

D.1.a.b 827 Fort Street: Development Permit with Variances No. 00244 (Downtown)

Moved By Councillor Kim

Seconded By Councillor Coleman

1. That Council waive the standard practice of holding an opportunity for public comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for written commentary to come back to Council for consideration prior to issuing the Development Permit with Variances.
2. That Council authorize the issuance of Development Permit No. 00244 for 827 Fort Street in accordance with plans submitted to the Planning department and date stamped by Planning on September 25, 2023, subject to:

Proposed development meeting all City zoning bylaw requirements, except for the following variances:

increase the maximum building height from 30m to 33.9m;

increase the maximum projection into height for rooftop structures from 5.0m to 6.2m for the elevator overrun and mechanical rooftop units;

reduce the total vehicle parking from 90 stalls to 56 stalls;

reduce the minimum short-term bicycle parking from 14 stalls to 0 stalls.

- b. Registration of an amended legal agreement on the property's title, with contents satisfactory to the Director of Sustainable Planning and Community Development and form satisfactory to the City Solicitor to increase the number of car share memberships from 45 to membership for all units without access to a parking stall, up to a maximum of 75.
3. That the Development Permit, if issued, lapses two years from the date of this resolution

CARRIED UNANIMOUSLY

G.1 827 Fort Street: Development Permit with Variances No. 00244 (Downtown)

Committee received a report dated September 28, 2023 from the Director of Sustainable Planning and Community Development regarding a Development Permit with Variances application for the property located at 827 Fort Street in order to make minor changes to a previously approved proposal by increasing the number of residential rental units from 105 to 119 through an additional storey and recommending that Council waive the standard practice of holding an Opportunity for Public Comment for this application.

Motion to Extend:

Moved By Councillor Coleman

Seconded By Councillor Caradonna

That the COTW meeting be extended until 3:00 p.m.

CARRIED UNANIMOUSLY

Moved By Councillor Dell

Seconded By Councillor Gardiner

1. That Council waive the standard practice of holding an opportunity for public comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for written commentary to come back to Council for consideration prior to issuing the Development Permit with Variances.
2. That Council authorize the issuance of Development Permit No. 00244 for 827 Fort Street in accordance with plans submitted to the Planning department and date stamped by Planning on September 25, 2023, subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. increase the maximum building height from 30m to 33.9m;
 - ii. increase the maximum projection into height for rooftop structures from 5.0m to 6.2m for the elevator overrun and mechanical rooftop units;
 - iii. reduce the total vehicle parking from 90 stalls to 56 stalls;
 - iv. reduce the minimum short-term bicycle parking from 14 stalls to 0 stalls.
 - b. Registration of an amended legal agreement on the property's title, with contents satisfactory to the Director of Sustainable Planning and Community Development and form satisfactory to the City Solicitor to

increase the number of car share memberships from 45 to membership for all units without access to a parking stall, up to a maximum of 75.

3. That the Development Permit, if issued, lapses two years from the date of this resolution

CARRIED UNANIMOUSLY

DRAFT



Committee of the Whole Report For the Meeting of October 12, 2023

To: Committee of the Whole **Date:** September 28, 2023

From: Karen Hoese, Director, Sustainable Planning and Community Development

Subject: **Development Permit with Variances No. 00244 for 827 Fort Street**

RECOMMENDATION

1. That Council waive the standard practice of holding an opportunity for public comment for this application but direct staff to continue other standard practices related to sign posting and public notification, including a request for written commentary to come back to Council for consideration prior to issuing the Development Permit with Variances.
2. That Council authorize the issuance of Development Permit No. 00244 for 827 Fort Street in accordance with plans submitted to the Planning department and date stamped by Planning on September 25, 2023, subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. increase the maximum building height from 30m to 33.9m;
 - ii. increase the maximum projection into height for rooftop structures from 5.0m to 6.2m for the elevator overrun and mechanical rooftop units;
 - iii. reduce the total vehicle parking from 90 stalls to 56 stalls;
 - iv. reduce the minimum short-term bicycle parking from 14 stalls to 0 stalls.
 - b. Registration of an amended legal agreement on the property's title, with contents satisfactory to the Director of Sustainable Planning and Community Development and form satisfactory to the City Solicitor to increase the number of car share memberships from 45 to membership for all units without access to a parking stall, up to a maximum of 75.
3. That the Development Permit, if issued, lapses two years from the date of this resolution.

LEGISLATIVE AUTHORITY

Relevant Development Permit considerations relate to the application's consistency with design guidelines and the impact of the proposed variances.

Enabling Legislation

In accordance with Section 489 of the *Local Government Act*, Council may issue a Development Permit in accordance with the applicable guidelines specified in the *Community Plan*. A Development Permit may vary or supplement the Zoning Regulation Bylaw but may not vary the use or density of the land from that specified in the Bylaw.

Pursuant to Section 491 of the *Local Government Act*, where the purpose of the designation is the revitalization of an area in which a commercial use is permitted, a Development Permit may include requirements respecting the character of the development, including landscaping, and the siting, form, exterior design and finish of buildings and other structures.

EXECUTIVE SUMMARY

The purpose of this report is to present Council with information, analysis and recommendations for a Development Permit with Variance Application for the property located at 819-827 Fort Street. The proposal is to make minor changes to a previously approved proposal by increasing the number of residential rental units from 105 to 119 through an additional storey. The additional 14 rental units increases the parking requirement by 10 stalls which triggers a parking variance. A variance to reduce the short-term bicycle parking from 14 to 0 is also proposed. The extra storey requires a height variance as well as a variance for the rooftop structure, which is related to the mechanical units and elevator overrun.

The following points were considered in assessing this application:

- The proposed changes to the exterior of the building are relatively minor in nature and are consistent with the objectives for Development Permit Area 7B (HC) – Corridors Heritage but are inconsistent with the relevant Design Guidelines and the *Downtown Core Area Plan*, specifically related to setbacks.
- The height variance is considered to be supportable as the incremental impacts from the additional storey are minimal and the rooftop structure that exceeds the maximum allowable height is located towards the rear of the building and is clad in high quality materials.
- The proposed parking variance (an increase of ten stalls over the previously approved variance) is considered supportable because the applicant has expressed a willingness to amend the legal agreement to increase the car share memberships with MODO from 45 (as originally proposed) to memberships for all units that don't have access to a parking stall (up to a maximum of 75 memberships). The same legal agreement also secures the provision of one car share vehicle and dedicated on-site parking space. In addition, a total of 169 long term bicycle parking stalls are proposed (an excess of 31 above the minimum requirement under Schedule C of the *Zoning Regulations Bylaw*) to help mitigate the impacts of the anticipated parking shortfall.
- The short-term bicycle parking variance is considered supportable as there are limited opportunities to locate the required parking on the street frontage, and the proposal includes a bike lounge with publicly accessible parking in the building lobby.

BACKGROUND

Description of Proposal

The proposal is for exterior changes to the previously approved building design through an additional storey, and interior layout changes related to unit configuration. The exterior alterations and additional storey would result in an additional 14 rental units from the previously approved plans for a total of 119 units.

A parking variance was previously approved under a separate application to reduce the vehicle parking from 80 stalls to 57 stalls and to reduce the short-term bicycle parking from 12 to 0. The current application would increase the vehicle parking variance by ten stalls and the short-term bicycle parking variance by two stalls.

The following differences from the RMD-2 Zone, Residential Mixed-Use Fort Street District are proposed and require variances:

- increase the maximum building height from 30m to 33.9m
- increase the maximum projection into height for rooftop structures from 5.0m to 6.2m for the elevator overrun and mechanical rooftop units
- reduce the total vehicle parking from 90 stalls to 56 stalls
- reduce the minimum short term bicycle parking from 14 stalls to 0 stalls.

Affordable Housing

The applicant proposes the creation of 119 new residential rental units which would increase the overall supply of housing in the area. This application proposes to add 14 rental units through the inclusion of an additional storey from the previously approved plans. All of the residential units are secured as rental in perpetuity through an existing housing agreement. With these additional units, the total unit break down would be:

- 18 studio units
- 60 one-bedroom units
- 34 two-bedroom units
- seven three-bedroom units.

The proportion of studio units has increased from 4% to 15% in the current proposal. A more detailed comparison from the previously approved plans is included below:

Previous proposal	Current proposal
Studio: 4 (min. 460 ft ²)	Studio: 18 (min. 362 ft ²)
1-bed: 59 (min. 369 ft ²)	1-bed: 60 (min. 369 ft ²)
2-bed: 36 (min. 596 ft ²)	2-bed: 34 (min. 596 ft ²)
3-bed: 6 (min. 855 ft ²)	3-bed: 7 (min. 819 ft ²)
Total 105 units	Total 119 units

Existing Site Development and Development Potential

The site is presently under construction. The facades of two of the buildings (819-823 and 825 Fort Street) are heritage-designated and have been retained as part of the construction of an eleven-storey mixed-use building under the existing RMD-2 Zone, Residential Mixed Use Fort Street District.

Data Table

The following data table compares the proposal with the existing RMD-2 Zone as well as the Design Guidelines contained within the Downtown Core Area Plan (DCAP) and the Fairfield Neighbourhood Plan (NP). An asterisk is used to identify where the proposal does not meet the requirements of the existing Zone.

Zoning Criteria	Proposal	Approved	RMD-2 Zone	DCAP / Fairfield NP
Density (Floor Space Ratio) – maximum	6.17:1	5.98:1	6.17:1	5:1
Number of dwelling units	119	105	-	-
Building Height (m) – maximum	33.90*	31.1*	30	30-37.5
Rooftop Structure (m) – maximum	6.20*	5.1*	5.0	-
Setbacks (m) – minimum				
Front	0.0 to 5.4	0.0 to 6.0	0.0 to 4.0	-
Rear (south)	0.15 to 3.16	0.15 to 3.15	0.0 to 3.0	10
Interior (east)	0.10 to 3.87	0.13 to 3.0	0.0 to 3.0	10
Interior (west)	0.16 to 3.0	0.15 to 3.0	0.0 to 3.0	10
Parking – minimum				
Residential	44*	45*	72	
Visitor	10*	10*	12	
Car Share	1	1	0	-
Commercial	0*	0*	6	
Total	56*	57*	90	
Accessible Parking – minimum				
Accessible	2	-	2	
Van Accessible	1	-	1	-
Visitor Accessible	0	-	0	
Visitor Van Accessible	1	-	1	
Bicycle parking stalls – minimum				
Long term	169	152	138	-
Short term	0*	0*	14	-

Sustainable Mobility

The application proposes the following features which support multi-modal transportation:

- enhanced bike parking (an excess of 31 long-term stalls above the minimum requirements), four electric charging outlets, a bicycle repair station and a bike wash room, which is proposed to also serve as a dog wash station.
- one car share vehicle (with dedicated stall) and car share memberships for all units without access to a parking stall (up to a maximum of 75).

Public Realm

No public realm improvements beyond City standard requirements are proposed in association with this Development Permit with Variances Application.

Relevant History

A Rezoning and Heritage Alteration Permit with Variances was approved by Council in 2019 for the construction of a ten-storey (plus roof structure) mixed-use development containing approximately 100 rental units and ground floor commercial. The proposal included the retention and rehabilitation of the façade of the heritage-designated building located at 825 Fort Street and designation and rehabilitation of the façade of the building located at 819-823 Fort Street. The proposal included a variance to reduce the required parking from 76 stalls to 57 stalls. A further parking variance was approved in 2021 to reduce the vehicle parking from 80 stalls to 57 stalls. This application would increase the parking variance by ten additional stalls.

Community Consultation

Consistent with the *Community Association Land Use Committee (CALUC) Procedures for Processing Rezoning and Variance Applications*, since this is a Development Permit with Variance Application, it was referred to the Fairfield Gonzalez Association CALUC for a 30-day comment period on August 3, 2023. On September 7, 2023 Council approved amendments to the *Official Community Plan (OCP)*, which included boundary adjustments. The site now falls under the Downtown neighbourhood and as a matter of courtesy staff have reached out to the Downtown Residents Association to advise them of the application. At the time of writing this report, a letter from both CALUCs had not been received.

The associated application proposes variances, therefore, in accordance with the City's *Land Use Procedures Bylaw*, it requires notice, sign posting and a meeting of Council to consider the variances. However, staff are recommending that Council consider approving this application without an opportunity for public comment given the minimal impact associated with this proposal.

While the staff recommendation includes the necessary language to waive the Opportunity for Public Comment, all other aspects of the process that ensure transparency and notification of the public would be maintained. The *Local Government Act* requires that a notice be placed in a newspaper and that a mailed notice be provided within the distance specified in the City's bylaws. In this instance, notification requirements involve adjacent properties, therefore, consistent with the City's *Land Use Procedures Bylaw*, mailed notice would be sent to owners and occupiers of the subject site and adjacent properties. This notice would invite recipients to provide written comments on the proposal if they felt inclined. Also, in accordance with the City's *Land Use Procedures Bylaw*, a sign would be posted on the property notifying the public of Council's upcoming consideration of the matter along with an invitation to provide written feedback.

If Council would prefer to hold an opportunity for public comment on this application, the alternate motion is structured accordingly for Council's consideration.

ANALYSIS

Development Permit Area and Design Guidelines

The *Official Community Plan (OCP)* identifies this property within Development Permit Area 7B(HC) – Corridors Heritage. The applicable Design Guidelines are the *Downtown Core Area Plan (Updated 2022)*, *Advisory Design Guidelines for Buildings, Signs and Awnings (1981)* and the *Guidelines for Fences, Gates and Shutters (2010)*.

The *Downtown Core Area Plan (DCAP)* was originally approved in September 2011 as the key neighbourhood plan for Downtown and Harris Green and underwent a review in 2022 to maintain alignment with other related City policies, plans and regulations. It was determined that improvements to its building design guidelines were needed to better achieve plan objectives and ensure future growth and development results in high quality environments. The proposal was originally designed and submitted under the 2011 DCAP.

The 2011 DCAP guidelines required a minimum clearance of 3m from all side and rear property lines for portions of the building up to 30m in height and a minimum clearance of 6m for portions of the building above 30m. At the time of the original submission, the proposal was in conformance with DCAP as they related to setbacks, and these setback requirements were embedded into the newly created RMD-2 Zone, Residential Mixed Use Fort Street District.

The updated DCAP (2022) requires a minimum rear yard setback of 8m for portions of the building located above the first storey that contain residential uses and a minimum side and rear setback of 10m for buildings up to 36m in height, which the proposal does not conform with. The applicant has reduced the floorplate of the tower by approximately 30m² from 696m² to 665m² which has resulted in an increase to the east side yard setback from 3m to 3.87m. Although this is a modest improvement, full compliance with the Design Guidelines would only be possible with a complete redesign or consolidation with adjacent lots. Given that the proposal was prepared under the previous DCAP and that the only change being proposed is for an additional storey, minor exterior alterations and modifications to the rooftop structure, on balance the inconsistencies with the Design Guidelines are considered to be supportable.

In terms of maximum building heights, the DCAP refers to the *Fairfield Neighbourhood Plan*. This recommends a maximum building height of 30 to 37.5m for the subject site, which the proposal conforms with.

The 2022 DCAP guidelines require a more rigorous approach to shading analysis and an updated shadow study has been submitted with the proposal. The shadow diagram compares the previously approved proposal with the current proposal, and the incremental impact from the additional storey and reconfigured rooftop structure are considered to be minimal.

Regulatory Considerations

The RMD-2 Zone, Residential Mixed Use Fort Street District allows for rooftop structures (including elevator penthouses and mechanical equipment) to project above a roof up to maximum of 5m. A previous variance was approved for 5.1m for the elevator overrun. The current proposal is for a 6.2m high rooftop structure, a portion of which is to accommodate mechanical units for cooling equipment to service the residential units, a feature that was not

previously included. The proposal includes a fully accessible roof deck and a portion of the rooftop structure includes the elevator landing for the rooftop amenity space. Above this a 3.1m elevator overrun, which the applicant states is industry standard and necessary for efficient servicing of the building.

The increase in the number of residential dwelling units increases the parking requirement from 80 stalls to 90 stalls. The proposed 34 stall parking variance (an increase of 11 stalls over the previously approved variance) is considered supportable because the applicant has expressed a willingness to amend the existing legal agreement to increase the car share memberships with MODO from 45 (as originally proposed) to provision of membership for all units that don't have access to a parking stall (up to a maximum of 75 memberships). The requirement for one car share vehicle and dedicated car share stall on site will be maintained in the existing legal agreement. In addition, the proposal includes enhanced bike parking (an excess of 31 long-term stalls above the minimum requirements in the *Zoning Regulations Bylaw*). The excess bicycle parking is marginally fewer than the previous proposal, but staff are supportive of the overall Transportation Demand Management (TDM) features to help mitigate the impacts of the anticipated parking shortfall. A variance to reduce the short-term bicycle from 14 stalls to 0 is required. This is considered supportable as there are limited opportunities to locate the required parking on the street frontage, and the proposal includes a bike lounge with publicly accessible parking in the building lobby.

As on-street parking in the area is metered, the impacts on parking availability for surrounding properties resulting from this variance is expected to be minimal.

CONCLUSIONS

This application is considered supportable because the addition of 14 residential rental units adds to the diversity of housing in the Urban Core; although the proposal is not compliant with the more stringent setback requirements of the updated Design Guidelines the incremental impact of the additional storey is considered minimal; the exterior changes to the building are relatively minor in nature and would not detract from the pedestrian experience along Fort Street; and the applicant has provided sufficient TDM measures to mitigate the proposed parking shortfall. Therefore, staff recommend that Council consider advancing this application.

ALTERNATE MOTION

Option 1 (Approve with Opportunity for Public Comment)

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

- "1. That Council authorize the issuance of Development Permit No. 00244 for 827 Fort Street in accordance with plans submitted to the Planning department and date stamped by Planning on September 25, 2023, subject to:
 - a. Proposed development meeting all City zoning bylaw requirements, except for the following variances:
 - i. increase the maximum building height from 30m to 33.9m;
 - ii. increase the maximum projection into height for rooftop structures from 5.0m to 6.2m for the elevator overrun and mechanical rooftop units;
 - iii. reduce the total vehicle parking from 90 stalls to 56 stalls;
 - iv. reduce the minimum short term bicycle parking from 14 stalls to 0 stalls.

- b. Registration of an amended legal agreement on the property's title, with contents satisfactory to the Director of Sustainable Planning and Community Development and form satisfactory to the City Solicitor to increase the number of car share memberships from 45 to membership for all units without access to a parking stall, up to a maximum of 75.

2. That the Development Permit, if issued, lapses two years from the date of this resolution.”

Option 2 (Decline)

That Council decline Development Permit with Variances Application No. 00244 for the property located at 827 Fort Street.

Respectfully submitted,

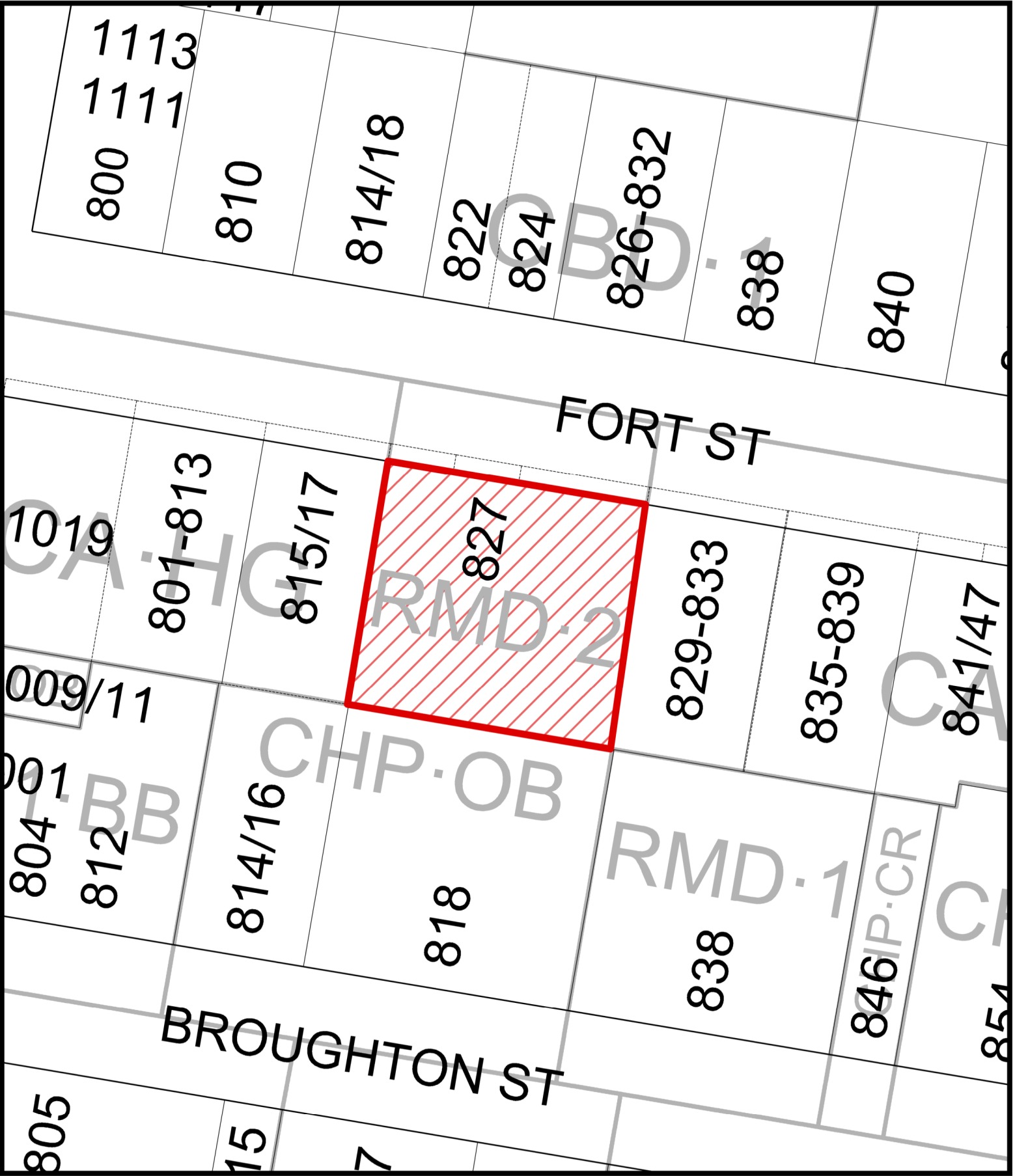
Charlotte Wain
Senior Planner – Urban Design
Development Services Division

Karen Hoese, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager.

List of Attachments

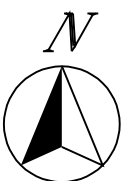
- Attachment A: Subject Map
- Attachment B: Aerial Map
- Attachment C: Plans date stamped September 25, 2023
- Attachment D: Letter from applicant to Mayor and Council dated September 26, 2023.



827 Fort Street

Development Permit w. Variance No.00244





827 Fort Street
 Development Permit w. Variance No.00244



825 FORT STREET - ISSUED FOR DELEGATED DP



**Musson
Cattell
Mackey
Partnership**

Architects Designers Planners

Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T. 604.687.2990
F. 604.687.1771
MCMPartners.com



DRAWING INDEX - ARCHITECTURAL - DDP		
DRAWING NUMBER	DRAWING NAME	SHEET SCALE
A001	Cover Sheet	As indicated
A002	Project Data	As indicated
A003	Shadow Study	As indicated
A101	Survey - for Reference Only	As indicated
A102	Site Plan Existing - for Reference Only	As indicated
A103	Proposed Site Plan & Vicinity Plan - for Reference Only	As indicated
A201	Floor Plan Level P2	1/8" = 1'-0"
A202	Floor Plan Level P1	1/8" = 1'-0"
A203	Floor Plan Ground Level	1/8" = 1'-0"
A204	Floor Plan Level 2	1/8" = 1'-0"
A205	Floor Plan Level 3	1/8" = 1'-0"
A206	Floor Plan Level 4	1/8" = 1'-0"
A207	Floor Plan Level 5 to 7	1/8" = 1'-0"
A208	Floor Plan Level 8 & 9	1/8" = 1'-0"
A209	Floor Plan Level 10	1/8" = 1'-0"
A210	Floor Plan Level 11	1/8" = 1'-0"
A211	Roof Plan	1/8" = 1'-0"
A301	Streetscape Elevation	As indicated
A302	North Building Elevation	1/8" = 1'-0"
A303	East Building Elevation	1/8" = 1'-0"
A304	South Building Elevation	1/8" = 1'-0"
A305	West Building Elevation	1/8" = 1'-0"
A401	Building Section	As indicated
A402	Building Section	1/8" = 1'-0"



CONTEXT PLAN

25	2023-06-08	Delegated DP
24	2023-05-08	Issued for Owner's Review - Not for Construction
23	2022-09-30	FC Stair Grade
22	2021-11-09	Post-Tender Addendum #1
21	2021-10-01	DDP/CHAP
20	2021-08-19	DDP/CHAP
19	2021-08-19	BP Response
18	2021-06-30	BP Response
17	2021-05-26	IFT
16	2021-03-17	IFBP
15	2021-03-04	Delegated DP
14	2021-03-04	BP
13	2020-12-17	Delegated DP
12	2020-10-07	Delegated DP
11	2020-08-17	Delegated DP
10	2020-07-02	Delegated DP
9	2019-07-09	Recurring Revision
8	2019-07-26	Recurring Revision
7	2019-05-24	Recurring Revision
6	2019-01-09	Recurring Revision
5	2018-10-24	Recurring Revision
4	2018-08-31	Recurring Revision
3	2018-04-24	Recurring Revision
2	2018-04-19	Recurring Revision
1	2017-11-08	Recurring Application

Revisions DD MMM YYYY

ARCHITECTURAL

PROJECT DIRECTORY

OWNER

825 Fort Holdings Ltd.



CLIENT / DEVELOPMENT MANAGER

The Salient Group
Suite 225 - 209 Carrall Street
Vancouver, BC V6B 2J2
T: 604-669-5536
F: 604-669-5574
thesalientgroup.com

ARCHITECT

Musson Cattell Mackey Partnership
Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, BC V6E 3X1
Tel : 604-687-2990

STRUCTURAL

Glotman Simpson
1661 West 5th Avenue
Vancouver, BC V6J 1N5
T: 604-734-8822
F: 604-734-8842
www.glotmansimpson.com

MECHANICAL

Avalon Mechanical
Consultants Ltd.
300 - 1245 Esquimalt Road
Victoria, BC V9A 3P2
T: 250-384-4128
avalonmechanical.com

ELECTRICAL

AES Engineering Ltd.
500-3795 Carey Rd.
Victoria, BC V8Z 6T8
T: 250-940-3495
www.aesengr.com

INTERIOR DESIGN

Kimberly Williams
7174 West Saanich Rd
Brentwood Bay, BC V8M 1P6
T: 250.652.6488
kimberlywilliams.ca

HERITAGE

Don Luxton & Associates
#1030-470 Granville Street
Vancouver, BC V6C 1V5
T: 604.688.1216
www.donaldluxton.com

TRAFFIC

Bunt & Associates
Engineering Ltd.
Suite 421 - 645 Fort Street
Victoria, BC V8W 1G2
T: 250-592-6122
www.bunteng.com

SURVEYOR

J. E. Anderson & Associates
4212 Glanford Avenue
Victoria, BC V8Z 4B7
T: 250-727-2214
F: 250-727-3395
jeanderson.com

LANDSCAPE

Considered Design Inc.
201 - 318 Homer Street
Vancouver, BC V6B 2V2
T: 778-386-4414
weareconsidered.com

CIVIL

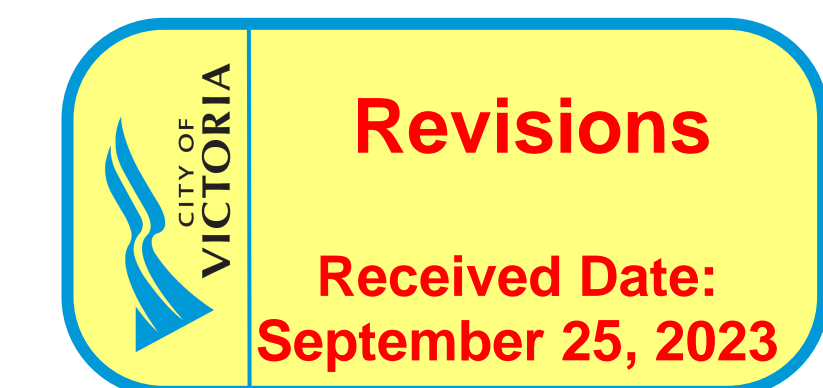
J. E. Anderson & Associates
4212 Glanford Avenue
Victoria, BC V8Z 4B7
T: 250-727-2214
F: 250-727-3395
jeanderson.com

GEOTECHNICAL

Ryzuk Geotechnical
28 Crease Avenue
Victoria, BC V8Z 1S3
T: 250-475-3131
F: 250-475-3611
www.ryzuk.com

BUILDING ENVELOPE

RJC Engineers
645 Tye Road, Suite 220
Victoria, BC V9A 6X5
T: 250-386-7794
F: 250-381-7900
www.rjc.ca



