

1 SITE PLAN EXISTING

A301 SCALE: 1 : 200

Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

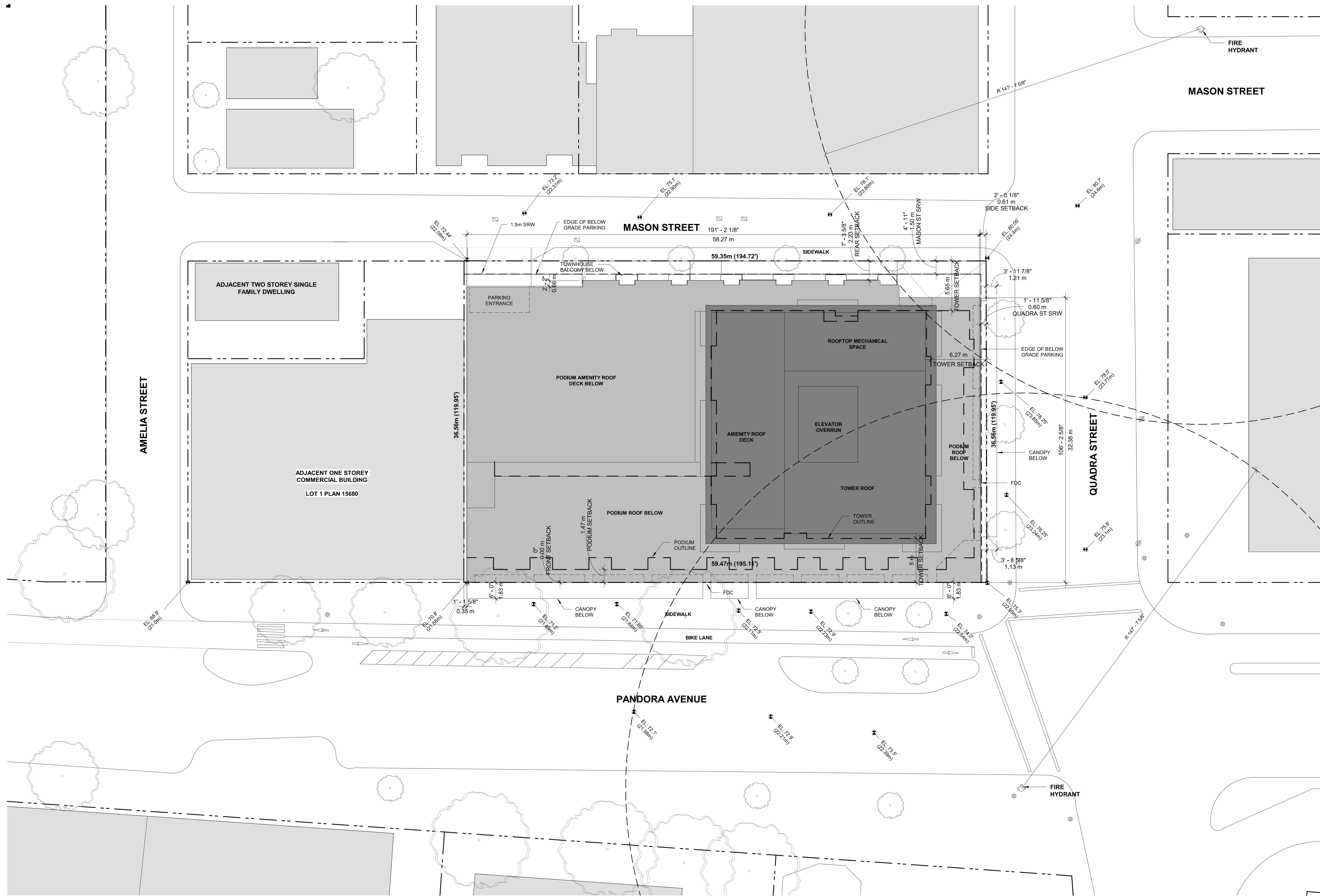
Project
SITE PLAN EXISTING

Drawing

Scale 1 : 200

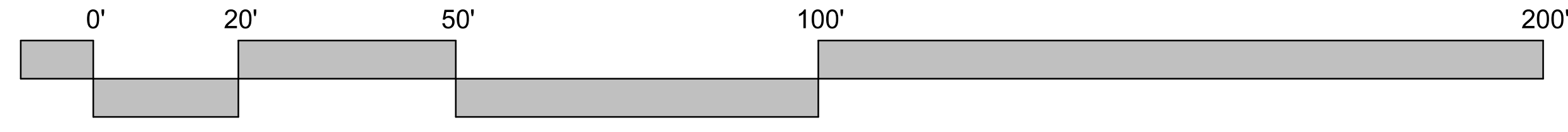
Project 222011

Sheet **A-101**



1 SITE PLAN PROPOSED

SCALE: 1:200
REFER TO LANDSCAPE DRAWINGS FOR PLANTING, HARDSCAPE & FURNISHING DETAILS
REFER TO CIVIL DRAWINGS FOR SITE SERVICING DETAILS



Seal

854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC

Project

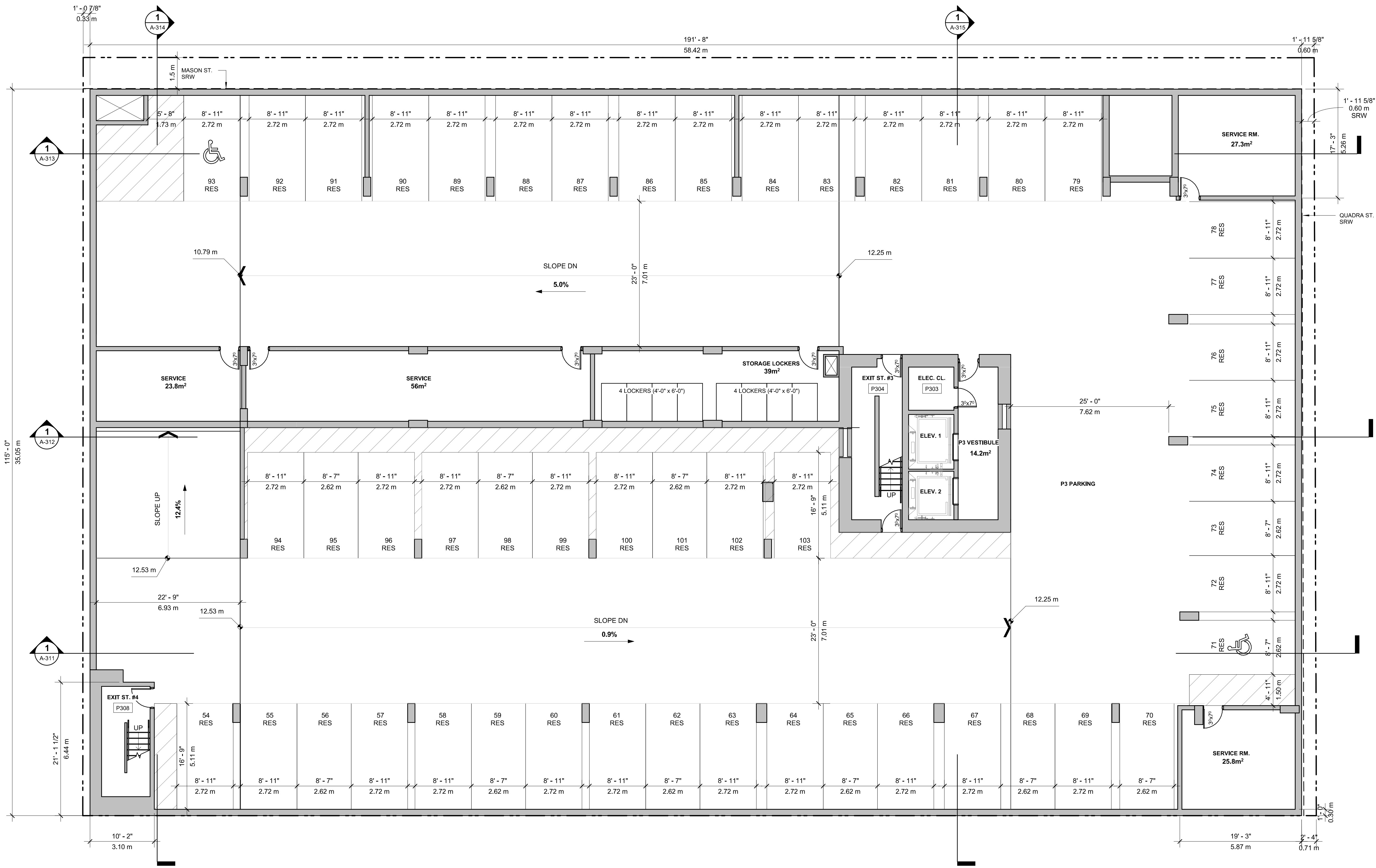
SITE PLAN
PROPOSED

Drawing

Scale 1:200

Project 222011

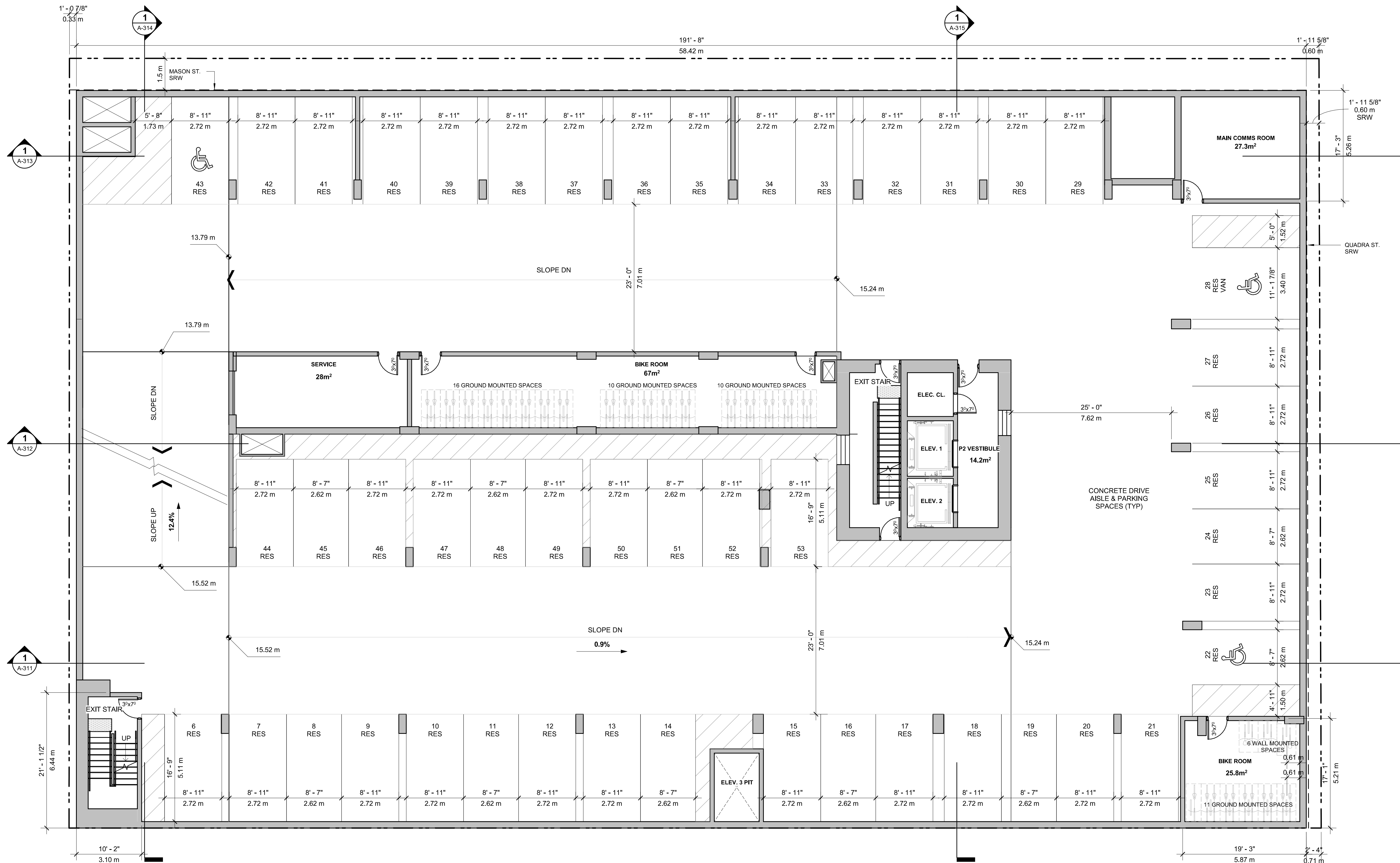
Sheet A-102



LEVEL P3
TOTAL RESIDENTIAL PARKING SPACES
50
9 REGULAR SPACES
39 WIDE SPACES
2 ACCESSIBLE SPACES

1 LEVEL P3 PLAN
SCALE: 1/8" = 1'-0"
A311

All rights reserved, property of Musson Cattell Mackey Partnership. Use or reproduction prohibited without prior written permission.



LEVEL P2
TOTAL PARKING SPACES
 48
 9 REGULAR SPACES
 36 WIDE SPACES
 2 ACCESSIBLE SPACES
 1 VAN ACCESSIBLE SPACE
TOTAL LONG TERM BICYCLE SPACES (P1 + P2)
 232
RESIDENTIAL BICYCLE SPACES
 53
 (47 GROUND MOUNTED)
 (6 WALL MOUNTED) (3%)

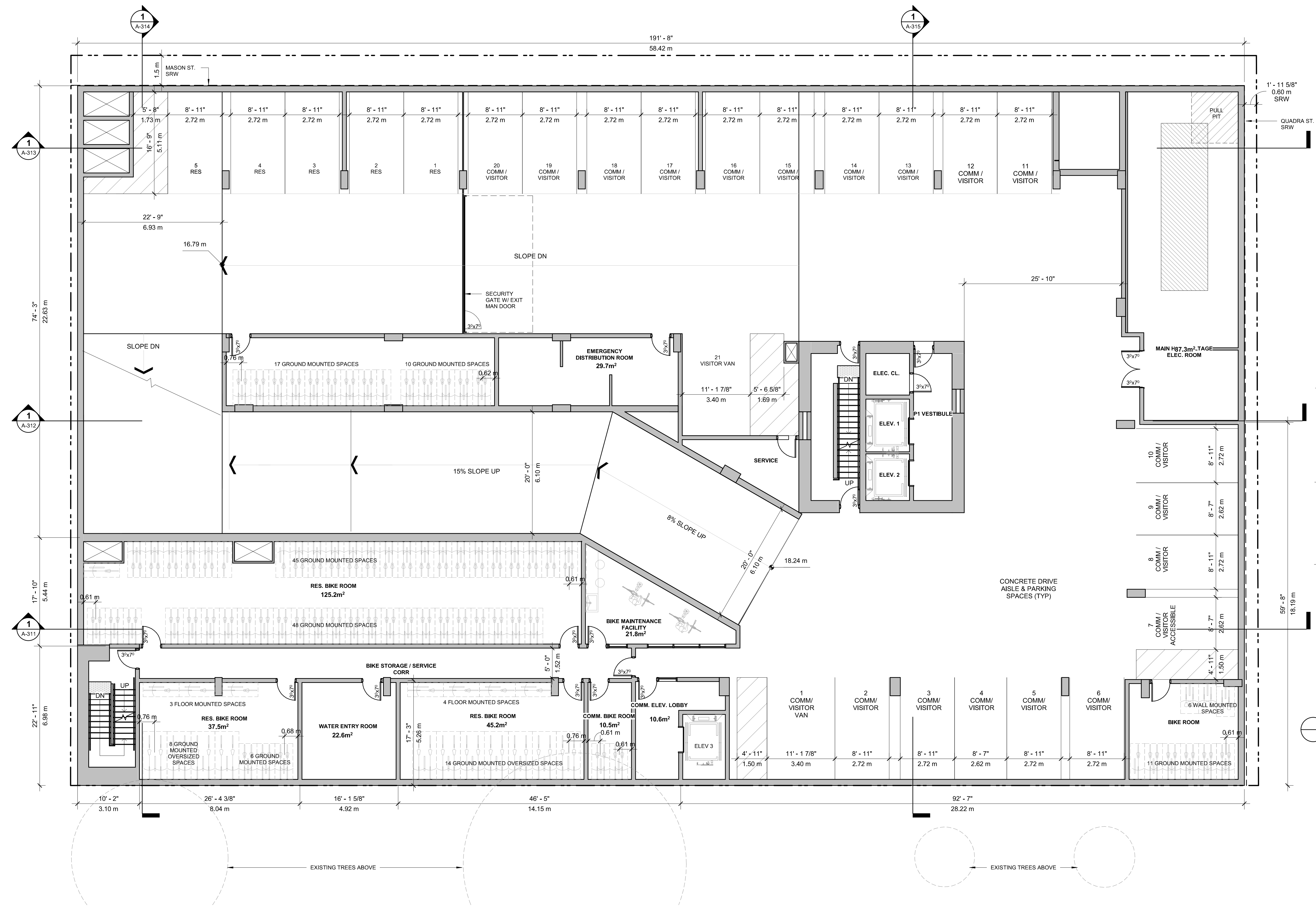
1 LEVEL P2 PLAN
 SCALE: 1/8" = 1'-0"
 0' 2' 5' 10' 20'

Seal
 854-880
 PANDORA AVE.

854-880 Pandora Ave
 Victoria, BC
 Project
 LEVEL P2 PLAN

Drawing
 Scale 1/8" = 1'-0"
 Project 222011

All rights reserved, property of Musson Cattell Mackey Partnership. Use or reproduction prohibited without prior written permission.



LEVEL P1

TOTAL PARKING SPACES
26

TOTAL COMMERCIAL/VISITOR SPACES
21

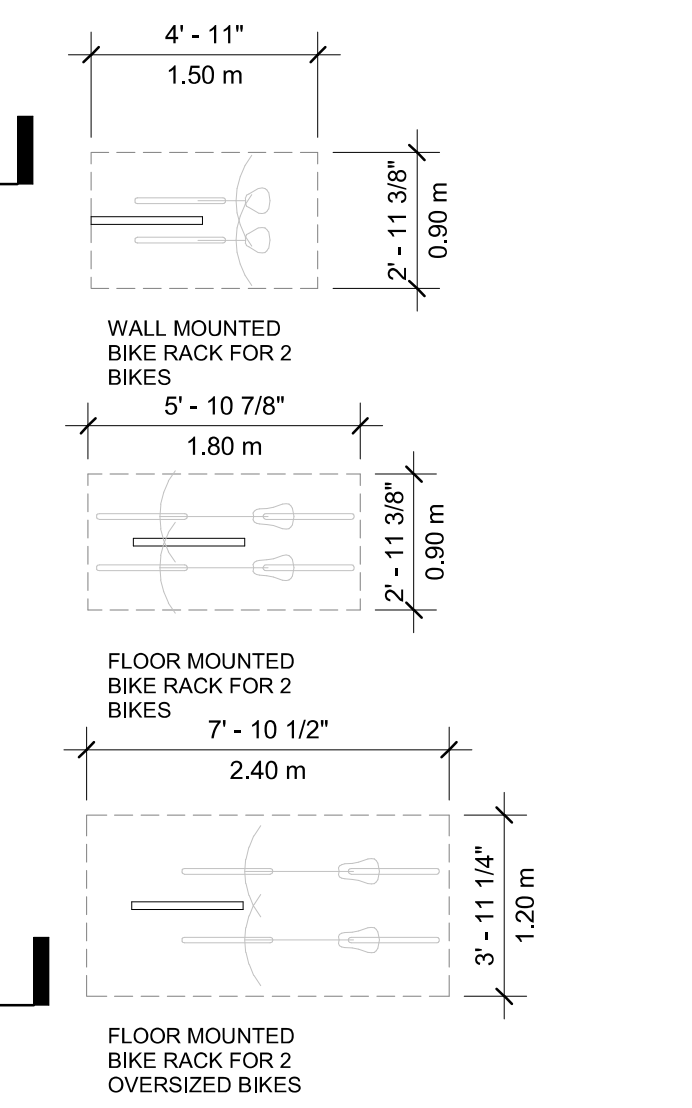
2 REGULAR SPACES
16 WIDE SPACES
2 VAN ACCESSIBLE SPACES
1 ACCESSIBLE SPACE

TOTAL RESIDENTIAL SPACES
5

TOTAL LONG TERM BICYCLE SPACES (P1 + P2)
229

RESIDENTIAL SPACES
172
(144 GROUND MOUNTED)
(22 GROUND MOUNTED OVERSIZED)
(6 WALL MOUNTED) (3%)

COMMERCIAL SPACES
4 GROUND MOUNTED



TYP. BIKE RACKS
SCALE: 1:50

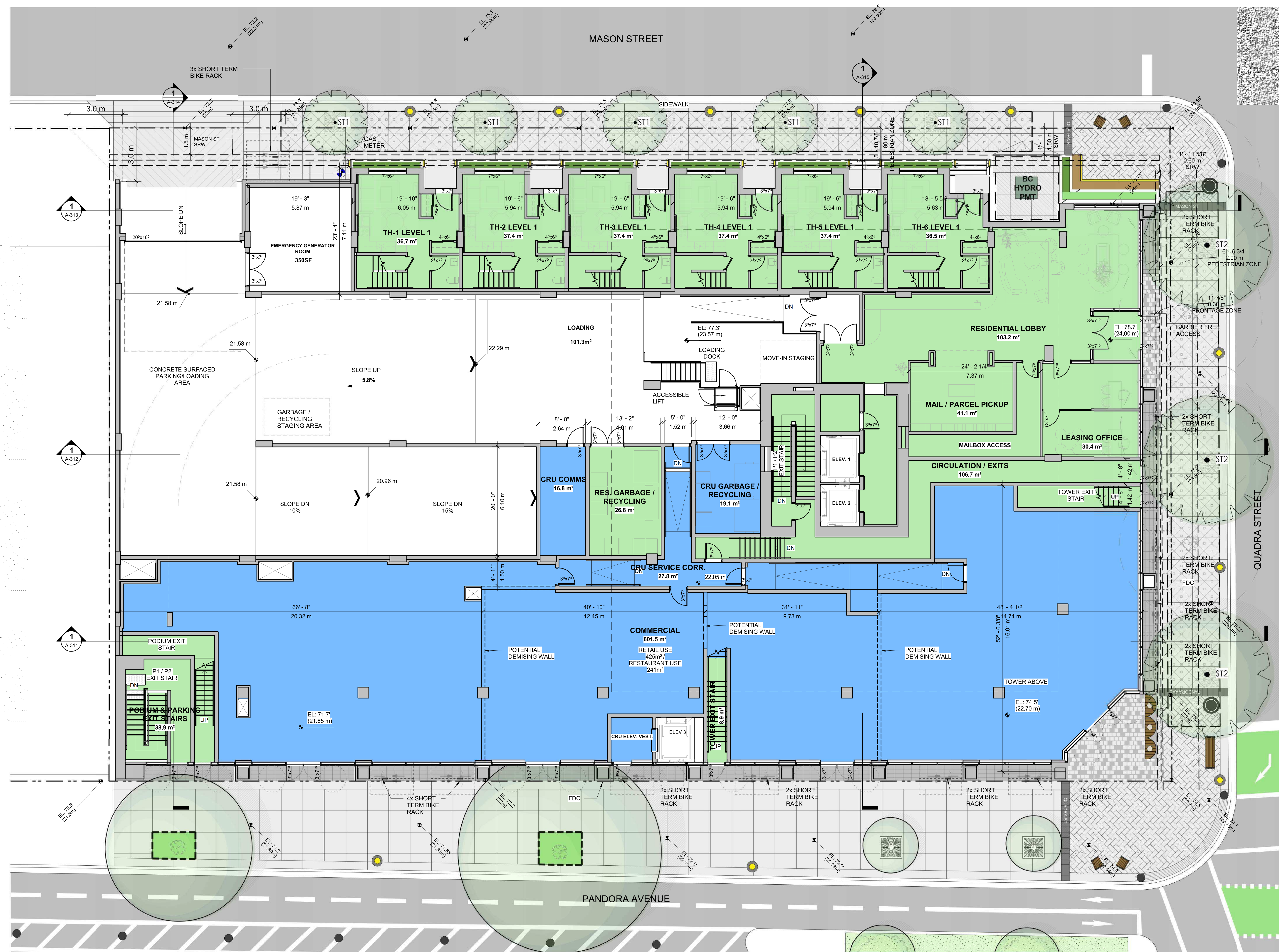
LEVEL P1 PLAN
SCALE: 1/8" = 1'-0"
0' 2' 5' 10' 20'

Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
LEVEL P1 PLAN

Drawing
Scale As indicated
Project 222011
Sheet **A-203**

All rights reserved, property of Musson Cattell Mackey Partnership. Use or reproduction prohibited without prior written permission.



