021-08-19
7	2021-08-30
8	2021-08-30
9	2021-08-30
10	2021-08-30
11	2021-08-30
12	2021-08-30
13	2021-08-30
14	2021-08-30
15	2021-08-30
16	2021-08-30
17	2021-08-30
18	2021-08-30
19	2021-08-30
20	2021-08-30
21	2021-08-30
22	2023-05-08

Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project
Floor Plan
Level 10

Drawing

Scale As indicated

Project 217033

A209
Sheet

LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPS ARE AS PER ID (ALL DROP LOCATIONS DETAILS AND CLEAR HEIGHTS)

NOTE:

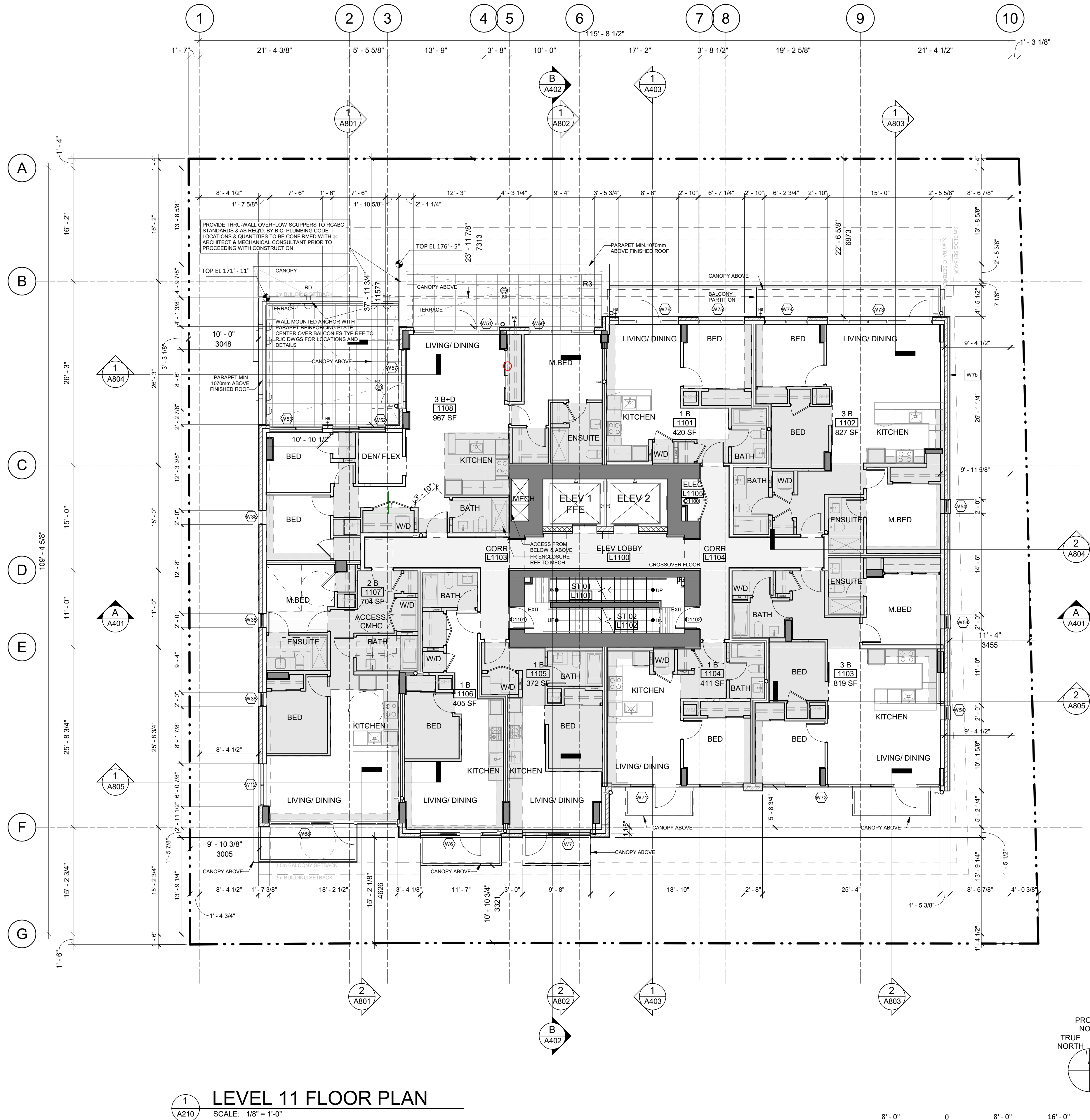
L 10 UNITS	
1 B	4
2 B	1
3 B	2
3 B+D	1
Grand total: 8	

ACCESSIBLE
SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (CMHC ACCESSIBILITY CRITERIA) - CMHC MINIMUM ACCESSIBILITY
Saanch Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004)

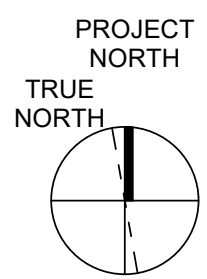
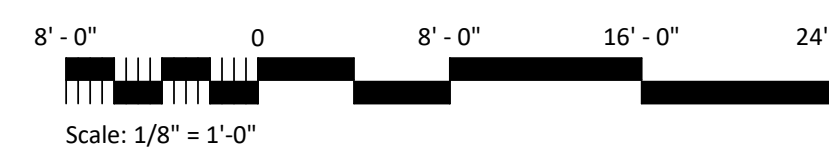
ADAPTABLE
CMHC ADAPTABILITY REQUIREMENTS

UNIVERSAL
CMHC UNIVERSAL DESIGN

- GENERAL NOTES:
- REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
 - REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
 - GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
 - LEVEL ALL ENTRIES WHERE NECESSARY.
 - SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
 - PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
 - PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
 - CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
 - CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
 - REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
 - WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
 - PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
 - FOR WSPH ENCLOSURE IT IS RECOMMENDED TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES.



1 LEVEL 11 FLOOR PLAN
SCALE: 1/8" = 1'-0"



Revisions	DD MMM YYYY	
13	2023-06-08	Delegated DP
22	2023-05-08	Issued for Owner's Review - Not for Construction
21	2021-11-09	Final Tender Addendum #1
20	2021-10-21	DDP/IDP/ADP
19	2021-08-19	DDP/IDP/ADP
18	2021-08-19	SP Response
17	2021-08-30	SP Response
16	2021-08-03	Addendum #2
15	2021-05-07	Addendum #1
14	2021-05-26	RFI
13	2021-03-17	RFI
12	2021-03-24	Delegated DP
11	2020-12-17	Delegated DP
10	2020-10-01	Delegated DP
9	2020-08-17	Delegated DP
8	2020-07-02	Delegated DP
7	2019-07-02	Recording Revision
6	2019-05-24	Recording Revision
5	2019-01-09	Recording Revision
4	2018-10-24	Recording Revision
3	2018-08-31	Recording Revision
2	2018-04-19	Recording Revision
1	2017-11-08	Recording Application

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project
Floor Plan
Level 11

Drawing

Scale As indicated

Project 217033

A210
Sheet

23	2023-06-08	Delegated DP
22	2023-05-28	Issued for Owner's Review - Not for Construction
21	2021-11-09	Final Tender Addendum #1
20	2021-10-21	DDP/PH/HP
19	2021-08-19	DDP/PH/HP
18	2021-08-19	SP Response
17	2021-06-30	SP Response
16	2021-06-11	Interim Addendum #3
15	2021-05-26	RFI
14	2021-03-17	RFIP
13	2020-03-04	Delegated DP
12	2020-12-17	Delegated DP
11	2020-10-07	Delegated DP
10	2020-09-17	Delegated DP
9	2020-07-02	Delegated DP
8	2019-07-29	Recurring Revision
7	2019-07-05	Recurring Revision
6	2019-05-24	Recurring Revision
5	2019-01-04	Recurring Revision
4	2018-10-24	Recurring Revision
3	2018-08-31	Recurring Revision
2	2018-04-19	Recurring Revision
1	2017-11-08	Recurring Application

Revisions	DD MMM YYYY
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Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

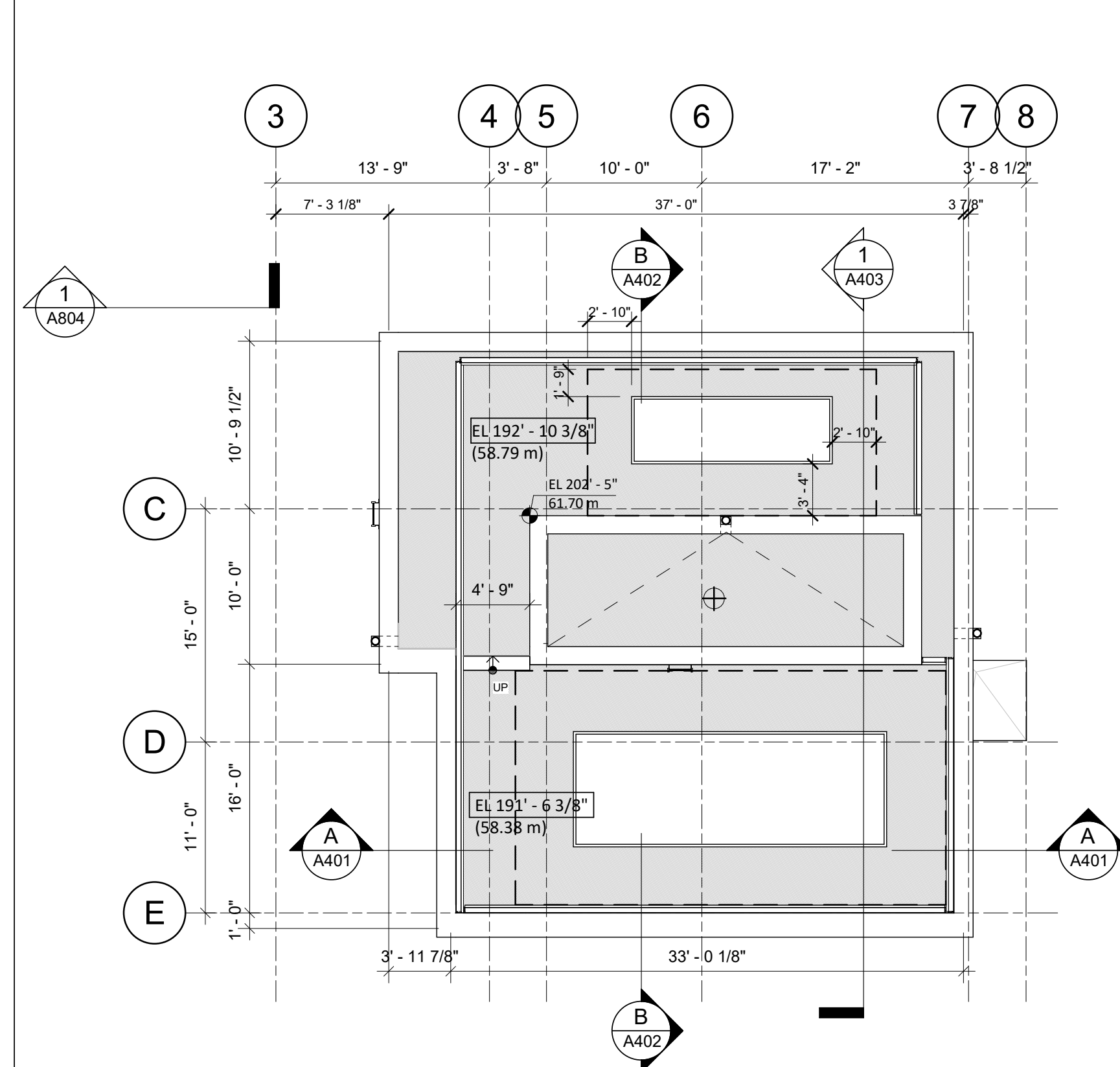
Roof Plan

Drawing

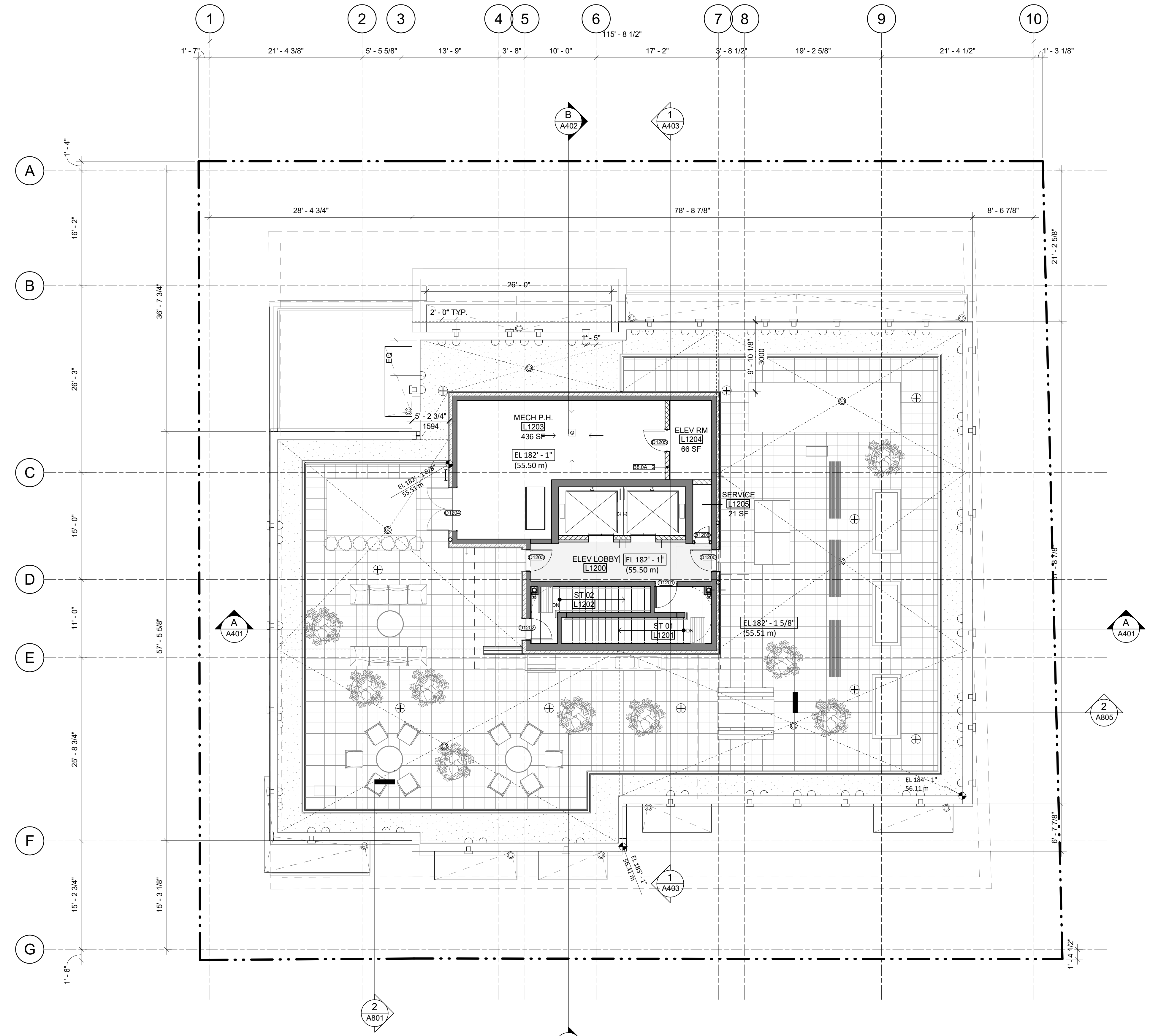
Scale 1/8" = 1'-0"

Project 217033

A211
Sheet

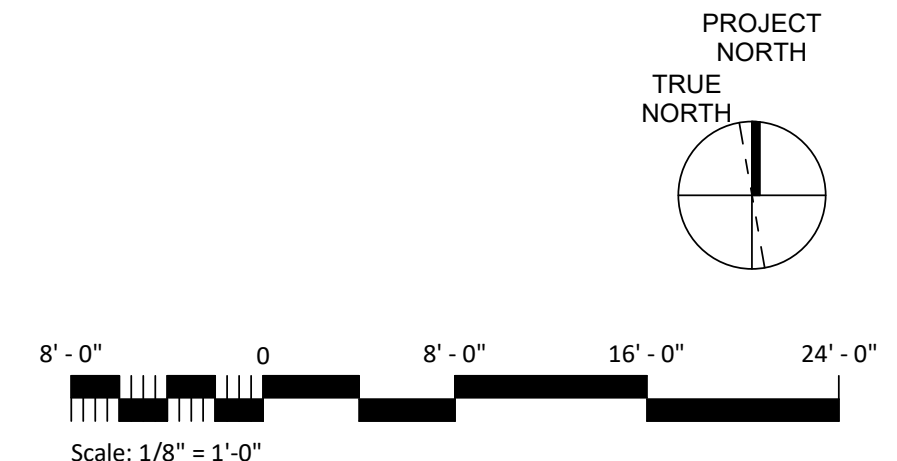


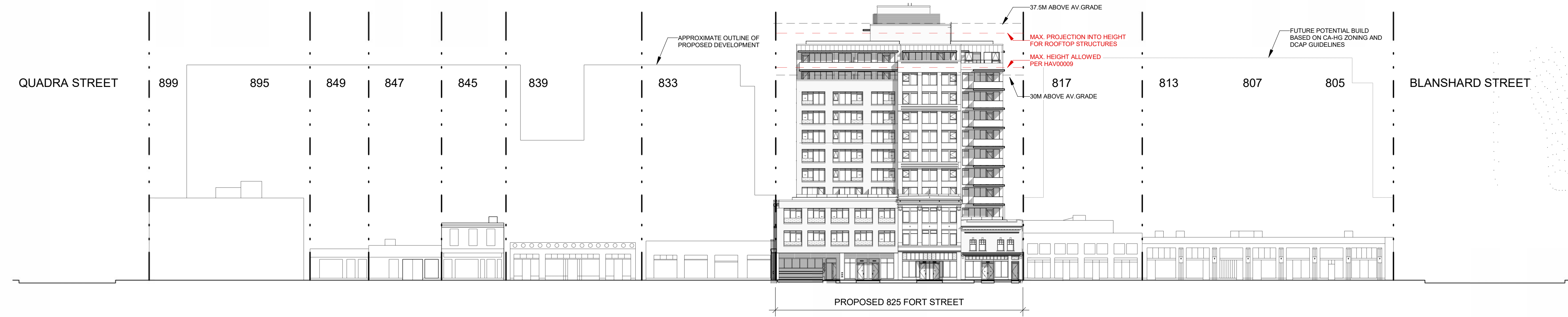
2 ELEV. ROOF PLAN
SCALE: 1/8" = 1'-0"



1 MAIN ROOF PLAN
SCALE: 1/8" = 1'-0"

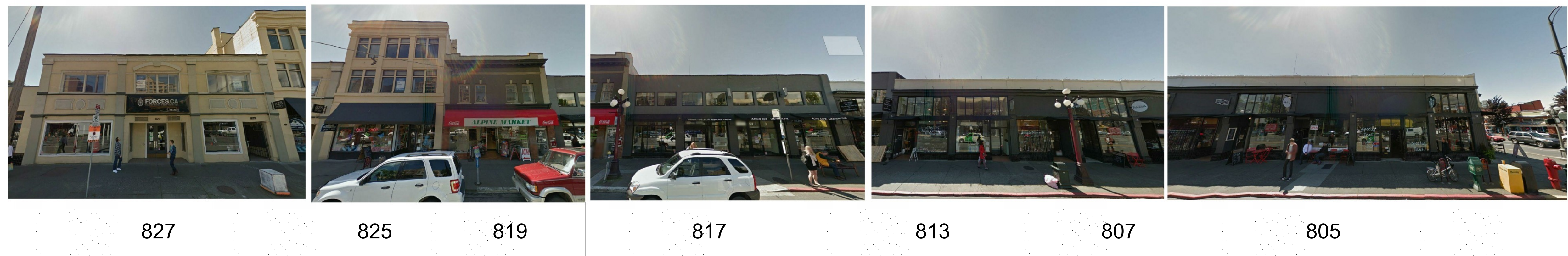
- GENERAL NOTES:
- REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
 - REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
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 - SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
 - PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
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 - PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
 - FOR WSH/ ENCLOSURE IT IS RECOMMENDED TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES.





