

**D.1.a.d 3109 Highview Street: Development Permit with Variances
Application No. 00238 (Hillside/Quadra)**

Moved By Councillor Kim

Seconded By Councillor Coleman

1. That Council waive the standard practice of holding an Opportunity for Public Comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for written commentary to come back to Council for consideration prior to issuing the Development Permit with Variances.
2. And that Council authorize the issuance of Development Permit with Variances Application No. 00238 for 3109 Highview Street in accordance with plans submitted to the Planning department and date stamped August 16, 2023, subject to:
 - a. Proposed development meeting all City zoning regulation bylaw requirements, except the following variances:
 - i. reduce the front lot line setback from 6.0m to 2.0m
 - ii. reduce the rear yard setback from 6.0m to 4.63m to the building and to 3.43m to the steps.
3. The Development Permit with Variances, if issued, lapses two years from the date of this resolution.

CARRIED UNANIMOUSLY

G.3 3109 Highview Street: Development Permit with Variances Application No. 00238 (Hillside/Quadra)

Committee received a report dated September 28, 2023 from the Director of Sustainable Planning and Community Development regarding a Development Permit with Variances application for the property located at 3109 Highview street in order to facilitate the construction of a new single-family dwelling on a small lot recently created by subdivision at 3109 Highview Street in the Hillside Quadra Neighbourhood area, and is recommending Council waive the standard practice of holding an Opportunity for Public Comment for this application.

Moved By Councillor Coleman
Seconded By Councillor Gardiner

1. That Council waive the standard practice of holding an Opportunity for Public Comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for written commentary to come back to Council for consideration prior to issuing the Development Permit with Variances.
2. And that Council authorize the issuance of Development Permit with Variances Application No. 00238 for 3109 Highview Street in accordance with plans submitted to the Planning department and date stamped August 16, 2023, subject to:
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CARRIED UNANIMOUSLY



Committee of the Whole Report For the Meeting of October 12, 2023

To: Committee of the Whole **Date:** September 28, 2023

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: **Development Permit with Variances Application No. 00238 for 3109 Highview Street**

RECOMMENDATION

1. That Council waive the standard practice of holding an Opportunity for Public Comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for written commentary to come back to Council for consideration prior to issuing the Development Permit with Variances.
2. And that Council authorize the issuance of Development Permit with Variances Application No. 00238 for 3109 Highview Street in accordance with plans submitted to the Planning department and date stamped August 16, 2023, subject to:
 - a. Proposed development meeting all City zoning regulation bylaw requirements, except the following variances:
 - i. reduce the front lot line setback from 6.0m to 2.0m
 - ii. reduce the rear yard setback from 6.0m to 4.63m to the building and to 3.43m to the steps.
3. The Development Permit with Variances, if issued, lapses two years from the date of this resolution.

LEGISLATIVE AUTHORITY

Relevant Development Permit considerations relate to the application's consistency with design guidelines and the impact of the proposed variances.

Enabling Legislation

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the *Zoning Regulation Bylaw* but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the establishment of objectives for the form and character of intensive residential development, a Development Permit may include requirements respecting the character of the development including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis, and recommendations for a Development Permit with Variances application for the property located at 3109 Highview Street.

This proposal is to facilitate the construction of a new single-family dwelling on a small lot recently created by subdivision at 3109 Highview Street in the Hillside Quadra Neighbourhood area.

The variances are related to reducing the required front and rear yard setback in order to create a larger building envelope.

The following points were considered in assessing this application:

- The application aligns with the *Official Community Plan, 2012 (OCP)* and the *Hillside-Quadra Neighbourhood Plan, 2022*, as the proposed development maintains the existing traditional character of the area.
- The proposal is consistent with the design guidelines specified in the *Small Lot House Rezoning Policy, 2002* for form and character relating to the construction of new single detached homes.
- Reducing the front and rear yard setbacks is supportable as there is still adequate separation between the proposed new dwelling unit and the neighbouring properties.
- A previous Development Permit with Variances Application (No. 000546) for 1302 Finlayson Street approved the subdivision of the parent lot into two new lots, as well as the construction of a new single-family dwelling on the subject lot (3109 Highview Street). This DPV lapsed in July of 2022 before substantial construction had begun on the project, which consequently required the applicant to go through the approval process again.

BACKGROUND

Description of Proposal

This proposal is to facilitate the construction of a new single-family dwelling on a small lot recently created by subdivision at 3109 Highview Street in the Hillside Quadra Neighbourhood area. Specific details for the proposed building include:

- two-storey building with a side yard parking pad
- traditional style architecture with exterior materials such as Hardie shingle and Hardie plank siding, and asphalt shingles that are reflective of other buildings in the area
- wrap-around balcony that provides eyes on the street and on the park to the north.

Land Use Context

The area is characterized primarily by single-family dwellings.

Highview Playlot is located immediately to the north, and Summit Park is located south of the subject property.

Existing Site Development and Development Potential

The site is presently undeveloped with an existing non-conforming accessory structure on it which is proposed to be demolished. Under the R1-S2 Zone, Restricted Small Lot (Two Storey) District, the subject site can be developed as a single-family dwelling.



Figure 1. Location of subject property and surrounding land uses.

Data Table

The following data table compares the proposal with the existing R1-S2, Restricted Small Lot (Two Storey) District. An asterisk is used to identify where the proposal does not meet the requirements of this Zone.

Zoning Criteria	Proposal	Zone Standard R1-S2, Restricted Small Lot (Two Storey) District
Site area (m ²) – minimum	260.50	260.0
Density (Floor Space Ratio) – maximum	0.60	0.60
Total floor area (m ²) – maximum	157.13	190.0

Zoning Criteria	Proposal	Zone Standard R1-S2, Restricted Small Lot (Two Storey) District
Lot width (m) – minimum	16.99	10.0
Height (m) – maximum	7.50	7.50
Storeys – maximum	2	2
Site coverage (%) – maximum	38.41	40
Setbacks (m) – minimum		
Front (west - Highview Street)	2.0 *	6.0
Rear (east)	3.43 * (steps) 4.63 * (building)	6.0
Side (north)	2.40	1.50 (non-habitable) 2.40 (habitable)
Side (south)	3.0	1.50 (non-habitable) 2.40 (habitable)
Side on flanking street (Finlayson Street)	N/A	2.40
Parking (residential) – minimum	1	1

Sustainability

The applicant has not identified any sustainability features associated with this proposal.

Mobility

The applicant has not identified any mobility features associated with this proposal.

Public Realm

No public realm improvements beyond City standard requirements are proposed in association with this application.

Accessibility

No accessibility improvements are proposed beyond what is required through the *British Columbia Building Code*.

Relevant History

A previous Development Permit with Variances Application No. 000546 for 1302 Finlayson Street approved the subdivision of the parent lot into two new lots, as well as the construction of a new single-family dwelling on a small lot (3109 Highview Street).

This DPV lapsed in July of 2022 before substantial construction had begun on the project, which consequently required the applicant to go through the approval process again.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, on June 21, 2023, the application was referred for a 30-day comment period to the Hillside-Quadra CALUC. No response was received at the time of writing this report.

Pursuant to section 31 of the City's *Land Use Procedures Bylaw*, Council may provide an opportunity for public comment before considering a development permit with variance application. If Council decides not to have an opportunity for public comment, notice of the application must still be sent to all owners and occupiers of the subject property and adjacent properties. The notice would invite recipients to provide written comments prior to Council's consideration of the application.

Should Council wish to hold an opportunity for public comment, an alternate motion has been provided at the end of this report.

ANALYSIS

Official Community Plan, 2012

The *Official Community Plan, 2012* (OCP) identifies this property within Development Permit Area 15A: Intensive Residential - Small Lot.

The proposal is generally consistent with the design guidelines specified in the *Small Lot Design Guidelines*.

The immediate area primarily consists of traditional architectural styles. The proposed dwelling maintains the overall massing and gabled roofline that is found on many other houses in the area. The wrap-around deck would provide for eyes on both the street and Highview Playlot.

The proposed setbacks are similar to the existing dwelling on the parent lot (1302 Finlayson Street) and provide a step back towards the park.

Hillside Quadra Neighbourhood Plan, 2022

The *Hillside-Quadra Neighbourhood Plan, 2022* identifies the property within the Small Urban Village urban place designation which supports residential development with heights ranging from two to four storeys depending on the existing and envisioned context of the area.

The proposed two storey single-family residential development aligns with the Small Urban Village designation.

Small Lot House Rezoning Policy

The application is consistent with the *Small Lot House Rezoning Policy*. The existing building on the parent lot (1302 Finlayson Street) will be retained and the new house is generally sensitive in character to the nearby dwellings.

The applicant conducted consultation of the immediate neighbours and achieved 100% support from respondents on the neighbour petition.

Housing

Since this application is for a DPV, housing tenure and affordability considerations cannot be required. The application would add one net new residential single family dwelling unit for market value purchase which would increase the overall supply of housing in the area and contribute to the targets set out in the *Victoria Housing Strategy*.

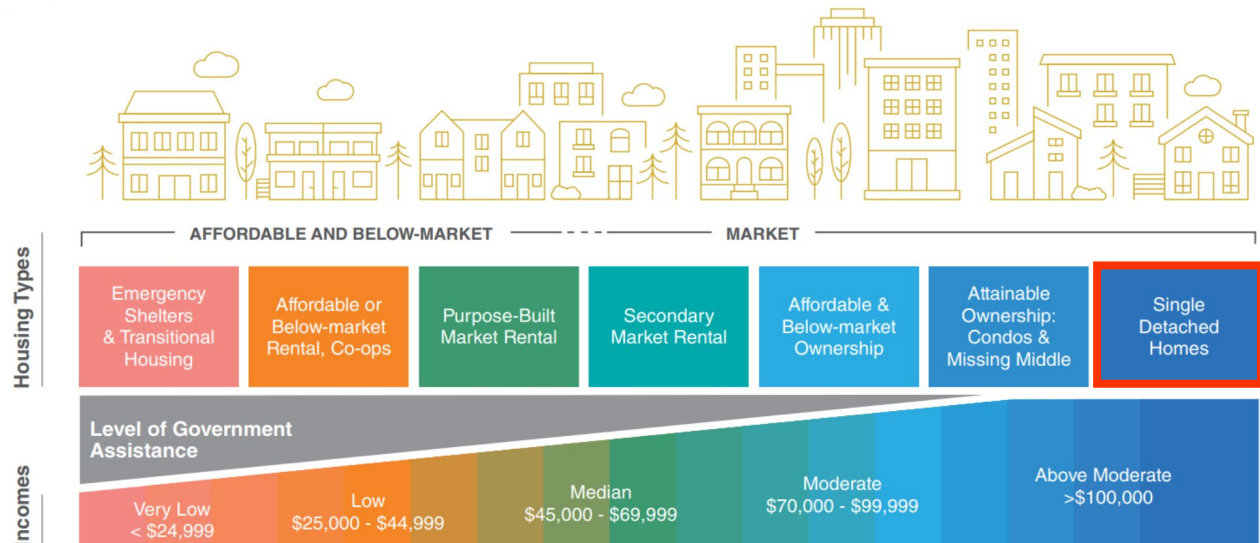


Figure 1. Housing Continuum

Housing Mix

As submitted, this application proposes to construct one new single-family dwelling on a small lot. At present there is no policy that provides targets regarding housing mix and unit type is not regulated or secured. However, the OCP identifies a mix of units as an objective and identifies the need for a diverse range of housing units including family housing.

Existing Tenants

There are no tenant impacts associated with this application.

Variances

There are two variances related to this application.

The first variance is to reduce the front yard setback from 6m to 2m and the second variance is to reduce the rear yard setback from 6m to 4.63m to the building and 3.43m to the rear steps. Impacts to neighbouring properties are not anticipated as a result of the variance requests.

The front and rear setback reduction variances are supported as requested by the applicant.

Tree Preservation Bylaw and Urban Forest Master Plan

There are four existing European ash trees growing along the Highview Street side of the proposed new lot. These trees are proposed for removal to construct a new public sidewalk which will be separated from the street by a grass boulevard.

The trees measure 19cm, 22cm and 22cm in DBH (diameter at breast height) with the multi-stemmed tree having a calculated DBH of 25cm. One of these ash trees has a wound at the base with internal decay and the multi-stemmed ash has poor structure.

Two new street trees are proposed for the newly created boulevard space which replaces a gravel road shoulder used for parking. The tree species will be determined at building permit stage. No new trees are presently proposed on private property.

Two City owned Garry oak trees are growing adjacent to the proposed new lot. A mature 71cm diameter at breast height (DBH) protected Garry oak tree located in Highview Playlot, nine metres from the subject property boundary, is not expected to be negatively impacted by the proposed application. On the opposite side of Highview Street there is a multi-stemmed Garry oak with trunks measuring 73, 80 and 88cm DBH.

The proposed location of the water service connection to the water main will be located to reduce any impacts to this tree. The work to remove the additional trees identified for removal in the Arborist Report has already taken place as per the recently approved Subdivision.

CONCLUSIONS

The proposal to construct a new single-family dwelling on a small lot recently created through subdivision along with two variances is consistent with Development Permit Area 15A: Intensive Residential – Small Lot. The small lot house is a form of sensitive infill development and generally fits in with the existing neighbourhood.

The proposed variances are recommended as being supportable as the front yard setback of the proposed dwelling is an increase over the existing building to the south and the rear yard setback of the proposed dwelling is consistent with the existing building.

Therefore, it is recommended that Council consider supporting this application.

ALTERNATE MOTION(S)

Option 1 – Hold an Opportunity for Public Comment

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

- “1. That Council authorize the issuance of Development Permit with Variances Application No. 00238 for 3109 Highview Street in accordance with plans submitted to the Planning department and date stamped August 16th, 2023, subject to:
 - a. Proposed development meeting all City zoning regulation bylaw requirements, except the following variances:
 - i. reduce the front lot line setback from 6.0m to 2.0m
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 - b. The Development Permit with Variances, if issued, lapses two years from the date of this resolution.”

Option 2 – Decline

That Council decline issuance of Development Permit with Variance Application No. 00238 for 3109 Highview Street.

Respectfully submitted,

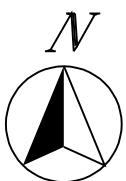
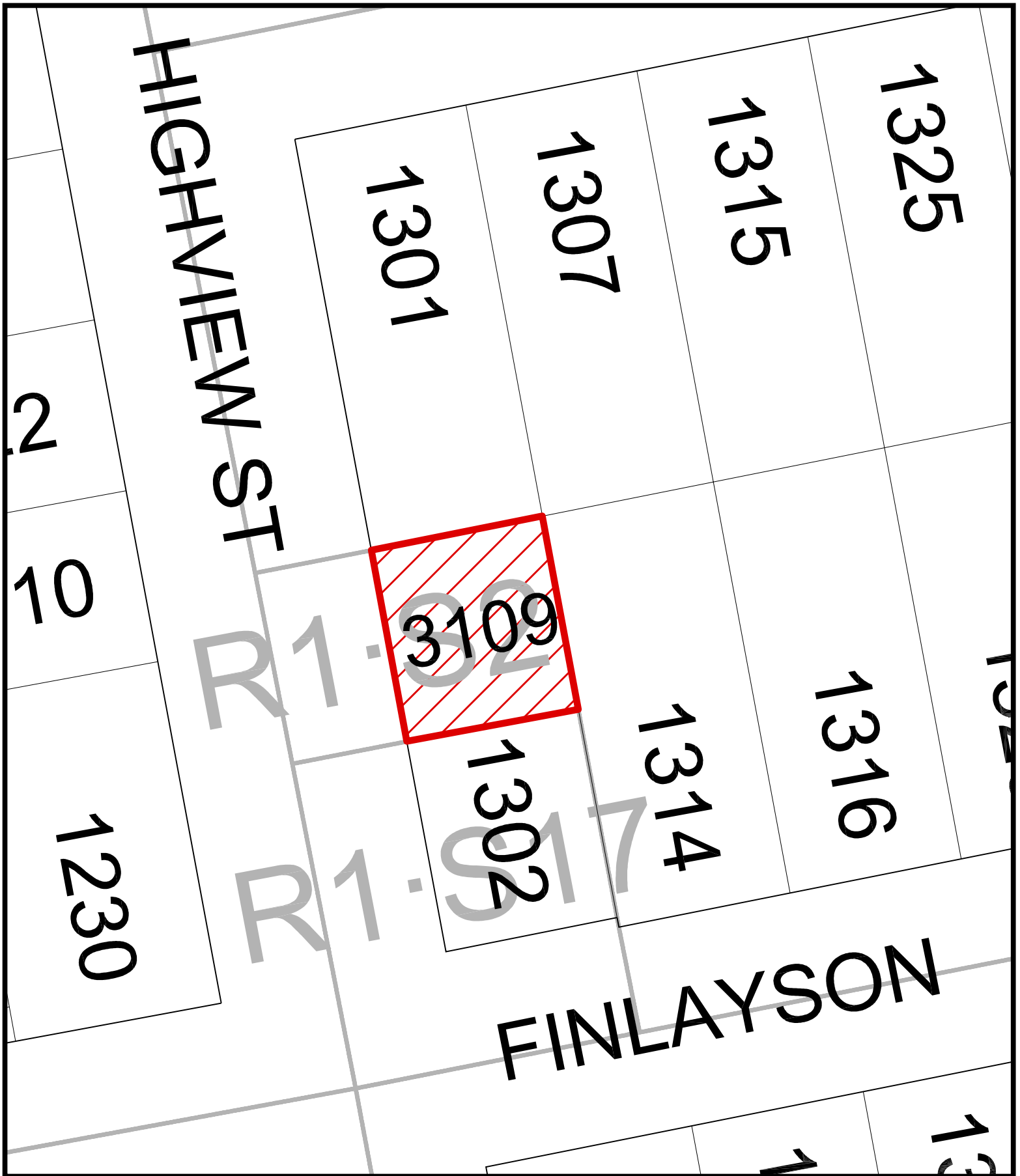
Kasha Janota-Bzowska
Planner
Development Services Division

Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

List of Attachments

- Attachment A: Subject Map
- Attachment B: Plans date stamped August 16, 2023
- Attachment C: Letter from applicant to Mayor and Council dated May 31, 2023
- Attachment D: Arborist Report dated October 21, 2019



3109 Highview Street
 Development Permit w. Variance No.00238



BC LAND SURVEYORS SITE PLAN OF:

Civic: 1302 Finlayson Road

Legal Lot 15, Block 3, Section 4,
Victoria District, Plan 1200

Parcel Identifier: 004-786-378
in the City of Victoria

Setbacks are derived from field survey.

Parcel dimensions shown hereon are
derived from Land Title Office records.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.

LEGEND

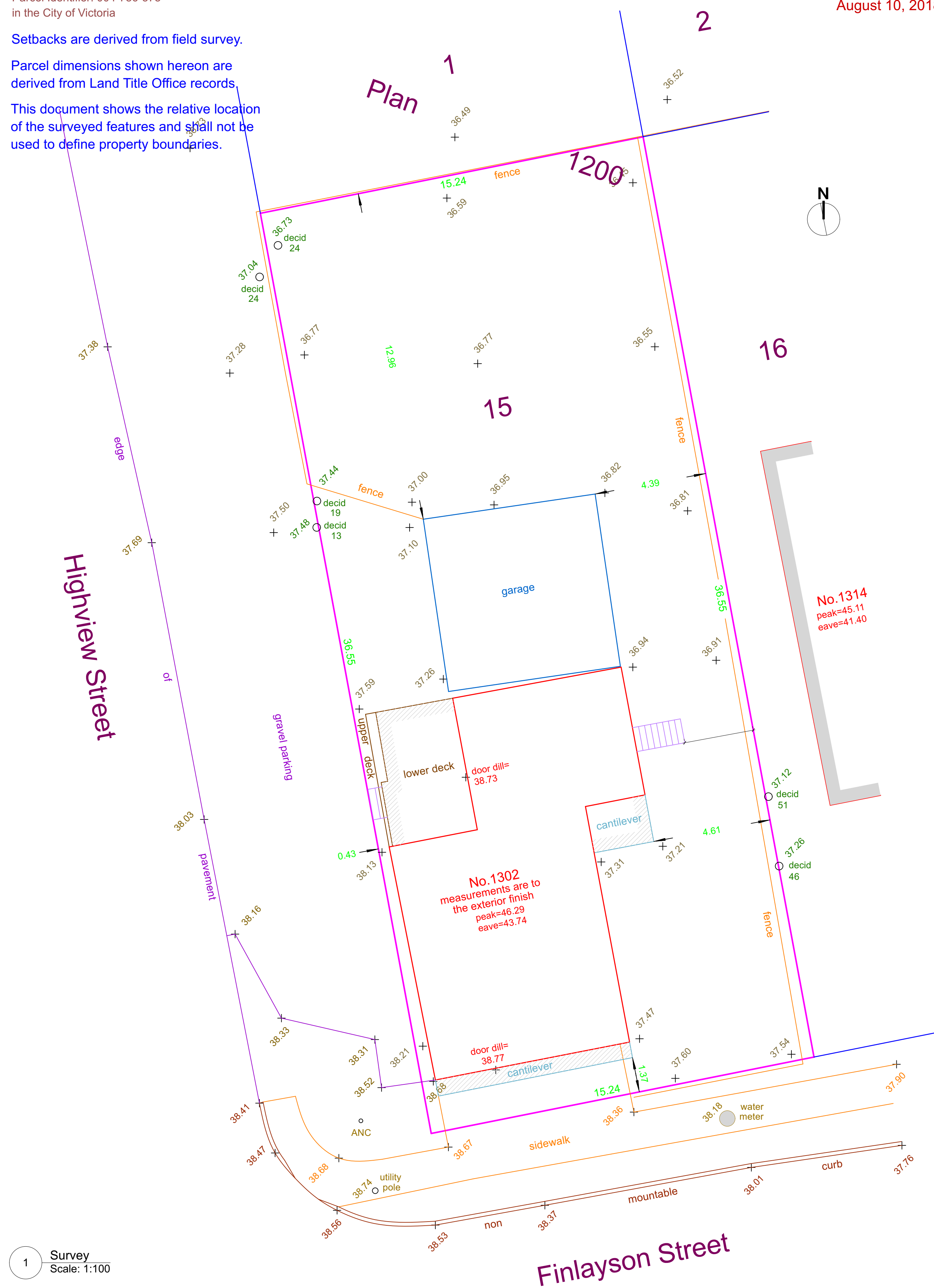
- Elevations are to geodetic datum.
- ANC ○ - denotes - guy wire
- #.# + - denotes - existing elevation
- Tree diameters are in centimetres.

File : 12828-32

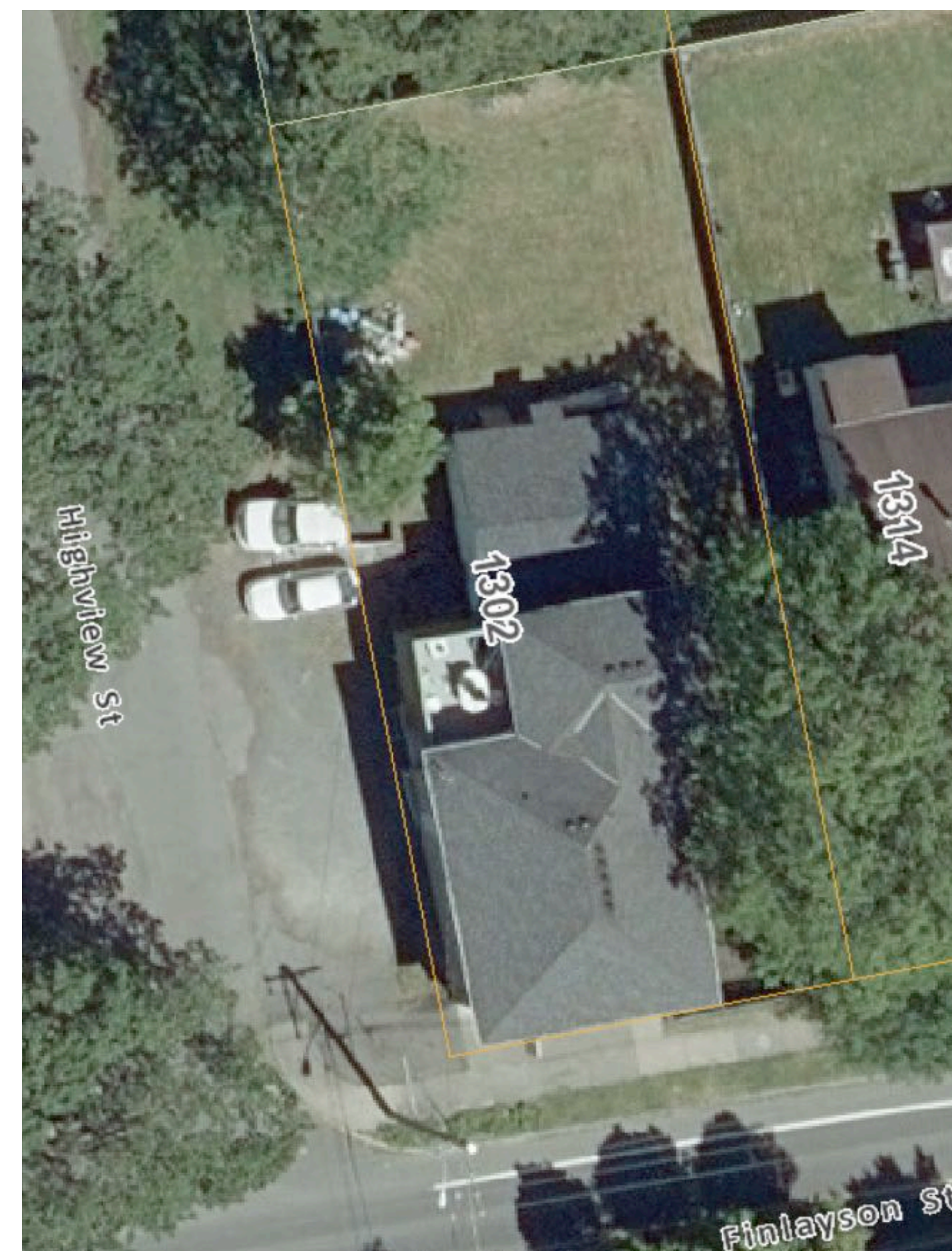
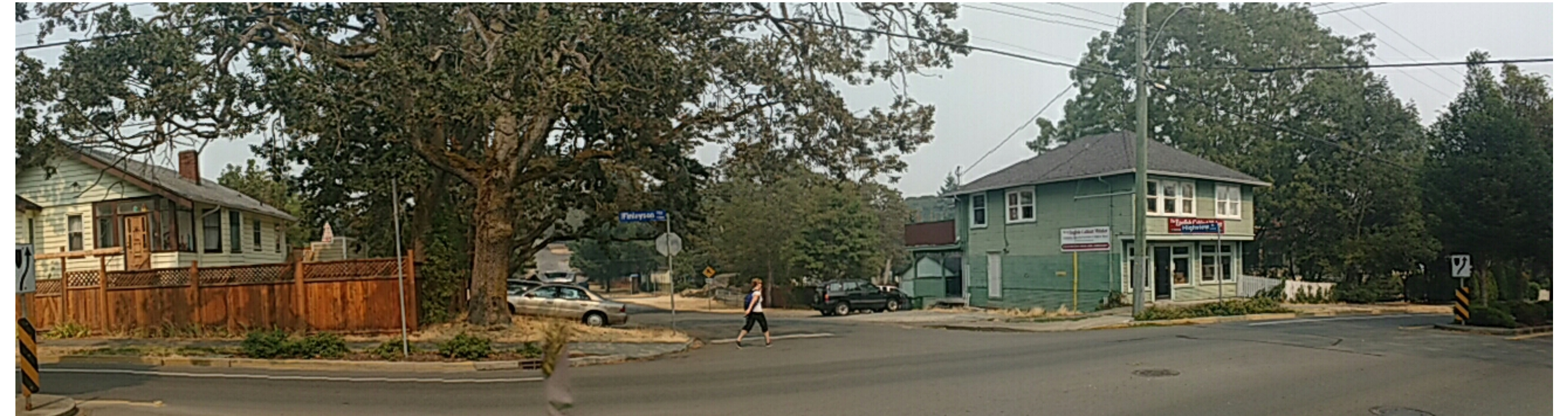
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855