NOTE:
BC HYDRO POLES FRONTING THE PROPERTY ALONG THE MASON STREET TO BE REMOVED AND LOCATED UNDERGROUND

LEVEL 1
TOTAL FLOOR AREA
13,390.3 SQ.FT. / 1,244m²

RESIDENTIAL AREA
6,149.5 SQ.FT. / 578.8m²

COMMERCIAL AREA
7,160.2 SQ.FT. / 665.2m²

TOTAL RESIDENTIAL UNITS
6 UNITS

6 TWO BEDROOM TOWNHOUSE

RESIDENTIAL AREA

COMMERCIAL AREA

1 LEVEL 1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
LEVEL 1 FLOOR PLAN

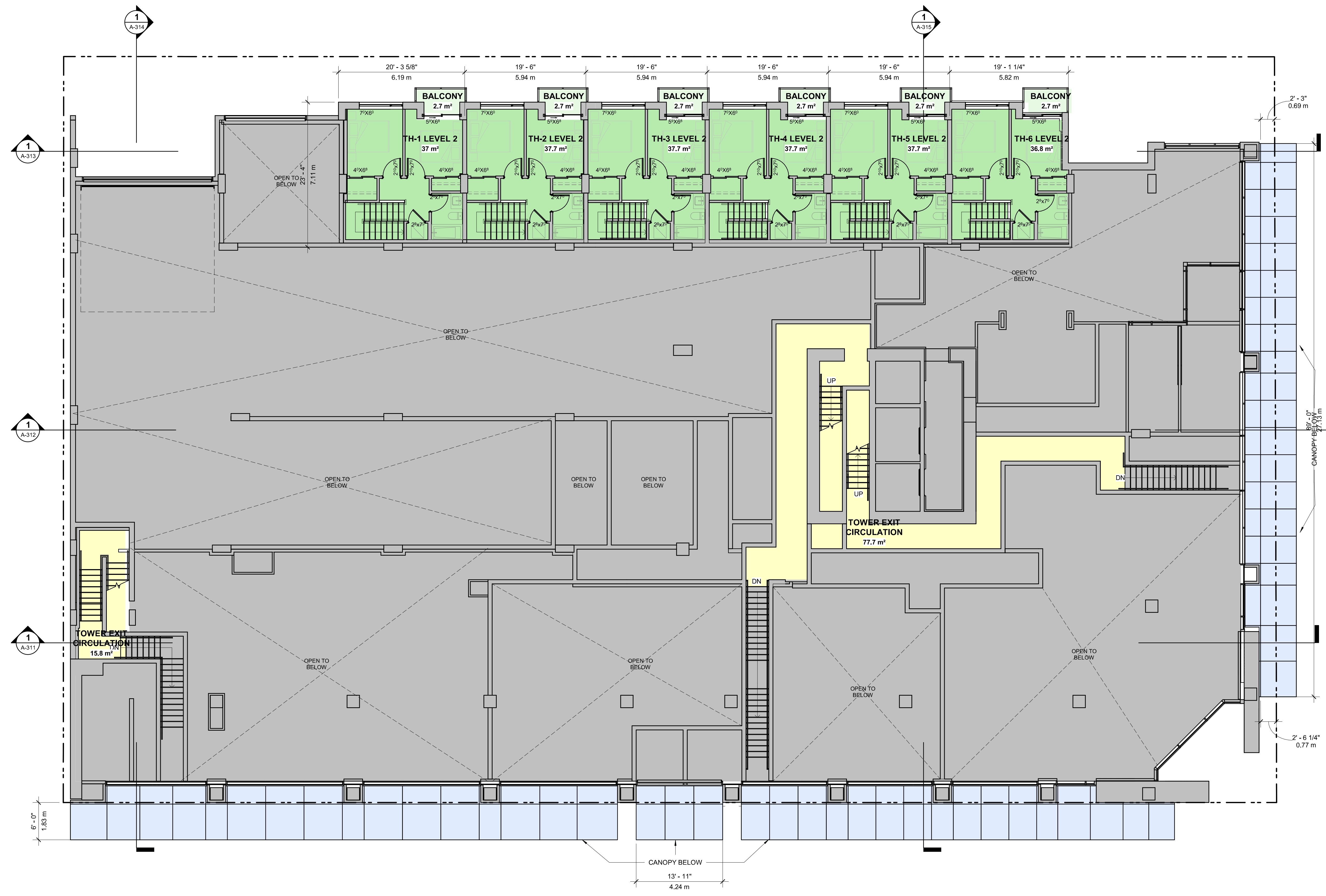
Drawing
Scale: As indicated

Project 222011
Sheet **A-204**

All rights reserved, property of Musson Cattell Mackey Partnership. Use or reproduction prohibited without prior written permission.



Revisions	YYYY-MM-DD
1 ISSUED FOR RZ/DP	2023-03-24
2 RE-ISSUED FOR RZ/DP	2023-05-19
4 RE-ISSUED FOR RZ/DP	2023-09-08



LEVEL 1 UPPER
TOTAL FLOOR AREA
 3,424 SQ.FT. / 318.1m²
TOWNHOUSE AREA
 2,417.6 SQ.FT. / 224.6m²
CIRCULATION AREA
 1,006.4 SQ.FT. / 93.5m²

- RESIDENTIAL SUITE
- RESIDENTIAL COMMON AREA / CIRCULATION
- EXTERIOR BALCONY

1 LEVEL 1 UPPER FLOOR PLAN
 SCALE: 1/8" = 1'-0"

Seal
 854-880
 PANDORA AVE.

854-880 Pandora Ave
 Victoria, BC
 Project
 LEVEL 1 UPPER

Drawing
 Scale As indicated
 Project 222011

All rights reserved, property of Musson Cattell Mackey Partnership. Use or reproduction prohibited without prior written permission.



LEVEL 2
TOTAL FLOOR AREA
 11,346.2 SQ.FT. / 1,054.1m²
SUITE AREA
 8,332.3 SQ.FT. / 774.1m²
AMENITY AREA
 1,474.7 SQ.FT. / 137m²
COMMON / CIRCULATION AREA
 1,539.2 SQ.FT. / 143m²
TOTAL UNITS
 14 UNITS
 1 THREE BEDROOM
 4 TWO BEDROOM
 1 ONE BEDROOM + DEN
 4 ONE BEDROOM
 4 STUDIO

- RESIDENTIAL SUITE
- RESIDENTIAL COMMON AREA / CIRCULATION
- EXTERIOR BALCONY

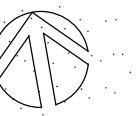
LEVEL 2 FLOOR PLAN
 SCALE: 1/8" = 1'-0"

Seal
 854-880
 PANDORA AVE.

854-880 Pandora Ave
 Victoria, BC
 Project
 LEVEL 2 FLOOR PLAN

Drawing
 Scale: As indicated
 Project: 222011
A-206
 Sheet

All rights reserved, property of Musson Cattell Mackey Partnership. Use or reproduction prohibited without prior written permission.



LEVEL 3
TOTAL FLOOR AREA (FSR)
 11,360.2 SQ.FT. / 1,055.4m²
SUITE AREA
 9,777.9 SQ.FT. / 908.4m²
COMMON / CIRCULATION AREA
 1,582.3 SQ.FT. / 147m²
TOTAL UNITS
 17 UNITS
 1 THREE BEDROOM
 4 TWO BEDROOM
 1 ONE BEDROOM + DEN
 6 ONE BEDROOM
 5 STUDIO

RESIDENTIAL SUITE
 RESIDENTIAL COMMON
 AREA / CIRCULATION
 EXTERIOR BALCONY



1 LEVEL 3 FLOOR PLAN
 SCALE: 1/8" = 1'-0"

Seal
 854-880
 PANDORA AVE.

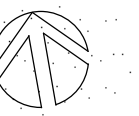
854-880 Pandora Ave
 Victoria, BC
 Project
 LEVEL 3 FLOOR PLAN

Drawing
 Scale As indicated

Project 222011

Sheet **A-207**

All rights reserved, property of Musson Cattell Mackey Partnership. Use or reproduction prohibited without prior written permission.



LEVEL 4 - 19
TOTAL FLOOR AREA (FSR)
6,293.7 SQ.FT. / 584.6m²

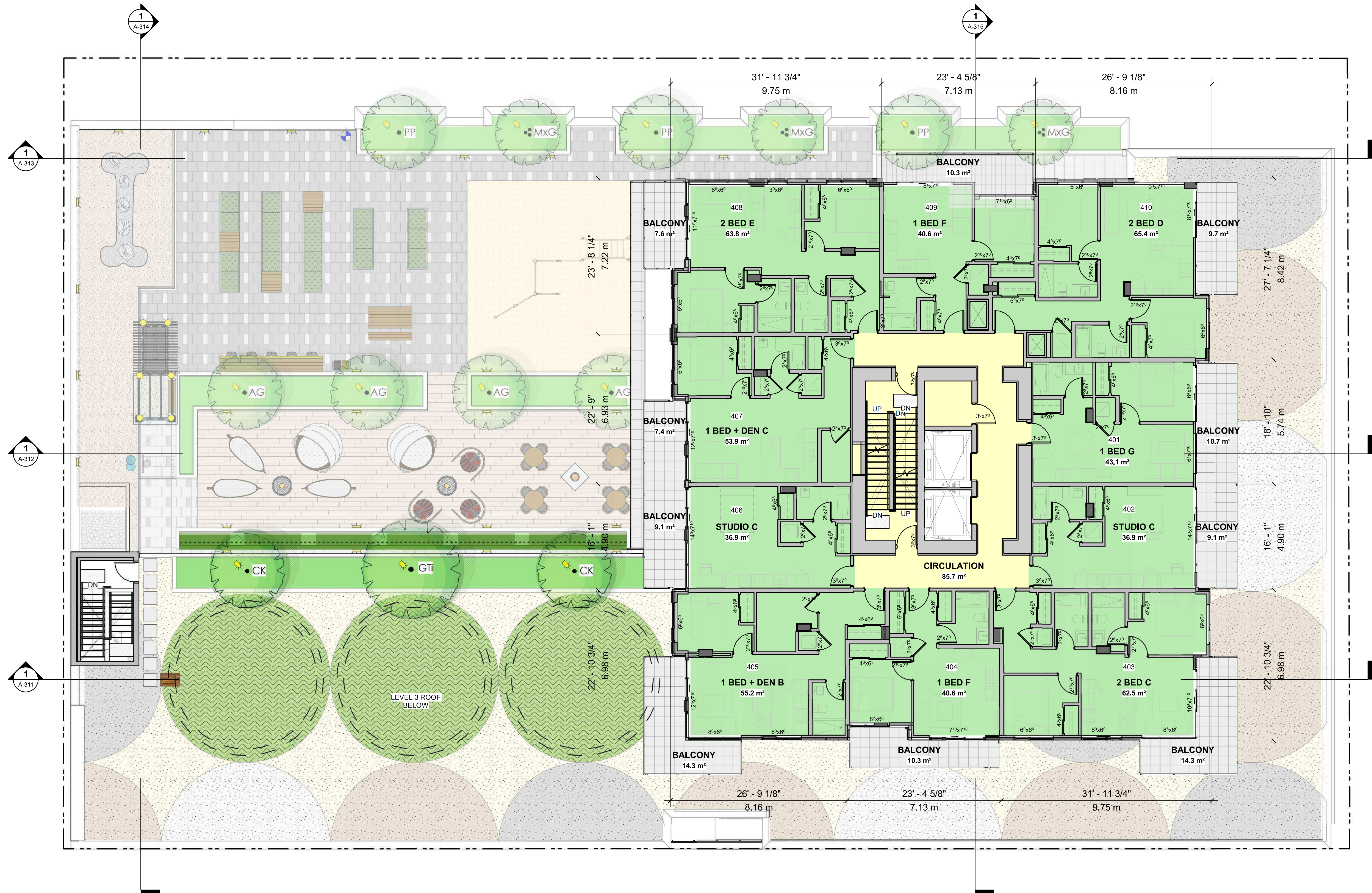
SUITE AREA
5,370.1 SQ.FT. / 498.9m²

CIRCULATION AREA
922.5 SQ.FT. / 85.7m²

TOTAL UNITS
10 UNITS

- 3 TWO BEDROOM
- 2 ONE BEDROOM + DEN
- 3 ONE BEDROOM
- 2 STUDIO

- RESIDENTIAL SUITE
- RESIDENTIAL COMMON AREA / CIRCULATION
- EXTERIOR BALCONY



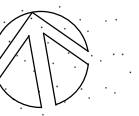
1 A023 TYPICAL TOWER FLOOR PLAN (4-19)

SCALE: 1/8" = 1'-0"

Seal
854-880
PANDORA AVE.

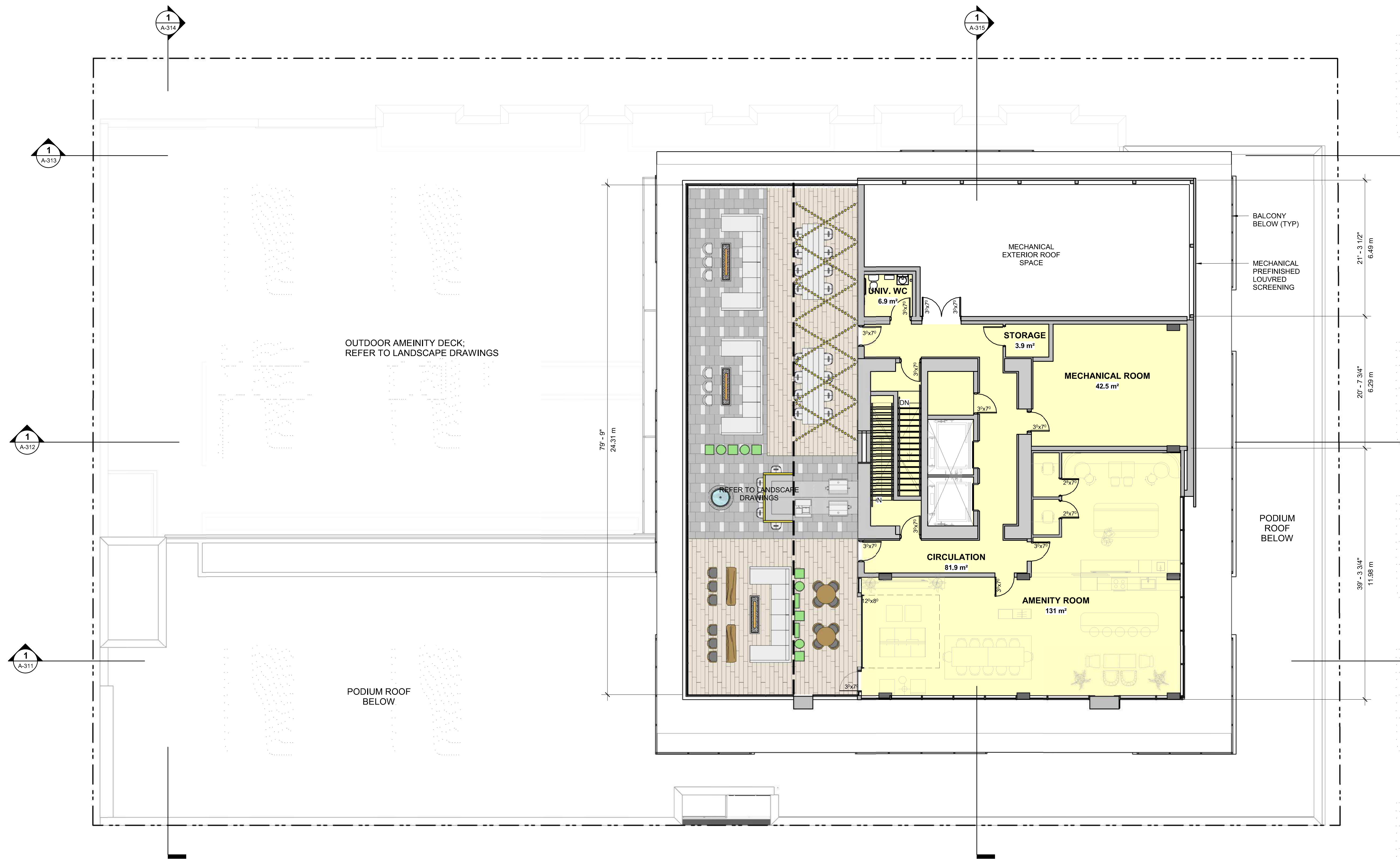
854-880 Pandora Ave
Victoria, BC
Project
TYPICAL TOWER
LEVEL PLAN

Drawing
Scale: As indicated
Project: 222011



LEVEL 14 (ROOF DECK)
TOTAL FLOOR AREA
 2,865.4 SQ.FT. / 266.2m²
AMENITY AREA
 1,409.9 SQ.FT. / 131m²
CIRCULATION AREA
 997.8 SQ.FT. / 92.7m²
MECHANICAL ROOM
 457.7 SQ.FT. / 42.5m²

RESIDENTIAL COMMON
AREA / CIRCULATION



1 LEVEL 20 AMENITY ROOF PLAN
 SCALE: 1/8" = 1'-0"

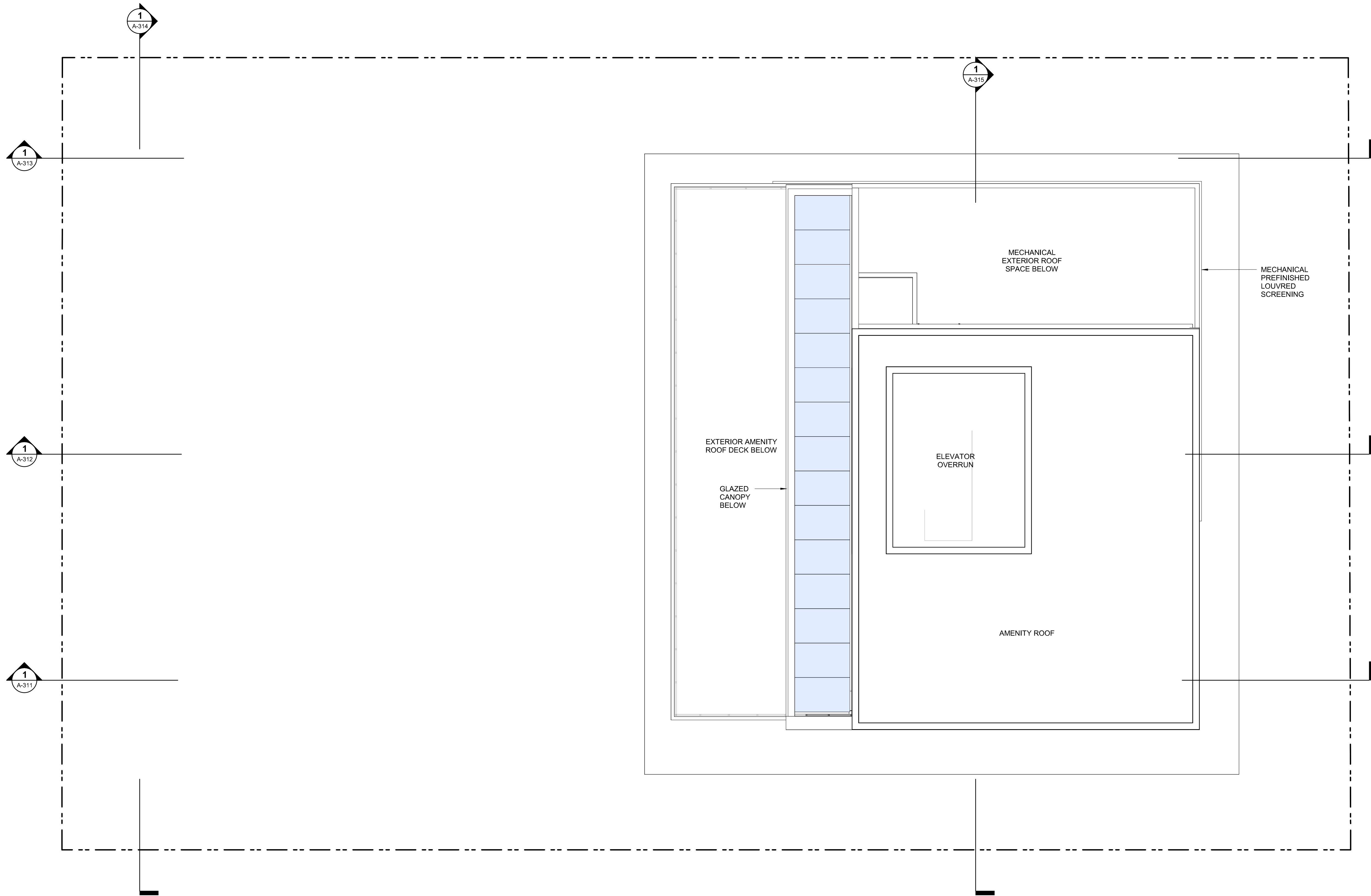
Seal
 854-880
 PANDORA AVE.