1 NORTH ELEVATION - FORT ST 800 BLOCK
SCALE: 1/32" = 1'-0"

**FORT STREET IMAGES :
EXISTING STREETScape**



EXISTING DEVELOPMENTS AT 819 - 827 FORT STREET

15	2023-06-08	Delegated D/P
14	2021-11-09	Post-Tender Addendum #1
13	2021-10-21	DDP/CDP/ADP
12	2021-08-19	DDP/CDP/ADP
11	2021-03-24	Delegated D/P
10	2020-12-17	Delegated D/P
9	2020-10-07	Delegated D/P
8	2020-08-17	Delegated D/P
7	2019-07-29	Revising Revision
6	2019-05-24	Revising Revision
5	2019-01-09	Revising Revision
4	2018-10-24	Revising Revision
3	2018-08-31	Revising Revision
2	2018-04-19	Revising Revision
1	2017-11-08	Revising Application

Revisions DD MMM YYYY

Seal
**825 Fort
Street Victoria**

825 Fort Street
Victoria, BC
Project
**Streetscape
Elevation**

Drawing
Scale 1/32" = 1'-0"
Project 217033

A301
Sheet

EXTERIOR FINISHES LEGEND	
BA	BALCONY/ROOF CLEAR GLASS (OPAQUE AS NOTED)
CA	CONCRETE CANOPY
CB	CONCRETE BLOCK
MF	PRE-FINISHED METAL FLASHING
SQ	OVERHEAD PARKING GATE
ST-E	EIFS STUCCO
B1	BRICK VENEER WHITE - RUNNING BOND
C1	CONCRETE
C2	PRECAST CONCRETE SILLS
G1	GLAZING
H1	EXISTING HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	ALUMINUM PRIVACY SCREEN W/ TEMP. DIF. WHITE GLASS
M2	METAL LOUVER CHARCOAL
M3	HIGH DENSITY ROUND HOLE PERFORATED METAL PANEL
M4	MULLIONS CHARCOAL
M5	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
M6	METAL SPANDREL PANEL
P1	METAL PANEL - SMOOTH FINISH
P2	METAL PANEL - STRIPED FINISH

HERITAGE NOTES:

ALL HERITAGE OPENINGS - DIMS TO BE VERIFIED ON SITE
STOREFRONT RESTORATION BY OTHERS - REFER TO HERITAGE
CONSERVATION PLANS PREPARED BY HERITAGE CONSULTANT

TYP. STOREFRONTS TO BE RESTORED IN WOOD W/ ORIGINAL
TRANSOMS. TBC ON SITE

COLOUR SCHEME AS PER HERITAGE CONSERVATION PLAN

HERITAGE FACADES RESTORATION BY OTHERS - REF TO
HERITAGE CONSERVATION PLANS PREPARED BY HERITAGE
CONSULTANT

HERITAGE CONSERVATION PLANS, PREPARED BY DONALD
LUXTON & ASSOCIATES INC.
- B.C. HARDWARE COMPANY BUILDING - 825 FORT STREET
CONSERVATION PLAN
DECEMBER, 2017
- TURKISH BATH HOUSE - 819-823 FORT STREET
CONSERVATION PLAN
MAY 2021

CONTRACTOR TO COORDINATE CURRENT ARCHITECTURAL
DETAILS WITH EXISTING CONDITIONS DURING CONSTRUCTION,
AND INFORM ARCHITECT OF ANY AND ALL DISCREPANCIES
BETWEEN THE TENDER DOCUMENTS AND ACTUAL SITE
CONDITIONS AS THEY DEVELOP - DO NOT PROCEED WITH THE
PORTION OF WORK AFFECTED BY SUCH DISCREPANCIES UNTIL
DIRECTED IN WRITING BY THE ARCHITECT

HERITAGE CONSULTANT NOTE:
ALL SUBMITTALS AND SHOP DRAWINGS ASSOCIATED WITH
RESTORATION WORK TO BE REVIEWED BY HERITAGE
CONSULTANT PRIOR TO COMMENCEMENT OF WORK

NO.	DATE	DESCRIPTION
23	2023-09-20	DPV Response
22	2023-09-12	DPV Response
21	2023-09-08	DPV
20	2023-09-30	IFC Below Grade
19	2023-11-09	Final Tender Addendum #1
18	2023-10-21	DDP/CD/HP
17	2021-08-19	DDP/CD/HP
16	2021-08-19	SP Response
15	2021-05-30	SP Response
14	2021-05-28	RFI
13	2021-03-17	Issue
12	2021-03-04	Delegated DFP
11	2021-03-04	SP
10	2020-12-17	Delegated DFP
9	2020-10-07	Delegated DFP
8	2020-07-02	Delegated DFP
7	2020-07-02	Delegated DFP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-04	Revising Revision
1	2018-08-31	Revising Revision

Revisions	DD MMM YYYY

Seal
825 Fort Street Victoria

825 Fort Street Victoria, BC

Project
North Building Elevation

Drawing

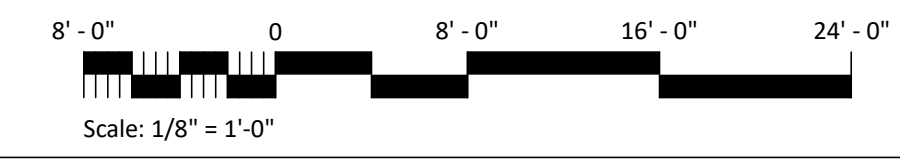
Scale As indicated

Project 217033

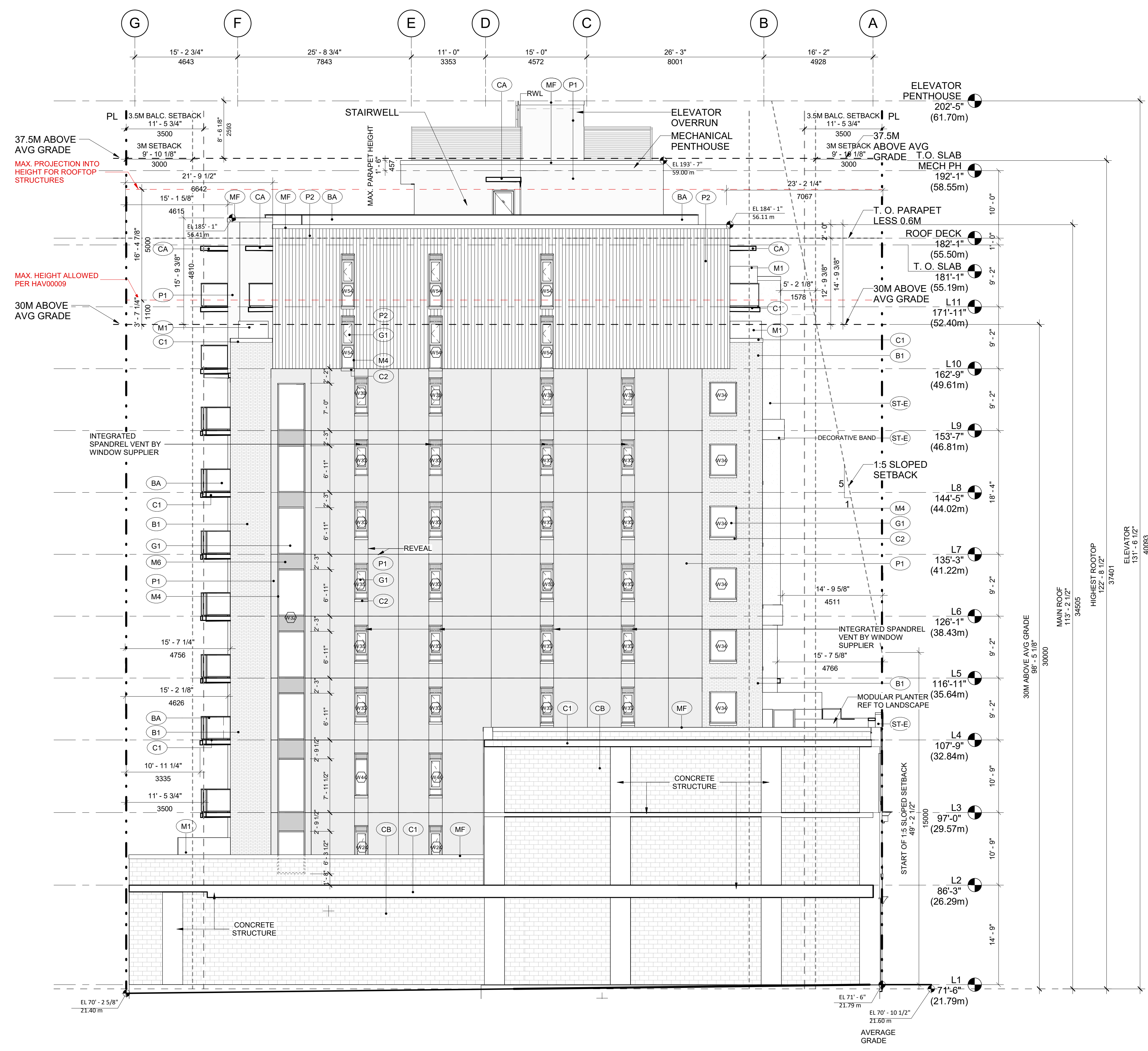
A301
Sheet



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EXTERIOR FINISHES LEGEND	
BA	BALCONY/ROOF CLEAR GLASS (OPAQUE AS NOTED)
CA	CONCRETE CANOPY
CB	CONCRETE BLOCK
MF	PRE-FINISHED METAL FLASHING
SQ	OVERHEAD PARKING GATE
ST-E	EIFS STUCCO
B1	BRICK VENEER WHITE- RUNNING BOND
C1	CONCRETE
C2	PRECAST CONCRETE SILLS
G1	GLAZING
H1	EXISTING HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	ALUMINUM PRIVACY SCREEN W/ TEMP. DIF. WHITE GLASS
M2	METAL LOUVER CHARCOAL
M3	HIGH DENSITY ROUND HOLE PERFORATED METAL PANEL
M4	MULLIONS CHARCOAL
M5	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
M6	METAL SPANDREL PANEL
P1	METAL PANEL - SMOOTH FINISH
P2	METAL PANEL - STRIPED FINISH



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

Rev	Date	Description
1	2023-06-08	Delegated DP
2	2023-05-08	Issued for Owner's Review - Not for Construction
3	2023-05-08	Final Tender Addendum #1
4	2021-11-09	DP/PA/HP
5	2021-10-21	DP/PA/HP
6	2021-08-19	DP/PA/HP
7	2021-08-19	DP Response
8	2021-08-19	DP Response
9	2021-08-19	DP Response
10	2021-08-19	DP Response
11	2021-08-19	DP Response
12	2021-08-19	DP Response
13	2021-08-19	DP Response
14	2021-08-19	DP Response
15	2021-08-19	DP Response
16	2021-08-19	DP Response
17	2021-08-19	DP Response
18	2021-08-19	DP Response
19	2021-08-19	DP Response
20	2021-08-19	DP Response
21	2021-08-19	DP Response
22	2021-08-19	DP Response
23	2021-08-19	DP Response
24	2021-08-19	DP Response
25	2021-08-19	DP Response
26	2021-08-19	DP Response
27	2021-08-19	DP Response
28	2021-08-19	DP Response
29	2021-08-19	DP Response
30	2021-08-19	DP Response
31	2021-08-19	DP Response
32	2021-08-19	DP Response
33	2021-08-19	DP Response
34	2021-08-19	DP Response
35	2021-08-19	DP Response
36	2021-08-19	DP Response
37	2021-08-19	DP Response
38	2021-08-19	DP Response
39	2021-08-19	DP Response
40	2021-08-19	DP Response
41	2021-08-19	DP Response
42	2021-08-19	DP Response
43	2021-08-19	DP Response
44	2021-08-19	DP Response
45	2021-08-19	DP Response
46	2021-08-19	DP Response
47	2021-08-19	DP Response
48	2021-08-19	DP Response
49	2021-08-19	DP Response
50	2021-08-19	DP Response

Revisions	DD MMM YYYY

Seal
825 Fort
Street Victoria

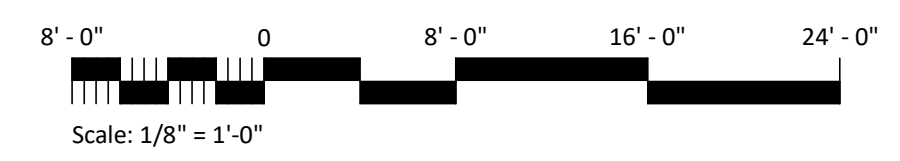
825 Fort Street
Victoria, BC

Project
East Building
Elevation

Drawing

Scale As indicated

Project 217033



A303
Sheet

EXTERIOR FINISHES LEGEND	
BA	BALCONY/ROOF CLEAR GLASS (OPAQUE AS NOTED)
CA	CONCRETE CANOPY
CB	CONCRETE BLOCK
MF	PRE-FINISHED METAL FLASHING
SQ	OVERHEAD PARKING GATE
ST-E	EIFS STUCCO
B1	BRICK VENEER WHITE- RUNNING BOND
C1	CONCRETE
C2	PRECAST CONCRETE SILLS
G1	GLAZING
H1	EXISTING HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	ALUMINUM PRIVACY SCREEN W/ TEMP. DIF. WHITE GLASS
M2	METAL LOUVER CHARCOAL
M3	HIGH DENSITY ROUND HOLE PERFORATED METAL PANEL
M4	MULLIONS CHARCOAL
M5	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
M6	METAL SPANDREL PANEL
P1	METAL PANEL - SMOOTH FINISH
P2	METAL PANEL - STRIPED FINISH

Rev	Date	Description
1	2017-11-08	Revisions Application
2	2018-04-19	Revisions Revision
3	2018-04-24	Revisions Revision
4	2018-08-21	Revisions Revision
5	2018-10-24	Revisions Revision
6	2019-01-29	Revisions Revision
7	2019-05-24	Revisions Revision
8	2019-07-29	Revisions Revision
9	2019-07-29	Revisions Revision
10	2020-07-02	Revisions Revision
11	2020-08-17	Revisions Revision
12	2020-10-07	Revisions Revision
13	2020-12-17	Revisions Revision
14	2021-03-24	Revisions Revision
15	2021-03-17	Revisions Revision
16	2021-05-26	Revisions Revision
17	2021-06-30	Revisions Revision
18	2021-08-19	Revisions Revision
19	2021-08-19	Revisions Revision
20	2021-10-21	Revisions Revision
21	2021-11-09	Revisions Revision
22	2023-05-08	Revisions Revision
23	2023-06-08	Revisions Revision

Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

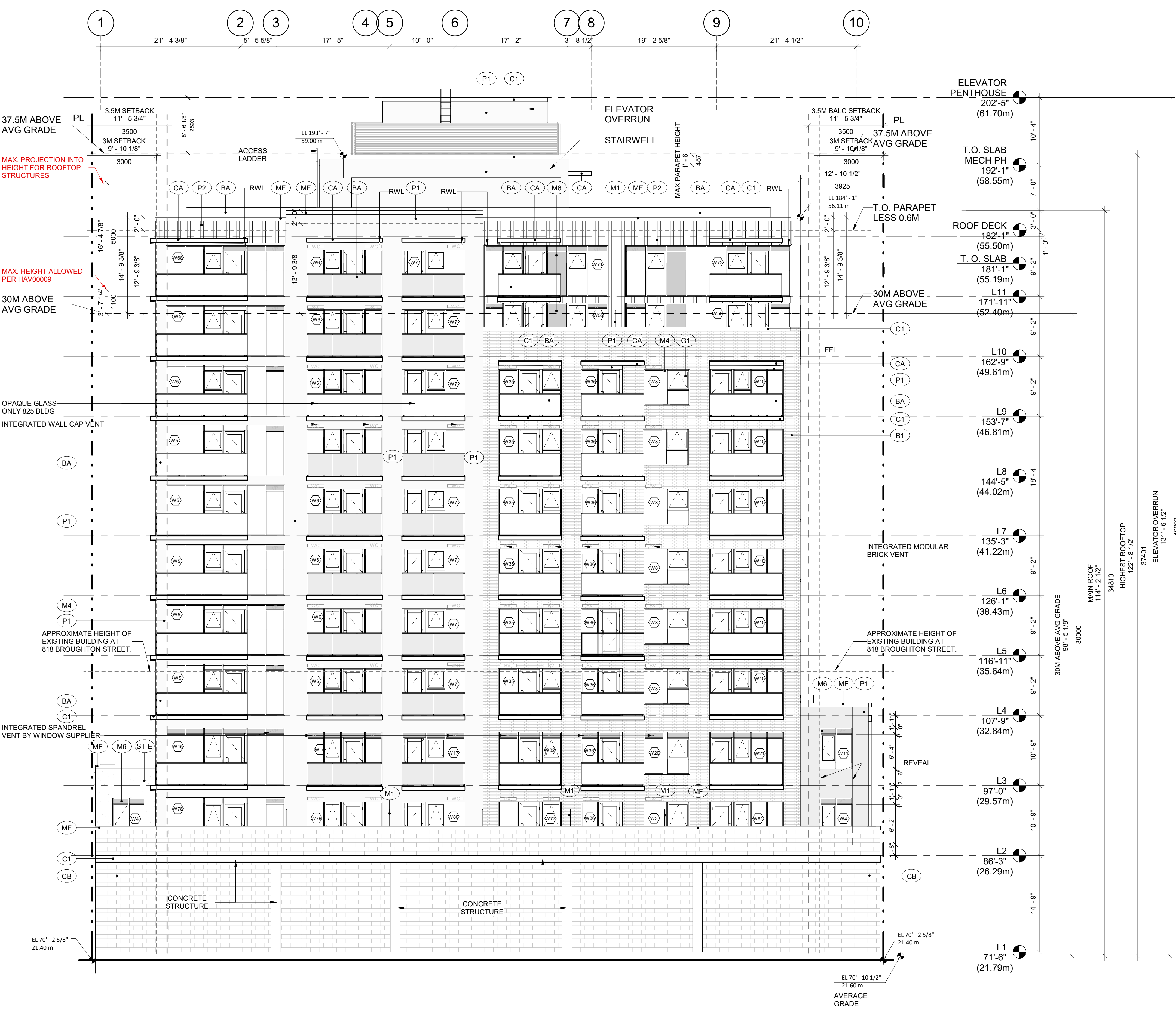
Project
South Building
Elevation

Drawing

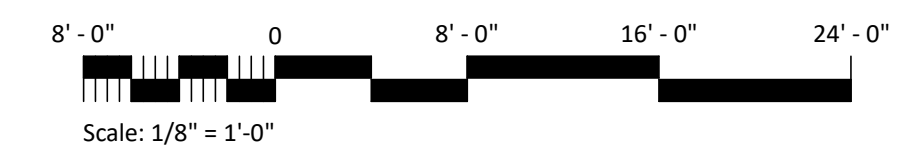
Scale As indicated

Project 217033

A304
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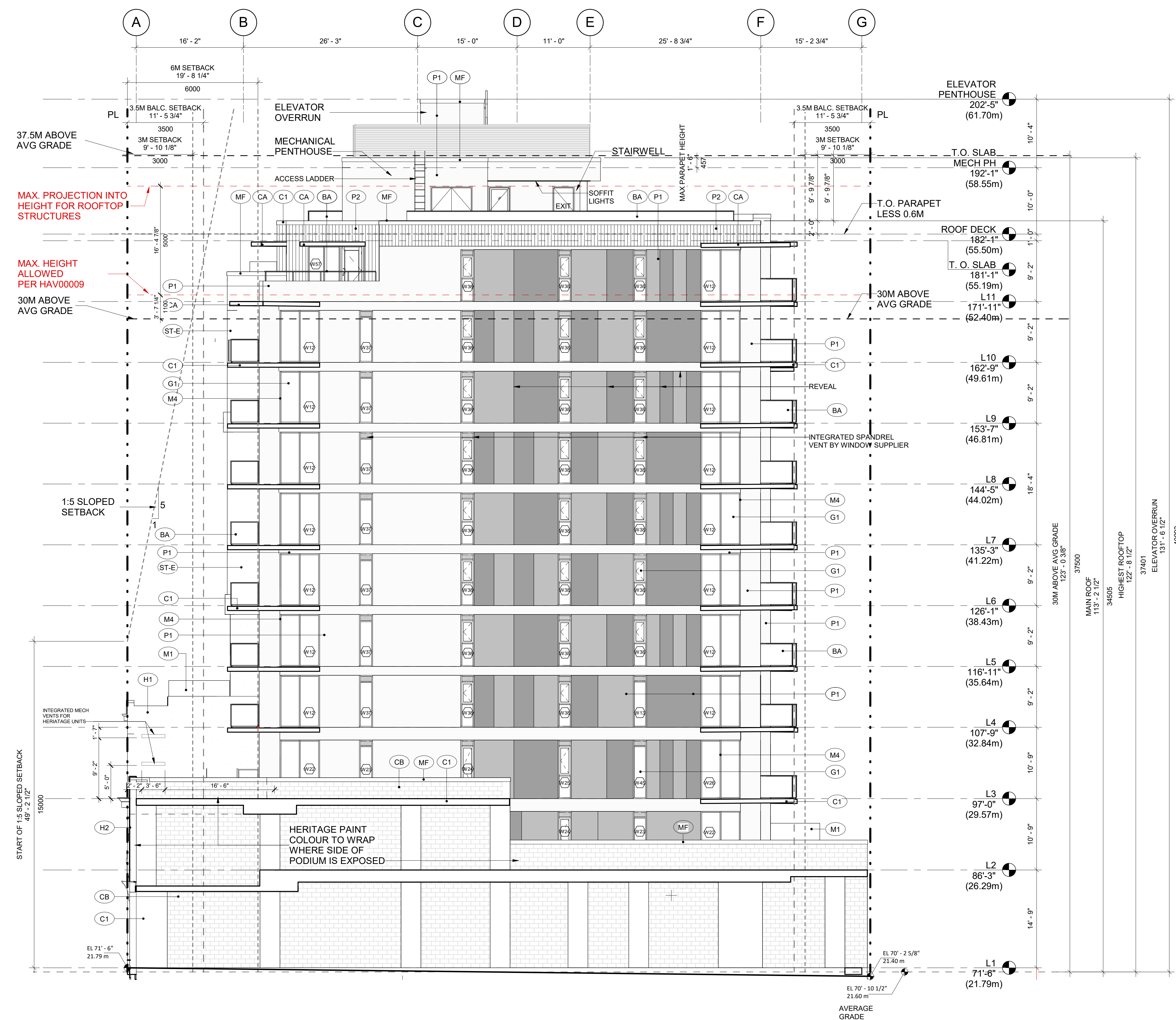