August 10, 2018

Lot Area = 557 m2



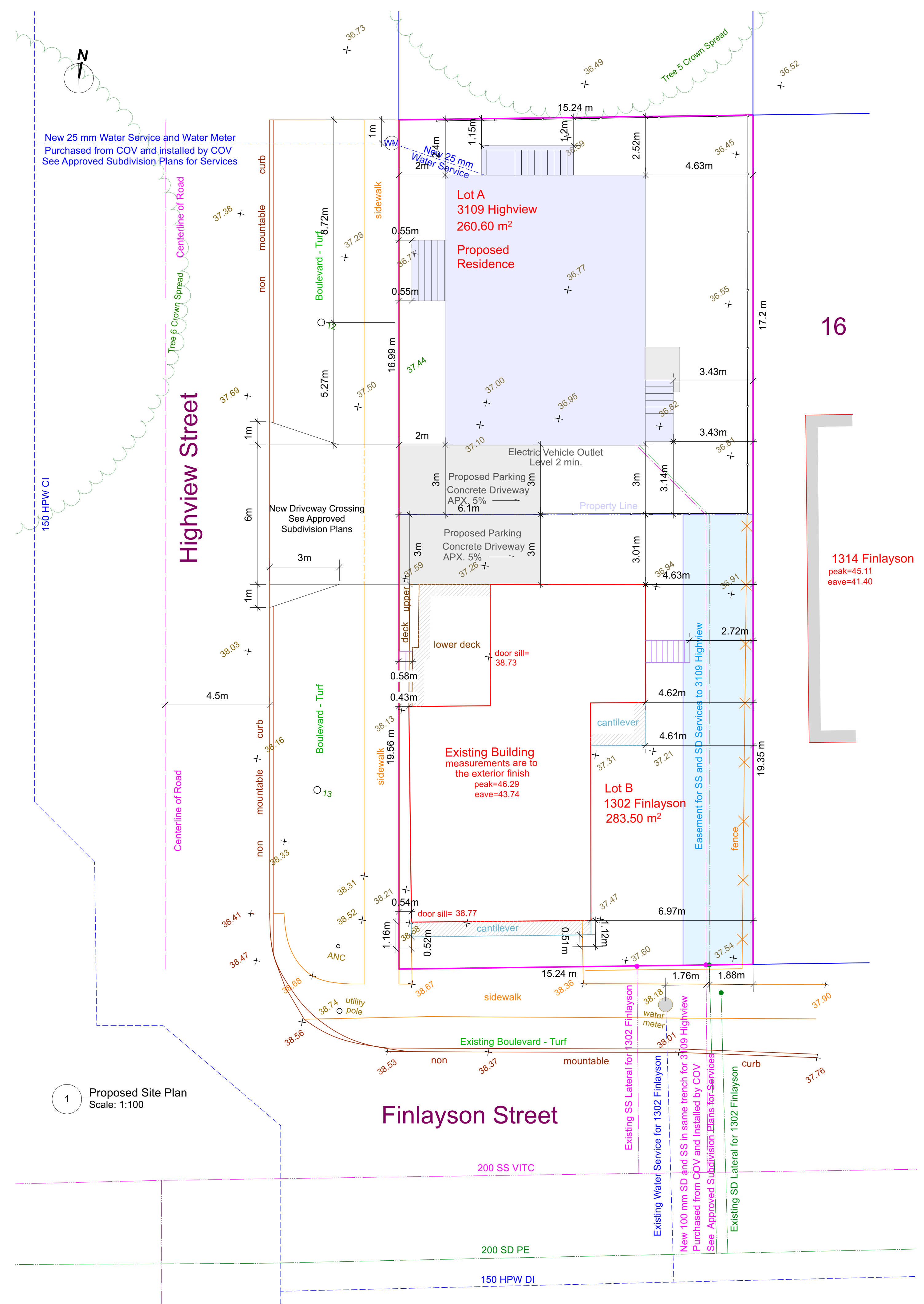
1 Survey
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Revisions

Received Date:
August 16, 2023

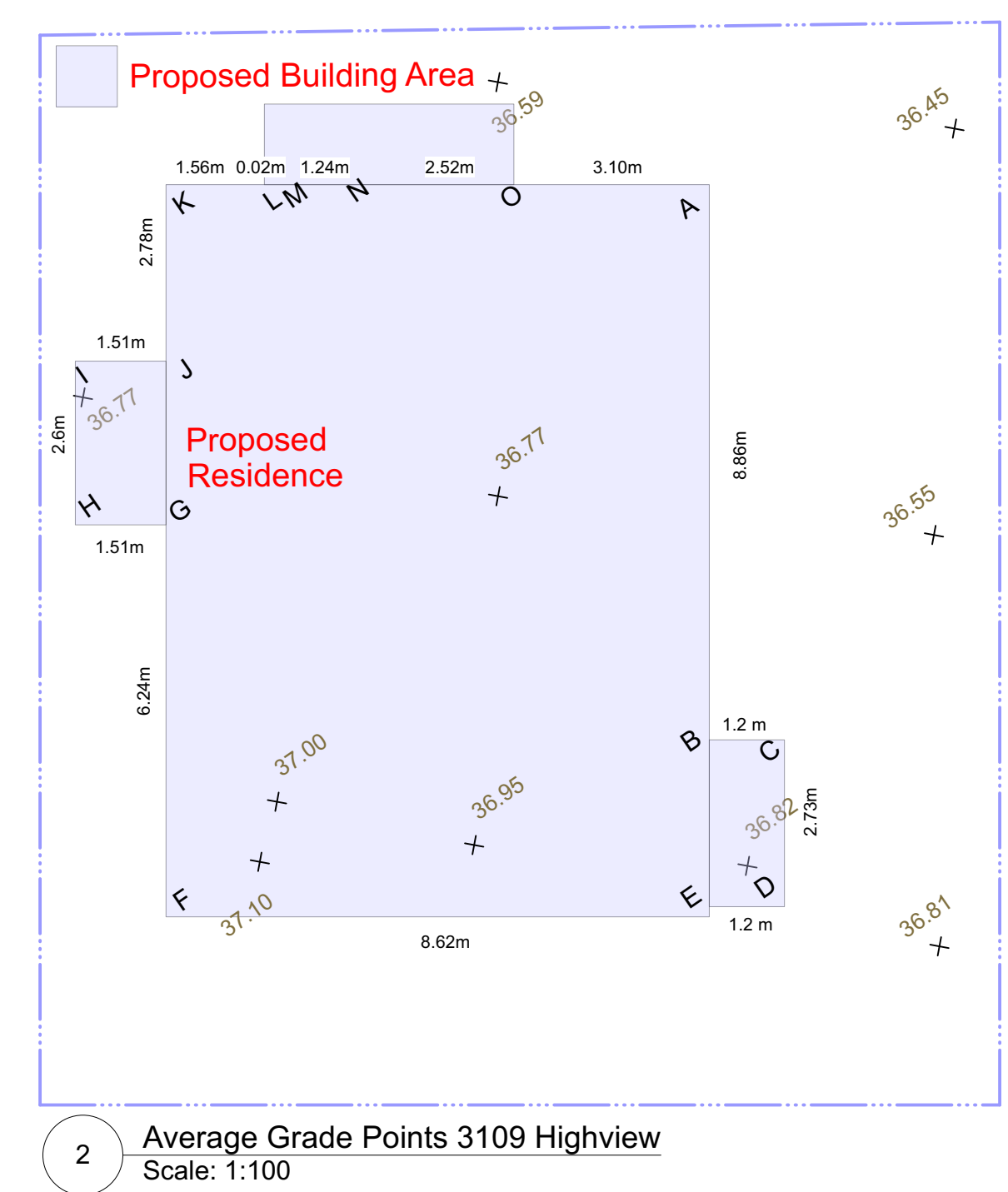
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No.	Date	Issue Notes
Design Firm		
Consultant		
Project Title		
3109 Highview New Single Family Dwelling Development Permit		
Sheet Title		
Existing Site Survey		
Project Manager	Project ID	
Drawn By	Scale	As Noted
Reviewed By	Sheet No.	
Date	A 1.0	
CAD File Name	of	
	A 1.6	



Zoning Data	
Existing Zone	R1-S2
Lot Area	260.60
Lot Frontage on Street	16.99
Site Coverage	38.40%
FSR	0.60
Open Site Space	52.08%
Floor Area 1+2	157.13
Main	83.96
Upper	73.17
Basement	82.41
Floor Area all Floors	239.54
Commercial Floor Area	N/A
Residential Floor Area	239.54
Number of Dwelling Units	1
Parking Stalls	1
Number of Storeys	2
Height	7.50
Average Grade	36.75
Peak Height	45.76
Eave Height	42.74
Front yard	2.00
Rear yard	3.43
North Side Yard	2.40
South Side Yard	3.00
Combined Side Yard	5.40
Outdoor Private Space Area	106.92

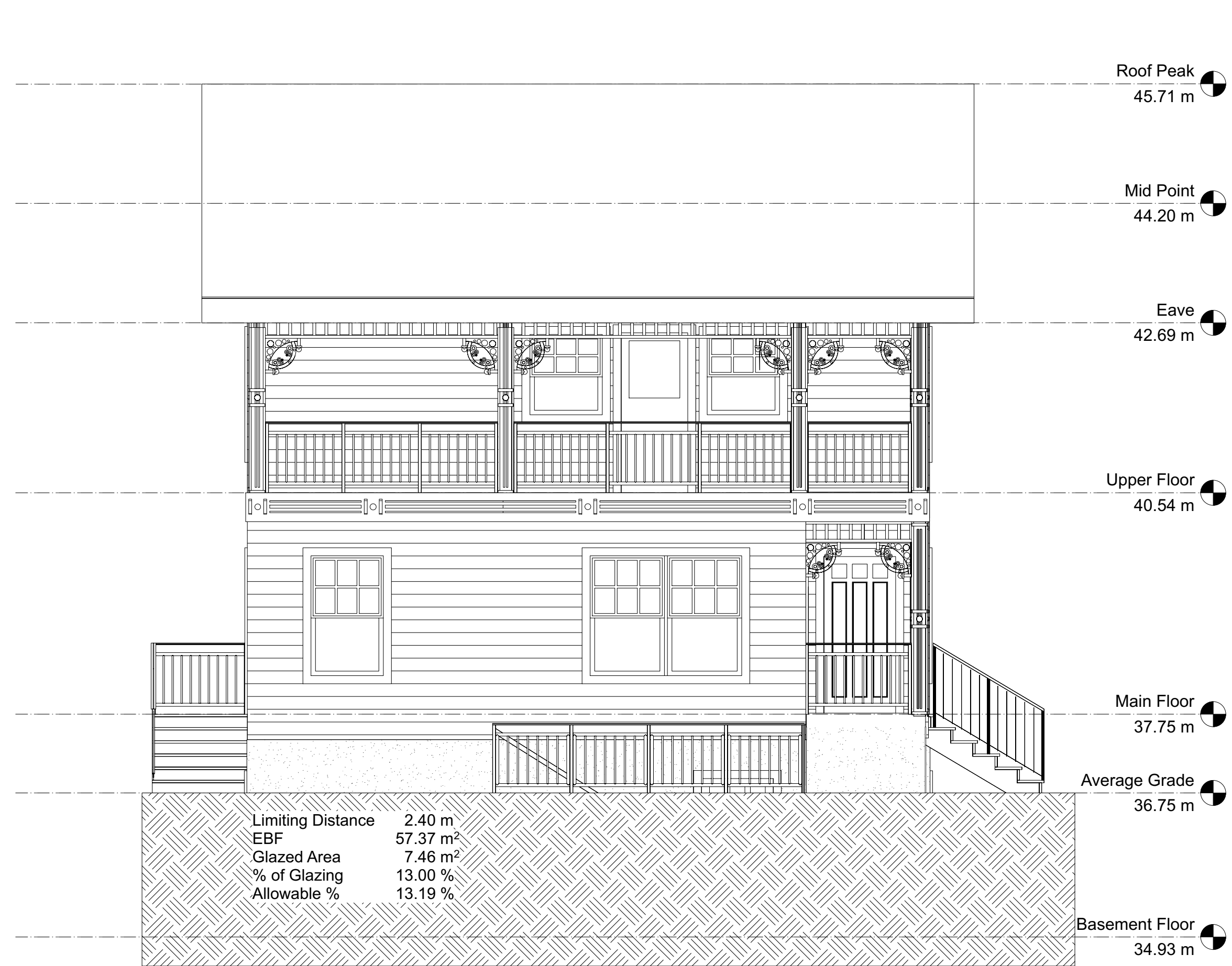
3109 Highview Average Grade									
Grade Points	Geodetic Elevation (M)	Geodetic Elevation (FT)	Between Grade Points	Average of Points (M)	Average of Points (FT)	Between Grade Points	Distance (M)	Distance (FT)	Totals
A	36.73	120.47	AB	36.78	120.62	AB	8.86	29.07	325.97
B	36.82	120.77	BC	36.82	120.77	BC	1.20	3.94	44.18
C	36.82	120.77	CD	36.82	120.77	CD	2.73	8.95	100.52
D	36.82	120.77	DE	36.82	120.77	DE	1.20	3.94	44.18
E	36.82	120.77	EF	36.96	121.23	EF	8.62	28.26	318.41
F	37.10	121.69	FG	36.94	121.15	FG	6.24	20.45	230.29
G	36.77	120.61	GH	36.77	120.61	GH	1.51	4.95	55.52
H	36.77	120.61	HI	36.77	120.61	HI	2.60	8.53	95.60
I	36.77	120.61	IJ	36.77	120.61	IJ	1.51	4.95	55.52
J	36.77	120.61	JK	36.77	120.61	JK	2.78	9.12	102.26
K	36.77	120.61	KL	36.78	120.62	KL	1.56	5.12	57.37
L	36.78	120.64	LM	35.89	117.70	LM	0.02	0.07	0.72
M	34.99	114.77	MN	35.79	117.39	MN	1.24	4.07	44.38
N	34.99	114.77	NO	35.79	117.39	NO	2.52	8.27	90.19
O	36.59	120.02	OA	36.66	120.24	OA	3.10	10.17	113.65
Totals									
Average Grade	36.75	120.53					45.69		1678.77

Hydraulic Calculations			
3109 Highview Lot A			
Fixture or Device	Fixture Units	# of Fixtures	Total Fixture Units
Bathroom Group	3.6	3	10.8
Bathtub	1.4		0
Clothes Washer	1.4	1	1.4
Dishwasher	1.4	1	1.4
Hose Bibb	2.5	2	5
Sink, bar	1	1	1
Sink, Bathroom (Basin)	0.7	2	1.4
Sink, Kitchen	1.4	1	1.4
Sink, Laundry	1.4		0
Shower stall	1.4		0
Water closet (toilet)	2.2	1	2.2
Total			24.6
Water meter and service from main to property line	25 mm Water Meter and Service		
Water service size from property line to house.	25 mm Water Service		

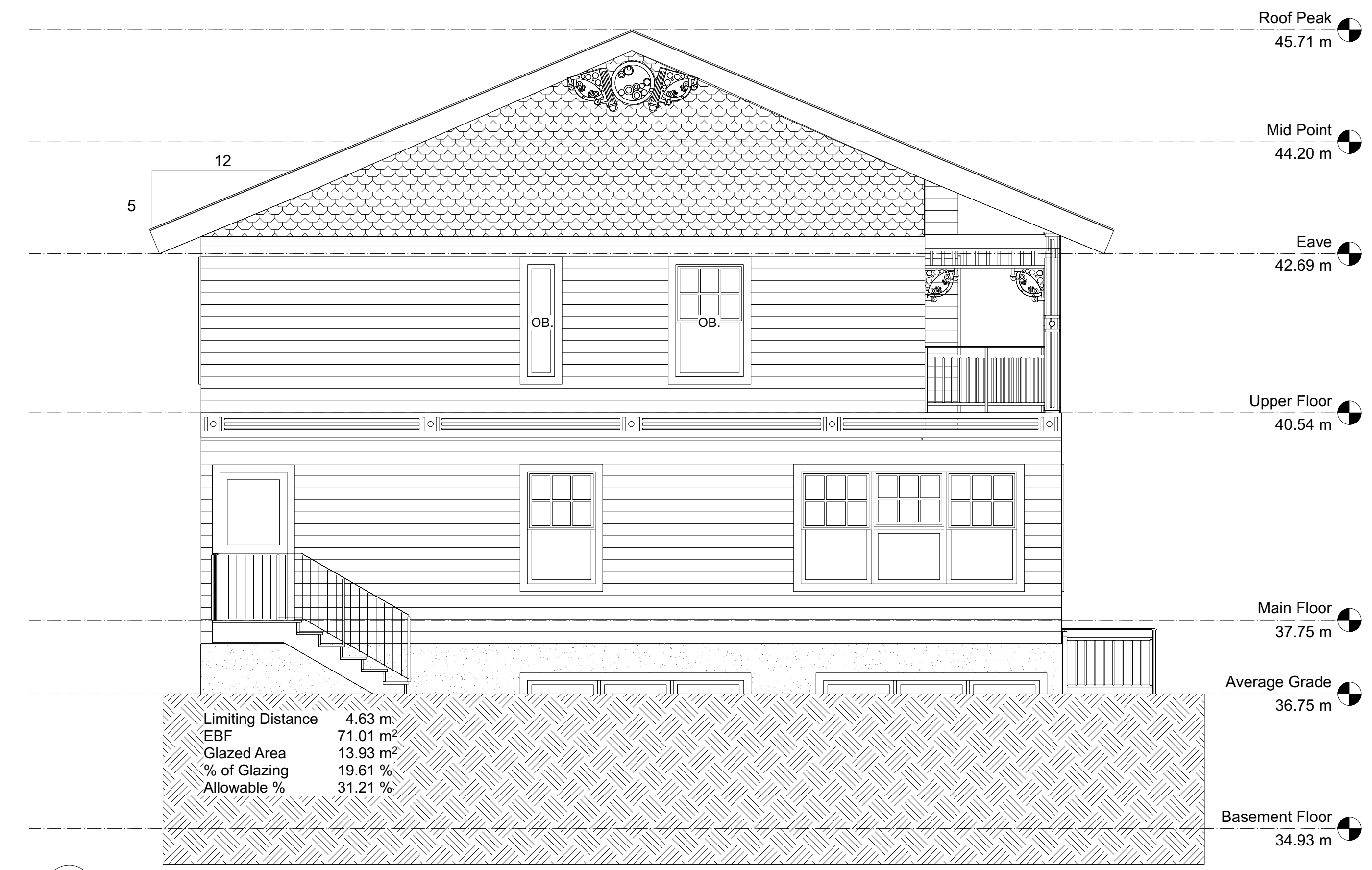


Trees					
Tree Number	Species	DBH (m)	Crown Spread (Dia. in m)	CRZ (radius in m)	Comments
1	European Ash - Fraxinus Excelsior	0.22	5.0	2.5	Existing to be removed
2	European Ash - Fraxinus Excelsior	0.22	6.0	2.5	Existing to be removed
3	European Ash - Fraxinus Excelsior	0.19	6.0	2.5	Existing to be removed
4	European Ash - Fraxinus Excelsior	0.12 0.12 0.11	6.0	3.0	Existing to be removed
5	Garry Oak - Quercus garyana	0.75	19.0	7.5	Existing to be retained. (Protected)
6	Garry Oak - Quercus garyana	0.88 0.80 0.73	23.0	18.0	Existing to be retained. (Protected)
7	European Ash - Fraxinus Excelsior	0.26 0.12	7.0	4.0	Existing to be removed
8	Wild Plum - Prunus Species	0.25 0.18 0.17 0.13	10.0	5.5	Existing to be removed
9	European Ash - Fraxinus Excelsior	0.20 0.16	10.0	3.5	Existing to be removed
10	European Ash - Fraxinus Excelsior	0.46	17.0	5.5	Existing to be removed
11	European Ash - Fraxinus Excelsior	0.50	17.0	6.0	Existing to be removed
12	TBD by Parks				New min. 6cm caliper
13	TBD by Parks				New min. 6cm caliper

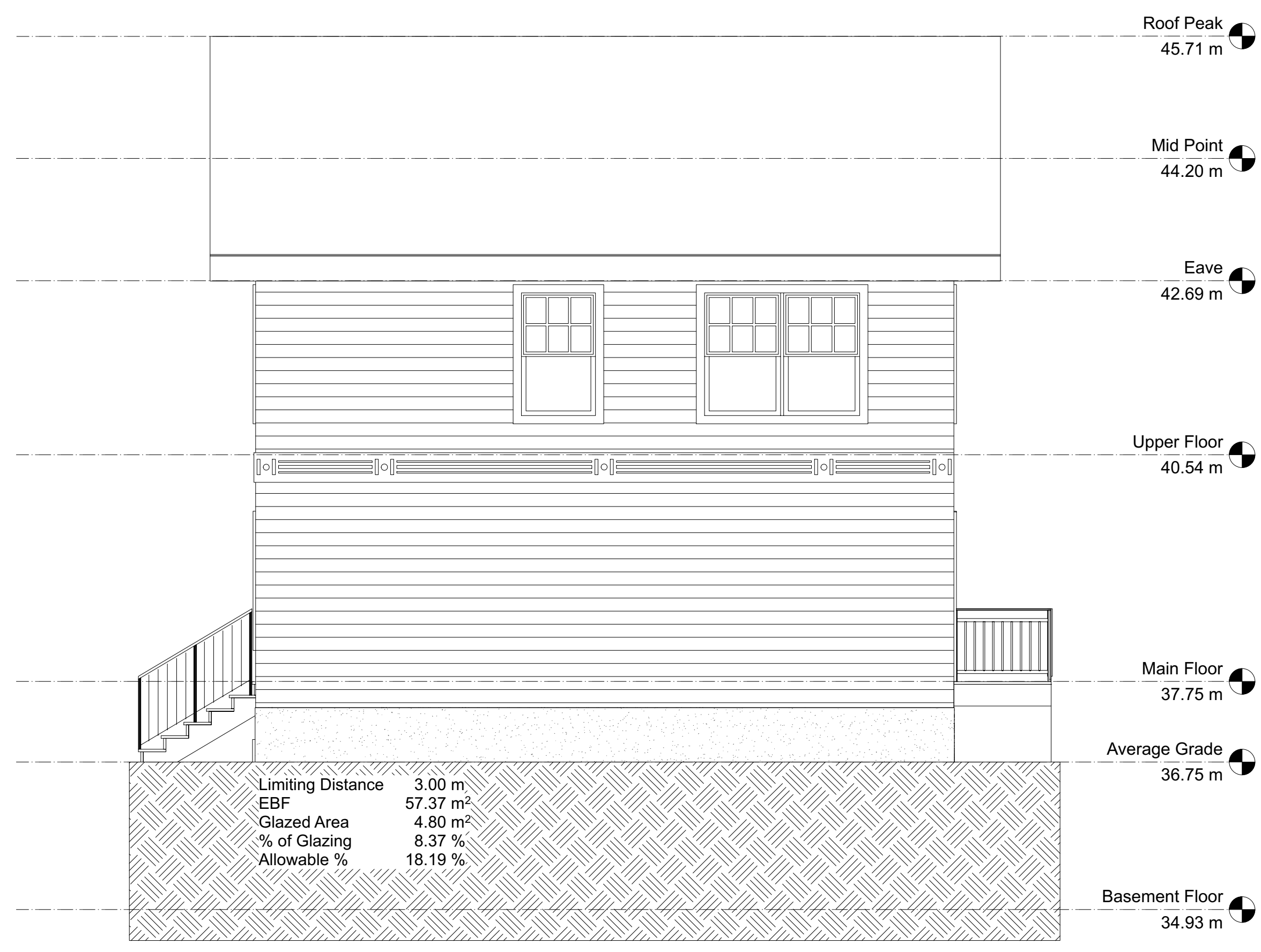
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1 2023-05-18 Issued for Development Permit		
No.	Date	Issue Notes
Design Firm		
Consultant		
Project Title 3109 Highview New Single Family Dwelling Development Permit		
Sheet Title Proposed Site Data Table Site Servicing Plan		
Project Manager	Project ID	
Drawn By Cantlever Designs	Scale As Noted	
Reviewed By	Sheet No.	
Date 2023-08-02	A 1.1	
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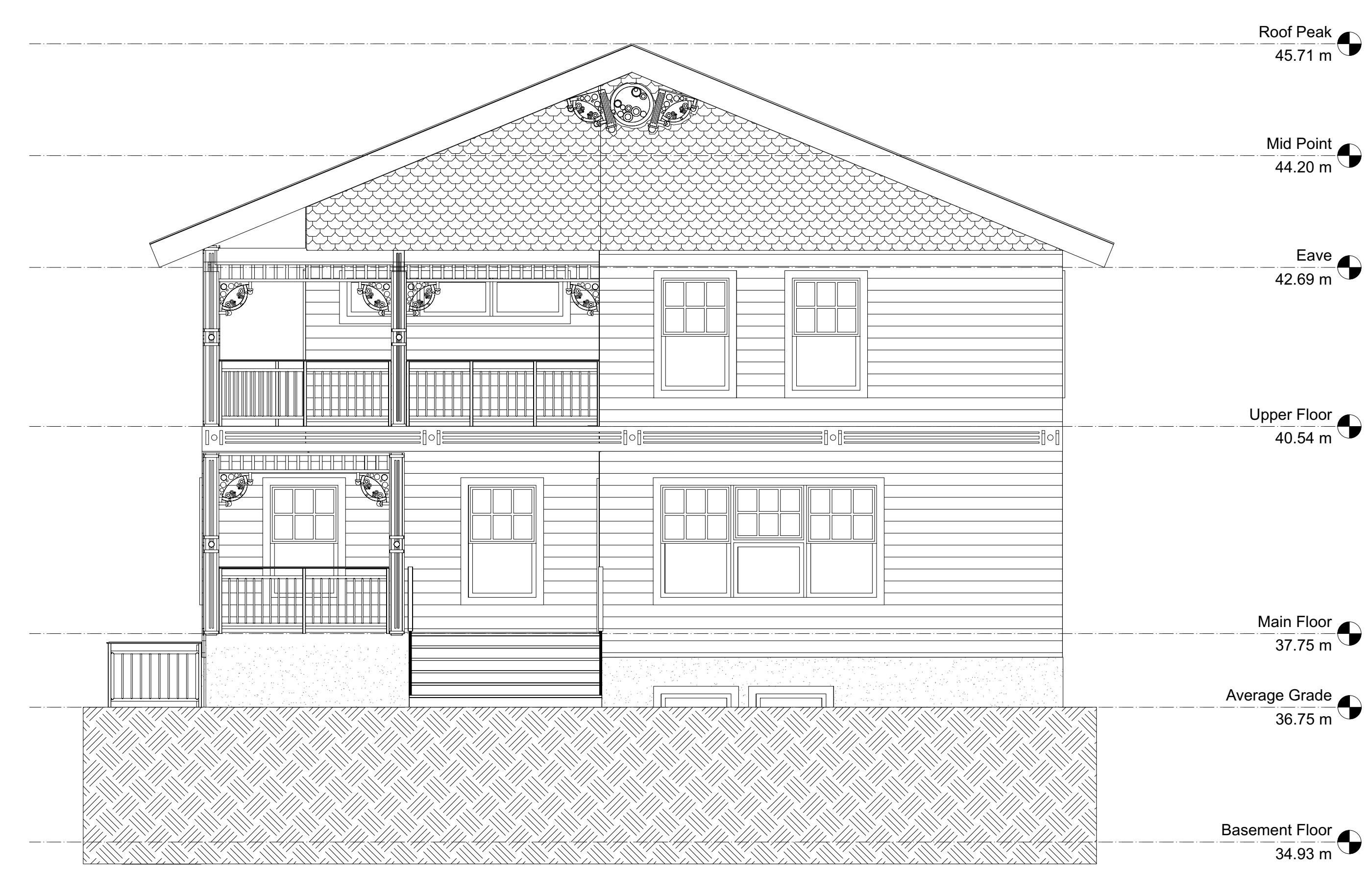
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2 East Elevation
Scale: 1:50