854-880 Pandora Ave
 Victoria, BC
 Project
 ROOF DECK PLAN

Drawing
 Scale: As indicated
 Project 222011



Revisions	YYYY-MM-DD
1 ISSUED FOR RZ/DP	2023-03-24
2 RE-ISSUED FOR RZ/DP	2023-05-19
4 RE-ISSUED FOR RZ/DP	2023-09-08



1 ROOF PLAN / ELEVATOR OVERRUN PLAN

A301 SCALE: 1/8" = 1'-0"

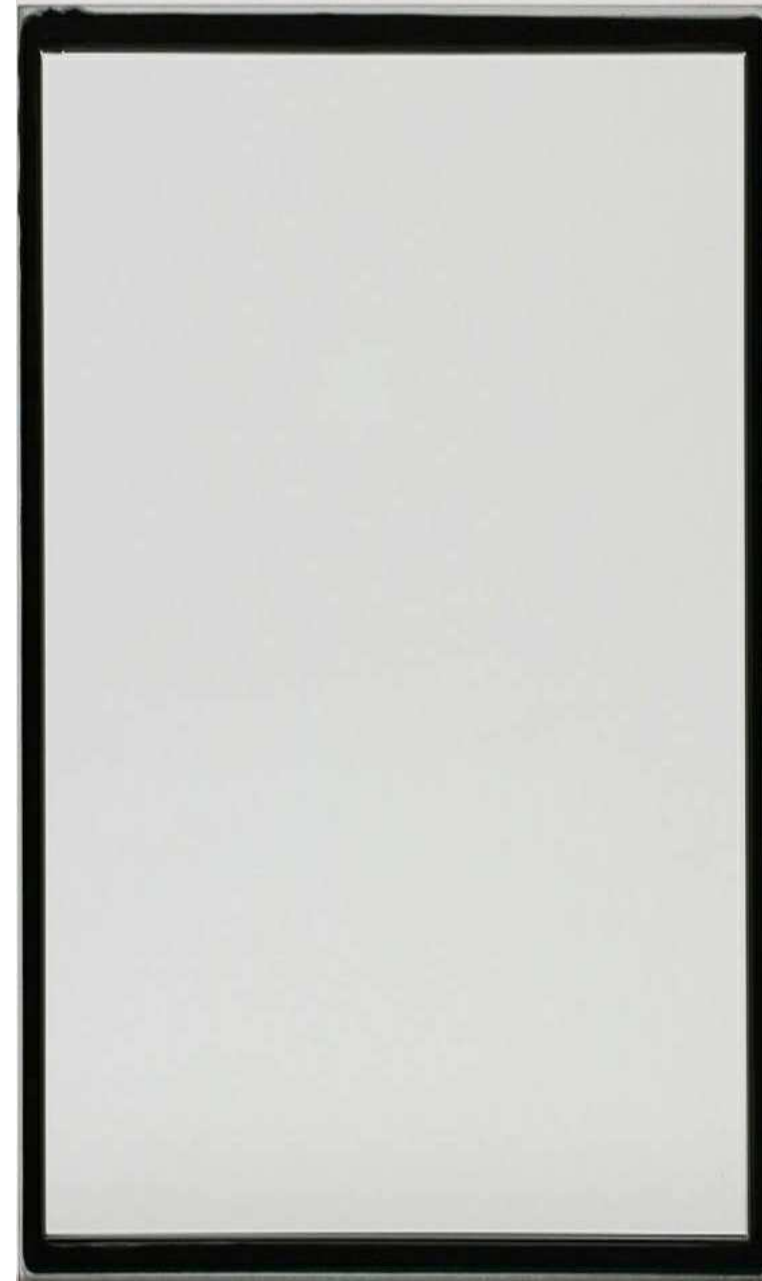
Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
ROOF PLAN /
ELEVATOR OVERRUN

Drawing
Scale 1/8" = 1'-0"
Project 222011

Sheet **A-210**

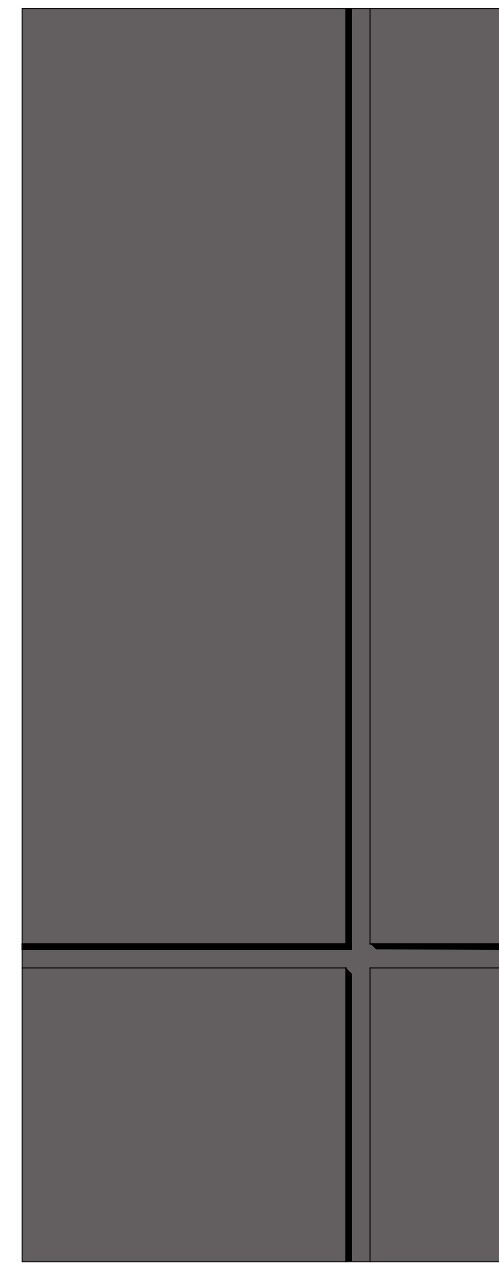
TOWER LEVELS



CLEAR GLASS
LOW REFLECTIVITY



BLACK MULLIONS

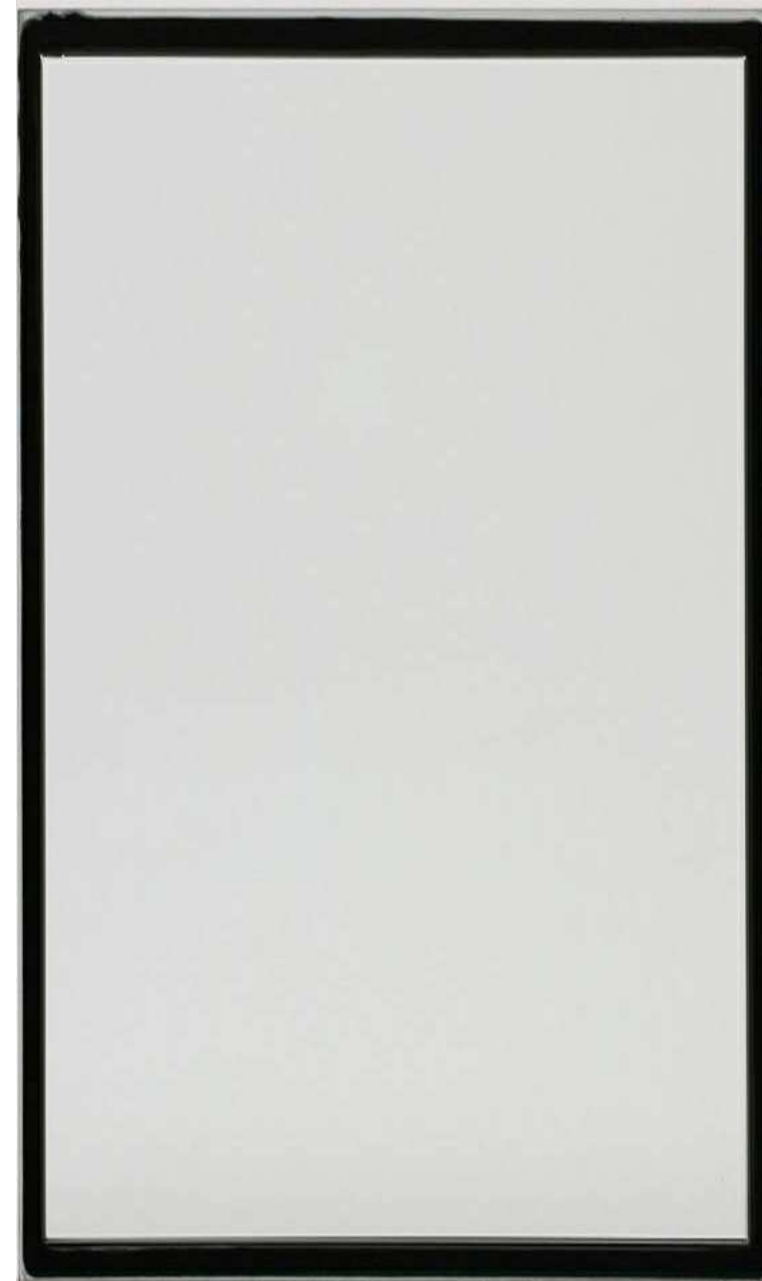


GREY SPANDREL PANEL

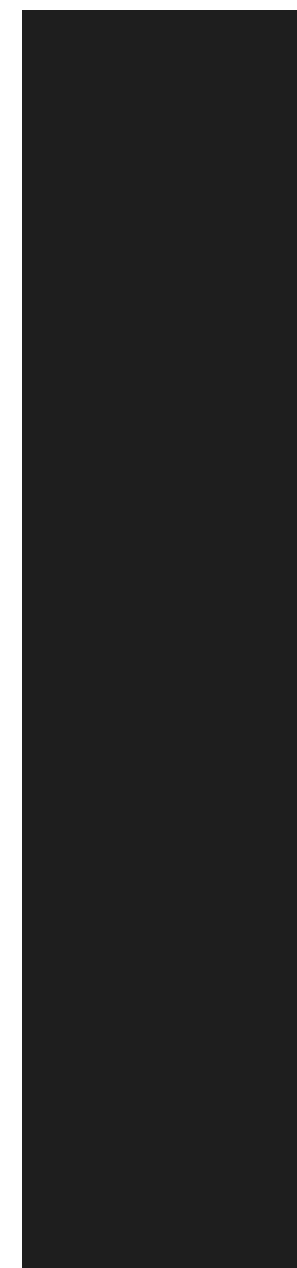


DARK CHARCOAL RAISED
METAL PANEL

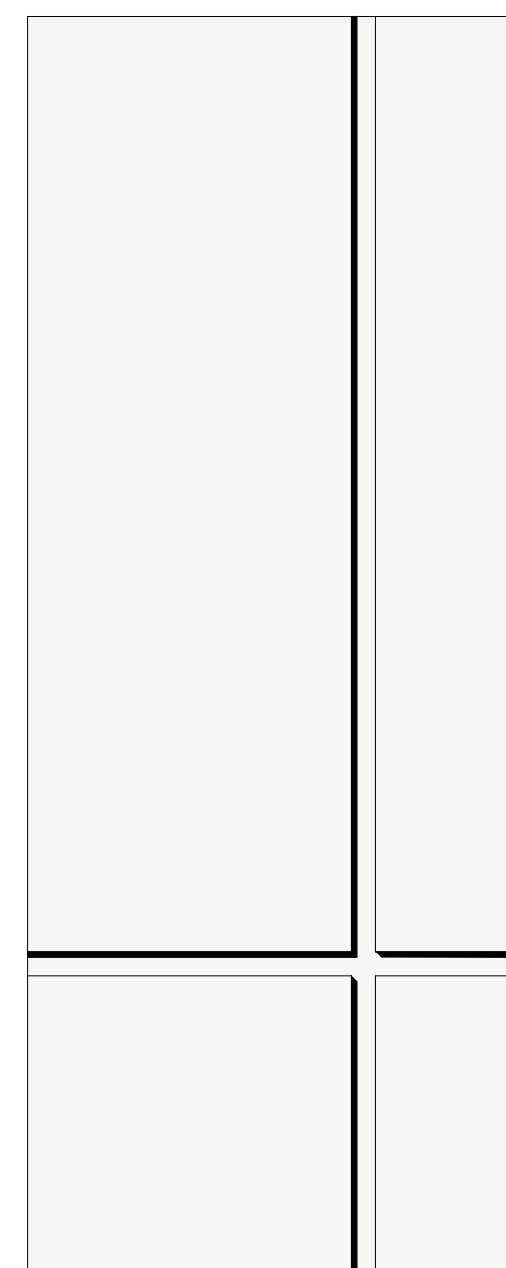
PODIUM LEVELS



CLEAR GLASS
LOW REFLECTIVITY

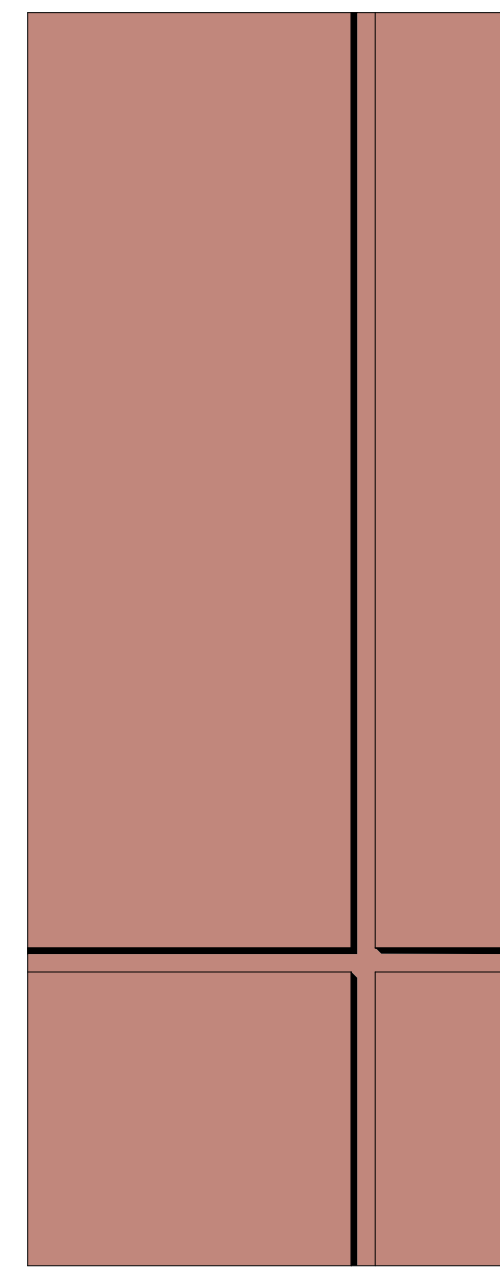


BLACK MULLIONS

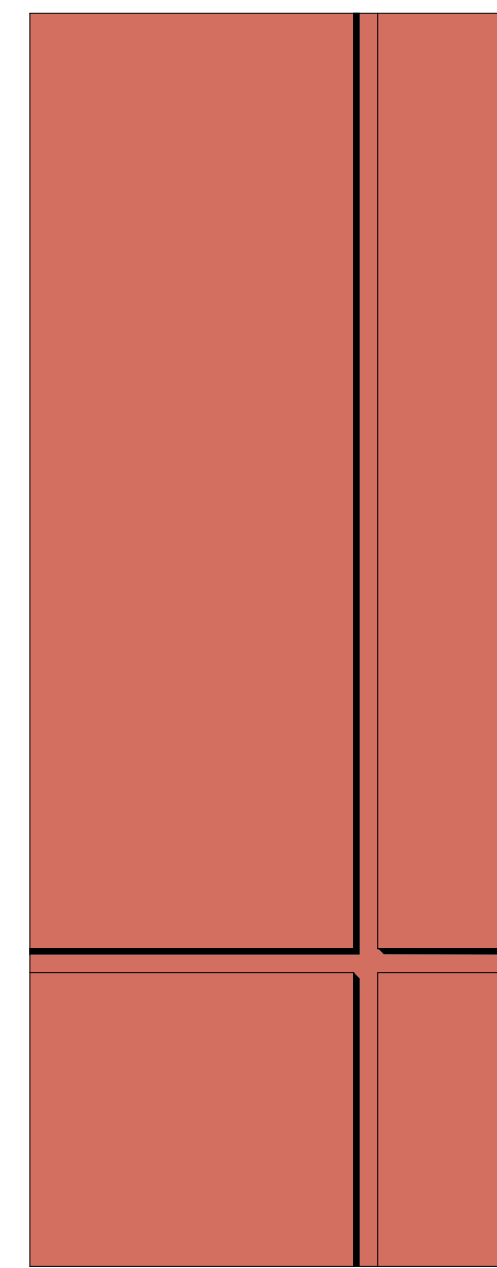


WINDOW WALL
METAL PANEL - WHITE

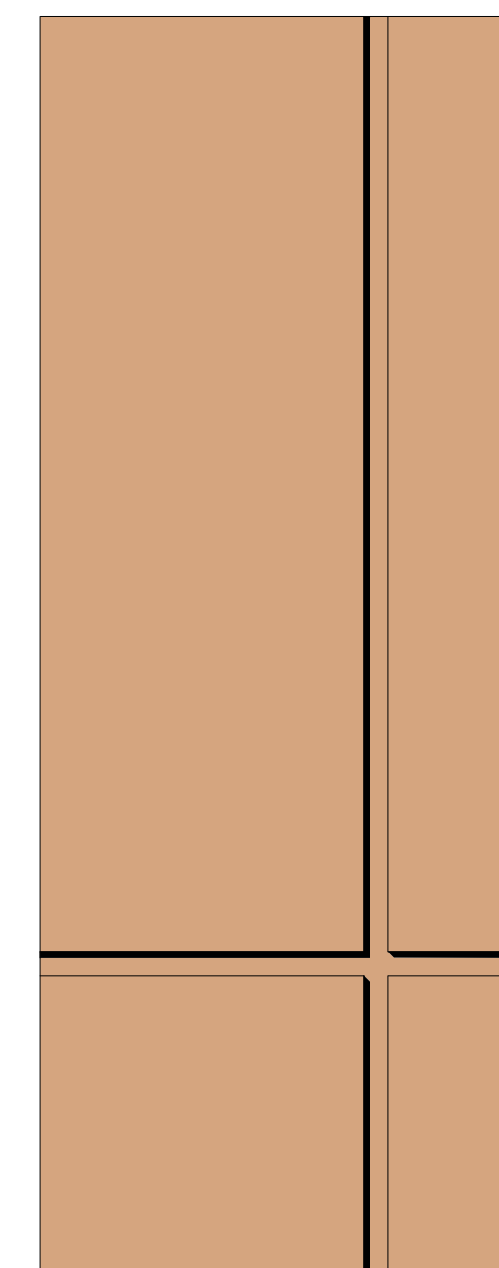
TOWNHOUSE EXTERIOR



WINDOW WALL
METAL PANEL -
TERRACOTTA (LIGHT RED)



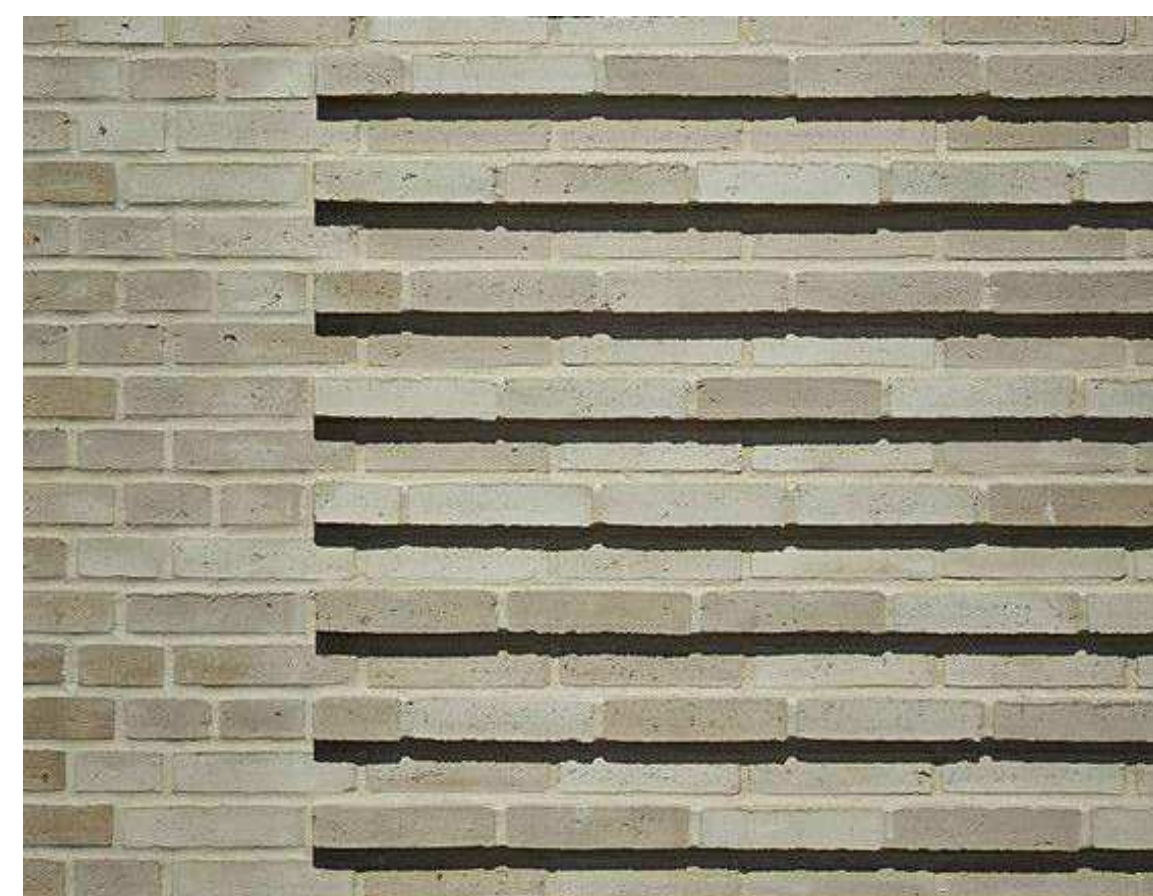
WINDOW WALL
METAL PANEL - RED



WINDOW WALL
METAL PANEL - BROWN



LIGHT COLOURED BRICK



HORIZONTAL BRICK REVEAL DETAILING

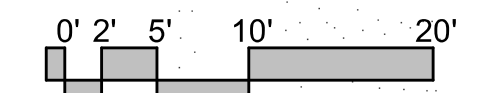
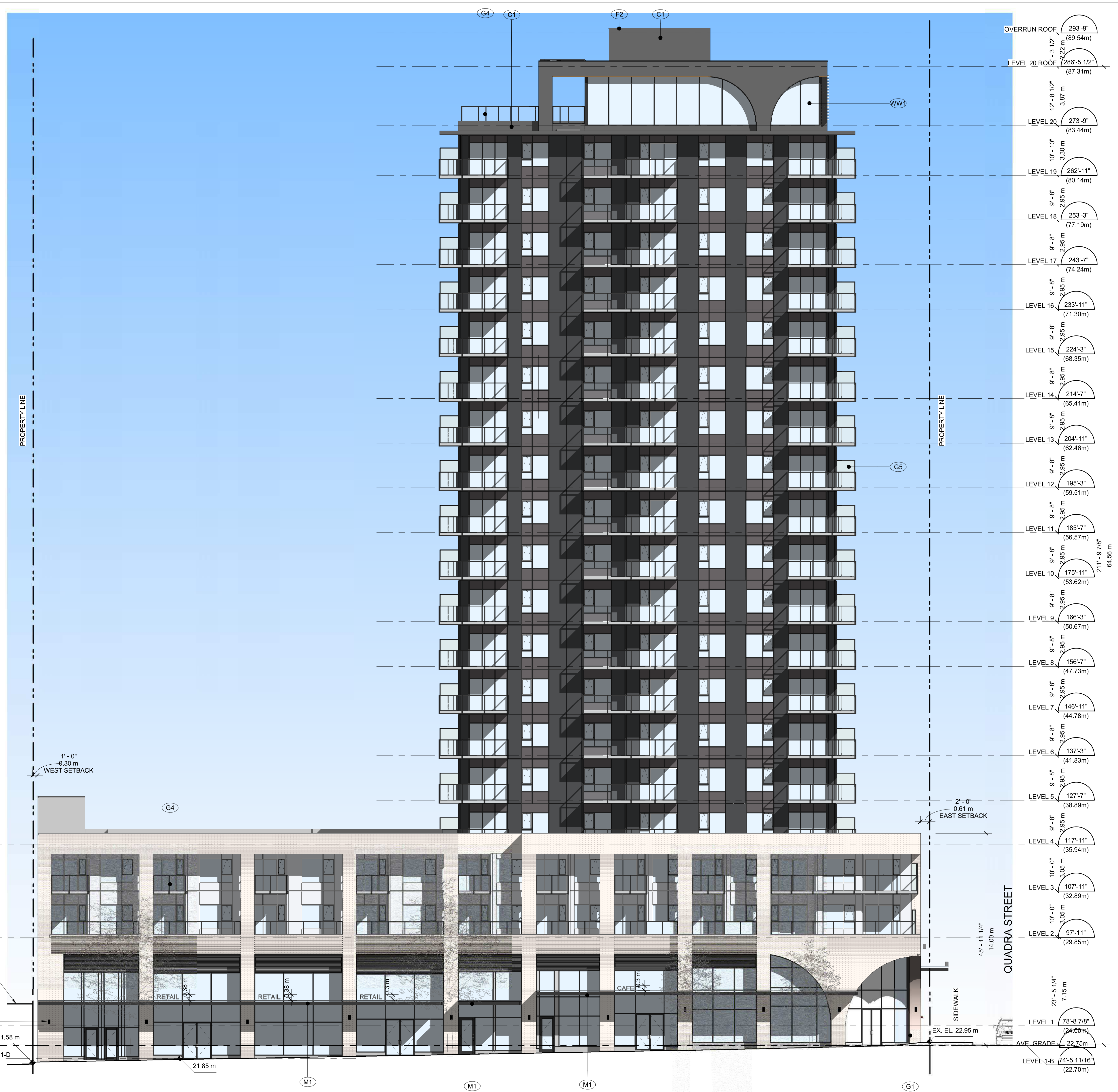