1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EXTERIOR FINISHES LEGEND	
BA	BALCONY/ROOF CLEAR GLASS (OPAQUE AS NOTED)
CA	CONCRETE CANOPY
CB	CONCRETE BLOCK
MF	PRE-FINISHED METAL FLASHING
SQ	OVERHEAD PARKING GATE
ST-E	EIFS STUCCO
B1	BRICK VENEER WHITE- RUNNING BOND
C1	CONCRETE
C2	PRECAST CONCRETE SILLS
G1	GLAZING
H1	EXISTING HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	ALUMINUM PRIVACY SCREEN W/ TEMP. DIF. WHITE GLASS
M2	METAL LOUVER CHARCOAL
M3	HIGH DENSITY ROUND HOLE PERFORATED METAL PANEL
M4	MULLIONS CHARCOAL
M5	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
M6	METAL SPANDREL PANEL
P1	METAL PANEL - SMOOTH FINISH
P2	METAL PANEL - STRIPED FINISH

NOTE: OPERABLE WINDOWS IN ALL BEDROOMS WHERE POSSIBLE DUE TO REQUIRED CLEARANCE FROM GENSET EXHAUST - TBC WITH MECHANICAL DWGS.



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Rev	Date	Description
24	2023-06-08	Delegated D/P
23	2023-05-08	Issued for Owner's Review - Not for Construction
22	2021-11-20	Prop-Tender Addendum #1
21	2021-10-21	DDP/PH/APP
20	2021-08-19	DDP/PH/APP
19	2021-08-19	SP Response
18	2021-05-20	SP Response
17	2021-05-20	Addendum #2
16	2021-05-28	RFI
15	2021-03-17	FBP
14	2021-03-24	Delegated D/P
13	2020-12-17	Delegated D/P
12	2020-10-07	Delegated D/P
11	2020-08-17	Delegated D/P
10	2020-07-02	Delegated D/P
9	2019-07-29	Recurring Revision
8	2019-07-29	Recurring Revision
7	2019-06-24	Recurring Revision
6	2019-01-29	Recurring Revision
5	2019-10-24	Recurring Revision
4	2019-08-21	Recurring Revision
3	2018-04-24	Recurring Revision
2	2018-04-19	Recurring Revision
1	2017-11-08	Recurring Application

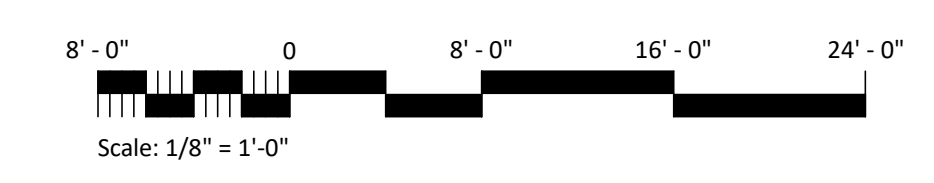
Revisions DD MMM YYYY

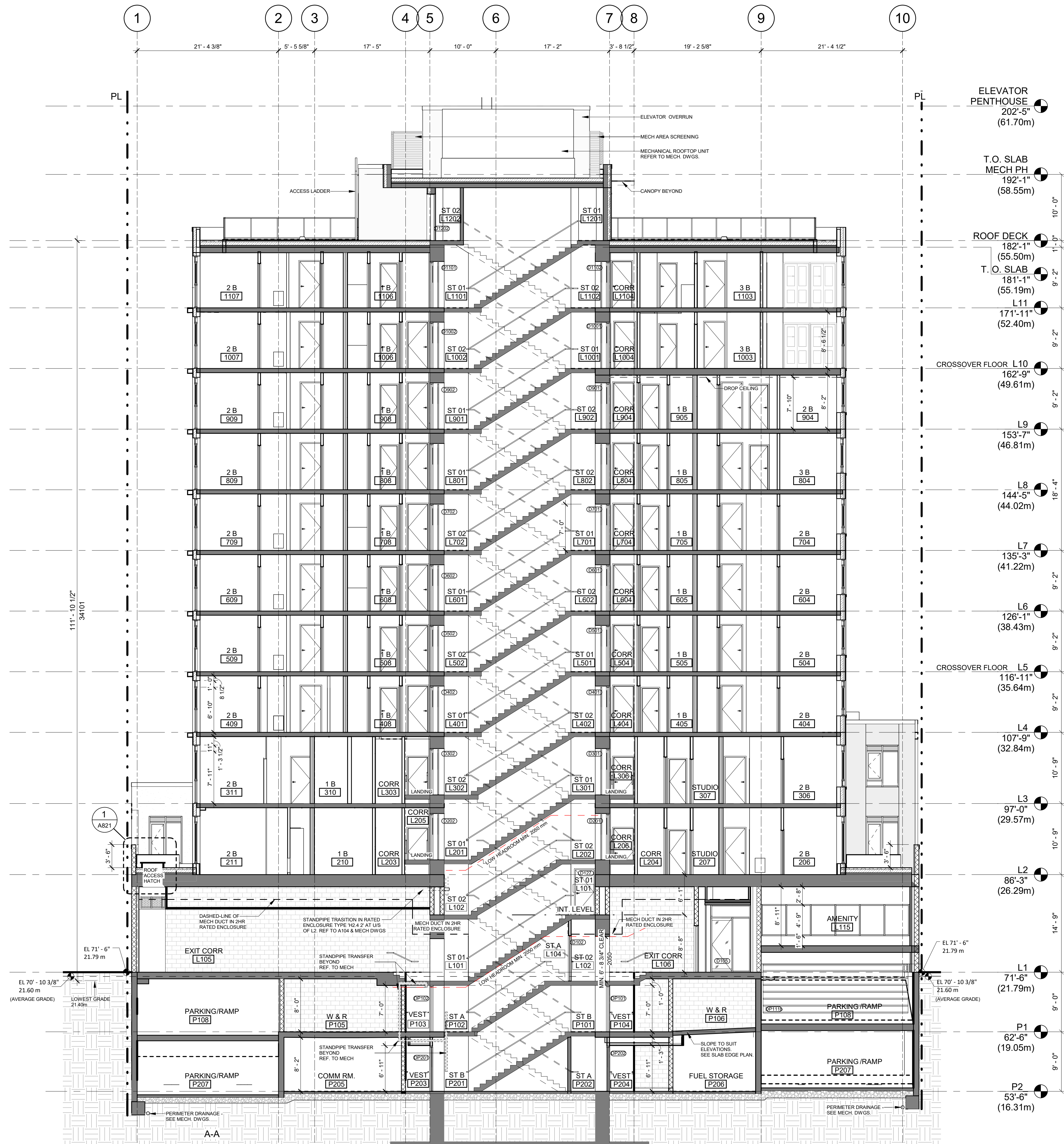
Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC
Project
West Building
Elevation

Drawing
Scale As indicated
Project 217033

A305
Sheet





- ELEVATOR PENTHOUSE 202'-5" (61.70m)
- T.O. SLAB MECH PH 192'-1" (58.55m)
- ROOF DECK 182'-1" (55.50m)
- T.O. SLAB 181'-1" (55.19m)
- L11 171'-11" (52.40m)
- CROSSOVER FLOOR L10 162'-9" (49.61m)
- L9 153'-7" (46.81m)
- L8 144'-5" (44.02m)
- L7 135'-3" (41.22m)
- L6 126'-1" (38.43m)
- CROSSOVER FLOOR L5 116'-11" (35.64m)
- L4 107'-9" (32.84m)
- L3 97'-0" (29.57m)
- L2 86'-3" (26.29m)
- L1 71'-6" (21.79m)
- P1 62'-6" (19.05m)
- P2 53'-6" (16.31m)

A Building Section A-A
A201 SCALE: 1/8" = 1'-0"

22	2023-06-08	Delegated DP
21	2023-05-08	Issued for Owner's Review - Not for Construction
20	2022-09-30	IFC Below Grade
19	2021-11-03	Final Tender Addendum #1
18	2021-05-21	DDP/PH/HP
17	2021-08-19	DDP/PH/HP
16	2021-08-19	BP Response
15	2021-05-26	BP Response
14	2021-05-26	IFT
13	2021-03-17	IFB
12	2021-03-24	Delegated DP
11	2020-12-17	Delegated DP
10	2020-10-07	Delegated DP
9	2020-08-17	Delegated DP
8	2020-07-02	Delegated DP
7	2019-07-09	Recurring Revision
6	2019-05-24	Recurring Revision
5	2019-01-09	Recurring Revision
4	2018-10-24	Recurring Revision
3	2018-08-31	Recurring Revision
2	2018-04-19	Recurring Revision
1	2017-11-08	Recurring Application

Revisions	DD MMM YYYY
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Seal
825 Fort Street Victoria

825 Fort Street
Victoria, BC

Project
Building Section

Drawing

Scale 1/8" = 1'-0"

Project 217033

A401
Sheet

23	2023-08-08	Delegated DP
22	2023-05-08	Issued for Owner's Review - Not for Construction
21	2022-09-30	IFC Below Grade
20	2021-11-09	Post-Tender Addendum #1
19	2021-10-01	LOPC/HAZOP
18	2021-08-19	LOPC/HAZOP
17	2021-08-19	RFI Response
16	2021-08-09	RFI Response
15	2021-05-26	RFI
14	2021-03-17	RFIP
13	2021-03-08	Delegated DP
12	2020-12-17	Delegated DP
11	2020-10-07	Delegated DP
10	2020-09-17	Delegated DP
9	2020-07-02	Delegated DP
8	2019-07-29	Revising Revision
7	2019-07-09	Revising Revision
6	2019-05-24	Revising Revision
5	2019-01-09	Revising Revision
4	2018-10-24	Revising Revision
3	2018-08-31	Revising Revision
2	2018-04-19	Revising Revision
1	2017-11-08	Revising Application

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

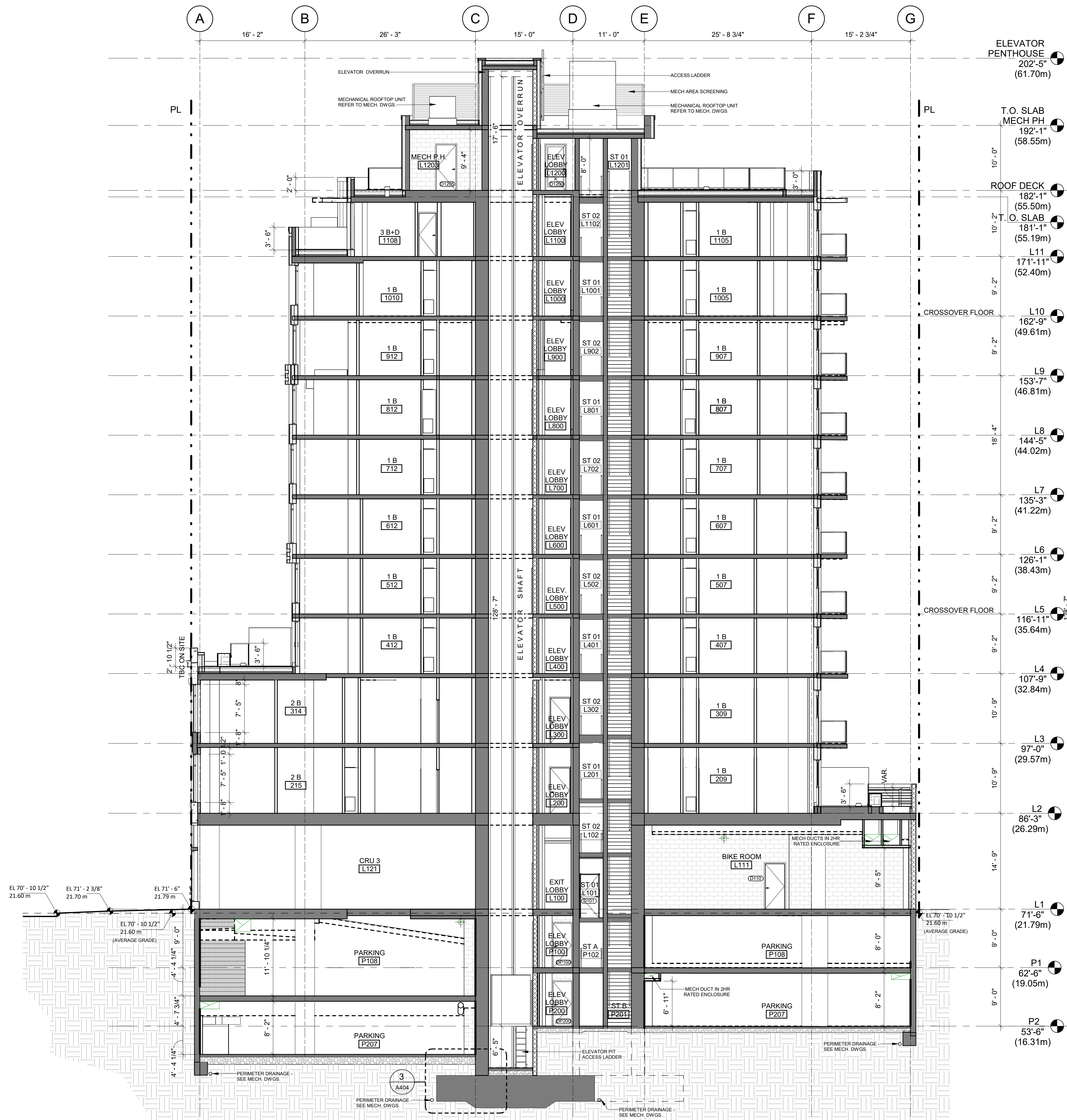
Building
Section

Drawing

Scale 1/8" = 1'-0"

Project 217033

A402
Sheet



B Building Section B-B
A201 SCALE: 1/8" = 1'-0"

ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

GENERAL

ALL WORK, INCLUDING: PLANNING, DESIGN, INSTALLATION AND MAINTENANCE SHALL BE EXECUTED TO THE CANADIAN LANDSCAPE STANDARD, INDUSTRY REQUIREMENTS, NATIONAL STANDARDS, CODES AND REGULATIONS RECOGNIZED AS ACCEPTABLE BY THE CNLA, THE CSLA, NATIONAL MASTER SPECIFICATION OR OTHER APPLICABLE TRADE ASSOCIATIONS.

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NO LANDSCAPE WORK SHALL BE CARRIED OUT IN AREAS OR OVER SURFACES THAT HAVE NOT BEEN PROPERLY PREPARED AND GRADED, AND THAT DUE TO CLIMATE WOULD BE AT RISK OF UNNECESSARY DISTURBANCE.

PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

IRRIGATION

THE IRRIGATION INDUSTRY ASSOCIATION HAS DEVELOPED THE STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. CNLA AND CSLA SUPPORT THESE STANDARDS. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR.

ALL PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM E.G. RAINFOURD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSEBIB LOCATION.

AN IRRIGATION SYSTEM MUST APPLY A CONSISTENT, UNIFORM, MEASURABLE AMOUNT OF WATER TO THE LANDSCAPE OVER A PERIOD OF TIME TO PROMOTE DEEP ROOT ZONE DEVELOPMENT.

GROWING MEDIUM

GROWING MEDIA SHALL BE SUBSTANTIALLY FREE OF PLANTS OR THEIR ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS AND THEIR REPRODUCTIVE PARTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, ICE, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEUS MATERIALS THAT DETRACT FROM THE DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

WHERE IMPORTED GROWING MEDIUM IS TO BE USED, THE CONTRACTOR SHALL TEST, OR HAVE THE SOIL SUPPLIER TEST, THE PROPOSED SOIL AND PROVIDE IT TO LANDSCAPE ARCHITECT 3 WEEKS PRIOR TO DELIVERY ON-SITE.

FAILURE TO TEST AND PROVIDE APPROPRIATE DOCUMENTATION OF TEST RESULTS MAY BE CONSIDERED GROUNDS FOR REJECTION OF A PROPOSED GROWING MEDIUM AND MAY RESULT IN THE REMOVAL OF REJECTED MATERIAL AT THE CONTRACTOR'S EXPENSE.

GROWING MEDIA SHALL MEET THE NUTRIENT LEVELS AS SET OUT IN SECTION 6.2.7, GROWING MEDIUM NUTRIENTS. GROWING MEDIA SHOULD BE FOR LEVEL 1 "WELL-GROOMED" AREAS - TABLE T-6.3.5.1, AND CONFORM TO TABLE T-6.3.5.2, PROPERTIES OF GROWING MEDIA FOR LEVEL 1 "WELL-GROOMED" AREAS.

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-6.3.5.5. MINIMUM DEPTHS OF GROWING MEDIA.

LAWNS/ SOD

CLASS 1 AREA LAWNS WITH LEVEL 1 MAINTENANCE, UNLESS OTHERWISE SPECIFIED APPROVAL OF SITE PREPARATION SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF PLACEMENT OF SOD. SOD TO BE NO. 1 PREMIUM OR NO. 2 STANDARD AND SUITED TO ITS REGIONAL REQUIREMENTS AND ITS INTENDED USE.

PLANTS & MULCH

THE REQUIREMENTS OF THE CANADIAN STANDARDS FOR NURSERY STOCK SHALL APPLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT PLANT MATERIALS DELIVERED TO THE SITE COMPLY WITH THE CONTRACT DOCUMENTS. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S PRIOR WRITTEN APPROVAL.

ROOTBALLS AND GROWING MEDIUM IN CONTAINERS SHALL BE FREE OF INVASIVE AND NOXIOUS PLANTS.

NURSERY GROWN PLANTS SHALL, AS A MINIMUM, COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION, CANADIAN STANDARDS FOR NURSERY STOCK, AND SECTION 12, CONTAINER GROWN PLANTS, WITH RESPECT TO SIZING, GRADING AND QUALITY.

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR SHALL VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANT MATERIAL SHALL BE IRRIGATED IMMEDIATELY AFTER PLANTING TO THE DEPTH OF THEIR ROOT SYSTEMS.