Seal

825 Fort Street
Victoria, BC

Project

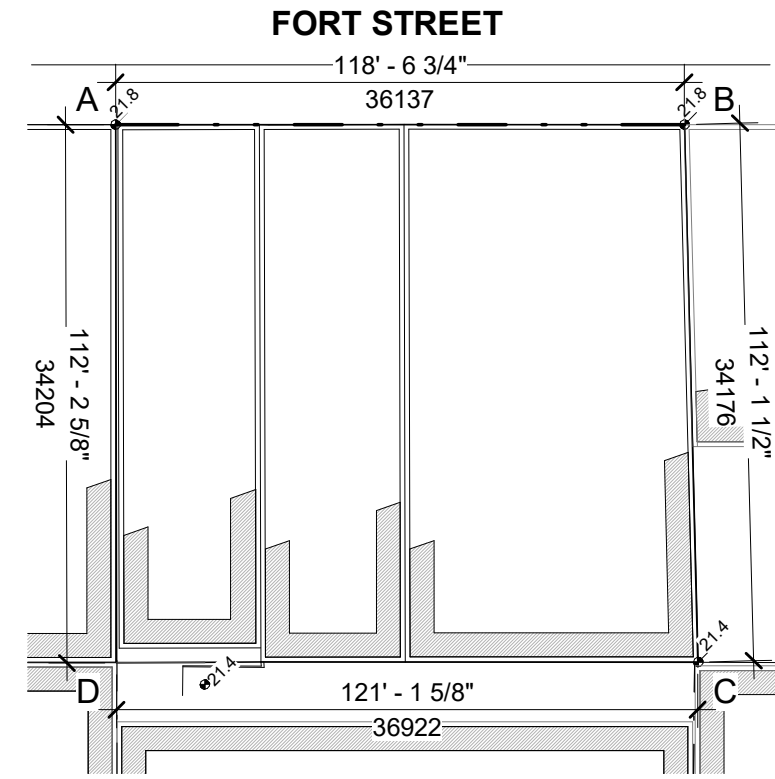
825 Fort Street Victoria -

217033

Sheet **A001**

PROJECT STATISTICS

PROJECT ADDRESS NEIGHBOURHOOD DOWNTOWN CORE AREA PLAN DISTRICT DEVELOPMENT PERMIT AREA	819 - 823 AND 825 - 827 FORT STREET FAIRFIELD RESIDENTIAL MIXED USE DISTRICT DPA 7B (HC)																												
LEGAL DESCRIPTION	VICTORIA PARCEL D, LOT 277 & 278, (DD 2635141) LOT A OF LOTS 276 & 277, VICTORIA, PLAN 26769																												
GOVERNING CODE	B.C. BUILDING CODE 2018, DIVISION B, PART 3 (refer to BUILDING CODE COMPLIANCE REPORT by MCMP dated March 17, 2021) * TO BE UPDATED																												
ENERGY CODE	B.C. ENERGY STEP CODE - STEP 2 (refer to ENERGY MODELLING REPORT by AVALON MECH. dated March 04, 2021) * TO BE UPDATED																												
ZONING (PREVIOUS)	819-823 FORT STREET: CA-HG 825-827 FORT STREET: CA-2																												
NEW ZONING:	RMD-2 (RESIDENTIAL MIXED USE FORT STREET DISTRICT)																												
LOT AREA	1248 SQ.M. (13,434 SQ.FT.)																												
SITE COVERAGE	1232 SQ.M. (13,260 SQ.FT.) (98.7%)																												
OPEN SITE SPACE	16 SQ.M. (172 SQ.FT.)																												
TOTAL FLOOR AREA	TOTAL 7,699.2 SQ.M. (82,873.5 SQ.FT.) (SEE BUILDING AREA CALCULATION) RESIDENTIAL 7,309.5 SQ.M. (78,678.8 SQ.FT.) (LEVELS 2 - 11) COMMERCIAL 389.7 SQ.M. (4,195 SQ.FT.) (TOTAL AREA OF COMMERCIAL UNITS)																												
FLOOR SPACE RATIO	NEW ZONING RMD-2 MAXIMUM 6.17:1 (WITH AMENITIES) ALLOWED UNDER SPECIAL DENSITY AREA (REZONING) PROPOSED: 7699.2 SQ.M. / 1248 SQ.M. = 6.17 F.S.R.																												
FLOOR PLATE SIZE	REQUIRED UNDER DOWNTOWN CORE AREA PLAN: 0 M - 20 M (0' - 65.6') NO RESIDENTIAL OR COMMERCIAL FLOOR PLATE SIZE RESTRICTIONS 20 M - 30 M (65.6' - 98.4') RESIDENTIAL MAXIMUM 930 SQ.M. (10,010 SQ.FT.) > 30 M (> 98.4') RESIDENTIAL MAXIMUM 650 SQ.M. (7,000 SQ.FT.) PROPOSED: 20 M - 30 M (65.6' - 98.4') 665.2 SQ.M. (7,160 SQ.FT.) > 30 M (> 98.4') 559.8 SQ.M. (6,025 SQ.FT.) 21.6m																												
AVERAGE GRADE (GEODETIC)																													
HEIGHT OF BUILDING (ABOVE AVERAGE GRADE)	ALLOWED UNDER DOWNTOWN CORE AREA PLAN: 30 M (98.4') 30-37.5 M PER 6.2.1. POLICY UNDER FAIRFIELD NEIGHBOURHOOD PLAN (2019) ALLOWED UNDER NEW ZONING RMD-2: 30 M PROJECTIONS OF 1M FOR PARAPETS AND 5M FOR ROOFTOP PROPOSED: MAIN ROOF 33.9 M (111.2') (EXCLUDES 0.61 M PARAPET) HIGHEST ROOFTOP 37.4 M (122.8') ELEVATOR 40.1 m (131.6') APPROVED AT REZONING MAIN ROOF 31.7 M (EXCL. 0.61 M PARAPET) 11 STOREYS (EXCLUDING MECH. PENTHOUSE)																												
NUMBER OF STOREYS																													
STREETWALL	REQUIRED UNDER DOWNTOWN CORE AREA PLAN FOR NARROW STREETS (<25m) PROPOSED PRIMARY FACE: WIDTH, MIN 60% SITE WIDTH: 36.1 M (118.6') x 60% = 21.7 M (71.2') HEIGHT, 10 M - 15 M (32.8' - 49.2') SETBACK, 0 M - 3 M (0' - 9.8') SECONDARY FACE: WIDTH, MIN 30% SITE WIDTH 36.1 M (118.6') x 30% = 10.8 M (35.5') HEIGHT, 18 M - 25 M (59.1' - 82') SETBACK, 3 M - 6 M (9.8' - 19.7') SETBACK ABOVE 25 M (82') MIN 6 M (19.7')																												
BUILDING SETBACKS	REQUIRED UNDER DOWNTOWN CORE AREA PLAN FOR HEIGHT 0 - 30 M (0' - 98.4') PROPOSED EXTERIOR WALL, FRONT PROPERTY LINE: PRIMARY STREET WALL: 0 - 3 M FROM P. L., HEIGHT = 10 TO 15 M SECONDARY STREET WALL: 3-6 M FROM P. L., HEIGHT = 18 TO 25 M 1:5 BUILDING SETBACK RATIO STARTING AT 15 M ABOVE GRADE EXTERIOR WALL, SIDE PROPERTY LINE: MIN 3 M (9.8') EXTERIOR WALL, REAR PROPERTY LINE: MIN 3 M (9.8') BALCONIES, SIDE PROPERTY LINE: MIN 3.5 M (11.5') BALCONIES, REAR PROPERTY LINE: MIN 3.5 M (11.5') SETBACK FOR ROOFTOP STRUCTURES FROM OUTER EDGE OF THE ROOF MIN. 3M PROJECTIONS INTO INTERIOR LOT LINE SETBACKS (MAX.) 0.25 M																												
PARKING	PARKING REQUIRED UNDER NEW ZONING BYLAW SCHEDULE C PROPOSED RESIDENTIAL: 66 UNITS (< 45 SQ.M.) x (0.50/UNIT) = 33 34 UNITS(45 - 70 SQ.M.) x (0.60/UNIT) = 20.4 19 UNITS (>70 SQ.M.) x (1.00/UNIT) = 19 119 UNITS x (0.1/UNIT VISITOR STALLS) = 11.9 COMMERCIAL/SERVICE: 135.9 SQ.M. (1,463 SQ.FT.) x (1/50 SQ.M.) = 2.71 COMMERCIAL/RETAIL: 253.8 SQ.M. (2,732 SQ.FT.) x (1/80 SQ.M.) = 3.1 PER SCHEDULE C TOTAL REQUIRED: 90 (72 RESIDENTIAL, 12 VISITOR & 6 COMMERCIAL) 1 REGULAR ACCESSIBLE, 1 VAN ACCESSIBLE, 1 VISITOR ACCESSIBLE, 1 VISITOR VAN ACCESSIBLE, PER NEW SCHEDULE C (TOTAL 4)																												
BICYCLE STORAGE	CLASS 1 BICYCLE PARKING REQUIRED UNDER ZONING NEW BYLAW SCHEDULE C PROPOSED RESIDENTIAL 66 x (1/UNIT<45 SQ.M) = 66 AND 53x (1.25/UNIT>45 SQ.M.) = 66.25 TOTAL = 132 RETAIL @ 1/200 SQ.M. = 1.95 TOTAL REQUIRED: 134 CLASS 2 BICYCLE PARKING REQUIRED UNDER ZONING NEW BYLAW SCHEDULE C PROPOSED MULTIFAMILY RESIDENTIAL = 119x (0.1/UNIT) = 11.90 RETAIL @ 1/200 SQ.M. = 1.95 TOTAL REQUIRED: 14																												
RETAIL	NUMBER OF CRU/SERVICE UNITS: 5 AREA: 389.7 SQ.M. (4195 SQ.FT.)																												
SUITE TYPES	<table border="0"> <tr> <td>TYPE</td> <td>SIZE RANGE</td> <td>QUANTITY</td> <td>PROPOSED</td> </tr> <tr> <td>STUDIO</td> <td>380 - 603 SQ.FT.</td> <td>9</td> <td>CMHC ACCESSIBLE UNITS</td> </tr> <tr> <td>1 BEDROOM</td> <td>382 - 591 SQ.FT.</td> <td>69</td> <td></td> </tr> <tr> <td>2 BEDROOM</td> <td>615 - 850 SQ.FT.</td> <td>34</td> <td></td> </tr> <tr> <td>3 BEDROOM</td> <td>842 - 991 SQ.FT.</td> <td>7</td> <td></td> </tr> <tr> <td>GROUND-ORIENTATED</td> <td>N/A</td> <td>0</td> <td></td> </tr> <tr> <td>TOTAL</td> <td></td> <td>119</td> <td>CMHC ACCESSIBLE 12 TOTAL CMHC ADAPTABLE PROPOSED 2 TOTAL CMHC UNIVERSAL PROPOSED 2 TOTAL</td> </tr> </table>	TYPE	SIZE RANGE	QUANTITY	PROPOSED	STUDIO	380 - 603 SQ.FT.	9	CMHC ACCESSIBLE UNITS	1 BEDROOM	382 - 591 SQ.FT.	69		2 BEDROOM	615 - 850 SQ.FT.	34		3 BEDROOM	842 - 991 SQ.FT.	7		GROUND-ORIENTATED	N/A	0		TOTAL		119	CMHC ACCESSIBLE 12 TOTAL CMHC ADAPTABLE PROPOSED 2 TOTAL CMHC UNIVERSAL PROPOSED 2 TOTAL
TYPE	SIZE RANGE	QUANTITY	PROPOSED																										
STUDIO	380 - 603 SQ.FT.	9	CMHC ACCESSIBLE UNITS																										
1 BEDROOM	382 - 591 SQ.FT.	69																											
2 BEDROOM	615 - 850 SQ.FT.	34																											
3 BEDROOM	842 - 991 SQ.FT.	7																											
GROUND-ORIENTATED	N/A	0																											
TOTAL		119	CMHC ACCESSIBLE 12 TOTAL CMHC ADAPTABLE PROPOSED 2 TOTAL CMHC UNIVERSAL PROPOSED 2 TOTAL																										



1 Site Plan Existing Grades
SCALE: 1" = 40'-0"

AVERAGE GRADE CALCULATION

GRADES:
A: 21.8 B: 21.8 C: 21.4 D: 21.4*

PROPERTY LINE DISTANCES:

AB	36.151 M
BC	34.164 M
CD	36.942 M
DA	34.175 M
TOTAL	131.432 M

AB	(21.8+21.8)/2 * 36.151 M = 788.0918
BC	(21.8+21.4)/2 * 34.164 M = 521.9424
CD	(21.4+21.4)/2 * 36.942 M = 790.5588
DA	(21.4+21.8)/2 * 34.175 M = 738.1800
TOTAL	= 2838.773

AVERAGE GRADE:
2838.773 / 131.432 M = **21.6**

*LEGAL SURVEY INDICATES GRADE D SLIGHTLY AWAY FROM THE SW PROPERTY CORNER. CORNER INACCESSIBLE DUE TO EXISTING SERVICE BUILDING AT 818 BROUGHTON ST, SO THE NEAREST GEODETIC HAS BEEN USED.

NOTE:
SURVEY DIMS UPDATED PER SITE COORDINATION ON JUNE 2022. LEGAL CONSOLIDATED PLAN DATED FEB. 03, 2021 PREPARED BY JE ANDERSON & ASSOCIATES SHOWN AS A REFERENCE TO BE UPDATED WITH NEW SURVEY

Building Area (FSR)				
Level	Name	Area SF	Area SQ.M	Area Type
P2_	P2 Area	12810 SF	1190.1 m²	Exclude Area
P1	P1 Area	12810 SF	1190.1 m²	Exclude Area
L1	BIKE ROOM	2656 SF	246.8 m²	Exclude Area
L1	ELEV.SHAFT	130 SF	12.1 m²	Exclude Area
L2	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L3	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L4	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L5	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L6	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L7	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L8	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L9	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L10	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
L11	ELEV. SHAFT	130 SF	12.1 m²	Exclude Area
ROOF DECK	ROOF AREA	934 SF	86.7 m²	Exclude Area
Exclude Area: 15		30642 SF	2846.8 m²	

L1	COMMERCIAL AREA	4195 SF	389.7 m²	Building Area
L1	COMMON AREA	2390 SF	222.1 m²	Building Area
L1	COMMON AREA	1798 SF	167.1 m²	Building Area
L2	RESIDENTIAL AREA	9892 SF	919.0 m²	Building Area
L3	RESIDENTIAL AREA	8987 SF	834.9 m²	Building Area
L4	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L5	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L6	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L7	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L8	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L9	RESIDENTIAL AREA	7160 SF	665.2 m²	Building Area
L10	RESIDENTIAL AREA	6626 SF	615.6 m²	Building Area
L11	RESIDENTIAL AREA	6025 SF	559.8 m²	Building Area
Building Area: 13		82874 SF	7699.2 m²	
Grand total		113516 SF	10546.0 m²	

BUILDING AREA
FSR CALCULATIONS EXCLUDE BELOW GRADE PARKING, PARKING RAMPS, ONLY REQUIRED BIKE STALLS AND ACCESS TO REQUIRED BIKE STALLS, ELEVATOR CORE AND RRROF TOP STRUCTURES.
BIKE STORAGE AREA (AREA EXCL FOR REQ BIKES AND BIKE ACCESS 5' WIDE ONLY)

HORIZONTAL STALLS 74@0.84 SQ.M. = 62.16 SQ.M.
VERTICAL STALLS 65@0.56 SQ.M. = 36.40 SQ.M.
MINIMUM AISLE+ACCESS @0.9 SQ.M. = 148.24 SQ.M.

TOTAL: = 246.8 SQ.M.

FSR: 82,874 SQ.FT / 13,434 SQ.FT. = 6.17
***EXCLUDES 246.8 SQ.M. CLASS 1 & 2 ONLY REQ BIKE STORAGE NOT ALL PROVIDED**
REQ. 134 RES+2 RETAIL+12 VIS = 148 TOTAL (BASED ON 119UNITS)



**Musson
Cattell
Mackey
Partnership**

Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T. 604.687.2990
F. 604.687.1771
MCMPartners.com



23	2023-09-20	SPV Response
22	2023-09-12	SPV Response
21	2023-09-08	SPV
20	2022-09-30	FC Below Grade
19	2021-11-09	Final Tender Addendum #1
18	2021-10-21	DDP/CHAP
17	2021-08-19	DDP/CHAP
16	2021-08-19	SP Response
15	2021-05-26	SP Response
14	2021-05-26	FT
13	2021-03-17	FRP
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2020-12-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Re zoning Revision
5	2019-07-02	Re zoning Revision
4	2019-05-24	Re zoning Revision
3	2019-01-09	Re zoning Revision
2	2018-10-24	Re zoning Revision
1	2018-08-31	Re zoning Revision

Revisions DD MMM YYYY

Seal
**825 Fort
Street Victoria**

825 Fort Street
Victoria, BC

Project
Project Data

Drawing
Scale As indicated

Project 217033

A002
Sheet

15	2023-06-08	Delegated DP
14	2021-10-21	DDP/DP/HP
13	2021-08-19	DDP/DP/HP
12	2021-03-24	Delegated DP
11	2020-12-17	Delegated DP
10	2020-10-07	Delegated DP
9	2020-08-17	Delegated DP
8	2020-07-02	Delegated DP
7	2019-07-09	Recurring Revision
6	2019-05-24	Recurring Revision
5	2019-01-09	Recurring Revision
4	2018-10-24	Recurring Revision
3	2018-08-31	Recurring Revision
2	2018-04-19	Recurring Revision
1	2017-11-08	Recurring Application

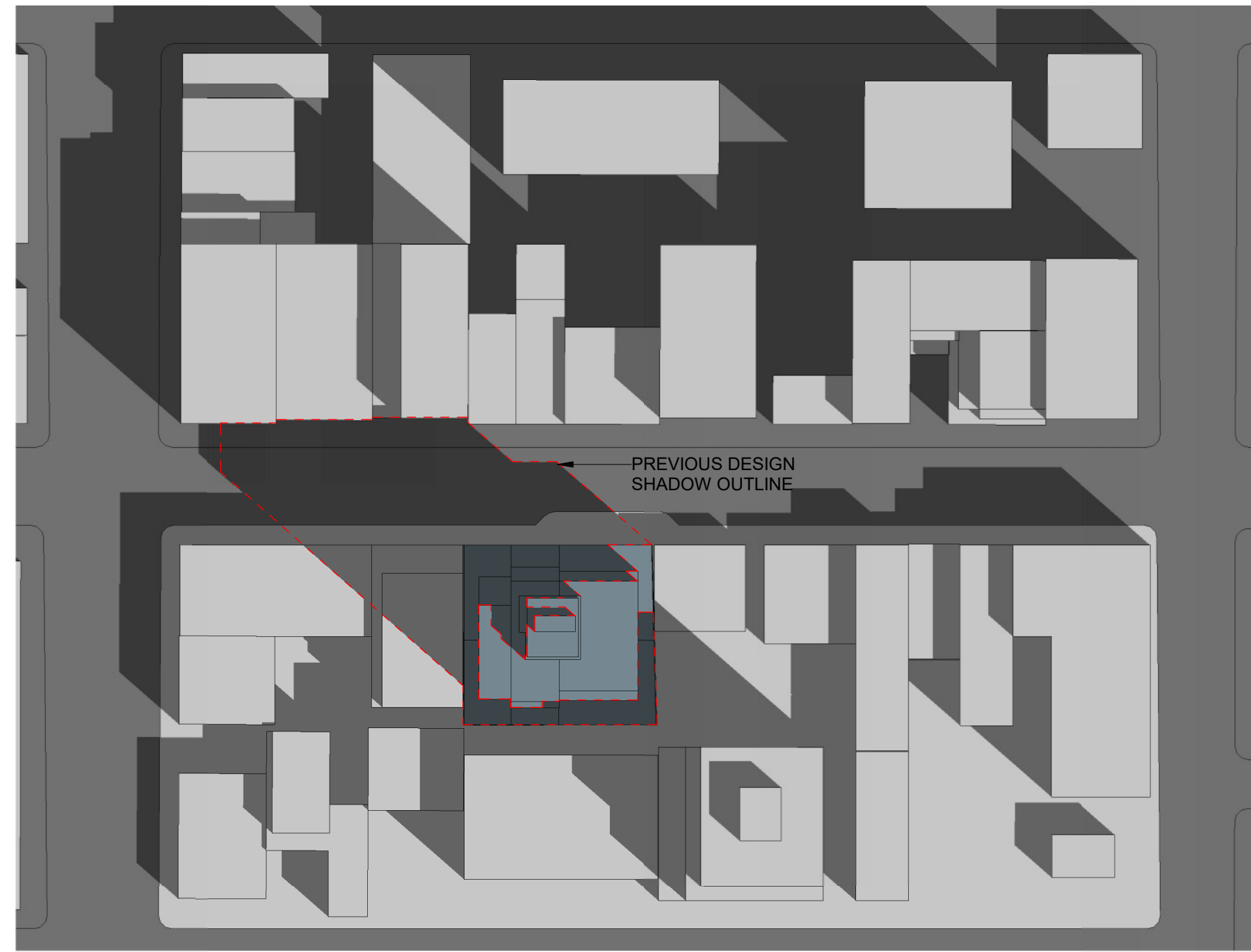
Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

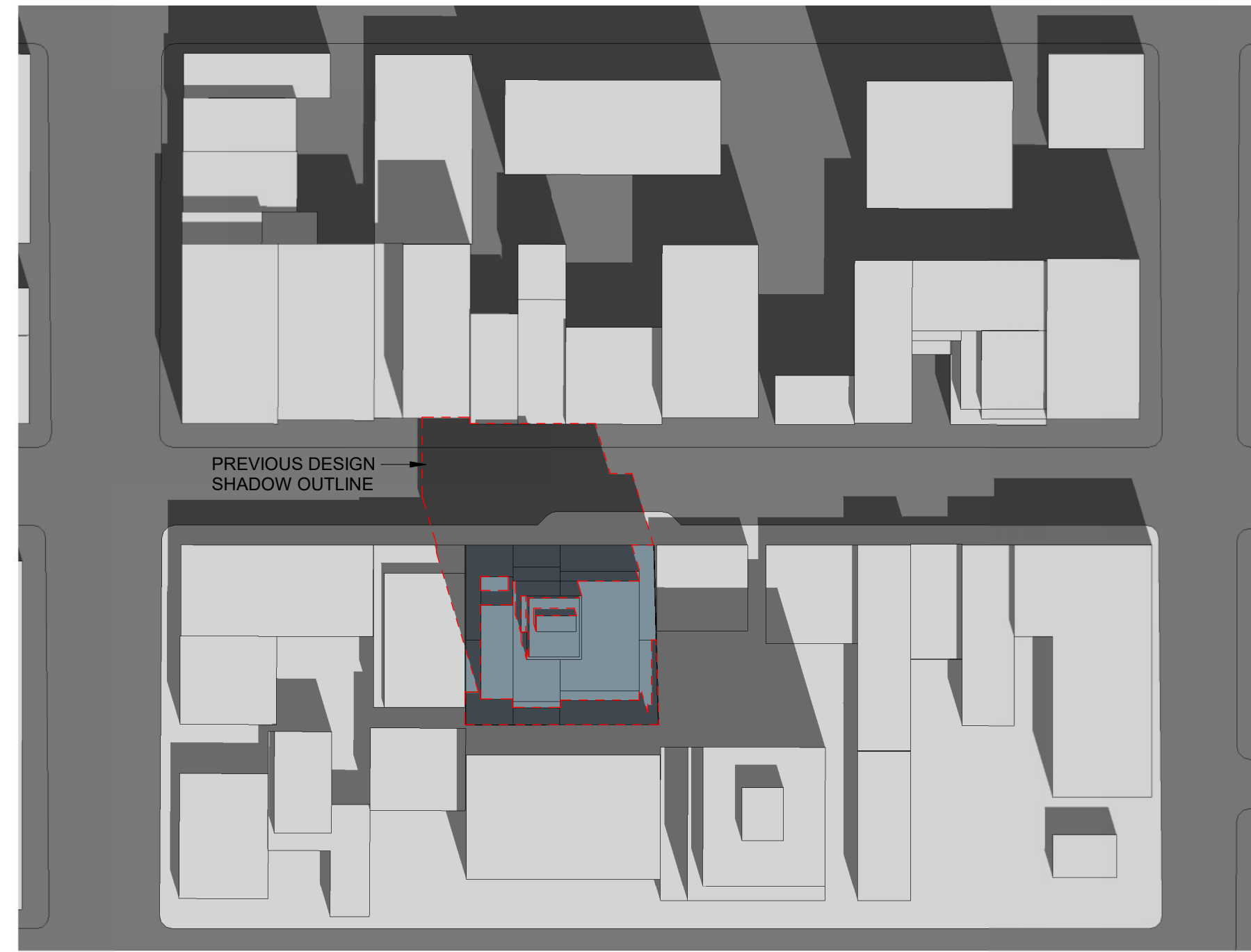
825 Fort Street
Victoria, BC
Project
Shadow Study

Drawing
Scale 12" = 1'-0"
Project 217033

Sheet **A003**



1 Spring Equinox 10 AM
SCALE:



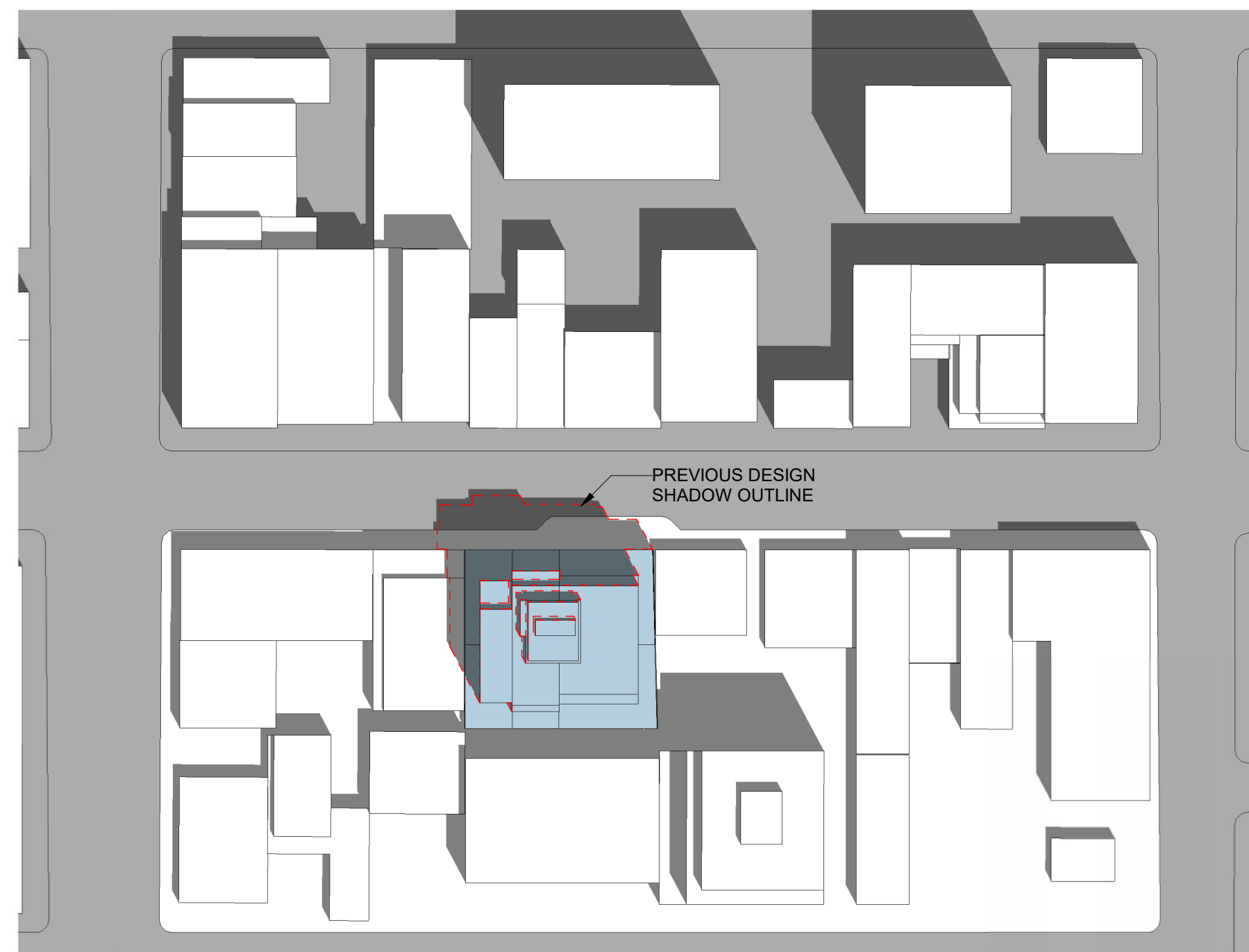
2 Spring Equinox 12 PM
SCALE:



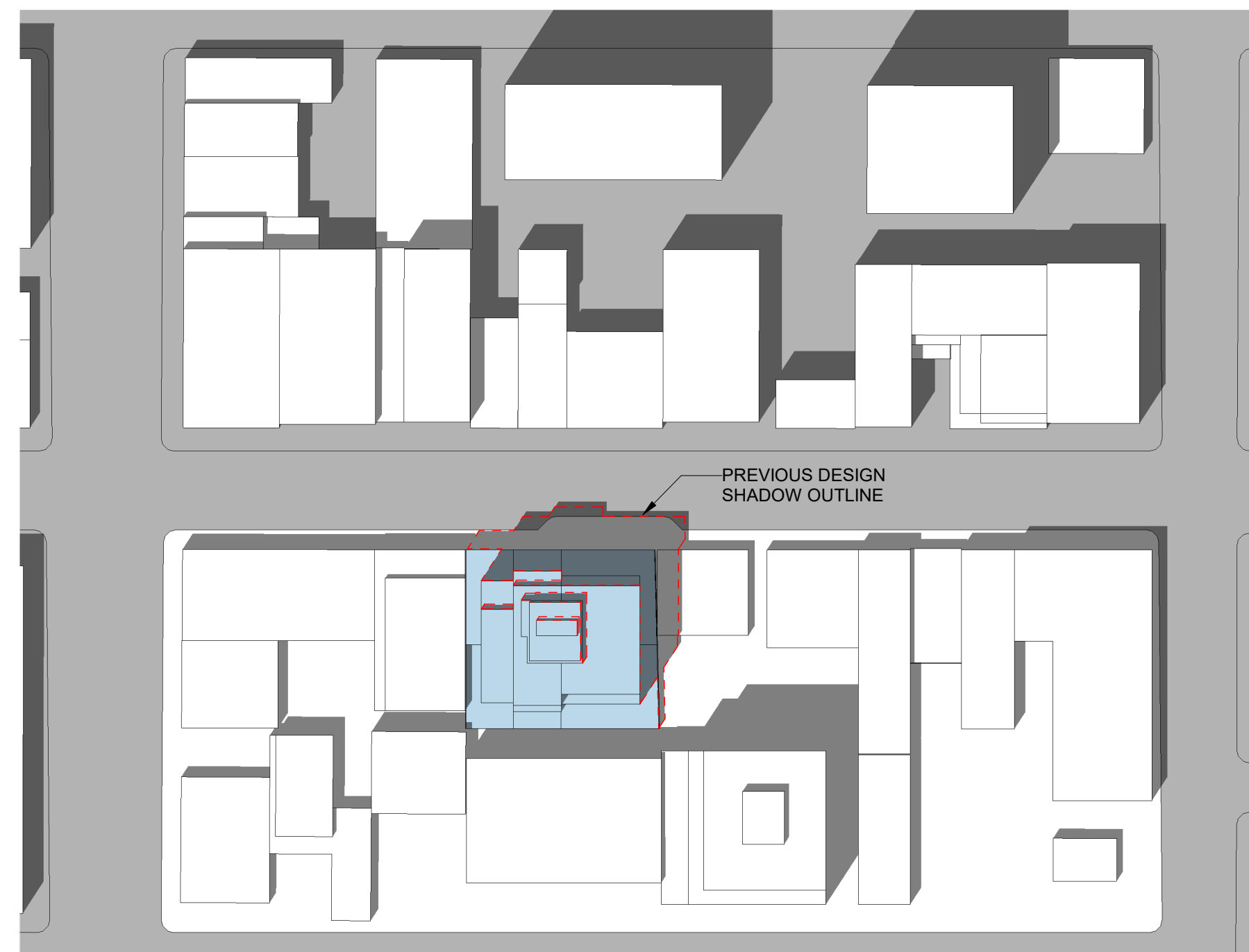
3 Spring Equinox 2 PM
SCALE:



4 Summer Solstice 10 AM
SCALE:



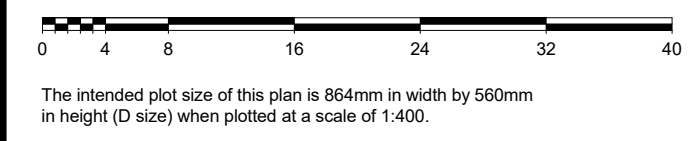
5 Summer Solstice 12 PM
SCALE:



6 Summer Solstice 2 PM
SCALE:

Reference Plan of
Lot A of Lots 276 and 277, Plan 26769 and
Parcel D (DD 263514) of Lots 277 and 278,
Both in Victoria City
Pursuant to Section 100(1)(b) of the Land Title Act
BCGS 92B.044

PLAN EPP109361



The intended plot size of this plan is 864cm in width by 560cm in height (D size) when plotted at a scale of 1:400.

All distances are in metres and decimals thereof.

This plan lies within Integrated Survey Area No. 17, Victoria, NAD83 (CSRS) 3.0 0.0 BC 1 CRD.

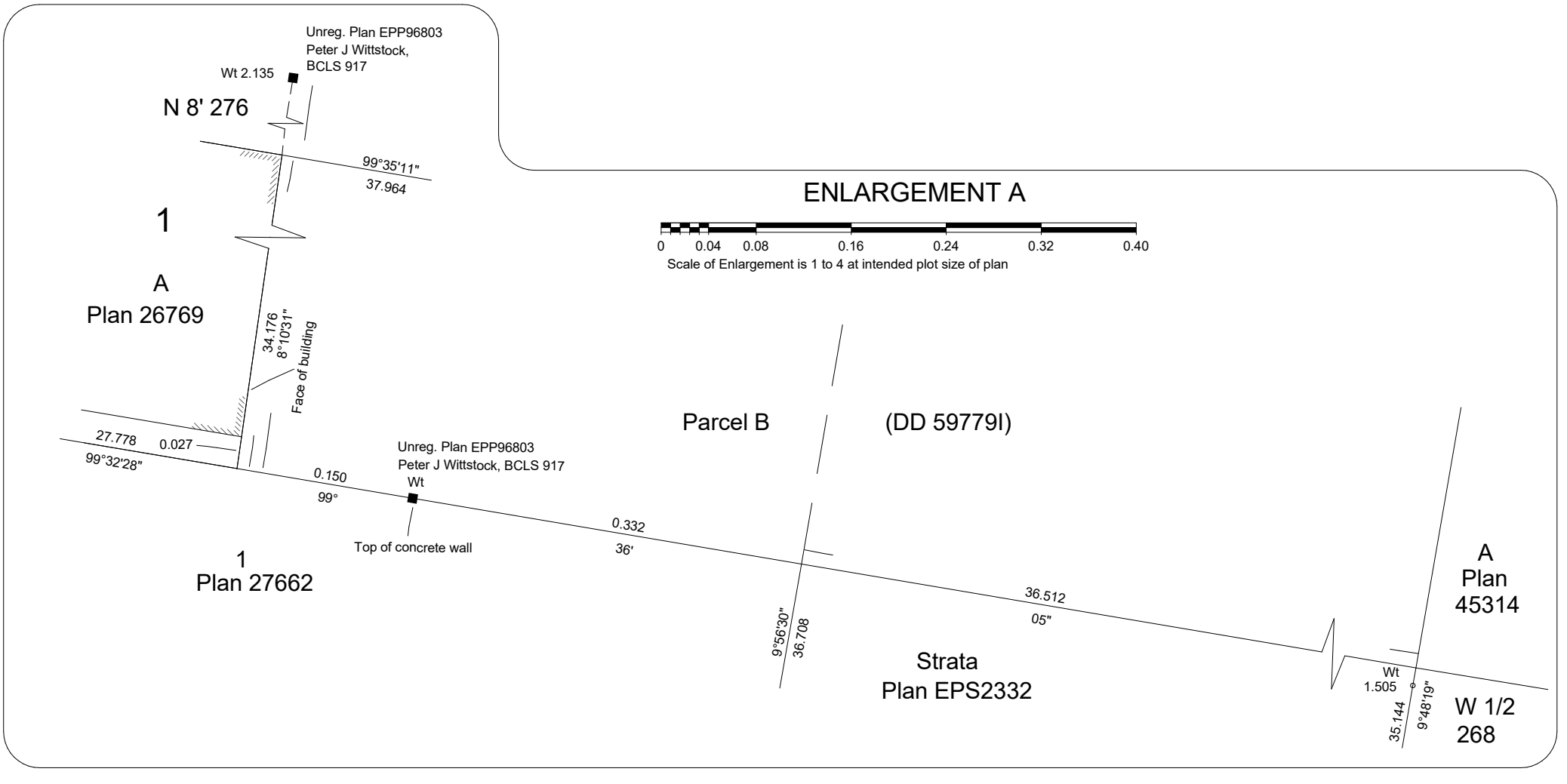
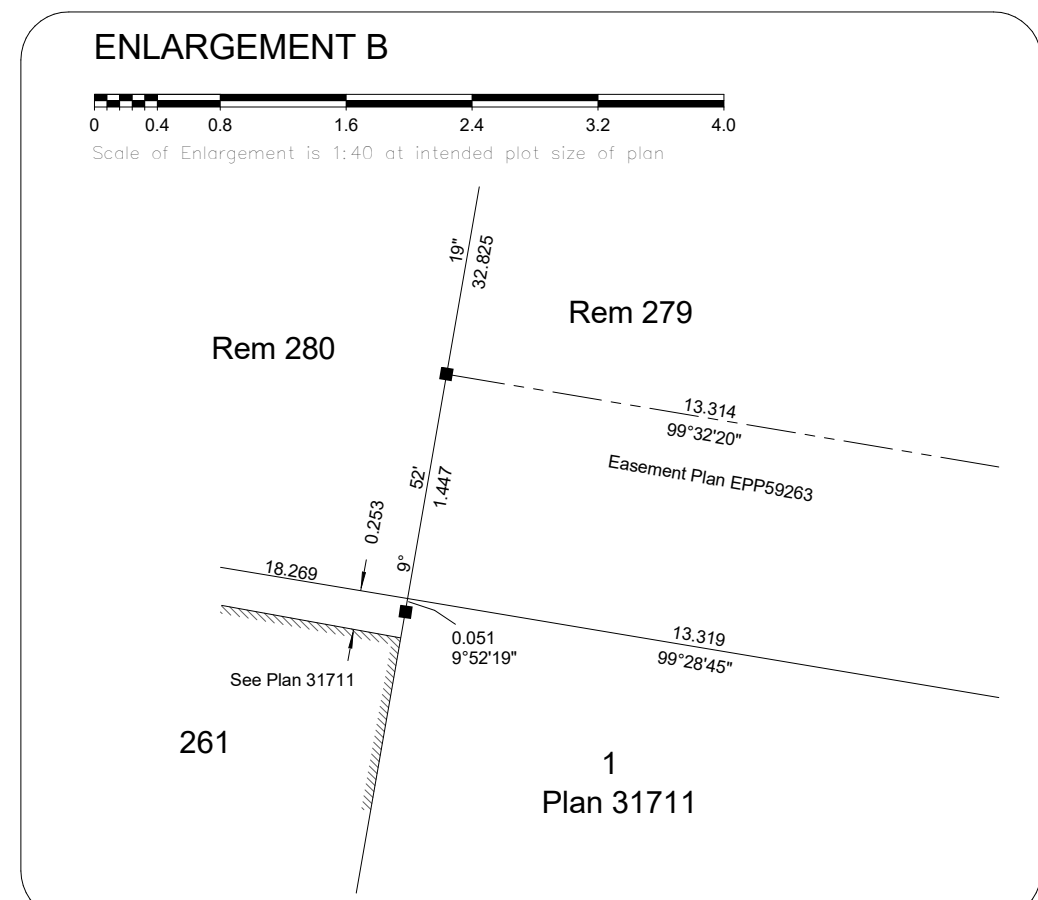
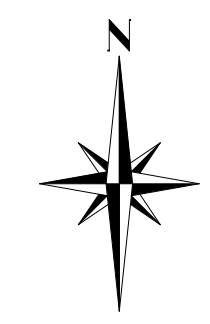
Grid bearings are derived from observations between geodetic control monuments 16-114 and 9-40 and are referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated absolute accuracy achieved are derived from the IAGG/IGP published coordinates and standard deviations for geodetic control monuments 16-114 and 9-40.

This plan shows horizontal ground level distances, unless otherwise specified. To compute grid distances, multiply ground level distances by the average combined factor of 0.9996079. The average combined factor has been determined based on control monuments 16-114 and 9-40.

This plan shows one or more witness posts which are not set on the true corner(s).