METAL PANEL SOFFIT - WHITE OAK



BLACK PAINTED STEEL CANOPY
W/ LAMINATED GLAZING

MATERIAL LEGEND	
B1	RUNNING BOND BRICK; COLOUR: LIGHT BEIGE
B2	BRICK REVEAL; COLOUR: LIGHT BEIGE
C1	PAINTED CONCRETE; COLOUR: CHARCOAL
F2	PREFINISHED METAL FLASHING; COLOUR: CHARCOAL
G1	DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY)
G3	PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)
G4	GUARDRAIL GLASS; CLEAR/LAMINATED
G5	LAMINATED PRIVACY SCREEN; FROSTED
M1	STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK
M2	ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY
M3	PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE
WW1	DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)
WW3	METAL PANEL WINDOW WALL; COLOUR: RED
WW4	METAL PANEL WINDOW WALL; COLOUR: LIGHT RED
WW5	METAL PANEL WINDOW WALL; COLOUR: BROWN



1 SOUTH ELEVATION
SCALE: 1:125

ADJACENT 1 STOREY COMMERCIAL BUILDING
EXTERIOR COLUMN LIGHTING
EX. EL. 21.58 m

71'-8 1/4" LEVEL 1-D (21.85m)

G4

1'-0" WEST SETBACK
0.30 m

2'-0" EAST SETBACK
0.61 m

QUADRA STREET
14.00 m
45'-11 1/4" 14.00 m

23'-5 1/4" 7.15 m

EX. EL. 22.95 m

78'-8 7/8" (24.00m)

AVE. GRADE 22.75m

LEVEL 1-B 74'-5 11/16" (22.70m)

LEVEL 1 78'-8 7/8" (24.00m)

LEVEL 2 97'-11" (29.85m)

LEVEL 3 107'-11" (32.89m)

LEVEL 4 117'-11" (35.94m)

LEVEL 5 127'-7" (38.89m)

LEVEL 6 137'-3" (41.83m)

LEVEL 7 146'-11" (44.78m)

LEVEL 8 156'-7" (47.73m)

LEVEL 9 166'-3" (50.67m)

LEVEL 10 175'-11" (53.62m)

LEVEL 11 185'-7" (56.57m)

LEVEL 12 195'-3" (59.51m)

LEVEL 13 204'-11" (62.46m)

LEVEL 14 214'-7" (65.41m)

LEVEL 15 224'-3" (68.35m)

LEVEL 16 233'-11" (71.30m)

LEVEL 17 243'-7" (74.24m)

LEVEL 18 253'-3" (77.19m)

LEVEL 19 262'-11" (80.14m)

LEVEL 20 273'-9" (83.44m)

LEVEL 20 ROOF 286'-5 1/2" (87.31m)

OVERRUN ROOF 293'-9" (89.54m)

3.87 m

12'-8 1/2" 3.87 m

10'-10" 3.30 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

9'-8" 2.95 m

MATERIAL LEGEND	
B1	RUNNING BOND BRICK; COLOUR: LIGHT BEIGE
B2	BRICK REVEAL; COLOUR: LIGHT BEIGE
C1	PAINTED CONCRETE; COLOUR: CHARCOAL
F2	PREFINISHED METAL FLASHING; COLOUR: CHARCOAL
G1	DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY)
G3	PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)
G4	GUARDRAIL GLASS; CLEAR-LAMINATED
G5	LAMINATED PRIVACY SCREEN; FROSTED
M1	STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK
M2	ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY
M3	PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE
WW1	DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)
WW3	METAL PANEL WINDOW WALL; COLOUR: RED
WW4	METAL PANEL WINDOW WALL; COLOUR: LIGHT RED
WW5	METAL PANEL WINDOW WALL; COLOUR: BROWN



1 EAST ELEVATION
SCALE: 1 : 125

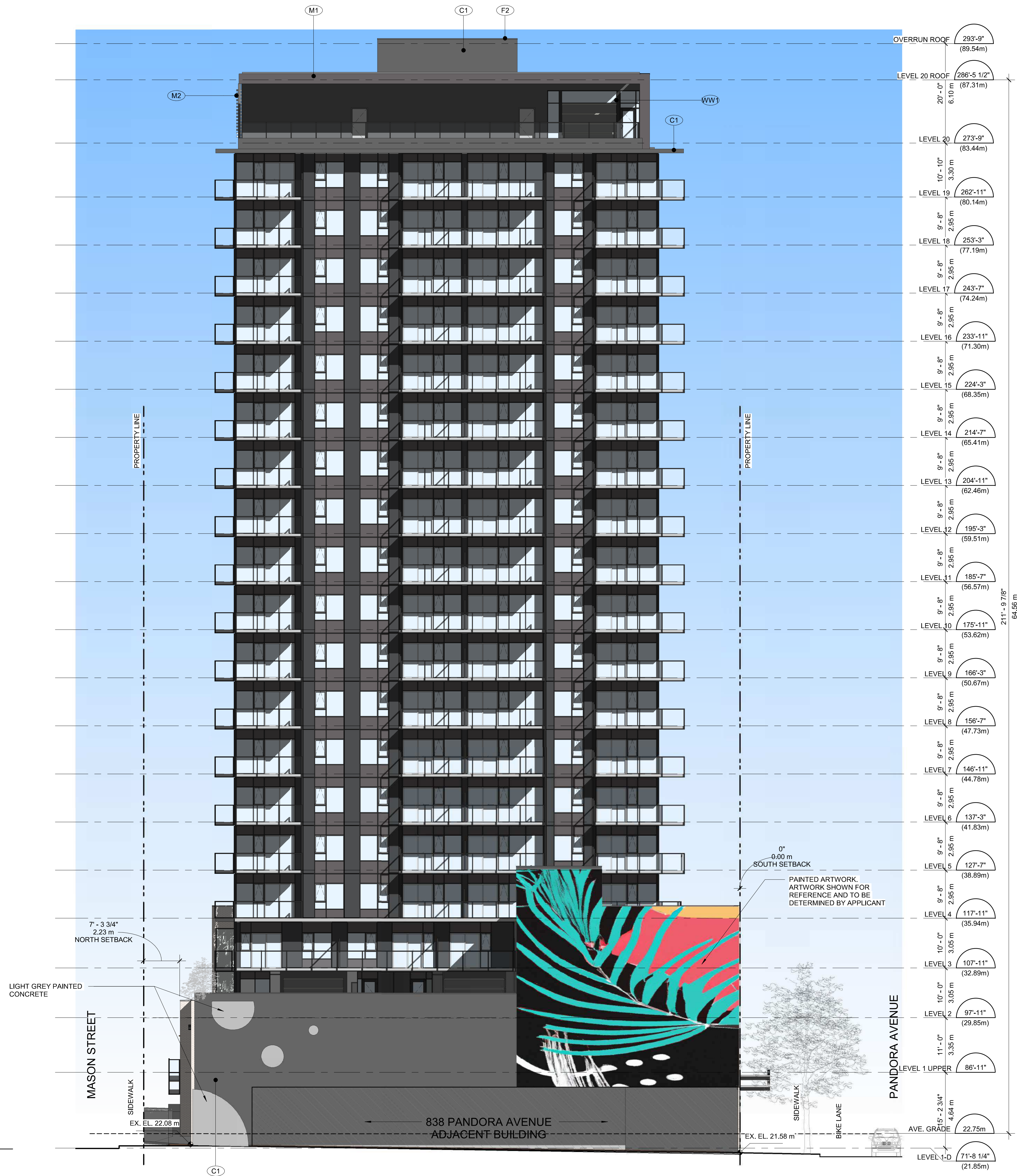
MATERIAL LEGEND	
B1	RUNNING BOND BRICK; COLOUR: LIGHT BEIGE
B2	BRICK REVEAL; COLOUR: LIGHT BEIGE
C1	PAINTED CONCRETE; COLOUR: CHARCOAL
F2	PREFINISHED METAL FLASHING; COLOUR: CHARCOAL
G1	DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY)
G3	PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)
G4	GUARDRAIL GLASS; CLEAR-LAMINATED
G5	LAMINATED PRIVACY SCREEN; FROSTED
M1	STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK
M2	ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY
M3	PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE
WW1	DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)
WW3	METAL PANEL WINDOW WALL; COLOUR: RED
WW4	METAL PANEL WINDOW WALL; COLOUR: LIGHT RED
WW5	METAL PANEL WINDOW WALL; COLOUR: BROWN



1 NORTH ELEVATION

SCALE: 1:125

MATERIAL LEGEND	
B1	RUNNING BOND BRICK; COLOUR: LIGHT BEIGE
B2	BRICK REVEAL; COLOUR: LIGHT BEIGE
C1	PAINTED CONCRETE; COLOUR: CHARCOAL
F2	PREFINISHED METAL FLASHING; COLOUR: CHARCOAL
G1	DOUBLE GLAZED STOREFRONT GLAZING; DARK FRAME; CLEAR (LOW REFLECTIVITY)
G3	PUNCHED WINDOW; CLEAR (LOW REFLECTIVITY)
G4	GUARDRAIL GLASS; CLEAR-LAMINATED
G5	LAMINATED PRIVACY SCREEN; FROSTED
M1	STEEL CANOPY W/ LAMINATED GLAZING; COLOUR: DARK
M2	ROOF MECHANICAL LOUVRE; COLOUR: LIGHT GREY
M3	PREFINISHED METAL PICKET GUARDRAIL; COLOUR: WHITE
WW1	DOUBLE GLAZED WINDOW WALL; DARK FRAME; CLEAR (LOW REFLECTIVITY)
WW3	METAL PANEL WINDOW WALL; COLOUR: RED
WW4	METAL PANEL WINDOW WALL; COLOUR: LIGHT RED
WW5	METAL PANEL WINDOW WALL; COLOUR: BROWN



1 WEST ELEVATION
SCALE: 1:125

Seal
854-880
PANDORA AVE.

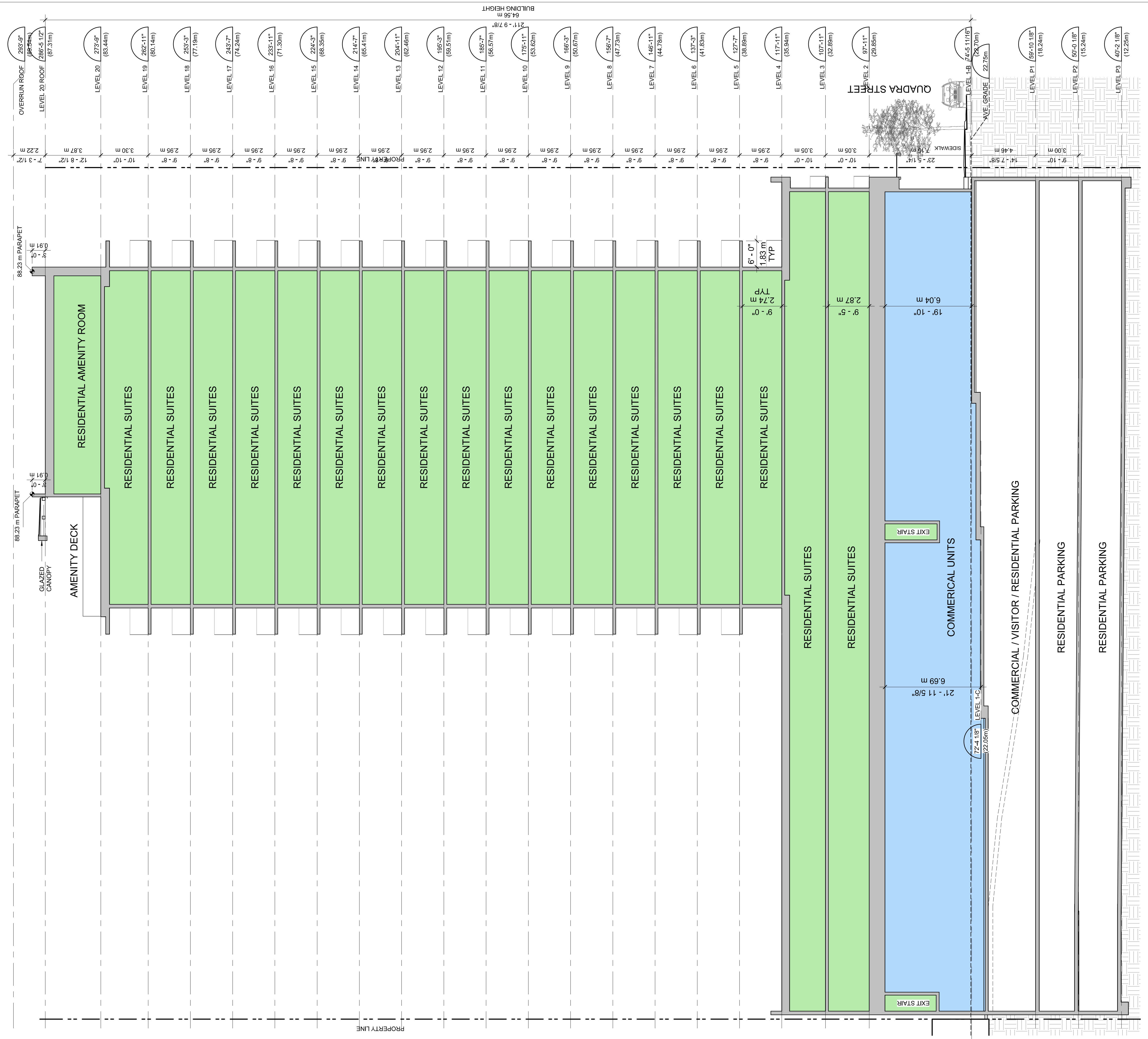
854-880 Pandora Ave
Victoria, BC
Project
WEST ELEVATION

Drawing
Scale: 1:125

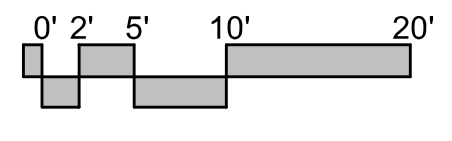
Project 222011

Sheet A-304

Revisions	YYYY-MM-DD
1 ISSUED FOR RZ/DP	2023-03-24
2 RE-ISSUED FOR RZ/DP	2023-05-19
4 RE-ISSUED FOR RZ/DP	2023-09-08



SECTION A-A
SCALE: 1:125

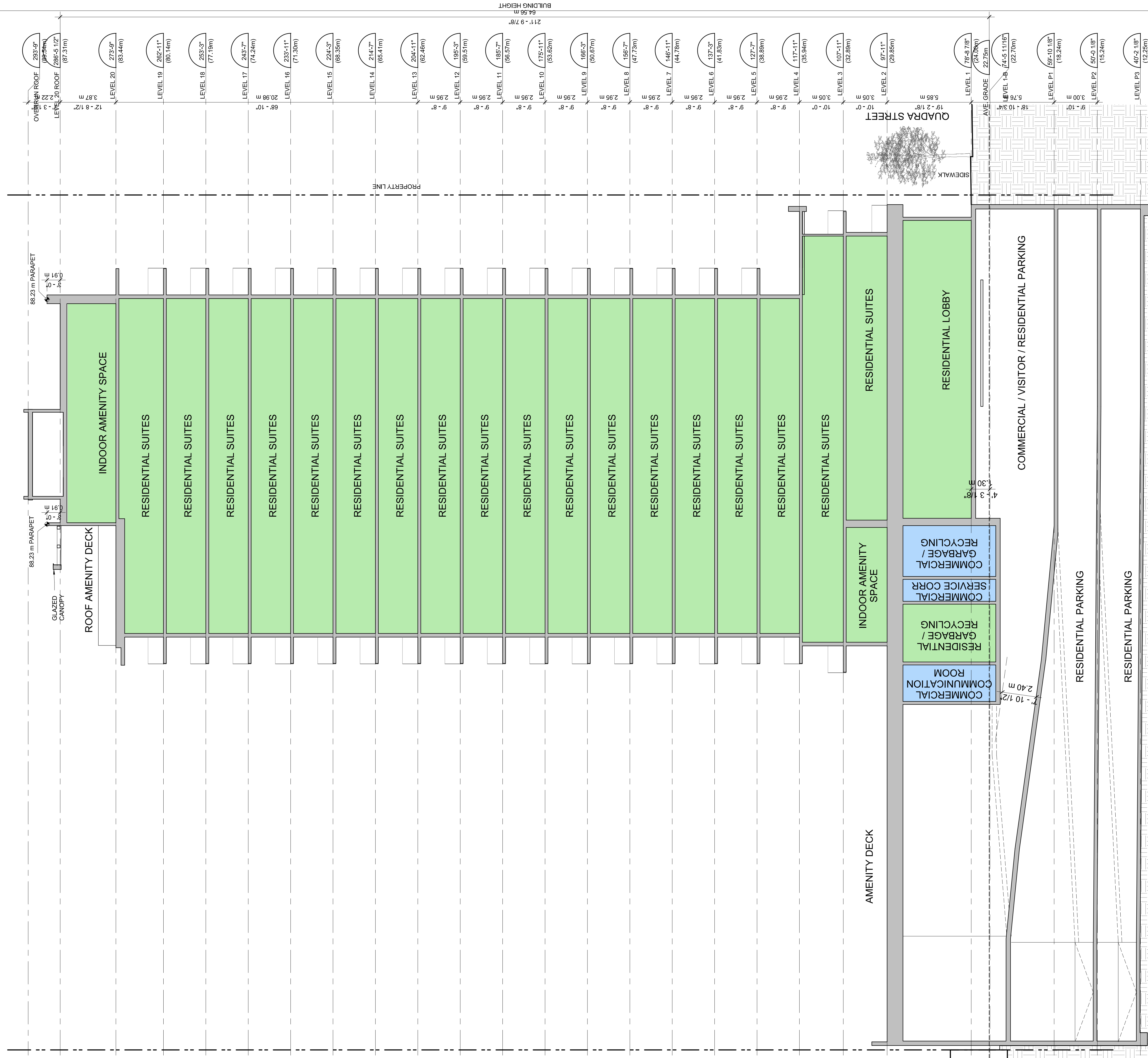


All rights reserved, property of Musson Cattell Mackey Partnership. Use or reproduction prohibited without prior written permission.

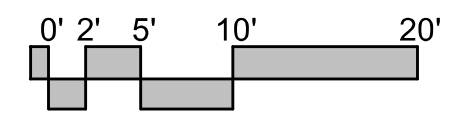
Seal
854-880
PANDORA AVE.

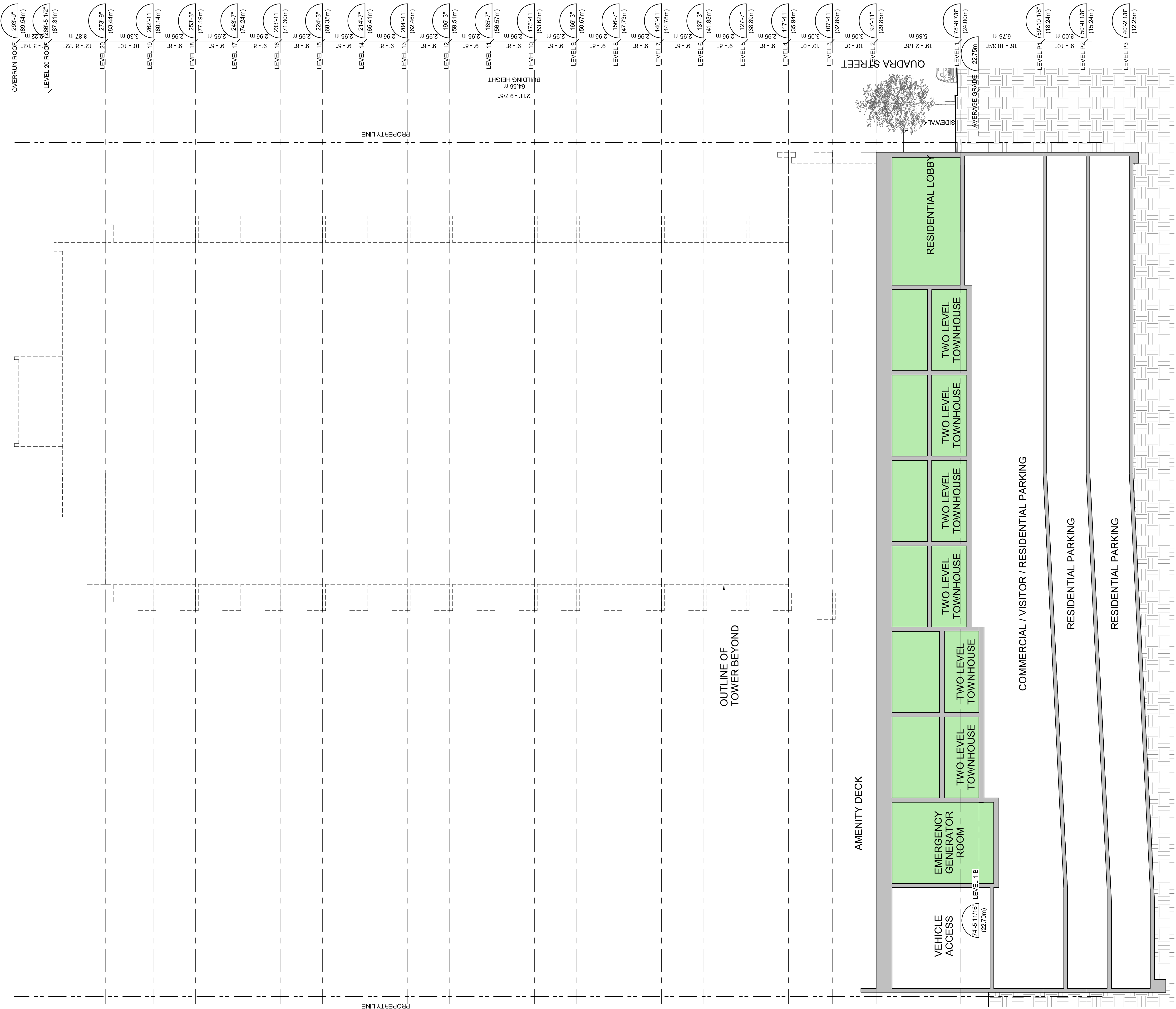
854-880 Pandora Ave
Victoria, BC
Project
BUILDING SECTION