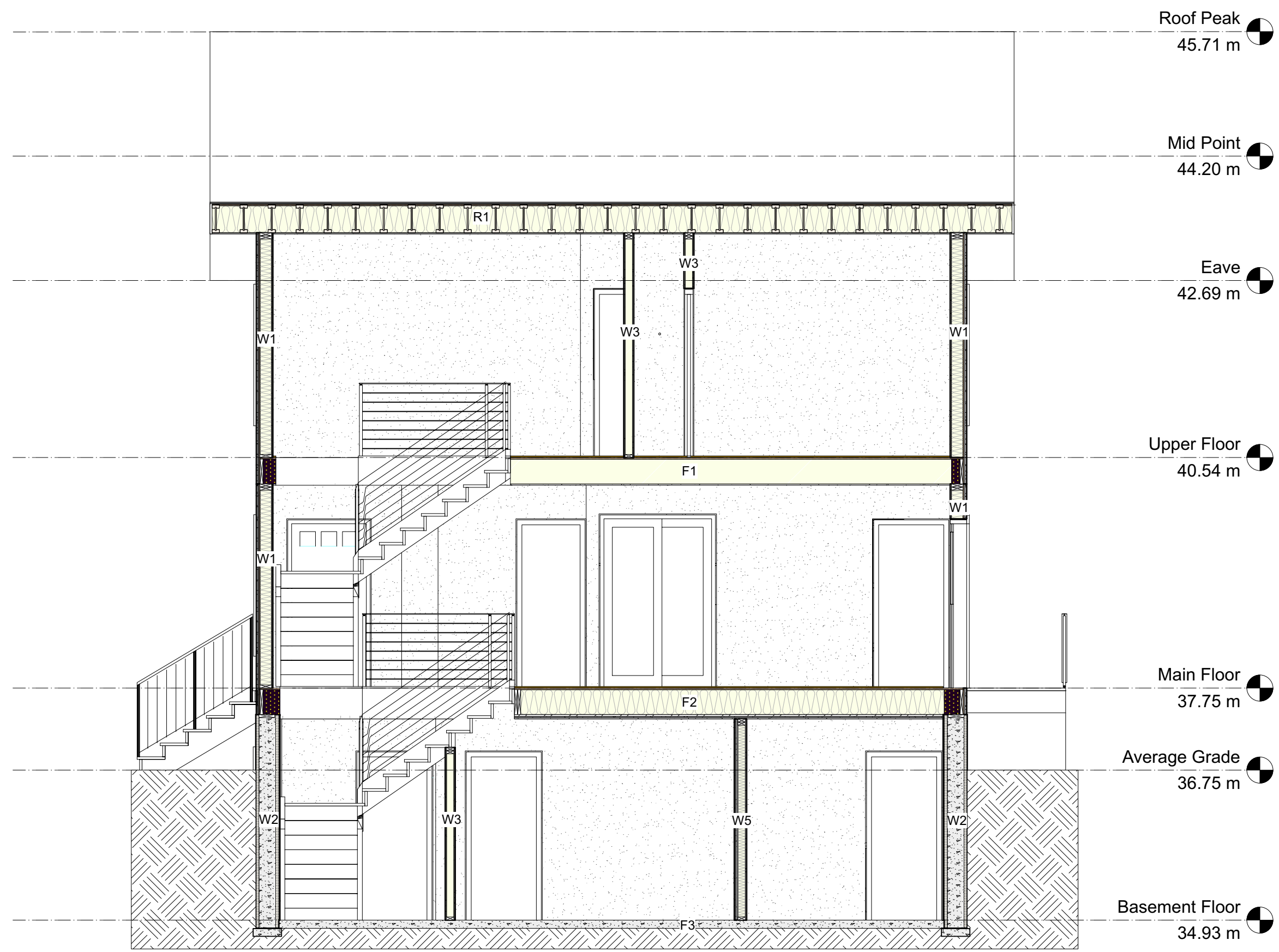


3 South Elevation
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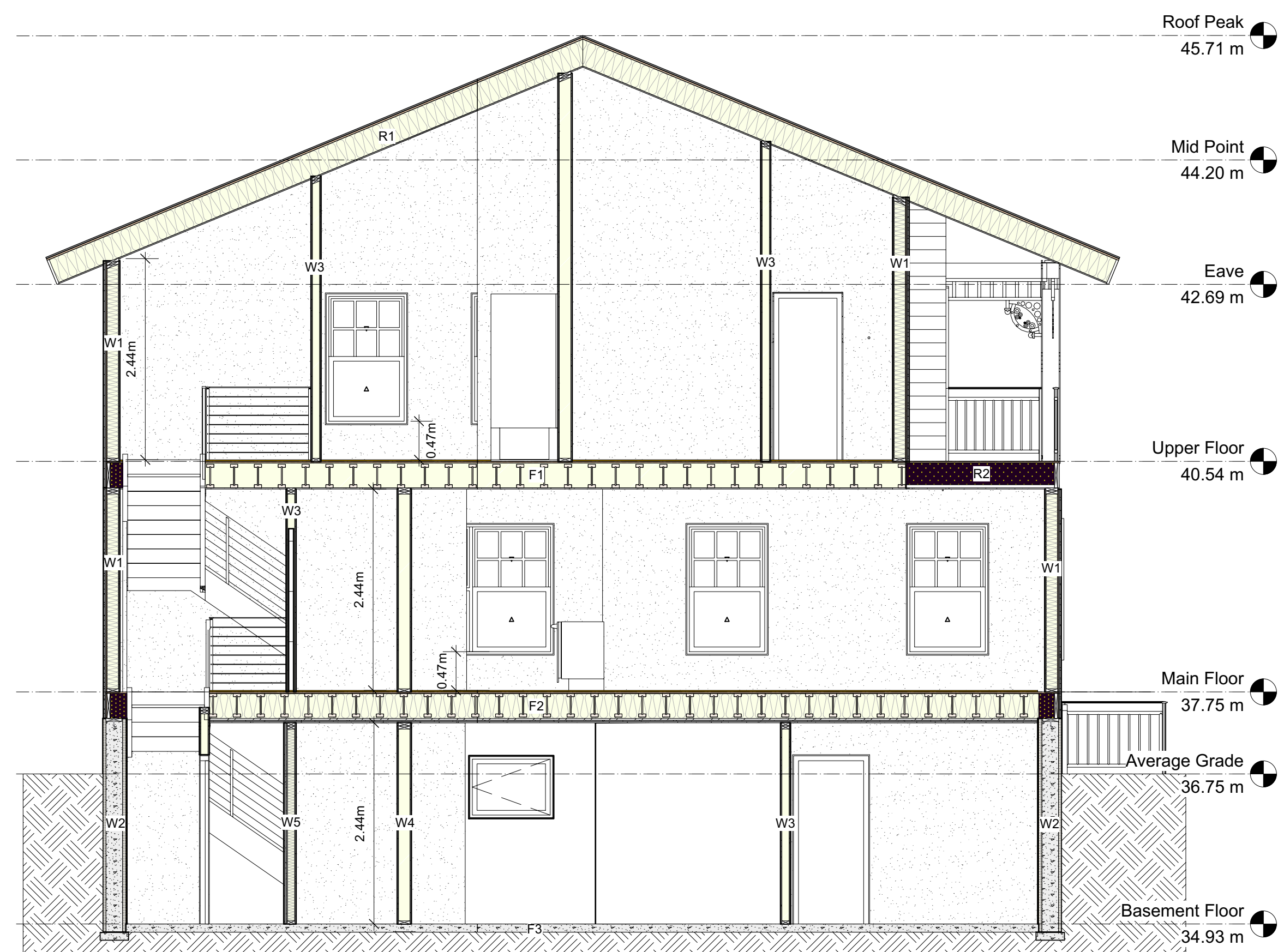


4 West Elevation
Scale: 1:50

2 2023-08-02 Revised Plans for Development Permit		
1 2023-05-18 Issued for Development Permit		
No.	Date	Issue Notes
Design Firm		
Consultant		
Project Title		
3109 Highview New Single Family Dwelling Development Permit		
Sheet Title		
Elevations		
Project Manager		Project ID
Drawn By Cantlever Designs		Scale As Noted
Reviewed By		Sheet No.
Date 2023-08-02		A 1.2
CAD File Name		of
		A 1.6



1 Cross Section 1
Scale: 1:50



2 Cross Section 2
Scale: 1:50

W1 Wall Assembly - Hardie Siding			
	RSI	% of Cavity	Total RSI
Outside Air Film	0.03		0.03
Hardie Siding	0.03		0.03
9.5 mm Strapping	0.15		0.15
Building Wrap or Building Paper	0		0
12.5 mm Plywood Sheathing	0.109		0.109
140 mm studs @ 406 mm o.c.	1.19	23%	2.360
R19 Batt insulation	3.34	77%	
Polyethylene	0		0
Gypsum (12.7 mm)	0.08		0.08
Interior Air Film	0.12		0.12
Assembly Effective RSI			2.88

W2 Wall Assembly			
	RSI	% of Cavity	Total RSI
50 mm XPS 0.036 RSI/mm	1.80		1.80
203 mm Concrete 0.0004 RSI/mm	0.08		0.08
50 mm XPS 0.036 RSI/mm	1.80		1.80
Gypsum (12.7 mm)	0.08		0.08
Interior Air Film	0.12		0.12
Assembly Effective RSI			3.88

W3 Wall Assembly			
Gypsum (12.7 mm)			
89 mm studs @ 406 mm o.c.			
Gypsum (12.7 mm)			

W4 Wall Assembly			
Gypsum (12.7 mm)			
140 mm studs @ 406 mm o.c.			
Gypsum (12.7 mm)			

W5 Wall Assembly - W4b BCBC Table 9.10.3.1.-A			
1 layer 15.9mm Type X GWB			
38 mm x 89 mm studs @ 600 mm o.c.			
89 mm thick rockwool insulation			
Res. metal chan. @ 400 or 600 mm o.c.			
2 layers 15.9mm Type X GWB			
STC 54 FRR 1 Hour			

F1 Floor Assembly	
Finished floor	
Plywood or OSB 15.5 mm subfloor	
Wood I-joists 285mm	
1 layer 12.7 GWB	

F2 Floor Assembly - F6d BCBC Table 9.10.3.1.-B	
Finished floor	
Plywood or OSB 15.5 mm subfloor	
Wood I-joists 285mm @ 600 mm o.c. max	
Absorptive material in cavity	
Steel furring channels @ 600 mm o.c.	
2 layers 15.9mm Type X GWB	
STC 44 FRR 1 Hour	

F3 Floor Assembly	
Finished floor	
Concrete 100 mm	
Polyethylene	
Drainage layer	

R1 Roof Assembly			
	RSI	% of Cavity	Total RSI
Outside Air Film	0.03		0.03
Asphalt Shingles Roofing	0.03		0.03
12.5 mm Plywood Sheathing	0.109		0.109
Air Space (63 mm)	0.16		0.16
Roof joists (285 mm @ 0.0085 RSI/mm)	2.42	9%	4.905
Min R31 Batt insulation	5.46	91%	
Polyethylene	0		0
Gypsum (12.7 mm)	0.08		0.08
Interior Air Film	0.11		0.11
Assembly Effective RSI			5.42

R2 Roof Assembly			
	RSI	% of Cavity	Total RSI
Outside Air Film	0.03		0.03
EPDM Roofing	0.03		0.03
12.5 mm Plywood Sheathing	0.109		0.109
Roof joists (285 mm @ 0.0085 RSI/mm)	2.42	9%	4.971
Min R31 Spray Foam insulation	5.55	91%	
Polyethylene	0		0
Gypsum (12.7 mm)	0.08		0.08
Interior Air Film	0.11		0.11
Assembly Effective RSI			5.33

2 2023-08-02 Revised Plans for Development Permit
1 2023-05-18 Issued for Development Permit

No.	Date	Issue Notes

Design Firm
Consultant
Project Title

3109 Highview
New Single Family Dwelling
Development Permit

Sheet Title
Cross Sections
Materials

Project Manager
Project ID

Drawn By
Cantlever Designs
Scale
As Noted

Reviewed By
Date
2023-08-02
CAD File Name

Sheet No.
A 1.3
of
A 1.6

HARDIESHINGLE® SIDING IN HALF-ROUND NOTCHED PANEL



HardiePlank® Lap Siding
SELECT CEDARMILL

Our natural cedar look has a soft texture that mimics wood. A great choice for historic homes, mountain chalets, woody retreats and ranch houses.

Boothbay Blue 20 finishes

More ColorPlus® Technology colors are available near you...

THICKNESS: 0.312"
LENGTHS: 144" boards
WIDTHS: 12"* 6.25" 7.25" 8.25" 9.25"*
EXPOSURES: 10.75" 5" 6" 7" 8"

*Sizes/exposures not available in ColorPlus® Technology, only primed.

HardieTrim® Boards 4/4 SMOOTH

You can't go wrong with this simple, clean look. With our Color-Plus® Technology finish, your vibrant color will last for years. This trim will complete any style home that needs an update, particularly if your look is more modern.

Navajo Beige 16 finishes

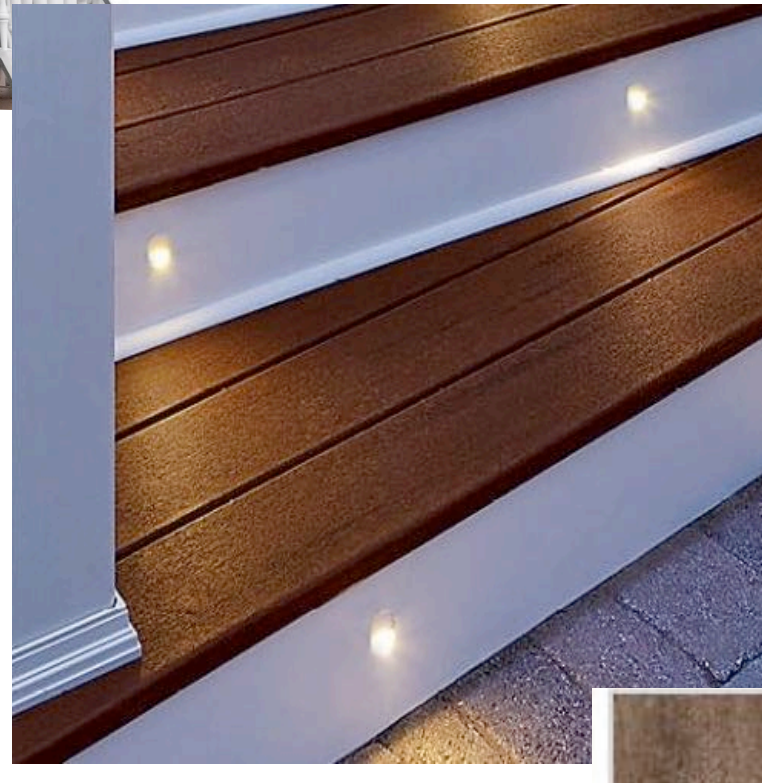
More ColorPlus® Technology colors are available near you...

THICKNESS: 0.75"
LENGTH: 144" boards
WIDTHS: 1.65"* 11.25" 3.5" 5.5" 5.5"* 7.25" 9.25"

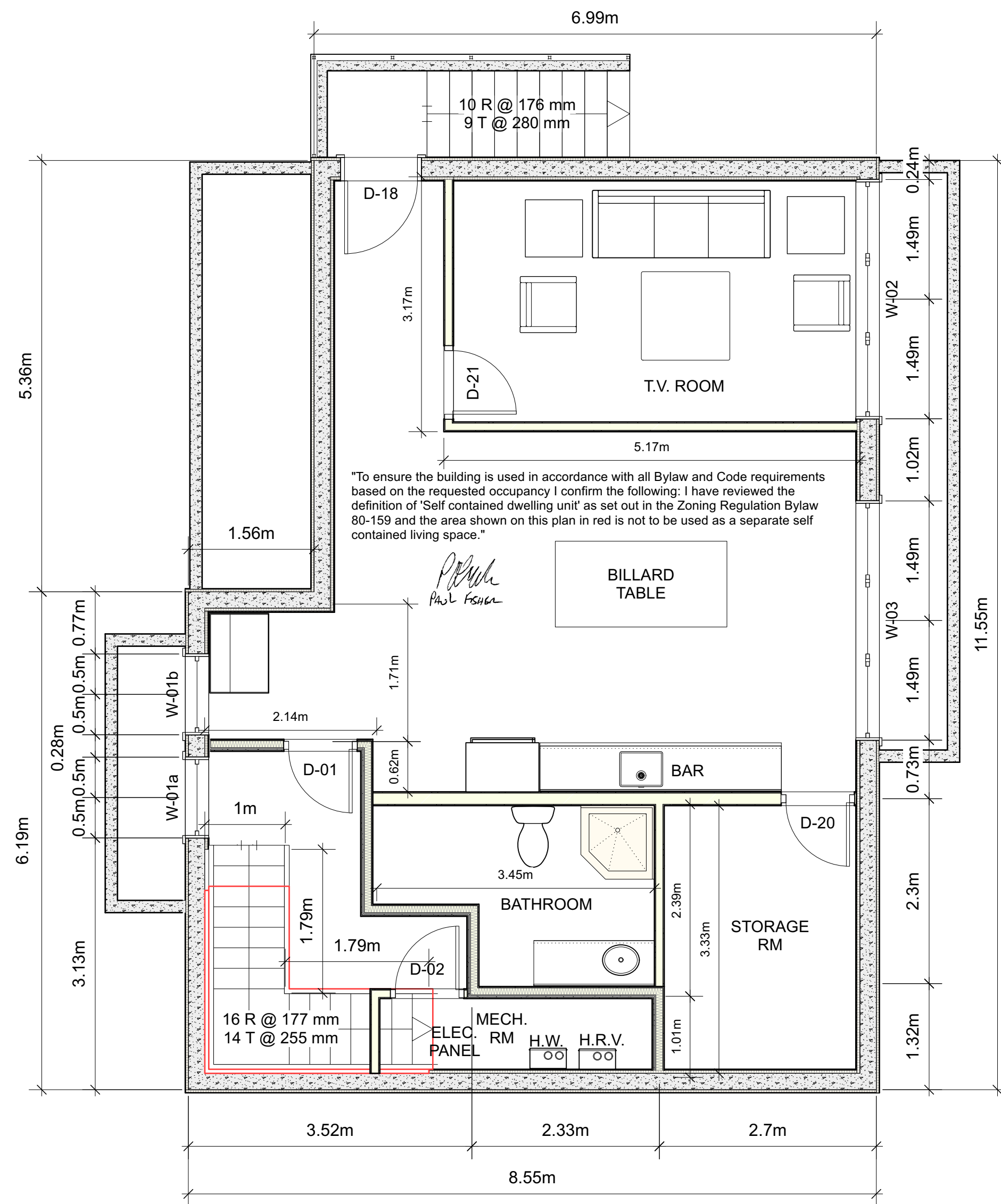
*Sizes/exposures not available in ColorPlus® Technology, only primed.



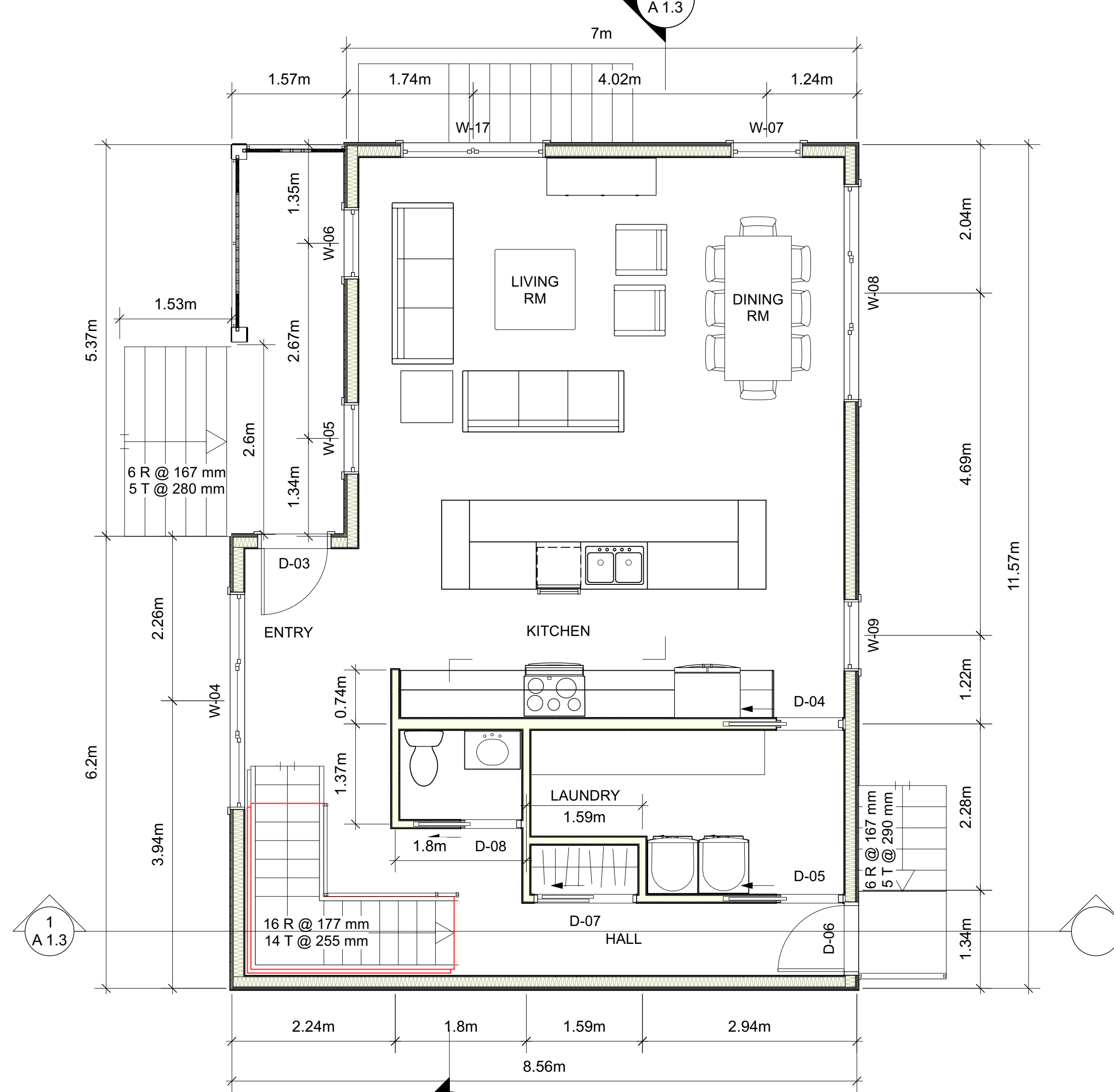
- HARDIESHINGLE SIDING IN HALF-ROUND NOTCHED PANEL INSTALL IN END GABLES - PAINTED WHITE
- HARDIEPLANK LAP SIDING IN SELECT CEDARMILL INSTALLED ON MAIN AND UPPER EXTERIOR WALLS - PAINTED IN PENINSULA (0654) BLUE
- HARDIE TRIM BOARDS - PAINTED WHITE
- PRESSURE TREATED DECKING STAINED BROWN - FRONT DECK AND REAR STAIRS
- PAINTED WHITE RISERS - FRONT AND REAR STAIRS
- DURADECK IN BARNWOOD COLOUR - UPPER COVERED DECK
- STEEL INSULATED DOORS PAINTED IN PENINSULA (0654) BLUE - FRONT AND BACK
- METAL FLASHING, FASCIA AND VENTED SOFFITS - WHITE
- ASPHALT SHINGLES - CHARCOAL GREY



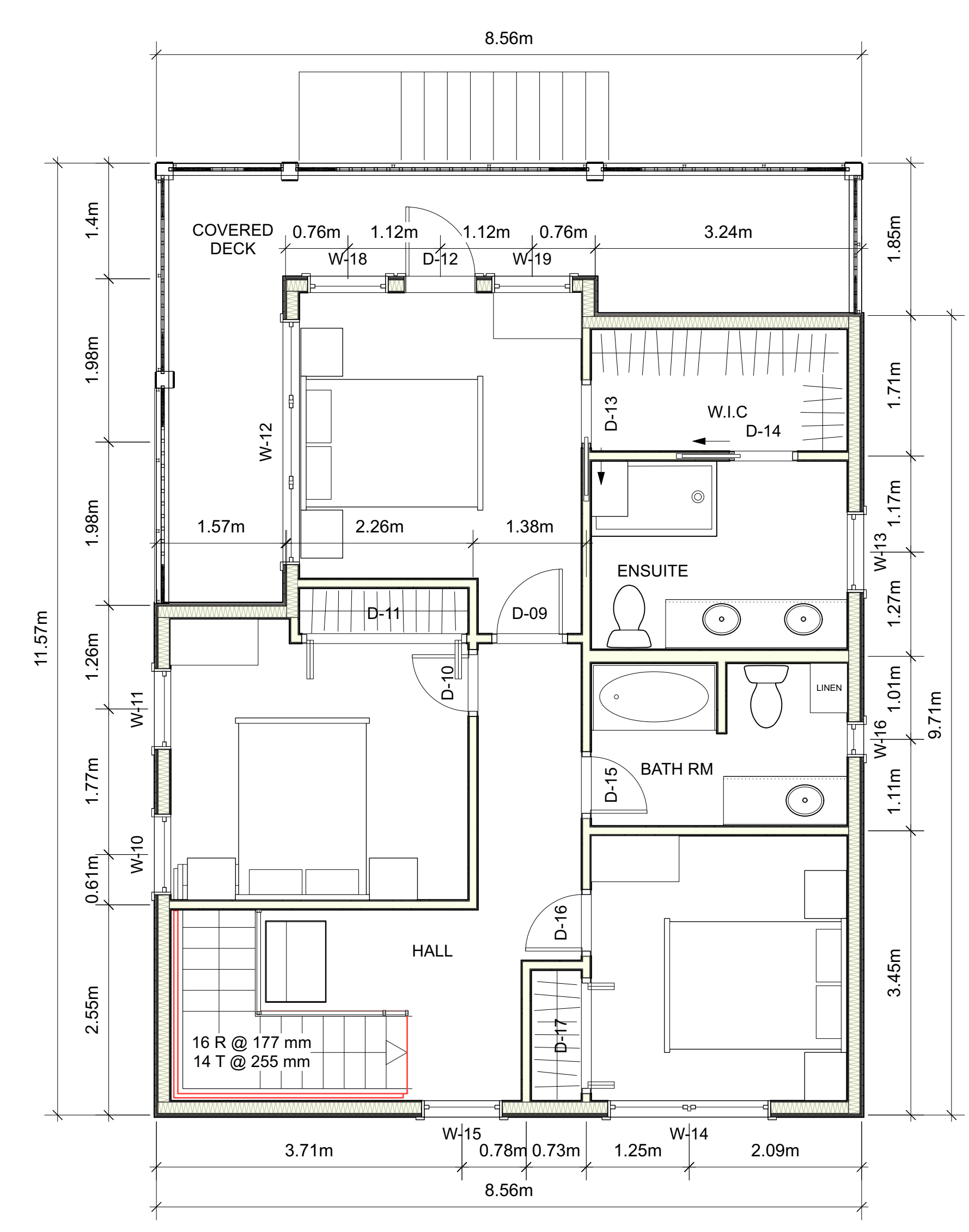
Barnwood



1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Upper Floor Plan
Scale: 1:50

ALL WORK TO COMPLY WITH THE CURRENT EDITION OF THE BC BUILDING CODE REFER TO STRUCTURAL PLANS FROM ENGINEER FOR FRAMING, FOUNDATION, FOOTING AND ANY STRUCTURAL ELEMENTS ALL FRAMING TO BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE ALL LUMBER TO BE SPF #2 OR BETTER UNLESS NOTED OTHERWISE ALL EXTERIOR WALL AND ROOF SHEATHING TO BE 1/2" STANDARD FIR PLYWOOD UNLESS NOTED OTHERWISE ALL EXPOSED EXTERIOR POSTS TO BE 8X8 MIN. ALL LINTELS TO BE 2-PLY 2X10 U.N.O.

ALL CONCRETE TO BE MINIMUM 25 MPa AT 28 DAYS

EXTERIOR FOUNDATION WALL TO EXTEND MIN 150 mm ABOVE FINISHED GRADE.

ALL INTERIOR DOORS TO BE MINIMUM 68" TALL UNLESS NOTED OTHERWISE; PROVIDE MIN. 2-STUDS E/S AT JAM FRAMING

ALL EXPOSED EXTERIOR FRAMING TO BE PRESERVATIVE TREATED LUMBER; FIELD TREAT ALL CUTS

DESIGN LOADS: VICTORIA: Ss: 1.5 kPa Sr: 0.3kPa

ALL NEW WINDOWS TO MEET NAFS: DP: 1440 PG: 30 WATER RESIST: 220

HANDRAILS TO COMPLY WITH BCBC DIV B 9.8.7.

GUARDRAILS TO COMPLY WITH BCBC DIV B 9.8.8. NO OPENING GREATER THAN 100MM

AIR BARRIER TO BE OVERLAPPED, STRUCTURALLY SUPPORTED AND SEALED AT ALL JOINTS.

EFFECTIVE RSI MUST BE MAINTAINED BEHIND ELECTRICAL RECEPTACLES AND PIPING AS PER BCBC 9.36

SMOKE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM, EVERY STOREY AND THE AREA OUTSIDE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY. AS PER BCBC DIV B 9.10.19.3. CO2 ALARMS TO BE INSTALLED IN EACH BEDROOM OR 5M OUTSIDE THE BEDROOM DOOR.

BEDROOM WINDOWS TO MEET BCBC DIV B 9.9.10.1. NO DIMENSION LESS THAN 380MM WITH AN AREA OF 0.35M2

ALL NEW FLASHINGS TO COMPLY TO BCBC DIV B 9.27.3.7. - 9.27.3.8.

BATHROOM EXHAUST TO COMPLY WITH 9.32.

VENTILATION TO COMPLY WITH BCBC 9.32.