Datum:	NAD83(CSRS) 3.0 0.0 BC 1 CRD
Projection:	UTM Zone 10N
UTM Northing:	5363514.009
UTM Easting:	473192.947
Station Combined Factor:	0.9996074
Estimated Absolute Accuracy:	0.02



LEGEND

Found	Placed	Standard Iron Post
■	□	Lead Plug
■	■	City of Victoria Bowed Monument
▲	▲	Control Monument
Exag	—	Denotes Exaggerated
PCL	—	Denotes Parcel
Unreg	—	Denotes Unregistered
UTP	—	Denotes Unable To Post

Datum:	NAD83(CSRS) 3.0 0.0 BC 1 CRD
Projection:	UTM Zone 10N
UTM Northing:	5363514.009
UTM Easting:	473192.947
Station Combined Factor:	0.9996074
Estimated Absolute Accuracy:	0.02

This plan lies within the Capital Regional District
The field survey represented by this plan was completed on the 3rd day of February, 2021.
Peter J Wittstock, BCLS 917

NOTE 2023-06-08
TO BE UPDATED AS NEEDED

12	2023-06-08	Designated DP
11	2023-05-08	Issued by Owner's Review - Not for Construction
10	2022-09-30	Final Review
9	2021-11-18	Post-Tender Addendum #1
8	2021-10-27	DDP/DRAP
7	2021-08-19	DDP/DRAP
6	2021-08-19	SP Response
5	2021-08-30	SP Response
4	2021-08-26	RFI
3	2021-03-17	FBP
2	2021-03-04	Designated DP
1	2021-03-04	SP

Revisions DD MMM YYYY

Seal
825 Fort Street Victoria

825 Fort Street Victoria, BC

Project
Survey - for Reference Only

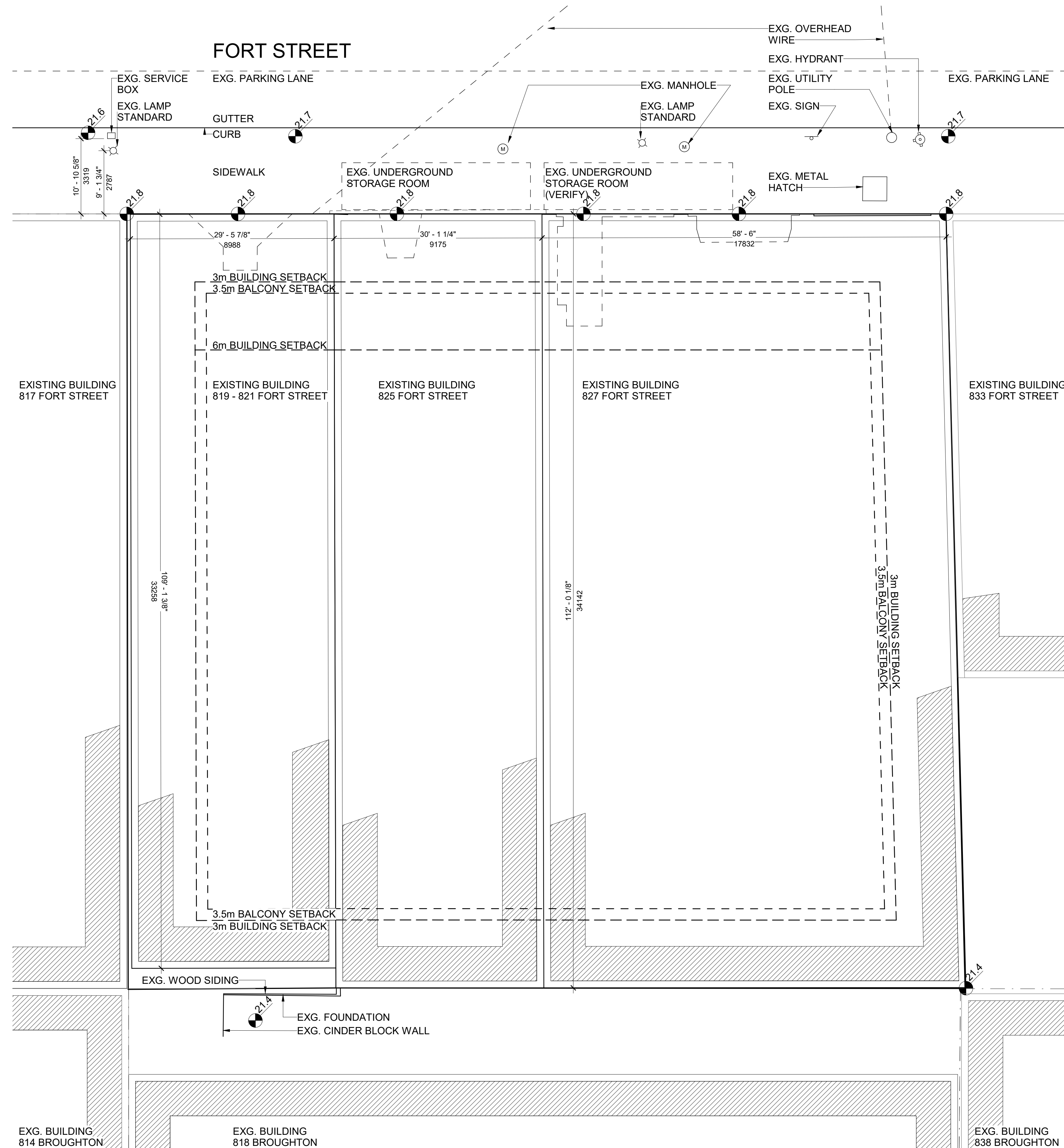
Drawing

Scale NOT TO SCALE

Project 217033

A101
Sheet

1 SURVEY PLAN - FOR REFERENCE ONLY
SCALE: NOT TO SCALE



24	2023-06-08	Delegated DP
23	2023-05-08	Issued for Owner's Review - Not for Construction
22	2022-09-30	IFC Below Grade
21	2021-11-09	Final Tender Addendum #1
20	2021-10-21	DDP/HAAP
19	2021-08-19	DDP/HAAP
18	2021-08-19	BP Response
17	2021-08-30	BP Response
16	2021-05-28	IFT
15	2021-03-17	FBP
14	2021-03-04	Delegated DP
13	2021-03-04	BP
12	2020-12-17	Delegated DP
11	2020-10-07	Delegated DP
10	2020-09-17	Delegated DP
9	2020-07-02	Delegated DP
8	2019-07-29	Recording Revision
7	2019-07-09	Recording Revision
6	2019-05-24	Recording Revision
5	2019-01-09	Recording Revision
4	2018-10-24	Recording Revision
3	2018-08-31	Recording Revision
2	2018-04-19	Recording Revision
1	2017-11-08	Recording Application

Revisions	DD MMM YYYY
-----------	-------------

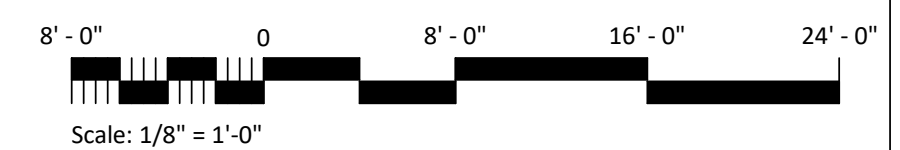
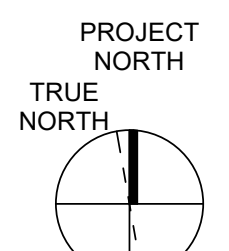
Seal
825 Fort Street Victoria

825 Fort Street Victoria, BC
Project
Site Plan Existing - for Reference Only

Scale 1 : 100
Project 217033

A102
Sheet

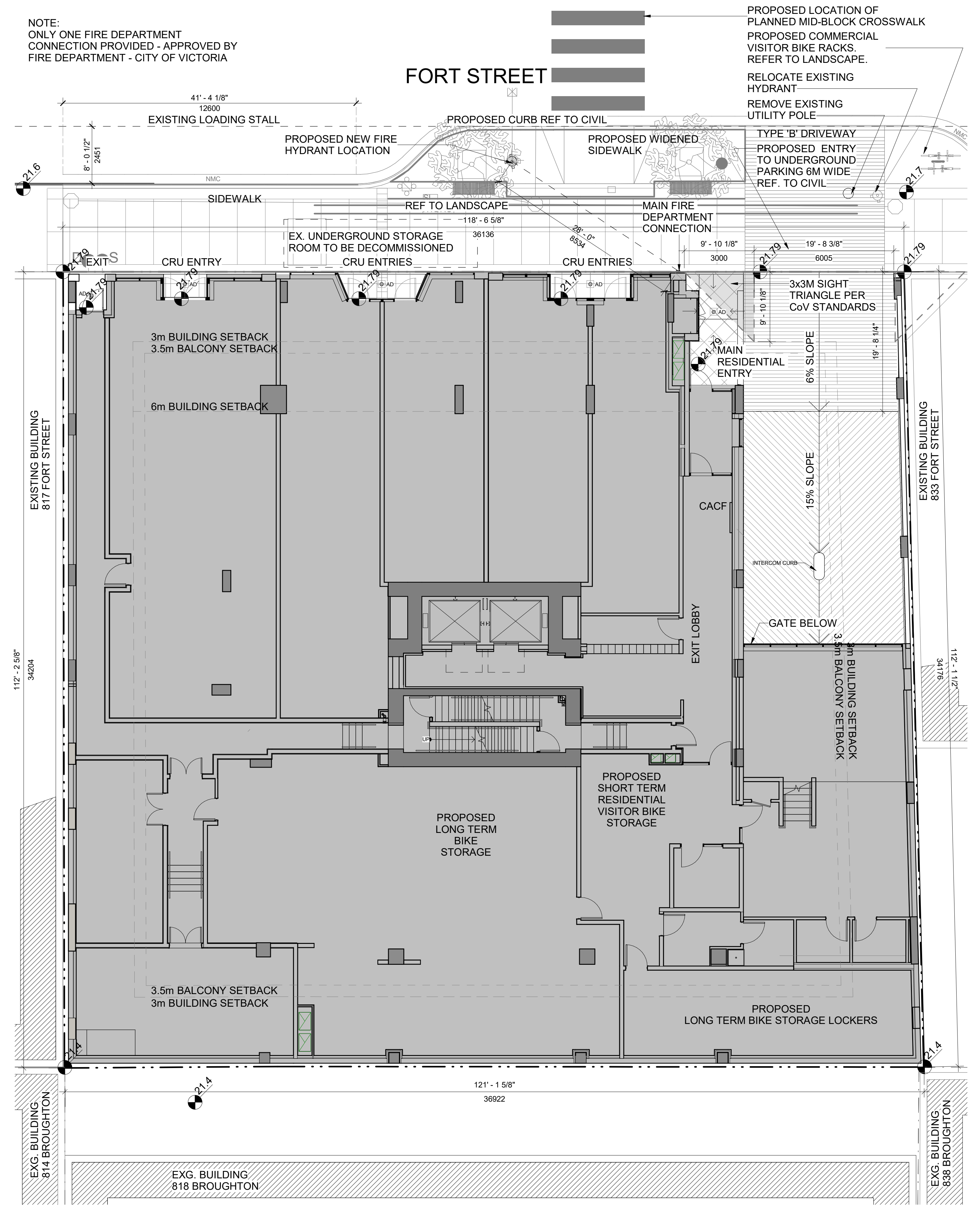
1 Site Plan Existing
A007 SCALE: 1 : 100



PROJECT INFORMATION TABLE

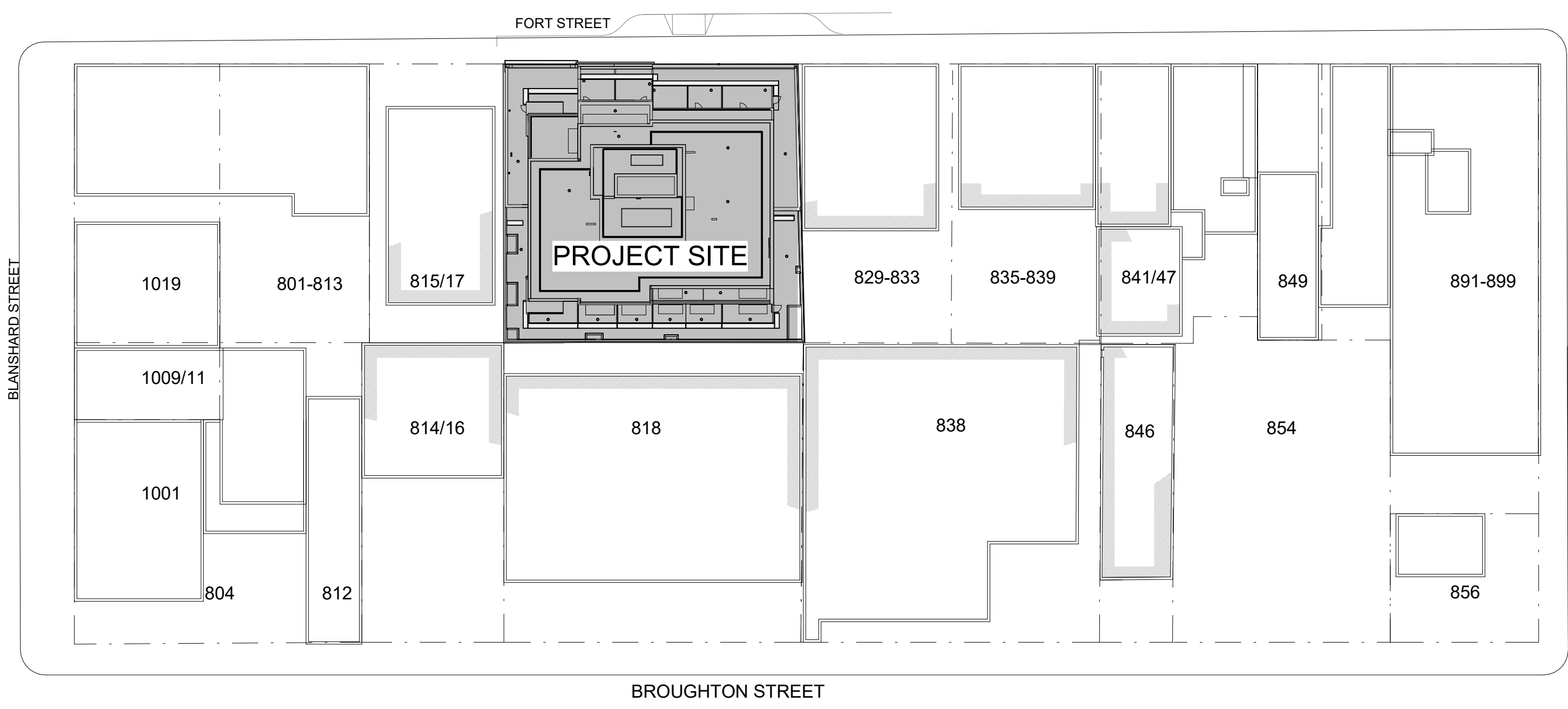
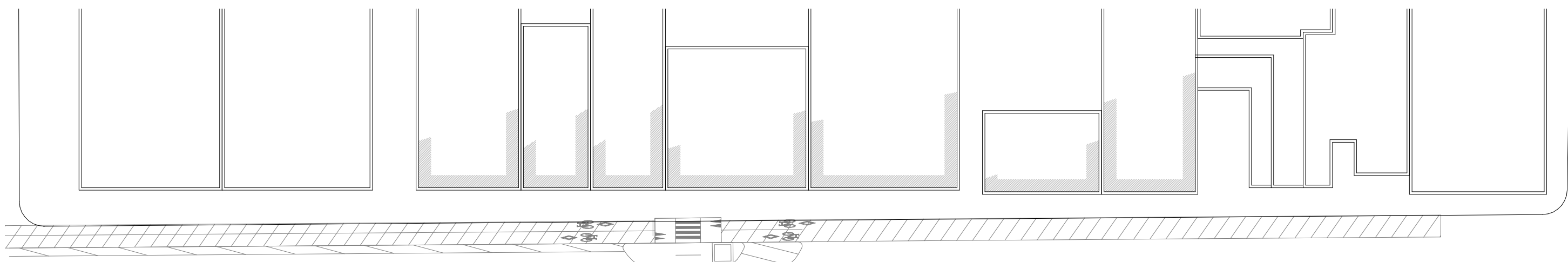
ZONE (PREVIOUS)	CA-HG
NEW ZONE	CA-2
SITE AREA	RMD-2 (RESIDENTIAL MIXED USE FORT STREET DISTRICT)
TOTAL FLOOR AREA	1248 SQ.M. (13,434 SQ.FT.)
COMMERCIAL FLOOR AREA	7,699.2 SQ.M. (82,874 SQ.FT.)
FLOOR SPACE RATIO	389.7 SQ.M. (4,195 SQ.FT.)
SITE COVERAGE (%)	6.17
OPEN SITE SPACE	98.7%
HEIGHT OF BUILDING (m)	16 SQ.M. (172 SQ.FT.)
NUMBER OF STOREYS	33.9 M (M. ROOF) PREVIOUS 31.7 M
PARKING STALLS ON SITE	11
BICYCLE PARKING NUMBER:	56
CLASS 1	142
CLASS 2	14
BUILDING SETBACKS (m):	
FRONT YARD	4.2 M - 6.0 M
REAR YARD	4.4 M
SIDE YARD (E)	3.1 M
SIDE YARD (W)	3.0 M
COMBINED SIDE YARDS	6.1 M
RESIDENTIAL USE DETAILS:	
TOTAL NUMBER OF UNITS	119
STUDIO	9
1 BEDROOM	69
2 BEDROOM	34
3 BEDROOM	7
GROUND-ORIENTATED	N/A
MINIMUM UNIT FLOOR AREA:	
STUDIO	33.0 SQ.M. (362 SQ.FT.)
1 BEDROOM	34.3 SQ.M. (369 SQ.FT.)
2 BEDROOM	55.3 SQ.M. (596 SQ.FT.)
3 BEDROOM	76.4 SQ.M. (819 SQ.FT.)
TOTAL RESIDENTIAL FLOOR AREA:	7,309.5 SQ.M. (78,678 SQ.FT.)

NOTE:
ONLY ONE FIRE DEPARTMENT
CONNECTION PROVIDED - APPROVED BY
FIRE DEPARTMENT - CITY OF VICTORIA



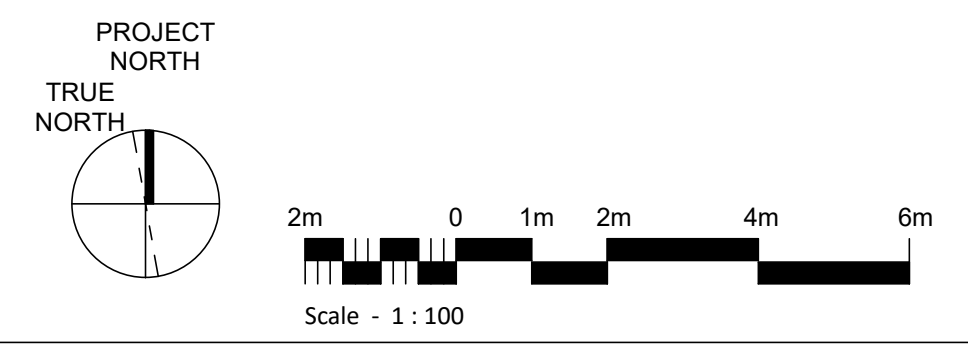
22	2023-08-12	DPV Response
21	2023-06-08	DPV
20	2022-09-30	IFC Below Grade
19	2021-11-09	Final Tender Addendum #1
18	2021-10-21	DDP/CD/HP
17	2021-08-19	DDP/CD/HP
16	2021-08-19	SP Response
15	2021-06-30	SP Response
14	2021-05-26	IFT
13	2021-03-17	Final
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2020-12-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-24	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY



2 Vicinity Plan
A007 SCALE: 1 : 500

1 Site Plan
A007 SCALE: 1 : 100

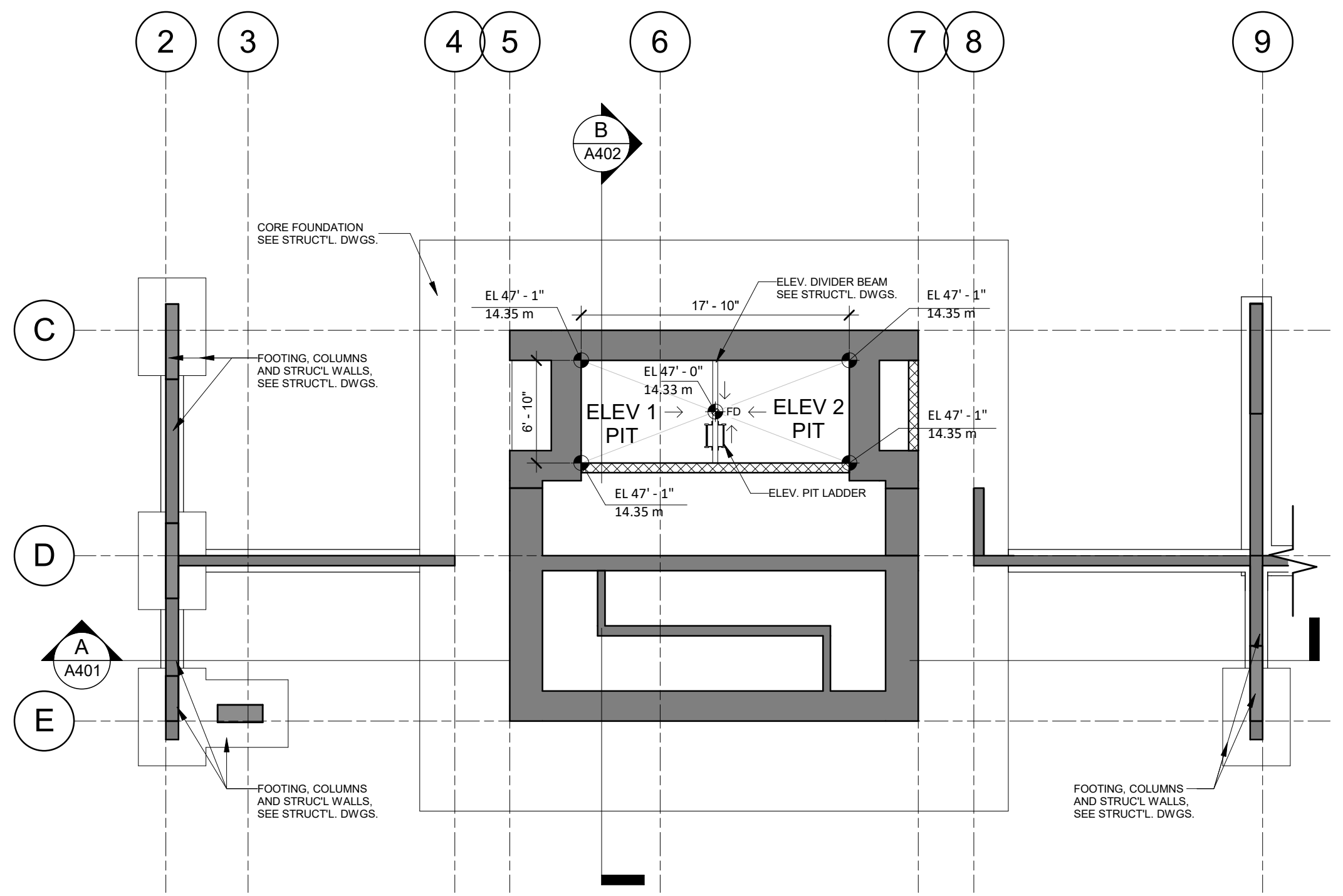
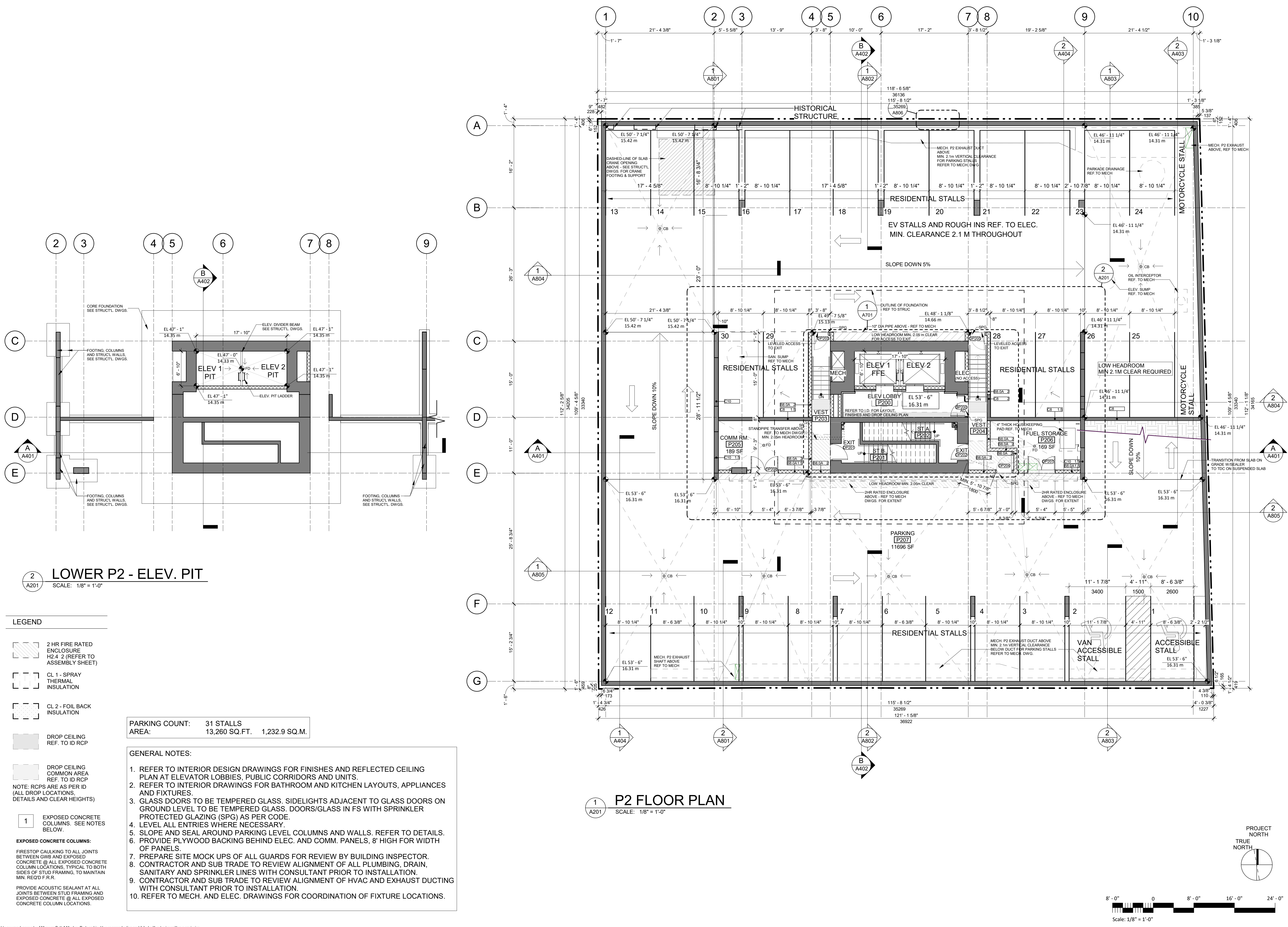


Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC
Project
Proposed Site
Plan & Vicinity
Plan - for
Reference
Only As indicated

Project 217033

A103
Sheet



2
A201
LOWER P2 - ELEV. PIT
SCALE: 1/8" = 1'-0"

LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
 - EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)
- EXPOSED CONCRETE COLUMNS:
FIRESTOP CALLING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS, TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.
PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

PARKING COUNT: 31 STALLS
AREA: 13,260 SQ.FT. 1,232.9 SQ.M.

- GENERAL NOTES:**
1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
 2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
 3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
 4. LEVEL ALL ENTRIES WHERE NECESSARY.
 5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
 6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
 7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
 8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
 9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
 10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

1
A201
P2 FLOOR PLAN
SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION	BY
22	2023-09-12	DPV Response	
21	2023-09-08	DPV	
20	2023-09-30	FC Below Grade	
19	2023-11-08	Final Tender Addendum #1	
18	2023-10-21	DDP/CHAP	
17	2023-08-19	DDP/CHAP	
16	2023-08-19	SP Response	
15	2023-08-19	SP Response	
14	2023-08-19	SP Response	
13	2023-03-17	Final	
12	2023-03-17	Delegated DP	
11	2023-03-17	SP	
10	2023-03-17	Delegated DP	
9	2023-10-47	Delegated DP	
8	2023-08-17	Delegated DP	
7	2023-07-29	Delegated DP	
6	2023-07-29	Revising Revision	
5	2023-07-29	Revising Revision	
4	2023-05-24	Revising Revision	
3	2023-05-24	Revising Revision	
2	2023-05-24	Revising Revision	
1	2023-05-24	Revising Revision	

Revisions DD MMM YYYY

Seal
825 Fort Street Victoria

825 Fort Street
Victoria, BC

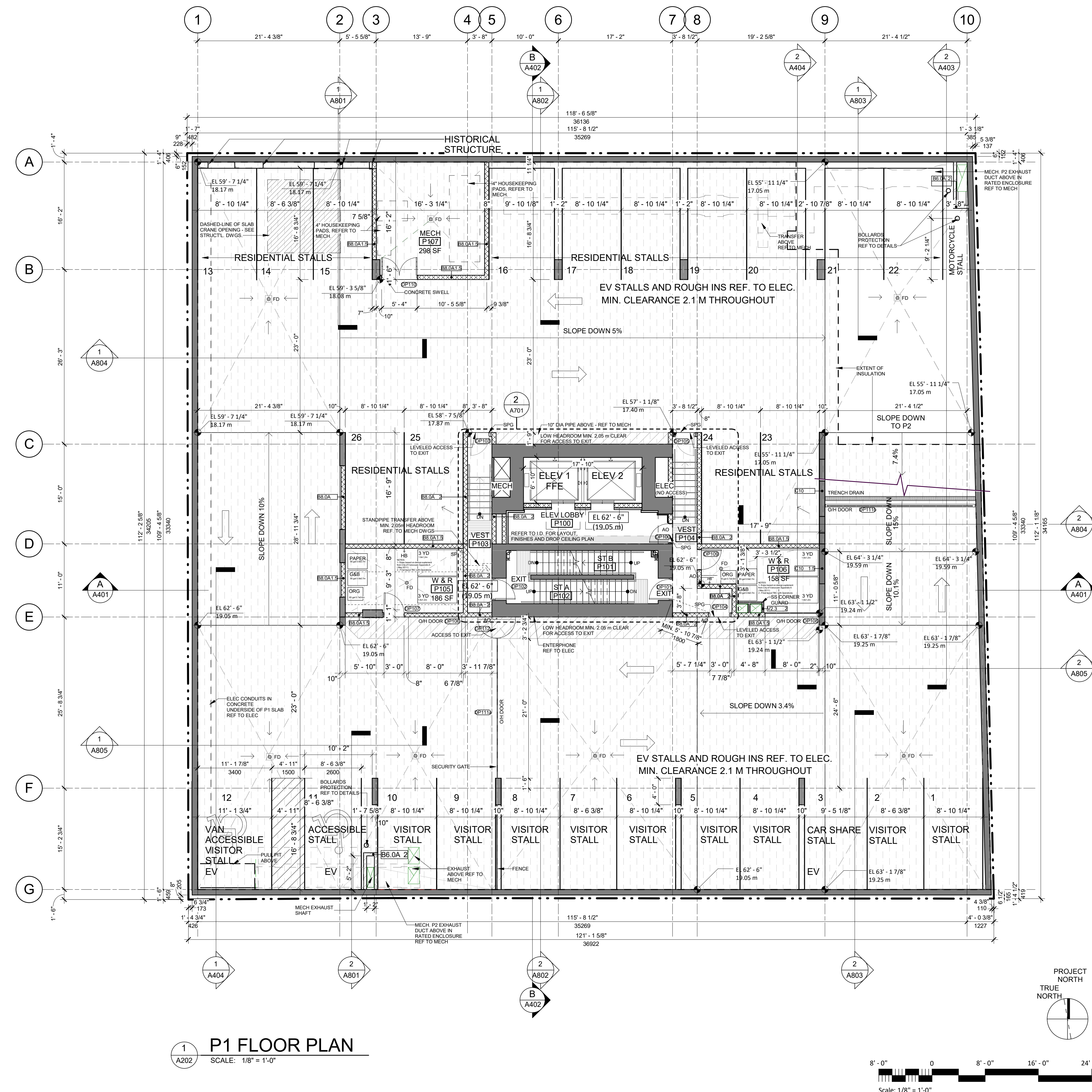
Project
Floor Plan Level P2

Drawing

Scale As indicated

Project 217033

A201
Sheet



P1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

- LEGEND**
- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)
- 1** EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.
- EXPOSED CONCRETE COLUMNS:**
- FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS, TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.
 - PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

PARKING COUNT:	26 STALLS
AREA:	13,260 SQ.FT. 1,232.9 SQ.M.

- GENERAL NOTES:**
1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
 2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
 3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
 4. LEVEL ALL ENTRIES WHERE NECESSARY.
 5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
 6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
 7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
 8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
 9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
 10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.