MULCHING MATERIALS SHALL BE SUBSTANTIALLY FREE OF INVASIVE AND NOXIOUS SEEDS AND REPRODUCTIVE PARTS, SOIL, STONES, SALTS OR OTHER HARMFUL CHEMICALS, OR OTHER EXTRANEUS MATTER THAT WOULD PROHIBIT SEED GERMINATION OR THE HEALTHY DEVELOPMENT OF PLANT MATERIAL.

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC DARK COMPOSTED BARK.

GREENROOFS

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-11.1. MINIMUM GROWING MEDIUM DEPTHS AFTER SETTLEMENT FOR ON-SLAB APPLICATIONS, INCLUDING ROOF DECKS AND INTERIOR BEDS

GROWING MEDIA SHOULD BE SPECIFIED BY A QUALIFIED SPECIALIST WITH EXPERIENCE IN FORMULATING MEDIA FOR LANDSCAPES OVER STRUCTURES. GROWING MEDIA FOR ROOF SLABS AND CONTAINED PLANTERS SHALL BE DESIGNED TO AVOID PLUGGING OR CAKING AT THE FILTER CLOTH, AND SHOULD THEREFORE BE LOW IN CONTENT OF FINES (SILTS AND CLAYS).

MAINTENANCE

SITE TO BE MAINTAINED TO LEVEL 1 "WELL GROOMED" AS SET OUT IN TABLE T-14.1. MAINTENANCE LEVELS - LEVEL 1 "WELL-GROOMED"

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS. AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD. CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

MUNICIPAL AND LOCAL AUTHORITIES' LEGISLATION AND REQUIREMENTS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL LEGISLATION AND REQUIREMENTS, WHICH MAY RESTRICT OR PROHIBIT CERTAIN ACTIVITIES SUCH AS APPLICATION OF PESTICIDES, HERBICIDES, AND INSECTICIDES.

*ALL REFERENCES REFER TO CSLA/ CNLA STANDARDS (CURRENT ED.)

general notes

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issue	date
REZONING/ DP	10.04.2018
REZONING/ DP	19.04.2018
REZONING/ DP RESUBMISSION	16.05.2019
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT	04.06.2021
BUILDING PERMIT	22.06.2021
BUILDING PERMIT	24.06.2021
BUILDING PERMIT RESUBMISSION	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BC HYDRO	17.05.2022
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

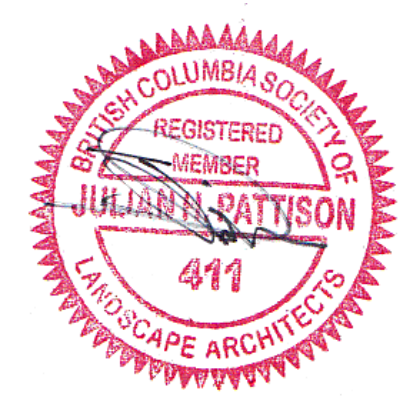
revision	date
A	19.04.2018
B	16.05.2019
C	13.11.2020
D	18.12.2020
E	04.03.2021
F	07.05.2021
G	04.06.2021
H	22.06.2021
I	24.06.2021
J	30.06.2021
K	19.08.2021
L	15.11.2021
M	17.05.2022
N	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
GROUND FLOOR
LANDSCAPE GENERAL ARRANGEMENT

seal



scale
AS SHOWN

drawn
JP

checked
JP

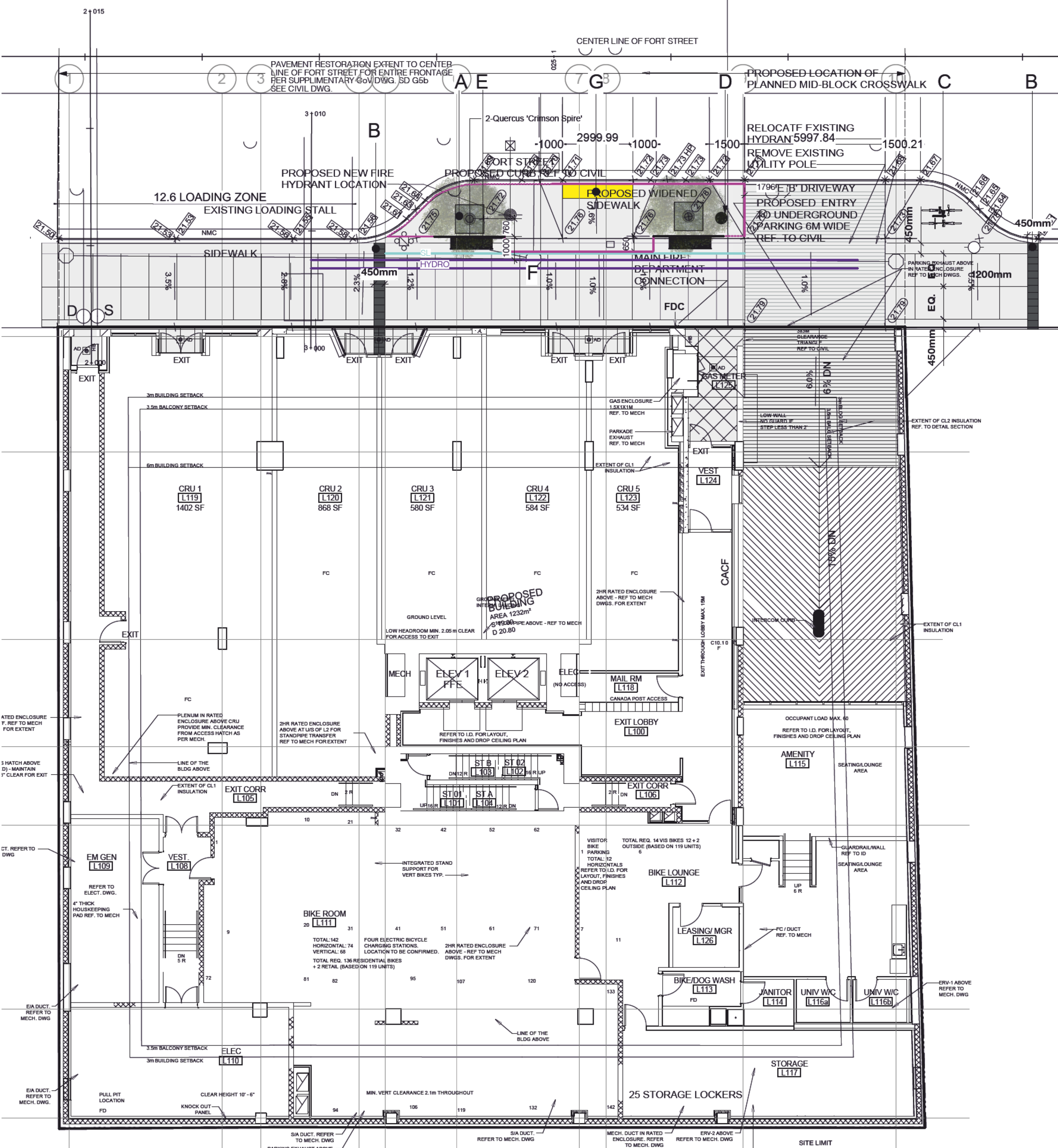
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2017.09.02 L1_L1E

number

L1_L1

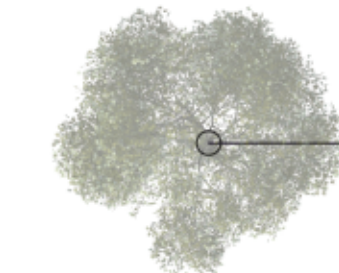
NB: TO BE READ IN CONJUNCTION WITH CIVIL DRAWING

- 1 L1-L6 A STREET TREE AND GRILLE AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019. STREET TREES IN BUMP OUT DUE TO UNDERGROUND UTILITY CONFLICTS. INSTALLATION OF MUNICIPAL TREES MUST INCLUDE SP48 TREE GRATES AS PER THE DEVELOPMENT SERVICING BYLAW NO. 12-042 AS WELL AS TREE GUARDS.
 - 2 L1-L6 B 450mm WIDE BASALT BAND AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019. BASALT FLAME TEXTURED 350X450X80MM
 - C #1 DOWNTOWN 'U' BIKE RACK AS PER PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019. (2 BIKES)
 - D TYPE A TRASH BIN AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019
 - E TYPE C #2 BENCHES AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019
 - F CONCRETE PAVING/ TROWEL LINES AND CONTROL JOINTS AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019
 - G TACTILE SURFACE WALKING INDICATOR. MANUFACTURER TYPE AND INSTALLATION DETAILS TO BE PROVIDED BY COV PRIOR TO CONSTRUCTION
- EXTENT OF ROOT BARRIER FOR BC HYDRO 3M LENGHT/ 600MM BELOW HYDRO BANK.
- EXTENT OF STRUCTURAL SOIL 12M3 PER TREE



1 L1_L1 LANDSCAPE - GROUND FLOOR GENERAL ARRANGEMENT
1:100 METRIC

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
QCS	2	Quercus 'Crimson Spire'	Columnar Oak	6-8cm Cal B&B	Straight Trunk/ Full Crown



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BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BC HYDRO	31.03.2022
BC HYDRO	17.05.2022
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	31.03.2022
B	17.05.2022

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
GROUND FLOOR
LANDSCAPE TYPICAL DETAILS

seal



scale
NTS

drawn
JP

checked
JP

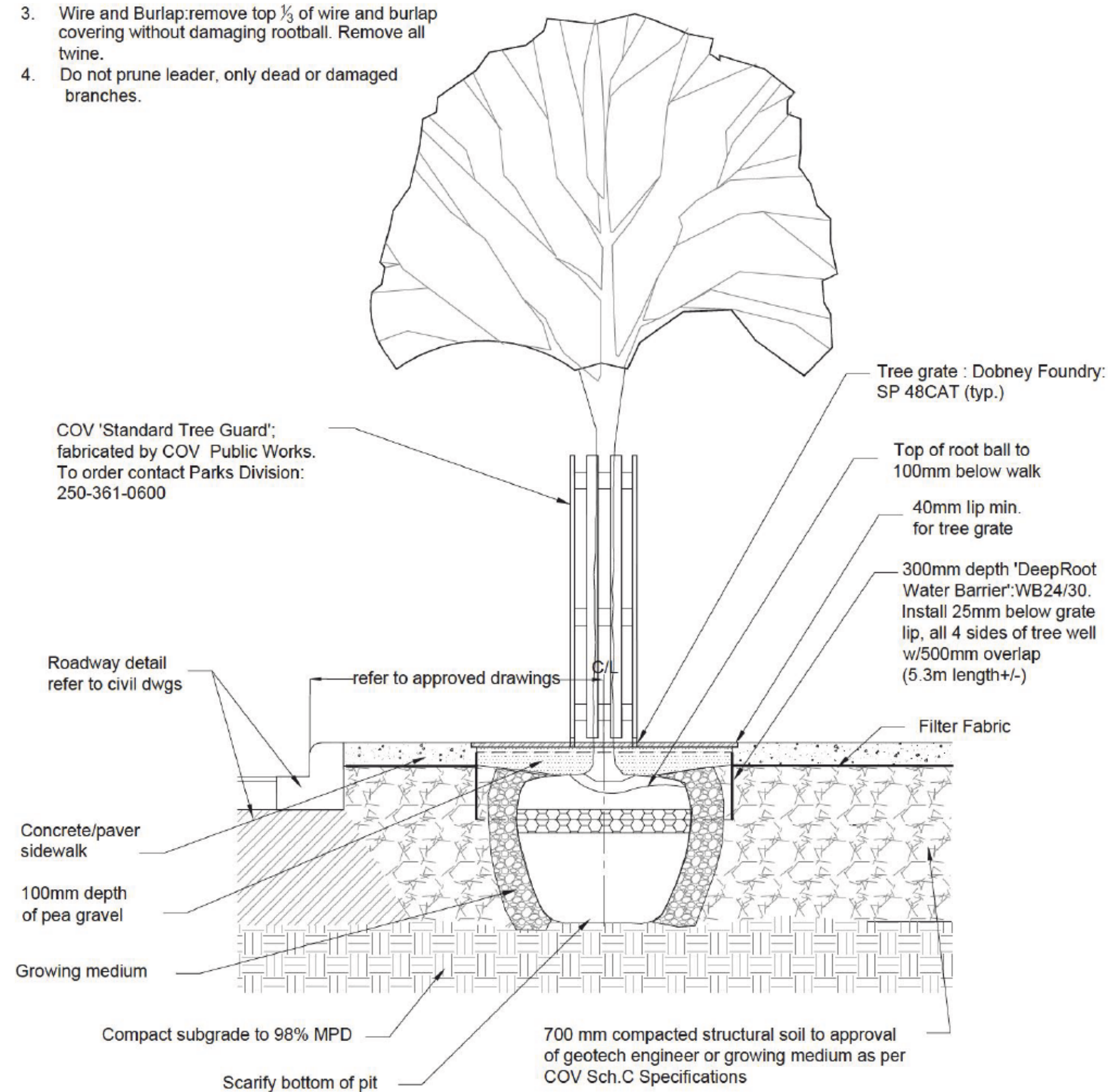
reference
2017.09_02 L1_L1D

number
L1_L6

Preparation notes:

1. Container grown: remove completely from container
2. Burlap and rope: remove top 1/3 of covering
3. Wire and Burlap: remove top 1/3 of wire and burlap covering without damaging rootball. Remove all twine.
4. Do not prune leader, only dead or damaged branches.

NOTE: ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA (COV) SCHEDULE C SPECIFICATIONS

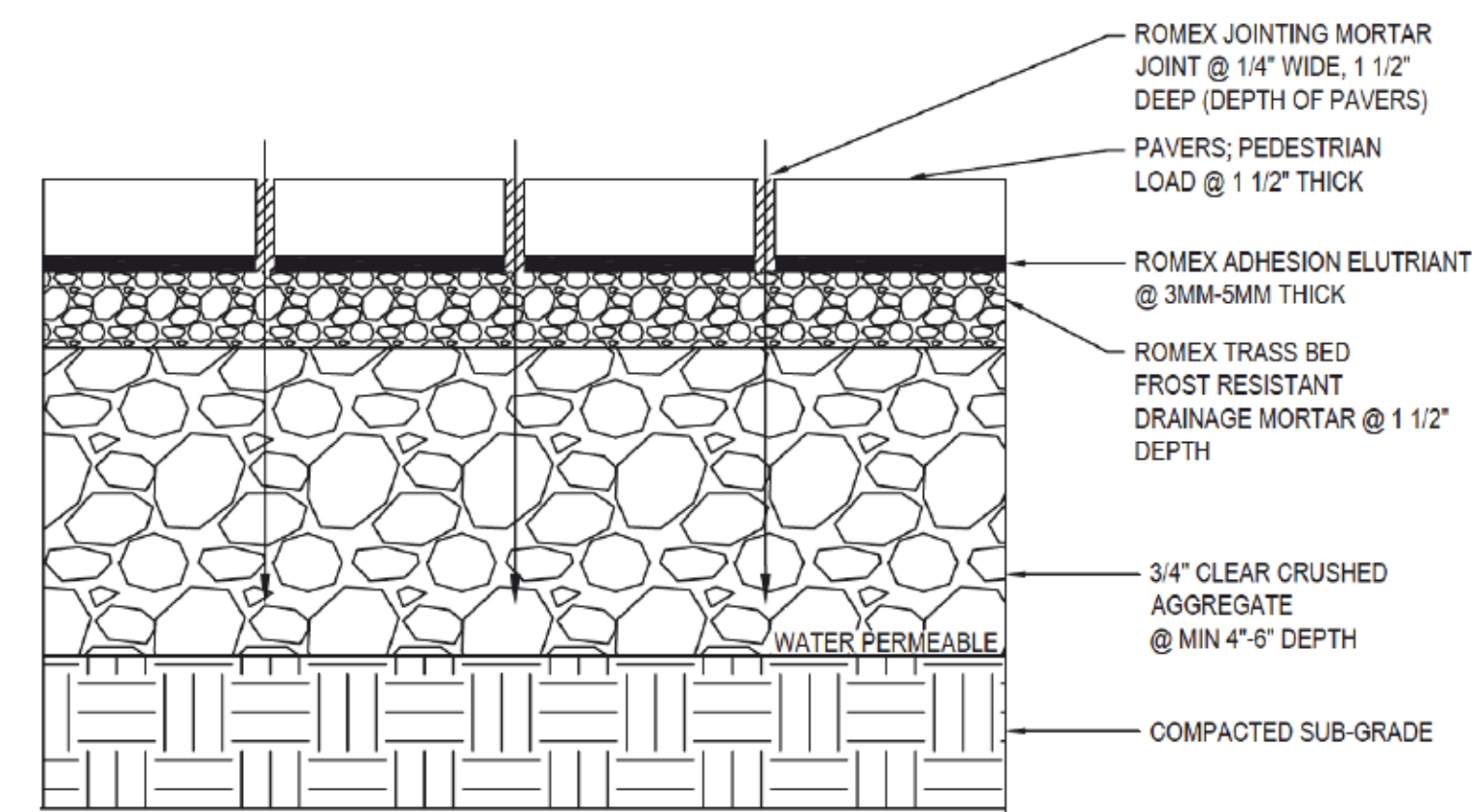


Parks Division File: v:\design\construct_design specs\const details\painting\SD_P5

TITLE:	SCALE: Not to Scale	DRAWING
Tree Planting in Sidewalk with Tree Guard	DATE: Feb.27, 2018	SD-P5
	DWN.:	
	APP'D.:	

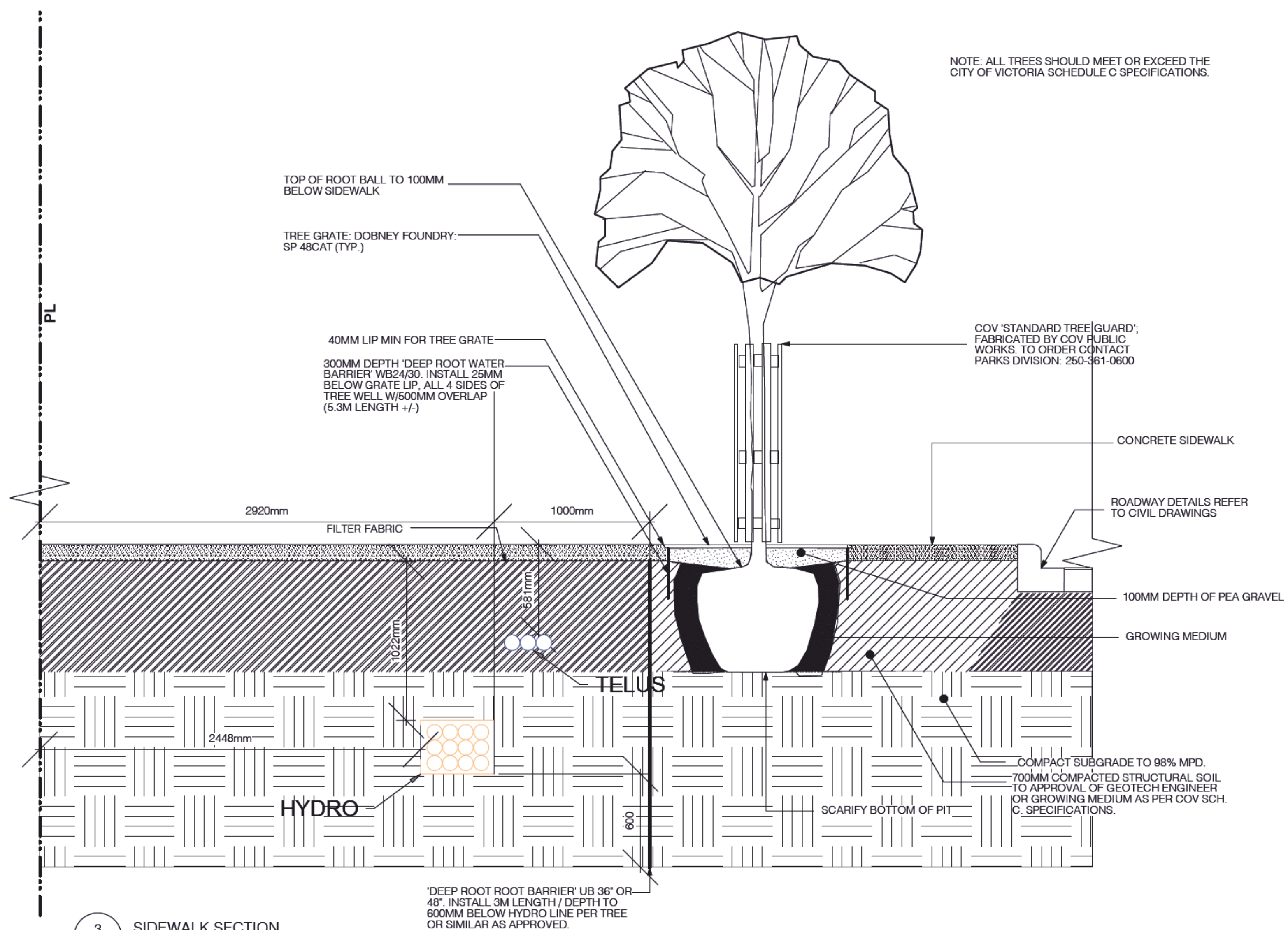
1
L1_L6
TREE PLANTING DETAIL
NTS.