Drawing
Scale 1:125
Project 222011

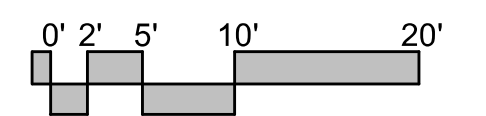


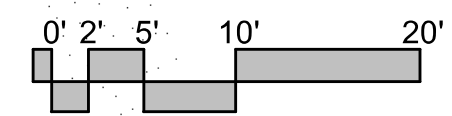
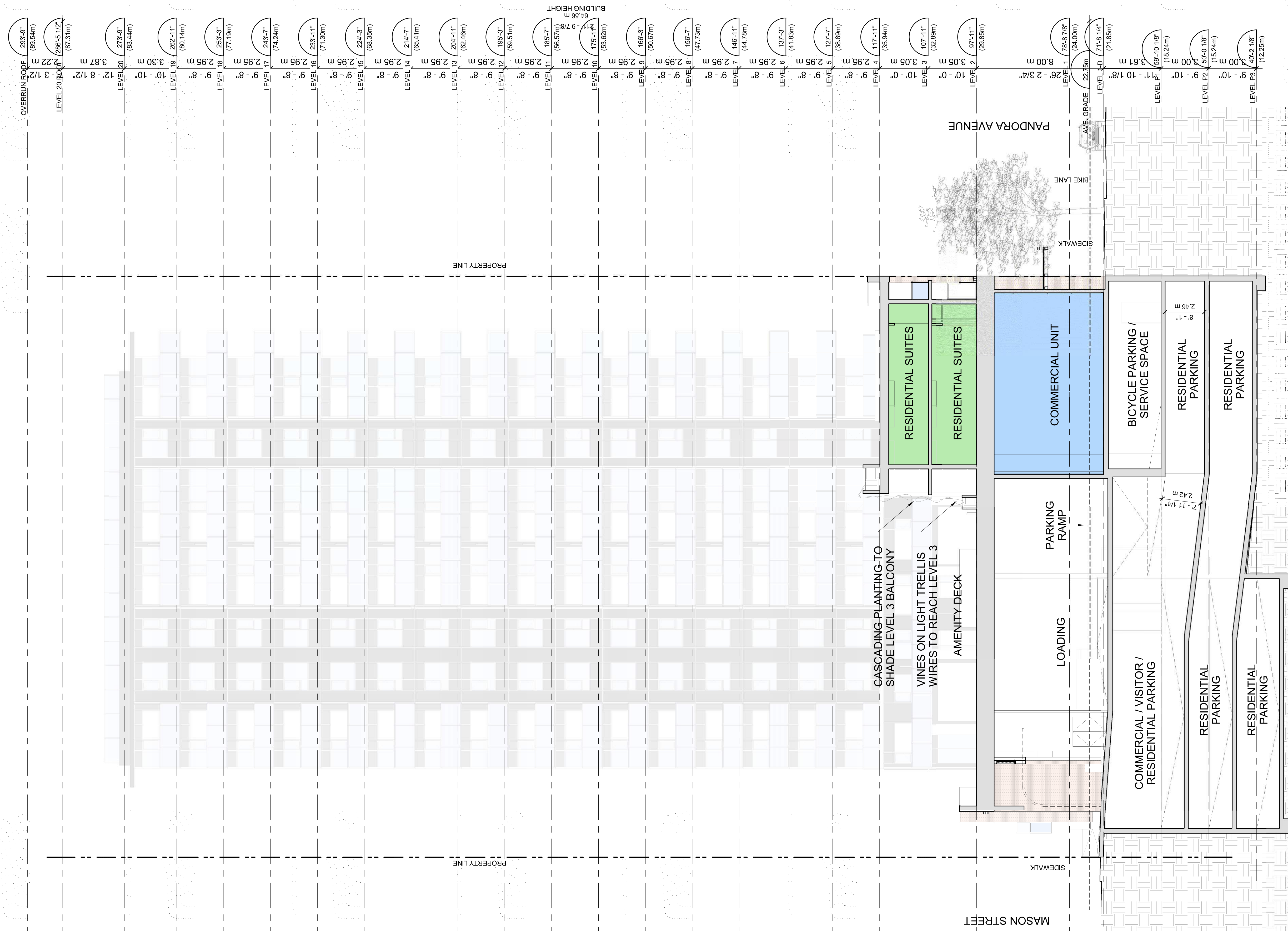
1 SECTION B-B
SCALE: 1 : 125





1 SECTION C-C
SCALE: 1" = 125'

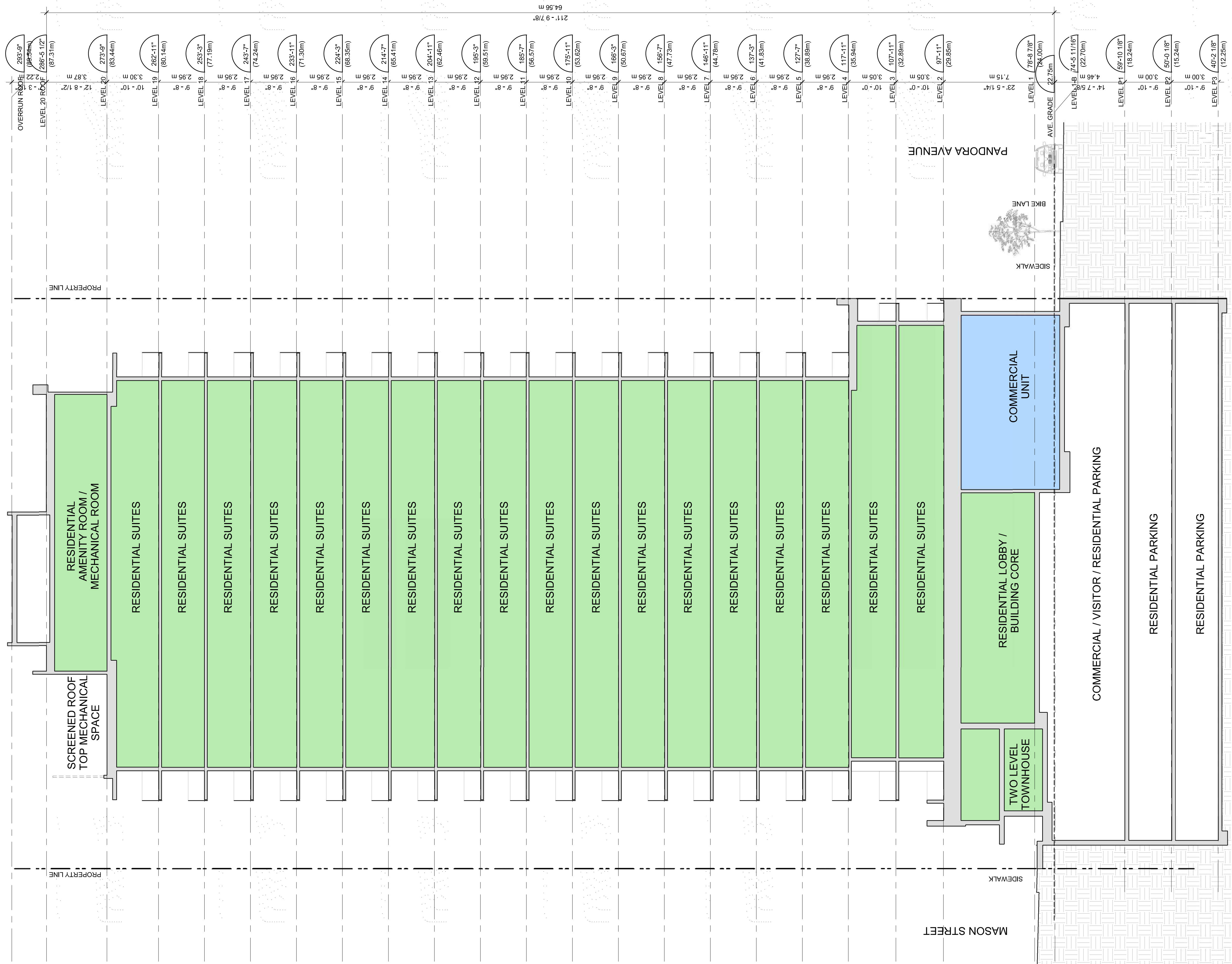




SECTION D-D

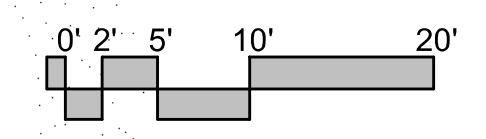
SCALE: 1" = 125'

1



SECTION E-E
SCALE: 1:125

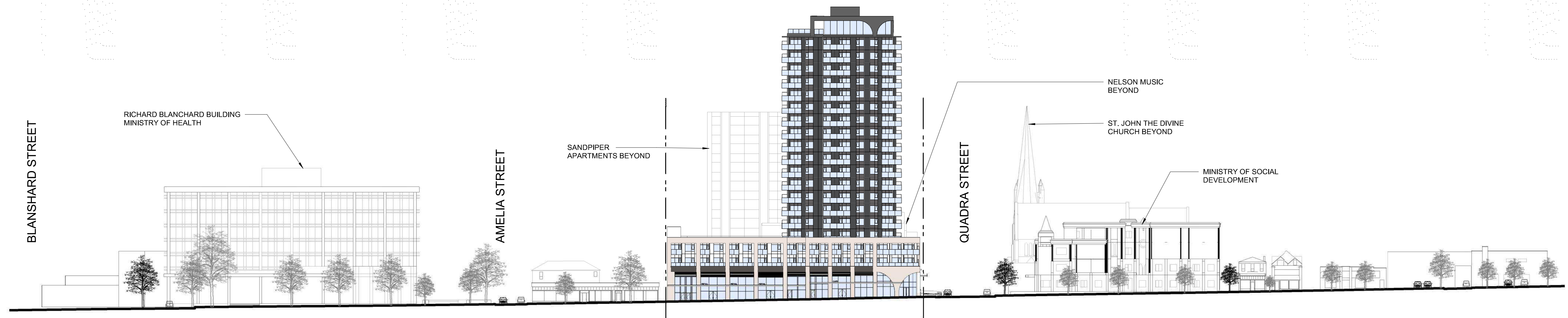
1
A-315



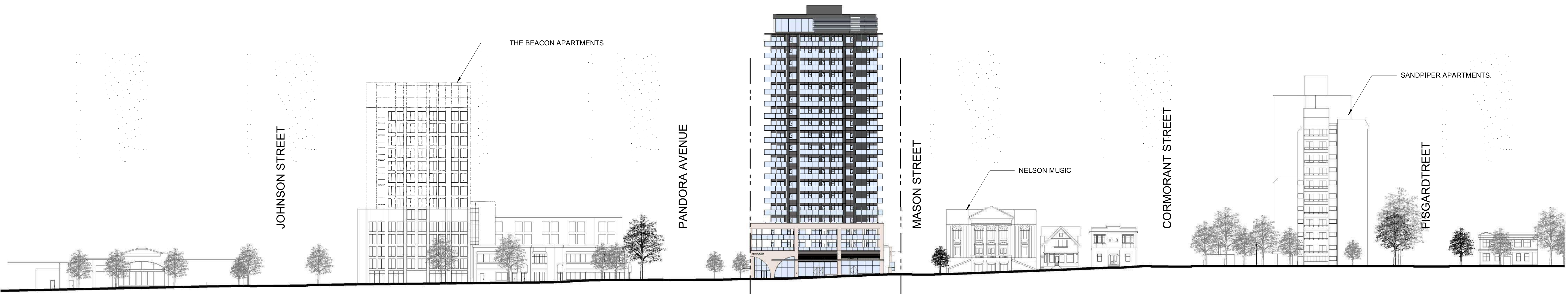
Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
BUILDING SECTION

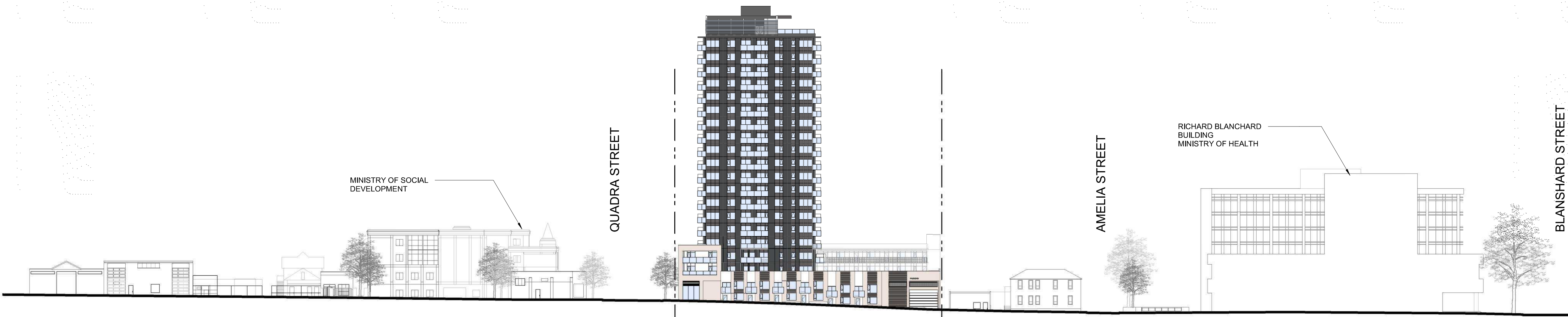
Drawing
Scale 1:125
Project 222011



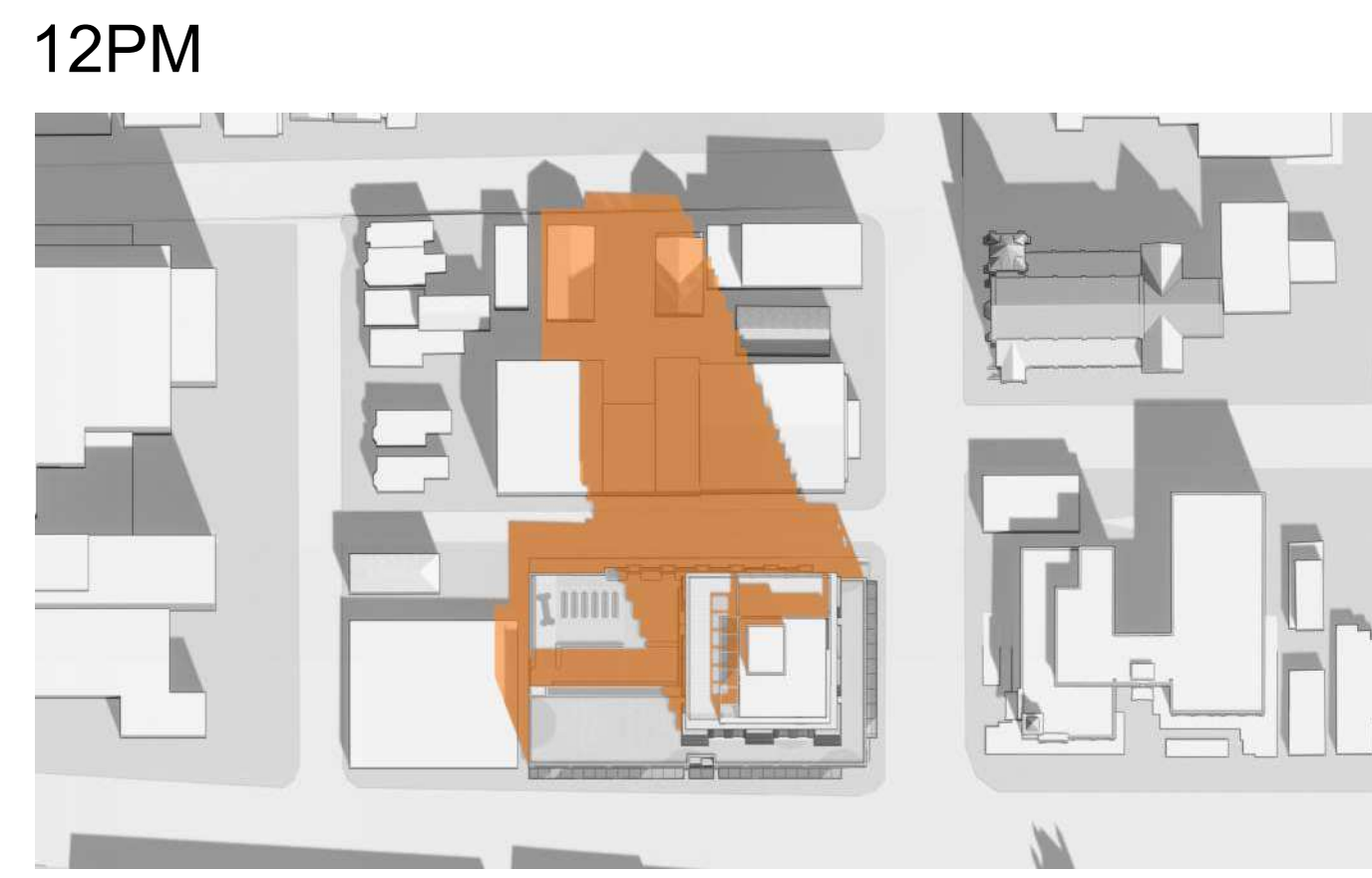
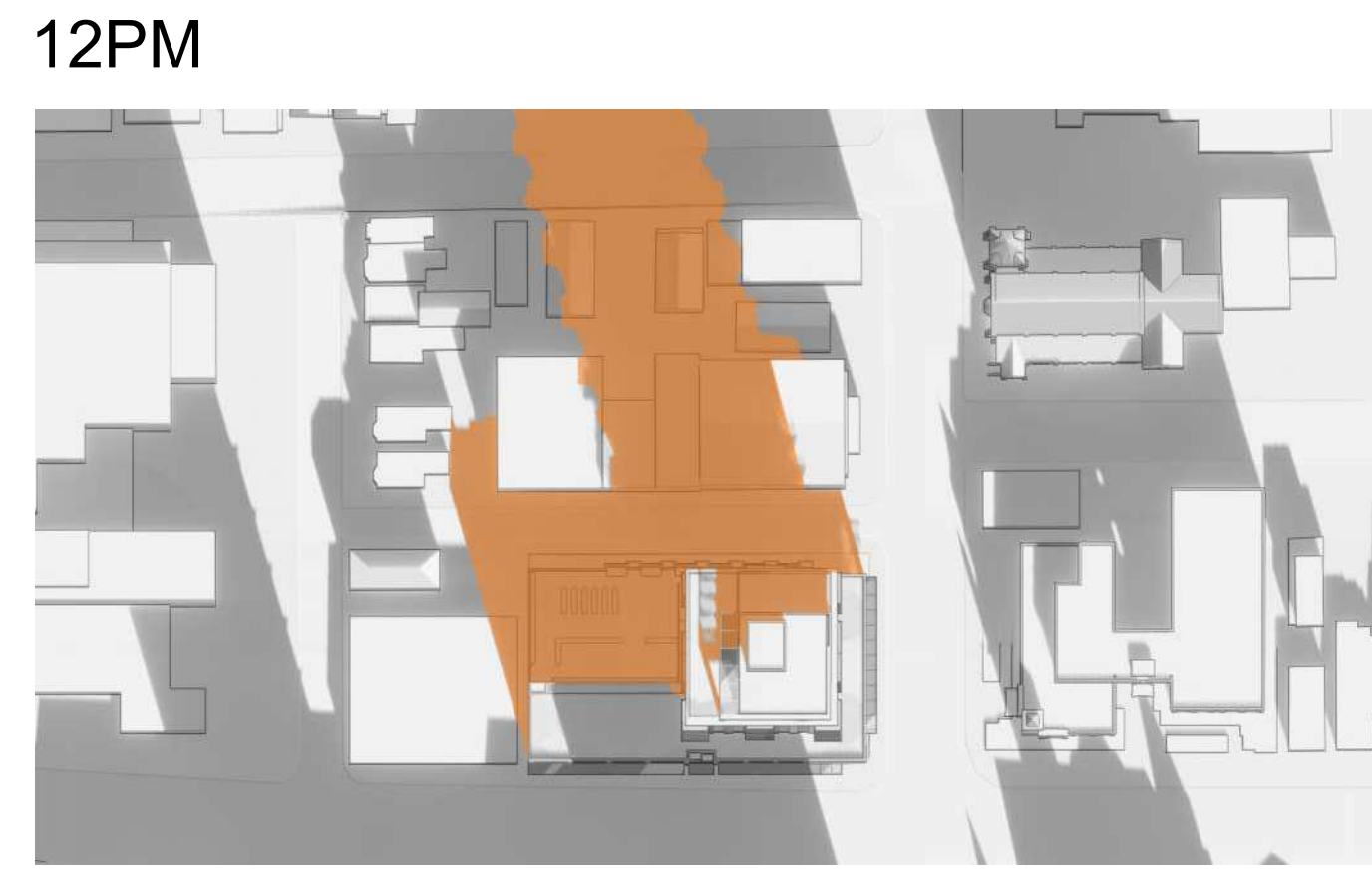
STREETSCAPE - PANDORA AVE



STREETSCAPE - QUADRA ST



STREETSCAPE - MASON ST



Revisions	YYYY-MM-DD
1 ISSUED FOR RZ/DP	2023-03-24
2 RE-ISSUED FOR RZ/DP	2023-05-19
4 RE-ISSUED FOR RZ/DP	2023-09-08



PANDORA AVENUE STREETScape



QUADRA STREET STREETScape



MASON ST & QUADRA ST CORNER



MASON STREET STREETScape

Seal
854-880
PANDORA AVE.

854-880 Pandora Ave
Victoria, BC
Project
RENDERINGS

Drawing

Scale

Project 222011

Sheet **A-404**



SOUTHEAST BIRDSEYE



VIEW LOOKING SOUTH DOWN QUADRA ST



VIEW LOOKING NORTH DOWN QUADRA ST



PANDORA AVE AND QUADRA ARCHED CORNER



LOOKING SOUTH ON QUADRA ST.



LOOKING NORTH ON QUADRA ST.



LOOKING NORTHEAST ON PANDORA AVE.