23	2023-09-27	DPV Response
22	2023-09-12	DPV Response
21	2023-09-08	DPV
20	2023-09-30	FC Below Grade
19	2023-11-08	Final Tender Addendum #1
18	2023-10-21	DDP/CHAP
17	2021-08-19	DDP/CHAP
16	2021-08-19	SP Response
15	2021-05-26	SP Response
14	2021-05-26	FFI
13	2023-03-17	FFI
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2023-02-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-04	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY

Seal
825 Fort Street Victoria

825 Fort Street
Victoria, BC

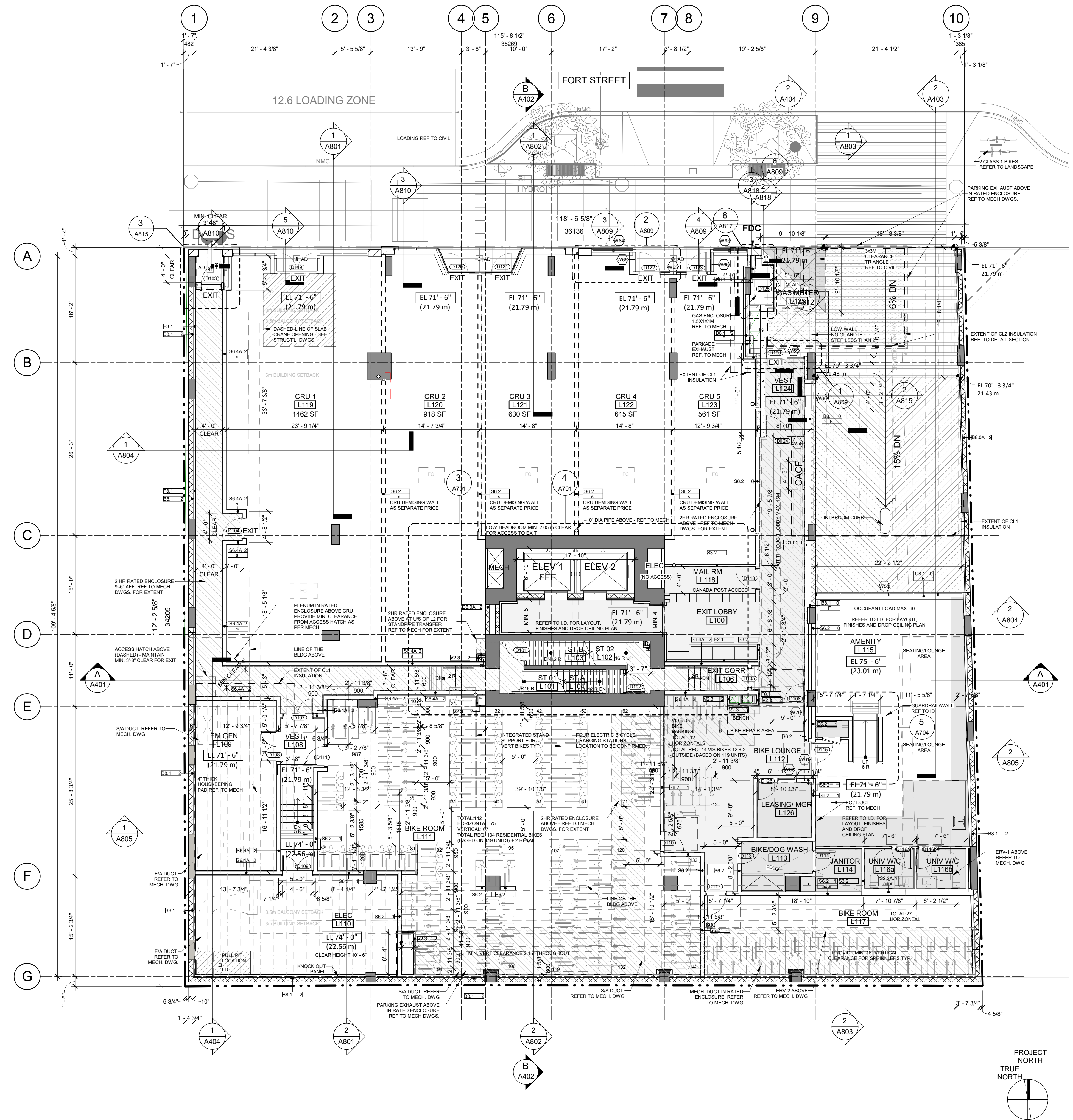
Project
Floor Plan Level P1

Drawing

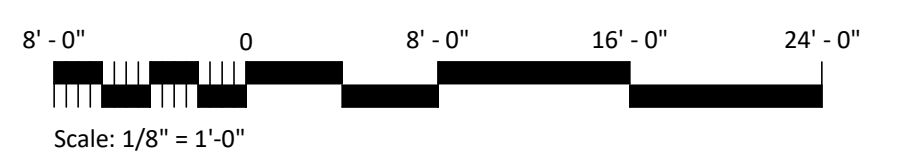
Scale As indicated

Project 217033

A202
Sheet



1 GROUND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

1 EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.

EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING. TO MAINTAIN MIN. REQ'D F.R.R.
PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

LEGEND	WALL MOUNTED	GROUND ANCHORED
SCHED. C (NEW)		

NUMBER OF STALLS	GROUND ANCHORED	WALL MOUNTED
TYPE		
RESIDENTS	75 + 27	67
VISITOR	12	
	TOTAL: 151*	

* 2 ADDITIONAL VISITOR STALLS OUTSIDE. REFER TO SITE PLAN.

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS. PROVIDE SOLID BACKING WHERE NEEDED.
11. FOR BIKE AND STORAGE ROOMS, PROVIDE WALL PROTECTIONS WHERE NEEDED.

NO.	DATE	DESCRIPTION	BY
23	2023-09-21	DPV Response	
22	2023-09-12	DPV Response	
21	2023-09-06	DPV	
20	2023-09-30	F.C. Below Grade	
19	2023-11-08	Final Tender Addendum #1	
18	2023-10-21	DDP/CHAP	
17	2023-08-19	DDP/CHAP	
16	2023-08-19	SP Response	
15	2023-05-30	SP Response	
14	2023-05-28	FFI	
13	2023-03-17	FFI	
12	2021-03-04	Delegated DP	
11	2021-03-04	SP	
10	2020-12-17	Delegated DP	
9	2020-10-07	Delegated DP	
8	2020-08-17	Delegated DP	
7	2020-07-02	Delegated DP	
6	2019-07-29	Revising Revision	
5	2019-07-29	Revising Revision	
4	2019-05-24	Revising Revision	
3	2019-01-09	Revising Revision	
2	2018-10-04	Revising Revision	
1	2018-08-31	Revising Revision	

Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project
Floor Plan
Ground Level

Drawing

Scale As indicated

Project 217033

A203
Sheet

02	2023-09-12	DPV Response
21	2023-08-28	DPV
20	2023-09-30	FC Below Grade
19	2023-11-08	Final Tender Addendum #1
18	2023-10-21	DDP/CHAP
17	2023-08-19	DDP/CHAP
16	2023-08-19	SP Response
15	2023-05-30	SP Response
14	2023-05-28	FFI
13	2023-03-17	FFI
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2020-12-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Revising Revision
5	2019-05-24	Revising Revision
4	2019-04-10	Revising Revision
3	2018-10-31	Revising Revision
2	2018-08-31	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

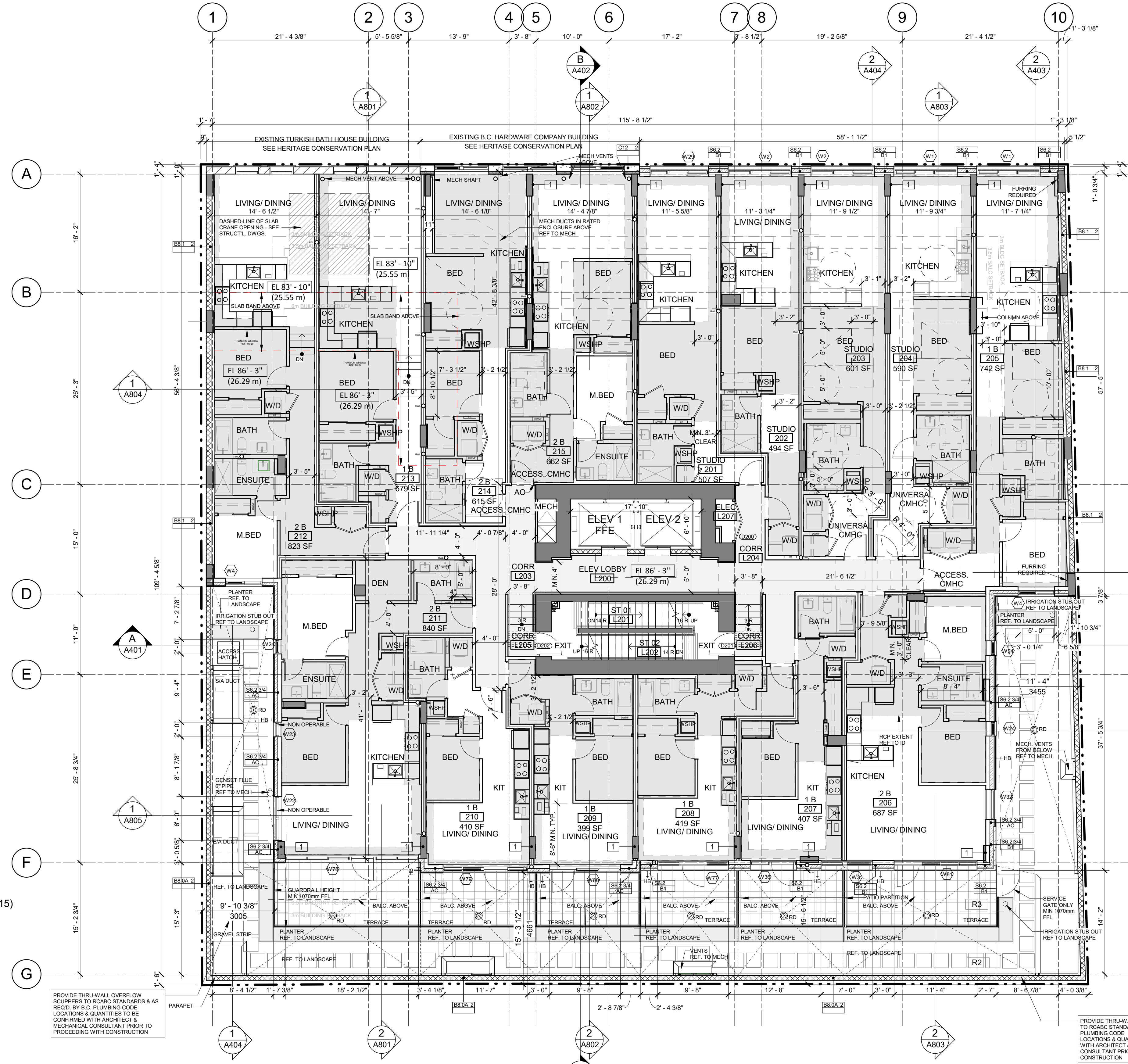
Floor Plan
Level 2

Drawing

Scale As indicated

Project 217033

A204
Sheet



LEVEL 2 FLOOR PLAN
SCALE: 1/8" = 1'-0"

LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPS ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

1 EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.

EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWS AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.

PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

CMHC ACCESSIBLE
PER CMHC ACCESSIBILITY CRITERIA BASED ON SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (Including Saanich Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004))

CMHC ADAPTABLE
PER CMHC ADAPTABILITY REQUIREMENTS

CMHC UNIVERSAL
PER CMHC UNIVERSAL DESIGN REQUIREMENTS

L 02 UNITS	
1 B	6
2 B	5
STUDIO	4
Grand total:	15

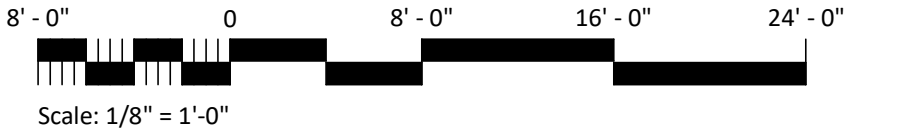
L2
CMHC UNIVERSAL - 2 UNITS (203, 204)
CMHC ACCESSIBLE - 3 UNITS (205, 214, 215)

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
11. WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
12. PROVIDE EXTRA LAYER OF 5/8" GWS TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR WSH/ ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A WALL WITH 2 LAYERS OF 5/8" GWS AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES BETWEEN THE STUDS. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.

PROVIDE THRU-WALL OVERFLOW SCUPPERS TO RCBC STANDARDS & AS REQ'D BY B.C. PLUMBING CODE LOCATIONS & QUANTITIES TO BE CONFIRMED WITH ARCHITECT & MECHANICAL CONSULTANT PRIOR TO PROCEEDING WITH CONSTRUCTION

PROVIDE THRU-WALL OVERFLOW SCUPPERS TO RCBC STANDARDS & AS REQ'D BY B.C. PLUMBING CODE LOCATIONS & QUANTITIES TO BE CONFIRMED WITH ARCHITECT & MECHANICAL CONSULTANT PRIOR TO PROCEEDING WITH CONSTRUCTION



22	2023-09-12	DPV Response
21	2023-08-28	DPV
20	2023-09-30	FC Below Grade
19	2023-11-08	Final Tender Addendum #1
18	2023-10-21	DDP/CHAP
17	2023-08-19	DDP/CHAP
16	2023-08-19	DDP/CHAP
15	2023-06-30	SP Response
14	2023-05-26	FFI
13	2023-03-17	FFI
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2020-12-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-04	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

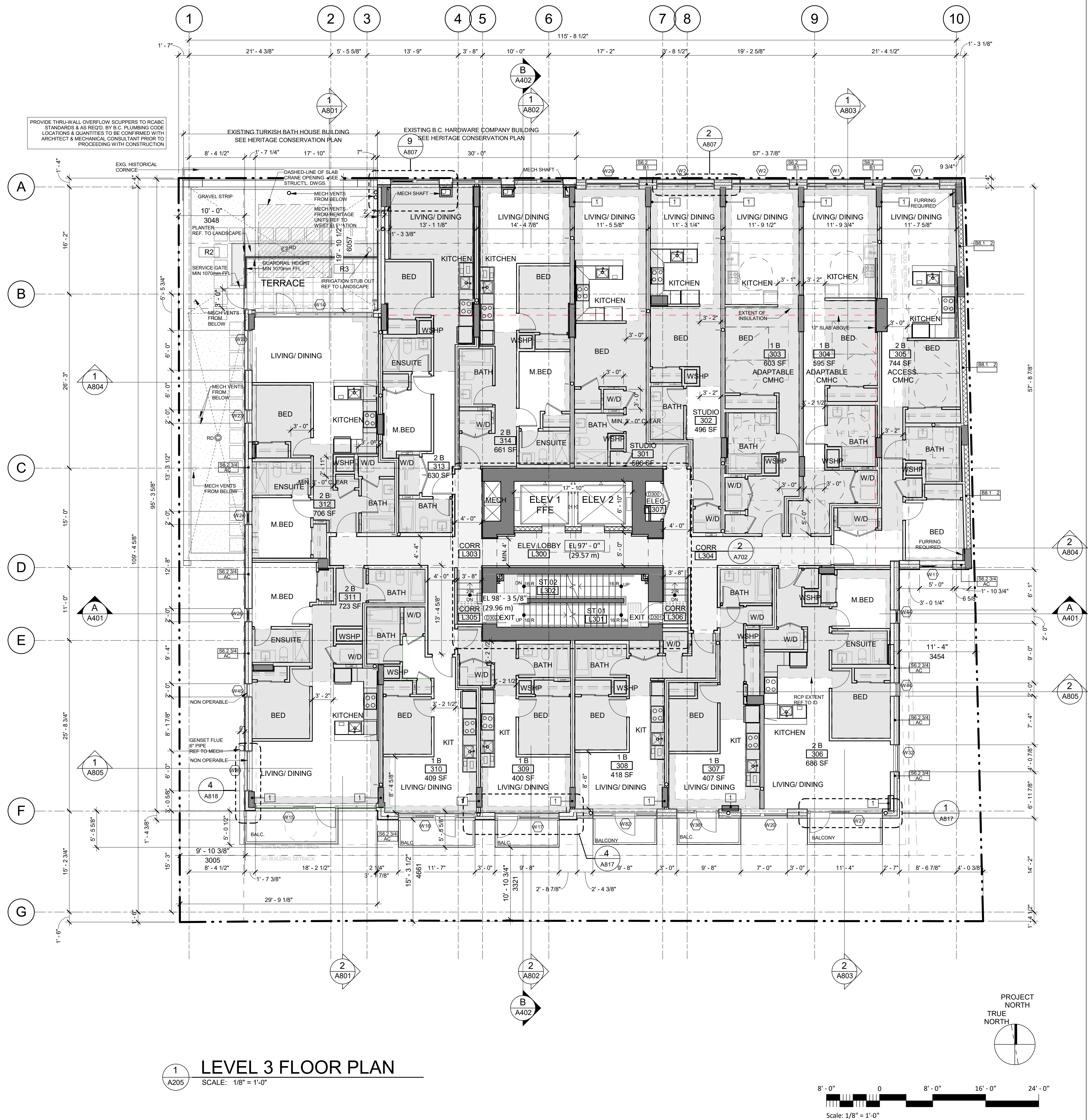
Floor Plan
Level 3

Drawing

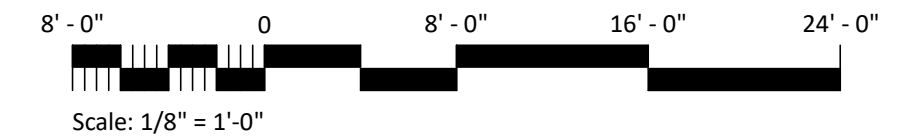
Scale As indicated

Project 217033

A205
Sheet



1 LEVEL 3 FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4 2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

- EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.
- EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.
PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

L.03 UNITS	
1 B	6
2 B	6
STUDIO	2
Grand total:	14

L3
CMHC ADAPTABLE - 2 UNITS (303, 304)
CMHC ACCESSIBLE - 1 UNIT (305)

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS. 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
11. WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
12. PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR WSH/P ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.

LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

1 EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.

EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS, TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQD F.R.R.

PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

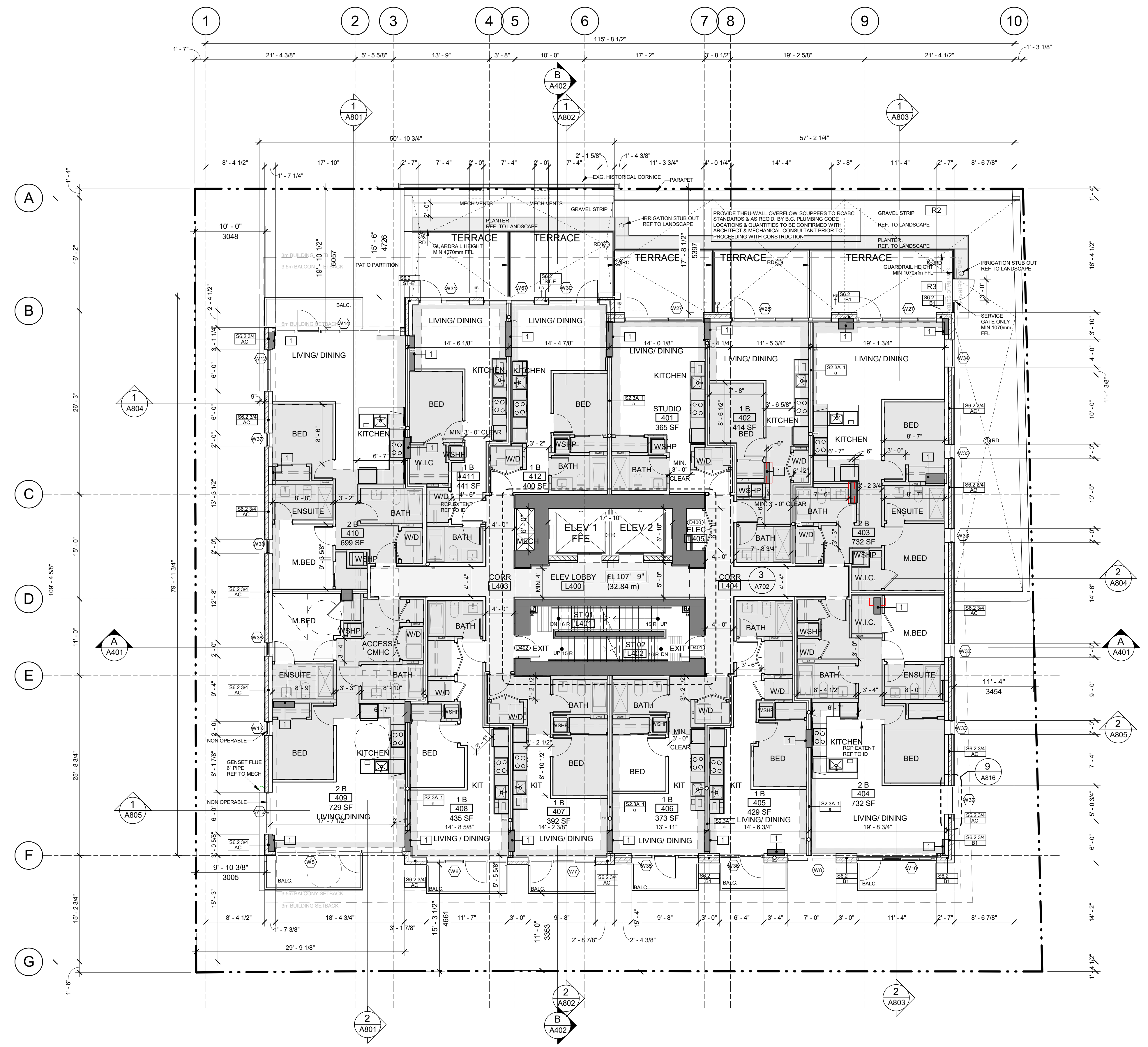
- CMHC ACCESSIBLE**
PER CMHC ACCESSIBILITY CRITERIA BASED ON SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (Including Saanich Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004))
- CMHC ADAPTABLE**
PER CMHC ADAPTABILITY REQUIREMENTS
- CMHC UNIVERSAL**
PER CMHC UNIVERSAL DESIGN REQUIREMENTS

L 04 UNITS	
1 B	7
2 B	4
STUDIO	1
Grand total:	12

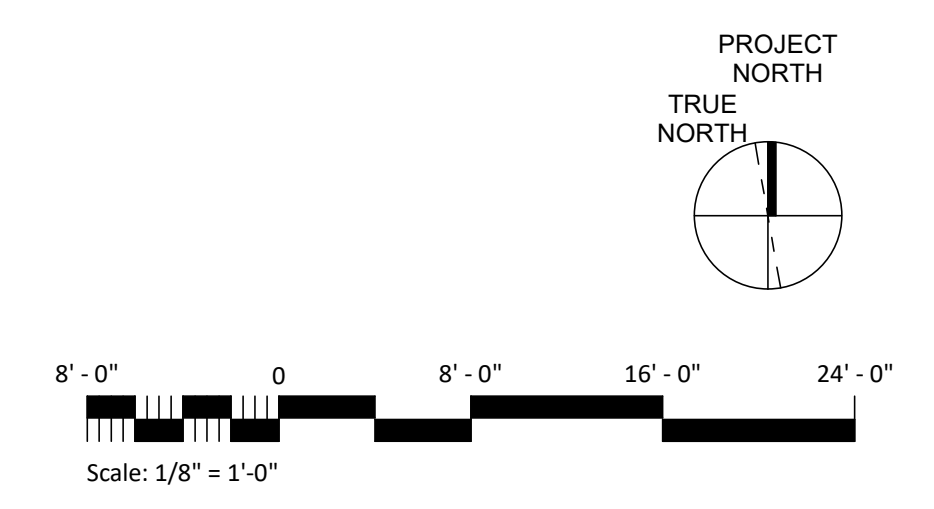
L4
CMHC ACCESSIBLE - 1 UNIT (409)

GENERAL NOTES:

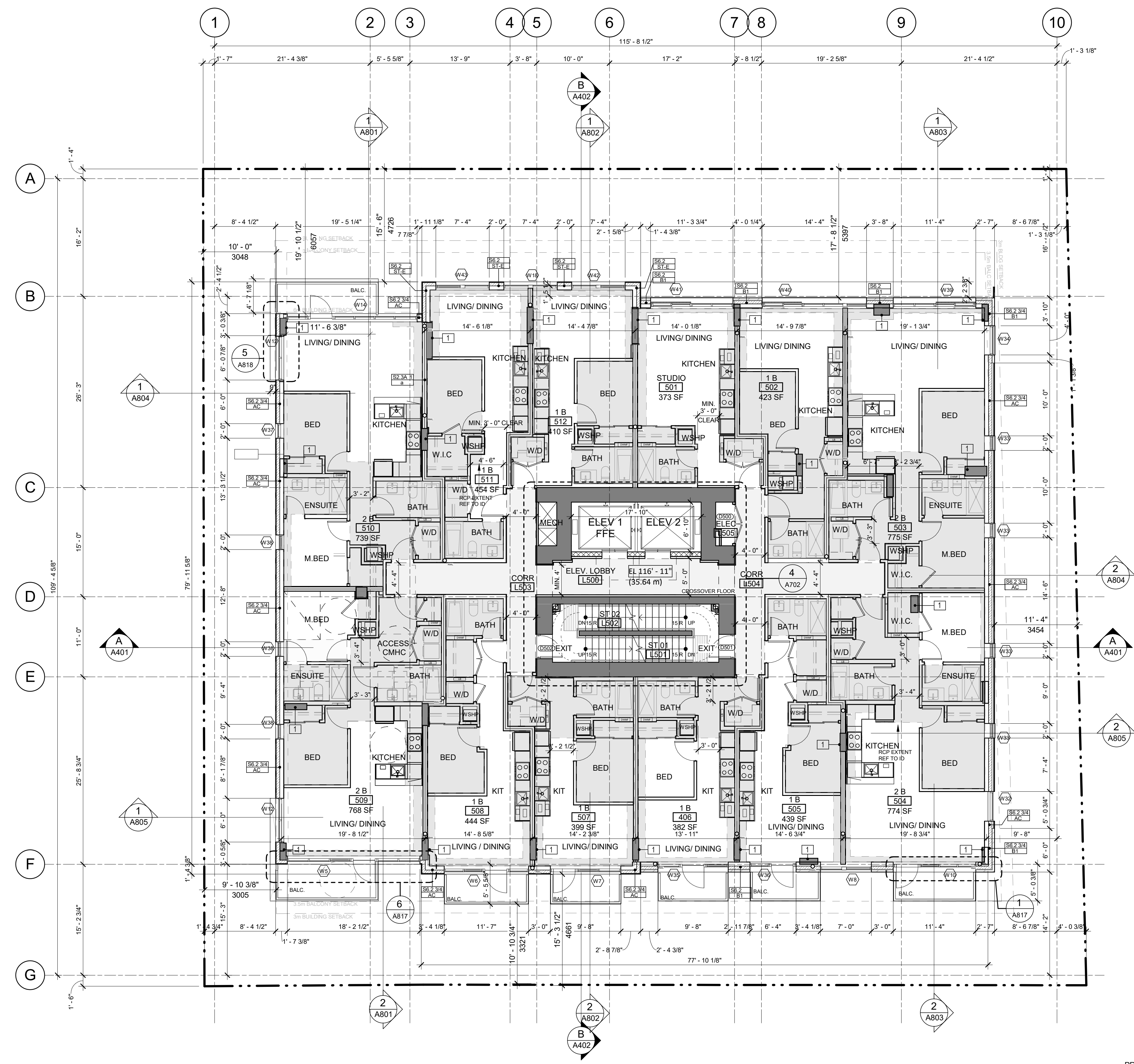
1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS. 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
11. WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
12. PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR WSHHP ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.



1 LEVEL 4 FLOOR PLAN
SCALE: 1/8" = 1'-0"



Revisions	DD MMM YYYY	
21	2023-09-12	DPV Response
20	2023-09-12	DPV
19	2023-09-30	FC Below Grade
18	2023-11-08	Final Tender Addendum #1
17	2023-10-21	DDP/CHAP
16	2023-10-21	DDP/CHAP
15	2023-09-30	SP Response
14	2023-09-30	SP Response
13	2023-09-17	Final
12	2023-09-17	Delegated DP
11	2023-09-17	SP
10	2023-09-17	Delegated DP
9	2023-09-17	Delegated DP
8	2023-09-17	Delegated DP
7	2023-09-17	Delegated DP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-04-09	Revising Revision
2	2018-10-24	Revising Revision
1	2018-08-31	Revising Revision



LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

1 EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.

EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQD F.R.R.
PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

- CMHC ACCESSIBLE**
PER CMHC ACCESSIBILITY CRITERIA BASED ON SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (Including Saanich Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004))
- CMHC ADAPTABLE**
PER CMHC ADAPTABLE REQUIREMENTS
- CMHC UNIVERSAL**
PER CMHC UNIVERSAL DESIGN REQUIREMENTS

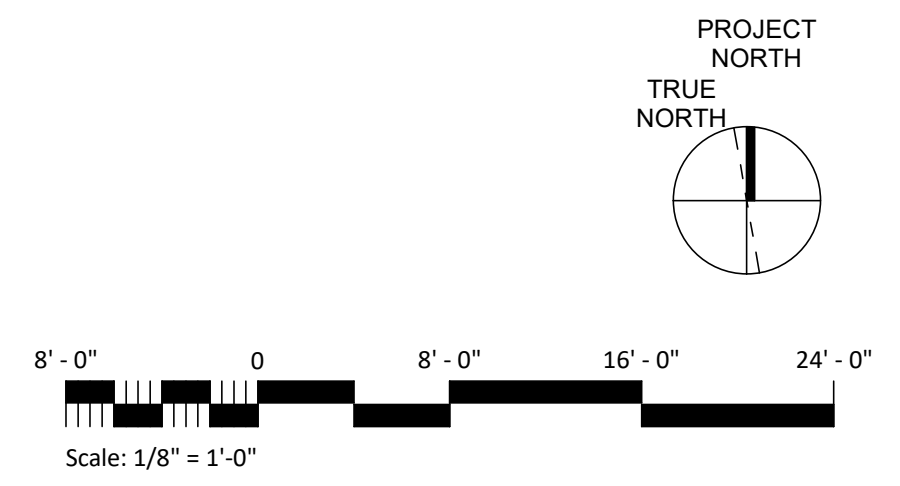
L 05 UNITS	
1 B	7
2 B	4
STUDIO	1
Grand total:	12

L5 - 7 total units: 36
L5 TO 7
CMHC ACCESSIBLE - 3 UNIT (509, 609, 709)

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS. 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
11. WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
12. PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR WSHPC ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.

1 LEVEL 5 FLOOR PLAN
SCALE: 1/8" = 1'-0"



NO.	DATE	DESCRIPTION
22	2023-09-12	DPV Response
21	2023-08-28	DPV
20	2023-09-30	FC Below Grade
19	2023-11-08	Final Tender Addendum #1
18	2023-10-21	DDP/CHAP
17	2021-08-19	DDP/CHAP
16	2021-08-19	SP Response
15	2021-05-26	SP Response
14	2021-05-26	FFI
13	2021-03-17	FFI
12	2021-03-04	Delegated DP
11	2021-03-04	SP
10	2021-03-17	Delegated DP
9	2020-10-07	Delegated DP
8	2020-08-17	Delegated DP
7	2020-07-02	Delegated DP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-01-09	Revising Revision
2	2018-10-04	Revising Revision
1	2018-08-31	Revising Revision

Revisions DD MMM YYYY

Seal
**825 Fort
Street Victoria**

825 Fort Street
Victoria, BC

Project
**Floor Plan
Level 5 to 7**

Drawing

Scale As indicated

Project 217033

A207
Sheet

27	2023-09-08	Revised progress set
26	2023-07-07	Pre-issued progress set
25	2023-08-31	Final Tender Addendum #2
24	2023-08-14	Issued for coordination
23	2023-06-16	Issued for Progress Set
22	2023-05-08	Issued for Owner's Review - Not for Construction
21	2021-11-09	Final Tender Addendum #1
20	2021-10-21	DDPH/HAAP
19	2021-08-19	DDPH/HAAP
18	2021-08-19	RF Responses
17	2021-06-30	RF Responses
16	2021-06-03	Addendum #2
15	2021-05-07	Addendum #1
14	2021-05-26	RFI
13	2021-03-17	RFI
12	2021-03-24	Delegated DP
11	2020-12-17	Delegated DP
10	2020-10-01	Delegated DP
9	2020-08-17	Delegated DP
8	2020-07-02	Delegated DP
7	2019-07-02	Reasoning Revision
6	2019-05-24	Reasoning Revision
5	2019-01-09	Reasoning Revision
4	2018-10-24	Reasoning Revision
3	2018-08-31	Reasoning Revision
2	2018-04-19	Reasoning Revision
1	2017-11-08	Reasoning Application

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

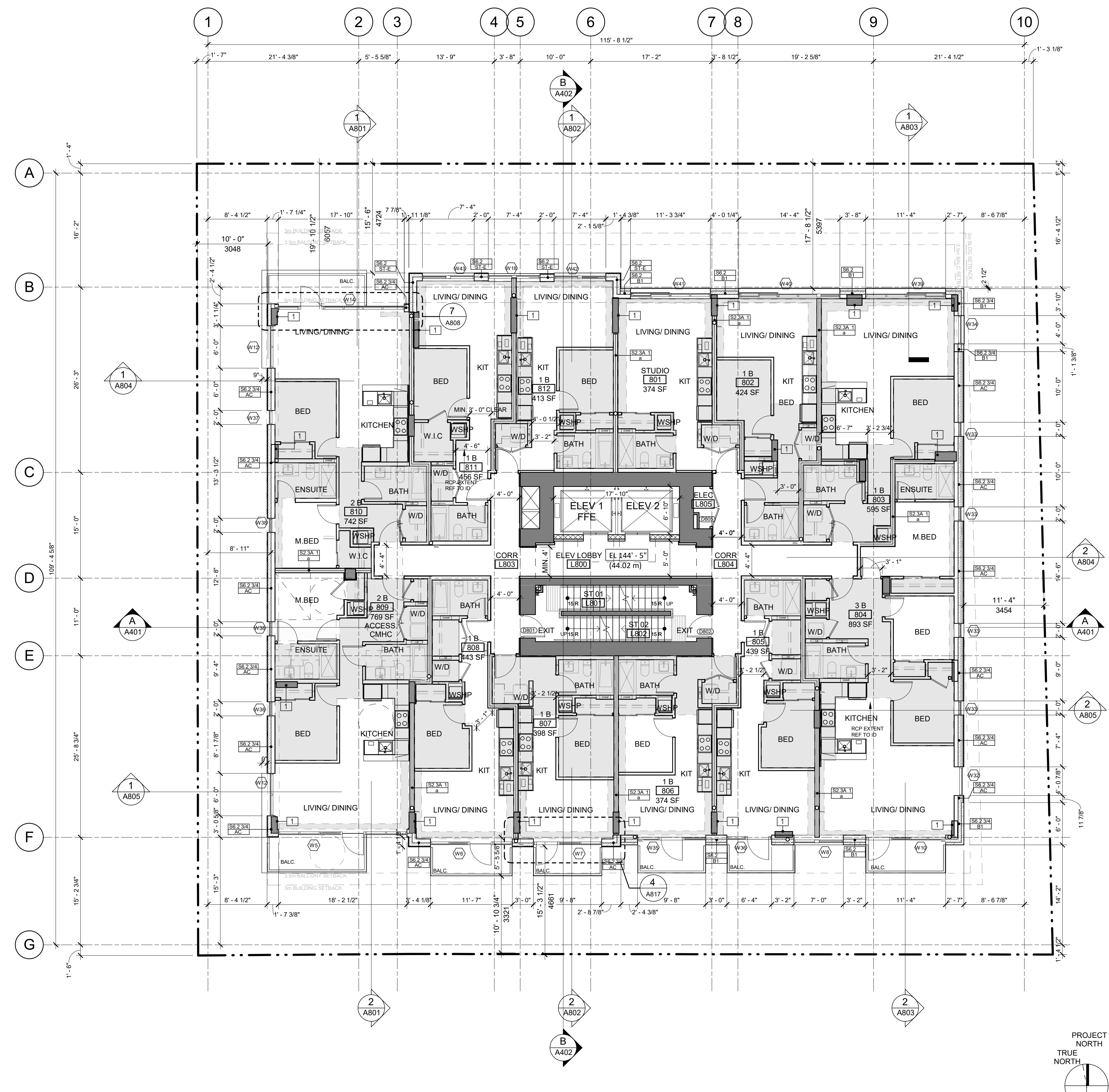
Floor Plan
Level 8 & 9

Drawing

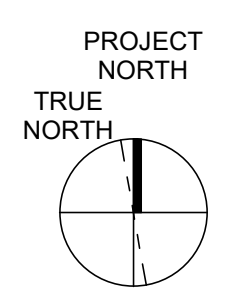
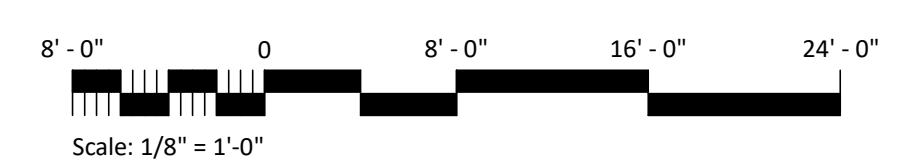
Scale As indicated

Project 217033

A208
Sheet



LEVEL 8 & 9 FLOOR PLAN
SCALE: 1/8" = 1'-0"



LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4 2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPS ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

1 EXPOSED CONCRETE COLUMNS. SEE NOTES BELOW.

EXPOSED CONCRETE COLUMNS:
FIRESTOP CAULKING TO ALL JOINTS BETWEEN GWB AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS. TYPICAL TO BOTH SIDES OF STUD FRAMING, TO MAINTAIN MIN. REQ'D F.R.R.
PROVIDE ACOUSTIC SEALANT AT ALL JOINTS BETWEEN STUD FRAMING AND EXPOSED CONCRETE @ ALL EXPOSED CONCRETE COLUMN LOCATIONS.