ROOF SPACE VENT AREA SHALL BE NOT LESS THAN 1/150

SOLID RWL AND PERIMETER DRAIN TO BE CONNECTED TO NEW STORM DRAIN LATERAL

WINDOW WELLS TO BE DRAINED TO COMPLY WITH BCBC 9.14.6.3

Door Schedule

Mark	Nominal Size			Door Style		Openings	
	Width	Height	Thickness	Configuration	Slab Style	RO Width	RO Height
D-01	0.91m	2.04m	0.04m	Swing Simple	Solid	0.936m	2.053m
D-02	0.91m	2.04m	0.04m	Swing Simple	Solid	0.936m	2.053m
D-03	1m	2.04m	0.04m	Swing Simple	Custom	1.026m	2.053m
D-04	0.91m	2.04m	0.04m	Pocket Simple	Solid	0.936m	2.053m
D-05	0.91m	2.04m	0.04m	Pocket Simple	Solid	0.936m	2.053m
D-06	1m	2.04m	0.04m	Swing Simple	Glass	1.026m	2.053m
D-07	1.4m	2.1m	0.04m	Slider	Panel	1.426m	2.113m
D-08	0.826m	2.04m	0.04m	Pocket Simple	Solid	0.852m	2.053m
D-09	0.914m	2.04m	0.04m	Swing Simple	Solid	0.94m	2.053m
D-10	0.807m	2.04m	0.04m	Swing Simple	Solid	0.833m	2.053m
D-11	2m	2.04m	0.04m	Bi-fold Bi-part	Solid	2.026m	2.053m
D-12	0.875m	2.04m	0.04m	Swing Simple	Glass	0.901m	2.053m
D-13	0.826m	2.04m	0.04m	Pocket Simple	Solid	0.852m	2.053m
D-14	0.826m	2.04m	0.04m	Pocket Simple	Solid	0.852m	2.053m
D-15	0.807m	2.04m	0.04m	Swing Simple	Solid	0.833m	2.053m
D-16	0.807m	2.04m	0.04m	Swing Simple	Solid	0.833m	2.053m
D-17	1.4m	2.04m	0.04m	Bi-fold Bi-part	Solid	1.426m	2.053m
D-18	1m	2.05m	0.04m	Swing Simple	Custom	1.026m	2.063m
D-20	0.91m	2.04m	0.04m	Swing Simple	Solid	0.936m	2.053m
D-21	0.91m	2.04m	0.04m	Swing Simple	Solid	0.936m	2.053m

Window Schedule

Mark	Nominal Size		Glass	Openings	
	O.A. Width	O.A. Height		Egress Window	Configuration
W-01a	1.03m	0.765m	Clear	YES 0.946 M x 0.679 M	Casement
W-01b	1.03m	0.765m	Clear	YES 0.946 M x 0.679 M	Casement
W-02	3m	0.765m	Clear	YES 0.946 M x 0.679 M	Casement
W-03	3m	0.765m	Clear	YES 0.946 M x 0.679 M	Casement
W-04	3m	1.6m	Clear	YES 0.946 M x 0.729 M	Double Hung
W-05	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-06	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-07	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-08	3m	1.6m	Clear	YES 0.946 M x 0.729 M	Double Hung
W-09	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-10	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-11	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-12	3m	0.6m	Clear	YES 0.946 M x 0.514 M	Awning
W-13	1m	1.6m	Obscured / Frosted	YES 0.914 M x 0.729 M	Double Hung
W-14	2m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-15	1m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-16	0.45m	1.6m	Obscured / Frosted	No 0.360 M x 0.729 M	Double Hung
W-17	2m	1.6m	Clear	YES 0.914 M x 0.729 M	Double Hung
W-18	1m	1.1m	Clear	YES 0.914 M x 0.487 M	Double Hung
W-19	1m	1.1m	Clear	YES 0.914 M x 0.487 M	Double Hung

2 2023-08-02 Revised Plans for Development Permit

1 2023-05-18 Issued for Development Permit

No. Date Issue Notes

Design Firm

Consultant

Project Title
3109 Highview
New Single Family Dwelling
Development Permit

Sheet Title
Basement Floor Plan
Main Floor Plan
Upper Floor Plan

Project Manager Project ID

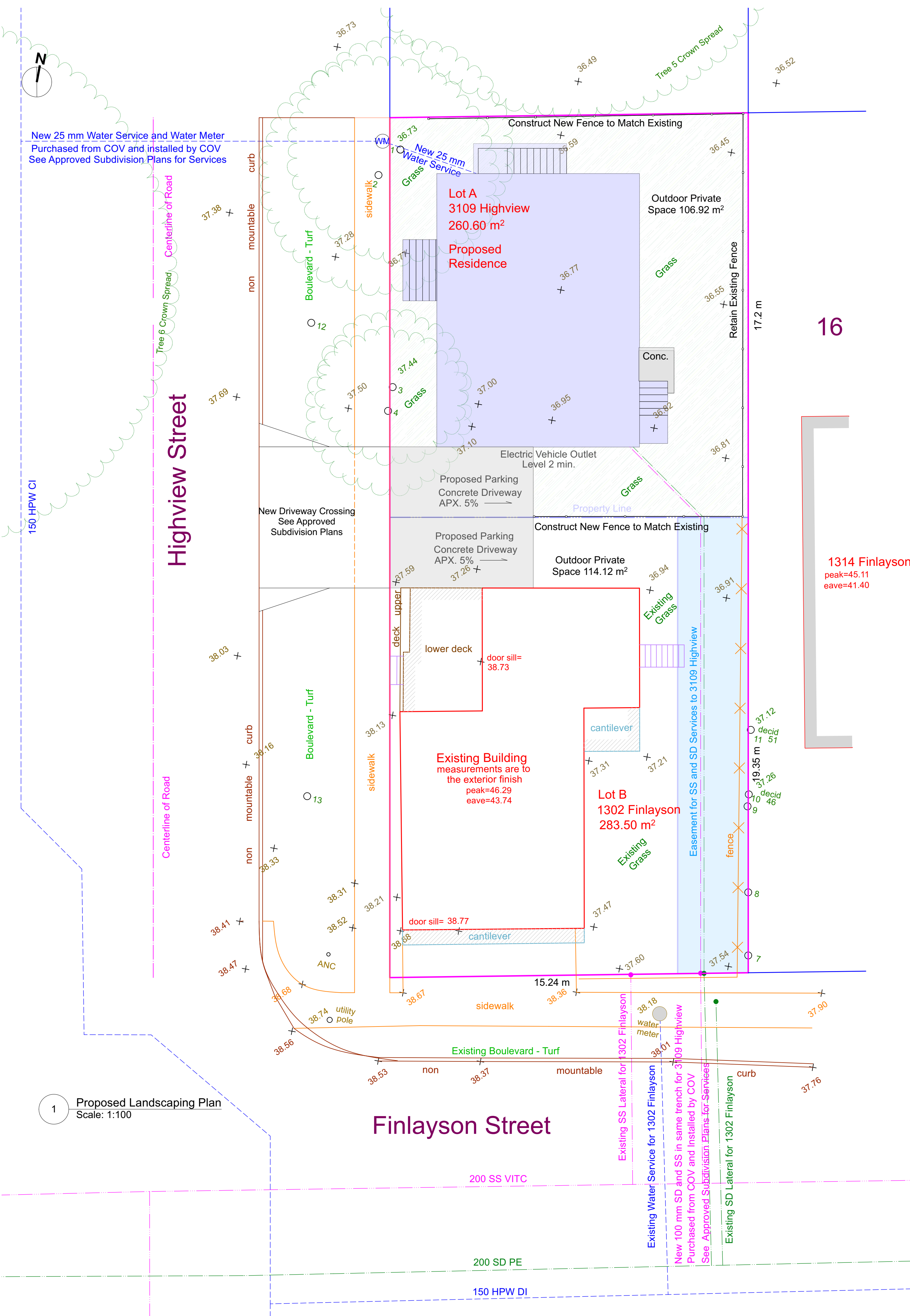
Drawn By Scale
Cantliever Designs As Noted

Reviewed By Sheet No.

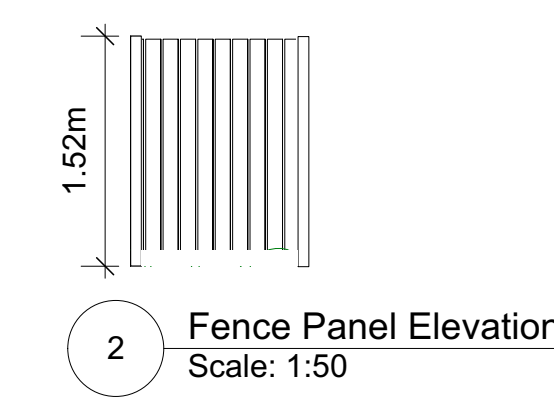
Date
2023-08-02

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Trees					
Tree Number	Species	DBH (m)	Crown Spread (Dia. in m)	CRZ (radius in m)	Comments
1	European Ash - Fraxinus Excelsior	0.22	5.0	2.5	Existing to be removed
2	European Ash - Fraxinus Excelsior	0.22	6.0	2.5	Existing to be removed
3	European Ash - Fraxinus Excelsior	0.19	6.0	2.5	Existing to be removed
4	European Ash - Fraxinus Excelsior	0.12 0.12 0.11	6.0	3.0	Existing to be removed
5	Garry Oak - Quercus garyana	0.75	19.0	7.5	Existing to be retained. (Protected)
6	Garry Oak - Quercus garyana	0.88 0.80 0.73	23.0	18.0	Existing to be retained. (Protected)
7	European Ash - Fraxinus Excelsior	0.26 0.12	7.0	4.0	Existing to be removed
8	Wild Plum - Prunus Species	0.25 0.18 0.17 0.13	10.0	5.5	Existing to be removed
9	European Ash - Fraxinus Excelsior	0.20 0.16	10.0	3.5	Existing to be removed
10	European Ash - Fraxinus Excelsior	0.46	17.0	5.5	Existing to be removed
11	European Ash - Fraxinus Excelsior	0.50	17.0	6.0	Existing to be removed
12	TBD by Parks				New min. 6cm caliper
13	TBD by Parks				New min. 6cm caliper



Existing fence panels. New fence to match existing fence.

2	2023-08-02	Revised Plans for Development Permit
1	2023-08-02	Issued for Development Permit
No.	Date	Issue Notes
Design Firm		
Consultant		
Project Title 3109 Highview New Single Family Dwelling Development Permit		
Sheet Title Landscape Plan		
Project Manager	Project ID	
Drawn By Cantilever Designs	Scale	As Noted
Reviewed By	Sheet No.	
Date 2023-08-02	A 1.5	
CAD File Name	of	
	A 1.6	

1. GENERAL NOTES

- ALL OFF-SITE WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE MMCD SPECIFICATIONS, AS WELL AS THE CITY'S SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042 SCHEDULE B "SUPPLEMENTARY SPECIFICATIONS". IF A DISCREPANCY OCCURS BETWEEN THE TWO DOCUMENTS, THE CITY'S SPECIFICATIONS SHALL TAKE PRECEDENCE, UNLESS OTHERWISE DIRECTED.
- THE APPLICANT SHALL CONTACT THE CITY'S REPRESENTATIVE WITH THE ENGINEERING DEPARTMENT, LAND DEVELOPMENT SECTION (DBECLAERE@VICTORIA.CA) TO ARRANGE FOR A PRE-CONSTRUCTION MEETING FOR THE FRONTAGE WORKS. ONE WEEK (5 WORKING DAYS) ADVANCE NOTICE FOR THE MEETING IS REQUIRED.
- FOLLOWING THE PRE-CONSTRUCTION MEETING, THE CONTRACTOR WILL BE REQUIRED TO COMPLETE AND SUBMIT A CONTRACTOR'S PERMIT TO THE CITY'S ENGINEERING REPRESENTATIVE.
- CONTRACTOR TO OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE MUNICIPALITY 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
- CONTRACTOR SHALL SUBMIT EMERGENCY CONTACT NUMBERS TO THE MUNICIPALITY A MINIMUM OF 48 HRS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO MAINTAIN AN UP-TO-DATE SET OF AS-CONSTRUCTED DRAWINGS. DRAWINGS TO BE DELIVERED TO THE ENGINEER PRIOR TO SUBSTANTIAL PERFORMANCE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION LAYOUT, MEANS, METHODS, TECHNIQUES, PROCEDURES, AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
- CONTRACTOR TO ENSURE EXISTING MONUMENTS AND IRON PINS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS OR IRON PINS IN DANGER OF DISTURBANCE SHALL BE REFERENCED AND, IF DISTURBED, REPLACED BY A BOLS AT THE DEVELOPER'S EXPENSE.
- CONTRACTOR TO PROVIDE A MINIMUM OF 24 HRS NOTICE PRIOR TO INSPECTION OR WITNESS TESTS.
- CONTRACTOR IS RESPONSIBLE FOR ANY RESTORATION REQUIRED AS A RESULT OF DAMAGE DONE DURING CONSTRUCTION TO CITY INFRASTRUCTURE. THIS INCLUDES CURBS, GUTTER, SIDEWALK, PAVEMENT, ROAD MARKING (LINE PAINTING AND CURB PAINTING) AND BOULEVARD RESTORATION AS REQUIRED.
- CONTRACTOR TO REMOVE AND REPLACE ANY CITY OF VICTORIA SIGNS IMPACTED BY FRONTAGE IMPROVEMENTS.
- RECORD DRAWINGS, AS PER THE CITY'S BYLAW NO. 12-042, SHALL BE SUBMITTED TO THE CITY'S ENGINEERING DEPARTMENT REPRESENTATIVE UPON COMPLETION.
- ALL REQUIRED MATERIAL AND COMPACTION TESTING FOR CONCRETE AND ASPHALT WORKS, AS DESCRIBED IN THE MMCD, SHALL BE SUBMITTED TO THE CITY'S ENGINEERING REPRESENTATIVE AS SOON AS TESTING IS COMPLETED.

2. TRAFFIC MANAGEMENT

- THE APPLICANT SHALL CONTACT THE TRANSPORTATION DEPARTMENT (ENG@VICTORIA.CA) TO DISCUSS THE PROPOSED WORKS AND STREET OCCUPANCY PERMIT REQUIREMENTS. ONE WEEK (5 WORKING DAYS) IN ADVANCE OF STARTING CONSTRUCTION.
- CONTRACTOR TO PROVIDE TRAFFIC MANAGEMENT PLAN IN ACCORDANCE WITH MOTI TRAFFIC MANAGEMENT MANUAL MINIMUM TEN (10) BUSINESS DAYS BEFORE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES UNLESS OTHERWISE PERMITTED BY THE MUNICIPALITY.
- ACCESS TO PRIVATE PROPERTY SHALL BE MAINTAINED. THE CONTRACTOR SHALL ACCOMMODATE FOOT ACCESS AT ALL TIMES. CONTRACTOR TO PROVIDE 24 HOURS NOTICE TO RESIDENCES IF VEHICULAR ACCESS CAN NOT BE MAINTAINED. VEHICLE ACCESS MUST BE RESTORED PRIOR TO THE END OF THE WORKING DAY.

3. PUBLIC IDENTIFICATION

- THE PUBLIC NOTICE SHALL BE DISTRIBUTED A MINIMUM OF 48 HOURS PRIOR TO THE COMMENCING OF CONSTRUCTION.
- THE PUBLIC NOTICE IS TO BE PREPARED BY THE CONTRACTOR AND PRESENTED TO THE ENGINEER FOR REVIEW PRIOR TO THE DISTRIBUTION TO RESIDENCES.
- THE PUBLIC NOTICE SHALL IDENTIFY THE PROJECT, EXPECTED CONSTRUCTION PERIOD AND PROVIDE CONTACT INFORMATION FOR THE CONTRACTOR, ENGINEER AND THE MUNICIPALITY.
- THE PUBLIC NOTICE SHALL BE HAND DELIVERED TO ALL RESIDENTS AND BUSINESSES WITHIN ONE BLOCK OF THE PROJECT LIMITS.

4. ENVIRONMENTAL PROTECTION

- PRIOR TO COMMENCEMENT OF EXCAVATION, SOIL RELOCATION OR DE-WATERING OF THE CONSTRUCTION SITE, CONTRACTORS SHALL BE REGISTERED UNDER BYLAW 14-071, SCHEDULE G: CODE OF PRACTICE FOR CONSTRUCTION AND DEVELOPMENT ACTIVITIES. CONTACT ADAM STEELE, STORMWATER MANAGEMENT SPECIALIST, AT 250.361.0318 OR ASTEELE@VICTORIA.CA TO REGISTER. THE APPLICANT SHALL IMPLEMENT SEDIMENTATION CONTROL TO ENSURE NO SILT LOADED WATER OR DEBRIS FROM EXCAVATION WORKS ENTER THE ADJACENT CATCH BASIN(S) AND THE CITY'S DRAINAGE SYSTEM.
- ALL DISCHARGES FROM CONSTRUCTION SITES TO THE CITY STORM SYSTEM MUST BE REGISTERED AND COMPLIANT WITH THE CITY'S CODES OF PRACTICE PROGRAM. THE PROPERTY MUST BE REGISTERED (SCHEDULE F) AND MUST ENSURE THAT ANY DISCHARGE IS COMPLIANT (SCHEDULES D AND H). THIS INCLUDES AN EROSION AND SEDIMENT CONTROL PLAN, SPILL RESPONSE, SETTLING/FILTRATION WORKS IN PLACE WITH INSPECTIONS AND MAINTENANCE, SAMPLING LOCATIONS, AND SAMPLE COLLECTION AND ANALYSIS.
- NO PROHIBITED WASTE (SCHEDULE D) CAN DRAIN TO THE STORM SYSTEM. IF THIS IS NOT POSSIBLE THEN THE APPLICANT MUST APPLY TO THE CRD TO DISCHARGE TO THE SANITARY SYSTEM.
- TO PROTECT THE SOIL, WATER, AND VEGETATIVE RESOURCES OF THE DEVELOPMENT ONLY THOSE AREAS NECESSARY FOR CONSTRUCTION OF THE WORKS AND SERVICES CONTAINED IN THE ENGINEERING DRAWINGS ARE TO BE DISTURBED.

- PRIOR TO AND DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR CONTROLLING EROSION AND SEDIMENT TRANSFER BY UTILIZING SUCH MEASURES AS CONSTRUCTION OF INTERCEPTOR DITCHES, SILT FENCES, HAY BALE STRUCTURES, SEDIMENT CONTROL PONDS, SEDIMENT TRAPS, STAGED GRAVEL FILTERS, OR OTHER METHODS HE MAY DEEM NECESSARY TO PREVENT DISCHARGE OF SEDIMENT INTO WATERCOURSES.
- PRIOR TO SUBSTANTIAL COMPLETION THE CONTRACTOR SHALL PREPARE AND REVIEW WITH THE OWNER A PLAN WHEREBY THE OWNER WILL UPON FINAL COMPLETION ASSUME RESPONSIBILITY FOR ONGOING EROSION AND SEDIMENT CONTROL MEASURES ON THIS SITE.
- THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR DAMAGES RESULTING FROM IMPROPER EROSION AND SEDIMENT CONTROL MEASURES UNDERTAKEN BY THE CONTRACTOR.
- ENVIRONMENTAL PROTECTION MEASURES TO BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR TO OBTAIN PERMIT PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY.

5. HYDRO/TELEPHONE/CABLE/STREETLIGHTING

- HYDRO/TEL/CABLE SERVICING AND STREETLIGHT DESIGN ARE SHOWN SCHEMATICALLY ON THESE PLANS. REFER TO UTILITIES PLANS FOR DETAILED INSTRUCTIONS.

6. QUALITY ASSURANCE TESTING

- CONTRACTOR SHALL RETAIN AND PAY THE SERVICES OF A QUALIFIED INDEPENDENT GEOTECHNICAL ENGINEER FOR QUALITY ASSURANCE TESTING DURING CONSTRUCTION IN MUNICIPAL RIGHT-OF-WAY AND SHALL AT A MINIMUM PROVIDE:
 - SIEVE ANALYSIS OF SANDS AND AGGREGATES TO BE USED IN THE WORK
 - STANDARD PROCTOR DENSITY CURVES FOR BACKFILL MATERIALS
 - STANDARD PROCTOR DENSITY CURVES FOR APPROVED BORROW MATERIALS
 - COMPACTION TESTS:
 - TRENCH BEDDING (MAINLINE) - ONE FOR EVERY 75 M OF TRENCH
 - TRENCH BACKFILL (MAINLINE) - ONE FOR EVERY 75 M OF TRENCH
 - TRENCH BEDDING (SERVICE) - ONE PER DAY
 - TRENCH BACKFILL (SERVICE) - ONE PER DAY
 - SUB-GRADE APPROVAL BY GEOTECH. (MEMO)
 - GRANULAR BASE (SIDEWALKS/CURBS/GUTTER) - ONE FOR EVERY 50M AND INCLUDES ROLL-TEST BY GETEOCH.
 - CONCRETE MIX DESIGN
 - CONCRETE STRENGTH TESTS
 - ONE PER 150M OF SIDEWALK AND/OR CURB AND GUTTER. MINIMUM OF ONE CORE PER DAY DURING CONCRETE PLACING.
- ASPHALT MIX DESIGN & ASPHALT TESTING
 - AGGREGATE GRADATION TESTS - ONE PER EACH 300 TONNES OF PRODUCTION (MINIMUM ONE PER DAY DURING ASPHALT PLACEMENT).
 - MARSHALL TEST - THREE BRIQUETTES FOR EVERY 300 TONNES OF PRODUCTION (MINIMUM ONCE PER DAY DURING ASPHALT PLACEMENT)
 - COMPACTION - ONE CORE FOR EACH 500 SQ. M.

7. TRENCHING, EXCAVATING, AND BACKFILLING

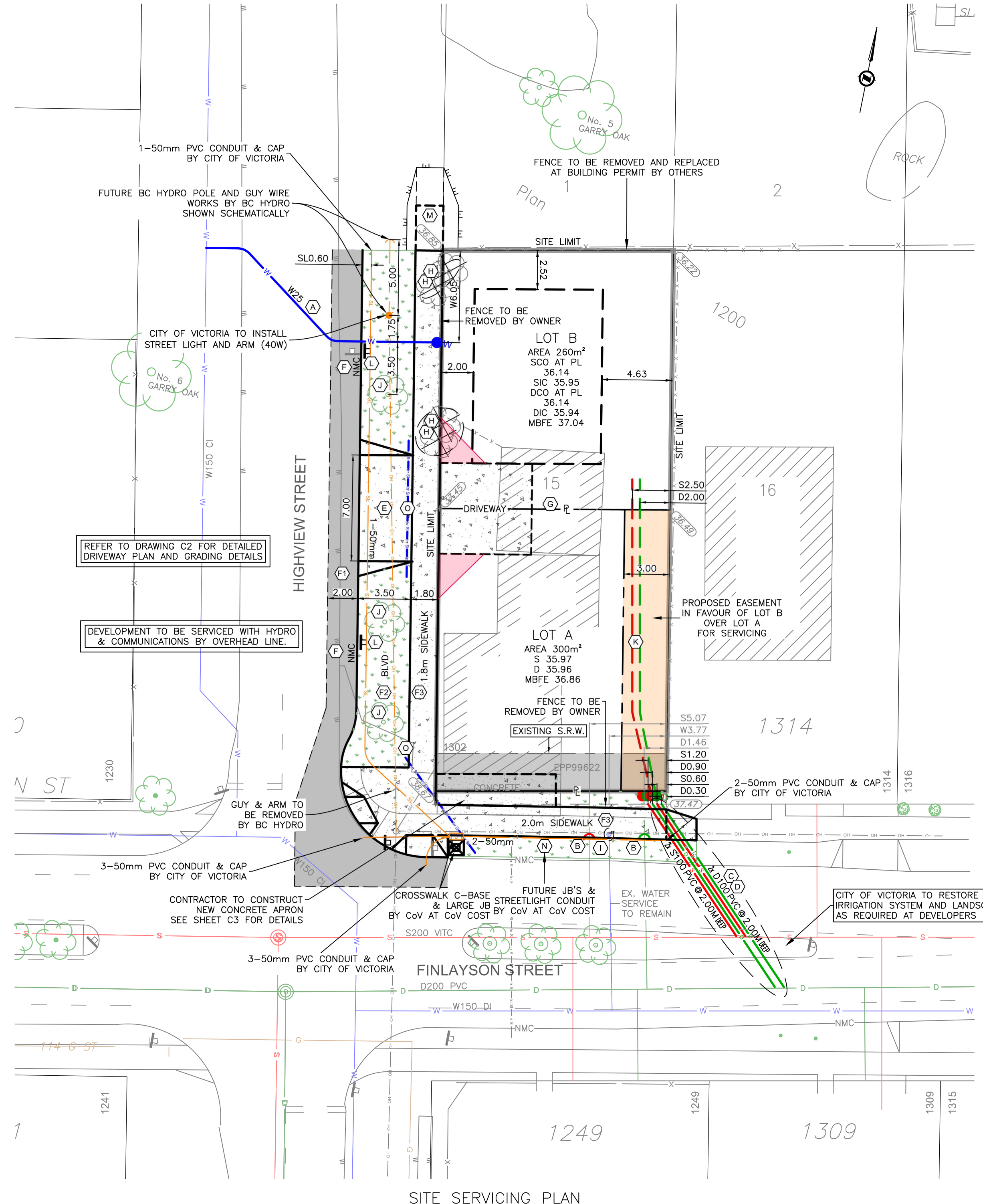
- EXISTING UTILITIES SHOWN ARE AS PER MUNICIPAL RECORDS. THE CONTRACTOR SHALL EXPOSE ALL CROSSINGS PRIOR TO COMMENCING CONSTRUCTION. SHOULD ANY CONFLICT OR DISCREPANCIES ARISE, THE CONTRACT SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- CONTRACTOR TO OBTAIN PERMIT PRIOR TO DEPOSIT OR REMOVAL OF MATERIALS ON THIS SITE.
- ALL SERVICES SHALL BE INSPECTED BY THE ENGINEER AND/OR MUNICIPAL INSPECTOR PRIOR TO BACKFILLING.
- CONTRACTOR TO ENSURE EXISTING SERVICES REMAIN IN SERVICE DURING CONSTRUCTION.

8. GAS

- GAS SERVICING IS SHOWN SCHEMATICALLY ON THESE PLANS. REFER TO FORTISBC PLANS FOR DETAILED INSTRUCTIONS. MINIMUM COVER 600MM ON ALL GAS MAINS. 1.5M HORIZONTAL SEPARATION FROM WATER MAINS AND SERVICES. 1.0M SEPARATION FROM OTHER SERVICES.
- CALL BC ONE CALL MINIMUM 72 HOURS PRIOR TO EXCAVATION 1-800-474-6886.

9. LANDSCAPING

- ALL EXISTING IRRIGATION IS TO BE PROTECTED. ANY DAMAGE SHALL BE REPAIRED BY CONTRACTOR WITHOUT DELAY TO COV PARKS SATISFACTION.
- CONSTRUCTION STAGING, MATERIALS STORAGE OR VEHICLE PARKING ARE NOT PERMITTED ON THE MUNICIPAL BOULEVARD. THE FINISHED GRADE SHALL BE SMOOTH TO THE EXTENT REQUIRED FOR THE SOD TO BE CARRIED OUT. THE GRADE SHALL BE FIRM AGAINST FOOTPRINTS, LOOSE TEXTURED AND FREE OF ALL STONES, ROOTS AND BRANCHES. AREAS THAT ARE EXCESSIVELY COMPACTED SHALL HAVE THEIR SURFACE LOOSENEED BY MEANS OF A THOROUGH SCARIFICATION, DISCING OR HARROWING TO A MINIMUM OF 6 INCHES.
- SOD MUST BE SUFFICIENTLY ESTABLISHED SO THAT ITS ROOTS ARE GROWING INTO THE UNDERLYING GROWING MEDIUM. IT MUST BE MOWED AT LEAST ONCE TO A HEIGHT OF 1.5 INCHES. SOD LAWNS MUST SHOW NO VISIBLE SEAMS AND MUST BE RELATIVELY FREE OF WEEDS AND INVASIVE PLANTS - CONTAINING NO MORE THAN 5 BROADLEAF WEEDS OR 25 ANNUAL WEEDS PER 120YD2.
- THE PARKS DEPARTMENT MUST INSPECT THE GRADED AND COMPACTED GROWING MEDIA PRIOR TO INSTALLATION OF THE SOD.