NB: AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019



2
L1_L6
TYPICAL PAVING BUILD-UP
NTS

NB: AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019



3
L1_L6
SIDEWALK SECTION
Scale: 1:20

NOTE: ALL TREES SHOULD MEET OR EXCEED THE CITY OF VICTORIA SCHEDULE C SPECIFICATIONS.



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project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
SECOND FLOOR GENERAL ARRANGEMENT

seal

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GREENROOFS

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MAINTENANCE

SITE TO BE MAINTAINED TO LEVEL 1 "WELL-GROOMED" AS SET OUT IN TABLE T-14.1. MAINTENANCE LEVELS - LEVEL 1 "WELL-GROOMED"

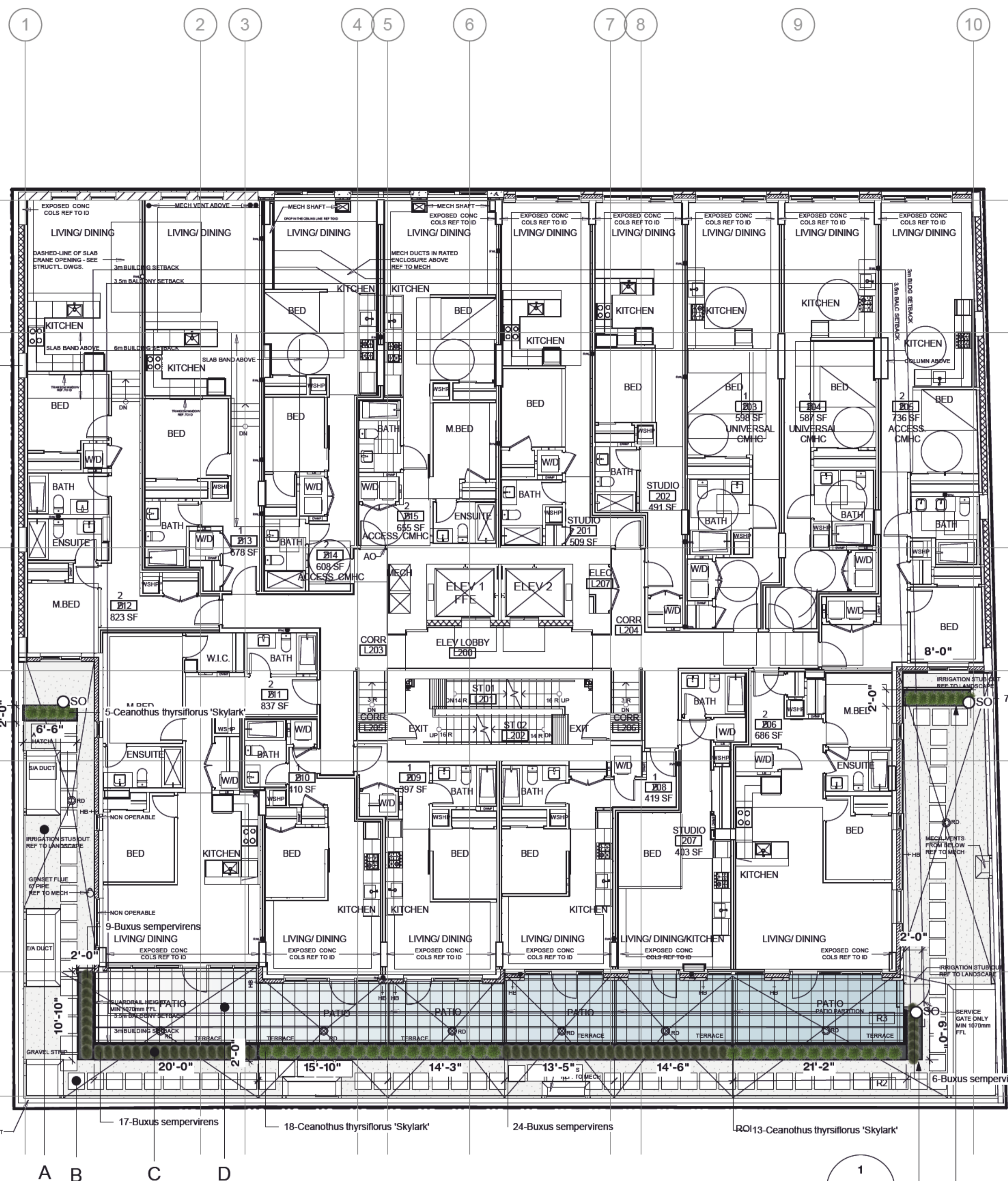
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- A CRUSHED ANGULAR WHITE GRAVEL
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- C MODULAR P/C ALUMINIUM PLANTER MIN 2' PLANTING DEPTH / EVERGREEN LOW HEDGE E.G. BUXUS
- D 18"x18" PCC PAVER ON PEDESTALS ONTO MIRADRRAIN. E.G. TEXADA CHARCOAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED.
- OSO IRRIGATION STUB OUT LOCATION
- HB HOSEBIB LOCATION



1 L2_L1 SECOND FLOOR GENERAL ARRANGEMENT
1:100 METRIC

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Bs	56	Buxus sempervirens	Boxwood	#5 Cont	Full & Bushy
Cean	43	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants



scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 LO

number
L2_L1

general notes

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issue	date
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.06.2023

revision **date**

project
 819-827 FORT STREET VICTORIA BC.

legal
 PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
 TYPICAL PLANTER DETAIL LEVEL 2- LEVEL 10

seal

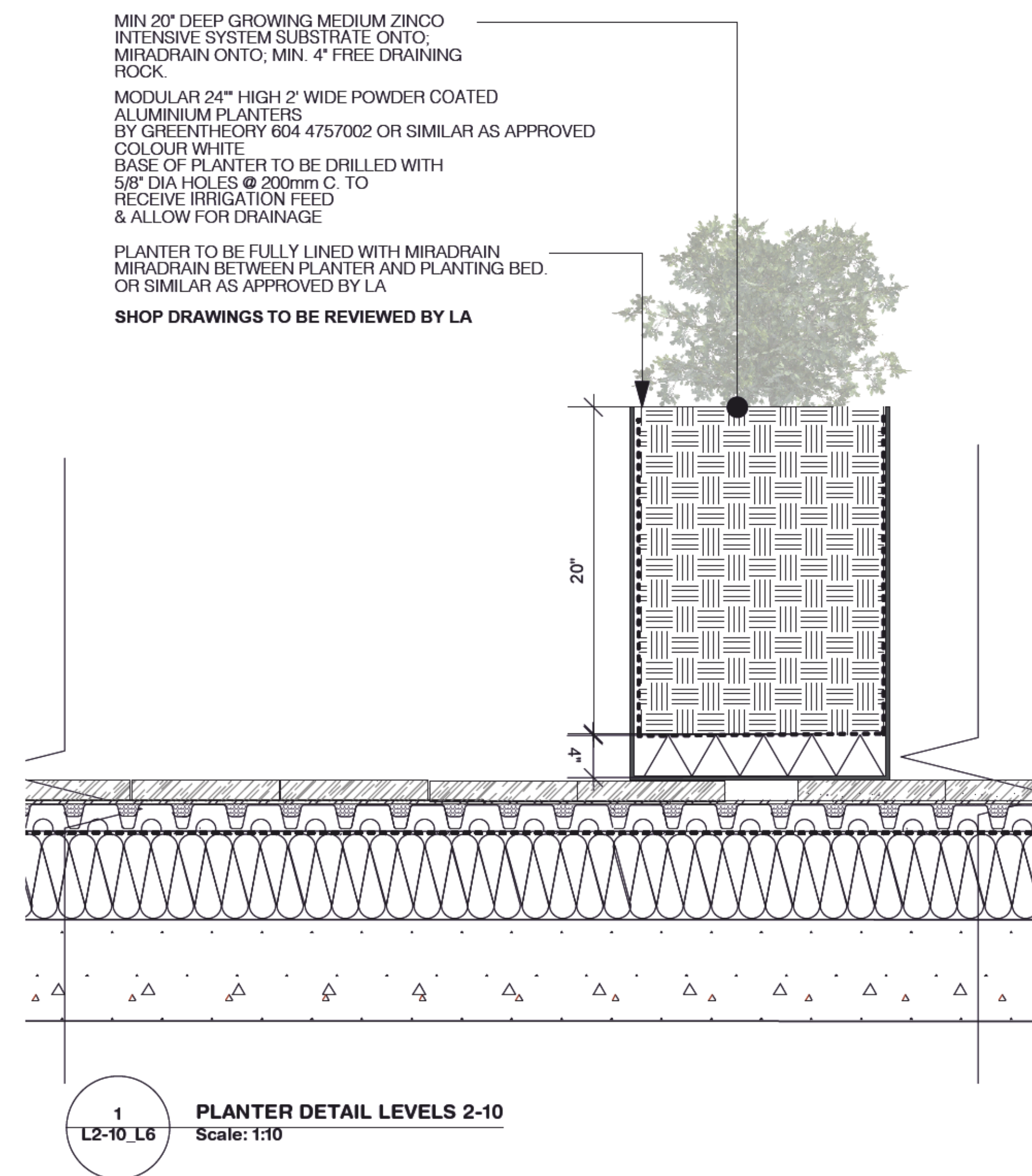
scale
 AS SHOWN

drawn
 JP

checked
 JP

reference
 2017.09_02 L12_L1

number
L2-10_L6



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DP RESUBMISSION	30.05.2023

revision	date
A	19.04.2018
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C	13.11.2020
D	04.03.2021
E	07.05.2021
F	26.05.2021
G	30.06.2021
H	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
THIRD FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09.02_L3_L1

number
L3_L1

- A CRUSHED ANGULAR WHITE GRAVEL
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ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

GENERAL

ALL WORK, INCLUDING: PLANNING, DESIGN, INSTALLATION AND MAINTENANCE SHALL BE EXECUTED TO THE CANADIAN LANDSCAPE STANDARD, INDUSTRY REQUIREMENTS, NATIONAL STANDARDS, CODES AND REGULATIONS RECOGNIZED AS ACCEPTABLE BY THE CNLA, THE CSLA, NATIONAL MASTER SPECIFICATION OR OTHER APPLICABLE TRADE ASSOCIATIONS.

THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO STARTING WORK TO VERIFY THAT ALL SURFACES ARE PROPERLY PREPARED AND GRADED. UPON DISCOVERY, ANY DISCREPANCIES SHALL BE REPORTED TO THE AUTHORITY. CONTRACTOR TO ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUB-GRADES PRIOR TO THE WORK.

NO LANDSCAPE WORK SHALL BE CARRIED OUT IN AREAS OR OVER SURFACES THAT HAVE NOT BEEN PROPERLY PREPARED AND GRADED; AND THAT DUE TO CLIMATE WOULD BE AT RISK OF UNNECESSARY DISTURBANCE.

PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

IRRIGATION

THE IRRIGATION INDUSTRY ASSOCIATION HAS DEVELOPED THE STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. CNLA AND CSLA SUPPORT THESE STANDARDS. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR.

ALL PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM E.G. RAINBIRD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSEBIB LOCATION.

AN IRRIGATION SYSTEM MUST APPLY A CONSISTENT, UNIFORM, MEASURABLE AMOUNT OF WATER TO THE LANDSCAPE OVER A PERIOD OF TIME TO PROMOTE DEEP ROOT ZONE DEVELOPMENT.

GROWING MEDIUM

GROWING MEDIA SHALL BE SUBSTANTIALLY FREE OF PLANTS OR THEIR ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS AND THEIR REPRODUCTIVE PARTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, ICE, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEOUS MATERIALS THAT DETRACT FROM THE DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

WHERE IMPORTED GROWING MEDIUM IS TO BE USED, THE CONTRACTOR SHALL TEST, OR HAVE THE SOIL SUPPLIER TEST, THE PROPOSED SOIL AND PROVIDE IT TO LANDSCAPE ARCHITECT 3 WEEKS PRIOR TO DELIVERY ON-SITE.

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GROWING MEDIA SHALL MEET THE NUTRIENT LEVELS AS SET OUT IN SECTION 6.2.7. GROWING MEDIUM NUTRIENTS. GROWING MEDIA SHOULD BE FOR FOR LEVEL 1 "WELL-GROOMED" AREAS - TABLE T-6.3.5.1. AND CONFORM TO TABLE T-6.3.6.2. PROPERTIES OF GROWING MEDIA FOR LEVEL 1 "WELL-GROOMED" AREAS.

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-6.3.5.5. MINIMUM DEPTHS OF GROWING MEDIA.

LAWNS/ SOD

CLASS 1 AREA LAWNS WITH LEVEL 1 MAINTENANCE, UNLESS OTHERWISE SPECIFIED, APPROVAL OF SITE PREPARATION SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF PLACEMENT OF SOD. SOD TO BE NO 1 PREMIUM OR NO 2 STANDARD AND SUITED TO ITS REGIONAL REQUIREMENTS AND ITS INTENDED USE.

PLANTS & MULCH

THE REQUIREMENTS OF THE CANADIAN STANDARDS FOR NURSERY STOCK SHALL APPLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT PLANT MATERIALS DELIVERED TO THE SITE COMPLY WITH THE CONTRACT DOCUMENTS. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S PRIOR WRITTEN APPROVAL.

ROOTBALLS AND GROWING MEDIUM IN CONTAINERS SHALL BE FREE OF INVASIVE AND NOXIOUS PLANTS.

NURSERY GROWN PLANTS SHALL, AS A MINIMUM, COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION, CANADIAN STANDARDS FOR NURSERY STOCK, AND SECTION 12. CONTAINER GROWN PLANTS, WITH RESPECT TO SIZING, GRADING AND QUALITY.

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANT MATERIAL SHALL BE IRRIGATED IMMEDIATELY AFTER PLANTING TO THE DEPTH OF THEIR ROOT SYSTEMS.

MULCHING MATERIALS SHALL BE SUBSTANTIALLY FREE OF INVASIVE AND NOXIOUS SEEDS AND REPRODUCTIVE PARTS, SOIL, STONES, SALTS OR OTHER HARMFUL CHEMICALS, OR OTHER EXTRANEOUS MATTER THAT WOULD PROHIBIT SEED GERMINATION OR THE HEALTHY DEVELOPMENT OF PLANT MATERIAL.

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC DARK COMPOSTED BARK.

GREENROOFS

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1 THIRD FLOOR GENERAL ARRANGEMENT
L3_L1 1:100 METRIC

ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
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Cean	4	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants

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t: 778 386 4414
e: studio@weareconsidered.com
w: www.weareconsidered.com

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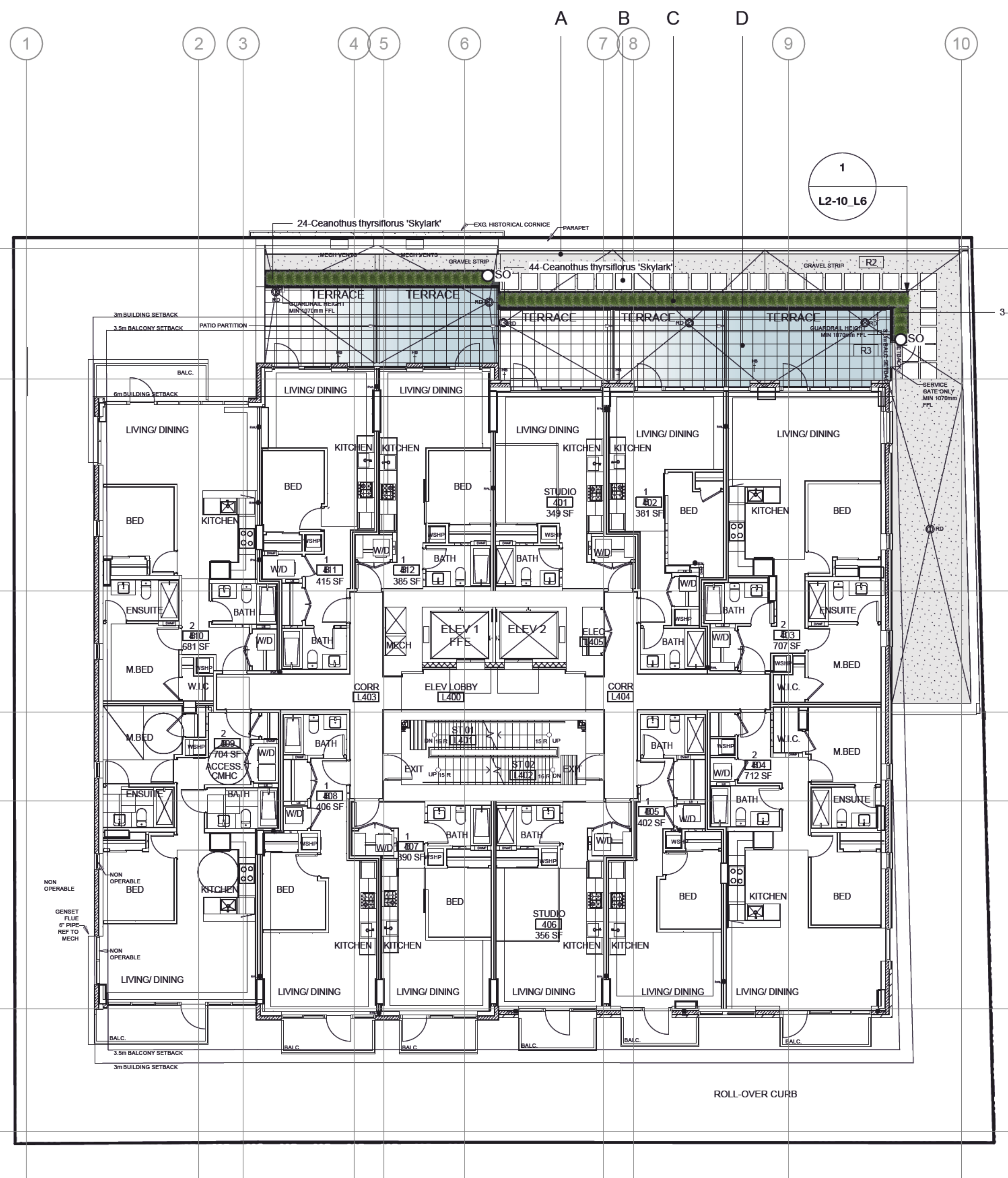
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- SO IRRIGATION STUB OUT LOCATION
- HB HOSEBIB LOCATION



1 4th FLOOR GENERAL ARRANGEMENT
1:200 METRIC

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Cean	71	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants

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H	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
4th FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09.02 L0

number
L4_L1



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 PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
 10th FLOOR LANDSCAPE GENERAL ARRANGEMENT

seal

scale
 AS SHOWN

drawn
 JP

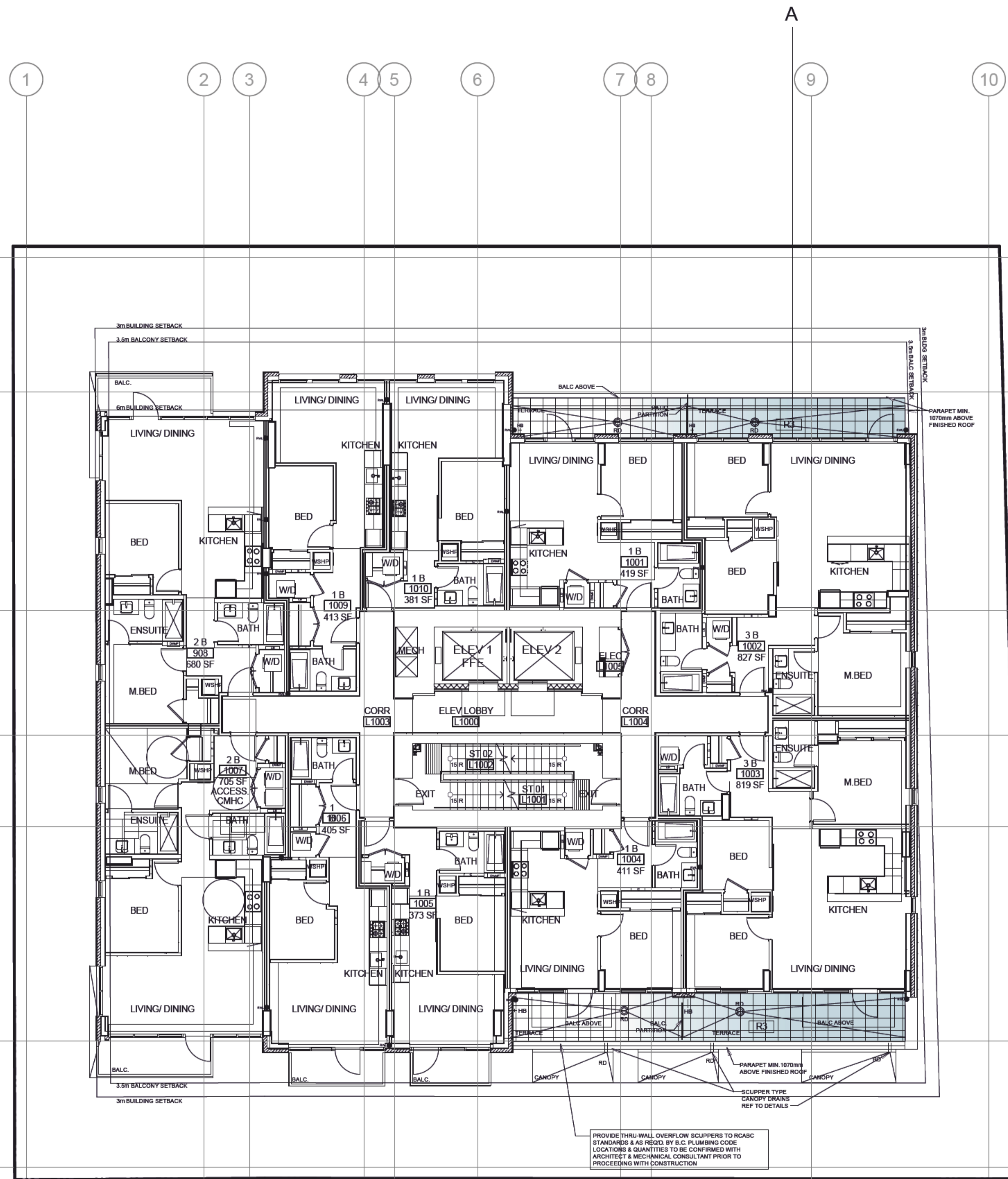
checked
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reference
 2017.09_02.L0

number
L10_L1

A 18"x18" PCC PAVER ON PEDESTALS ONTO MIRADRRAIN.
 E.G. TEXADA CHARCOAL GREY BY ABBOTSFORD
 CONCRETE OR SIMILAR AS APPROVED.

HB HOSEBIB LOCATION



PROVIDE THROUGH WALL OVERFLOW SCUPPERS TO RCBC STANDARDS & AS REQD BY B.C. PLUMBING CODE. LOCATIONS & QUANTITIES TO BE CONFIRMED WITH ARCHITECT'S MECHANICAL CONSULTANT PRIOR TO PROCEEDING WITH CONSTRUCTION

1 10TH FLOOR GENERAL ARRANGEMENT
 L10_L1 1:100 METRIC



general notes

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issue	date
REZONING/ DP	10.04.2018
REZONING/ DP	19.04.2018
REZONING/ DP RESUBMISSION	16.05.2019
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
IFT ADDENDUM 01	26.05.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	19.04.2018
B	16.05.2019
C	13.11.2020
D	04.03.2021
E	07.05.2021
F	26.05.2021
G	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
11TH FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02.L0

number
L11_L1

A 18"x18" PCC PAVER ON PEDESTALS ONTO MIRADRRAIN.
E.G. TEXADA CHARCOAL GREY BY ABBOTSFORD
CONCRETE OR SIMILAR AS APPROVED.

HB HOSEBIB LOCATION



1 11th FLOOR GENERAL ARRANGEMENT
L11_L1 1:100 METRIC



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BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	07.05.2021

project
 819-827 FORT STREET VICTORIA BC.

legal
 PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
 ROOF TYPICAL DETAILS

seal

scale
 AS SHOWN

drawn
 JP

checked
 JP

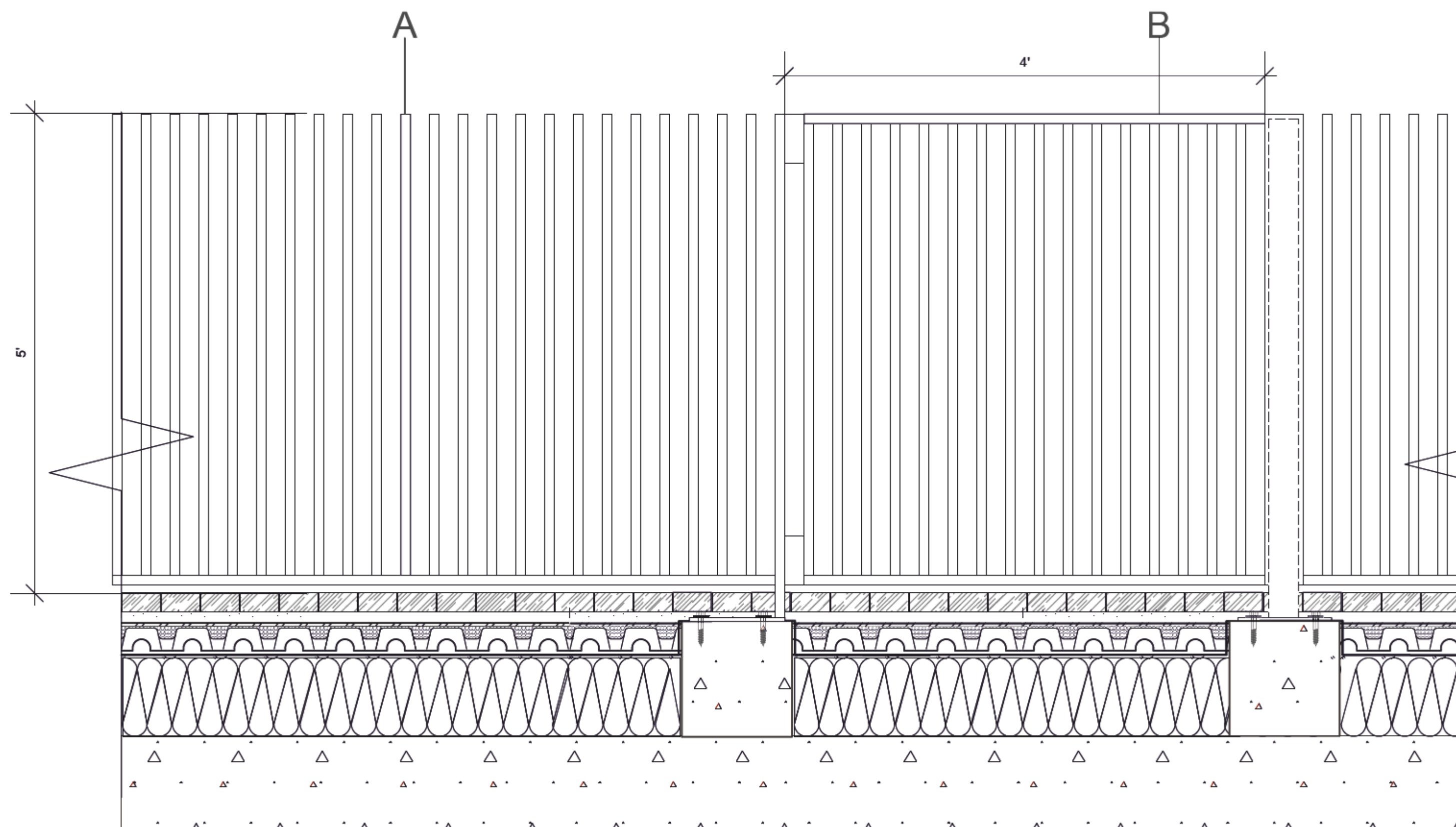
reference
 2017.09_02 L12_L1

number

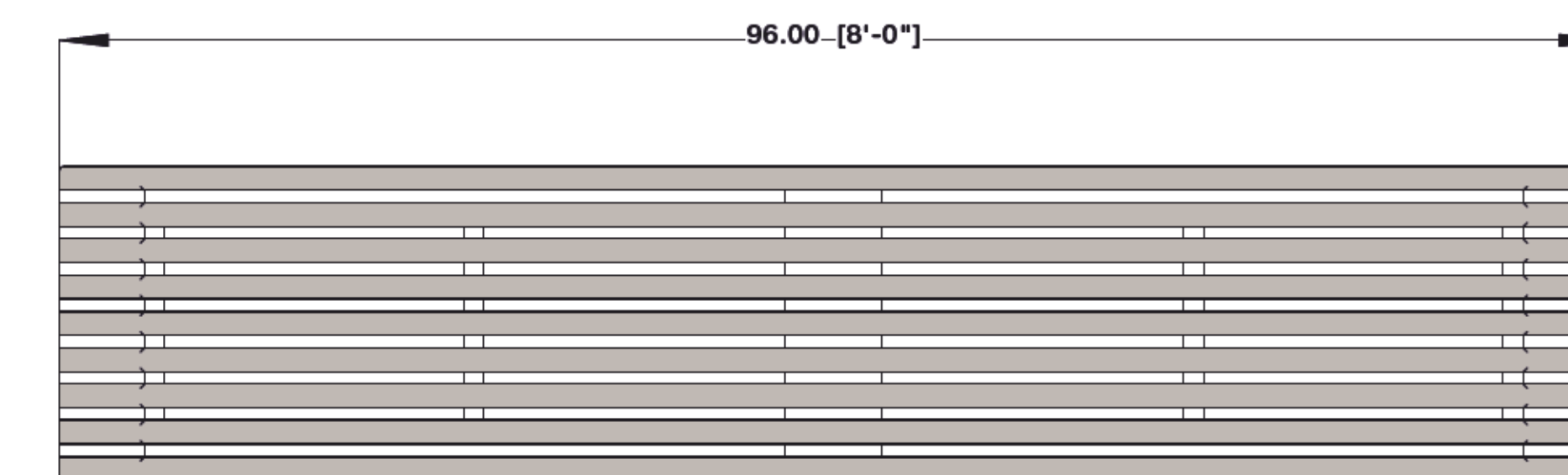
L12_L6

- A. 3"x1" P/C (CHARCOAL GREY) ALUMINIUM RECTANGULAR HOLLOW SECTION WELDED TO 6' LONG SECTIONS OF 3"x1" RHS P/C ALUMINIUM BASE FIXED AT 6' O/C TO INSITU CONCRETE STARTER CURB (NB WATER PROOF MEMBRANE TO WRAP UP AND OVER STARTER CURB) BOLT FIXED TO 3rd PARTY STRUCTURAL ENG. DETAIL
- B. 3"x1" P/C (CHARCOAL GREY) ALUMINIUM RECTANGULAR HOLLOW SECTION WELDED TO 6' LONG SECTIONS OF 3"x1" RHS P/C ALUMINIUM BASE WELDED TO 3" SQ' HOLLOW SECTION POST WITH INTERNAL ALUMINIUM POST AND SLEEVE BOLT FIXED TO INSITU CONCRETE STARTER CURB (NB WATER PROOF MEMBRANE TO WRAP UP AND OVER STARTER CURB) BOLT FIXED TO 3rd PARTY STRUCTURAL ENG. DETAIL

SHOP DRAWINGS TO BE REVIEWED BY LA PRIOR TO FABRICATION & CONSTRUCTION



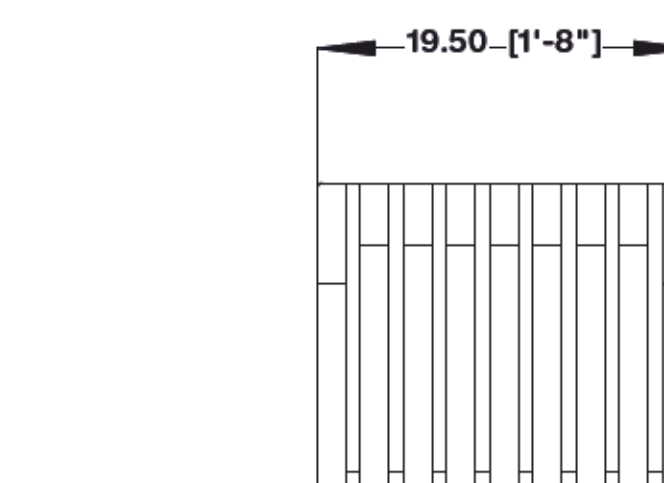
3 ENCLOSURE TO DOG RUN
 L12_L6 Scale: 1:10



WOOD SEATING AND SUPPORTS



4 TIMBER BENCH REF. PAILISADE BY LANDSCAPE FORMS
 L12_L6 Scale: 1:10



NYLON TACK GLIDE

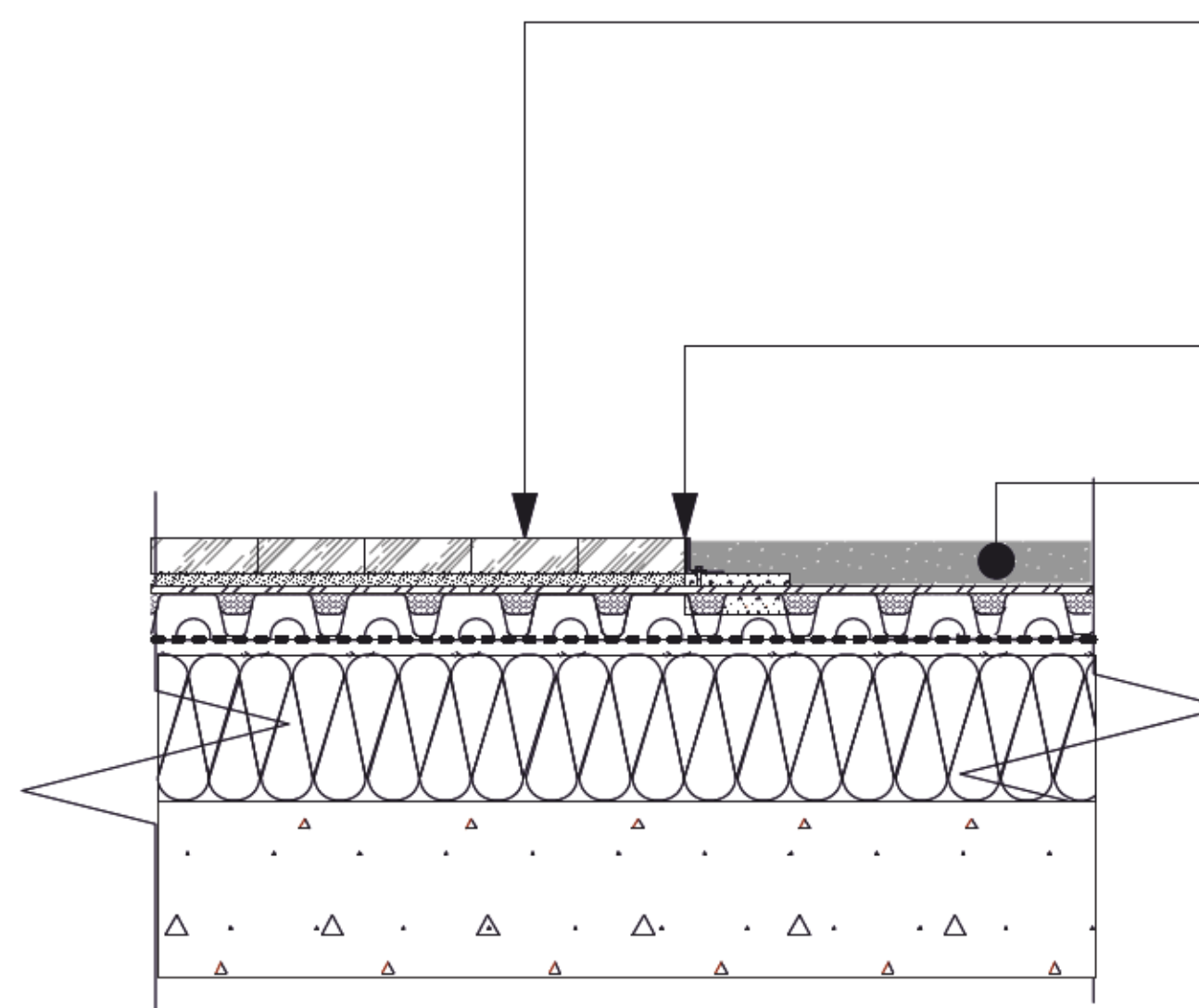
18"x18" PCC PAVER TEXADA CHARCOAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED. ONTO: MIN 50mm LIGHTWEIGHT FREE DRAINING CRUSHED COMPACTED GRAVEL FILL ON TO; ZINCO FILTER SHEET SF ON TO; DRAINAGE ELEMENT FLORADRAIN FD60, INFILL WITH MINERAL SUBSTRATE 'ZINCOBLEND M' ON TO; MOISTURE + PROTECTION MAT ZINCO SSM45 ON TO; WATERPROOFING MEMBRANE ON TO; ROOF SURFACE - AS PER ARCHITECTURE (OR SIMILAR AS APPROVED)

1/4" S/STEEL EDGE WELDED TO ANGLE PLATE BOLT FIXED TO MIN 4" DEEP CONCRETE STRIP FOUNDATION

POURED IN PLACE RUBBER SURFACE 0.5" DEPTH. TOP WEARING COURSE WITH BASEMAT. LANDSCAPE BY MARATHON SURFACES. CONTACT DALE GRAVES TEL: 604-878-0625 ext 2. TOTAL MIN. 2" BUILD-UP DEPTH TBC COLOUR TBC OR SIMILAR AS APPROVED.