854-880

PANDORA

Victoria, BC

OWNER

CLIENT
TOWNLINE | VANCOUVER HEAD OFFICE
#1212 - 450 SW MARINE DRIVE
VANCOUVER, BC, V5X 0C3
T+ (604) 327 8760

LEGENDS

HARDSCAPE LEGEND			FURNISHING LEGEND	
KEY	GRAPHIC	DESCRIPTION	GRAPHIC	DESCRIPTION
T-1		SW CIP Concrete Paving Colour: Integral coloured Finish: Light Broom Pattern: Saw-cut		Bike Racks
T-2		Concrete Unit Pavers Supplier: Belgard 'Melville 80 Pavers' Colour: Beige & Shaded Grey		Commercial Planters Size: Cylinders (36" dia, typ)
T-3		Plank Porcelain Paver Size: 30 x 120 x 2cm Colours: Noon - Daylight		Custom Canitlevered Ipe Wood Bench
T-4		Pour-In-Place Virgin Rubber Play Surfacing w/ Galvanized Metal Edge Colours: Flint		Outdoor Gym Equipment and Natural Play Boulders
T-5		'AZEK' Composite Wood Deck Assembly Colour: Tigerwood		Illustrative Furnishing ONLY (At Podium & Roof Amenity, Supplied By Owners)
T-6		Planting (61cm depth typ., Avg #2 pots) w/ Hedge Screening (1.2m ht.)		
T-7		Sodded Lawn (Offsite) Artificial Turf "SynFescue343"		Fire Stands & Water Feature
T-8		Urban Agriculture Plots (46cm depth typ.) Xeriscape & Bee Flower Mixes (25cm depth)		Custom Trellis and Toolshed w/ Seed Library
T-9		Decorative River Rocks (at Building Faces) Size: 10-20 cm Colour: Ebony Black		Modular Custom Outdoor Kitchens Appliances: TBD
T-10		Roof Ballast Colours: Varies		

LISTS

DRAWINGS LIST

L-0.0	Legends & Notes	N.T.S.
L-1.1	Ground Level	1:100
L-1.2	Podium Level	1:100
L-1.3	Roof Levels	1:100
L-2.1	Planting Level 1	1:100
L-2.2	Planting Level 2	1:100
L-2.3	Planting Level 4	1:100
L-3.1	Preliminary Lighting	As Noted
L-3.2	Soil Loading	As Noted
L-4.1	Illustrative Sections	As Noted

PRELIMINARY PLANT LIST

Sym	Qty	Botanical Name	Common Name	Size	Bylaw 21-035 / UFA
Offsite Trees					
ST1	4	TBD City of Victoria Parks Department	Through Servicing Agreement	7cm cal. B&B	
ST2	3	TBD City of Victoria Parks Department	Through Servicing Agreement	7cm cal. B&B	
On-Site Trees					
AG	2	Acer griseum	Paperbark Maple	6cm cal. B&B	1:1, Medium / Suitable
CK	3	Cornus kousa 'Satomi'	Satomi Dogwood	6cm cal. B&B	1:1, Small / Marginal
GTI	1	Gleditsia tricanthos 'Shademaster'	Shademaster Locust	6cm cal. B&B	1:1, Medium / Very Suitable
MxG	3	Magnolia x 'Galaxy'	Galaxy Magnolia	2.0m ht. B&B, I	1:1, Small / Marginal
PP	3	Parrotia Persica 'Igne Ruby Vase'	Ruby Vase Persian Ironwood	6cm cal. B&B	1:1, Small / Suitable
Shrubs					
x	102	Buxus mic. 'Green Beauty'	Japanese Boxwood	#1 pot, 12" o.c.	
Bs	68	Blechnum spicant	Deer Fern	#2 pot, 24" o.c.	Native Year-Round Food
Cc	29	Cornus canadensis	Bunchberry	#1 pot, 12" o.c.	Native Pollinators
Ch	52	Cephalotaxus harringtonia 'Fastigiata'	Plum Yew	4' ht., B&B, RB-	
Cs	4	Cornus sanguinea 'Midwinter Fire'	Blood-twigged Dogwood	#2 pot, 36" o.c.	Pollinators
Co	11	Cornus sericea 'Cardinal'	Red-twigged Dogwood	#2 pot, 36" o.c.	Native Pollinators, Hummingbirds, Year-Round
Eu	6	Euphorbia characias subsp. wulfenii	Mediterranean Spurge	#1 pot 18" o.c.	
Hy	4	Hydrangea arborescens 'Annabelle'	Smooth Hydrangea	#3 pot, 48" o.c.	Pollinators
Ma	30	Matteucia struthiopteris	Ostrich Fern	#2 pot, 36" o.c.	
PL	6	Philadelphus lewisii	Wild Mock Orange	1.0m ht, Multi	Native Pollinators, Spring/Summer Food
Pm	25	Pinus mugo 'Carstens'	Dwarf Mountain Pine	#2 pot, 30" o.c.	
Pr	13	Prunus laurocerasus	Cherry Laurel	3' ht., B&B, RB-	Pollinators, Fall/Winter Food
RB	3	Rosa 'Ballerina'	Ballerina Rose	#2 pot, 36" o.c.	
RM	6	Rhodo macrophyllum	Pacific Rhododendron	1.0m ht, Multi	Native
Sc	26	Sarcococca hookeriana var 'Humilis'	Sweet Box	#1 pot, 30" o.c.	Pollinators, Spring/Summer Food
Perennials, Grasses & Groundcovers					
Ard	6	Aruncus dioicus var 'Acuminatus'	Goat's Beard	#2 pot, 36" o.c.	Native Pollinators
As	13	Astilbe japonica 'Deutschland'	Hybrid Japonica	#2 pot, 18" o.c.	Pollinators
Auu	26	Arcostaphylos uva-ursi (ROOF ONLY)	Bearberry (ROOF ONLY)	#2 pot, 24" o.c.	Native Pollinators, Year-Round Food
Hk	49	Hakonechloa macra 'Aureola'	Japanese Forest Grass	#1 pot, 24" o.c.	
Ho	74	Hosta 'Victory'	Plantain Lily	#2 pot, 24" o.c.	Pollinators
La	8	Lavandula angustifolia	English Lavender	#2 pot, 24" o.c.	
Pa	101	Pachysandra terminalis 'Green Sheen'	Japanese Spurge	4" pot, 12" o.c.	
Pq	8	Parthenocissus quinquefolia	Virginia Creeper	#3 pot, 3 leads	Spring/Summer Food
Tg	6	Tellima grandiflora	Fringe Cups	#1 pot, 12" o.c.	Native Pollinators
Urban Agriculture Mix (13.4 SQ.M.)					
		Allium tuberosum	Dwarf Chives	4" pot; 10" O.C.	
		Achillea millefolium	White yarrow	4" pot; 10" O.C.	
		Liatris spicata	Gayfeather	4" pot; 10" O.C.	
		Origanum vulgare	Oregano	4" pot; 10" O.C.	
		Origanum vulgare	Golden Oregano	4" pot; 10" O.C.	
		Salvia officinalis	Sage	4" pot; 10" O.C.	
		Salvia purpurascens	Purple Sage	4" pot; 10" O.C.	
		Rosmarinus officinalis	Rosemary	4" pot; 10" O.C.	
		Thymus vulgaris	Woolly Thyme	4" pot; 10" O.C.	

NOTES

<p>General Notes</p> <ol style="list-style-type: none"> Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted. Refer to electrical drawings for all final landscape lighting layout and specifications. Refer to architectural and mechanical drawings for all drain locations and rim elevations.
<p>Irrigation Notes</p> <ol style="list-style-type: none"> All 'Soft Landscape Areas' are to be irrigated with a high efficiency design/built irrigation system to IIABC Standards., complete with Rain and Wind Sensor. The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines. System design and installation shall take into account elevation differences, sun orientation and other factors affecting zoning and operation of the system to minimized evapotranspiration and wind lost. System design shall provide for uniform complete 'Head to Head' coverage of all lawns and planted areas. Contractor shall be responsible to provide SHOP DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval. Should the contractor proceed without approval, any additional modifications to the irrigation systems, as directed by the Landscape Architect shall be at contractors cost. Lawns shall be irrigated on separate zones from planted areas. Controller shall be located in mechanical room. PRIOR to Substantial Performance, contractor shall provide a maintenance data and Operation instruction manual containing operational information for all operating components, cleaning and lubrication schedules, overhaul/adjustment schedule. Record Drawings: Submit with the operating and maintenance manuals a reproducible copy of the AS-BUILT condition of the system. Contractor shall instruct a designated representative of the Owner in the complete operating and maintenance procedures for the irrigation system, including winterizing for the first time with the designated representative observing. All piping shall be class 200. Use GSR Schedule 40 PVC designed for solvent welding to PVC pipe except where valves, risers, etc. require threaded joints. Provide sleeves under all hard surfaces and as required through walls. If under vehicular paving, cast iron piping required. Solenoid valves shall be first quality, compatible with the controller selected. Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete with captive lock bolt cover, sized to suit valves and other components with adequate room for operation and maintenance.
<p>Planting Notes</p> <ol style="list-style-type: none"> All plants / planting to be per Canadian Landscape Standards (C.L.S.) latest edition. Plant selection subject to availability at the time of planting. Contractor shall source specified plant material and only after area of search has been exhausted will substitutions be considered. All trees to be staked in accordance with C.L.S. All plants to be sourced from nurseries certified free of P. ramorum. Plant sizes and related container classes are specified according to the C.L.S. current edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the standard; for all other plants, both plant size and container calls shall be as shown in the plant list. Specifically, when the plant list calls for #5 class containers, these shall be as defined in the C.L.S. All trees to have minimum 10 cubic meters of growing medium unless otherwise specified.
<p>Soil Preparation and Placement Notes</p> <ol style="list-style-type: none"> All growing medium placed on project to meet or exceed Canadian Landscape Standards (C.L.S.) latest edition. Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. minimum 1 litre physical sample. Submittals shall be made at least seven (7) days before Contractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions. Slab drainage shall be 19mm (3/4") diameter drain gravel free from any silt and clay as shown in details. Place growing medium, except structural to required finish grades and minimum depths as detailed, unless shown otherwise.
<p>Product and Material Notes</p> <ol style="list-style-type: none"> All materials to be as specified or pre-approved equivalent. All material and products to be installed per manufacturer's specifications.

05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

No.: | Date: | Submission:
 Revisions:



Project:
854-880 PANDORA

854-880 Pandora Avenue,
 Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: Sep 06, 2023

Scale: NTS

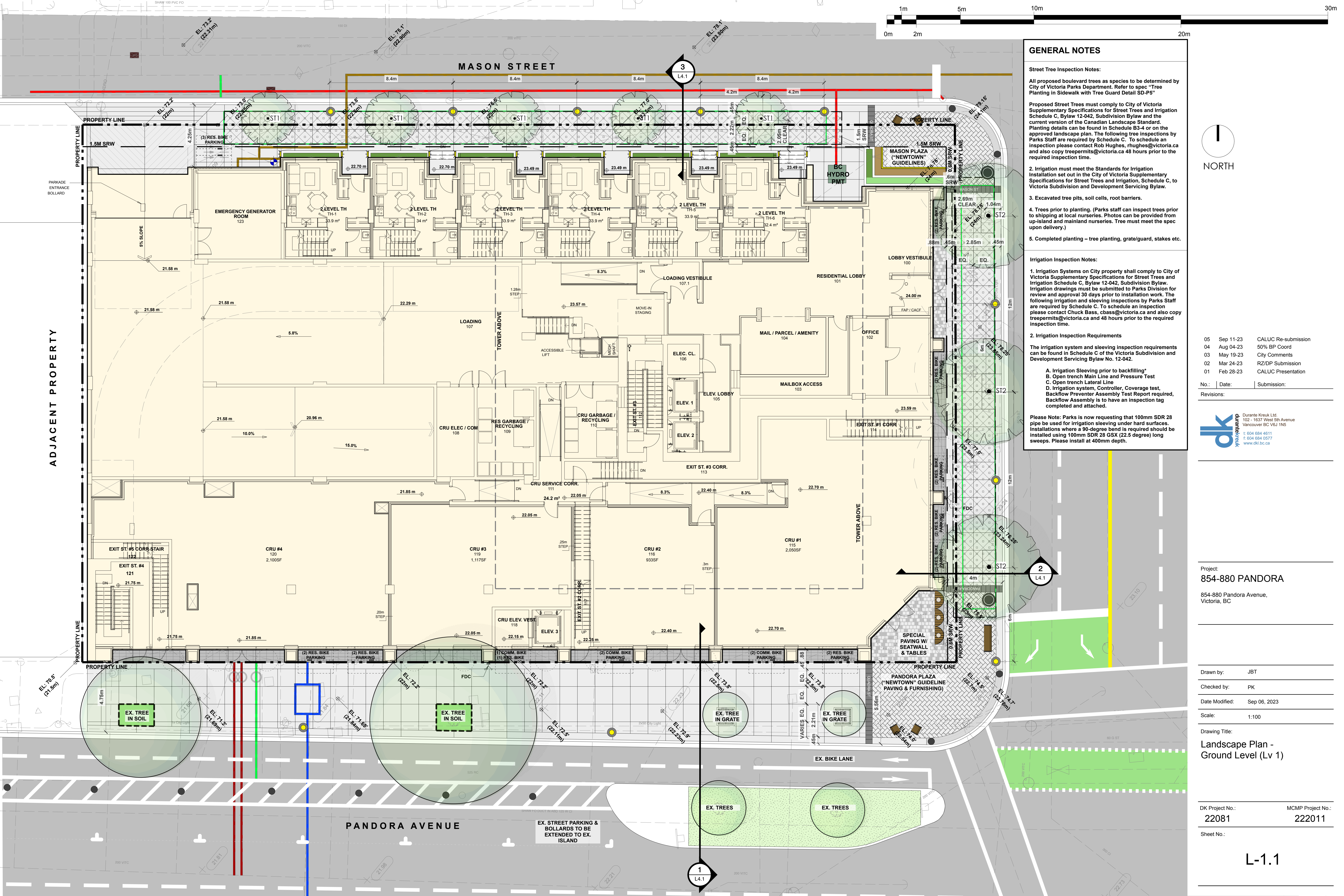
Drawing Title:

Landscape Notes & Legends

DK Project No.: MCMP Project No.:

22081 222011

Sheet No.:

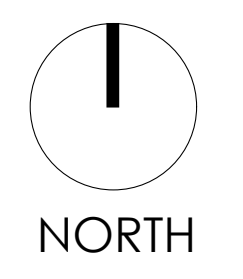


GENERAL NOTES

- Street Tree Inspection Notes:**
- All proposed boulevard trees as species to be determined by City of Victoria Parks Department. Refer to spec "Tree Planting in Sidewalk with Tree Guard Detail SD-P5"
 - Proposed Street Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4 or on the approved landscape plan. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.
 - Irrigation must meet the Standards for Irrigation Installation set out in the City of Victoria Supplementary Specifications for Street Trees and Irrigation, Schedule C, to Victoria Subdivision and Development Servicing Bylaw.
 - Excavated tree pits, soil cells, root barriers.
 - Trees prior to planting. (Parks staff can inspect trees prior to shipping at local nurseries. Photos can be provided from up-island and mainland nurseries. Tree must meet the spec upon delivery.)
 - Completed planting – tree planting, grate/guard, stakes etc.

- Irrigation Inspection Notes:**
- Irrigation Systems on City property shall comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw. Irrigation drawings must be submitted to Parks Division for review and approval 30 days prior to installation work. The following irrigation and sleeving inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Chuck Bass, cbass@victoria.ca and also copy treepermits@victoria.ca and 48 hours prior to the required inspection time.
 - Irrigation Inspection Requirements
- The irrigation system and sleeving inspection requirements can be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12-042.
- Irrigation Sleeving prior to backfilling*
 - Open trench Main Line and Pressure Test
 - Open trench Lateral Line
 - Irrigation system, Controller, Coverage test, Backflow Preventer Assembly Test Report required, Backflow Assembly is to have an inspection tag completed and attached.

Please Note: Parks is now requesting that 100mm SDR 28 pipe be used for irrigation sleeving under hard surfaces. Installations where a 90-degree bend is required should be installed using 100mm SDR 28 GSX (22.5 degree) long sweeps. Please install at 400mm depth.



05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

No.: _____ Date: _____ Submission: _____
Revisions: _____



Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT
Checked by: PK
Date Modified: Sep 06, 2023
Scale: 1:100

Drawing Title:
**Landscape Plan -
Ground Level (Lv 1)**

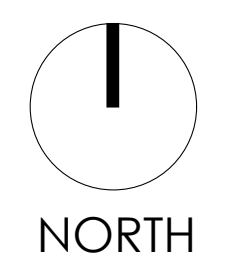
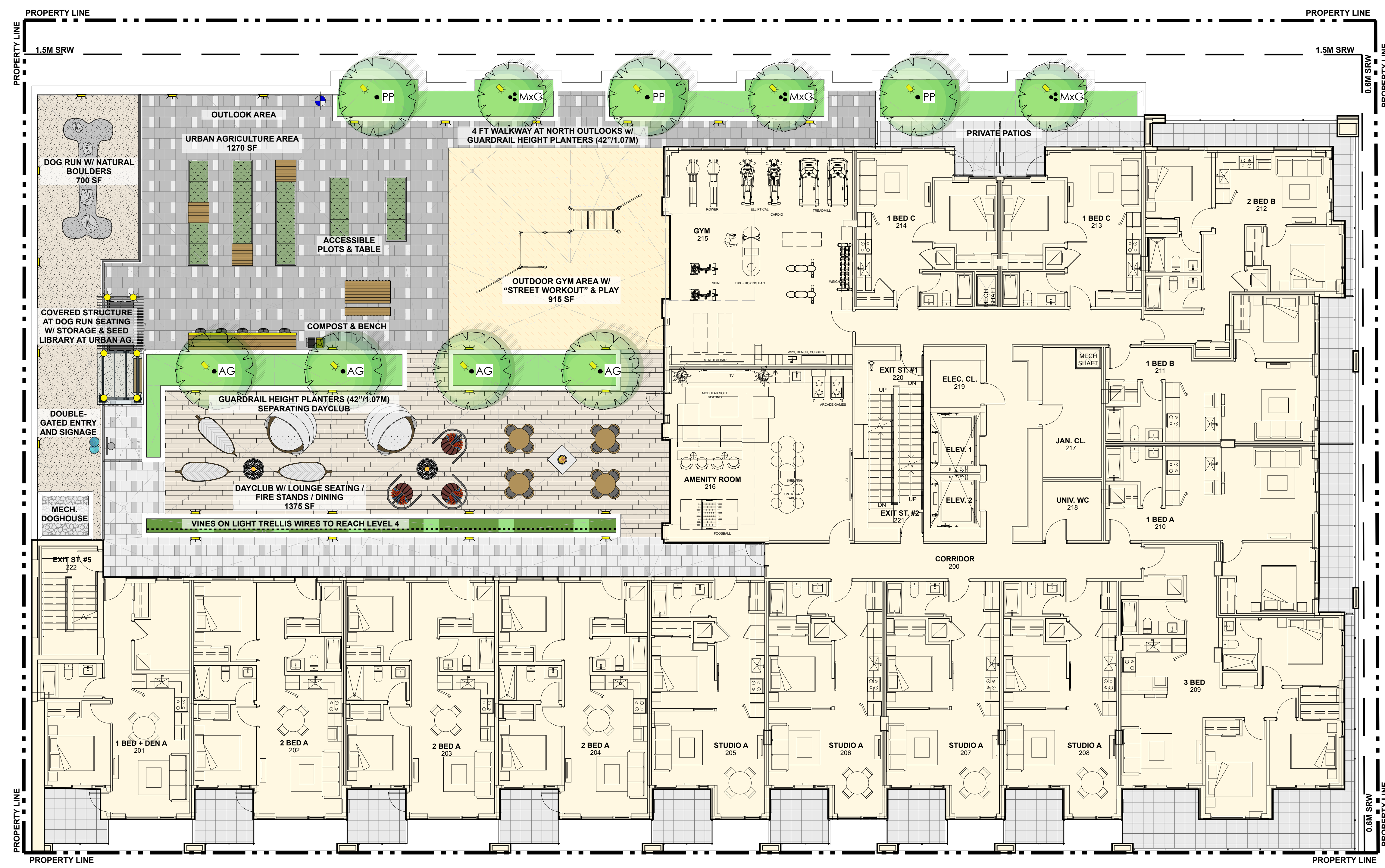
DK Project No.: 22081
MCMP Project No.: 222011

Sheet No.:

L-1.1



MASON STREET



No.	Date	Submission
05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

No.: | Date: | Submission:
Revisions:



Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: Sep 06, 2023

Scale: 1:100

Drawing Title:
**Landscape Plan -
Podium Level (Lv 2)**

DK Project No.: 22081 | MCMP Project No.: 222011

Sheet No.:

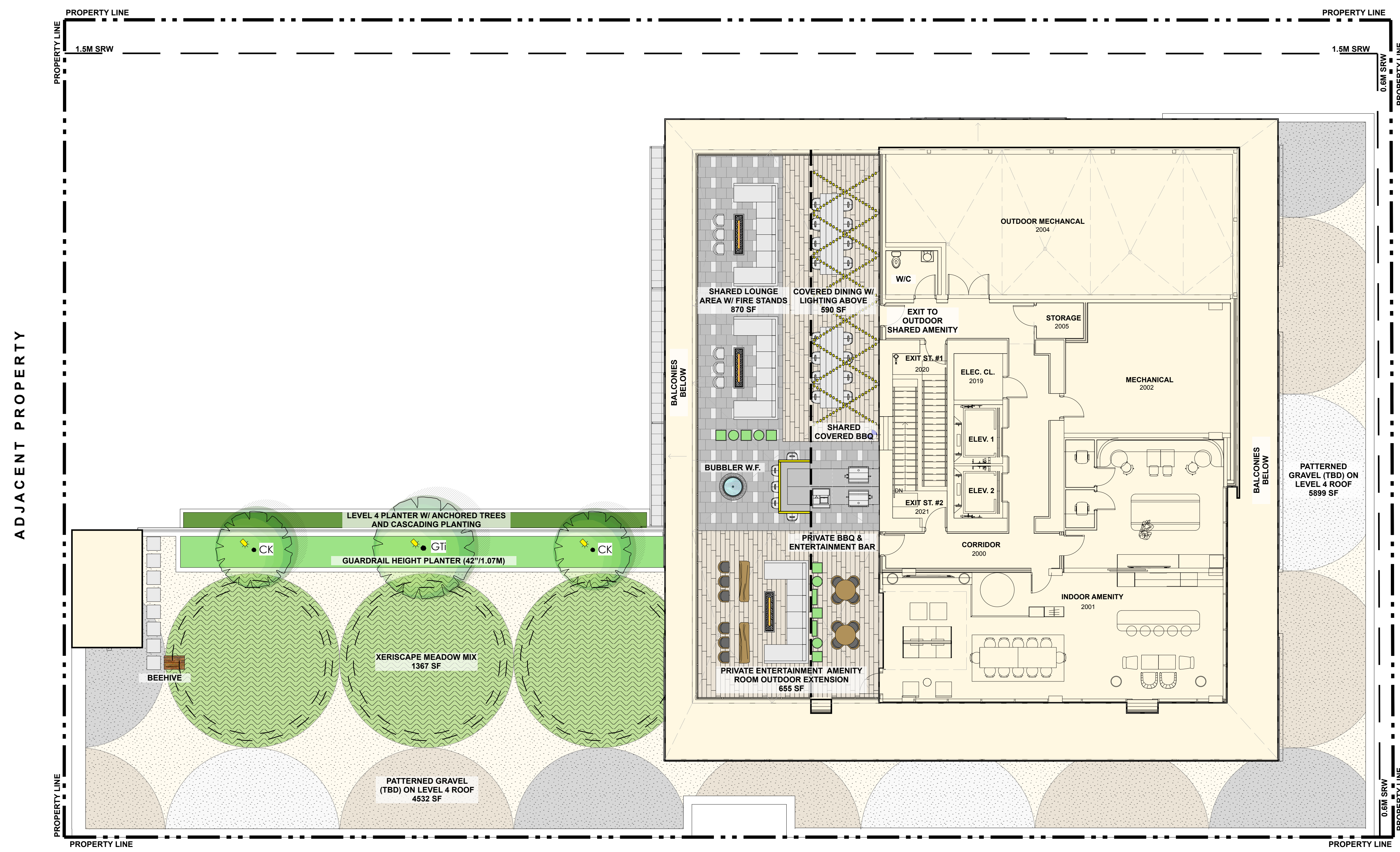
PANDORA AVENUE

QUADRA STREET

ADJACENT PROPERTY



MASON STREET



NORTH

ADJACENT PROPERTY

QUADRA STREET

05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

No.: | Date: | Submission:
Revisions:



Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT
Checked by: PK
Date Modified: Sep 06, 2023
Scale: 1:100

Drawing Title:
**Landscape Plan -
Roof Levels (Lvs 3+)**

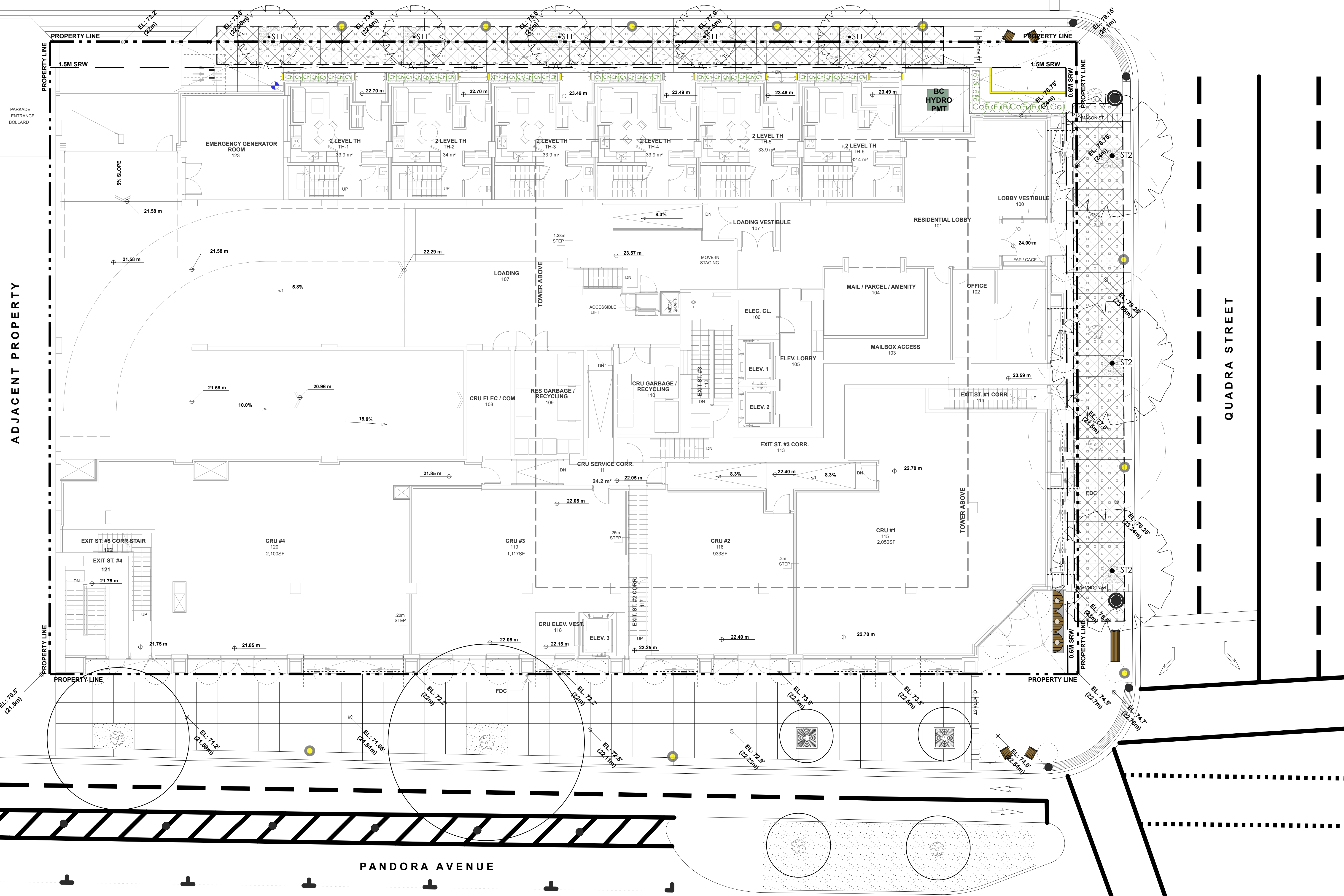
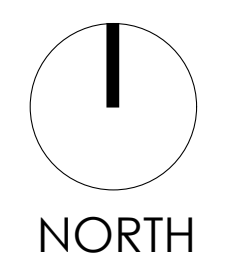
PANDORA AVENUE

DK Project No.: 22081 | MCMP Project No.: 222011

Sheet No.:



MASON STREET



05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

No.: Date: Submission:

Revisions:

Durante Kreuk Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1N5
T: 604 684 4511
F: 604 684 0577
www.dk.bc.ca

Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT
Checked by: PK
Date Modified: Sep 06, 2023
Scale: 1:100

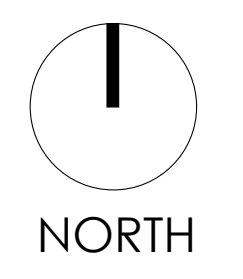
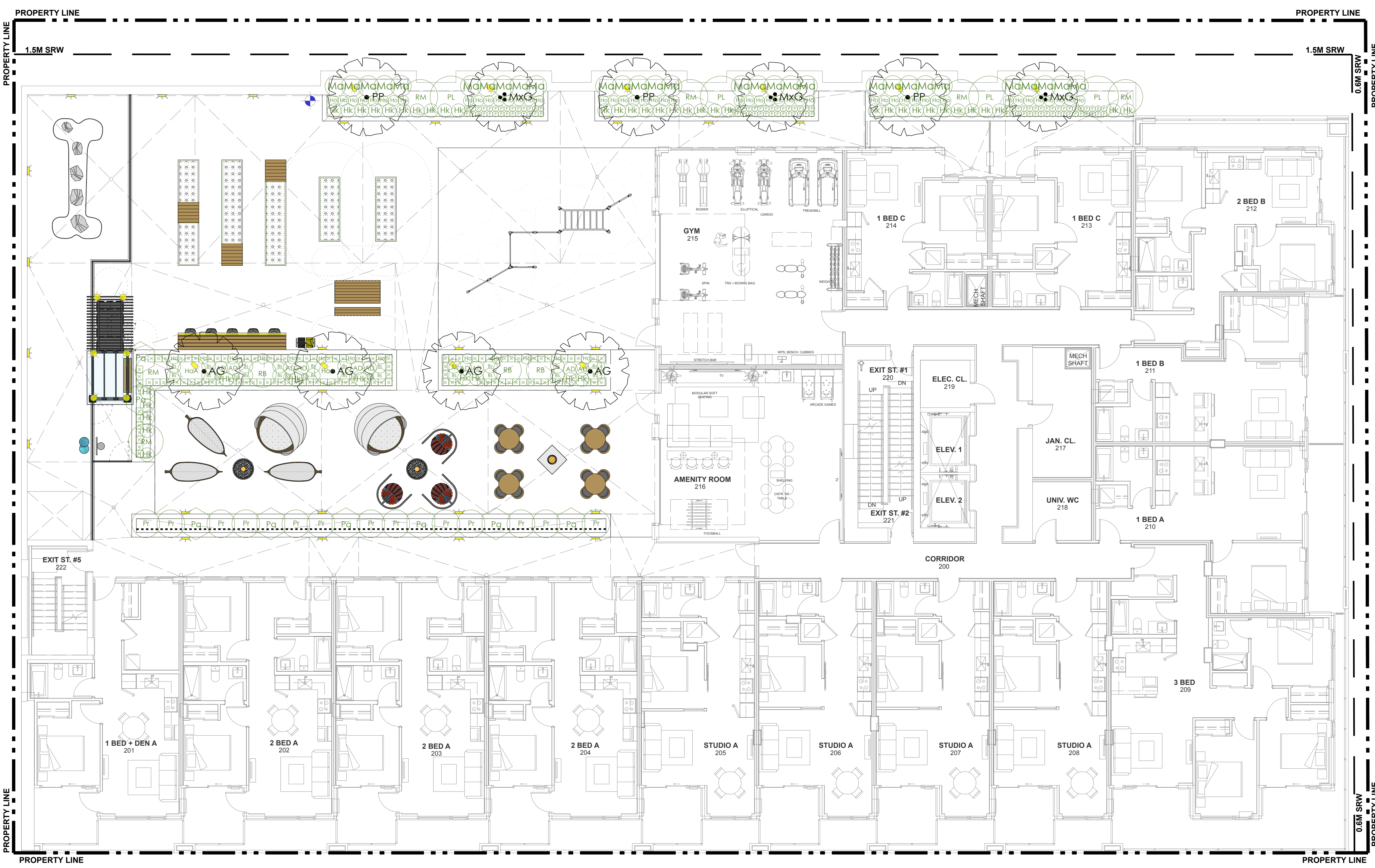
Drawing Title:
**Landscape Planting Plan -
Level 1**

DK Project No.: MCMP Project No.:
22081 222011

Sheet No.:



MASON STREET



05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

No.: | Date: | Submission:
Revisions:



Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: Sep 06, 2023

Scale: 1:100

Drawing Title:

**Landscape Planting Plan -
Level 2**

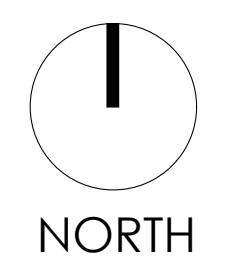
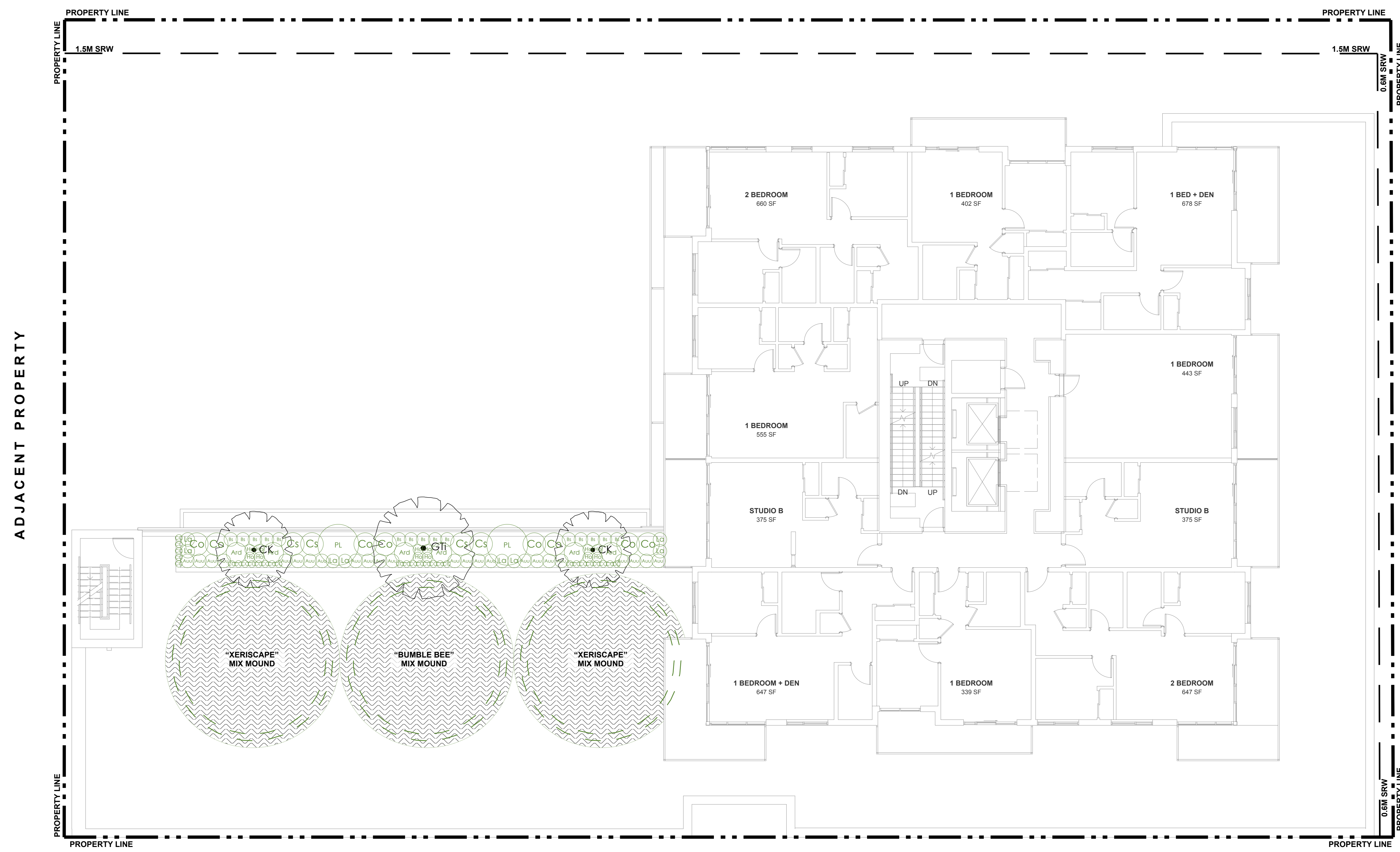
DK Project No.: 22081 | MCMP Project No.: 222011

Sheet No.:

PANDORA AVENUE



MASON STREET



NORTH

05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

No.: | Date: | Submission:
Revisions:



Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT
Checked by: PK
Date Modified: Sep 06, 2023
Scale: 1:100

Drawing Title:
**Landscape Planting Plan -
Level 4**

DK Project No.: 22081
MCMP Project No.: 222011

Sheet No.:



"XERISCAPE" MIX
(94 SQ.M)

- Arroyo Lupine
- Blanket Flower
- Blue Flax
- California Bluebell
- California Poppy
- Desert Marigold
- Greenthread
- Munro's Globemallow
- Oregon Sunshine
- Pale Evening Primrose
- Palmer's Penstemon
- Prairie Coneflower
- Rocky Mountain Pentstemon
- Tidy-Tips



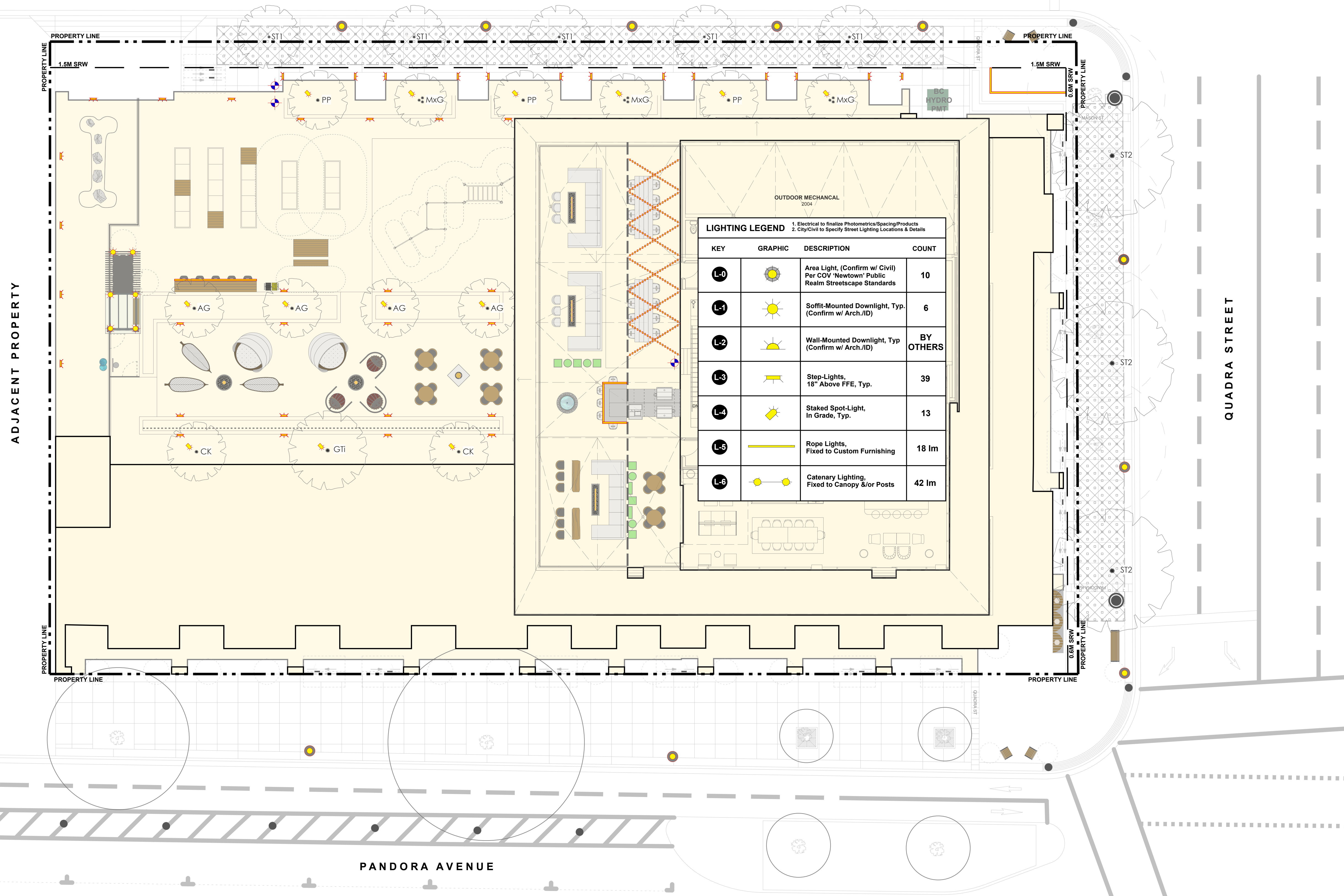
"BUMBLEBEE" MIX
(47 SQ.M)

- Balsam 'Camelia Flowered Mix'
- Catchfly
- Cosmos 'Sensation Mix'
- Lupine, Yellow
- Nasturtium 'Single Mix'
- Rocket Larkspur
- Siberian Wallflower
- Snapdragon 'Northern Lights'
- Sunflower 'Dwarf Sunspot'
- Zinnia 'California Giants'

PANDORA AVENUE



MASON STREET



LIGHTING LEGEND

1. Electrical to finalize Photometrics/Spacing/Products
2. City/Civil to Specify Street Lighting Locations & Details

KEY	GRAPHIC	DESCRIPTION	COUNT
L-0		Area Light, (Confirm w/ Civil) Per COV 'Newtown' Public Realm Streetscape Standards	10
L-1		Soffit-Mounted Downlight, Typ. (Confirm w/ Arch./ID)	6
L-2		Wall-Mounted Downlight, Typ (Confirm w/ Arch./ID)	BY OTHERS
L-3		Step-Lights, 18" Above FFE, Typ.	39
L-4		Staked Spot-Light, In Grade, Typ.	13
L-5		Rope Lights, Fixed to Custom Furnishing	18 lm
L-6		Catenary Lighting, Fixed to Canopy &/or Posts	42 lm



Revisions:

No.	Date	Submission
05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

dk Durante Kreuk Ltd.
102 - 1637 West 5th Avenue
Vancouver BC V6J 1N5
T: 604 684 4611
F: 604 684 0577
www.dk.bc.ca

Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: Sep 06, 2023

Scale: 1:100

Drawing Title:
Landscape Diagram - Preliminary Lighting

DK Project No.:
22081

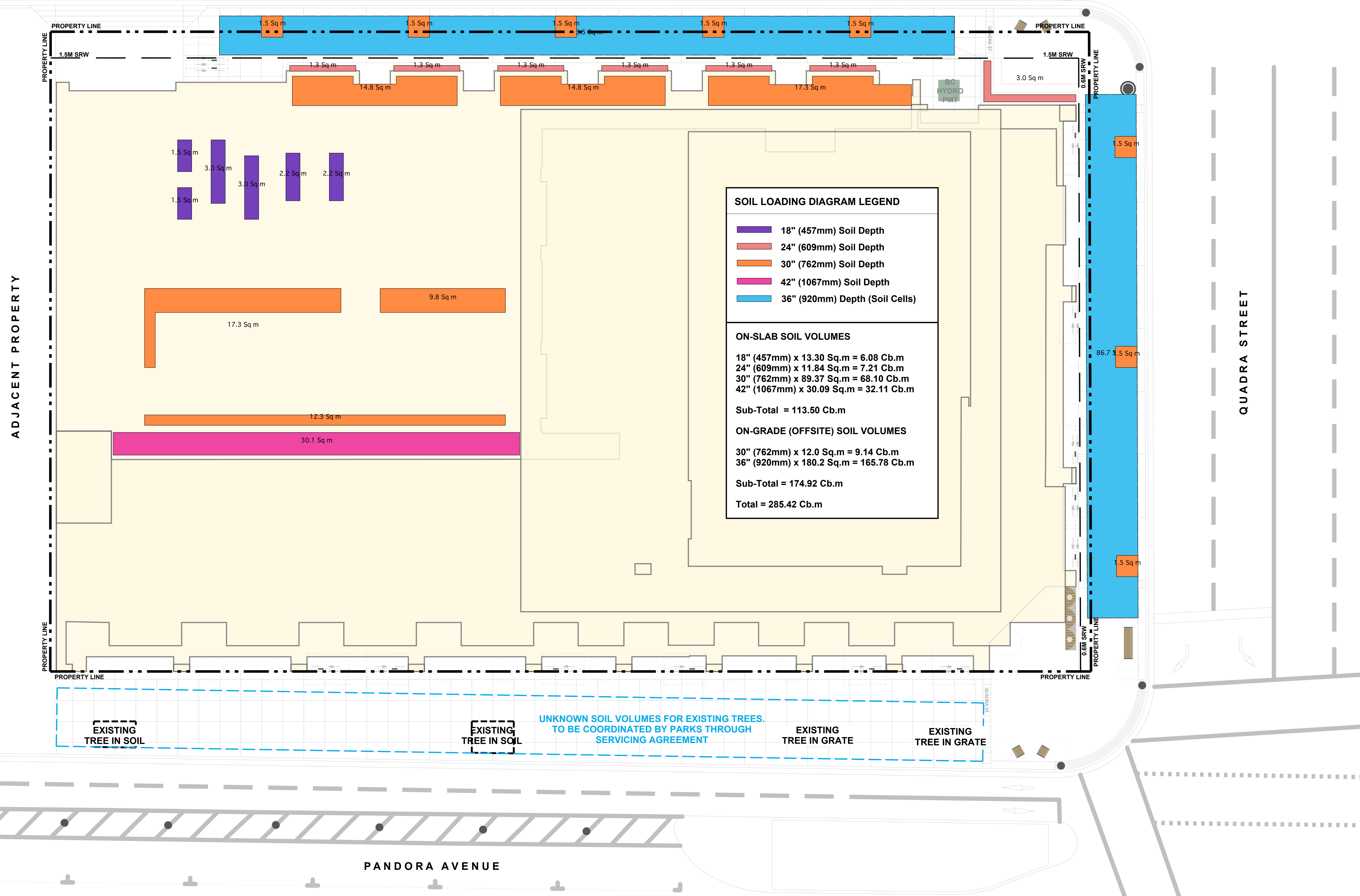
MCMP Project No.:
222011

Sheet No.:

L-3.1



MASON STREET



SOIL LOADING DIAGRAM LEGEND

- 18" (457mm) Soil Depth
- 24" (609mm) Soil Depth
- 30" (762mm) Soil Depth
- 42" (1067mm) Soil Depth
- 36" (920mm) Depth (Soil Cells)