DETAILED CONSTRUCTION NOTES:

- CITY OF VICTORIA TO INSTALL NEW 25mm WATER SERVICE AT DEVELOPERS EXPENSE. PUBLIC WORKS TO COORDINATE WITH PARKS & ARBORIST FOR WORKS WITHIN CRITICAL ROOT ZONE OF TREE No. 6. NOTE: PUBLIC WORKS TO DEFLECT SERVICE AS NEEDED TO AVOID ROOTS. NOTE: SERVICE TO BE INSTALLED PERPENDICULAR TO P.L. UP TO NEW ASPHALT CUT.
- CONTRACTOR TO CUT AND CAP EXISTING SANITARY SERVICE & DRAIN SERVICE AT PROPERTY LINE.
- CITY OF VICTORIA TO INSTALL 2x NEW 100mm SANITARY SERVICES ANGLED AT SANITARY MAIN AS PER MMCD DWG. S7 AT DEVELOPERS EXPENSE.
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WORKS AND SERVICES CHECK TABLE

UTILITY	PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
		NAME	SIGNATURE	
UTILITY	BC HYDRO ELECTRIC	BOBBI BUCIC	ON FILE	20220502
	TELUS	AMANDEEP SINGH	ON FILE	20220427
	FORTIS BC			
	SHAW CABLE	SHAWN O'CONNOR	ON FILE	20220428
MUNICIPAL	UNDERGROUND			
	PARKS			
	TRANSPORTATION			
	LAND DEVELOPMENT			



ISSUED FOR CONSTRUCTION

NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK	REV.	DESCRIPTION	YYYYMMDD	DE	DA	CK
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1	ISSUED FOR SUBDIVISION APPROVAL	20211125	RT	KHG							

REVISION

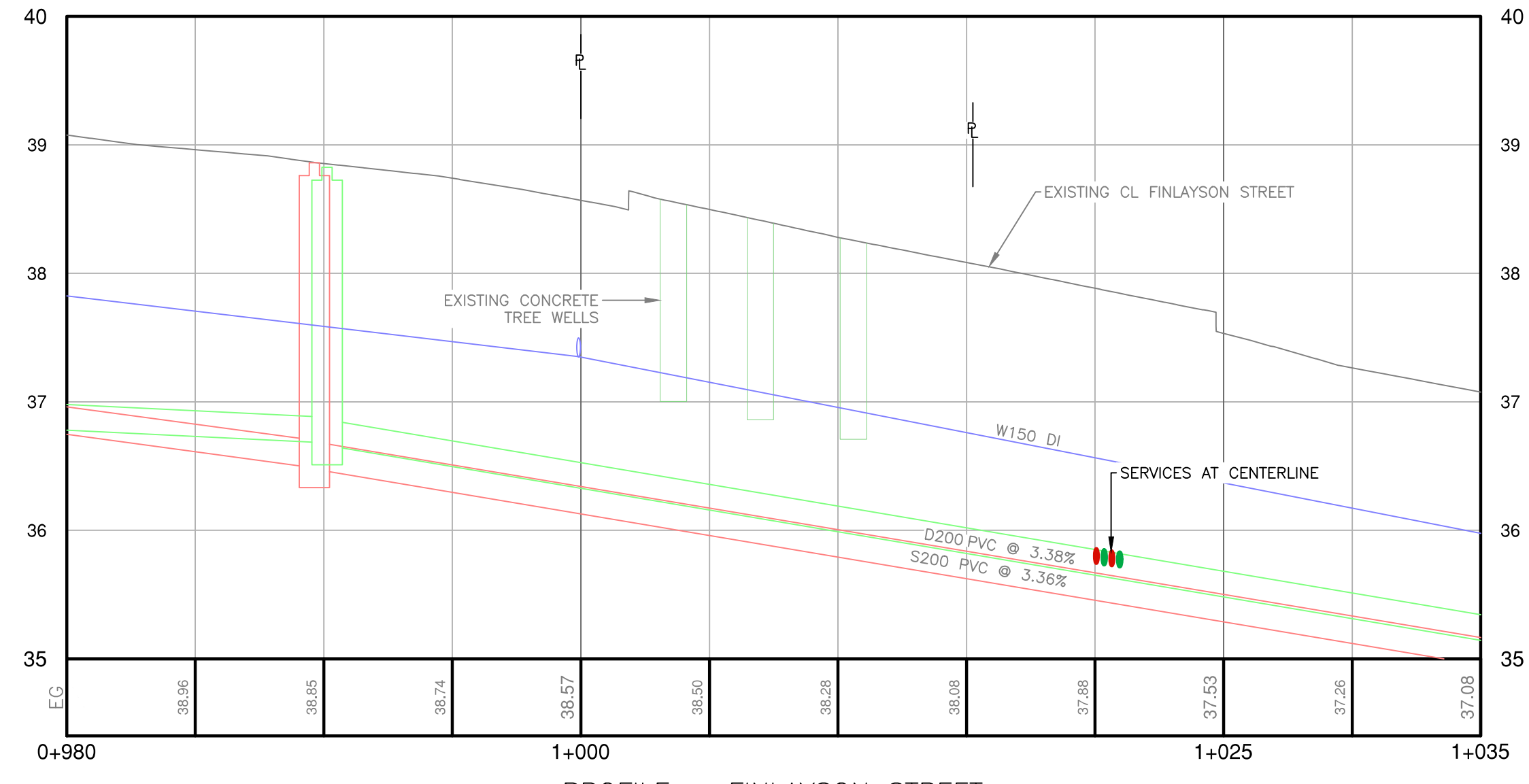
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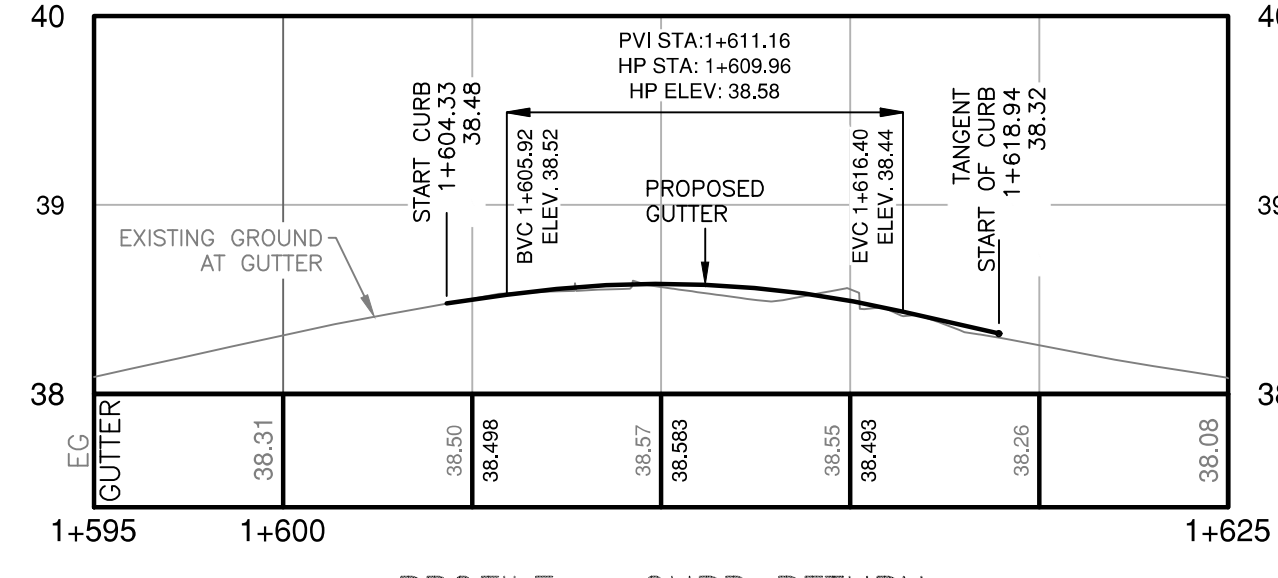
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U/G WIRING	← UE	MANHOLE	⊙	FLUSH VALVE	⊙
GAS	← G	SERVICE RISER	⊙	VALVE	⊙
WATER	← W	MOUNTABLE CURB	MC	REDUCER	⊙
SEWER	← S	NON-MOUNT. CURB	NMC	HYDRANT	⊙
DRAIN	← D	EDGE ASPHALT	—	AIR VALVE	⊙

JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

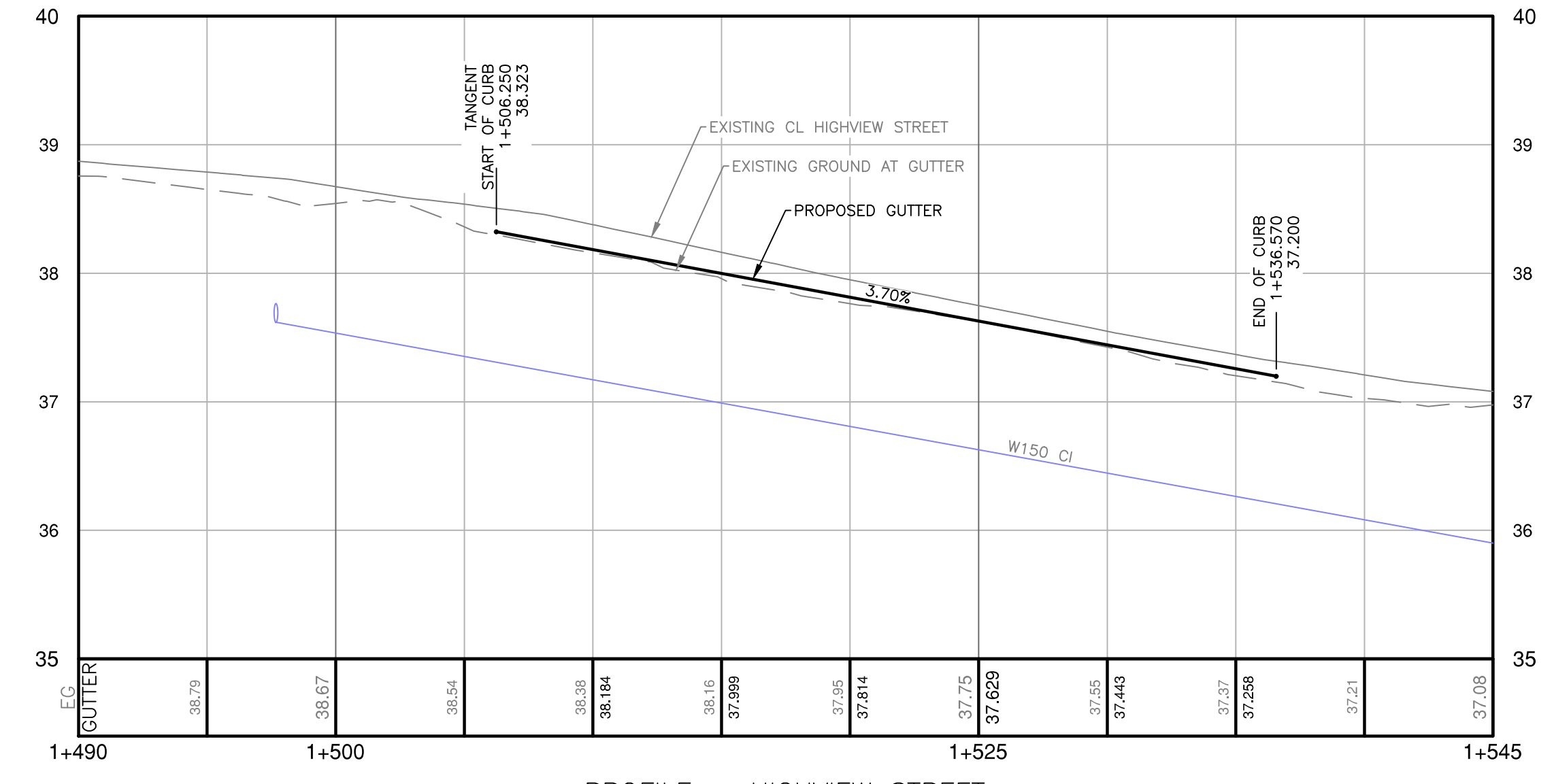
JURISDICTION	CLIENT
CITY OF VICTORIA	PAUL FISHER
PROJECT	1302 FINLAYSON & 3105 HIGHVIEW CIVIL SITE SERVICING
SITE SERVICING PLAN, NOTES & KEY PLAN	
32444 02 C1	
ENGINEERS SEAL	MUN. FILE SUB00384 SHEET 1 OF 3



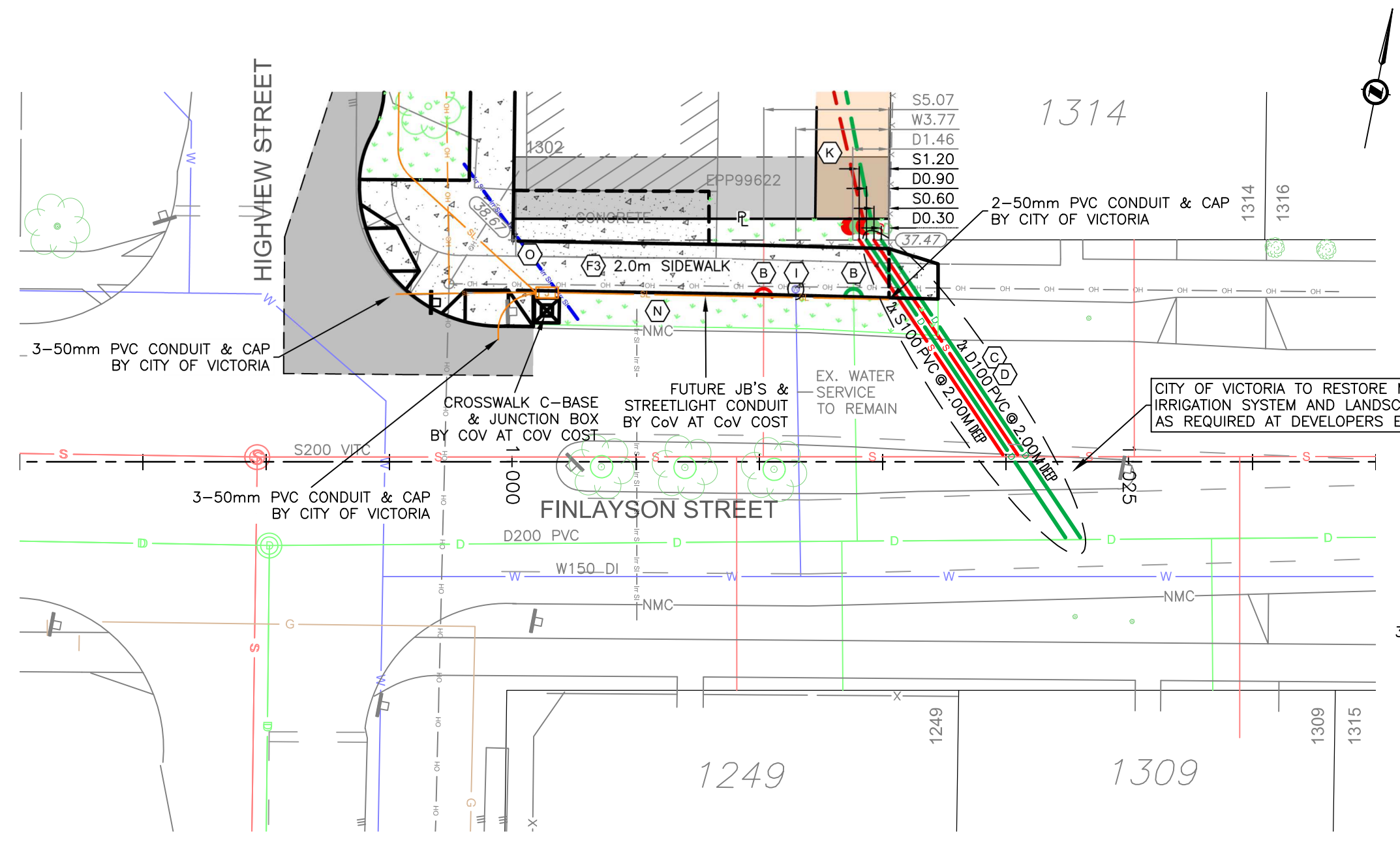
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H 1:200



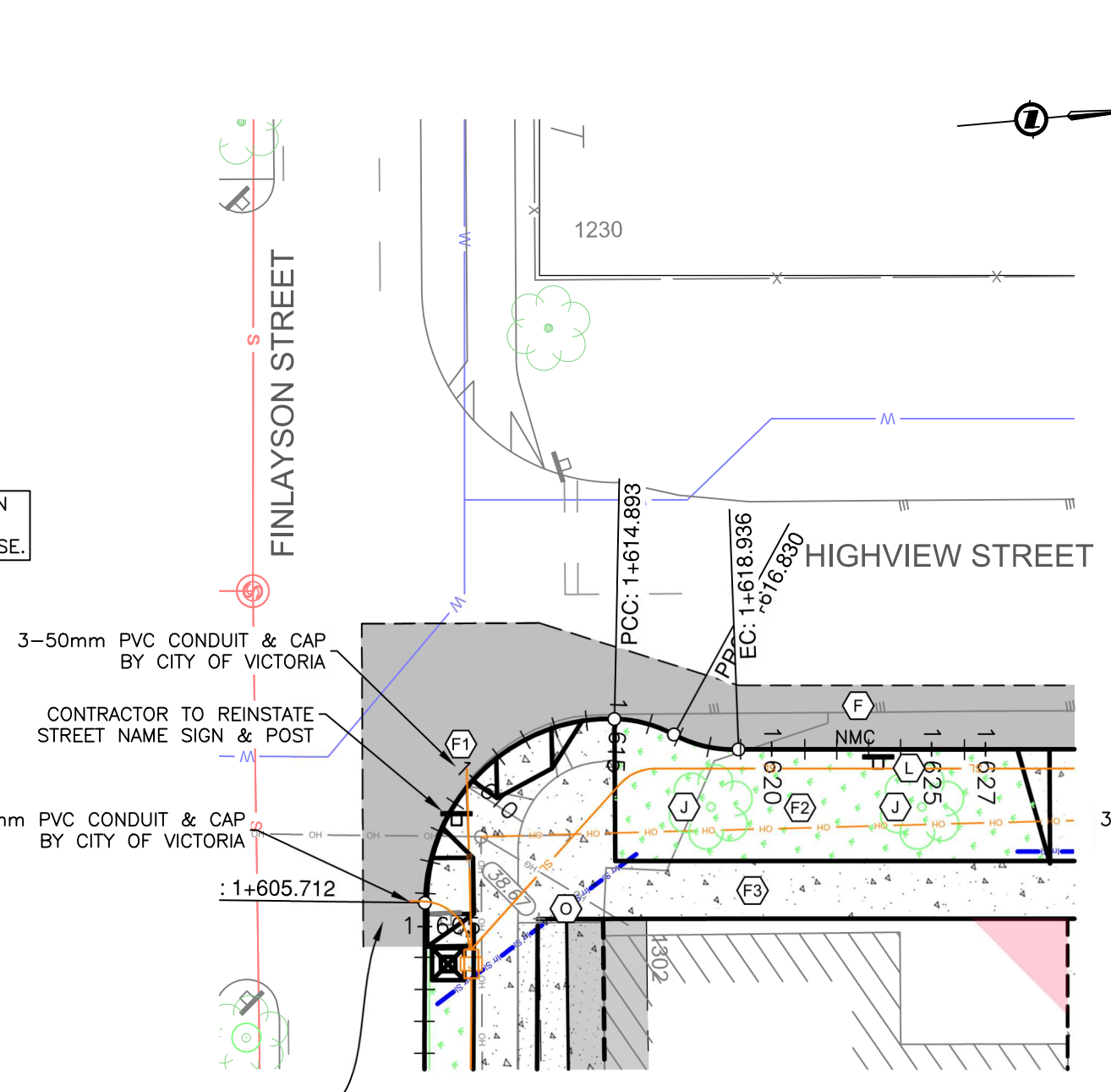
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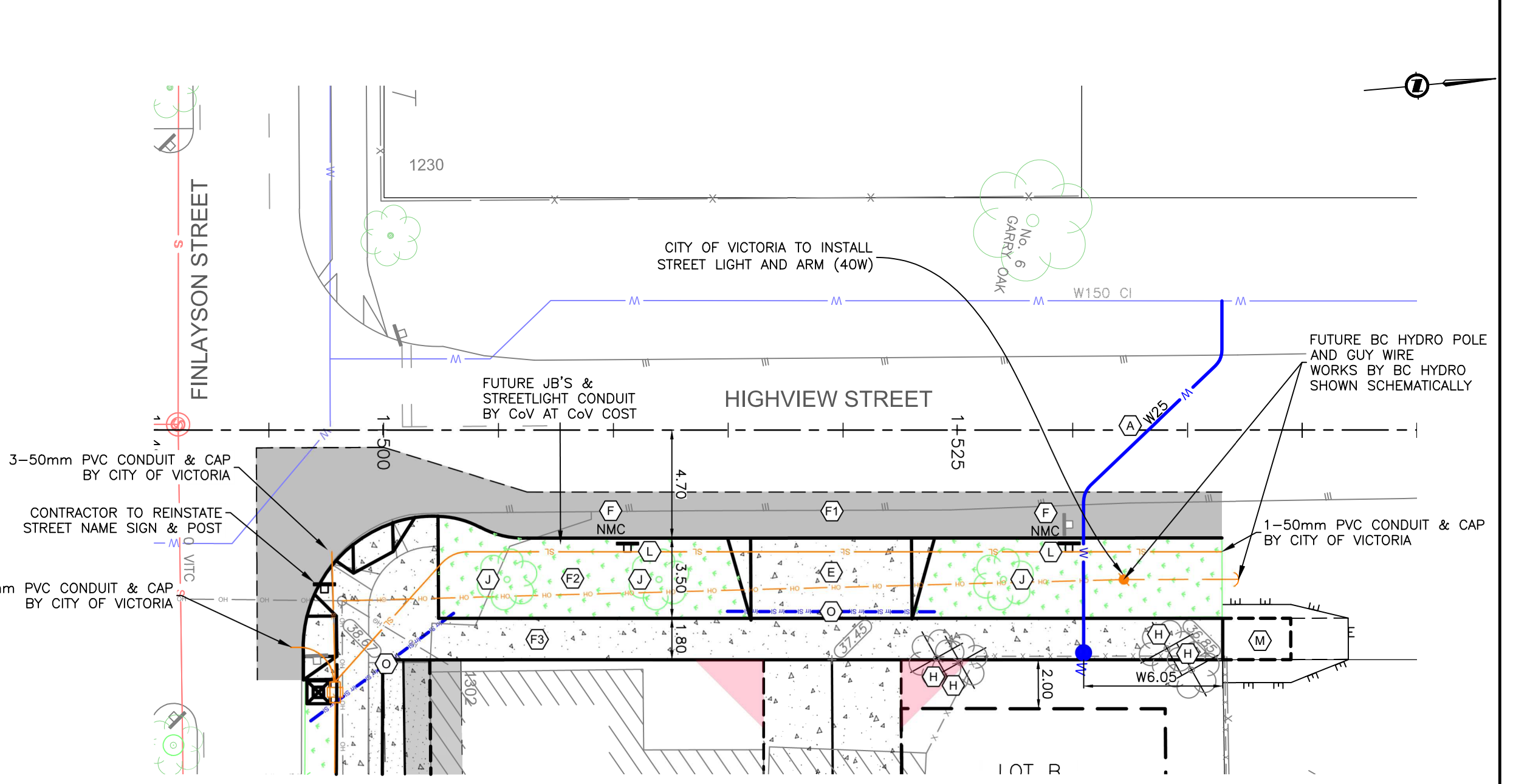
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H 1:40
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PLAN - FINLAYSON STREET
H 1:200



PLAN - CURB RETURN
H 1:200

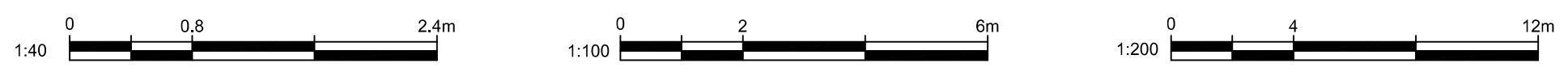


PLAN - HIGHVIEW STREET
H 1:200

DETAILED CONSTRUCTION NOTES:

- (A) CITY OF VICTORIA TO INSTALL NEW 25MM WATER SERVICE AT DEVELOPERS EXPENSE. PUBLIC WORKS TO COORDINATE WITH PARKS & ARBORIST FOR WORKS WITHIN CRITICAL ROOT ZONE OF TREE NO. 6. NOTE: PUBLIC WORKS TO DEFLECT SERVICE AS NEEDED TO AVOID ROOTS. NOTE: SERVICE TO BE INSTALLED PERPENDICULAR TO P.L. UP TO NEW ASPHALT CUT.
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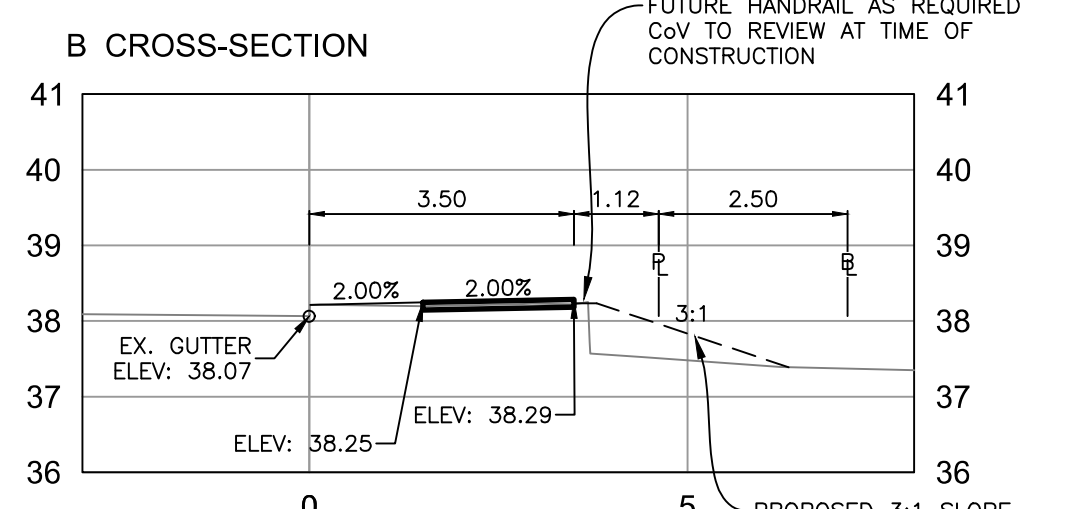
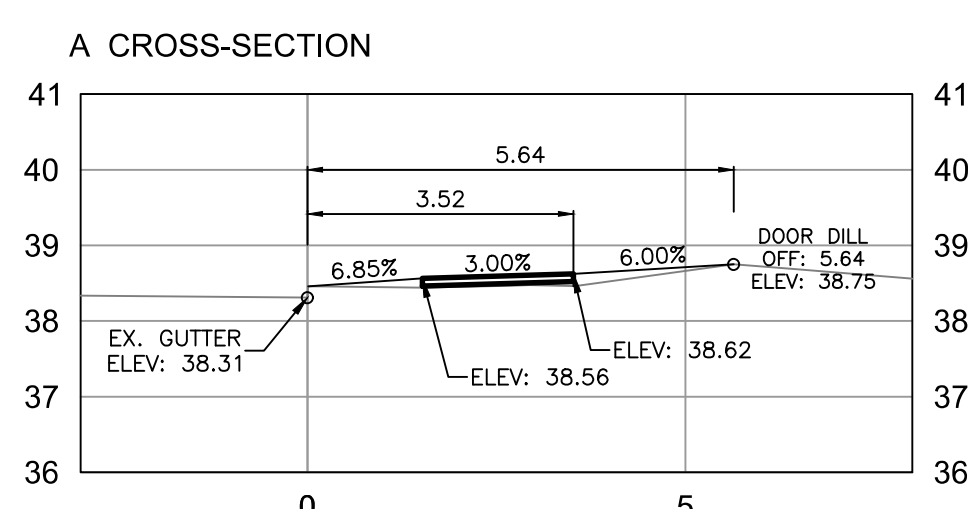
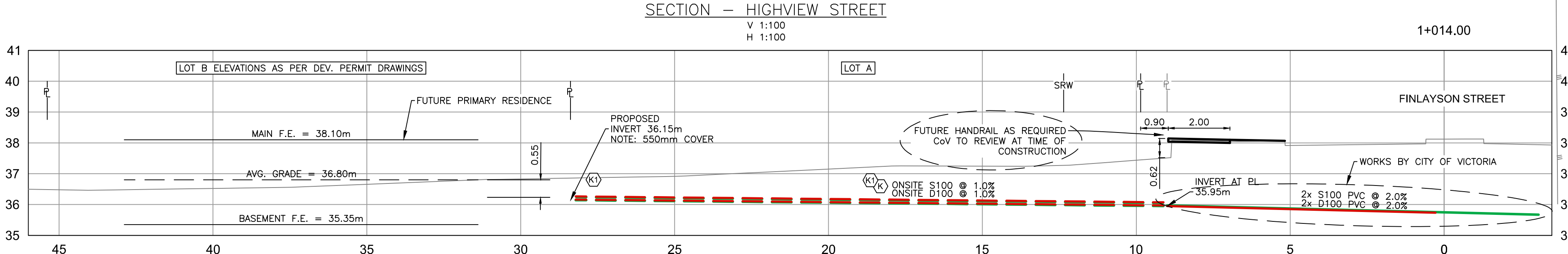
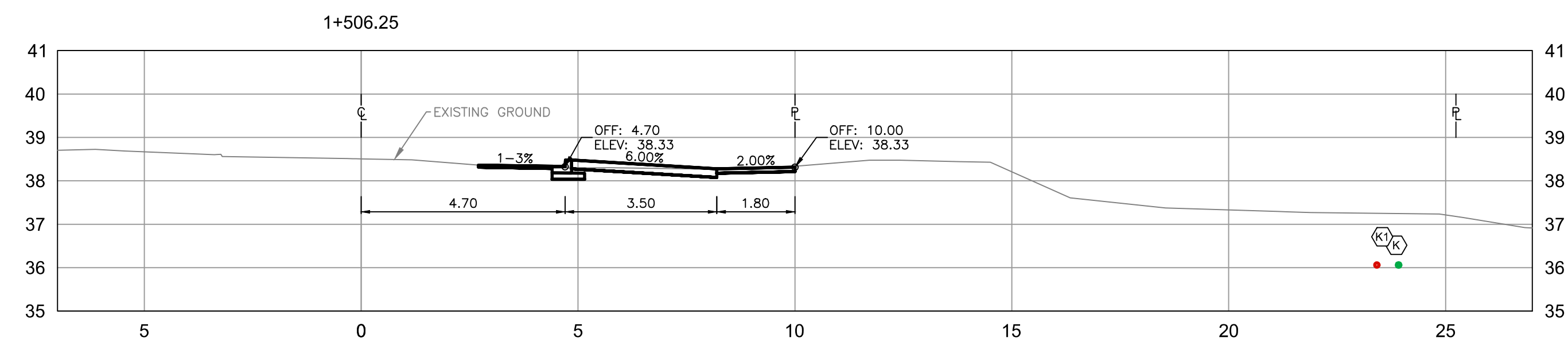
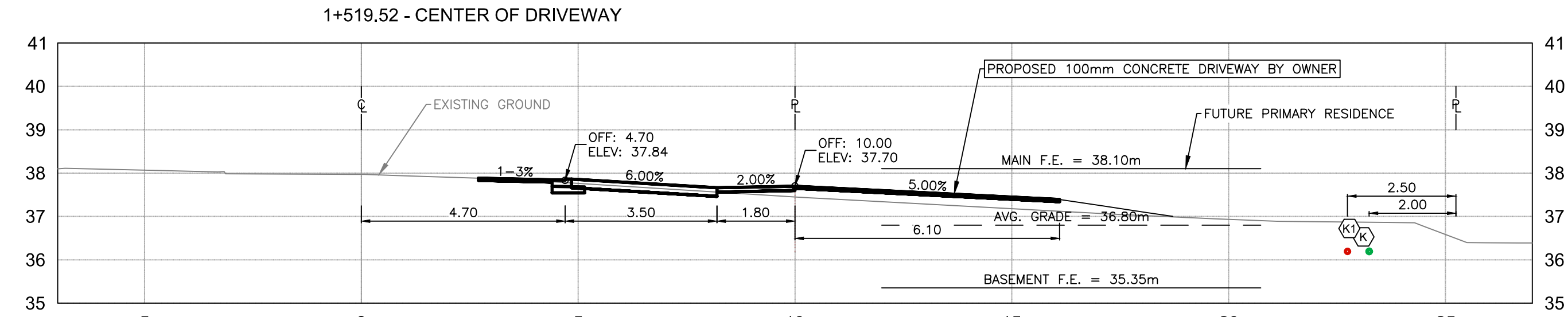
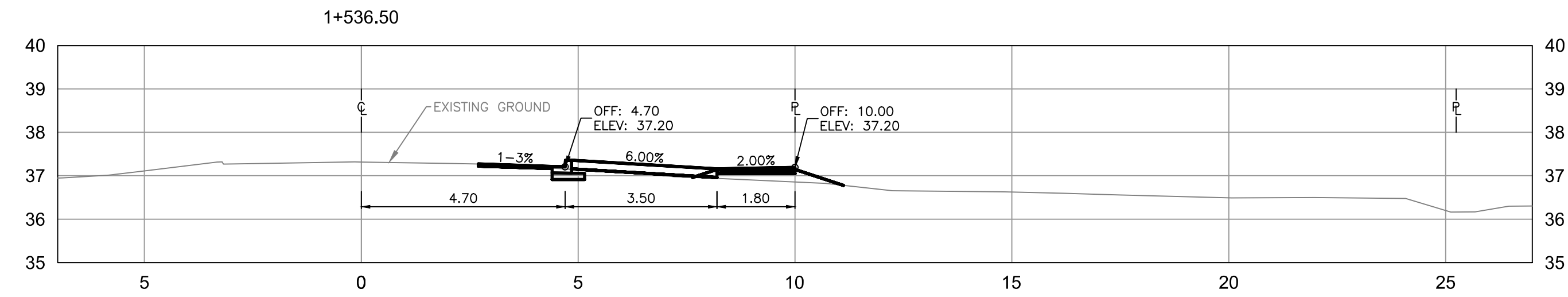
ISSUED				REVISION			
NO.	DESCRIPTION	DATE	BY	NO.	DESCRIPTION	DATE	BY
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1	ISSUED FOR SUBDIVISION APPROVAL	20211125	RT KHG				