NB SLAB SLOPES MIN 1:50 FALL TO ROOF DRAINS TO ARCH/M&E SPECIFICATION & DETAIL

1 RUBBER SURFACE / PAVING
 L12_L6 Scale: 1:10



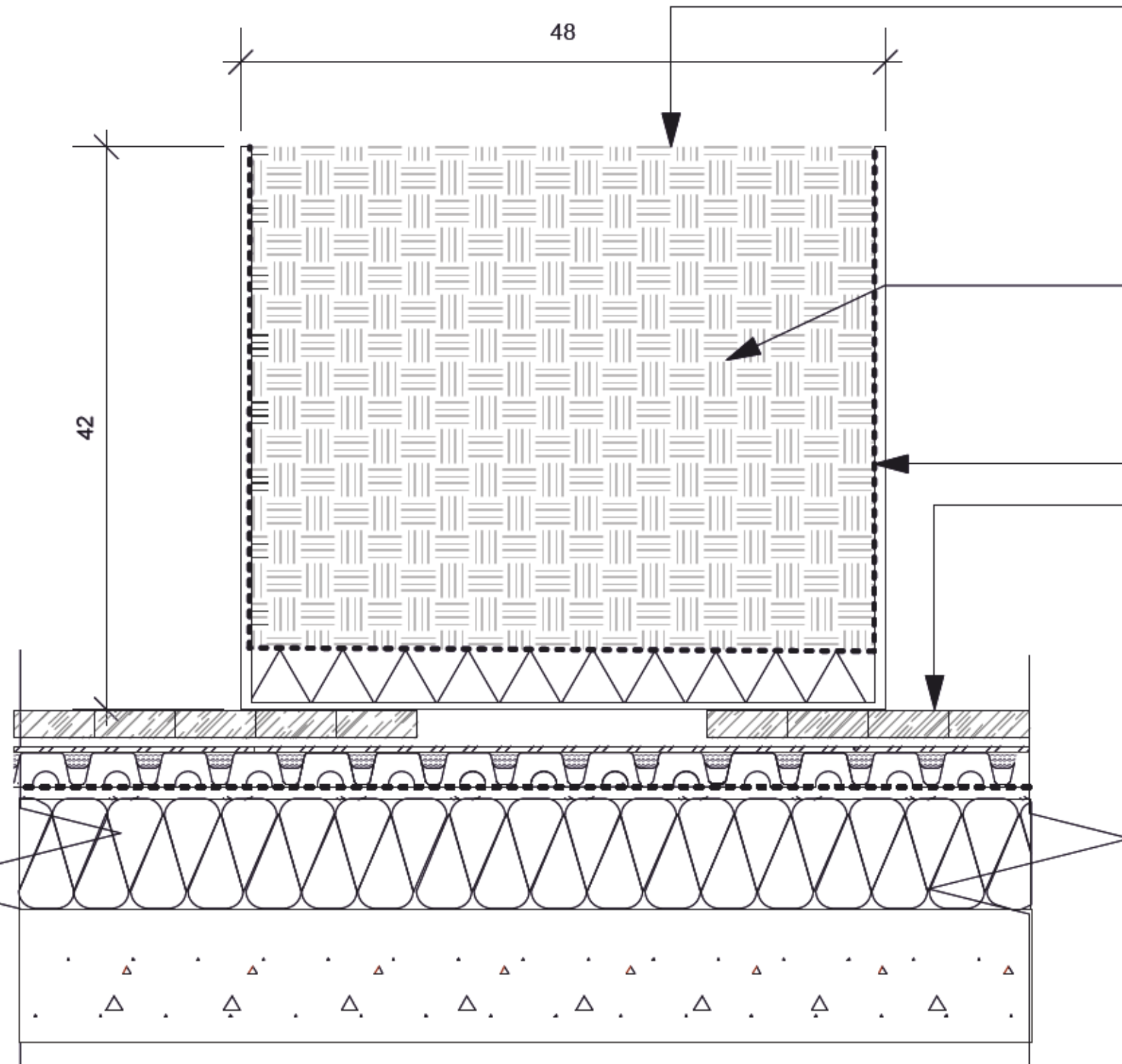
TREE PLANTERS 48" DIA. 42" HEIGHT MIN 38" DEEP GROWING MEDIUM ZINCO INTENSIVE SYSTEM SUBSTRATE ONTO; MIRADRRAIN ONTO; MIN. 4" FREE DRAINING ROCK.

1/4" THICK POWDER COATED WHITE ALUMINIUM PLANTER BASE OF PLANTER TO BE DRILLED WITH 5/8" DIA HOLES @ 200mm C. TO RECEIVE IRRIGATION FEED & ALLOW FOR DRAINAGE

PLANTER TO BE FULLY LINED WITH MIRADRRAIN OR SIMILAR AS APPROVED BY LA

18"x18" PCC PAVER TEXADA CHARCOAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED ONTO; MIN 50mm LIGHTWEIGHT FREE DRAINING CRUSHED COMPACTED GRAVEL FILL ON TO; ZINCO FILTER SHEET SF ON TO; DRAINAGE ELEMENT FLORADRAIN FD60, INFILL WITH MINERAL SUBSTRATE 'ZINCOBLEND M' ON TO; MOISTURE + PROTECTION MAT ZINCO SSM45 ON TO; WATERPROOFING MEMBRANE ON TO; ROOF SURFACE - AS PER ARCHITECTURE (OR SIMILAR AS APPROVED)

NB SLAB SLOPES MIN 1:50 FALL TO ROOF DRAINS TO ARCH/M&E SPECIFICATION & DETAIL
 SHOP DRAWINGS TO BE APPROVED BY LA



2 TYPICAL TREE PLANTER
 L12_L6 Scale: 1:10

L12_L6

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BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	07.05.2021

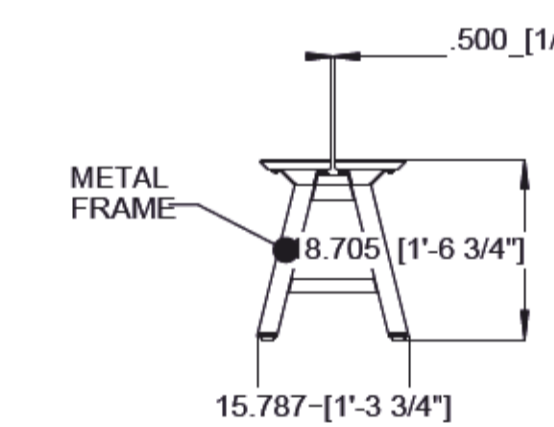
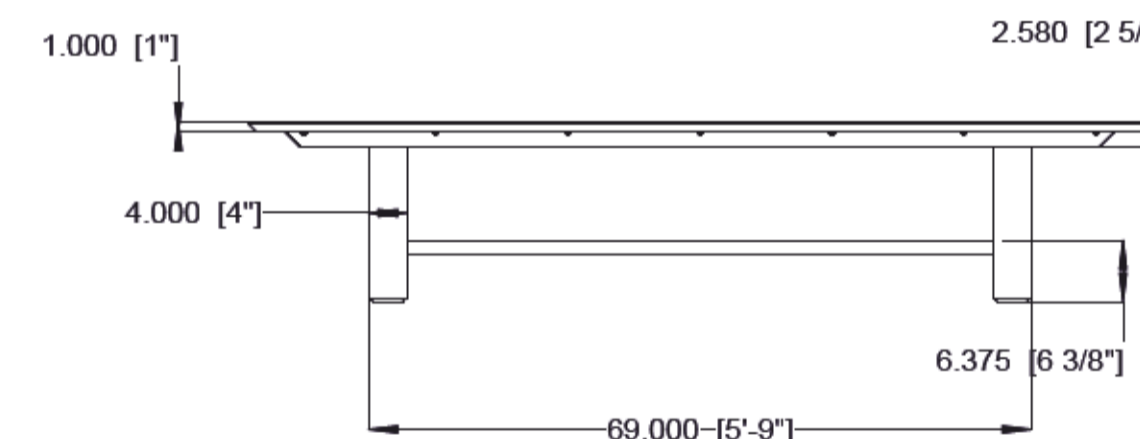
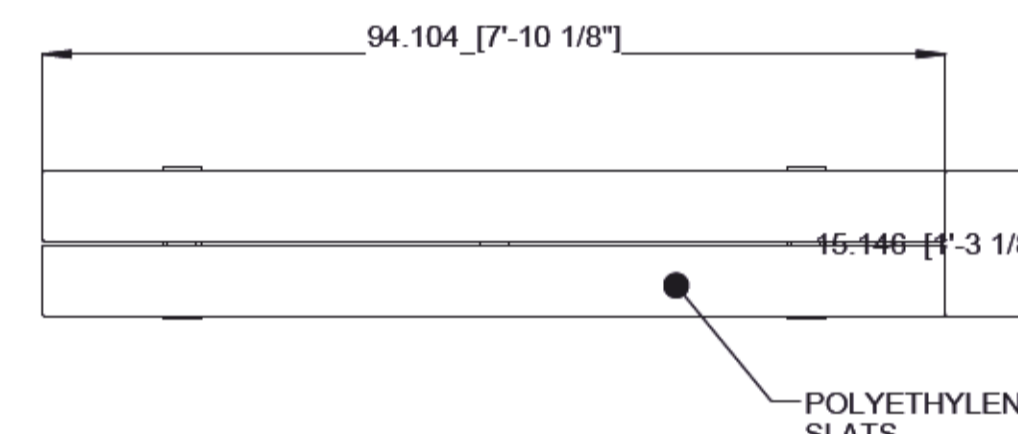
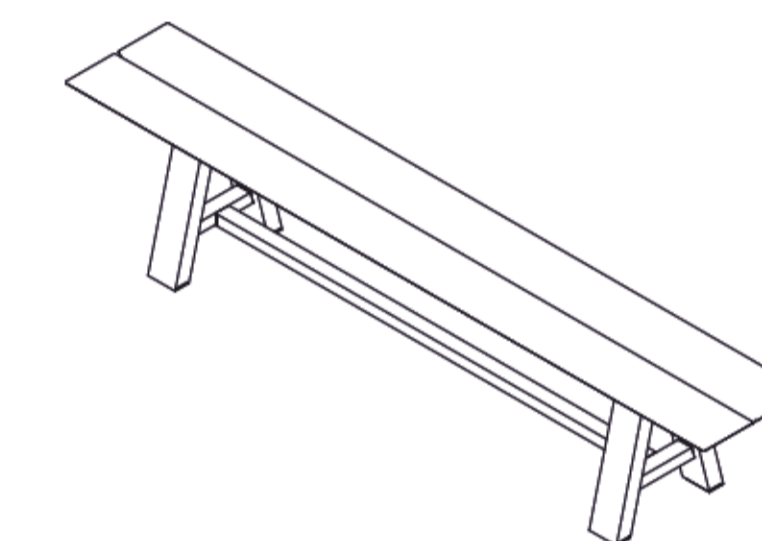
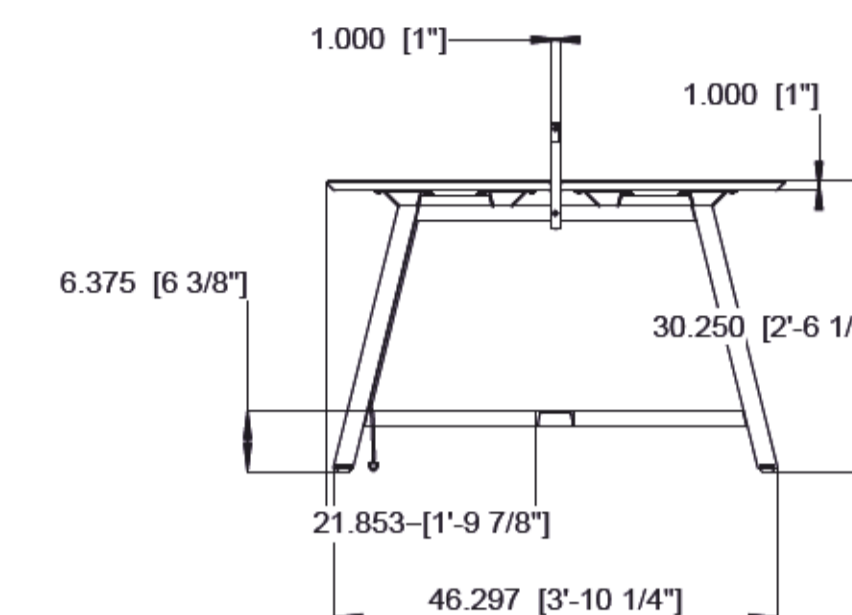
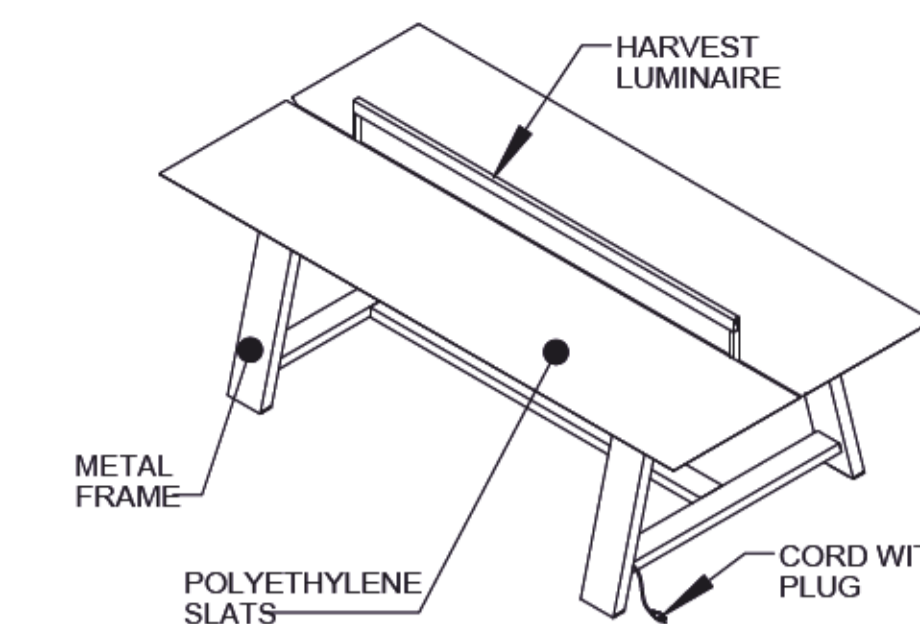
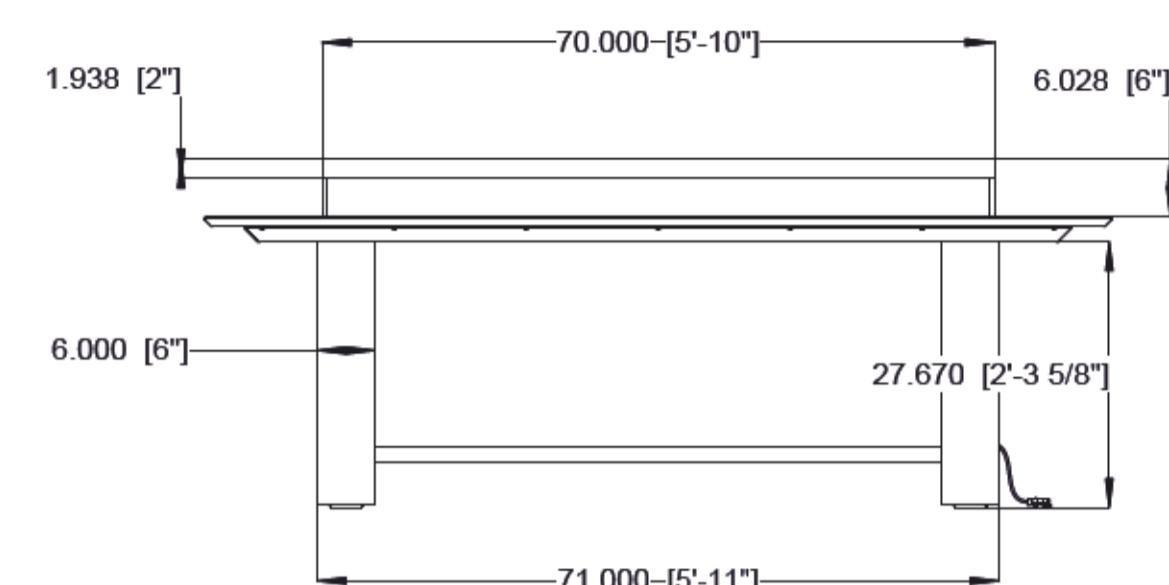
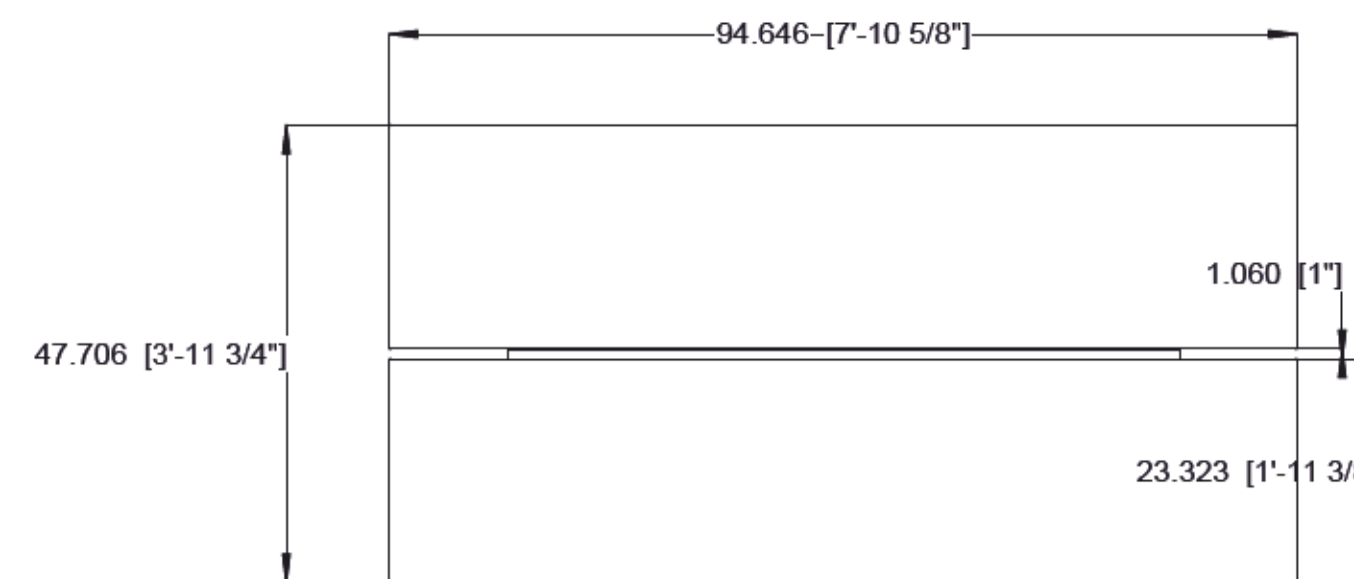
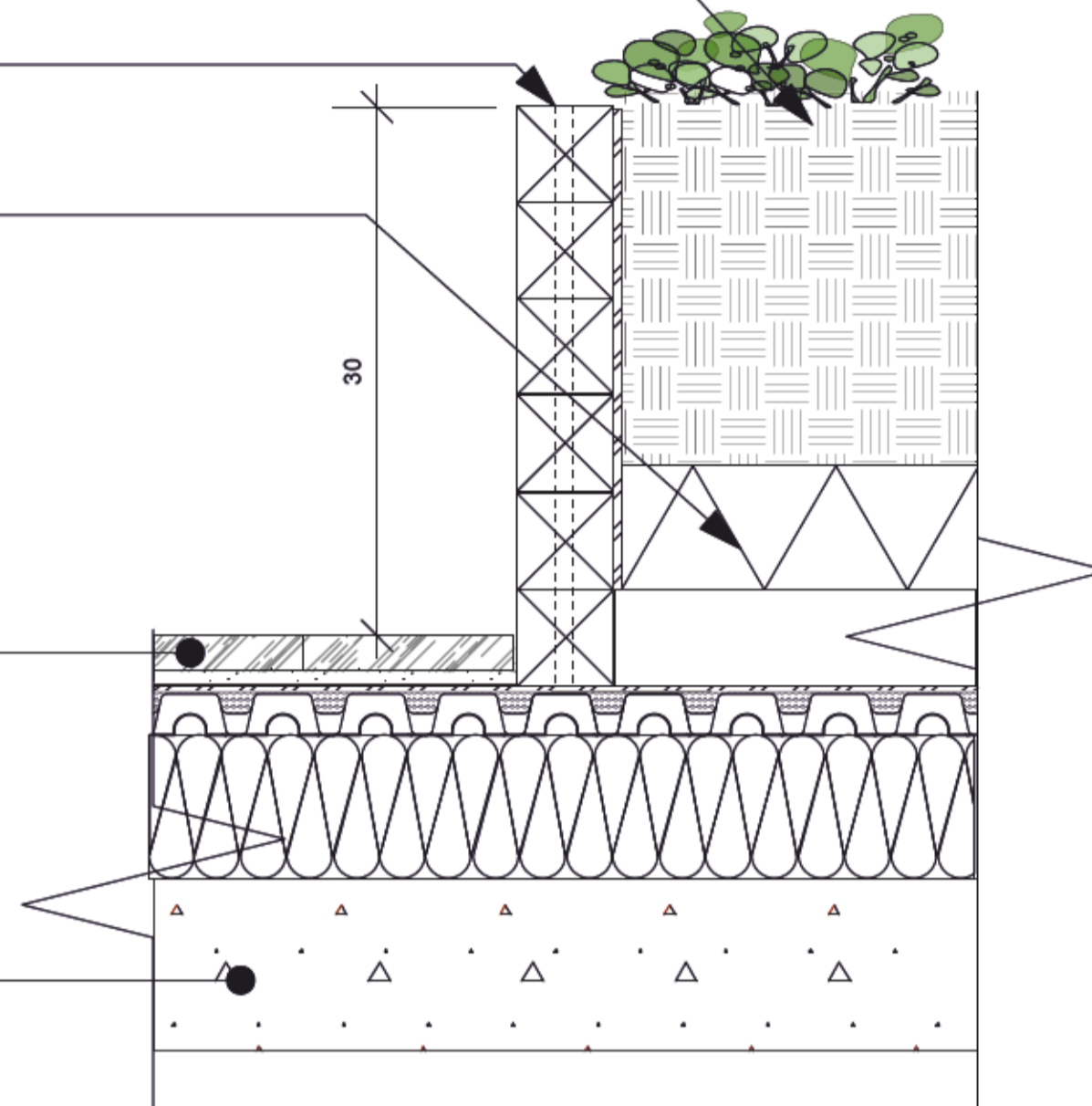
SYSTEM BUILD-UP:
PLANT MATERIAL ONTO:
GROWING MEDIUM ZINCO EXTENSIVE SYSTEM SUBSTRATE
ZINCO GROWING MEDIUM ONTO, ZINCO FILTER SHEET SF
ON TO, MIN 4" FREE DRAINING ROCK
DRAINAGE ELEMENT FLORADRAIN FD60 INFILL WITH MINERAL
(OR SIMILAR AS APPROVED)