ON-SLAB SOIL VOLUMES

18" (457mm) x 13.30 Sq.m = 6.08 Cb.m
 24" (609mm) x 11.84 Sq.m = 7.21 Cb.m
 30" (762mm) x 89.37 Sq.m = 68.10 Cb.m
 42" (1067mm) x 30.09 Sq.m = 32.11 Cb.m

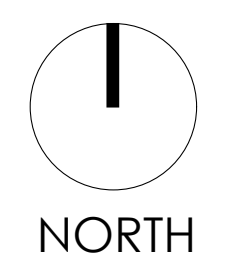
Sub-Total = 113.50 Cb.m

ON-GRADE (OFFSITE) SOIL VOLUMES

30" (762mm) x 12.0 Sq.m = 9.14 Cb.m
 36" (920mm) x 180.2 Sq.m = 165.78 Cb.m

Sub-Total = 174.92 Cb.m

Total = 285.42 Cb.m



05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

No.: | Date: | Submission:

Revisions:



Project:
854-880 PANDORA

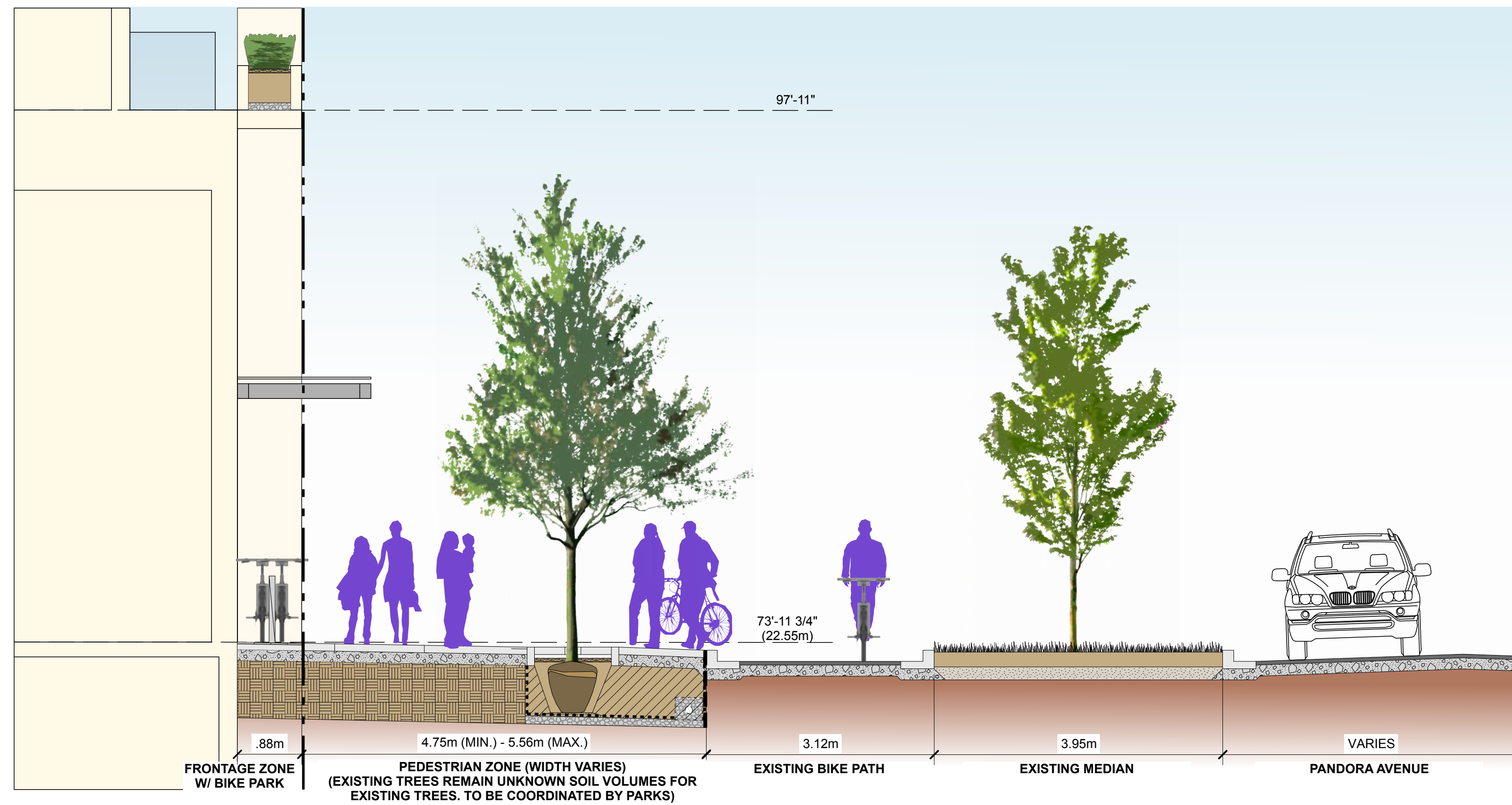
854-880 Pandora Avenue,
Victoria, BC

Drawn by:	JBT
Checked by:	PK
Date Modified:	Sep 06, 2023
Scale:	1:100

Drawing Title:
**Landscape Diagram -
Soil Loading**

DK Project No.:	MCMP Project No.:
22081	222011

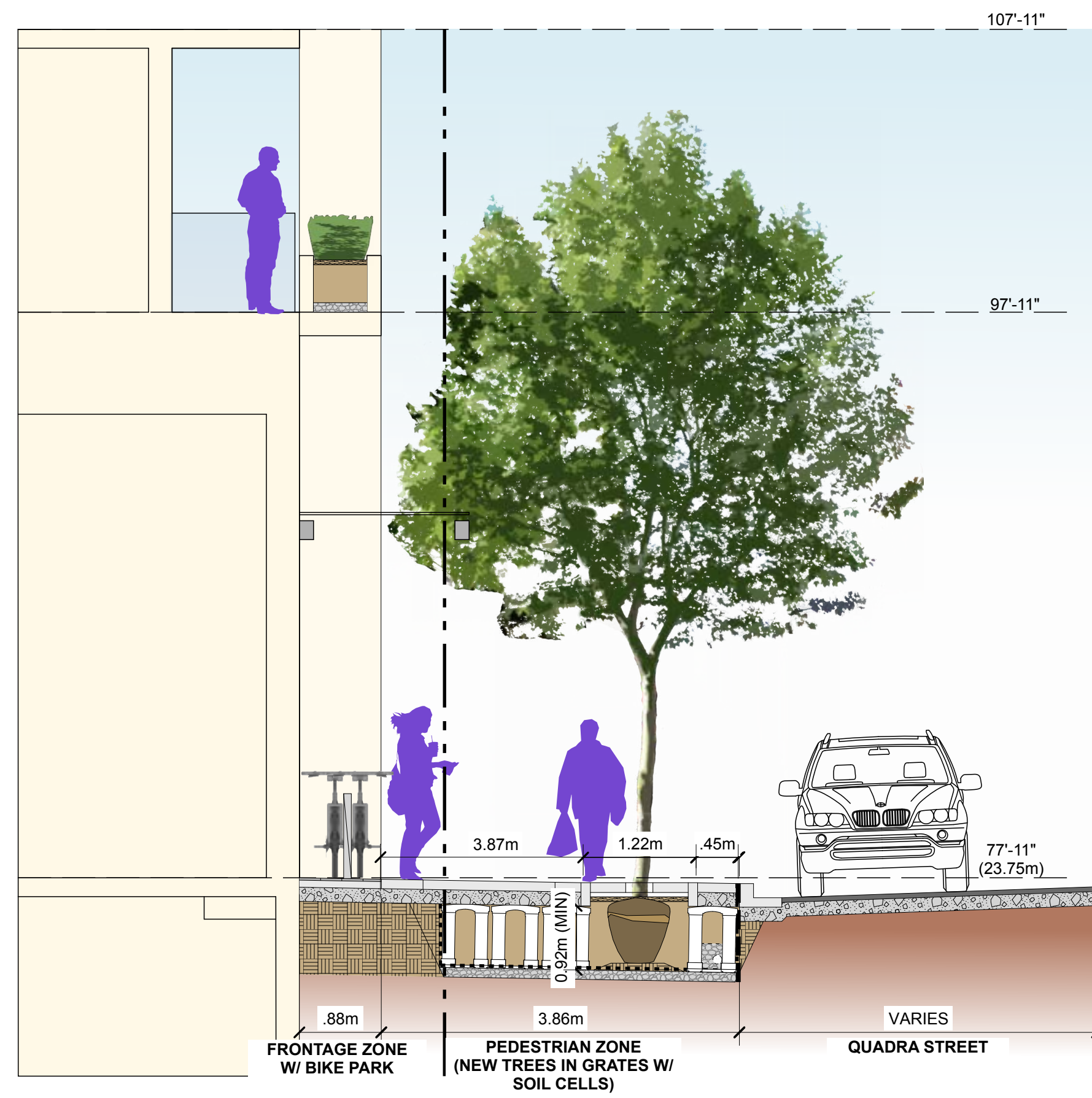
Sheet No.:



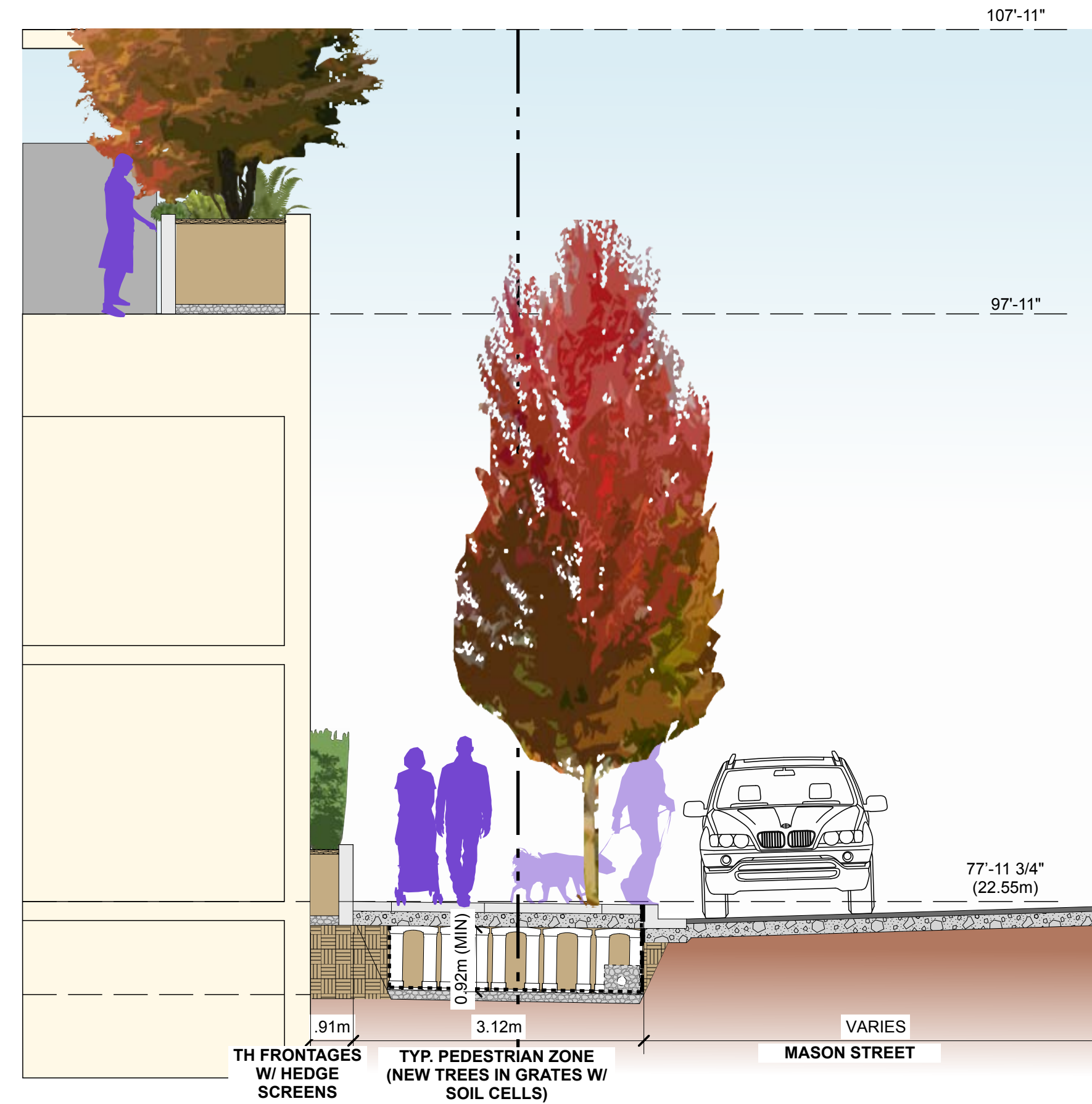
Section 1 - PANDORA AVE

05	Sep 11-23	CALUC Re-submission
04	Aug 04-23	50% BP Coord
03	May 19-23	City Comments
02	Mar 24-23	RZ/DP Submission
01	Feb 28-23	CALUC Presentation

No.: | Date: | Submission:
Revisions:



Section 2 - QUADRA ST



Section 3 - MASON ST

Project:
854-880 PANDORA

854-880 Pandora Avenue,
Victoria, BC

Drawn by: JBT

Checked by: PK

Date Modified: Sep 06, 2023

Scale: 1:50

Drawing Title:

**Landscape -
Illustrative Street Sections**

DK Project No.: MCMP Project No.:

22081

222011

Sheet No.:

CONSTRUCTION NOTES:

- 1 150mm Ø COMBINED FIRE & DOMESTIC WATER SERVICE BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE.
- 2 DOMESTIC AND FIRE WATER VAULT AND METER ASSEMBLY PER CITY OF VICTORIA SD W21 AND SD W2F AND CAP AT PROPERTY LINE BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- 3 2-200mm Ø PVC SANITARY SERVICES C/W INSPECTION CHAMBERS AT PROPERTY LINE AND CONNECT TO EXISTING 200mm Ø SANITARY BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- 4 250mm Ø PVC STORM SERVICE C/W INSPECTION CHAMBER AT PROPERTY LINE AND CONNECT TO EXISTING 525mm Ø STORM BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- 5 BC HYDRO OFF SITE SERVICE AND UNDERGROUND ROUTING ALONG MASON ST FRONTAGE TO BE CONFIRMED BY BC HYDRO. REFER TO ELECTRICAL FOR CONTINUATION.
- 6 PROTECT AND RETAIN EXISTING STREETLIGHT.
- 7 PROTECT AND RETAIN EXISTING TRAFFIC SIGNAL AND STREETLIGHT.
- 8 PROTECT AND RETAIN EXISTING ACTIVE FIBRE OPTICS COMMUNICATION INFRASTRUCTURE.
- 9 REMOVE EXISTING CURB, GUTTER AND SIDEWALK AND REPLACE WITH NEW CURB, GUTTER AND SIDEWALK TO CITY OF VICTORIA STANDARDS AND AS SHOWN ON THE LANDSCAPE DRAWINGS. FINAL EXTENTS OF REPLACEMENT TO BE DETERMINED.
- 10 REMOVE EXISTING CATCHBASIN AND INSTALL NEW CURB INLET CATCHBASIN AND 150mm CONNECTION TO EXISTING MAIN. CONNECTION TO EXISTING MAIN BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE.
- 11 SOIL CELLS TO SERVE TREES ON QUADRA AND MASON STREETS. REFER TO LANDSCAPE DRAWINGS FOR DETAILS. STORMWATER TREATMENT TO BE PROVIDED.
- 12 REMOVE AND REPLACE EXISTING DRIVEWAY WITH NON-MOUNTABLE CURB AND CONCRETE SIDEWALK. EXTENTS OF CURB AND SIDEWALK REPLACEMENT TO BE CONFIRMED.
- 13 INSTALL PAINT LINES TO EXTEND STREET PARKING TO EXISTING MEDIAN. SIGN AS SHORT TERM PASSENGER DROP OFF.
- 14 GAS SERVICE AND METER BY FORTIS GAS AT DEVELOPER'S EXPENSE. REFER TO MECHANICAL DRAWINGS FOR CONTINUATION.
- 15 CURB LETDOWN PER CITY OF VICTORIA SUPPLEMENTARY STD DWG CAMOD C/W TEXTILE TROWEL LINES
- 16 DRIVEWAY CROSSING AS PER CITY OF VICTORIA STD DWG C7A.
- 17 25mm Ø IRRIGATION WATER SERVICE TO SERVE NEW TREES ALONG QUADRA AND MASON STREETS BY CITY OF VICTORIA AT DEVELOPER'S EXPENSE. REFER TO LANDSCAPE DRAWINGS FOR IRRIGATION DETAILS.
- 18 100mm Ø SDR28 PVC IRRIGATION SLEEVE WITH 2 LONG SWEEP 45° BENDS. INSTALL AT 400mm DEPTH.
- 19 RETAIN AND PROTECT EXISTING MONUMENT.
- 20 REMOVE AND DISPOSE OF EXISTING MONUMENT. NEW MONUMENT TO BE INSTALLED BY THE CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE.

GENERAL NOTES:

1. TELUS PROPOSED SERVICE ROUTING TO BE CONFIRMED BY TELUS.
2. SHAW PROPOSED SERVICE ROUTING TO BE CONFIRMED BY SHAW.
3. FORTIS PROPOSED SERVICE ROUTING TO BE CONFIRMED BY FORTIS.
4. IRRIGATION SERVICE AND METER BOX BY CITY OF VICTORIA AT THE DEVELOPER'S EXPENSE. LOCATION AND SIZE TO BE CONFIRMED BY CITY OF VICTORIA.
5. REFER TO LANDSCAPE FOR PLANTING DETAILS.
6. CUT, CAP AND ABANDON ALL REDUNDANT SEWER/STORMWATER SERVICES AT THE LIMIT OF EXCAVATION. COORDINATE WITH THE CITY OF VICTORIA AND RECORD THE LOCATION AND DEPTH OF ALL SERVICES.
7. TREES FOR REMOVAL MARKED WITH A RED "X"
8. PRIOR TO COMMENCEMENT OF EXCAVATION OR SOIL RELOCATION, CONTRACTORS SHALL BE REGISTERED UNDER BY-LAW 14-071 SCHEDULE G, CODE OF PRACTICE FOR CONSTRUCTION AND DEVELOPMENT ACTIVITIES. CONTACT ADAM STEELE, STORMWATER SPECIALIST, AT 250-361-0318 OR ASTEELE@VICTORIA.CA TO REGISTER.
9. A STREET OCCUPANCY PERMIT FROM TRANSPORTATION ENGINEERING WILL BE REQUIRED FOR WORK WITHIN THE ROADWAY.
10. ALL EXCAVATIONS WITHIN CRITICAL ROOT ZONES OF TREES TO BE RETAINED TO BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.

**PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION**

Revision	By	Appd.	YY.MM.DD	
2. UPDATED TO CITY COMMENTS AND SANITARY SERVICE ADDED	KP	OL	23.09.08	
1. UPDATED TO CITY COMMENTS	KP	OL	23.05.19	
FOR ZONING AND DP APPLICATION	KP	OL	23.03.24	
FOR INFORMATION	JPS	OL	23.01.16	
Issued	By	Appd.	YY.MM.DD	
File Name:	Dwn.	Chkd.	Dsgn.	YY.MM.DD

Permit-Seal



2023-09-08
PERMIT TO PRACTICE #1002862

Client/Project
0822754 B.C. Ltd.

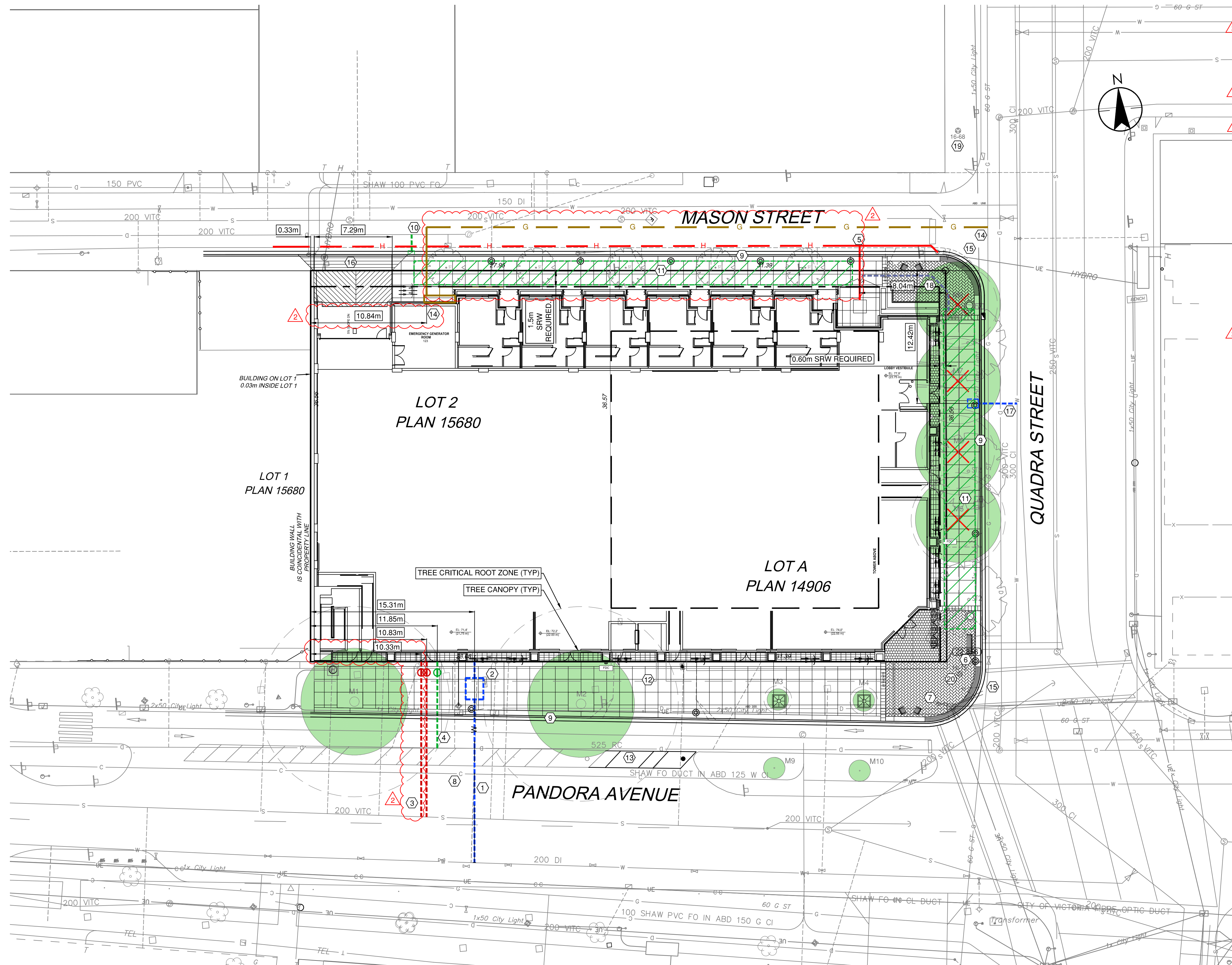
854-880 Pandora Avenue
Victoria, BC

Title
PRELIMINARY SERVICING PLAN

Project No. 111720169 Scale 1:200

Drawing No. Sheet 1 of 1 Revision

C101 1 of 1 2



DRAWING PATH: \\c:\2023\proj\111720169\111720169_4_dwg\111720169_4.dwg
DATE: 2023-09-08