LEGEND		
LAMP STANDARD	← LS	CLEANOUT
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JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

JURISDICTION: CITY OF VICTORIA
CLIENT: PAUL FISHER
PROJECT: 1302 FINLAYSON & 3105 HIGHVIEW CIVIL SITE SERVICING
PLAN & PROFILE
32444 02 C2
ENGINEERS SEAL: R. TUCK #28072
MUN. FILE SUB00384 SHEET 2 OF 3

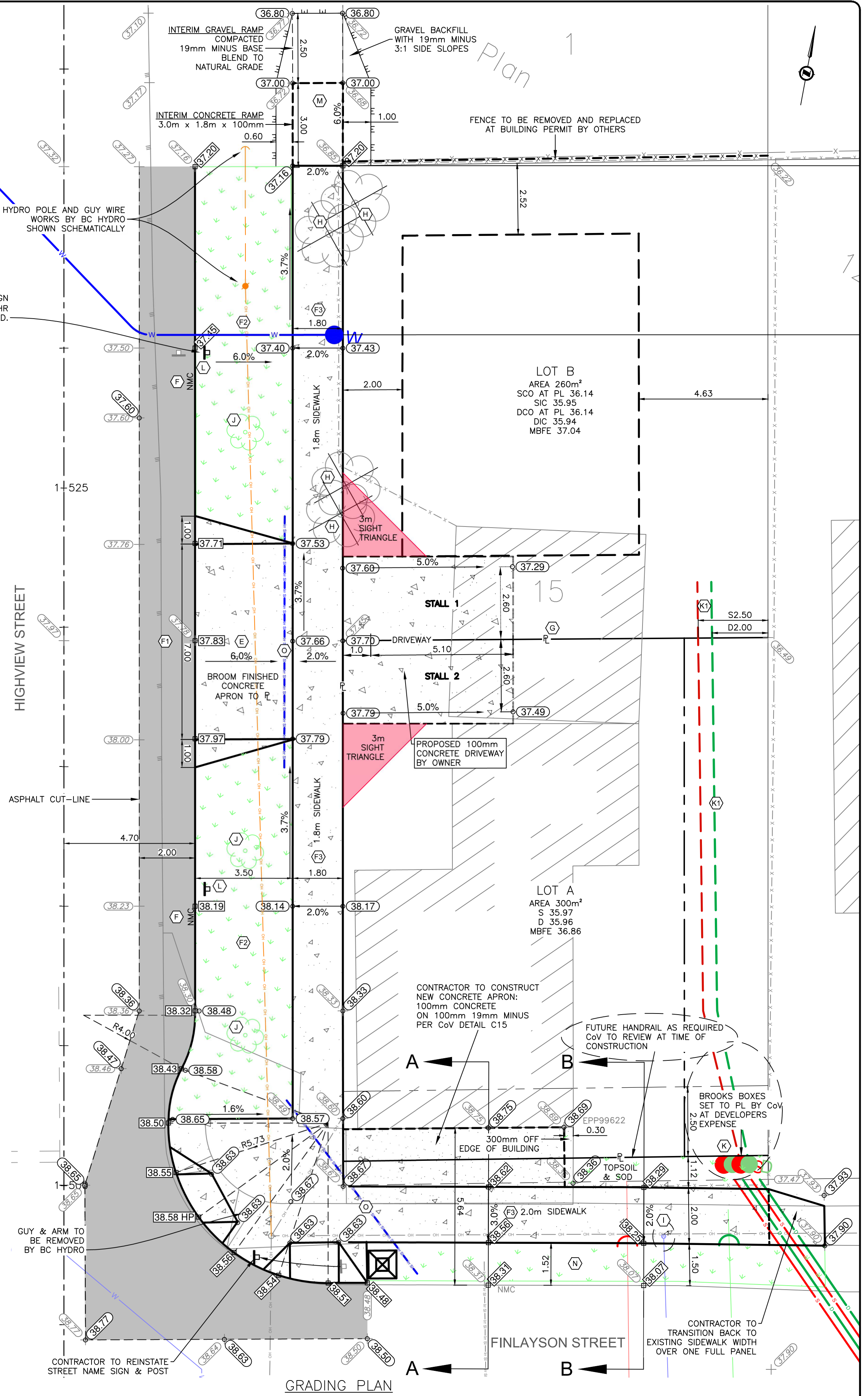
\\Victoria01\Common\Projects\32444 - Engineering\02 - Drawings & Sketches (Eng)\32444 - Design & Base.dwg - Design & Base.dwg - Plot Date: September 15, 2022



SECTION - FINLAYSON STREET - DOOR DILL
V 1:100
H 1:100

SECTION - FINLAYSON STREET - SIDEWALK
V 1:100
H 1:100

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 - (E) CONTRACTOR TO CONSTRUCT NEW 7.0m WIDE 150mm CONCRETE DRIVEWAY APRON COMPLETE WITH BROOM FINISH CONCRETE TO F AS PER CITY OF VICTORIA HIGHWAY ACCESS, BYLAW AND COV STD. DWG. C7a & C7c. CONTRACTOR TO CONSTRUCT 1.0m CONCRETE TRANSITIONS AND FLARES AT CURB.
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 - (Q) CONTRACTOR TO CONSTRUCT INTERIM CONCRETE RAMP TO BOULEVARD. SEE DETAILS ON SHEET C3.
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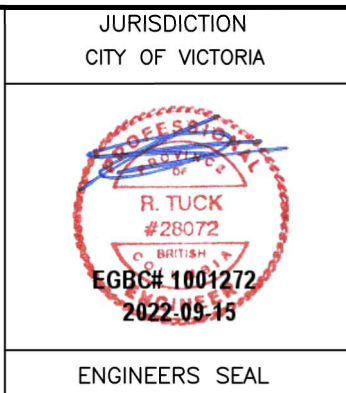
GRADING PLAN
H 1:100

ISSUED FOR CONSTRUCTION

NO.	DESCRIPTION	DATE	BY	CHK	REV.	DESCRIPTION	DATE	BY	CHK
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EDGE ASPHALT	← EA
DITCH	← D
METER	← M
FLUSH VALVE	← FV
VALVE	← V
REDUCER	← R
HYDRANT	← H
AIR VALVE	← AV

JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com



JURISDICTION CITY OF VICTORIA	CLIENT PAUL FISHER
PROJECT 1302 FINLAYSON & 3105 HIGHVIEW CIVIL SITE SERVICING	SECTIONS DRIVEWAY DETAILS & GRADING
ENGINEERS SEAL	MUN. FILE SUB00384
	SHEET 3 OF 3



3109 Highview Proposed SFD

1302 Finlayson Existing Retail and SFD

1 Highview Frontage
Scale: 1:50



1302 Finlayson Existing Retail and SFD

1314 Finlayson Existing SFD

2 Finlayson Frontage
Scale: 1:50

2 2023-08-02 Revised Plans for Development Permit		
1 2023-05-18 Issued for Development Permit		
No.	Date	Issue Notes
Design Firm		
Consultant		
Project Title 3109 Highview New Single Family Dwelling Development Permit		
Sheet Title Street Elevations		
Project Manager	Project ID	
Drawn By Cantilever Designs	Scale	As Noted
Reviewed By	Sheet No.	
Date 2023-08-02	A 1.6	
CAD File Name	of	
	A 1.6	

To Mayor of the City of Victoria and Council:

Re: 1302 Finlayson/3109 Highview

We respectfully request a development permit for the above mentioned R1-S2 development. This new residential housing development is to personally accommodate the owner of the “Old English Cabinet Maker” store which has done business at 1302 Finlayson Street for over 30 years.

The city and province acknowledges the pressing need for additional housing in Victoria — and supports and encourages development of additional and affordable housing within the Neighbourhood. The city also recognizes the critical need to develop all housing in a way that promotes and fosters the livability of the city, especially the neighbourhood in which the housing is located.

With both those goals in mind, this submission from the PLAN Contracting as registered authorized agent of our client Mr. Paul Fisher and Mrs. Martha Fisher. We hope that the council and its department will fast track and approve this DP submission for the exact same DP that was approved by the Hon. Mayors predecessor and the council in 2020.

Our outline for project approval principally relate to the following:

The City’s Official Community Plan (OCP) sets the framework for how Victoria can and should physically accommodate development and growth. The OCP is the result of extensive public and industry consultation and reflects the shared vision for that development, agreed upon by the community, the City, and the development sector. This Development originally approved in 2020 met all the above-mentioned criteria including a large DSA deposit paid by the client to the city to improve the walkways of the community and install the first street light on this particular city block. This greatly improves the aesthetics and economical benefit of the city as the civil DSA prints show improvement to the sewer line associated with the new development.

With the design and development process of this DP we have augmented the original prints to include step 3 energy code into the new design as per the regulations of the planning department of the city. Within the original design there were multiple CULAC and Neighborhood planning meeting to discuss the benefit of this development for the area and the city, the findings resulted in a 2020 approval for DP.

Our Recommendations to Council:

1. We request that council review the updates to the original DP prints with requirements adjusted for new regulations of the city incorporated into new submission and fast track this application
2. Council should consider that the client has already paid sizable deposits for the DSA and city required infrastructure for this development and has been paying out of pocket for 3 years to get this project completed

Thank you for your time and consideration.

Kyle Hryckowian
Director of Projects and Development
PLAN Contracting Ltd.

By email to: Michael Angrove,
City of Victoria mangrove@victoria.ca

6 January 2019

Dear Michael Angrove:

Re: Community Meeting for 1302 Finlayson Avenue Rezoning

Community Meeting Details

Date: 28 November 2018

Location of meeting: Quadra Village Community Centre, 901 Kings Avenue

Meeting facilitators: Hillside Quadra Neighbourhood Action Committee (NAC): 3 members

Attendance: 5: 4 in 100m notification distance, 1 outside notification area;

Meeting Chair: Jon Munn, NAC

Note taker: Deborah McCarron, NAC

Proposed Development Details

Proponent: Adrian Brett of Adrain Brett and Associates

Owner: Paul Fisher

Proposal: Rezone from R1-B Single Family Dwelling District to R1-S2 Restricted Small Lot (Two Storey) District and a new zone to fit the nonconforming situation; and vary the R1-S2 6.0m front and rear yard building set backs from to 2.0m and 3.4m respectively.

The proponent presented the proposal and answered questions. Currently, 1302 Finlayson is the site of a commercial building with residential on the upper floor. The current owner operates the English Carpenter furniture business.

The proponents would like to rezone their land to new zones with lot size minimums which would permit a subdivision to create two small lots. The adjacent table provided by the proponent summarizes the lot and building dimensions if the proposal is successful.

No table was presented to show how the existing uses and building do not conform with the existing zone or how the

	Proposed Lot A 3105 Highview (metric)	Existing Lot B 1302 Finlayson (metric)
Existing Zone	R1-B	R1-B
Proposed Zone	R1-S2	NEW
Lot Area	260.50	283.40
Lot Frontage on Street	16.99	18.70
Site Coverage	38.41%	47.99%
FSR	0.60	0.75
Open Site Space	52.10%	45.37%
Site Coverage	100.07	135.99
Floor Area 1+2	157.13	211.26
Main	83.96	104.25
Upper	73.17	107.01
Basement	82.41	
Floor Area all Floors	239.54	211.26
Commercial Floor Area	N/A	86.64
Residential Floor Area	239.54	124.62
Number of Dwelling Units	1	1
Parking Stalls	1	1
Number of Storeys	2	2
Height	7.30	7.42
Average Grade	36.80	37.60
Peak Height	44.88	46.29
Eave Height	43.31	43.74
Front yard	2.00	0.43
Rear yard	3.43	2.72
North Side Yard	2.40	3.00
South Side Yard	3.00	0.51
Combined Side Yard	5.40	3.51

existing situation and zone differ from the proposal. Although a development permit and the related guidelines normally are required for intensive residential development, details of conformity were only discussed briefly.

The proponent briefly described that the existing commercial use on the lot does not conform to the R1-B zone and the siting of the building does not conform to the yard distance requirements of the zone because the existing situation largely existed prior to the adoption of the zoning bylaw. There was no summary of what changes to the property were made over the years and how the nonconforming situation was addressed with or without city permits.

It was noted at the meeting that the proposal requests a new zone to accommodate the unusual nonconforming situation of the commercial use with lot line setbacks close to 0.5m. The city has the option to ask that any building be brought into conformity with the existing R1-B. The variances required for the existing building to be in conformity with the R1-S2 zone were not discussed.

The road edge adjacent to the lot is largely gravel with no drainage or transport related improvements. The proponent noted that the city usually requires adjacent road improvements when there is a subdivision or rezoning. This would likely be a curb and gutter to direct rain water for drainage and a sidewalk for safe pedestrian travel. The proponent is requesting to construct a planted ditch to absorb rain water, or bioswale instead of the regular improvements. This is a subdivision related detail, so the decision would be made by the Engineering Department.

The proponent said that what the city Official Community Plan (OCP) wants in urban areas is traditional residential housing. They feel the proposal meets development permit area objectives and it is sensitive infill. He suggested that the city wants contact sensitive new developments to support future population growth. They also want retention of existing local businesses in the community such as the existing business.

As part of the proposal the owner will be making the spindle work copied from the 1880s design to be placed on the façade overlooking the park to match the 1914 character of the original house. The proponent said the wraparound porch facing north and west will enhanced the ability for surveillance or ‘eyes on the park,’ and this is a good way to make the park more secure. Also, there are no changes to be made to the existing house. There will be minor grade differences between the new house on Highview and the existing house on Finlayson Street.

Discussion

A number of issues were discussed. It was noted that the adjacent owner and/or resident neighbour to the east would be most affected by the proposal and no representative for that neighbour was present.

Use and Density

Three of four of the neighbours said they are “absolutely are for this”, and it is “sensible development.” One of three, suggested it feels the new building would encroaching on the park and he is losing his view of the park although he didn’t think this would be an issue for zoning.

A resident asked what the height of the new house’s basement would be and if it is underground and being designed as a liveable space. Adrian responded that basement suites are not permitted under small lot zoning. Adrian feels this rule is about to be changed. The neighbour objects to any basement suite.

Transportation/ Parking

Many meeting participants stated that they like more space for on-street parking. A couple of people said that pedestrians walking to and from the park would be o.k. without a sidewalk.

Additional parking demand from the proposal was briefly discussed but no clear conclusion was reached. Three neighbours liked the way people could park now, although only one off-street parking space per unit may not be adequate. The proponent did not address this issue clearly.

Traffic/Street Improvements

There was some discussion of how a bioswale would be designed with driveways and parking.

An 18-year resident two doors down on Finlayson said the sidewalk would end at the property line by the park if a conventional curb and gutter were done. She is against this. She likes the additional parking on the shoulder that can be kept if it’s placed in gravel. On another project across the street this was an issue and the neighbours collected 16 signatures to keep the soft gravel shoulder. She thinks they could get more signatures if needed.

Affordability

A minor mention was made regarding affordability. The proponent said this is a small market-oriented proposal, but the existing residential unit on top of the commercial unit could be more affordable.

Design – Building Form and Character

Those attending agreed that the attention to detail from the 1880s design to be placed on the façade overlooking the park was a good idea.

The neighbours also asked about the siding and the use of color. They commented that they did not like the latest improvement across the street and the existing green colour of the building could be changed. The owner responded that he’s tending toward dark blue and plans to keep the original character.

One suggestion asked that a colour and materials board be presented to show the possibilities. This is an issue for the development permit, but there is no public notice at that stage.

Conclusion

Overall, the proposal seen as acceptable by the small number of attendees.

Jon Munn
CALUC Co-Chair
Hillside Quadra Neighbourhood Action Committee

cc. Hillside Quadra NAC, Adrian Brett



Talbot Mackenzie & Associates

Consulting Arborists

1302 Finlayson St, Victoria

Construction Impact Assessment & Tree Preservation Plan

Prepared For: Paul Fisher
1302 Finlayson Street
Victoria, BC
V8T 2V6

Prepared By: Talbot, Mackenzie & Associates
Michael Marcucci
ISA Certified # ON-1943A
TRAQ – Qualified

Graham Mackenzie
ISA Certified # PN-0428
TRAQ – Qualified

Date of Issuance: TPP#1: October 15, 2018
TPP#2: October 21, 2019

Box 48153 RPO - Uptown Victoria, BC V8Z 7H6
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Fax: (250) 479-7050
Email: tmtreehelp@gmail.com



Talbot Mackenzie & Associates

Consulting Arborists

Jobsite Property: 1302 Finlayson St, Victoria

Date of Site Visit(s): October 10, 2019
October 2, 2019

Site Conditions: No ongoing construction activity.

Summary:

- No bylaw protected trees will be removed as a result of the development.
- As per the City of Victoria Parks request, the proposed water line lateral has been shifted away from Garry Oak #6; we do not anticipate a significant impact to the tree as a result.
- The four small Ash trees #1-4 (near the west property line) will require removal for the sidewalk and water line excavations.
- It is our understanding that the shared trees #7-11 (ashes and plum) along the east property line will be removed by the neighbour in the future, regardless of the development proposal and the installation of services which could have a significant impact on the health and stability of the trees. We have therefore listed them as to be removed.

Scope of Assignment:

- Inventory the existing bylaw protected trees and any trees on municipal or neighbouring properties that could potentially be impacted by construction or that are within three metres of the property line
- Review the proposal to subdivide the property and construct a new house on the north lot, which will involve the installation of new services
- Comment on how construction activity may impact existing trees
- Prepare a tree retention and construction damage mitigation plan for those trees deemed suitable to retain given the proposed impacts

Methodology:

- We visually examined the trees on the property and prepared an inventory in the attached Tree Resource Spreadsheet.
- Each by-law protected tree was identified using a numeric metal tag attached to its lower trunk. Municipal trees and neighbours' trees were not tagged.
- Information such as tree species, DBH (1.4m), crown spread, critical root zone (CRZ), health, structure, and relative tolerance to construction impacts were included in the inventory.

- The conclusions reached were based on the information provided within the attached plans dated 2019/10/18

Limitations:

- No exploratory excavations have been conducted and thus the conclusions reached are based solely on critical root zone calculations, observations of site conditions, and our best judgement using our experience and expertise. The location, size and density of roots are often difficult to predict without exploratory excavations and therefore the impacts to the trees may be more or less severe than we anticipate.
- Where trees were not shown on the plans provided, we have added their approximate locations (such as trees #5-9). The accuracy of our estimated locations has not been verified by a professional surveyor.

Trees to be Removed

The following trees will require removal due to construction related impacts:

#1-4 Ashes: These trees will require removal due to either being located within the proposed sidewalk or directly at its edge (#2-4) or due to the proposed water line (#1 and 2). #1 is on private property, #2 is on municipal property and #3 and 4 are likely shared. None are bylaw protected size at the time of this report.

#7-11 Ashes and Plum: These trees likely straddle the east property line and therefore are likely under shared ownership with the neighbour at 1314 Finlayson St (#7-9 have not been surveyed). All trees are located less than 2m from the proposed sanitary and storm drain easement proposed; this could result in significant health and stability impacts to these trees. If retention of these trees were to be attempted, we would recommend these services be installed under arborist supervision. This would likely involve the use of a hydro-vac where possible and other less invasive digging techniques. However, based on our conversations with the proponent and the neighbour, it is our understanding that the neighbour plans on removing all of these trees in the future regardless of the development proposal. We have therefore listed these trees as to be removed. We recommend the neighbour be notified of the proposed impacts to these trees and that they be removed prior to the installation of services.

Potential Impacts on Retained Trees

#6 Garry Oak

This tree is located across the street (the side flank of 1230 Finlayson St) and the municipality has indicated this tree appears to be partially on private property. To minimize impacts to this tree, the water lateral has been shifted north away from this tree (to 1m south of the north property line), as requested by the City of Victoria Parks staff. We do not anticipate the excavation required will have a significant impact on the tree. The excavation should take place under the direction of the municipal arborist (or project arborist). We do not anticipate any large roots will be encountered

this far from the tree; any small severed roots should be pruned back to sound tissue prior to backfilling.

#5 Garry Oak

We do not anticipate any significant impact on this park tree. If the new fence requires excavation, the project arborist should be consulted. If roots are encountered during the foundation excavation, the project arborist should be contacted and the roots pruned back to sound tissue.

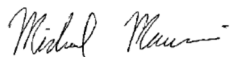
Mitigation Measures

- **Arborist Supervision:** All excavation occurring within the critical root zones of protected trees should be completed under the direction or supervision of the project arborist. This includes (but is not limited to) the following activities within CRZs:
 - #6 Garry Oak – Water Line installation
 - #5 Garry Oak – Excavation associated with new fence and foundation, if roots are encountered
- **Pruning Roots:** Any severed roots must be pruned back to sound tissue to reduce wound surface area and encourage rapid compartmentalization of the wound. Backfilling the excavated area around the roots should be done as soon as possible to keep the roots moist and aid in root regeneration. Ideally, the area surrounding exposed roots should be watered; this is particularly important if excavation occurs or the roots are exposed during a period of drought. This can be accomplished in a number of ways, including wrapping the roots in burlap or installing a root curtain of wire mesh lined with burlap, and watering the area periodically throughout the construction process.
- **Barrier fencing:** No barrier fencing is necessary unless the municipality desires fencing around Garry Oak #6 for the work the city engineering crews will perform for the water line.
- **Minimizing Soil Compaction:** In areas where construction traffic must encroach into the critical root zones of trees to be retained, efforts must be made to reduce soil compaction where possible by displacing the weight of machinery and foot traffic. This can be achieved by one of the following methods (depending on the size of machinery and the frequency of use):
 - Placing a layer of geogrid (such as Combigrid 30/30) over the area to be used and installing a layer of crushed rock to a depth of 15 cm over top or a layer of hog fuel or coarse wood chips at least 30 cm in depth and maintaining it in good condition until construction is complete.
 - Installing a layer of hog fuel or coarse wood chips at least 20 cm in depth and maintaining it in good condition until construction is complete.
 - Placing two layers of 19mm plywood.
 - Placing steel plates

- **Blasting:** Care must be taken to ensure that the area of blasting does not extend beyond the necessary footprints and into the critical root zones of surrounding trees. The use of small low-concussion charges and multiple small charges designed to pre-shear the rock face will reduce fracturing, ground vibration, and overall impact on the surrounding environment. Only explosives of low phytotoxicity and techniques that minimize tree damage should be used. Provisions must be made to ensure that blasted rock and debris are stored away from the critical root zones of trees.
- **Landscaping and Irrigation Systems:** The planting of new trees and shrubs should not damage the roots of retained trees. The installation of any in-ground irrigation system must take into account the critical root zones of the trees to be retained. Prior to installation, we recommend the irrigation technician consult with the project arborist about the most suitable locations for the irrigation lines and how best to mitigate the impacts on the trees to be retained. This may require the project arborist supervise the excavations associated with installing the irrigation system. Excessive frequent irrigation and irrigation which wets the trunks of trees can have a detrimental impact on tree health and can lead to root and trunk decay.
- **Arborist Role:** It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 - Locating the barrier fencing
 - Reviewing the report with the project foreman or site supervisor
 - Locating work zones, where required
 - Supervising any excavation within the critical root zones of trees to be retained
 - Reviewing and advising of any pruning requirements for machine clearances
- **Review and site meeting:** Once the project receives approval, it is important that the project arborist meet with the principals involved in the project to review the information contained herein. It is also important that the arborist meet with the site foreman or supervisor before any site clearing, tree removal, demolition, or other construction activity occurs and to confirm the locations of the tree protection barrier fencing.

Please do not hesitate to call us at (250) 479-8733 should you have any further questions.

Thank you,



Michael Marcucci
ISA Certified # ON-1943A
TRAQ – Qualified



Graham Mackenzie
ISA Certified # PN-0428
TRAQ – Qualified

Talbot Mackenzie & Associates
ISA Certified Consulting Arborists

Encl. 1-page tree resource spreadsheet, 2-page site plan, 2-page tree resource spreadsheet methodology and definitions

Disclosure Statement

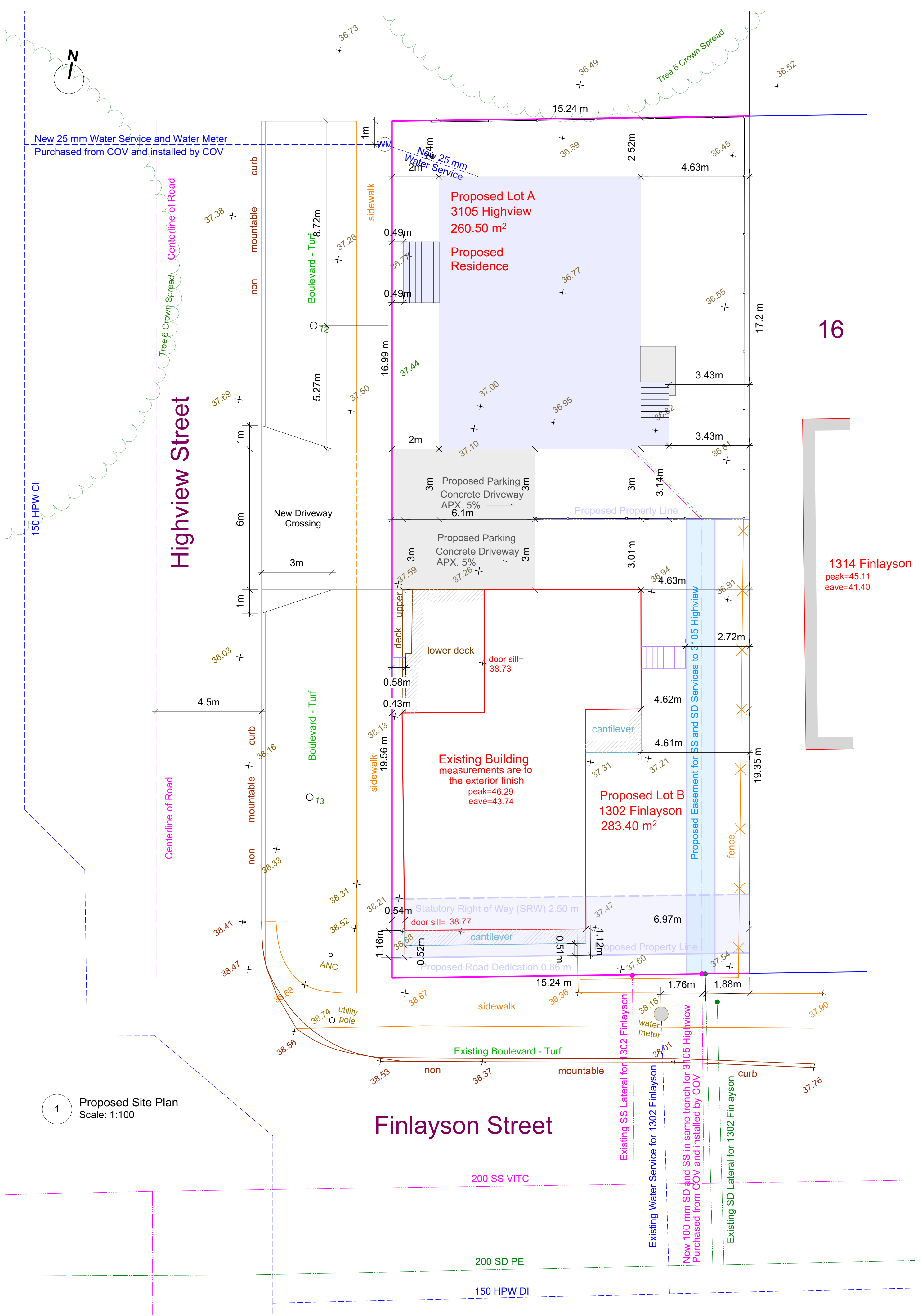
The tree inventory attached to the Tree Preservation Plan can be characterized as a limited visual assessment from the ground and should not be interpreted as a “risk assessment” of the trees included.