NOTE:

L 08 UNITS	
1 B	8
2 B	2
3 B	1
STUDIO	1
Grand total: 12	

L8 and 9 total units: 24
L8 AND 9
CMHC ACCESSIBLE - 2 UNIT (809, 909)

GENERAL NOTES:

1. REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
2. REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
3. GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
4. LEVEL ALL ENTRIES WHERE NECESSARY.
5. SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
6. PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS. 8" HIGH FOR WIDTH OF PANELS.
7. PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
8. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
9. CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
10. REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
11. WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
12. PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
13. FOR WSHIP ENCLOSURE IT IS ACOUSTICAL RECOMMENDATION TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND 1" DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES. PROVIDE 1" CLEARANCE BETWEEN HEAT PUMP, DUCTWORK, PIPING ETC. AND FRAMING/DRYWALL TYP.

LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPs ARE AS PER ID (ALL DROP LOCATIONS, DETAILS AND CLEAR HEIGHTS)

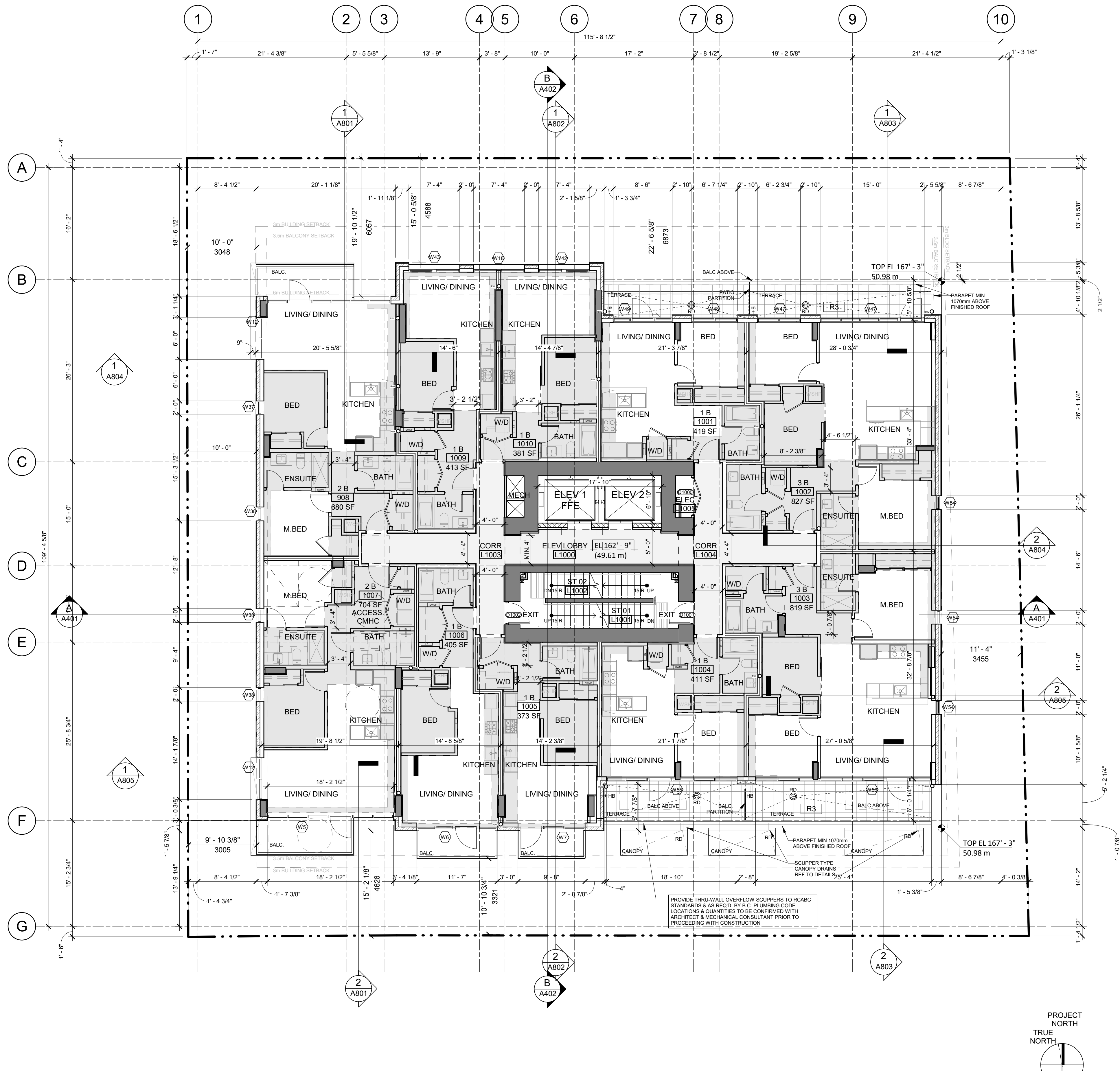
NOTE:

- ACCESSIBLE**
SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (CMHC ACCESSIBILITY CRITERIA) - CMHC MINIMUM ACCESSIBILITY
Saanch Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004)
- ADAPTABLE**
CMHC ADAPTABILITY REQUIREMENTS
- UNIVERSAL**
CMHC UNIVERSAL DESIGN

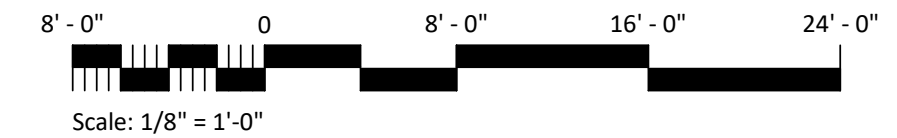
L 09 UNITS	
1 B	6
2 B	2
3 B	2
Grand total: 10	

GENERAL NOTES:

- REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
- REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
- GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
- LEVEL ALL ENTRIES WHERE NECESSARY.
- SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
- PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
- PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
- CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
- CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
- REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
- WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
- PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
- FOR WSPH ENCLOSURE IT IS RECOMMENDED TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES.



LEVEL 10 FLOOR PLAN
SCALE: 1/8" = 1'-0"



Revisions	DD MMM YYYY	
13	2023-06-08	Delegated DP
22	2023-05-08	Issued for Owner's Review - Not for Construction
21	2021-11-09	Final Tender Addendum #1
20	2021-10-21	DDP/HAAP
19	2021-08-19	DDP/HAAP
18	2021-08-19	SP Response
17	2021-06-30	SP Response
16	2021-06-03	Addendum #2
15	2021-05-07	Addendum #1
14	2021-05-26	RFI
13	2021-03-17	RFI
12	2021-03-24	Delegated DP
11	2020-12-17	Delegated DP
10	2020-10-01	Delegated DP
9	2020-08-17	Delegated DP
8	2020-07-02	Delegated DP
7	2019-07-02	Recurring Revision
6	2019-05-24	Recurring Revision
5	2019-01-09	Recurring Revision
4	2018-10-24	Recurring Revision
3	2018-08-31	Recurring Revision
2	2018-04-19	Recurring Revision
1	2017-11-08	Recurring Application

Seal
825 Fort Street Victoria

825 Fort Street
Victoria, BC

Project
**Floor Plan
Level 10**

Drawing

Scale As indicated

Project 217033

A209
Sheet

LEGEND

- 2 HR FIRE RATED ENCLOSURE H2.4.2 (REFER TO ASSEMBLY SHEET)
 - CL 1 - SPRAY THERMAL INSULATION
 - CL 2 - FOIL BACK INSULATION
 - DROP CEILING REF. TO ID RCP
 - DROP CEILING COMMON AREA REF. TO ID RCP
- NOTE: RCPS ARE AS PER ID (ALL DROP LOCATIONS DETAILS AND CLEAR HEIGHTS)

NOTE:

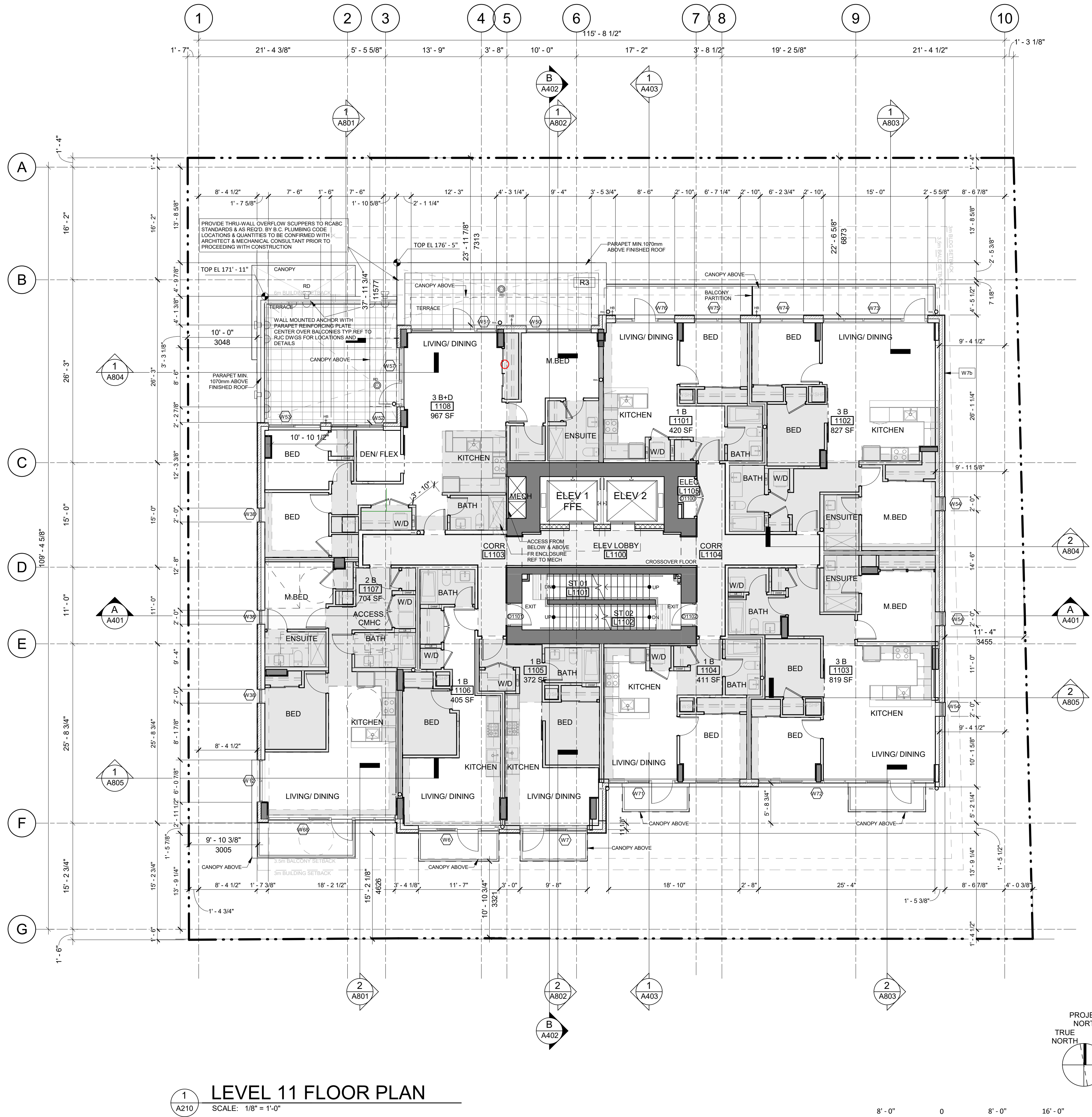
L 10 UNITS	
1 B	4
2 B	1
3 B	2
3 B+D	1
Grand total: 8	

ACCESSIBLE
SAANICH BASIC ADAPTABLE HOUSING GUIDELINES (CMHC ACCESSIBILITY CRITERIA) - CMHC MINIMUM ACCESSIBILITY
Saanch Mandatory Building Standards and Voluntary Design Guidelines for Adaptable Housing (June 1, 2004)

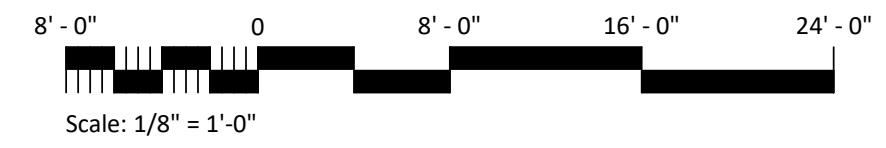
ADAPTABLE
CMHC ADAPTABILITY REQUIREMENTS

UNIVERSAL
CMHC UNIVERSAL DESIGN

- GENERAL NOTES:
- REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
 - REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
 - GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
 - LEVEL ALL ENTRIES WHERE NECESSARY.
 - SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
 - PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
 - PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
 - CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
 - CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
 - REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
 - WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
 - PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
 - FOR WSPH ENCLOSURE IT IS RECOMMENDED TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES.



1 LEVEL 11 FLOOR PLAN
SCALE: 1/8" = 1'-0"



Revisions	DD MMM YYYY	
13	2023-06-08	Delegated DP
22	2023-05-08	Issued for Owner's Review - Not for Construction
21	2021-11-09	Final Tender Addendum #1
20	2021-10-21	DDP/ID/HP
19	2021-08-19	DDP/ID/HP
18	2021-08-19	SP Response
17	2021-08-30	SP Response
16	2021-08-03	Addendum #2
15	2021-05-07	Addendum #1
14	2021-05-26	RFI
13	2021-03-17	RFI
12	2021-03-24	Delegated DP
11	2020-12-17	Delegated DP
10	2020-10-01	Delegated DP
9	2020-08-17	Delegated DP
8	2020-07-02	Delegated DP
7	2019-07-02	Recording Revision
6	2019-05-24	Recording Revision
5	2019-01-09	Recording Revision
4	2018-10-24	Recording Revision
3	2018-08-31	Recording Revision
2	2018-04-19	Recording Revision
1	2017-11-08	Recording Application

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project
Floor Plan
Level 11

Drawing

Scale As indicated

Project 217033

A210
Sheet

23	2023-06-08	Delegated DP
22	2023-05-28	Issued for Owner's Review - Not for Construction
21	2021-11-09	Post-Tender Addendum #1
20	2021-10-21	DDP/PH/HP
19	2021-08-19	DDP/PH/HP
18	2021-08-19	SP Response
17	2021-06-30	SP Response
16	2021-06-11	Interim Addendum #3
15	2021-05-26	RFI
14	2021-03-17	RFIP
13	2020-03-04	Delegated DP
12	2020-12-17	Delegated DP
11	2020-10-07	Delegated DP
10	2020-09-17	Delegated DP
9	2020-07-02	Delegated DP
8	2019-07-29	Receiving Revision
7	2019-07-05	Receiving Revision
6	2019-05-24	Receiving Revision
5	2019-01-04	Receiving Revision
4	2018-10-24	Receiving Revision
3	2018-08-31	Receiving Revision
2	2018-04-19	Receiving Revision
1	2017-11-08	Receiving Application

Revisions	DD MMM YYYY
-----------	-------------

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

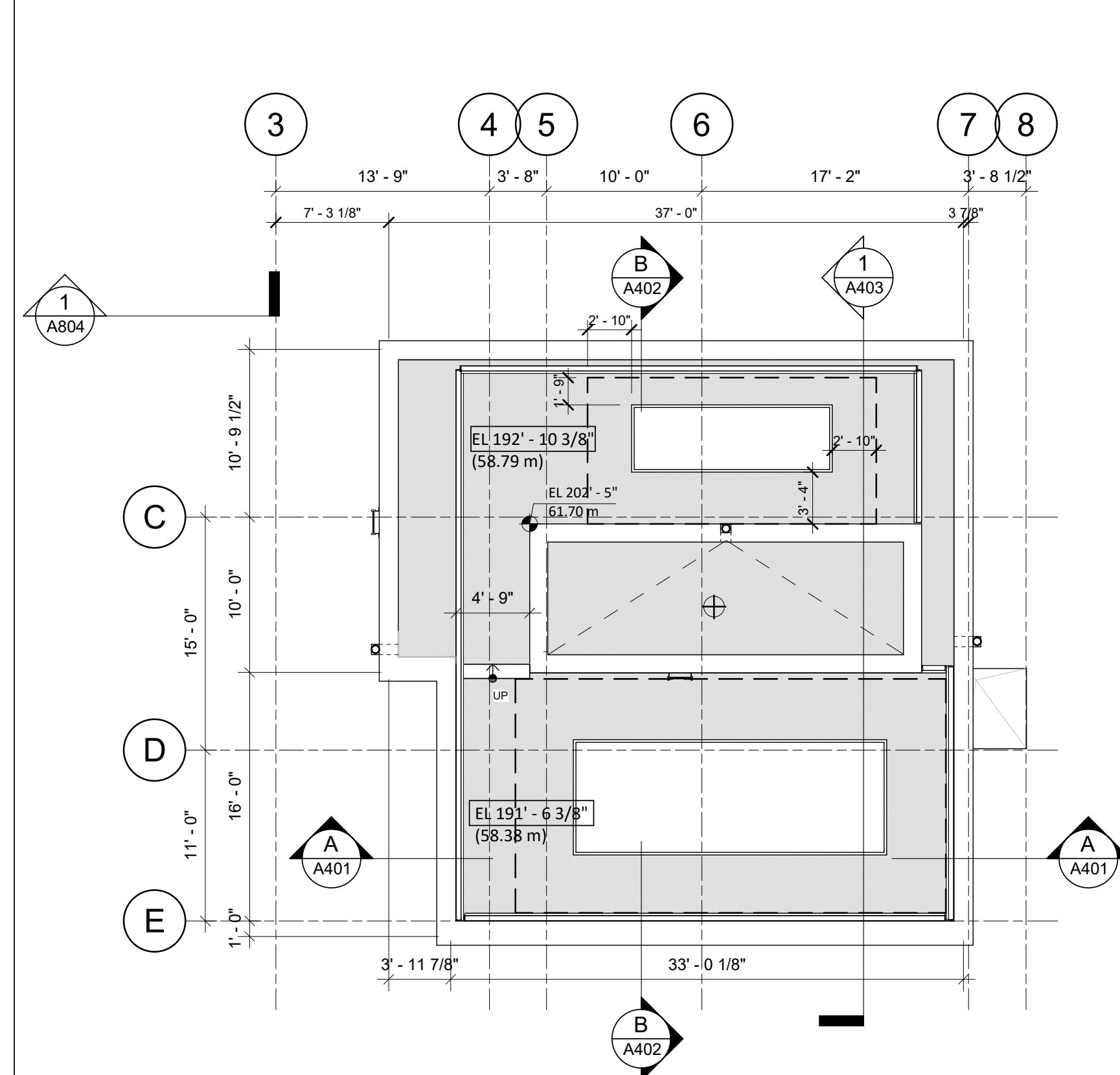
Roof Plan

Drawing

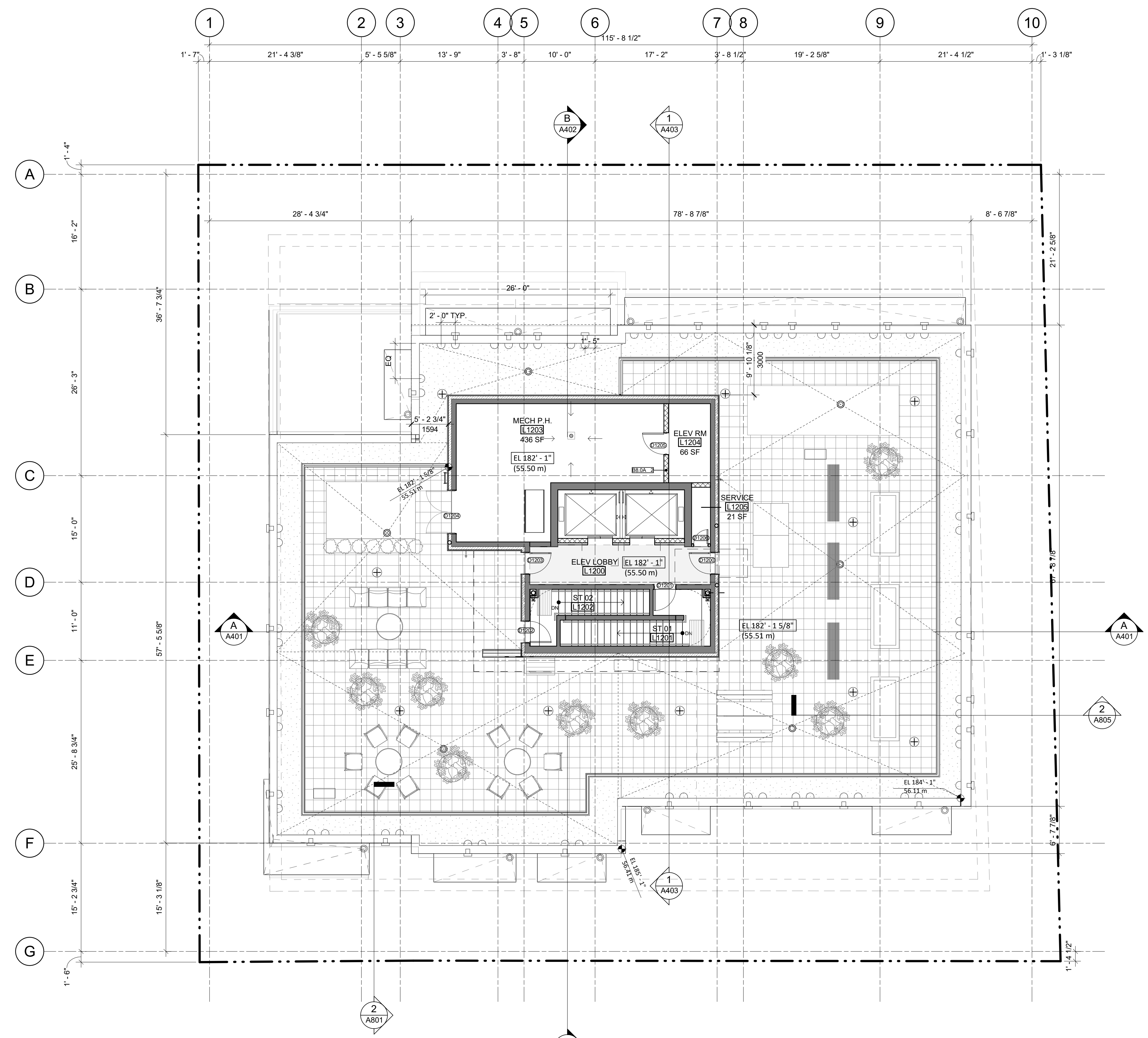
Scale 1/8" = 1'-0"

Project 217033

A211
Sheet

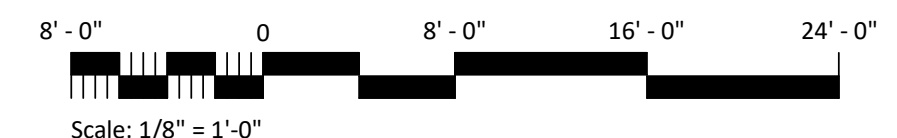


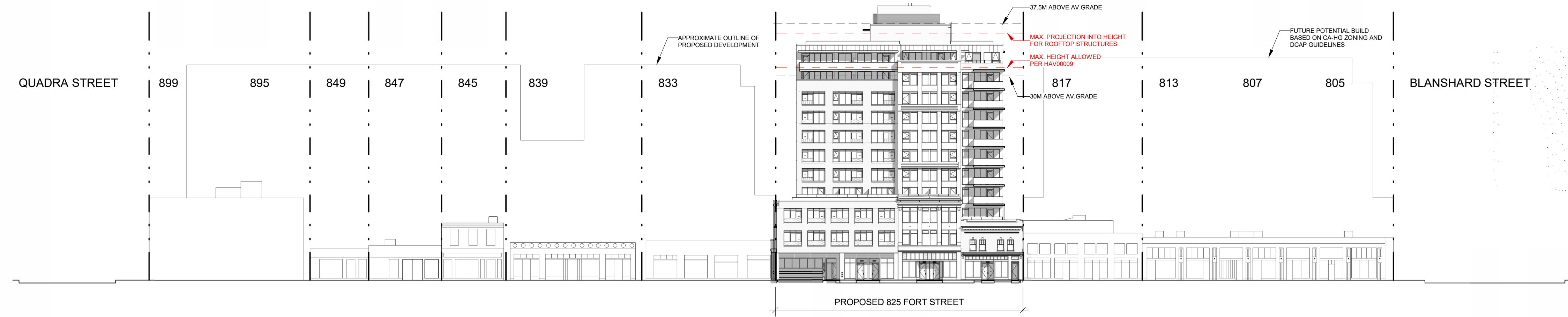
2 ELEV. ROOF PLAN
SCALE: 1/8" = 1'-0"



1 MAIN ROOF PLAN
SCALE: 1/8" = 1'-0"

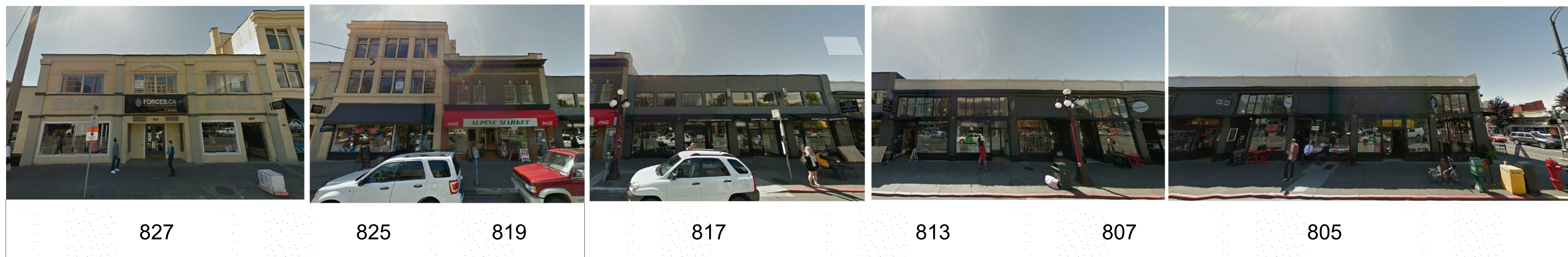
- GENERAL NOTES:
- REFER TO INTERIOR DESIGN DRAWINGS FOR FINISHES AND REFLECTED CEILING PLAN AT ELEVATOR LOBBIES, PUBLIC CORRIDORS AND UNITS.
 - REFER TO INTERIOR DRAWINGS FOR BATHROOM AND KITCHEN LAYOUTS, APPLIANCES AND FIXTURES.
 - GLASS DOORS TO BE TEMPERED GLASS. SIDELIGHTS ADJACENT TO GLASS DOORS ON GROUND LEVEL TO BE TEMPERED GLASS. DOORS/GLASS IN FS WITH SPRINKLER PROTECTED GLAZING (SPG) AS PER CODE.
 - LEVEL ALL ENTRIES WHERE NECESSARY.
 - SLOPE AND SEAL AROUND PARKING LEVEL COLUMNS AND WALLS. REFER TO DETAILS.
 - PROVIDE PLYWOOD BACKING BEHIND ELEC. AND COMM. PANELS, 8" HIGH FOR WIDTH OF PANELS.
 - PREPARE SITE MOCK UPS OF ALL GUARDS FOR REVIEW BY BUILDING INSPECTOR.
 - CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF ALL PLUMBING, DRAIN, SANITARY AND SPRINKLER LINES WITH CONSULTANT PRIOR TO INSTALLATION.
 - CONTRACTOR AND SUB TRADE TO REVIEW ALIGNMENT OF HVAC AND EXHAUST DUCTING WITH CONSULTANT PRIOR TO INSTALLATION.
 - REFER TO MECH. AND ELEC. DRAWINGS FOR COORDINATION OF FIXTURE LOCATIONS.
 - WHERE CONCRETE COLUMNS ARE EXPOSED IN FIRE-RATED PARTITION WALLS, SUCH AS PARTY WALLS BETWEEN SUITES, BED STUDS IN CONTINUOUS BEAD OF ACOUSTIC SEALANT FULL HEIGHT AND PROVIDE FIRESTOPPING AT JUNCTION BETWEEN CONCRETE COLUMN AND GYPSUM WALLBOARD TO RATING AS REQUIRED BY CODE COMPLIANCE DRAWINGS.
 - PROVIDE EXTRA LAYER OF 5/8" GWB TO PARTY WALL (& EXTEND TO NEAREST CORNER) WHERE A KITCHEN OR BATHROOM IS BESIDE A NEIGHBOURING BEDROOM FOR ACOUSTICS.
 - FOR WSPH ENCLOSURE IT IS RECOMMENDED TO USE A FURRING WALL WITH 2 LAYERS OF 5/8" GWB AND DUCT LINER ADHERED TO THE BACK OF THE DRYWALL WITHIN THE FRAMING CAVITIES.





1 NORTH ELEVATION - FORT ST 800 BLOCK
SCALE: 1/32" = 1'-0"

**FORT STREET IMAGES :
EXISTING STREETScape**



EXISTING DEVELOPMENTS AT 819 - 827 FORT STREET

15	2023-06-08	Delegated D/P
14	2021-11-09	Post-Tender Addendum #1
13	2021-10-21	DDP/CDP/ADP
12	2021-08-19	DDP/CDP/ADP
11	2021-03-24	Delegated D/P
10	2020-12-17	Delegated D/P
9	2020-10-07	Delegated D/P
8	2020-08-17	Delegated D/P
7	2019-07-29	Revising Revision
6	2019-05-24	Revising Revision
5	2019-01-09	Revising Revision
4	2018-10-24	Revising Revision
3	2018-08-31	Revising Revision
2	2018-04-19	Revising Revision
1	2017-11-08	Revising Application

Revisions DD MMM YYYY

Seal
**825 Fort
Street Victoria**

825 Fort Street
Victoria, BC
Project
**Streetscape
Elevation**

Drawing
Scale 1/32" = 1'-0"
Project 217033

A301
Sheet

EXTERIOR FINISHES LEGEND	
BA	BALCONY/ROOF CLEAR GLASS (OPAQUE AS NOTED)
CA	CONCRETE CANOPY
CB	CONCRETE BLOCK
MF	PRE-FINISHED METAL FLASHING
SQ	OVERHEAD PARKING GATE
ST-E	EIFS STUCCO
B1	BRICK VENEER WHITE - RUNNING BOND
C1	CONCRETE
C2	PRECAST CONCRETE SILLS
G1	GLAZING
H1	EXISTING HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	ALUMINUM PRIVACY SCREEN W/ TEMP. DIF. WHITE GLASS
M2	METAL LOUVER CHARCOAL
M3	HIGH DENSITY ROUND HOLE PERFORATED METAL PANEL
M4	MULLIONS CHARCOAL
M5	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
M6	METAL SPANDREL PANEL
P1	METAL PANEL - SMOOTH FINISH
P2	METAL PANEL - STRIPED FINISH

HERITAGE NOTES:

ALL HERITAGE OPENINGS - DIMS TO BE VERIFIED ON SITE
STOREFRONT RESTORATION BY OTHERS - REFER TO HERITAGE
CONSERVATION PLANS PREPARED BY HERITAGE CONSULTANT

TYP. STOREFRONTS TO BE RESTORED IN WOOD W/ ORIGINAL
TRANSOMS. TBC ON SITE

COLOUR SCHEME AS PER HERITAGE CONSERVATION PLAN

HERITAGE FACADES RESTORATION BY OTHERS - REF TO
HERITAGE CONSERVATION PLANS PREPARED BY HERITAGE
CONSULTANT

HERITAGE CONSERVATION PLANS, PREPARED BY DONALD
LUXTON & ASSOCIATES INC.
- B.C. HARDWARE COMPANY BUILDING - 825 FORT STREET
CONSERVATION PLAN
DECEMBER, 2017
- TURKISH BATH HOUSE - 819-823 FORT STREET
CONSERVATION PLAN
MAY 2021

CONTRACTOR TO COORDINATE CURRENT ARCHITECTURAL
DETAILS WITH EXISTING CONDITIONS DURING CONSTRUCTION,
AND INFORM ARCHITECT OF ANY AND ALL DISCREPANCIES
BETWEEN THE TENDER DOCUMENTS AND ACTUAL SITE
CONDITIONS AS THEY DEVELOP - DO NOT PROCEED WITH THE
PORTION OF WORK AFFECTED BY SUCH DISCREPANCIES UNTIL
DIRECTED IN WRITING BY THE ARCHITECT

HERITAGE CONSULTANT NOTE:
ALL SUBMITTALS AND SHOP DRAWINGS ASSOCIATED WITH
RESTORATION WORK TO BE REVIEWED BY HERITAGE
CONSULTANT PRIOR TO COMMENCEMENT OF WORK

NO.	DATE	DESCRIPTION
23	2023-09-20	DPV Response
22	2023-09-12	DPV Response
21	2023-09-08	DPV
20	2023-09-30	IFC Below Grade
19	2023-11-09	Final Tender Addendum #1
18	2023-10-21	DDP/CDP/IFC
17	2021-08-19	DDP/CDP/IFC
16	2021-08-19	IFC Response
15	2021-05-30	IFC Response
14	2021-05-28	IFC
13	2021-03-17	IFC
12	2021-03-04	Delegated CIP
11	2021-03-04	SP
10	2020-12-17	Delegated CIP
9	2020-10-07	Delegated CIP
8	2020-07-02	Delegated CIP
7	2020-07-02	Delegated CIP
6	2019-07-29	Revising Revision
5	2019-07-29	Revising Revision
4	2019-05-24	Revising Revision
3	2019-04-09	Revising Revision
2	2018-10-04	Revising Revision
1	2018-08-31	Revising Revision

Revisions	DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project
North Building
Elevation