6"x6" NOM. LENGTH UNTREATED CEDAR SECTIONS
FINGER JOINTED AT CORNERS AND DRILLED / FIXED
WITH 5/8TH" S STEEL DOWEL BARS

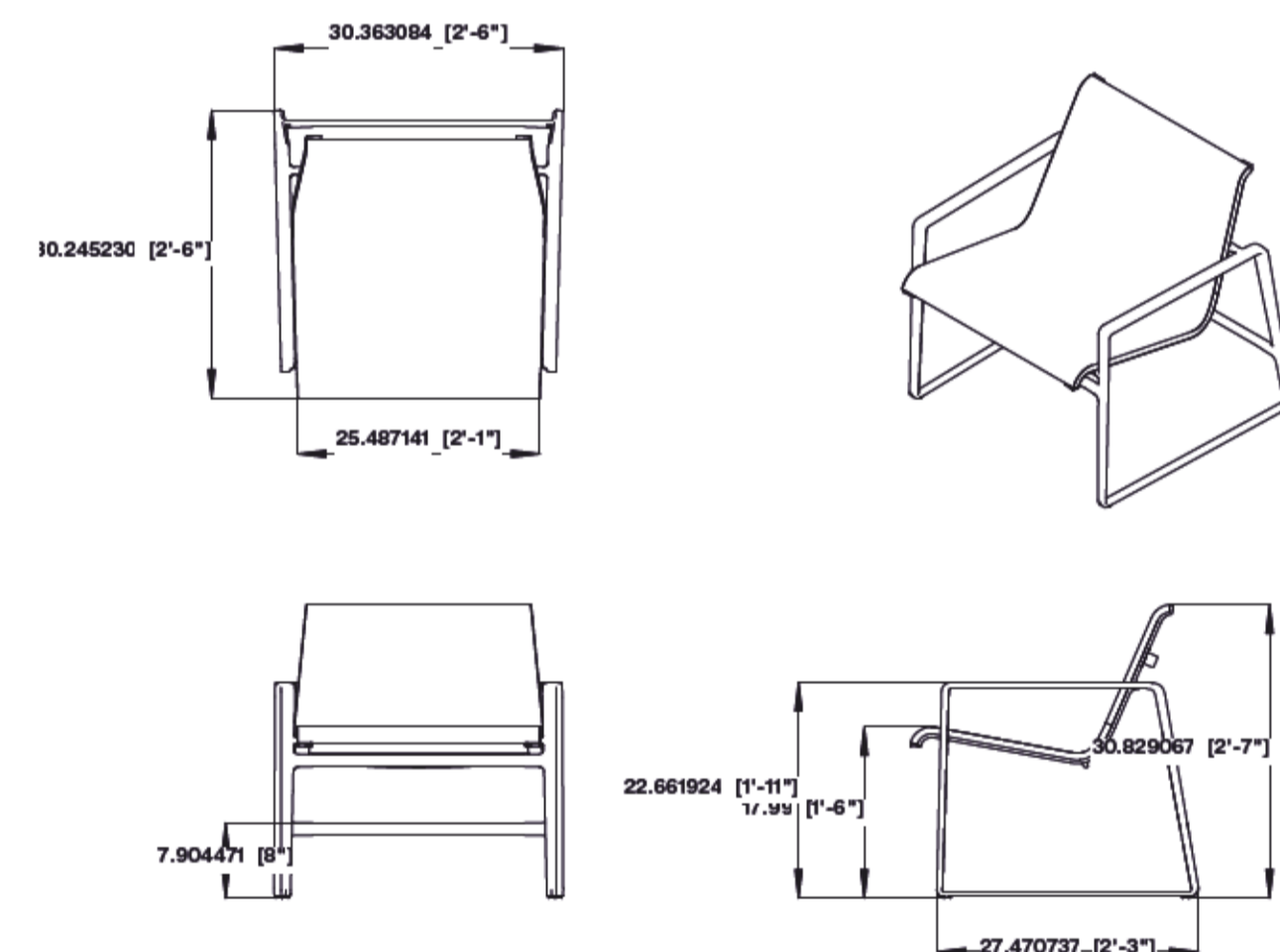
MIN 4" FREE DRAINING ROCK

18"x18" PCC PAVER TEXADA CHARCOAL GREY BY
ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED
ON TO, MIN 1" 3/4" FREE DRAINING COMPACTED ANGULAR
GRAVEL ONTO DRAINAGE ELEMENT FLORADRAIN FD60
INFILL WITH MINERAL SUBSTRATE ZINCOBLEND M
(OR SIMILAR AS APPROVED)

SLOPED STRUCTURAL SLAB
TO ARCH DETAIL /
SPECIFICATION



1 URBAN AGG. PLANTERS
L12_L6.1 Scale: 1:10

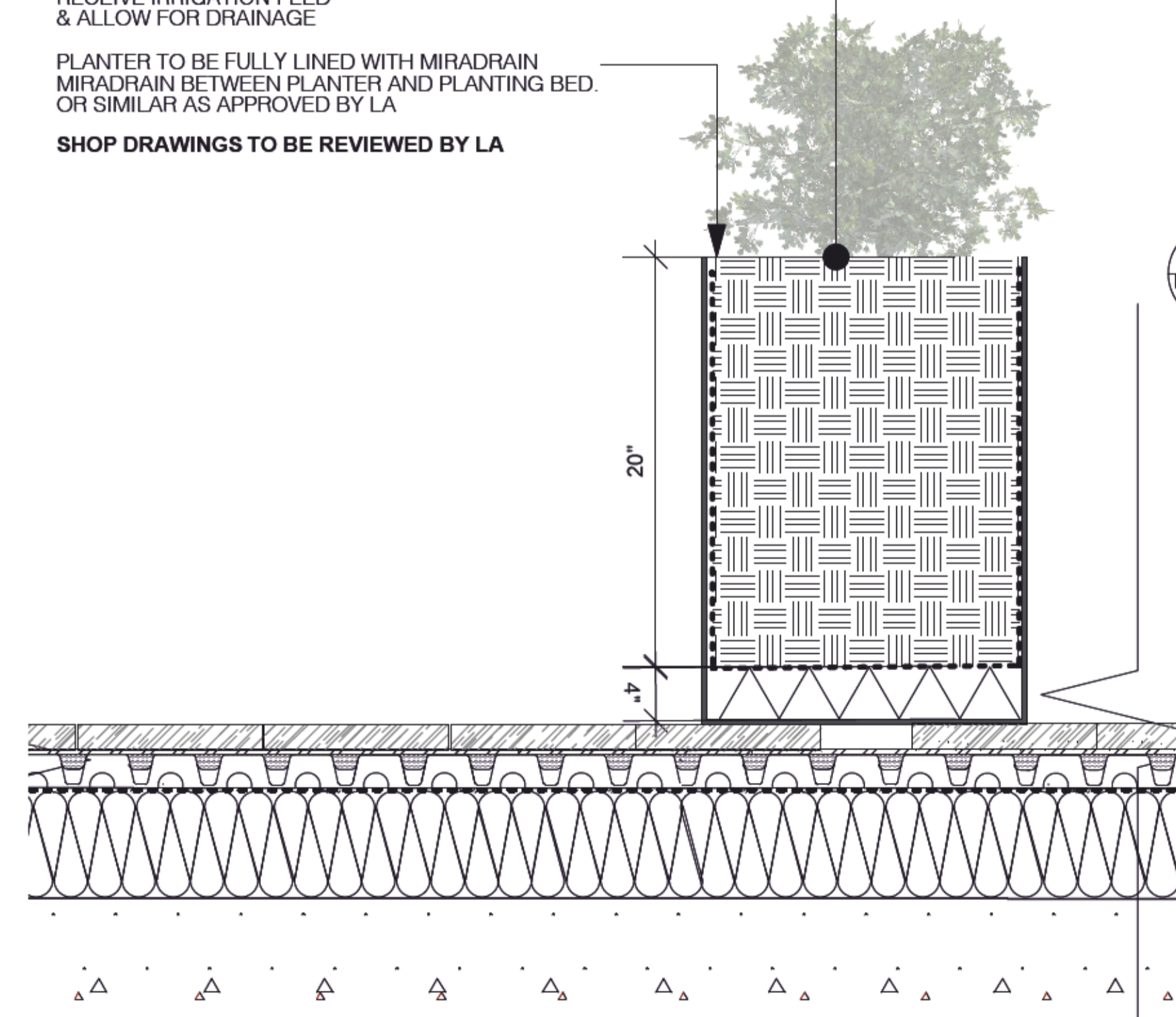


MIN 20" DEEP GROWING MEDIUM ZINCO
INTENSIVE SYSTEM SUBSTRATE ONTO,
MIRADRAIN ONTO, MIN. 4" FREE DRAINING
ROCK.

MODULAR 24" HIGH 2" WIDE POWDER COATED
ALUMINIUM PLANTERS
BY GREENTHEORY 604 4757002 OR SIMILAR AS APPROVED
COLOUR WHITE
BASE OF PLANTER TO BE DRILLED WITH
5/8" DIA HOLES @ 200mm C. TO
RECEIVE IRRIGATION FEED
& ALLOW FOR DRAINAGE

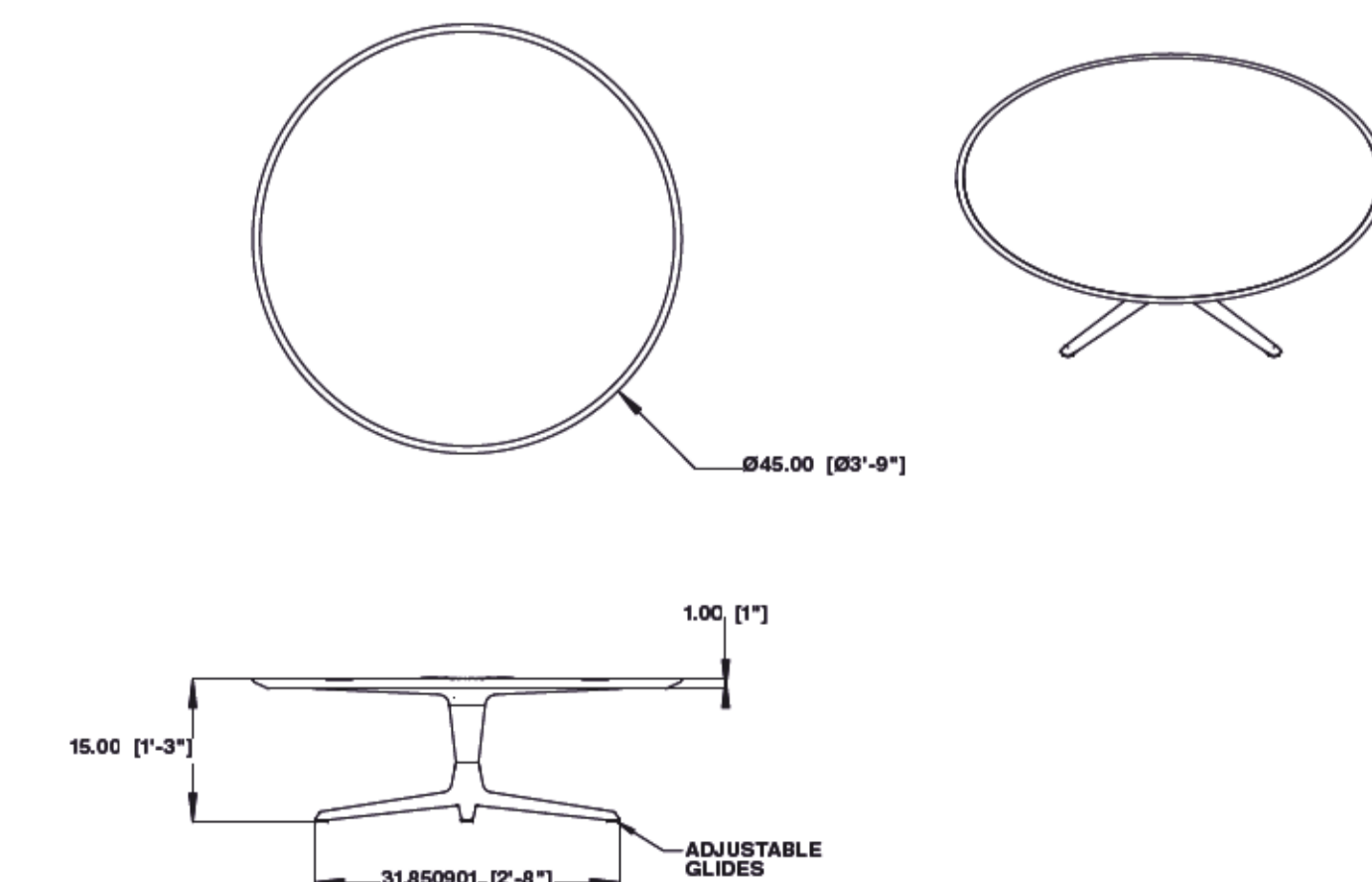
PLANTER TO BE FULLY LINED WITH MIRADRAIN
MIRADRAIN BETWEEN PLANTER AND PLANTING BED.
OR SIMILAR AS APPROVED BY LA

SHOP DRAWINGS TO BE REVIEWED BY LA



2 HARVEST TABLE / BENCH BY LANDSCAPE FORMS
L12_L6.1 Scale: 1:20

5 COCHRAN LOUNGE CHAIRS CHIPMAN TABLE BY LANDSCAPE FORMS
L12_L6.1 Scale: 1:20



4 MODULAR ALUMINIUM PLANTER
L12_L6.1 Scale: 1:10

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278,
VICTORIA CITY.

drawing
ROOF GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L12_L1

number

L12_L6.1

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FOR COMMENT	13.11.2020
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IFT	07.05.2021
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BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
ROOF LANDSCAPE LIGHTING PLAN

seal



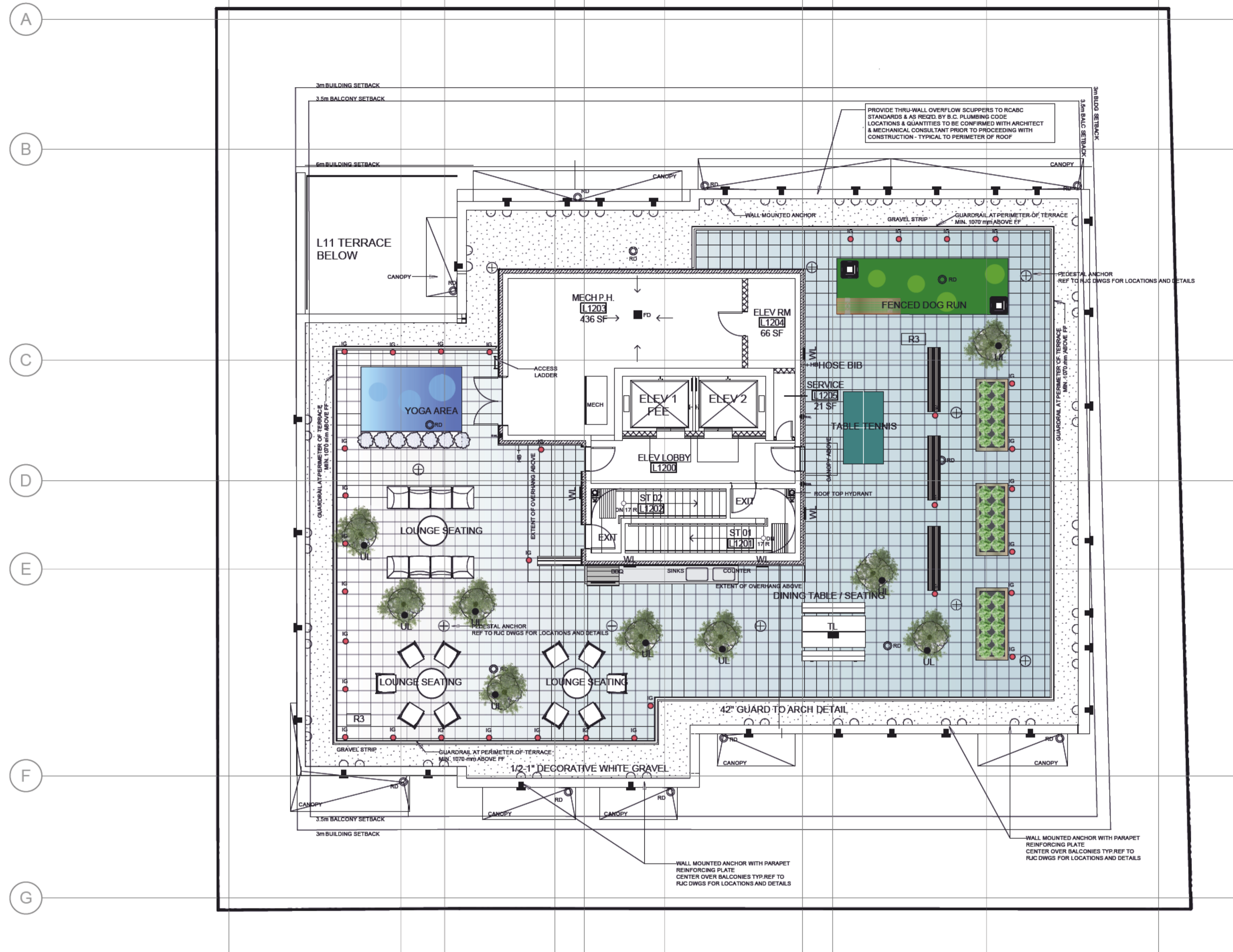
scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L12_L1

number
L12_L11



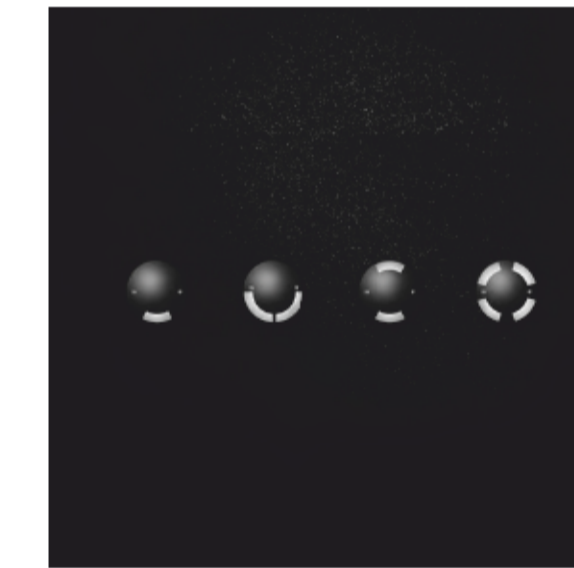
TL TABLE LIGHT / HARVEST TABLE BY LANDSCAPE FORMS



WL WALL LIGHT / EG. BEGA 24374 / WALL LIGHTS TO BE COORDINATED WITH ARCHITECTURE.



IG INGROUND LIGHT / EG. BEGA 88674 WITH 1 OR 2 OPENINGS DEPENDANT ON LOCATION.



UL TREE UP LIGHT / EG. BK NITESTAR



1 ROOF LANDSCAPE LIGHTING
L12_L11 1:100 METRIC