Arborists are professionals who examine trees and use their training, knowledge and experience to recommend techniques and procedures that will improve their health and structure or to mitigate associated risks.

Trees are living organisms, whose health and structure change, and are influenced by age, continued growth, climate, weather conditions, and insect and disease pathogens. Indicators of structural weakness and disease are often hidden within the tree structure or beneath the ground. It is not possible for an Arborist to identify every flaw or condition that could result in failure or can he/she guarantee that the tree will remain healthy and free of risk.

Remedial care and mitigation measures recommended are based on the visible and detectable indicators present at the time of the examination and cannot be guaranteed to alleviate all symptoms or to mitigate all risk posed.

Tree ID	Common Name	Latin Name	DBH (cm) ~ approximate	Crown Spread (diameter in metres)	CRZ (radius in metres)	Relative Tolerance (good, moderate, poor)	Health	Structure	Remarks and Recommendations	Bylaw Protected	Retention Status	Impacts
1	European Ash	<i>Fraxinus excelsior</i>	22	5	2.5	M	Fair	N/A	Private tree. Codominant stem previously removed	No	Removal	Sidewalk
2	European Ash	<i>Fraxinus excelsior</i>	22	6.0	2.5	M	Fair/Poor	Fair/Poor	Municipal ID# 11956. Decay at base. Trunk wound at 3m.	No	Removal	Sidewalk
3	European Ash	<i>Fraxinus excelsior</i>	19	6.0	2.5	M	Fair	Fair	Possibly shared with municipality. Municipal ID# 11957	No	Removal	Sidewalk
4	European Ash	<i>Fraxinus excelsior</i>	12, 12, 11	6.0	3.0	M	Fair	Poor	Possibly shared with municipality. Municipal ID# 11958 Tri-dominant form.	No	Removal	Sidewalk
5	Garry Oak	<i>Quercus garryana</i>	75	19.0	7.5	G	Good	Good	Park tree. Municipal ID# 5009. No impacts anticipated.	Protected	Retain	
6	Garry Oak	<i>Quercus garryana</i>	88, 80, 73	23.0	18.0	G	Fair	Poor	Municipal or possibly shared with neighbour across street. Open cracks in unions at base on east and west sides of tree; reaction wood between union on north side. Centre of union obscured by shrubs and soil. Deadwood. Some epicormic growth. Assessment recommended.	Protected	Retain	Water service
7	European Ash	<i>Fraxinus excelsior</i>	26, 12	7.0	4.0	M	Fair	Fair/poor	Likely shared with neighbour; not surveyed. Base and unions obscured by ivy.	No	Removal	Services, neighbour plans to remove
8	Wild Plum	<i>Prunus species</i>	25, 18, 17, 13	10.0	5.5	M	Fair	N/A	Likely shared with neighbour; not surveyed. Base and unions obscured by ivy. Large 20-30cm wide stem historically removed at DBH; site of decay.	No	Removal	Services, neighbour plans to remove
9	European Ash	<i>Fraxinus excelsior</i>	20, 16	10.0	3.5	M	Fair	Poor	Likely shared with neighbour; not surveyed. Growing against base of #7. Narrow union at base. Trunk braced against and engulfing trunks and branches of #7.	No	Removal	Services, neighbour plans to remove
10	European Ash	<i>Fraxinus excelsior</i>	46	17.0	5.5	M	Fair	Fair	Shared with neighbour. Limbs and trunk crossing and braced against trunk of #6.	No	Removal	Services, neighbour plans to remove
11	European Ash	<i>Fraxinus excelsior</i>	50	17.0	6.0	M	Fair	Fair	Shared with neighbour. Branch stub. Deadwood.	No	Removal	Services, neighbour plans to remove



Zoning Data

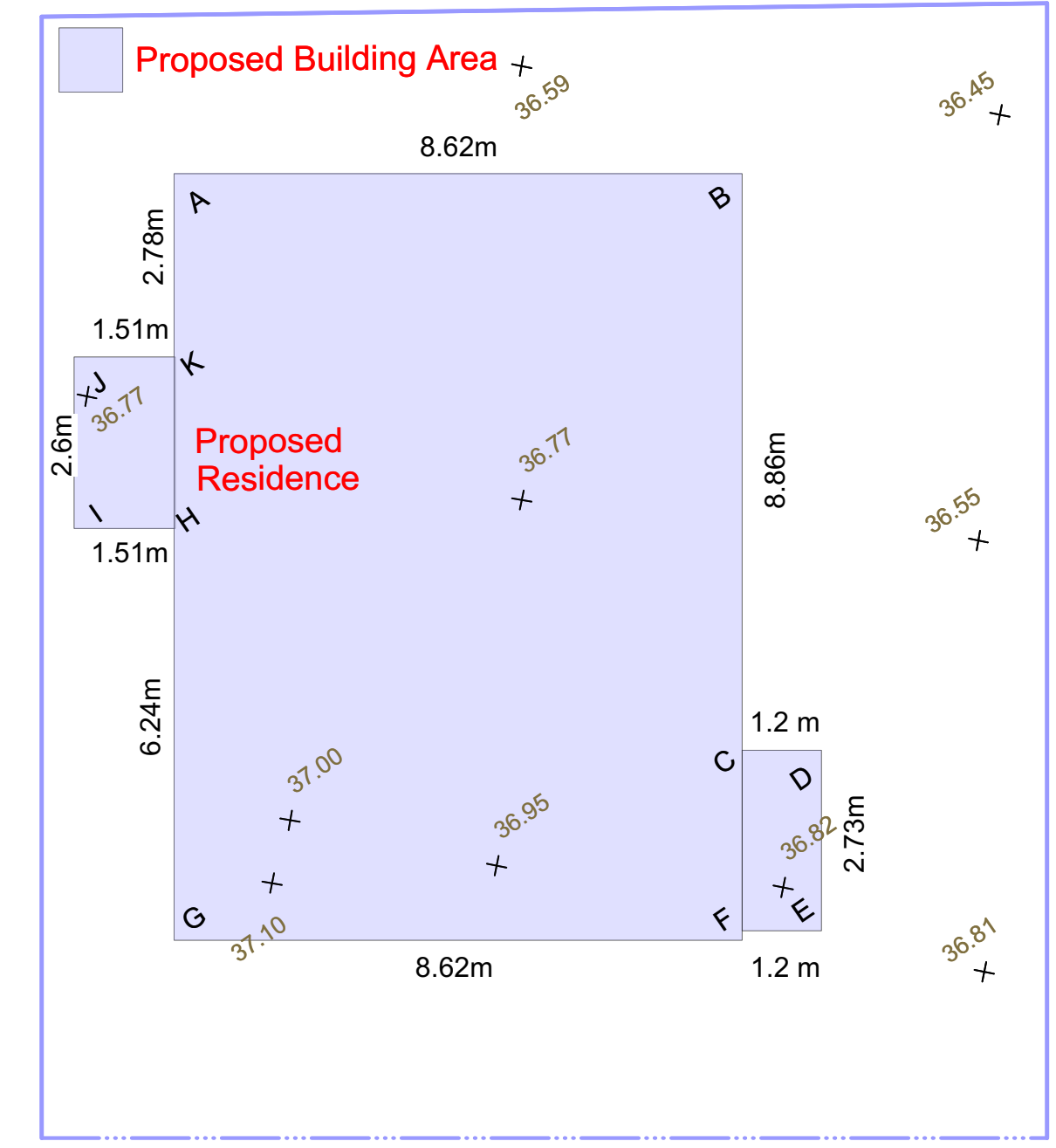
	Proposed Lot A 3105 Highview (metric)	Existing Lot B 1302 Finlayson (metric)
Existing Zone	R1-B	R1-B
Proposed Zone	R1-S2	NEW
Lot Area	260.50	283.40
Lot Frontage on Street	16.99	18.70
Site Coverage	38.41%	47.99%
FSR	0.60	0.75
Open Site Space	52.10%	45.37%
Site Coverage	100.07	135.99
Floor Area 1+2	157.13	211.26
Main	83.96	104.25
Upper	73.17	107.01
Basement	82.41	
Floor Area all Floors	239.54	211.26
Commercial Floor Area	N/A	86.64
Residential Floor Area	239.54	124.62
Number of Dwelling Units	1	1
Parking Stalls	1	1
Number of Storeys	2	2
Height	7.50	7.38
Average Grade	36.80	37.64
Peak Height	45.76	46.29
Eave Height	42.84	43.74
Front yard	2.00	0.43
Rear yard	3.43	2.72
North Side Yard	2.40	3.00
South Side Yard	3.00	0.51
Combined Side Yard	5.40	3.51
Outdoor Private Space Area	106.92	114.12

3105 Highview Average Grade

Grade Points	Geodetic Elevation (M)	Geodetic Elevation (FT)	Between Grade Points	Average of Points (M)	Average of Points (FT)	Between Grade Points	Distance (M)	Distance (FT)	Totals
A	36.73	120.47	AB	36.66	120.24	AB	8.62	28.26	315.83
B	36.59	120.02	BC	36.71	120.39	BC	8.86	29.07	325.35
C	36.82	120.77	CD	36.82	120.77	CD	1.20	3.94	44.18
D	36.82	120.77	DE	36.82	120.77	DE	2.73	8.95	100.52
E	36.82	120.77	EF	36.82	120.77	EF	1.20	3.94	44.18
F	36.82	120.77	FG	36.96	121.23	FG	8.62	28.26	318.41
G	37.10	121.69	GH	36.94	121.15	GH	6.24	20.45	230.29
H	36.77	120.61	HI	36.77	120.61	HI	1.51	4.95	55.52
I	36.77	120.61	IJ	36.77	120.61	IJ	2.60	8.53	95.60
J	36.77	120.61	JK	36.77	120.61	JK	1.51	4.95	55.52
K	36.77	120.61	KL	36.75	120.54	KL	2.78	9.12	102.20
Totals							45.86	1687.61	
Average Grade	36.80	120.70							

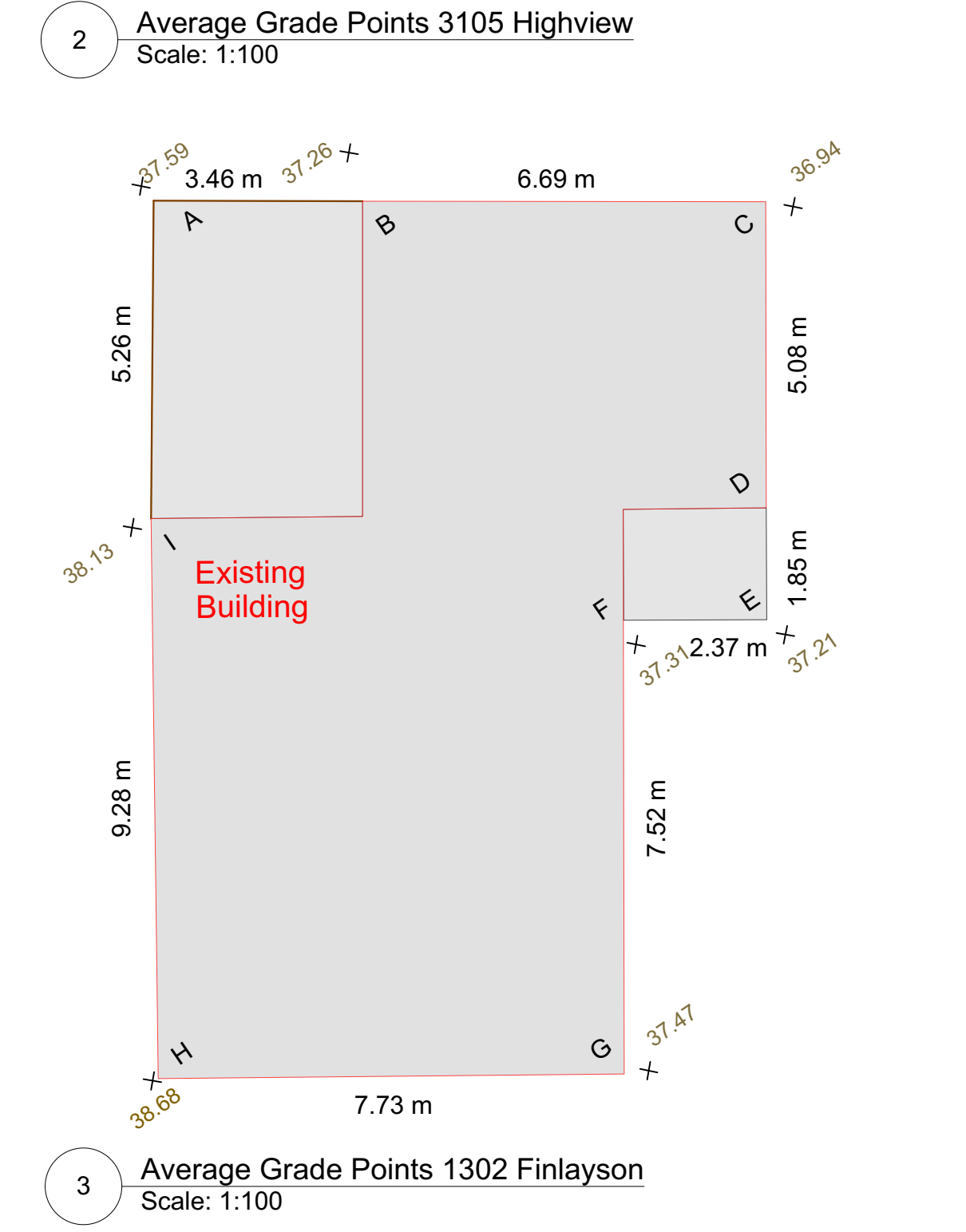
1302 Finlayson Average Grade

Grade Points	Geodetic Elevation (M)	Geodetic Elevation (FT)	Between Grade Points	Average of Points (M)	Average of Points (FT)	Between Grade Points	Distance (M)	Distance (FT)	Totals
A	37.59	123.30	AB	37.43	122.75	AB	3.46	11.35	129.49
B	37.26	122.21	BC	37.10	121.69	BC	6.69	21.94	248.20
C	36.94	121.16	CD	36.97	121.26	CD	5.08	16.66	187.81
D	37.00	121.36	DE	37.11	121.70	DE	1.85	6.07	68.64
E	37.21	122.05	EF	37.26	122.21	EF	2.37	7.77	88.31
F	37.31	122.38	FG	37.39	122.64	FG	7.52	24.67	281.17
G	37.47	122.90	GH	38.08	124.89	GH	7.73	25.35	294.32
H	38.68	126.87	HI	38.41	125.97	HI	9.28	30.44	356.40
I	38.13	125.07	IA	37.86	124.18	IA	5.26	17.25	199.14
Totals							49.24	1853.48	
Average Grade	37.64	123.47							



Hydraulic Calculations

3105 Highview Lot A			
Fixture or Device	Fixture Units	# of Fixtures	Total Fixture Units
Bathroom Group	3.6	3	10.8
Bathub	1.4		0
Clothes Washer	1.4	1	1.4
Dishwasher	1.4	1	1.4
Hose Bibb	2.5	2	5
Sink, bar	1	1	1
Sink, Bathroom (Basin)	0.7	2	1.4
Sink, Kitchen	1.4	1	1.4
Sink, Laundry	1.4		0
Shower stall	1.4		0
Water closet (toilet)	2.2	1	2.2
Total			24.6
Water meter and service from main to property line	25 mm Water Meter and Service		
Water service size from property line to house.	25 mm Water Service		



Trees

Tree Number	Species	DBH (m)	Crown Spread (Dia. in m)	CRZ (radius in m)	Comments
1	European Ash - Fraxinus Excelsior	0.22	5.0	2.5	Existing to be removed
2	European Ash - Fraxinus Excelsior	0.22	6.0	2.5	Existing to be removed
3	European Ash - Fraxinus Excelsior	0.19	6.0	2.5	Existing to be removed
4	European Ash - Fraxinus Excelsior	0.12	6.0	3.0	Existing to be removed
5	Garry Oak - Quercus garryana	0.75	19.0	7.5	Existing to be retained. (Protected)
6	Garry Oak - Quercus garryana	0.88	23.0	18.0	Existing to be retained. (Protected)
7	European Ash - Fraxinus Excelsior	0.26	7.0	4.0	Existing to be removed
8	Wild Plum - Prunus Species	0.25	10.0	5.5	Existing to be removed
9	European Ash - Fraxinus Excelsior	0.20	10.0	3.5	Existing to be removed
10	European Ash - Fraxinus Excelsior	0.46	17.0	5.5	Existing to be removed
11	European Ash - Fraxinus Excelsior	0.50	17.0	6.0	Existing to be removed
12	TBD by Parks				New min. 6cm caliper
13	TBD by Parks				New min. 6cm caliper

E	19-10-18	Revisions for COTW Meeting
D	19-5-02	Revisions for TRG
C	19-1-9	Rezoning & Development Permit
B	18-11-22	CALUC - Revision
A	18-10-21	CALUC - Client Review

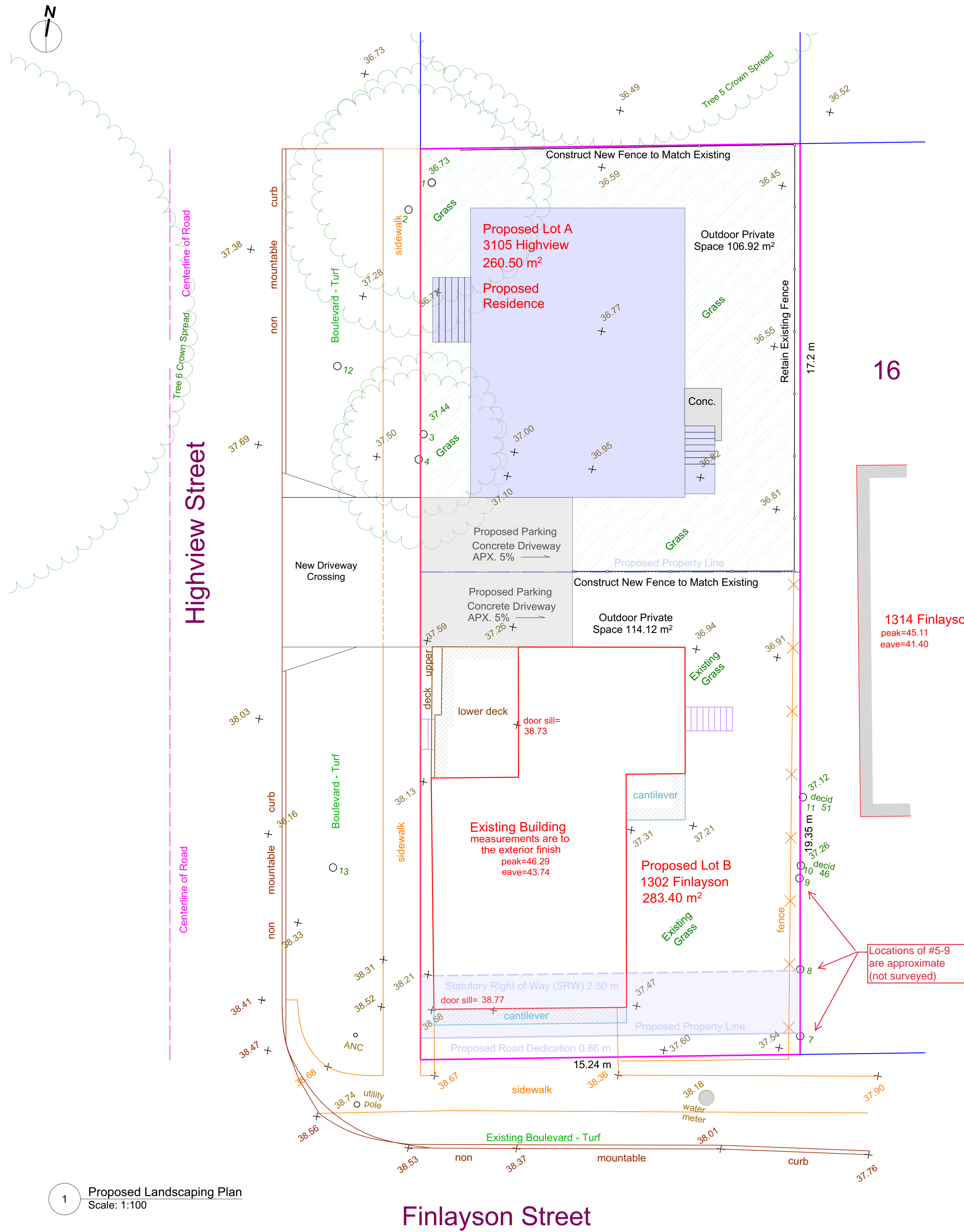
No.	Date	Issue Notes

Adrian Brett & Associates

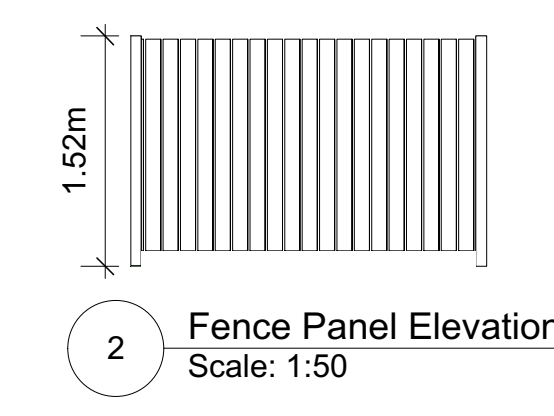
Design Firm

Adrian Brett & Associates
10461 Resthaven DR Sidney BC V8L 3H6
C: 613-619-4171
adrian.brett1@gmail.com

Project Title	1302 Finlayson 3105 Highview Rezoning
Sheet Title	Proposed Site Data Table Site Servicing Plan
Project Manager	Project ID
Drawn By Cantliever Designs	Scale As Noted
Reviewed By A.B.	Sheet No. A 1.1 of A 1.7
Date 20191018	
CAD File Name	



Trees					
Tree Number	Species	DBH (m)	Crown Spread (Dia. in m)	CRZ (radius in m)	Comments
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4	European Ash - Fraxinus Excelsior	0.12 0.12 0.11	6.0	3.0	Existing to be removed
5	Garry Oak - Quercus garyana	0.75	19.0	7.5	Existing to be retained. (Protected)
6	Garry Oak - Quercus garyana	0.88 0.80 0.73	23.0	18.0	Existing to be retained. (Protected)
7	European Ash - Fraxinus Excelsior	0.26 0.12	7.0	4.0	Existing to be removed
8	Wild Plum - Prunus Species	0.25 0.18 0.17 0.13	10.0	5.5	Existing to be removed
9	European Ash - Fraxinus Excelsior	0.20 0.16	10.0	3.5	Existing to be removed
10	European Ash - Fraxinus Excelsior	0.46	17.0	5.5	Existing to be removed
11	European Ash - Fraxinus Excelsior	0.50	17.0	6.0	Existing to be removed
12	TBD by Parks				New min. 6cm caliper
13	TBD by Parks				New min. 6cm caliper



Existing fence panels. New fence to match existing fence.

16

1314 Finlayson
peak=45.11
eave=41.40

Locations of #5-9 are approximate (not surveyed)

No.	Date	Issue Notes
E	19-10-18	Revisions for COTW Meeting
D	19-5-02	Revisions for TRG
C	19-1-9	Rezoning & Development Permit
B	18-11-22	CALUC - Revision
A	18-10-21	CALUC - Client Review

Adrian Brett & Associates

Design Firm: Adrian Brett & Associates
 10461 Resthaven DR Sidney BC V8L 3H6
 C: 613-619-4171
 adrian.brett1@gmail.com

Project Title: 1302 Finlayson
 3105 Highview
 Rezoning

Sheet Title: Landscape Plan

Drawn By: Cantilever Designs	Scale: As Noted
Reviewed By: A.B.	Sheet No. A 1.7
Date: 20191018	of
CAD File Name	A 1.7



Talbot Mackenzie & Associates

Consulting Arborists

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Fax: (250) 479-7050

Email: tmtreehelp@gmail.com

Tree Resource Spreadsheet Methodology and Definitions

Revised July 24, 2019

Tag: Tree identification number on a metal tag attached to tree with nail or wire, generally at eye level. Trees on municipal or neighboring properties are generally not tagged (“NT #”).

DBH: Diameter at breast height – diameter of trunk, measured in centimetres at 1.4m above ground level. For trees on a slope, it is taken at the average point between the high and low side of the slope.

~ Approximate due to inaccessibility or on neighbouring property

Crown Spread: Indicates the diameter of the crown spread measured in metres to the dripline of the longest limbs.

Relative Tolerance Rating: Relative tolerance of the tree species to construction related impacts such as root pruning, crown pruning, soil compaction, hydrology changes, grade changes, and other soil disturbance. This rating does not take into account individual tree characteristics, such as health and vigour. Three ratings are assigned based on our knowledge and experience with the tree species: Poor (P), Moderate (M) or Good (G).

Critical Root Zone: A calculated radial measurement in metres from the trunk of the tree. It is the optimal size of tree protection zone and is calculated by multiplying the DBH of the tree by 10, 12 or 15 depending on the tree’s Relative Tolerance Rating. This methodology is based on the methodology used by Nelda Matheny and James R. Clark in their book “Trees and Development: A Technical Guide to Preservation of Trees During Land Development.”

- 15 x DBH = Poor Tolerance of Construction
- 12 x DBH = Moderate
- 10 x DBH = Good

This method is solely a mathematical calculation that does not consider factors such as restricted root growth, limited soil volumes, age, crown spread, health, or structure (such as a lean). To calculate the critical root zone of trees with multiple stems below 1.4m, the diameter is considered the sum of 100% of the diameter of the largest stem and 60% of the diameter of the next two largest stems. This however can result in multi-stem trees having exaggerated CRZs. Where noted, sometimes the CRZ for trees with multiple stems will be calculated using the diameter of the trunk below the unions.