Drawing

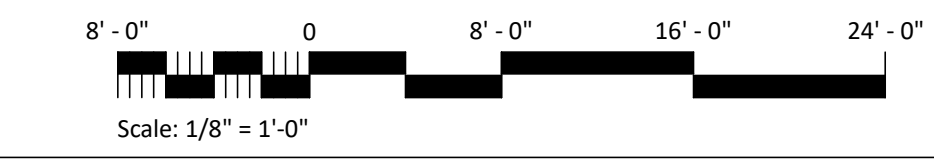
Scale As indicated

Project 217033

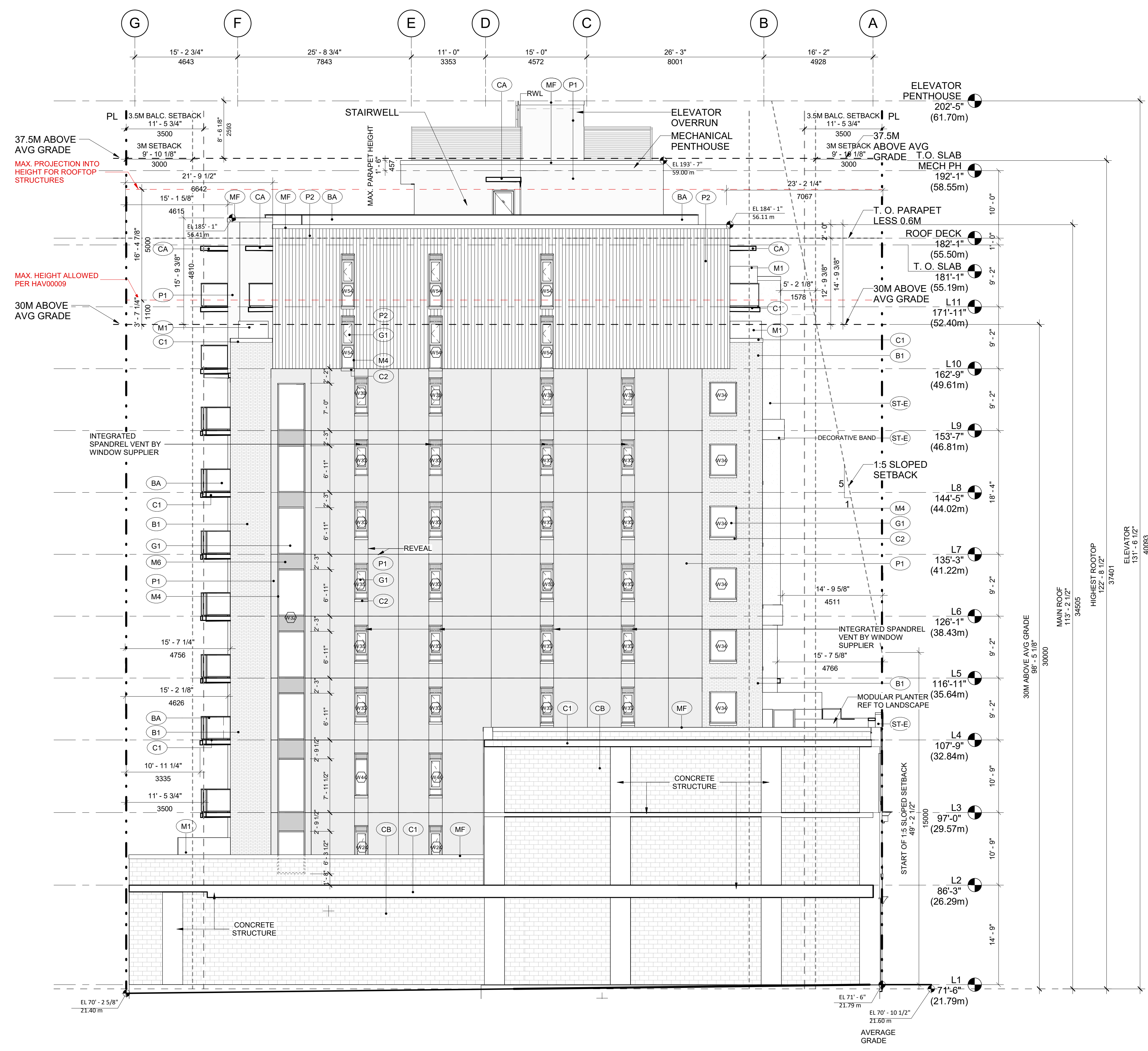
A301
Sheet



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EXTERIOR FINISHES LEGEND	
BA	BALCONY/ROOF CLEAR GLASS (OPAQUE AS NOTED)
CA	CONCRETE CANOPY
CB	CONCRETE BLOCK
MF	PRE-FINISHED METAL FLASHING
SQ	OVERHEAD PARKING GATE
ST-E	EIFS STUCCO
B1	BRICK VENEER WHITE- RUNNING BOND
C1	CONCRETE
C2	PRECAST CONCRETE SILLS
G1	GLAZING
H1	EXISTING HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	ALUMINUM PRIVACY SCREEN W/ TEMP. DIF. WHITE GLASS
M2	METAL LOUVER CHARCOAL
M3	HIGH DENSITY ROUND HOLE PERFORATED METAL PANEL
M4	MULLIONS CHARCOAL
M5	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
M6	METAL SPANDREL PANEL
P1	METAL PANEL - SMOOTH FINISH
P2	METAL PANEL - STRIPED FINISH



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

Rev	Date	Description
1	2023-06-08	Delegated DP
2	2023-05-08	Issued for Owner's Review - Not for Construction
3	2023-05-08	Final Tender Addendum #1
4	2021-11-09	DP/PA/HP
5	2021-10-21	DP/PA/HP
6	2021-08-19	DP/PA/HP
7	2021-08-19	RF Response
8	2021-08-19	RF Response
9	2021-08-19	RF Response
10	2021-08-19	RF Response
11	2021-08-19	RF Response
12	2021-08-19	RF Response
13	2021-08-19	RF Response
14	2021-08-19	RF Response
15	2021-08-19	RF Response
16	2021-08-19	RF Response
17	2021-08-19	RF Response
18	2021-08-19	RF Response
19	2021-08-19	RF Response
20	2021-08-19	RF Response
21	2021-08-19	RF Response
22	2021-08-19	RF Response
23	2021-08-19	RF Response
24	2021-08-19	RF Response
25	2021-08-19	RF Response
26	2021-08-19	RF Response
27	2021-08-19	RF Response
28	2021-08-19	RF Response
29	2021-08-19	RF Response
30	2021-08-19	RF Response
31	2021-08-19	RF Response
32	2021-08-19	RF Response
33	2021-08-19	RF Response
34	2021-08-19	RF Response
35	2021-08-19	RF Response
36	2021-08-19	RF Response
37	2021-08-19	RF Response
38	2021-08-19	RF Response
39	2021-08-19	RF Response
40	2021-08-19	RF Response
41	2021-08-19	RF Response
42	2021-08-19	RF Response
43	2021-08-19	RF Response
44	2021-08-19	RF Response
45	2021-08-19	RF Response
46	2021-08-19	RF Response
47	2021-08-19	RF Response
48	2021-08-19	RF Response
49	2021-08-19	RF Response
50	2021-08-19	RF Response

Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

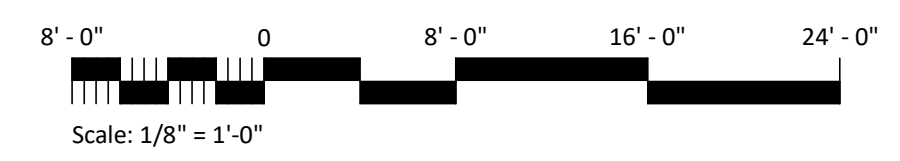
825 Fort Street
Victoria, BC

Project
East Building
Elevation

Drawing

Scale As indicated

Project 217033



A303
Sheet

EXTERIOR FINISHES LEGEND	
BA	BALCONY/ROOF CLEAR GLASS (OPAQUE AS NOTED)
CA	CONCRETE CANOPY
CB	CONCRETE BLOCK
MF	PRE-FINISHED METAL FLASHING
SQ	OVERHEAD PARKING GATE
ST-E	EIFS STUCCO
B1	BRICK VENEER WHITE- RUNNING BOND
C1	CONCRETE
C2	PRECAST CONCRETE SILLS
G1	GLAZING
H1	EXISTING HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	ALUMINUM PRIVACY SCREEN W/ TEMP. DIF. WHITE GLASS
M2	METAL LOUVER CHARCOAL
M3	HIGH DENSITY ROUND HOLE PERFORATED METAL PANEL
M4	MULLIONS CHARCOAL
M5	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
M6	METAL SPANDREL PANEL
P1	METAL PANEL - SMOOTH FINISH
P2	METAL PANEL - STRIPED FINISH

Rev	Date	Description
1	2023-06-08	Delegated OIP
2	2023-05-08	Issued for Owner's Review - Not for Construction
3	2023-05-08	Final Tender Addendum #1
4	2023-05-08	DDP/PH/HP
5	2023-05-08	DDP/PH/HP
6	2023-05-08	DDP/PH/HP
7	2023-05-08	DDP/PH/HP
8	2023-05-08	DDP/PH/HP
9	2023-05-08	DDP/PH/HP
10	2023-05-08	DDP/PH/HP
11	2023-05-08	DDP/PH/HP
12	2023-05-08	DDP/PH/HP
13	2023-05-08	DDP/PH/HP
14	2023-05-08	DDP/PH/HP
15	2023-05-08	DDP/PH/HP
16	2023-05-08	DDP/PH/HP
17	2023-05-08	DDP/PH/HP
18	2023-05-08	DDP/PH/HP
19	2023-05-08	DDP/PH/HP
20	2023-05-08	DDP/PH/HP
21	2023-05-08	DDP/PH/HP
22	2023-05-08	DDP/PH/HP
23	2023-05-08	DDP/PH/HP
24	2023-05-08	DDP/PH/HP
25	2023-05-08	DDP/PH/HP
26	2023-05-08	DDP/PH/HP
27	2023-05-08	DDP/PH/HP
28	2023-05-08	DDP/PH/HP
29	2023-05-08	DDP/PH/HP
30	2023-05-08	DDP/PH/HP
31	2023-05-08	DDP/PH/HP
32	2023-05-08	DDP/PH/HP
33	2023-05-08	DDP/PH/HP
34	2023-05-08	DDP/PH/HP
35	2023-05-08	DDP/PH/HP
36	2023-05-08	DDP/PH/HP
37	2023-05-08	DDP/PH/HP
38	2023-05-08	DDP/PH/HP
39	2023-05-08	DDP/PH/HP
40	2023-05-08	DDP/PH/HP
41	2023-05-08	DDP/PH/HP
42	2023-05-08	DDP/PH/HP
43	2023-05-08	DDP/PH/HP
44	2023-05-08	DDP/PH/HP
45	2023-05-08	DDP/PH/HP
46	2023-05-08	DDP/PH/HP
47	2023-05-08	DDP/PH/HP
48	2023-05-08	DDP/PH/HP
49	2023-05-08	DDP/PH/HP
50	2023-05-08	DDP/PH/HP

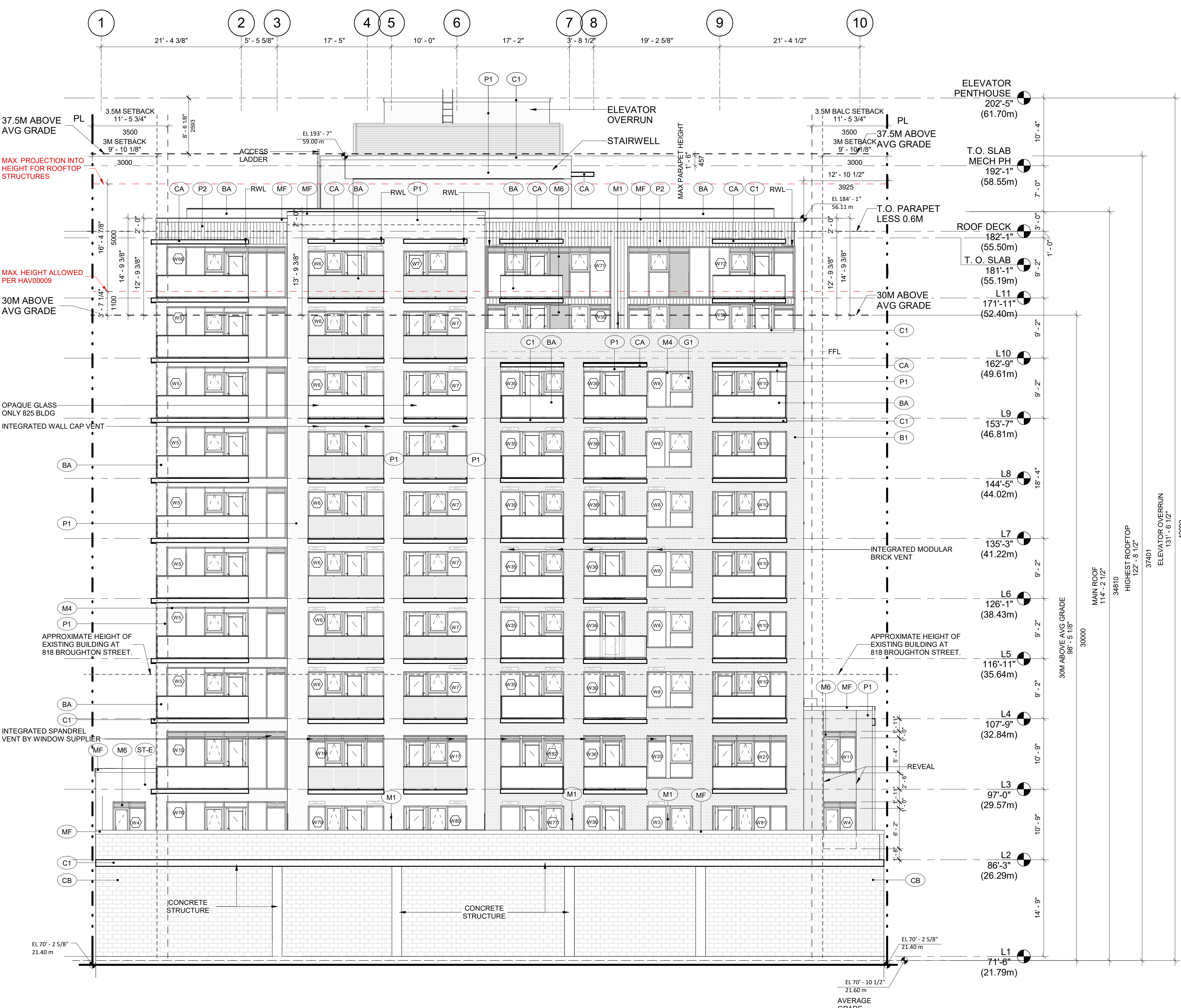
Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC
Project
South Building
Elevation

Drawing
Scale As indicated
Project 217033

A304
Sheet

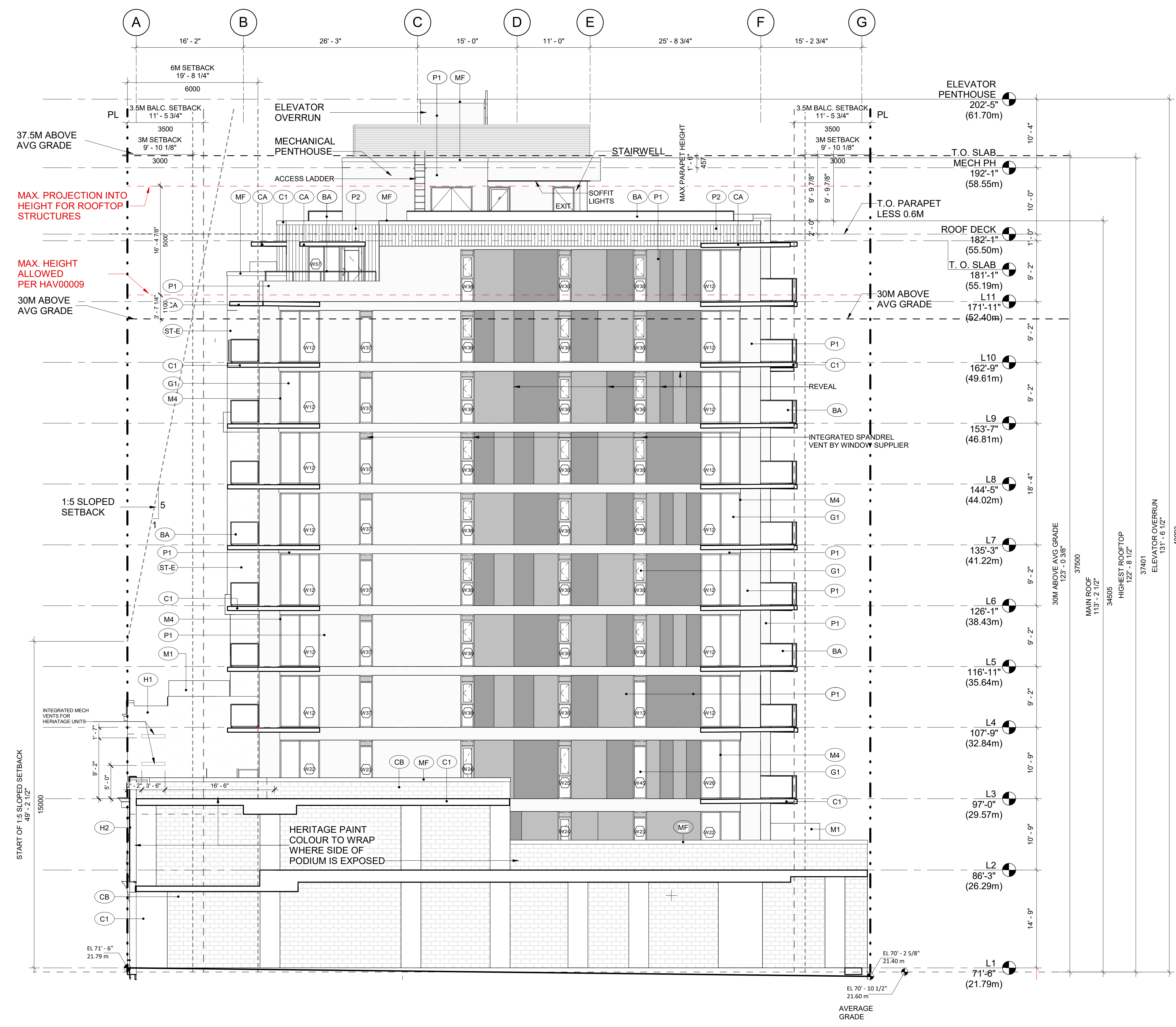


1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EXTERIOR FINISHES LEGEND	
BA	BALCONY/ROOF CLEAR GLASS (OPAQUE AS NOTED)
CA	CONCRETE CANOPY
CB	CONCRETE BLOCK
MF	PRE-FINISHED METAL FLASHING
SQ	OVERHEAD PARKING GATE
ST-E	EIFS STUCCO
B1	BRICK VENEER WHITE- RUNNING BOND
C1	CONCRETE
C2	PRECAST CONCRETE SILLS
G1	GLAZING
H1	EXISTING HISTORICAL FACADE
H2	EXISTING BRICK HISTORICAL FACADE
H3	PARGED HISTORICAL BRICK
M1	ALUMINUM PRIVACY SCREEN W/ TEMP. DIF. WHITE GLASS
M2	METAL LOUVER CHARCOAL
M3	HIGH DENSITY ROUND HOLE PERFORATED METAL PANEL
M4	MULLIONS CHARCOAL
M5	MULLIONS COMOX GREEN (819 HERITAGE FACADE ONLY)
M6	METAL SPANDREL PANEL
P1	METAL PANEL - SMOOTH FINISH
P2	METAL PANEL - STRIPED FINISH

NOTE: OPERABLE WINDOWS IN ALL BEDROOMS WHERE POSSIBLE DUE TO REQUIRED CLEARANCE FROM GENSET EXHAUST - TBC WITH MECHANICAL DWGS.



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
24	2023-06-08	Delegated D/P
23	2023-05-08	Revised for Owner's Review - Not for Construction
22	2021-11-20	Prop-Tender Addendum #1
21	2021-10-21	DDP/PH/APP
20	2021-08-19	DDP/PH/APP
19	2021-08-19	SP Response
18	2021-05-20	SP Response
17	2021-05-20	Addendum #2
16	2021-05-28	RFI
15	2021-03-17	FBP
14	2021-03-24	Delegated D/P
13	2020-12-17	Delegated D/P
12	2020-10-07	Delegated D/P
11	2020-08-17	Delegated D/P
10	2020-07-02	Delegated D/P
9	2019-07-29	Recurring Revision
8	2019-07-29	Recurring Revision
7	2019-06-24	Recurring Revision
6	2019-01-29	Recurring Revision
5	2019-10-24	Recurring Revision
4	2019-08-21	Recurring Revision
3	2018-04-24	Recurring Revision
2	2018-04-19	Recurring Revision
1	2017-11-08	Recurring Application

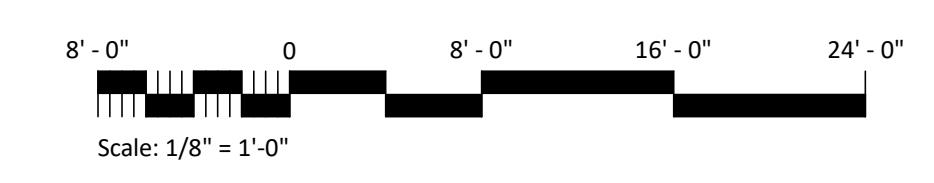
Revisions DD MMM YYYY

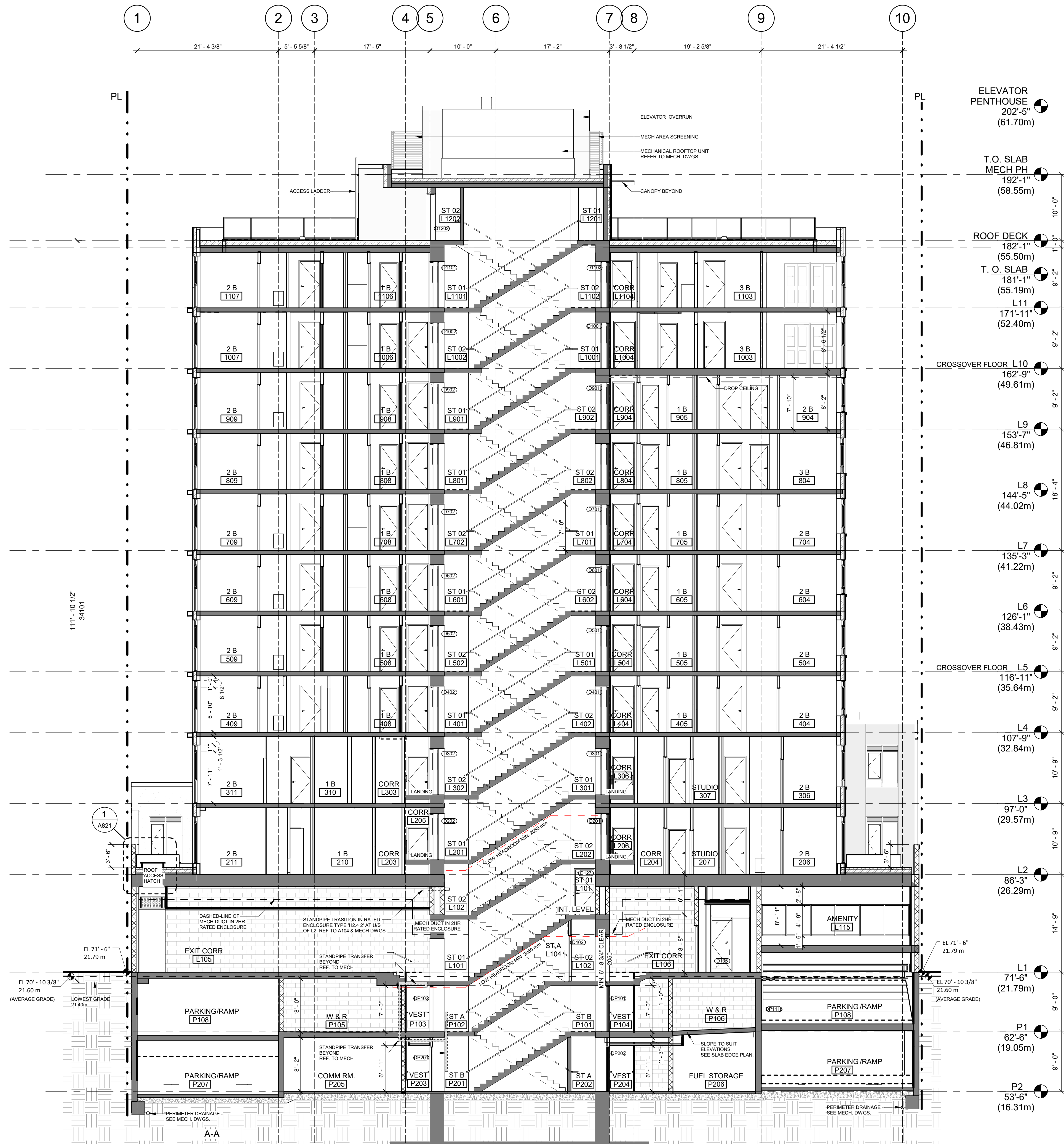
Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC
Project
West Building
Elevation

Drawing
Scale As indicated
Project 217033

A305
Sheet





22	2023-06-08	Delegated DP
21	2023-05-08	Issued for Owner's Review - Not for Construction
20	2022-09-30	IFC Below Grade
19	2021-11-03	Final Tender Addendum #1
18	2021-05-21	DDP/PH/HP
17	2021-08-19	DDP/PH/HP
16	2021-08-19	BP Response
15	2021-05-26	BP Response
14	2021-05-26	IFT
13	2021-03-17	IFB
12	2021-03-24	Delegated DP
11	2020-12-17	Delegated DP
10	2020-10-07	Delegated DP
9	2020-08-17	Delegated DP
8	2020-07-02	Delegated DP
7	2019-07-09	Receiving Revision
6	2019-05-24	Receiving Revision
5	2019-01-09	Receiving Revision
4	2018-10-24	Receiving Revision
3	2018-08-31	Receiving Revision
2	2018-04-19	Receiving Revision
1	2017-11-08	Receiving Application

Revisions DD MMM YYYY

Seal
825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project
Building
Section

Drawing

Scale 1/8" = 1'-0"

Project 217033

A401
Sheet

A Building Section A-A
A201 SCALE: 1/8" = 1'-0"

23	2023-08-08	Delegated DP
22	2023-05-08	Issued for Owner's Review - Not for Construction
21	2022-09-30	IFC Below Grade
20	2021-11-09	Post-Tender Addendum #1
19	2021-10-01	LOPC/IFC
18	2021-08-19	LOPC/IFC
17	2021-08-19	RF Response
16	2021-08-09	RF Response
15	2021-05-26	RF
14	2021-03-17	RF
13	2021-03-08	Delegated DP
12	2020-12-17	Delegated DP
11	2020-10-07	Delegated DP
10	2020-09-17	Delegated DP
9	2020-07-02	Delegated DP
8	2019-07-29	Revising Revision
7	2019-07-05	Revising Revision
6	2019-05-24	Revising Revision
5	2019-01-09	Revising Revision
4	2018-10-24	Revising Revision
3	2018-08-31	Revising Revision
2	2018-04-19	Revising Revision
1	2017-11-08	Revising Application

Revisions DD MMM YYYY

Seal

825 Fort
Street Victoria

825 Fort Street
Victoria, BC

Project

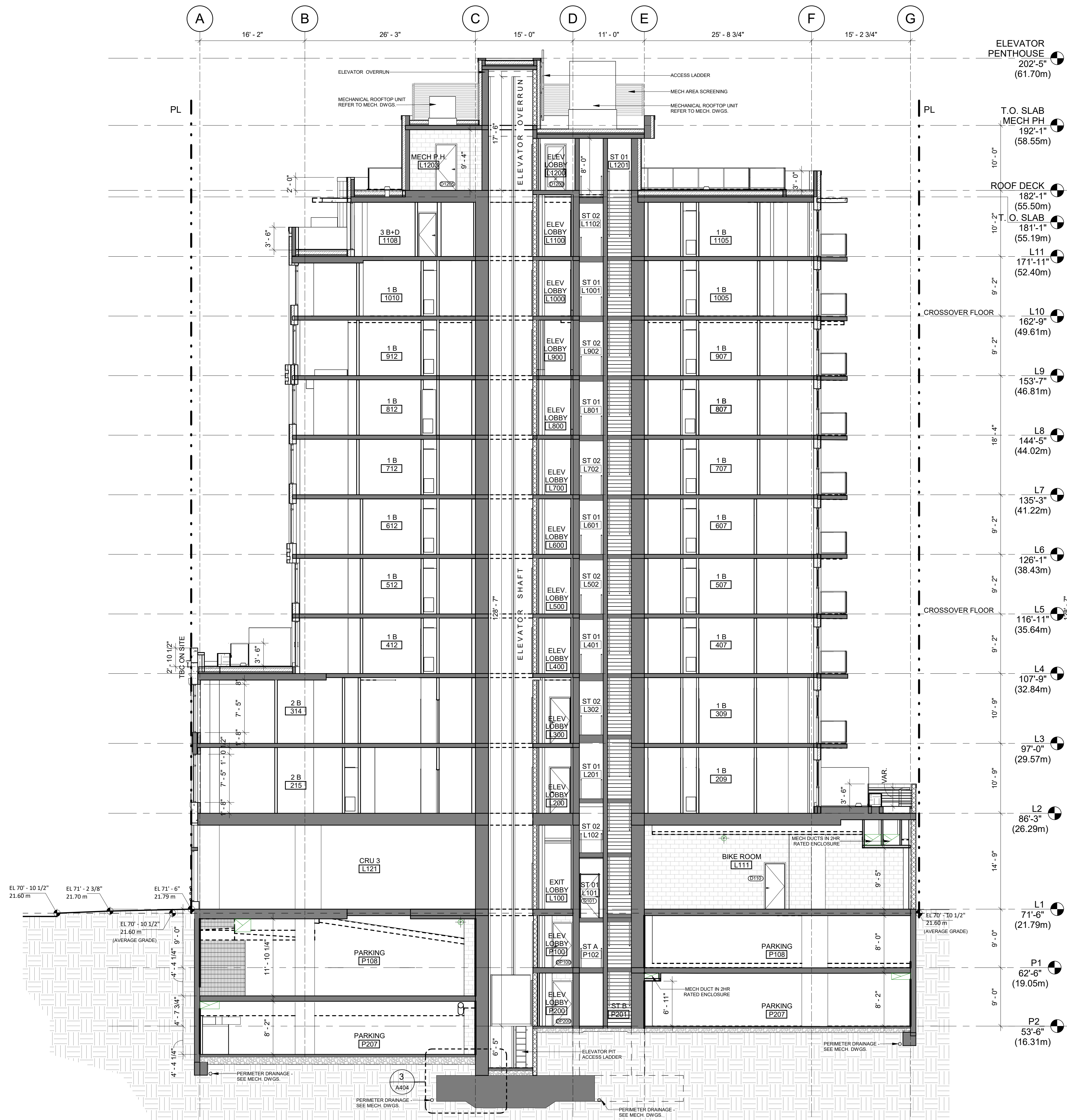
Building
Section

Drawing

Scale 1/8" = 1'-0"

Project 217033

A402
Sheet



B Building Section B-B
A201 SCALE: 1/8" = 1'-0"

ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

GENERAL

ALL WORK, INCLUDING: PLANNING, DESIGN, INSTALLATION AND MAINTENANCE SHALL BE EXECUTED TO THE CANADIAN LANDSCAPE STANDARD, INDUSTRY REQUIREMENTS, NATIONAL STANDARDS, CODES AND REGULATIONS RECOGNIZED AS ACCEPTABLE BY THE CNLA, THE CSLA, NATIONAL MASTER SPECIFICATION OR OTHER APPLICABLE TRADE ASSOCIATIONS.

THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO STARTING WORK TO VERIFY THAT ALL SURFACES ARE PROPERLY PREPARED AND GRADED. UPON DISCOVERY, ANY DISCREPANCIES SHALL BE REPORTED TO THE AUTHORITY. CONTRACTOR TO ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUB-GRADES PRIOR TO THE WORK.

NO LANDSCAPE WORK SHALL BE CARRIED OUT IN AREAS OR OVER SURFACES THAT HAVE NOT BEEN PROPERLY PREPARED AND GRADED, AND THAT DUE TO CLIMATE WOULD BE AT RISK OF UNNECESSARY DISTURBANCE.

PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

IRRIGATION

THE IRRIGATION INDUSTRY ASSOCIATION HAS DEVELOPED THE STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. CNLA AND CSLA SUPPORT THESE STANDARDS. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR.

ALL PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM E.G. RAINFOURD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSEBIB LOCATION.

AN IRRIGATION SYSTEM MUST APPLY A CONSISTENT, UNIFORM, MEASURABLE AMOUNT OF WATER TO THE LANDSCAPE OVER A PERIOD OF TIME TO PROMOTE DEEP ROOT ZONE DEVELOPMENT.

GROWING MEDIUM

GROWING MEDIA SHALL BE SUBSTANTIALLY FREE OF PLANTS OR THEIR ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS AND THEIR REPRODUCTIVE PARTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, ICE, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEUS MATERIALS THAT DETRACT FROM THE DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

WHERE IMPORTED GROWING MEDIUM IS TO BE USED, THE CONTRACTOR SHALL TEST, OR HAVE THE SOIL SUPPLIER TEST, THE PROPOSED SOIL AND PROVIDE IT TO LANDSCAPE ARCHITECT 3 WEEKS PRIOR TO DELIVERY ON-SITE.

FAILURE TO TEST AND PROVIDE APPROPRIATE DOCUMENTATION OF TEST RESULTS MAY BE CONSIDERED GROUNDS FOR REJECTION OF A PROPOSED GROWING MEDIUM AND MAY RESULT IN THE REMOVAL OF REJECTED MATERIAL AT THE CONTRACTOR'S EXPENSE.

GROWING MEDIA SHALL MEET THE NUTRIENT LEVELS AS SET OUT IN SECTION 6.2.7, GROWING MEDIUM NUTRIENTS. GROWING MEDIA SHOULD BE FOR LEVEL 1 "WELL-GROOMED" AREAS - TABLE T-6.3.5.1, AND CONFORM TO TABLE T-6.3.5.2, PROPERTIES OF GROWING MEDIA FOR LEVEL 1 "WELL-GROOMED" AREAS.

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-6.3.5.5, MINIMUM DEPTHS OF GROWING MEDIA.

LAWNS/ SOD

CLASS 1 AREA LAWNS WITH LEVEL 1 MAINTENANCE, UNLESS OTHERWISE SPECIFIED APPROVAL OF SITE PREPARATION SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF PLACEMENT OF SOD. SOD TO BE NO. 1 PREMIUM OR NO. 2 STANDARD AND SUITED TO ITS REGIONAL REQUIREMENTS AND ITS INTENDED USE.

PLANTS & MULCH

THE REQUIREMENTS OF THE CANADIAN STANDARDS FOR NURSERY STOCK SHALL APPLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT PLANT MATERIALS DELIVERED TO THE SITE COMPLY WITH THE CONTRACT DOCUMENTS. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S PRIOR WRITTEN APPROVAL.

ROOTBALLS AND GROWING MEDIUM IN CONTAINERS SHALL BE FREE OF INVASIVE AND NOXIOUS PLANTS.

NURSERY GROWN PLANTS SHALL, AS A MINIMUM, COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION, CANADIAN STANDARDS FOR NURSERY STOCK, AND SECTION 12, CONTAINER GROWN PLANTS, WITH RESPECT TO SIZING, GRADING AND QUALITY.

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR SHALL VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANT MATERIAL SHALL BE IRRIGATED IMMEDIATELY AFTER PLANTING TO THE DEPTH OF THEIR ROOT SYSTEMS.

MULCHING MATERIALS SHALL BE SUBSTANTIALLY FREE OF INVASIVE AND NOXIOUS SEEDS AND REPRODUCTIVE PARTS, SOIL, STONES, SALTS OR OTHER HARMFUL CHEMICALS, OR OTHER EXTRANEUS MATTER THAT WOULD PROHIBIT SEED GERMINATION OR THE HEALTHY DEVELOPMENT OF PLANT MATERIAL.

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC DARK COMPOSTED BARK.