Health Condition:

- Poor - significant signs of visible stress and/or decline that threaten the long-term survival of the specimen
- Fair - signs of stress
- Good - no visible signs of significant stress and/or only minor aesthetic issues

Structural Condition:

- Poor - Structural defects that have been in place for a long period of time to the point that mitigation measures are limited
- Fair - Structural concerns that are possible to mitigate through pruning
- Good - No visible or only minor structural flaws that require no to very little pruning

Retention Status:

- Removal (or “X”) - Not possible to retain given proposed construction plans
- Retain - It is possible to retain this tree in the long-term given the proposed plans and information available. This is assuming our **recommended mitigation measures are followed**
- Retain * - See report for more information regarding potential impacts
- TBD (To Be Determined) - The impacts on the tree could be significant. However, in the absence of exploratory excavations and in an effort to retain as many trees as possible, we recommend that the final determination be made by the supervising project arborist at the time of excavation. The tree might be possible to retain depending on the location of roots and the resulting impacts, but concerned parties should be aware that the tree may require removal.
- NS - Not suitable to retain due to health or structural concerns

**SUMMARY
SMALL LOT HOUSE REZONING PETITION**

I, PAUL FISHER, have petitioned the adjacent neighbours* in compliance with
(applicant)

the *Small Lot House Rezoning Policies* for a small lot house to be located at 1302 FINLAYSON
(location of proposed house)

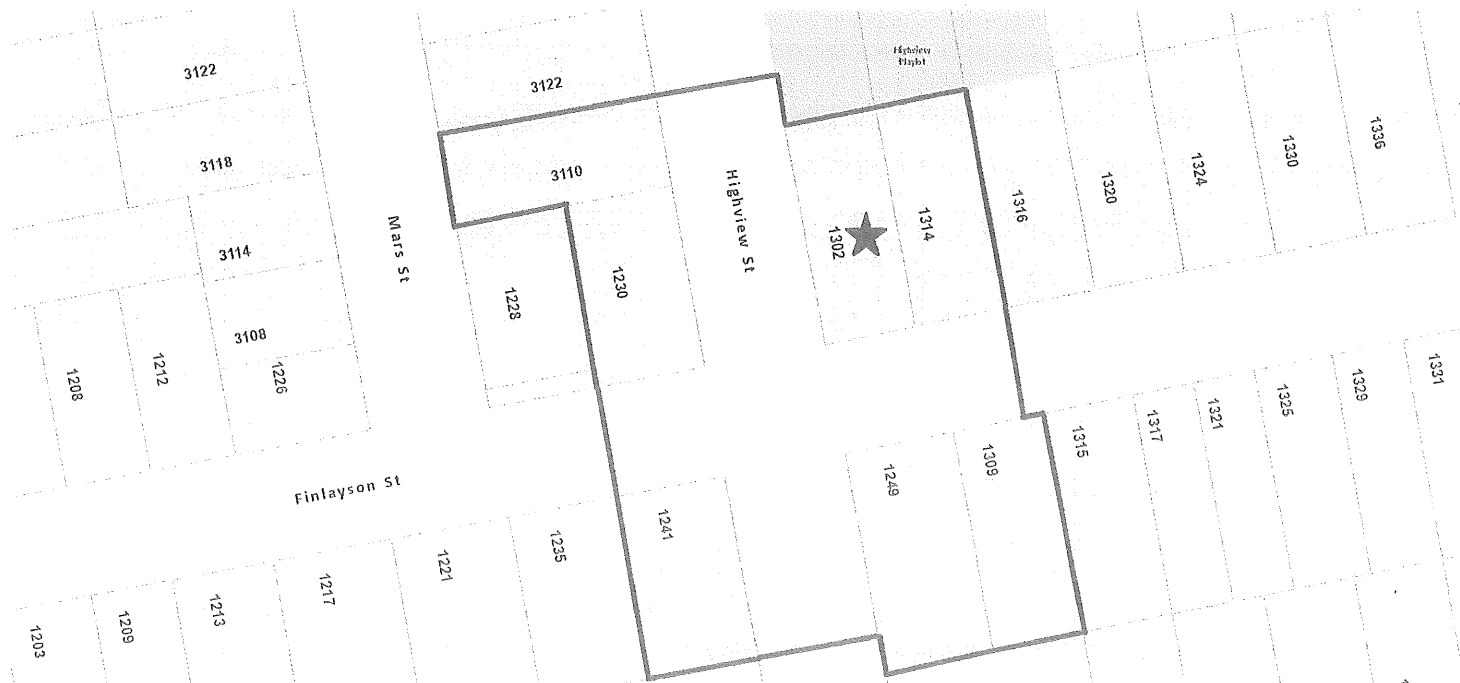
and the petitions submitted are those collected by DEC 30/2018
(date)

Address	In Favour	Opposed	Neutral (30-day time expired)
1249 FINLAYSON	✓	✓	✓
1309 FINLAYSON	✓		
1241 FINLAYSON	✓		
1314 FINLAYSON	✓		
1314 FINLAYSON	✓		
1314 FINLAYSON	✓		
1314 FINLAYSON	✓		
1314 FINLAYSON	✓		
3110 HIGHVIEW	THIS IS A VACANT LOT		
1230 HIGHVIEW			✓
1309 FINLAYSON	✓		
1249 FINLAYSON	✓		
1241 FINLAYSON	✓		

SUMMARY	Number	%
IN FAVOUR	11	100
OPPOSED	0	
TOTAL RESPONSES	11	100%

*Do not include petitions from the applicant or persons occupying the property subject to rezoning.

**Note that petitions that are more than six months old will not be accepted by the City. It is the applicant's responsibility to obtain new petitions in this event.



In preparation for my rezoning application to the City of Victoria, I,

Paul Fisher, am conducting the petition requirements for the
(print name)

property located at 1302 Finlayson Street

to the following Small Lot Zone: R1-S2 Small Lot Residential

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) ADRIAN LANKOVIC (see note above)

ADDRESS: 1249 FINLAYSON ST.

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

- I support the application.
- I am opposed to the application.

Comments:

2/5/2019
Date


Signature

In preparation for my rezoning application to the City of Victoria, I,

PAUL + MARTHA FISHER ? am conducting the petition requirements for the
(print name)

property located at 1302 FINLAYSON ?

to the following Small Lot Zone: R1-S2 SMALL LOT RESIDENTIAL

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Callum Scott (see note above)

ADDRESS: 1244 Finlayson St Victoria V8T 2V5

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

I support the application.

I am opposed to the application.

Comments:

One person renting on site works night shifts, hopefully
noise can be kept to a minimum

Nov. 7 2018

Date

Signature

In preparation for my rezoning application to the City of Victoria, I,

PAUL + MARTIN FISHER, am conducting the petition requirements for the
(print name)

property located at 1302 FINLAYSON

to the following Small Lot Zone: R1-S2 SMALL LOT RESIDENTIAL

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Matthew Locke (see note above)

ADDRESS: 1309 FINLAYSON

Are you the registered owner? Yes No


I have reviewed the plans of the applicant and have the following comments:

I support the application.

I am opposed to the application.

Comments:

NOV 27/4 2018
Date


Signature

In preparation for my rezoning application to the City of Victoria, I,

Paul Fisher
(print name)

, am conducting the petition requirements for the

property located at 1302 Finlayson Street

to the following Small Lot Zone: R1-S2

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) KIM LOCKE (see note above)

ADDRESS: 1309 Finlayson St.

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

I support the application.

I am opposed to the application.

Comments:

Jan 15, 2019
Date



Signature

In preparation for my rezoning application to the City of Victoria, I,

PAUL + MARTHA FISHER, am conducting the petition requirements for the
(print name)

property located at 1202 FINLAYSON

to the following Small Lot Zone: R1-S2 SMALL LOT RESIDENTIAL

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Amanda Longheed (see note above)

ADDRESS: 1241 Finlayson

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

I support the application.

I am opposed to the application.

Comments:

Nov 4th 2017
Date


Signature

In preparation for my rezoning application to the City of Victoria, I,

Paul Fisher (print name), am conducting the petition requirements for the

property located at 1302 Finlayson Street

to the following Small Lot Zone: R1-S2 Small Lot Residential

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Sandy Zinkowski (see note above)

ADDRESS: 1241 Finlayson St

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

I support the application.

I am opposed to the application.

Comments:

- Please keep the community informed how the process is going

Jan 28/19
Date



Signature

In preparation for my rezoning application to the City of Victoria, I,

PAUL + MARTINA FISHER, am conducting the petition requirements for the
(print name)

property located at 1302 FINLAYSON ST

to the following Small Lot Zone: R1 - S2 SMALL LOT RESIDENTIAL

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) JENNIFER BRACH (see note above)

ADDRESS: 1314 FINLAYSON ST.

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

- I support the application.
- I am opposed to the application.

Comments:

DEC 15/18
Date



Jennifer Brach
Signature

In preparation for my rezoning application to the City of Victoria, I,

PAUL + MARTHA FISHER
(print name)

, am conducting the petition requirements for the

property located at 1302 FINLAYSON

to the following Small Lot Zone: R1-S2 SMALL LOT RESIDENTIAL

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Jonathan Parker (see note above)

ADDRESS: 1314 FINLAYSON

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

I support the application.

I am opposed to the application.

Comments:

Date


Signature

In preparation for my rezoning application to the City of Victoria, I,

PAUL + MARTHA FISHER (print name), am conducting the petition requirements for the

property located at 1302 Finlayson

to the following Small Lot Zone: R1-S2 SMALL LOT RESIDENTIAL

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Roberto Verdusco (see note above)

ADDRESS: 1314 Finlayson Street

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

I support the application.

I am opposed to the application.

Comments:

December 12 2018
Date


Signature

In preparation for my rezoning application to the City of Victoria, I,

PAUL + MARTHA FISHER, am conducting the petition requirements for the
(print name)

property located at 1302 FINLAYSON ST

to the following Small Lot Zone: R1-S2 SMALL LOT RESIDENTIAL

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Xuguang Zhang (see note above)

ADDRESS: 1314 Finlayson Street

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

I support the application.

I am opposed to the application.

Comments:

Dec. 12, 2018
Date


Signature

In preparation for my rezoning application to the City of Victoria, I,

PAUL + MARTHA FISHER, am conducting the petition requirements for the
(print name)

property located at 1302 FINLAYSON ST

to the following Small Lot Zone: R1-S2 SMALL LOT RESIDENTIAL

The City of Victoria's Small Lot Rezoning Policy requires that the applicant poll voting age residents and owners of neighbouring lots to determine the acceptability of the proposal. Please note that all correspondence submitted to the City of Victoria in response to this Petition will form part of the public record and will be published in a meeting agenda when this matter is before Council. The City considers your address relevant to Council's consideration of this matter and will disclose this personal information. However, if for personal privacy reasons you do not wish to include your name, please indicate your address and indicate (yes or no) if you are the registered owner. **Please do not include your phone number or email address.**

Please review the plans and indicate the following:

NAME: (please print) Jonathan Parker (see note above)

ADDRESS: 1314 Finlayson

Are you the registered owner? Yes No

I have reviewed the plans of the applicant and have the following comments:

I support the application.

I am opposed to the application.

Comments:

12.17.18
Date


Signature

Supplementary Petition to Retain Gravel Shoulder on Highview Road

The applicant wishes to petition Council to allow for the frontage along Highview Road to remain an undeveloped gravel shoulder. It is expected that the City's engineering requirements will demand a concrete sidewalk, curb, and gutter along the Highview frontage of 1302 Finlayson Street. At the Community Meeting held on November 28, 2018, the neighbours in attendance unanimously agreed they would like the gravel shoulder to be retained. Subsequent to the meeting, the attendees organized a petition amongst the neighbours to request Council to allow this frontage to remain a gravel shoulder, as it currently exists. The neighbours have gathered 17 signatures from the immediate area to support their cause. Please see the following pages of names and addresses.

Development of 1302 Finlayson – Survey Supplement

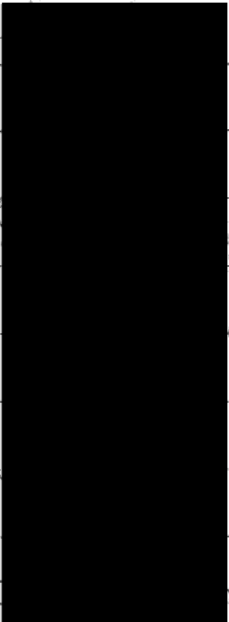
I am in favor of retaining the gravel and grass shoulder along the Highview Street frontage of the property located at 1302 Finlayson Street, in lieu of a concrete sidewalk, curb, and gutter.

Signature	Name (Printed)	Address	In Favor (x)	Opposed (x)
[Redacted]	JANIS TURNER	3064 HIGHVIEW	✓	
	GEOFF STAMP	1316 FINLAYSON	✓	
	SARA DEYELL	1316 FINLAYSON	✓	

SUMMARY	IN FAVOR	OPPOSED
Totals:	3	0

Development of 1302 Finlayson – Survey Supplement

I am in favor of retaining the gravel and grass shoulder along the Highview Street frontage of the property located at 1302 Finlayson Street, in lieu of a concrete sidewalk, curb, and gutter.

Signature	Name (Printed)	Address	In Favor (x)	Opposed (x)
	Heather Healy	3136 Highview St	X	
	Braden Hutchins	3136 Highview St	X	
	Jocelyn Esarte	3142 Highview	✓	
	Rheina Levinson	3142 Highview	✓	
	Michelle Abel	3171 Mars 3171 Highview	✓	
	Karen Abel	3171 Mars St.	✓	
	Jivan Victoria	3161 Mars St	✓	
	Jennifer Supta	3175 Mars St	✓	
	D. Wynn	1308 Market	✓	

SUMMARY	IN FAVOR	OPPOSED
Totals:	9	0

17 IN FAVOR TOTAL

Development of 1302 Finlayson – Survey Supplement

I am in favor of retaining the gravel and grass shoulder along the Highview Street frontage of the property located at 1302 Finlayson Street, in lieu of a concrete sidewalk, curb, and gutter.

Signature	Name (Printed)	Address	In Favor (x)	Opposed (x)
		1249 Finlayson	X	
	Aminda Longbrake	1241 Finlayson	X	
	Math Lock	1309 Fin	X	
	Callum Scott	1249 Finlayson	X	
	Jonathan Parks	1314 Finlayson	X	
	Carol McHARG	1325 Finlayson	X	

SUMMARY	IN FAVOR	OPPOSED
Totals:	5	0

2023

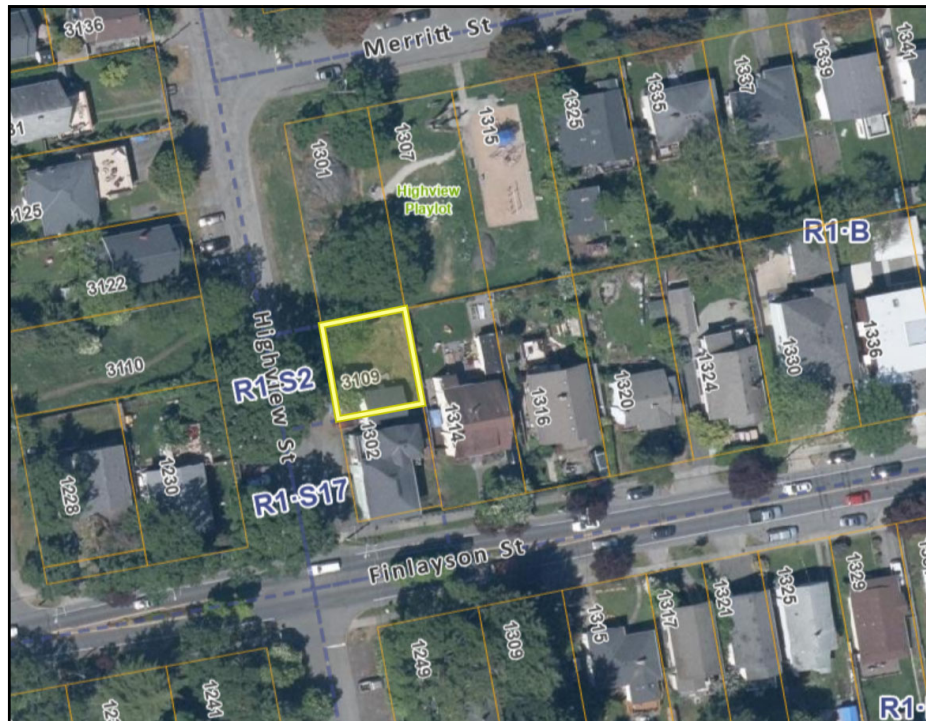
CITY OF VICTORIA | Sustainable Planning & Community Development

Development Permit with Variance Application

For 3109 Highview Street



COMMITTEE OF THE WHOLE | OCTOBER 12, 2023



Aerial Photo





3

Subject Property



3

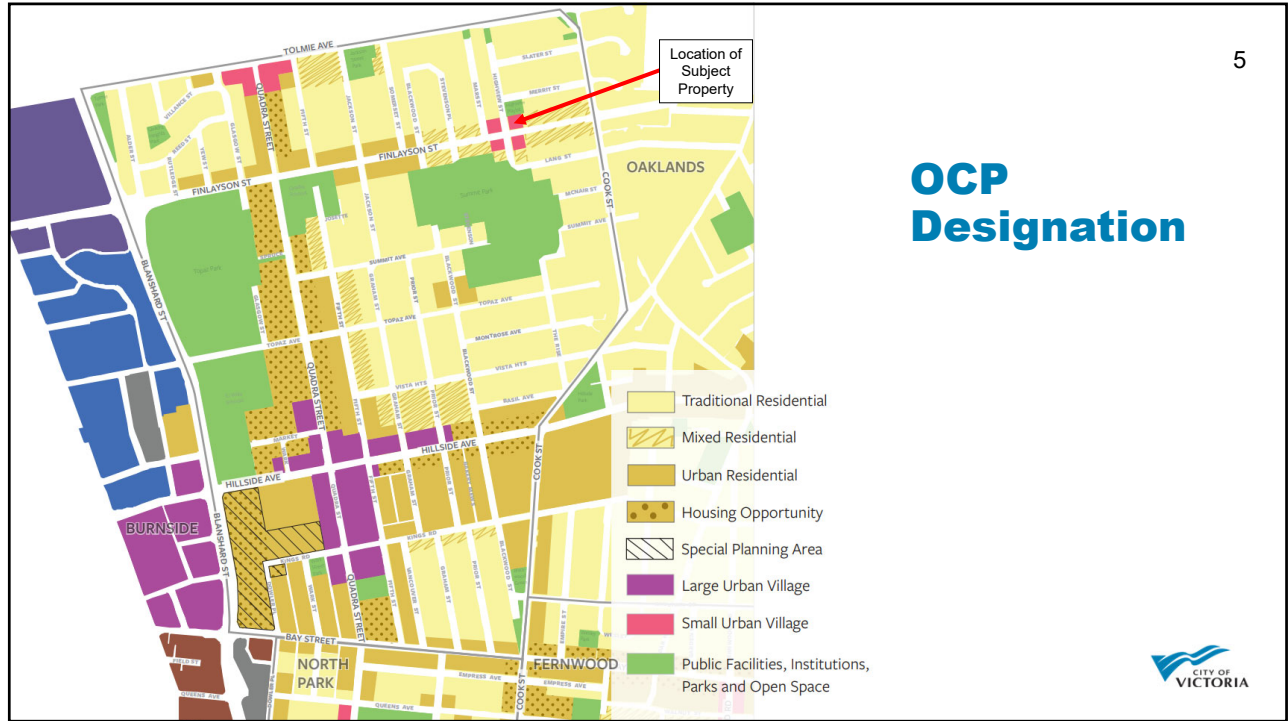


4

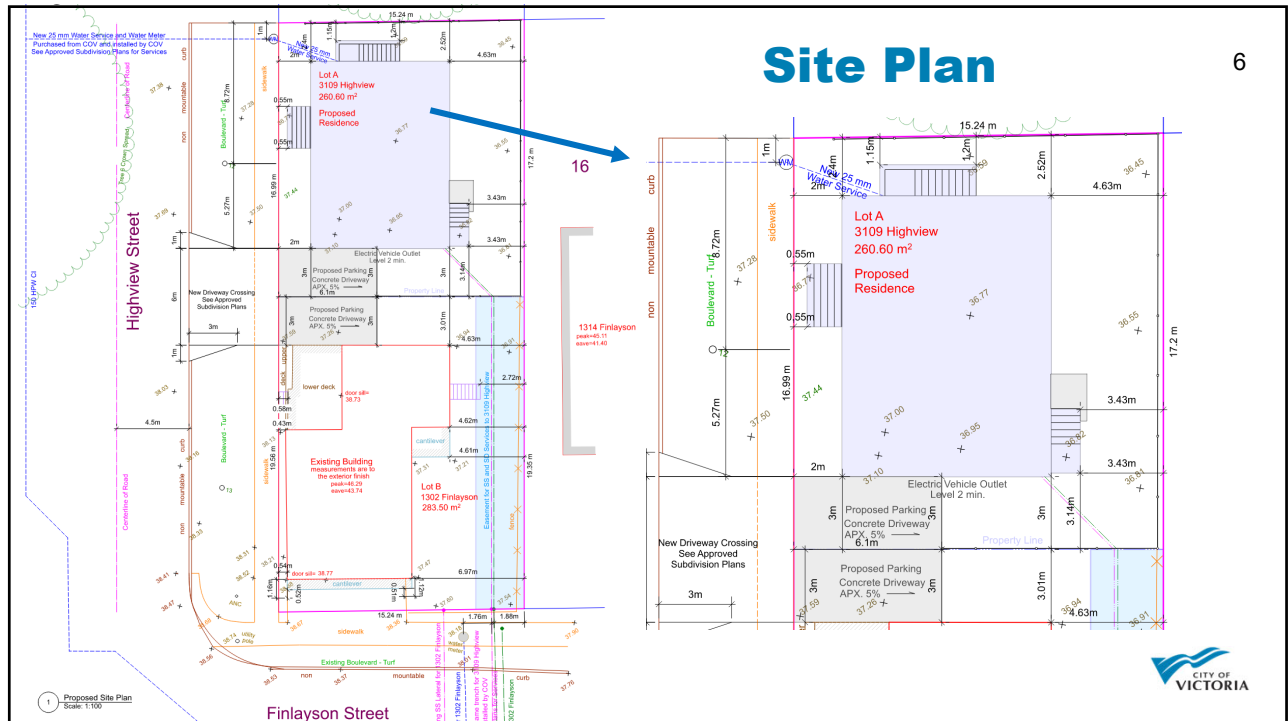
Neighbouring Properties



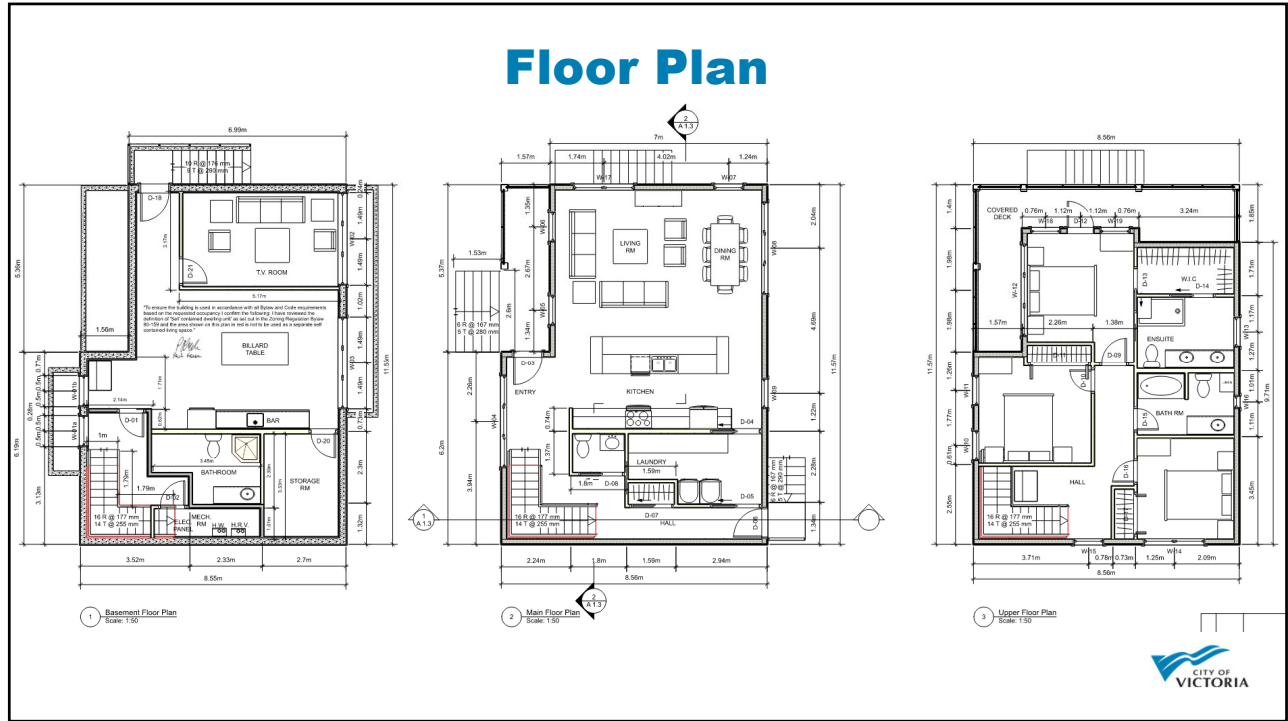
4



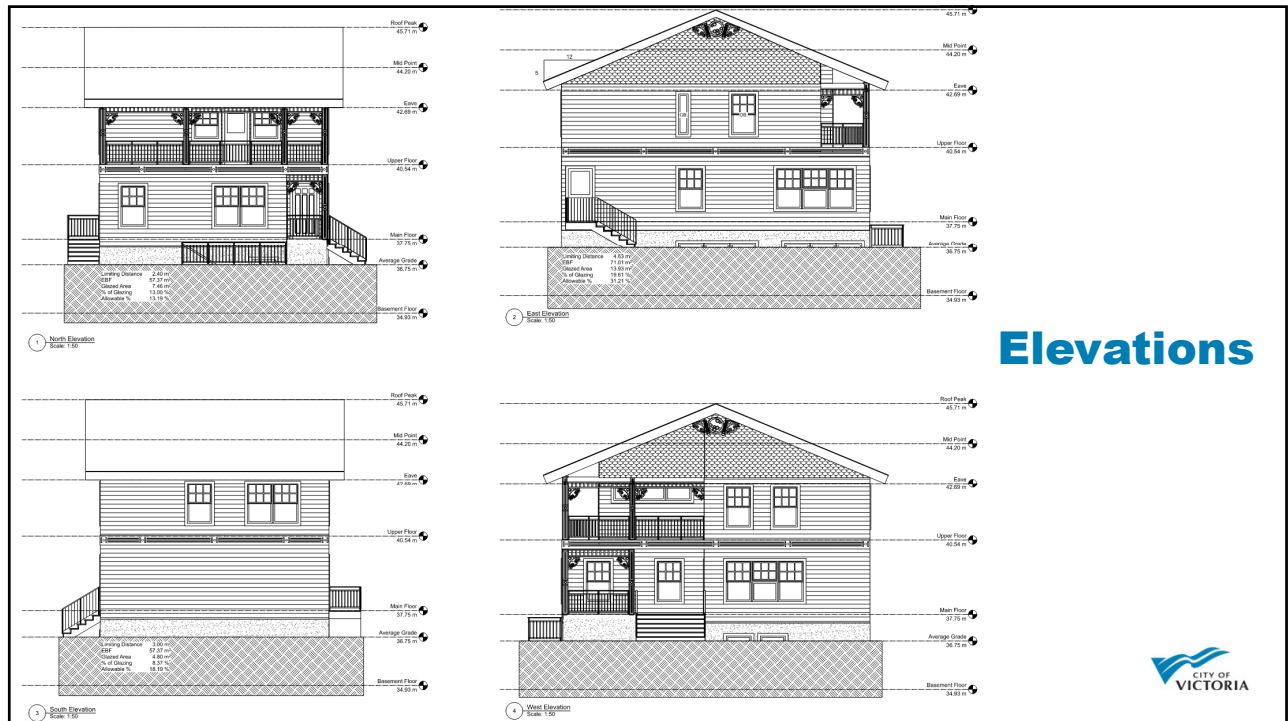
5



6



7



8



9

9

HARDIESHINGLE SIDING IN HALF ROUND NOTCHED PANEL METALL IN END GABLES - PAINTED WHITE

HARDIEPLAN-LAP SIDING IN SELECT CEDARMILL INSTALLED ON MAIN AND UPPER EXTERIOR WALLS - PAINTED IN PENINSULA 0654 BLUE

HARDIE TRIM BOARDS - PAINTED WHITE

PRESSURE TREATED DECKING STAINED BROWN - FRONT DECK AND REAR STAIRS

PAINTED WHITE RISERS - FRONT AND REAR STAIRS

DUARDECK IN BARNWOOD COLOUR - UPPER COVERED DECK

STEEL INSULATED DOORS PAINTED IN PENINSULA 0654 BLUE - FRONT AND BACK

METAL FLASHING, FASCIA AND VENTFLO SCRITS - WHITE

ASPHALT SHINGLES - CHARCOAL GREY

HardieTrim® Lap Siding

SELECT CEDARMILL

Our natural cedar look has a soft texture that mimics wood. A great choice for historic homes, mountain chalets, wooded retreats and ranch houses.

Boothbay Blue 20 finishes

More ColorPlus® Technology colors are available near you...

THICKNESS: 0.312"

LENGTHS: 34 1/2" boards

WIDTHS: 3 1/2", 4 1/2", 7 1/2", 9 1/2", 9 3/4"

EXPOSURES: 10, 7 1/2", 6", 7", 8"

*Some exposures not available in ColorPlus® Technology, any project.

HardieTrim® Boards

4/4 SMOOTH

You can't go wrong with this simple, clean look. With our ColorPlus® Technology finish, your exterior color will last for years. This trim will complement any style home that needs an update, particularly if your look is more modern.

Navajo Beige 15 finishes

More ColorPlus® Technology colors are available near you...

THICKNESS: 0.75"

LENGTH: 34 1/2" boards

WIDTHS: 1.62", 1.125", 3.5", 5.5", 5.5", 7.25", 9.25"

*Some exposures not available in ColorPlus® Technology, any project.

HARDIESHINGLE® SIDING IN HALF-ROUND NOTCHED PANEL

Peninsula 0654

Material Board

Barnwood

10

The diagram is a detailed landscape plan for two adjacent lots. Lot A, located at 3109 Highview, is 260.80 m² and features a proposed residence. Lot B, at 1302 Finlayson, is 283.50 m² and contains an existing building. The plan includes annotations for 'Proposed Parking Concrete Driveway', 'Proposed Fencing', 'Outdoor Private Space', and 'Existing Bouleard - Turf'. It also shows street names 'Highview Street' and 'Finlayson Street' and various utility lines and setbacks.

11

Landscape Plan

11



Thank You



12