GREENROOFS

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-11.1, MINIMUM GROWING MEDIUM DEPTHS AFTER SETTLEMENT FOR ON-SLAB APPLICATIONS, INCLUDING ROOF DECKS AND INTERIOR BEDS

GROWING MEDIA SHOULD BE SPECIFIED BY A QUALIFIED SPECIALIST WITH EXPERIENCE IN FORMULATING MEDIA FOR LANDSCAPES OVER STRUCTURES. GROWING MEDIA FOR ROOF SLABS AND CONTAINED PLANTERS SHALL BE DESIGNED TO AVOID PLUGGING OR CAKING AT THE FILTER CLOTH, AND SHOULD THEREFORE BE LOW IN CONTENT OF FINES (SILTS AND CLAYS).

MAINTENANCE

SITE TO BE MAINTAINED TO LEVEL 1 "WELL GROOMED" AS SET OUT IN TABLE T-14.1, MAINTENANCE LEVELS - LEVEL 1 "WELL-GROOMED"

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS. AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD. CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

MUNICIPAL AND LOCAL AUTHORITIES' LEGISLATION AND REQUIREMENTS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL LEGISLATION AND REQUIREMENTS, WHICH MAY RESTRICT OR PROHIBIT CERTAIN ACTIVITIES SUCH AS APPLICATION OF PESTICIDES, HERBICIDES, AND INSECTICIDES.

*ALL REFERENCES REFER TO CSLA/ CNLA STANDARDS (CURRENT ED.)

general notes

This drawing is an instrument of service, remains the property of considered design inc. and may not be reproduced without the permission of considered design inc.

All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
REZONING/ DP	10.04.2018
REZONING/ DP	19.04.2018
REZONING/ DP RESUBMISSION	16.05.2019
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT	04.06.2021
BUILDING PERMIT	22.06.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BC HYDRO	17.05.2022
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

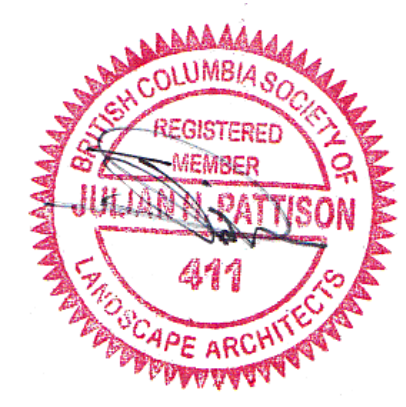
revision	date
A	19.04.2018
B	16.05.2019
C	13.11.2020
D	18.12.2020
E	04.03.2021
F	07.05.2021
G	04.06.2021
H	22.06.2021
I	24.06.2021
J	30.06.2021
K	19.08.2021
L	15.11.2021
M	17.05.2022
N	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
GROUND FLOOR LANDSCAPE GENERAL ARRANGEMENT

seal



scale
AS SHOWN

drawn
JP

checked
JP

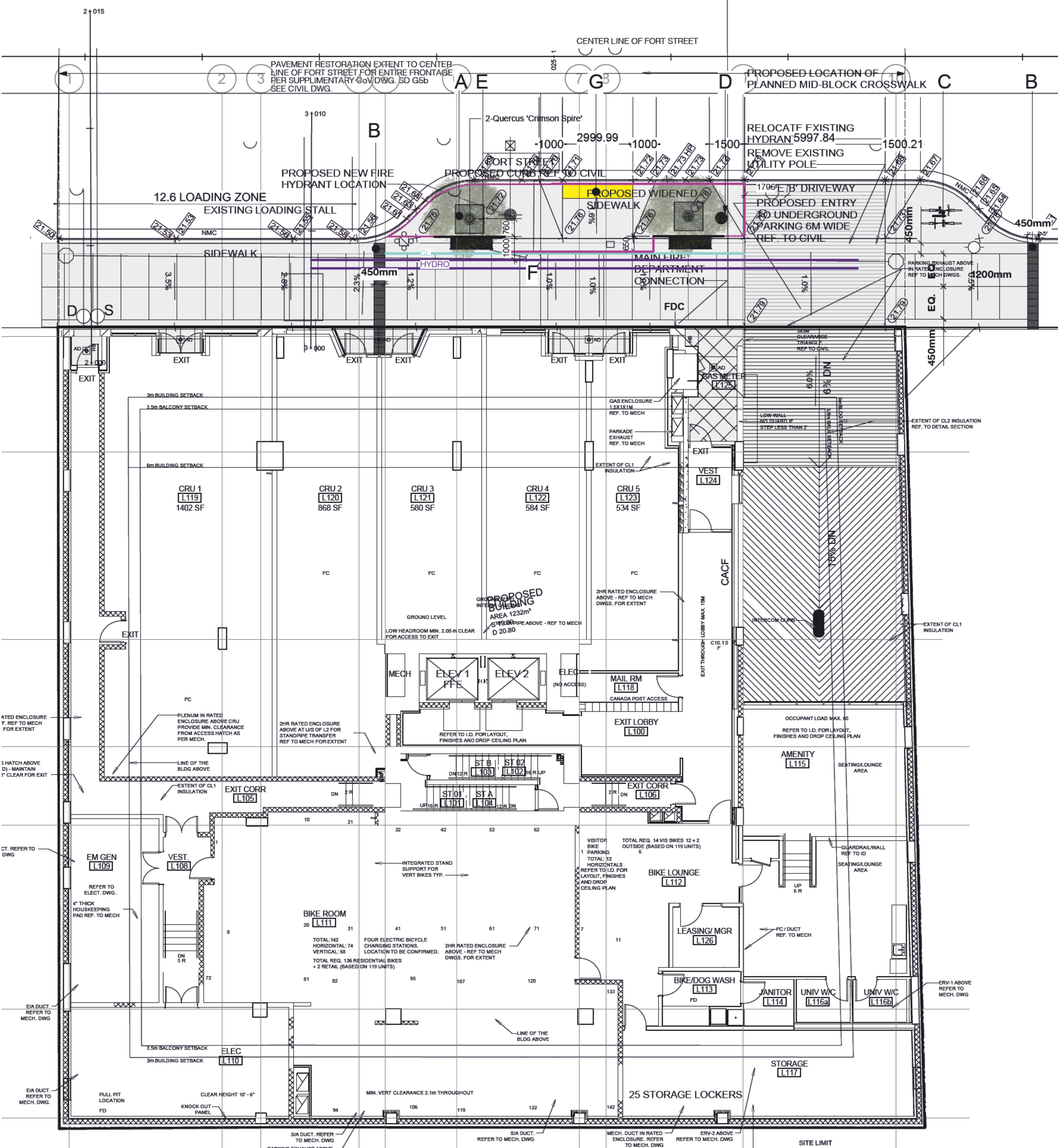
reference
2017.09.02 L1_L1E

number

L1_L1

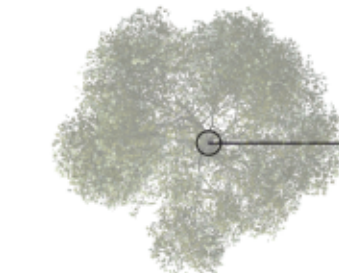
NB: TO BE READ IN CONJUNCTION WITH CIVIL DRAWING

- 1 L1-L6 A STREET TREE AND GRILLE AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019. STREET TREES IN BUMP OUT DUE TO UNDERGROUND UTILITY CONFLICTS. INSTALLATION OF MUNICIPAL TREES MUST INCLUDE SP48 TREE GRATES AS PER THE DEVELOPMENT SERVICING BYLAW NO. 12-042 AS WELL AS TREE GUARDS.
 - 2 L1-L6 B 450mm WIDE BASALT BAND AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019. BASALT FLAME TEXTURED 350X450X80MM
 - C #1 DOWNTOWN 'U' BIKE RACK AS PER PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019. (2 BIKES)
 - D TYPE A TRASH BIN AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019
 - E TYPE C #2 BENCHES AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019
 - F CONCRETE PAVING/ TROWEL LINES AND CONTROL JOINTS AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETScape STANDARDS ED. JAN 2019
 - G TACTILE SURFACE WALKING INDICATOR. MANUFACTURER TYPE AND INSTALLATION DETAILS TO BE PROVIDED BY COV PRIOR TO CONSTRUCTION
- EXTENT OF ROOT BARRIER FOR BC HYDRO 3M LENGHT/ 600MM BELOW HYDRO BANK.
- EXTENT OF STRUCTURAL SOIL 12M3 PER TREE



1 L1_L1 LANDSCAPE - GROUND FLOOR GENERAL ARRANGEMENT 1:100 METRIC

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
QCS	2	Quercus 'Crimson Spire'	Columnar Oak	6-8cm Cal B&B	Straight Trunk/ Full Crown



general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.

All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT RESUBMISSION	30.06.2021
BDP RESUBMISSION	19.08.2021
BUILDING PERMIT RESUBMISSION	21.10.2021
BC HYDRO	15.11.2021
BC HYDRO	31.03.2022
BC HYDRO	17.05.2022
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	31.03.2022
B	17.05.2022

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
GROUND FLOOR
LANDSCAPE TYPICAL DETAILS

seal



scale
NTS

drawn
JP

checked
JP

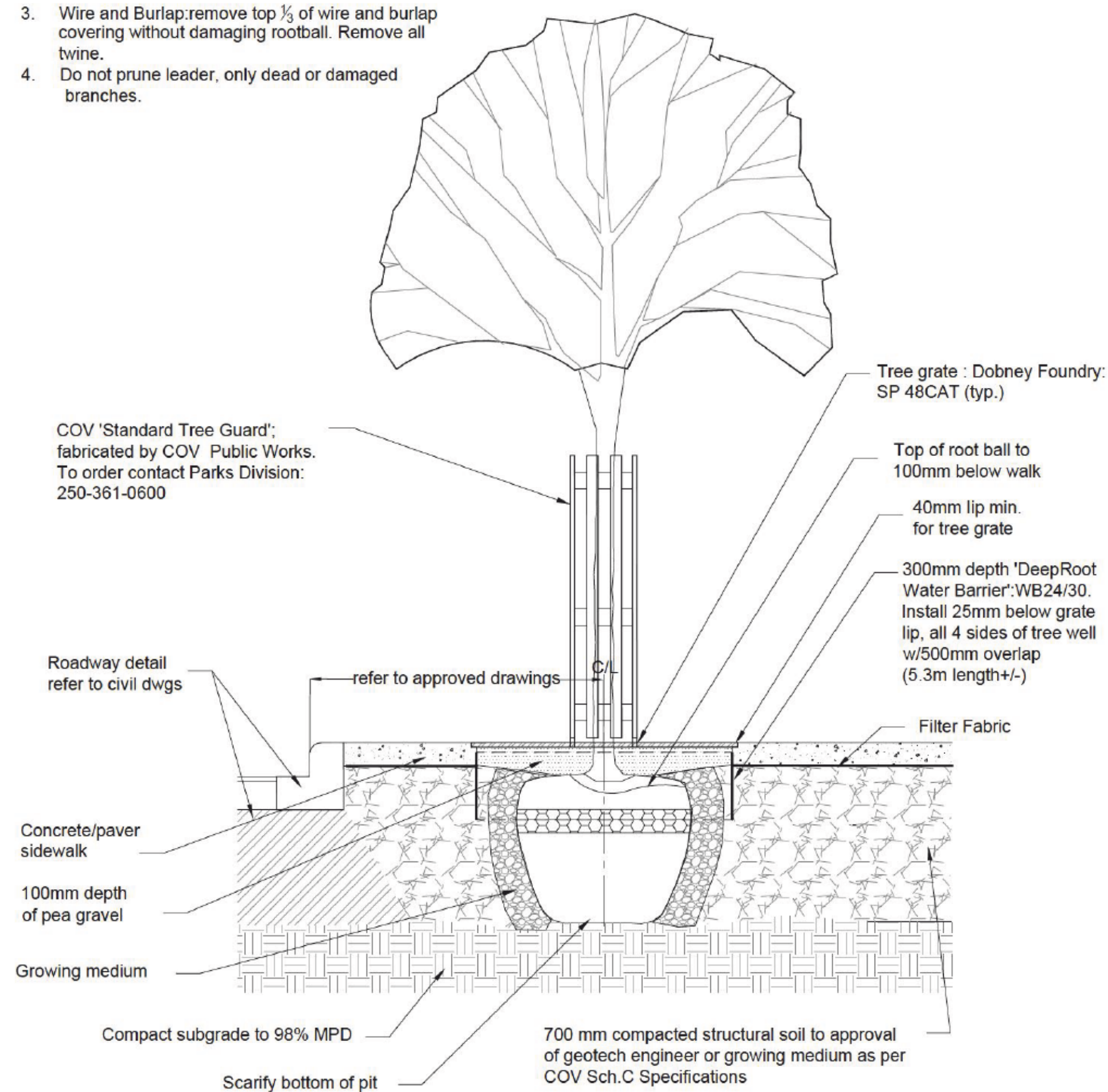
reference
2017.09_02 L1_L1D

number
L1_L6

Preparation notes:

1. Container grown: remove completely from container
2. Burlap and rope: remove top 1/3 of covering
3. Wire and Burlap: remove top 1/3 of wire and burlap covering without damaging rootball. Remove all twine.
4. Do not prune leader, only dead or damaged branches.

NOTE: ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA (COV) SCHEDULE C SPECIFICATIONS

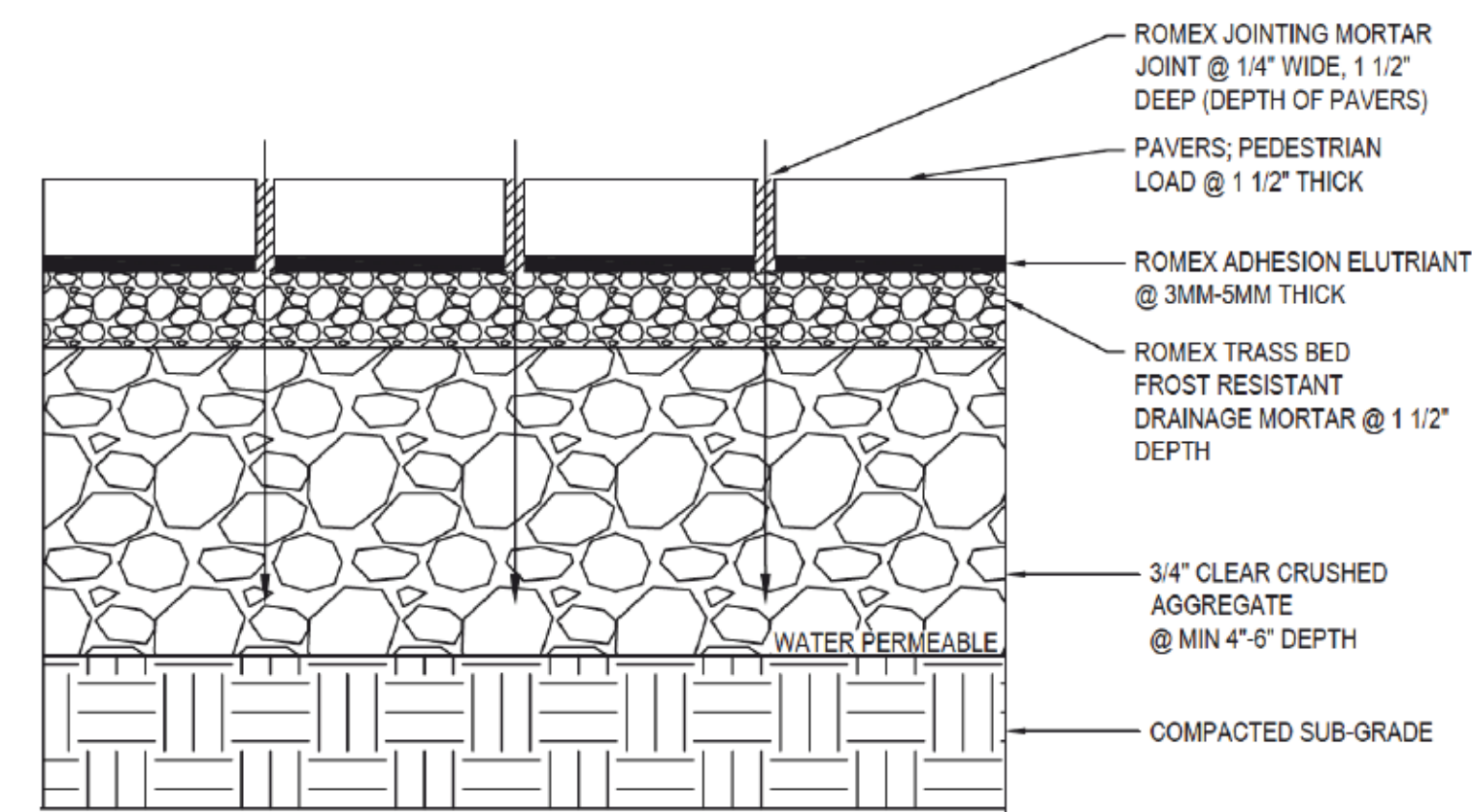


Parks Division File: v:\design\construct_design specs\const details\planting\SD_P5

TITLE:	SCALE: Not to Scale	DRAWING
Tree Planting in Sidewalk with Tree Guard	DATE: Feb.27, 2018	SD-P5
	DWN.:	
	APP'D.:	

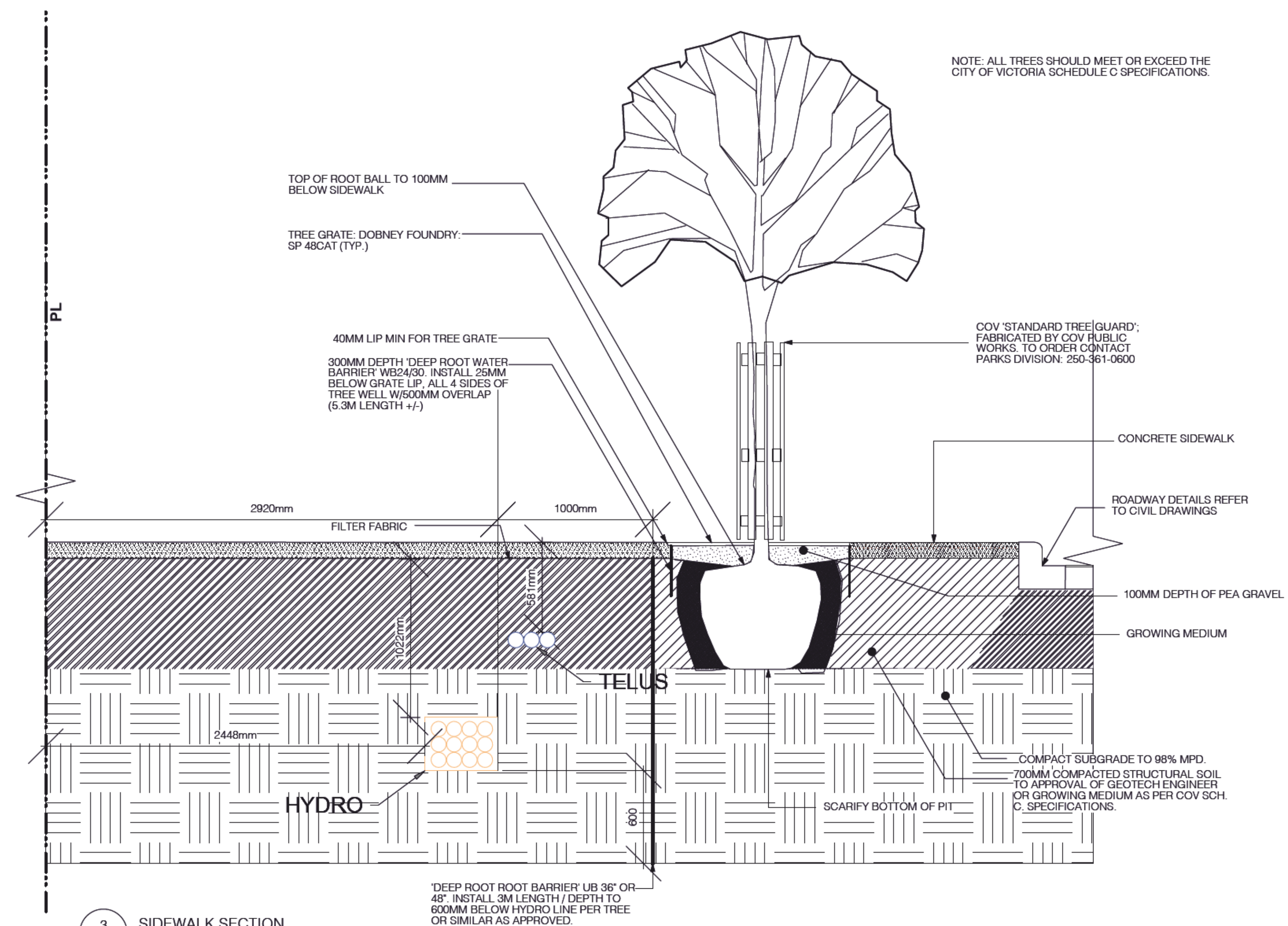
1
L1_L6
TREE PLANTING DETAIL
NTS.

NB: AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. JAN 2019



2
L1_L6
TYPICAL PAVING BUILD-UP
NTS

NB: AS PER CITY OF VICTORIA DOWNTOWN PUBLIC REALM PLAN & STREETSCAPE STANDARDS ED. JAN 2019



3
L1_L6
SIDEWALK SECTION
Scale: 1:20

NOTE: ALL TREES SHOULD MEET OR EXCEED THE CITY OF VICTORIA SCHEDULE C SPECIFICATIONS.



general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.
All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.
DO NOT SCALE FROM THIS DRAWING
All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.
THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue
REZONING/ DP 10.04.2018
REZONING/ DP 19.04.2018
REZONING/ DP RESUBMISSION 16.05.2019
BUILDING PERMIT 90% 13.11.2020
BUILDING PERMIT 18.12.2020
IFT 04.03.2021
BUILDING PERMIT 07.05.2021
BUILDING PERMIT RESUBMISSION 30.06.2021
DDP RESUBMISSION 19.08.2021
BUILDING PERMIT RESUBMISSION 21.10.2021
BUILDING PERMIT RESUBMISSION 15.11.2021
BUILDING PERMIT RESUBMISSION 28.06.2022
DDP RESUBMISSION 30.05.2023

revision
A 19.04.2018
B 16.05.2019
C 13.11.2020
D 04.03.2021
E 07.05.2021
F 30.06.2021
G 30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
SECOND FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 LO

number
L2_L1

ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

GENERAL
ALL WORK, INCLUDING: PLANNING, DESIGN, INSTALLATION AND MAINTENANCE SHALL BE EXECUTED TO THE CANADIAN LANDSCAPE STANDARD, INDUSTRY REQUIREMENTS, NATIONAL STANDARDS, CODES AND REGULATIONS RECOGNIZED AS ACCEPTABLE BY THE CNLA, THE CSLA, NATIONAL MASTER SPECIFICATION OR OTHER APPLICABLE TRADE ASSOCIATIONS.

THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO STARTING WORK TO VERIFY THAT ALL SURFACES ARE PROPERLY PREPARED AND GRADED. UPON DISCOVERY, ANY DISCREPANCIES SHALL BE REPORTED TO THE AUTHORITY. CONTRACTOR TO ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUB-GRADES PRIOR TO THE WORK.

NO LANDSCAPE WORK SHALL BE CARRIED OUT IN AREAS OR OVER SURFACES THAT HAVE NOT BEEN PROPERLY PREPARED AND GRADED, AND THAT DUE TO CLIMATE WOULD BE AT RISK OF UNNECESSARY DISTURBANCE.

PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

IRRIGATION
THE IRRIGATION INDUSTRY ASSOCIATION HAS DEVELOPED THE STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. CNLA AND CSLA SUPPORT THESE STANDARDS. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR.

ALL PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM EG. RAINBIRD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSES/BIB LOCATION.

AN IRRIGATION SYSTEM MUST APPLY A CONSISTENT, UNIFORM, MEASURABLE AMOUNT OF WATER TO THE LANDSCAPE OVER A PERIOD OF TIME TO PROMOTE DEEP ROOT ZONE DEVELOPMENT.

GROWING MEDIUM
GROWING MEDIA SHALL BE SUBSTANTIALLY FREE OF PLANTS OR THEIR ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS AND THEIR REPRODUCTIVE PARTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, ICE, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEOUS MATERIALS THAT DETRACT FROM THE DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

WHERE IMPORTED GROWING MEDIUM IS TO BE USED, THE CONTRACTOR SHALL TEST, OR HAVE THE SOIL SUPPLIER TEST, THE PROPOSED SOIL, AND PROVIDE IT TO LANDSCAPE ARCHITECT 3 WEEKS PRIOR TO DELIVERY ON-SITE.

FAILURE TO TEST AND PROVIDE APPROPRIATE DOCUMENTATION OF TEST RESULTS MAY BE CONSIDERED GROUNDS FOR REJECTION OF A PROPOSED GROWING MEDIUM AND MAY RESULT IN THE REMOVAL OF REJECTED MATERIAL AT THE CONTRACTOR'S EXPENSE.

GROWING MEDIA SHALL MEET THE NUTRIENT LEVELS AS SET OUT IN SECTION 6.2.7. GROWING MEDIUM NUTRIENTS. GROWING MEDIA SHOULD BE FOR FOR LEVEL 1 "WELL-GROOMED" AREAS - TABLE T-6.3.5.1, AND CONFORM TO TABLE T-6.3.5.2. PROPERTIES OF GROWING MEDIA FOR LEVEL 1 "WELL-GROOMED" AREAS.

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-6.3.5.5. MINIMUM DEPTHS OF GROWING MEDIA.

LAWNS/ SOD
CLASS 1 AREA LAWNS WITH LEVEL 1 MAINTENANCE. UNLESS OTHERWISE SPECIFIED, APPROVAL OF SITE PREPARATION SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF PLACEMENT OF SOD. SOD TO BE NO. 1 PREMIUM OR NO. 2 STANDARD AND SUITED TO ITS REGIONAL REQUIREMENTS AND ITS INTENDED USE.

PLANTS & MULCH
THE REQUIREMENTS OF THE CANADIAN STANDARDS FOR NURSERY STOCK SHALL APPLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT PLANT MATERIALS DELIVERED TO THE SITE COMPLY WITH THE CONTRACT DOCUMENTS. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S PRIOR WRITTEN APPROVAL.

ROOTBALLS AND GROWING MEDIUM IN CONTAINERS SHALL BE FREE OF INVASIVE AND NOXIOUS PLANTS.

NURSERY GROWN PLANTS SHALL, AS A MINIMUM, COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK, AND SECTION 12, CONTAINER GROWN PLANTS, WITH RESPECT TO SIZING, GRADING AND QUALITY.

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANT MATERIAL SHALL BE IRRIGATED IMMEDIATELY AFTER PLANTING TO THE DEPTH OF THEIR ROOT SYSTEMS.

MULCHING MATERIALS SHALL BE SUBSTANTIALLY FREE OF INVASIVE AND NOXIOUS SEEDS AND REPRODUCTIVE PARTS, SOIL, STONES, SALTS OR OTHER HARMFUL CHEMICALS, OR OTHER EXTRANEOUS MATTER THAT WOULD PROHIBIT SEED GERMINATION OR THE HEALTHY DEVELOPMENT OF PLANT MATERIAL.

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC DARK COMPOSTED BARK.

GREENROOFS
GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-11.1. MINIMUM GROWING MEDIUM DEPTHS AFTER SETTLEMENT FOR ON-SLAB APPLICATIONS, INCLUDING ROOF DECKS AND INTERIOR BEDS

GROWING MEDIA SHOULD BE SPECIFIED BY A QUALIFIED SPECIALIST WITH EXPERIENCE IN FORMULATING MEDIA FOR LANDSCAPES OVER STRUCTURES. GROWING MEDIA FOR ROOF SLABS AND CONTAINED PLANTERS SHALL BE DESIGNED TO AVOID PLUGGING OR CAKING AT THE FILTER CLOTH, AND SHOULD THEREFORE BE LOW IN CONTENT OF FINES (SILTS AND CLAYS).

MAINTENANCE
SITE TO BE MAINTAINED TO LEVEL 1 "WELL-GROOMED" AS SET OUT IN TABLE T-14.1. MAINTENANCE LEVELS - LEVEL 1 "WELL-GROOMED"

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS. AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD. CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

MUNICIPAL AND LOCAL AUTHORITIES' LEGISLATION AND REQUIREMENTS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL LEGISLATION AND REQUIREMENTS, WHICH MAY RESTRICT OR PROHIBIT CERTAIN ACTIVITIES SUCH AS APPLICATION OF PESTICIDES, HERBICIDES, AND INSECTICIDES.

*ALL REFERENCES REFER TO CSLA/ CNLA STANDARDS (CURRENT ED.)

- A CRUSHED ANGULAR WHITE GRAVEL
- B 24"x24" PCC PAVER E.G. TEXADA NATURAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED.
- C MODULAR P/C ALUMINIUM PLANTER MIN 2' PLANTING DEPTH / EVERGREEN LOW HEDGE E.G. BUXUS
- D 18"x18" PCC PAVER ON PEDESTALS ONTO MIRADRRAIN. E.G. TEXADA CHARCOAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED.
- OSO IRRIGATION STUB OUT LOCATION
- HB HOSEBIB LOCATION



1 L2_L1 SECOND FLOOR GENERAL ARRANGEMENT
1:100 METRIC

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Bs	56	Buxus sempervirens	Boxwood	#5 Cont	Full & Bushy
Cean	43	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants



general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.

All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.06.2023

revision	date
----------	------

project
 819-827 FORT STREET VICTORIA BC.

legal
 PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
 TYPICAL PLANTER DETAIL LEVEL 2- LEVEL 10

seal

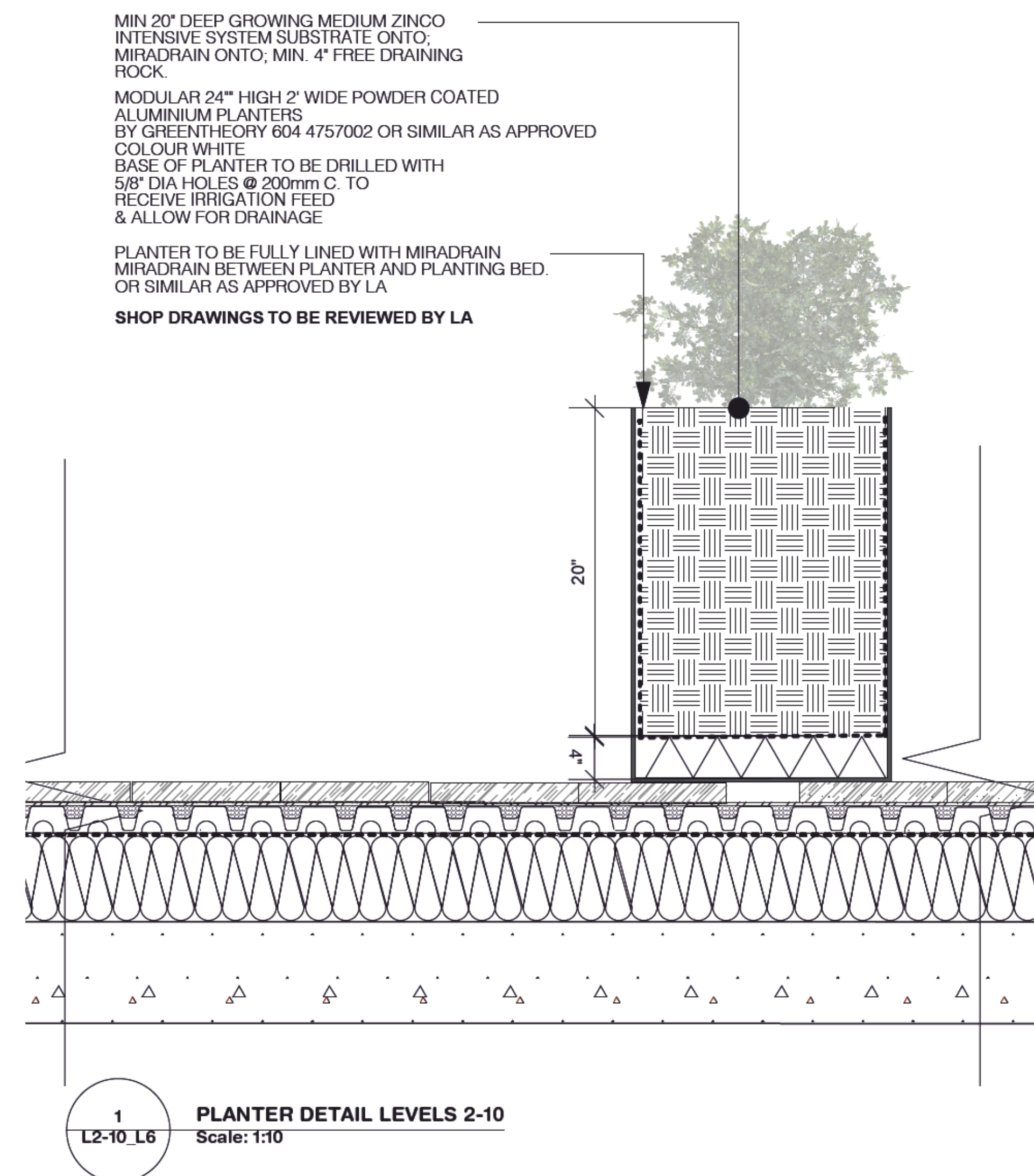
scale
 AS SHOWN

drawn
 JP

checked
 JP

reference
 2017.09_02 L12_L1

number
L2-10_L6



general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.

All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
REZONING/DP	10.04.2018
REZONING/DP	19.04.2018
REZONING/DP RESUBMISSION	16.06.2019
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
IFT	04.03.2021
IFT ADDENDUM 01	07.05.2021
BUILDING PERMIT	26.05.2021
BUILDING PERMIT RESUBMISSION	30.06.2021
DP RESUBMISSION	19.08.2021
BUILDING PERMIT RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	19.04.2018
B	16.05.2019
C	13.11.2020
D	04.03.2021
E	07.05.2021
F	26.05.2021
G	30.06.2021
H	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
THIRD FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09.02_L3_L1

number
L3_L1

- A CRUSHED ANGULAR WHITE GRAVEL
- B 24"x24" PCC PAVER E.G TEXADA NATURAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED.
- C MODULAR P/C ALUMINIUM PLANTER MIN 2' PLANTING DEPTH / EVERGREEN LOW HEDGE E.G. BUXUS
- D 18"x18" PCC PAVER ON PEDESTALS ONTO MIRADRAIN. E.G. TEXADA CHARCOAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED.
- SO IRRIGATION STUB OUT LOCATION
- HB HOSEBIB LOCATION

ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

GENERAL

ALL WORK, INCLUDING: PLANNING, DESIGN, INSTALLATION AND MAINTENANCE SHALL BE EXECUTED TO THE CANADIAN LANDSCAPE STANDARD, INDUSTRY REQUIREMENTS, NATIONAL STANDARDS, CODES AND REGULATIONS RECOGNIZED AS ACCEPTABLE BY THE CNLA, THE CSLA, NATIONAL MASTER SPECIFICATION OR OTHER APPLICABLE TRADE ASSOCIATIONS.

THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO STARTING WORK TO VERIFY THAT ALL SURFACES ARE PROPERLY PREPARED AND GRADED. UPON DISCOVERY, ANY DISCREPANCIES SHALL BE REPORTED TO THE AUTHORITY. CONTRACTOR TO ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUB-GRADES PRIOR TO THE WORK.

NO LANDSCAPE WORK SHALL BE CARRIED OUT IN AREAS OR OVER SURFACES THAT HAVE NOT BEEN PROPERLY PREPARED AND GRADED; AND THAT DUE TO CLIMATE WOULD BE AT RISK OF UNNECESSARY DISTURBANCE.

PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

IRRIGATION

THE IRRIGATION INDUSTRY ASSOCIATION HAS DEVELOPED THE STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. CNLA AND CSLA SUPPORT THESE STANDARDS. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR.

ALL PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM E.G. RAINBIRD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSEBIB LOCATION.

AN IRRIGATION SYSTEM MUST APPLY A CONSISTENT, UNIFORM, MEASURABLE AMOUNT OF WATER TO THE LANDSCAPE OVER A PERIOD OF TIME TO PROMOTE DEEP ROOT ZONE DEVELOPMENT.

GROWING MEDIUM

GROWING MEDIA SHALL BE SUBSTANTIALLY FREE OF PLANTS OR THEIR ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS AND THEIR REPRODUCTIVE PARTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, ICE, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEOUS MATERIALS THAT DETRACT FROM THE DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

WHERE IMPORTED GROWING MEDIUM IS TO BE USED, THE CONTRACTOR SHALL TEST, OR HAVE THE SOIL SUPPLIER TEST, THE PROPOSED SOIL AND PROVIDE IT TO LANDSCAPE ARCHITECT 3 WEEKS PRIOR TO DELIVERY ON-SITE.

FAILURE TO TEST AND PROVIDE APPROPRIATE DOCUMENTATION OF TEST RESULTS MAY BE CONSIDERED GROUNDS FOR REJECTION OF A PROPOSED GROWING MEDIUM AND MAY RESULT IN THE REMOVAL OF REJECTED MATERIAL AT THE CONTRACTOR'S EXPENSE.

GROWING MEDIA SHALL MEET THE NUTRIENT LEVELS AS SET OUT IN SECTION 6.2.7. GROWING MEDIUM NUTRIENTS. GROWING MEDIA SHOULD BE FOR FOR LEVEL 1 "WELL-GROOMED" AREAS - TABLE T-6.3.5.1. AND CONFORM TO TABLE T-6.3.6.2. PROPERTIES OF GROWING MEDIA FOR LEVEL 1 "WELL-GROOMED" AREAS.

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-6.3.5.5. MINIMUM DEPTHS OF GROWING MEDIA.

LAWNS/ SOD

CLASS 1 AREA LAWNS WITH LEVEL 1 MAINTENANCE, UNLESS OTHERWISE SPECIFIED, APPROVAL OF SITE PREPARATION SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF PLACEMENT OF SOD. SOD TO BE NO 1 PREMIUM OR NO 2 STANDARD AND SUITED TO ITS REGIONAL REQUIREMENTS AND ITS INTENDED USE.

PLANTS & MULCH

THE REQUIREMENTS OF THE CANADIAN STANDARDS FOR NURSERY STOCK SHALL APPLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT PLANT MATERIALS DELIVERED TO THE SITE COMPLY WITH THE CONTRACT DOCUMENTS. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S PRIOR WRITTEN APPROVAL.

ROOTBALLS AND GROWING MEDIUM IN CONTAINERS SHALL BE FREE OF INVASIVE AND NOXIOUS PLANTS.

NURSERY GROWN PLANTS SHALL, AS A MINIMUM, COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION, CANADIAN STANDARDS FOR NURSERY STOCK, AND SECTION 12. CONTAINER GROWN PLANTS, WITH RESPECT TO SIZING, GRADING AND QUALITY.

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANT MATERIAL SHALL BE IRRIGATED IMMEDIATELY AFTER PLANTING TO THE DEPTH OF THEIR ROOT SYSTEMS.

MULCHING MATERIALS SHALL BE SUBSTANTIALLY FREE OF INVASIVE AND NOXIOUS SEEDS AND REPRODUCTIVE PARTS, SOIL, STONES, SALTS OR OTHER HARMFUL CHEMICALS, OR OTHER EXTRANEOUS MATTER THAT WOULD PROHIBIT SEED GERMINATION OR THE HEALTHY DEVELOPMENT OF PLANT MATERIAL.

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC DARK COMPOSTED BARK.

GREENROOFS

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-11.1. MINIMUM GROWING MEDIUM DEPTHS AFTER SETTLEMENT FOR ON-SLAB APPLICATIONS, INCLUDING ROOF DECKS AND INTERIOR BEDS

GROWING MEDIA SHOULD BE SPECIFIED BY A QUALIFIED SPECIALIST WITH EXPERIENCE IN FORMULATING MEDIA FOR LANDSCAPES OVER STRUCTURES. GROWING MEDIA FOR ROOF SLABS AND CONTAINED PLANTERS SHALL BE DESIGNED TO AVOID PLUGGING OR CAKING AT THE FILTER CLOTH, AND SHOULD THEREFORE BE LOW IN CONTENT OF FINES (SILTS AND CLAYS).

MAINTENANCE

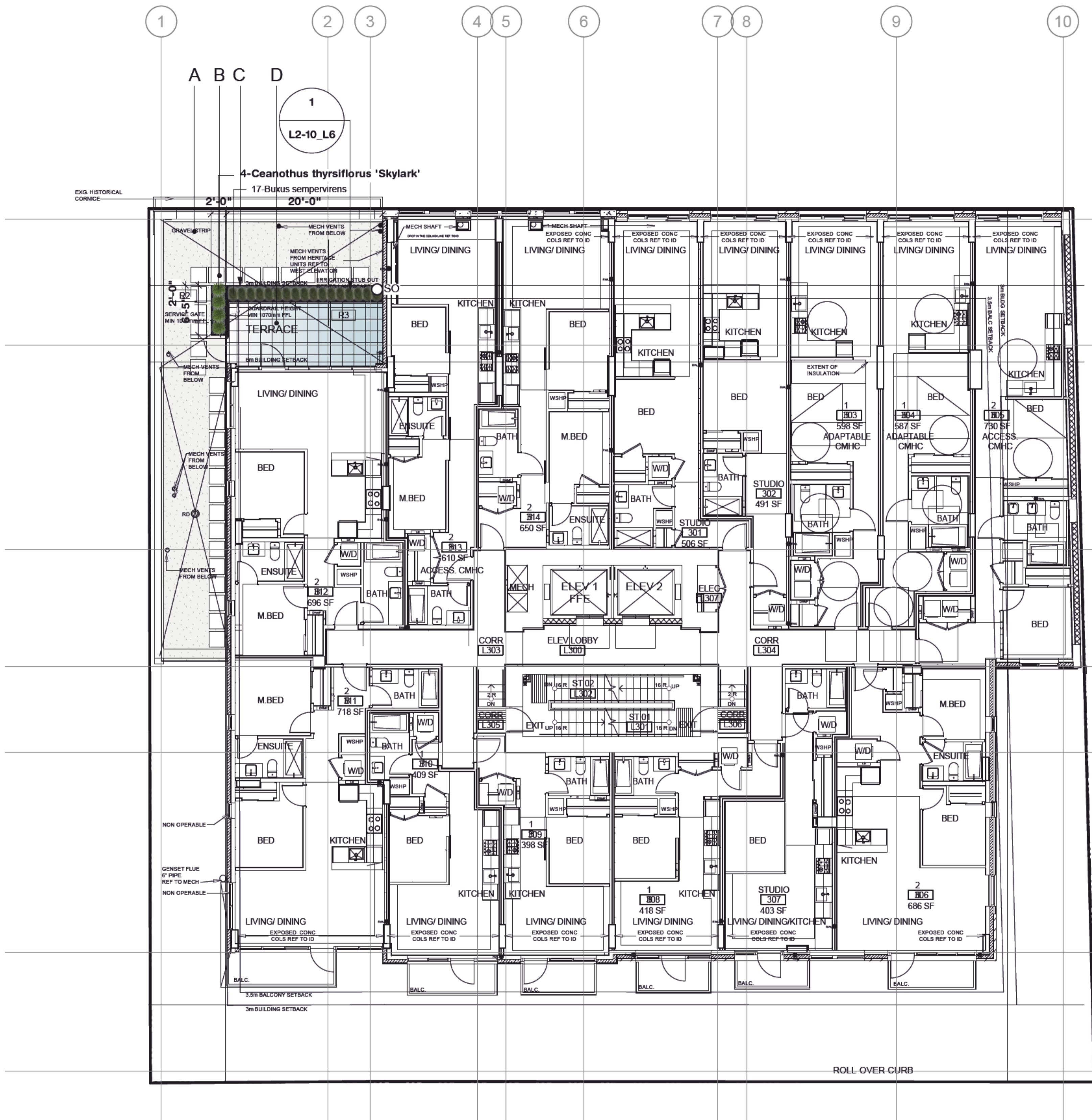
SITE TO BE MAINTAINED TO LEVEL 1 "WELL-GROOMED" AS SET OUT IN TABLE T-14.1. MAINTENANCE LEVELS - LEVEL 1 "WELL-GROOMED"

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS. AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD. CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

MUNICIPAL AND LOCAL AUTHORITIES' LEGISLATION AND REQUIREMENTS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL LEGISLATION AND REQUIREMENTS, WHICH MAY RESTRICT OR PROHIBIT CERTAIN ACTIVITIES SUCH AS APPLICATION OF PESTICIDES, HERBICIDES, AND INSECTICIDES.

*ALL REFERENCES REFER TO CSLA/ CNLA STANDARDS (CURRENT ED.)



1 THIRD FLOOR GENERAL ARRANGEMENT
L3_L1 1:100 METRIC

ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Bs	17	Buxus sempervirens	Boxwood	#5 Cont	Full & Bushy
Cean	4	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants

ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

t: 778 386 4414
e: studio@weareconsidered.com
w: www.weareconsidered.com

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.
All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
REZONING/ DP	10.04.2018
REZONING/ DP	19.04.2018
REZONING/ DP RESUBMISSION	16.05.2019
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
IFT ADDENDUM 01	26.05.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	19.04.2018
B	16.05.2019
C	13.11.2020
D	04.03.2021
E	07.05.2021
F	26.05.2021
G	30.06.2021
H	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
4th FLOOR GENERAL ARRANGEMENT

seal

GENERAL

ALL WORK INCLUDING PLANNING, DESIGN, INSTALLATION AND MAINTENANCE SHALL BE EXECUTED TO THE CANADIAN LANDSCAPE STANDARD, INDUSTRY REQUIREMENTS, NATIONAL STANDARDS, CODES AND REGULATIONS RECOGNIZED AS ACCEPTABLE BY THE CNLA, THE CSLA, NATIONAL MASTER SPECIFICATION OR OTHER APPLICABLE TRADE ASSOCIATIONS.

THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO STARTING WORK TO VERIFY THAT ALL SURFACES ARE PROPERLY PREPARED AND GRADED. UPON DISCOVERY, ANY DISCREPANCIES SHALL BE REPORTED TO THE AUTHORITY. CONTRACTOR TO ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUB-GRADES PRIOR TO THE WORK.

NO LANDSCAPE WORK SHALL BE CARRIED OUT IN AREAS OR OVER SURFACES THAT HAVE NOT BEEN PROPERLY PREPARED AND GRADED, AND THAT DUE TO CLIMATE WOULD BE AT RISK OF UNNECESSARY DISTURBANCE.

PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

IRRIGATION

THE IRRIGATION INDUSTRY ASSOCIATION HAS DEVELOPED THE STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. CNLA AND CSLA SUPPORT THESE STANDARDS. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR.

ALL PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM E.G. RAINEBIRD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSESIBB LOCATION.

AN IRRIGATION SYSTEM MUST APPLY A CONSISTENT, UNIFORM, MEASURABLE AMOUNT OF WATER TO THE LANDSCAPE OVER A PERIOD OF TIME TO PROMOTE DEEP ROOT ZONE DEVELOPMENT.

GROWING MEDIUM

GROWING MEDIA SHALL BE SUBSTANTIALLY FREE OF PLANTS OR THEIR ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS AND THEIR REPRODUCTIVE PARTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENS, ORGANISMS, ICE, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEIOUS MATERIALS THAT DETRACT FROM THE DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

WHERE IMPORTED GROWING MEDIUM IS TO BE USED, THE CONTRACTOR SHALL TEST, OR HAVE THE SOIL SUPPLIER TEST, THE PROPOSED SOIL AND PROVIDE IT TO LANDSCAPE ARCHITECT 3 WEEKS PRIOR TO DELIVERY ON-SITE.

FAILURE TO TEST AND PROVIDE APPROPRIATE DOCUMENTATION OF TEST RESULTS MAY BE CONSIDERED GROUNDS FOR REJECTION OF A PROPOSED GROWING MEDIUM AND MAY RESULT IN THE REMOVAL OF REJECTED MATERIAL AT THE CONTRACTOR'S EXPENSE.

GROWING MEDIA SHALL MEET THE NUTRIENT LEVELS AS SET OUT IN SECTION 6.2.7. GROWING MEDIUM NUTRIENTS. GROWING MEDIA SHOULD BE FOR FOR LEVEL 1 "WELL-GROOMED" AREAS - TABLE T-6.3.5.1. AND CONFORM TO TABLE T-6.3.5.2. PROPERTIES OF GROWING MEDIA FOR LEVEL 1 "WELL-GROOMED" AREAS.

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-6.3.5.5. MINIMUM DEPTHS OF GROWING MEDIA.

LAWNS/ SOD

CLASS 1 AREA LAWNS WITH LEVEL 1 MAINTENANCE, UNLESS OTHERWISE SPECIFIED. SITE PREPARATION SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF PLACEMENT OF SOD. SOD TO BE NO. 1 PREMIUM OR NO. 2 STANDARD AND SUITED TO ITS REGIONAL REQUIREMENTS AND ITS INTENDED USE.

PLANTS & MULCH

THE REQUIREMENTS OF THE CANADIAN STANDARDS FOR NURSERY STOCK SHALL APPLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT PLANT MATERIALS DELIVERED TO THE SITE COMPLY WITH THE CONTRACT DOCUMENTS. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S PRIOR WRITTEN APPROVAL.

ROOTBALLS AND GROWING MEDIUM IN CONTAINERS SHALL BE FREE OF INVASIVE AND NOXIOUS PLANTS.

NURSERY GROWN PLANTS SHALL, AS A MINIMUM, COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION, CANADIAN STANDARDS FOR NURSERY STOCK, AND SECTION 12. CONTAINER GROWN PLANTS, WITH RESPECT TO SIZING, GRADING AND QUALITY.

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANT MATERIAL SHALL BE IRRIGATED IMMEDIATELY AFTER PLANTING TO THE DEPTH OF THEIR ROOT SYSTEMS.

MULCHING MATERIALS SHALL BE SUBSTANTIALLY FREE OF INVASIVE AND NOXIOUS SEEDS AND REPRODUCTIVE PARTS, SOIL, STONES, SALTS OR OTHER HARMFUL CHEMICALS, OR OTHER EXTRANEIOUS MATTER THAT WOULD PROHIBIT SEED GERMINATION OR THE HEALTHY DEVELOPMENT OF PLANT MATERIAL.

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC DARK COMPOSTED BARK

GREENROOFS

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-11.1. MINIMUM GROWING MEDIUM DEPTHS AFTER SETTLEMENT FOR ON-SLAB APPLICATIONS, INCLUDING ROOF DECKS AND INTERIOR BEDS

GROWING MEDIA SHOULD BE SPECIFIED BY A QUALIFIED SPECIALIST WITH EXPERIENCE IN FORMULATING MEDIA FOR LANDSCAPES OVER STRUCTURES. GROWING MEDIA FOR ROOF SLABS AND CONTAINED PLANTERS SHALL BE DESIGNED TO AVOID PLUGGING OR CAKING AT THE FILTER CLOTH, AND SHOULD THEREFORE BE LOW IN CONTENT OF FINES (SILTS AND CLAYS).

MAINTENANCE

SITE TO BE MAINTAINED TO LEVEL 1 "WELL GROOMED" AS SET OUT IN TABLE T-14.1. MAINTENANCE LEVELS - LEVEL 1 "WELL-GROOMED"

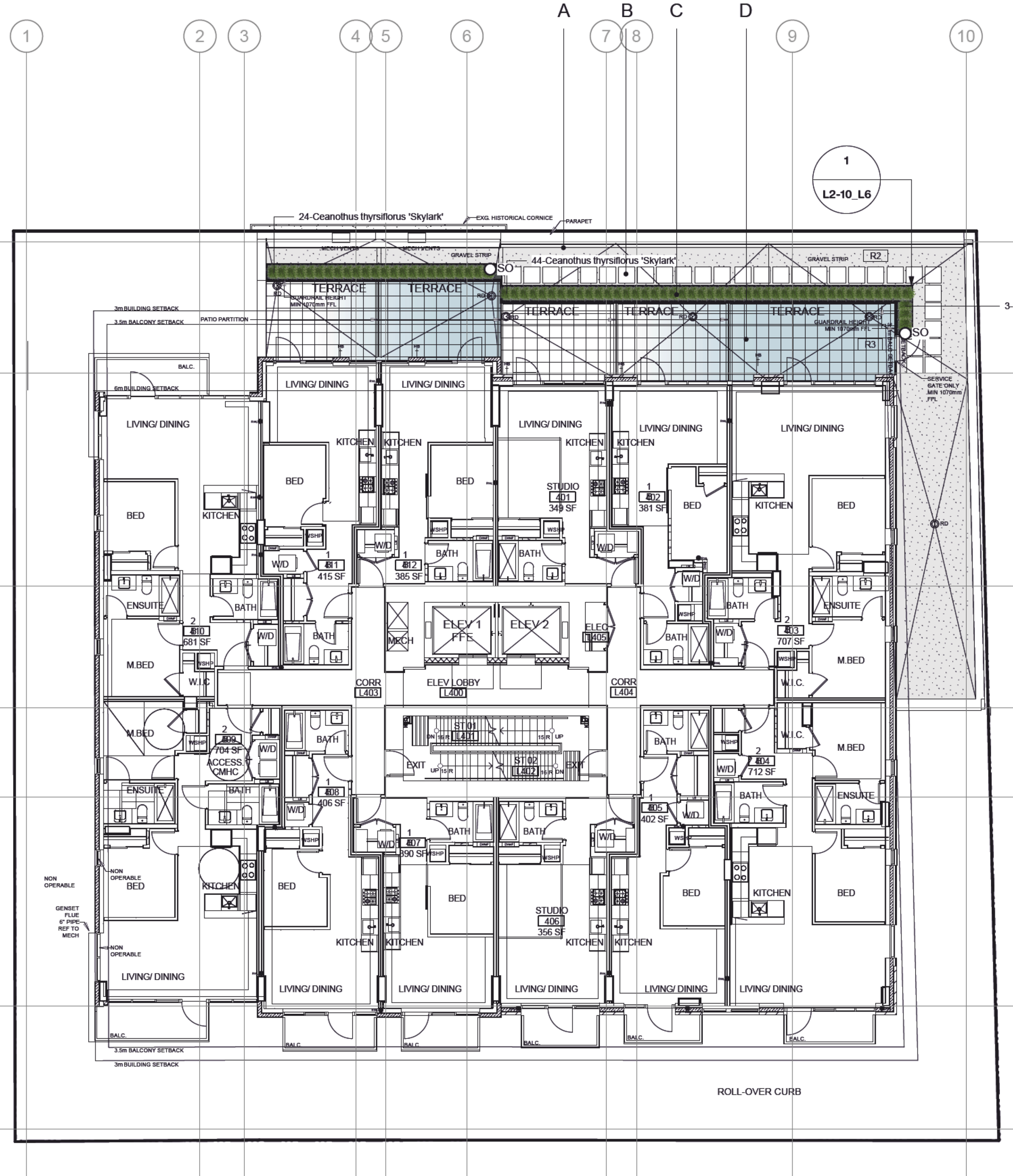
CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS. AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD. CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

MUNICIPAL AND LOCAL AUTHORITIES' LEGISLATION AND REQUIREMENTS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL LEGISLATION AND REQUIREMENTS, WHICH MAY RESTRICT OR PROHIBIT CERTAIN ACTIVITIES SUCH AS APPLICATION OF PESTICIDES, HERBICIDES, AND INSECTICIDES.

*ALL REFERENCES REFER TO CSLA/ CNLA STANDARDS (CURRENT ED.)

- A CRUSHED ANGULAR WHITE GRAVEL
 - B 24"x24" PCC PAVER E.G TEXADA NATURAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED.
 - C MODULAR P/C ALUMINIUM PLANTER MIN 2' PLANTING DEPTH / EVERGREEN LOW HEDGE E.G. BUXUS
 - D 18"x18" PCC PAVER ON PEDESTALS ONTO MIRADRAIN. E.G. TEXADA CHARCOAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED.
- SO IRRIGATION STUB OUT LOCATION
HB HOSEBIB LOCATION



1 4th FLOOR GENERAL ARRANGEMENT
1:200 METRIC

Plant Schedule - Ground Floor					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Cean	71	Ceanothus thyrsiflorus 'Skylark'	Victoria California Lilac	#3 Cont	Full and bushy plants



scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09.02 L0

number
L4_L1

general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.

All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
REZONING/ DP	10.04.2018
REZONING/ DP	19.04.2018
REZONING/ DP RESUBMISSION	16.05.2019
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
IFT ADDENDUM 01	26.05.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	19.04.2018
B	16.05.2019
C	13.11.2020
D	04.03.2021
E	07.05.2021
F	26.05.2021
G	30.05.2023

project
 819-827 FORT STREET VICTORIA BC.

legal
 PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
 10th FLOOR LANDSCAPE GENERAL ARRANGEMENT

seal

scale
 AS SHOWN

drawn
 JP

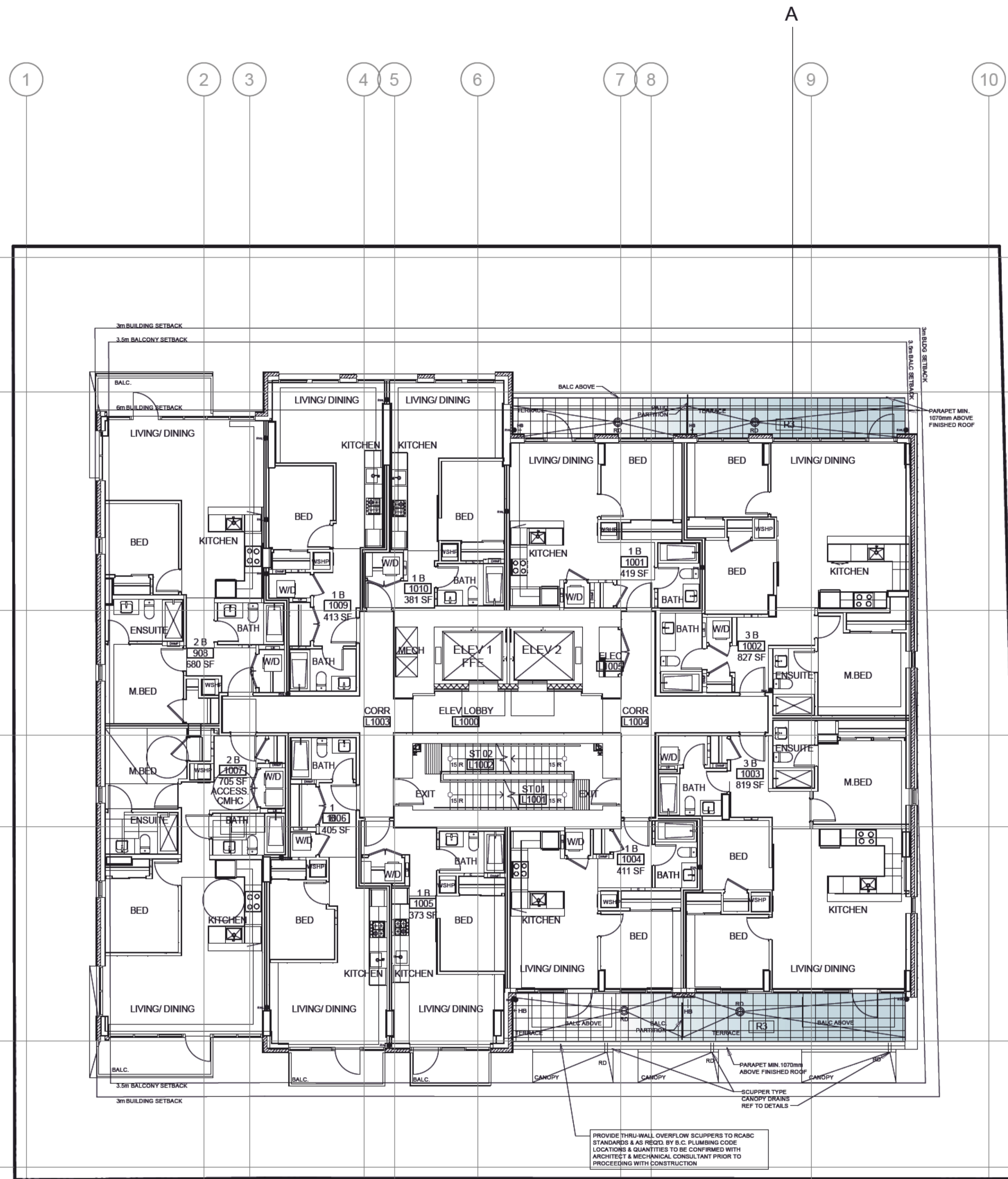
checked
 JP

reference
 2017.09_02.L0

number
L10_L1

A 18"x18" PCC PAVER ON PEDESTALS ONTO MIRADRRAIN.
 E.G. TEXADA CHARCOAL GREY BY ABBOTSFORD
 CONCRETE OR SIMILAR AS APPROVED.

HB HOSEBIB LOCATION



1 10TH FLOOR GENERAL ARRANGEMENT
 L10_L1 1:100 METRIC



general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.
All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
REZONING/ DP	10.04.2018
REZONING/ DP	19.04.2018
REZONING/ DP RESUBMISSION	16.05.2019
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
IFT ADDENDUM 01	26.05.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	19.04.2018
B	16.05.2019
C	13.11.2020
D	04.03.2021
E	07.05.2021
F	26.05.2021
G	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
11TH FLOOR GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02.L0

number
L11_L1

A 18"x18" PCC PAVER ON PEDESTALS ONTO MIRADRRAIN.
E.G. TEXADA CHARCOAL GREY BY ABBOTSFORD
CONCRETE OR SIMILAR AS APPROVED.

HB HOSEBIB LOCATION



1 11th FLOOR GENERAL ARRANGEMENT
L11_L1 1:100 METRIC



ALL PLANTS TO BE NURSERY GROWN. ALL PLANT MATERIALS AND LABOUR TO CONFORM TO CSLA/ CNLA LANDSCAPE STANDARDS CURRENT EDITION.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION FOR REVIEW.

GENERAL

ALL WORK, INCLUDING PLANNING, DESIGN, INSTALLATION AND MAINTENANCE SHALL BE EXECUTED TO THE CANADIAN LANDSCAPE STANDARD. INDUSTRY REQUIREMENTS, NATIONAL STANDARDS, CODES AND REGULATIONS REGONIZED AS ACCEPTABLE BY THE CNLA, THE CSLA, NATIONAL MASTER SPECIFICATION OR OTHER APPLICABLE TRADE ASSOCIATIONS.

THE CONTRACTOR SHALL INSPECT THE SITE PRIOR TO STARTING WORK TO VERIFY THAT ALL SURFACES ARE PROPERLY PREPARED AND GRADED. UPON DISCOVERY, ANY DISCREPANCIES SHALL BE REPORTED TO THE AUTHORITY. CONTRACTOR TO ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUB-GRADES PRIOR TO THE WORK.

NO LANDSCAPE WORK SHALL BE CARRIED OUT IN AREAS OR OVER SURFACES THAT HAVE NOT BEEN PROPERLY PREPARED AND GRADED, AND THAT DUE TO CLIMATE WOULD BE AT RISK OF UNNECESSARY DISTURBANCE.

PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60 MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

IRRIGATION

THE IRRIGATION INDUSTRY ASSOCIATION HAS DEVELOPED THE STANDARDS FOR LANDSCAPE IRRIGATION SYSTEMS. CNLA AND CSLA SUPPORT THESE STANDARDS. ALL IRRIGATION WORK SHALL BE DONE BY A SUITABLY EXPERIENCED AND QUALIFIED IRRIGATION CONTRACTOR.

ALL PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM EG. RAINBIRD OR SIMILAR AS APPROVED. ALL PATIOS TO HAVE A HOSESIBS LOCATION.

AN IRRIGATION SYSTEM MUST APPLY A CONSISTENT, UNIFORM, MEASURABLE AMOUNT OF WATER TO THE LANDSCAPE OVER A PERIOD OF TIME TO PROMOTE DEEP ROOT ZONE DEVELOPMENT.

GROWING MEDIUM

GROWING MEDIA SHALL BE SUBSTANTIALLY FREE OF PLANTS OR THEIR ROOTS, BUILDING MATERIALS, INVASIVE OR NOXIOUS PLANTS AND THEIR REPRODUCTIVE PARTS, NON COMPOSTED WOOD, WOOD WASTE, INSECT PESTS, PLANT PATHOGENIC ORGANISMS, ICE, CHEMICAL POLLUTANTS OR SUBSTANCES AT LEVELS TOXIC TO PLANTS, AND OTHER EXTRANEUS MATERIALS THAT DETRACT FROM THE DESIRABLE PHYSICAL AND CHEMICAL PROPERTIES REQUIRED FOR LANDSCAPING PURPOSES.

WHERE IMPORTED GROWING MEDIUM IS TO BE USED, THE CONTRACTOR SHALL TEST, OR HAVE THE SOIL SUPPLIER TEST, THE PROPOSED SOIL AND PROVIDE IT TO LANDSCAPE ARCHITECT 3 WEEKS PRIOR TO DELIVERY ON-SITE.

FAILURE TO TEST AND PROVIDE APPROPRIATE DOCUMENTATION OF TEST RESULTS MAY BE CONSIDERED GROUNDS FOR REJECTION OF A PROPOSED GROWING MEDIUM AND MAY RESULT IN THE REMOVAL OF REJECTED MATERIAL AT THE CONTRACTOR'S EXPENSE.

GROWING MEDIA SHALL MEET THE NUTRIENT LEVELS AS SET OUT IN SECTION 6.2.7. GROWING MEDIUM NUTRIENTS. GROWING MEDIA SHOULD BE FOR LEVEL 1 "WELL-GROOMED" AREAS - TABLE 1-4.3.5.1. AND CONFORM TO TABLE 1-4.3.5.2. PROPERTIES OF GROWING MEDIA FOR LEVEL 1 "WELL-GROOMED" AREAS.

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE 1-4.3.5.5. MINIMUM DEPTHS OF GROWING MEDIA.

LAWNS/ SOD

CLASS 1 AREA LAWNS WITH LEVEL 1 MAINTENANCE, UNLESS OTHERWISE SPECIFIED. APPROVAL OF SITE PREPARATION SHOULD BE OBTAINED PRIOR TO COMMENCEMENT OF PLACEMENT OF SOD. SOD TO BE NO 1 PREMIUM OR NO 2 STANDARD AND SUITED TO ITS REGIONAL REQUIREMENTS AND ITS INTENDED USE.

PLANTS & MULCH

THE REQUIREMENTS OF THE CANADIAN STANDARDS FOR NURSERY STOCK SHALL APPLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT PLANT MATERIALS DELIVERED TO THE SITE COMPLY WITH THE CONTRACT DOCUMENTS. THERE SHALL BE NO SUBSTITUTIONS OF PLANTS WITHOUT THE CONSULTANT'S PRIOR WRITTEN APPROVAL.

ROOTBALLS AND GROWING MEDIUM IN CONTAINERS SHALL BE FREE OF INVASIVE AND NOXIOUS PLANTS.

NURSERY GROWN PLANTS SHALL, AS A MINIMUM, COMPLY WITH THE CANADIAN NURSERY LANDSCAPE ASSOCIATION, CANADIAN STANDARDS FOR NURSERY STOCK, AND SECTION 12, CONTAINER GROWN PLANTS, WITH RESPECT TO SIZING, GRADING AND QUALITY.

IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

PLANT MATERIAL SHALL BE IRRIGATED IMMEDIATELY AFTER PLANTING TO THE DEPTH OF THEIR ROOT SYSTEMS.

MULCHING MATERIALS SHALL BE SUBSTANTIALLY FREE OF INVASIVE AND NOXIOUS SEEDS AND REPRODUCTIVE PARTS, SOIL, STONES, SALTS OR OTHER HARMFUL CHEMICALS, OR OTHER EXTRANEUS MATTER THAT WOULD PROHIBIT SEED GERMINATION OR THE HEALTHY DEVELOPMENT OF PLANT MATERIAL.

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC DARK COMPOSTED BARK.

GREENROOFS

GROWING MEDIUM MINIMUM DEPTHS SHOULD CONFORM TO TABLE T-11.1. MINIMUM GROWING MEDIUM DEPTHS AFTER SETTLEMENT FOR ON-SLAB APPLICATIONS, INCLUDING ROOF DECKS AND INTERIOR BEDS

GROWING MEDIA SHOULD BE SPECIFIED BY A QUALIFIED SPECIALIST WITH EXPERIENCE IN FORMULATING MEDIA FOR LANDSCAPES OVER STRUCTURES. GROWING MEDIA FOR ROOF SLABS AND CONTAINED PLANTERS SHALL BE DESIGNED TO AVOID PLUGGING OR CAKING AT THE FILTER CLOTH, AND SHOULD THEREFORE BE LOW IN CONTENT OF FINES (SILTS AND CLAYS).

MAINTENANCE

SITE TO BE MAINTAINED TO LEVEL 1 "WELL-GROOMED" AS SET OUT IN TABLE T-14.1. MAINTENANCE LEVELS - LEVEL 1 "WELL-GROOMED"

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45 DAYS FOLLOWING SUBSTANTIAL COMPLETION. CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS. AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD. CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

MUNICIPAL AND LOCAL AUTHORITIES' LEGISLATION AND REQUIREMENTS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL LEGISLATION AND REQUIREMENTS, WHICH MAY RESTRICT OR PROHIBIT CERTAIN ACTIVITIES SUCH AS APPLICATION OF PESTICIDES, HERBICIDES, AND INSECTICIDES.

*ALL REFERENCES REFER TO CSLA/ CNLA STANDARDS (CURRENT ED.)

t: 778 386 4414
e: studio@weareconsidered.com
w: www.weareconsidered.com

general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.

All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue

issue	date
REZONING / DP RESUBMISSION	16.05.2019
COORDINATION	20.05.2020
REZONING / REVISED DP SUBMISSION	20.05.2020
REVISED DESIGN REVIEW	18.06.2020
COORDINATION	25.06.2020
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT 90%	17.12.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision

revision	date
A	15.07.2019
B	20.05.2020
C	20.05.2020
D	18.06.2020
E	25.06.2020
F	13.11.2020
G	17.12.2020
H	04.03.2021
I	07.05.2021
J	30.06.2021
K	30.05.2023

project

819-827 FORT STREET VICTORIA BC.

legal

PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing

ROOF GENERAL ARRANGEMENT

scale

AS SHOWN

drawn

JP

checked

JP

reference

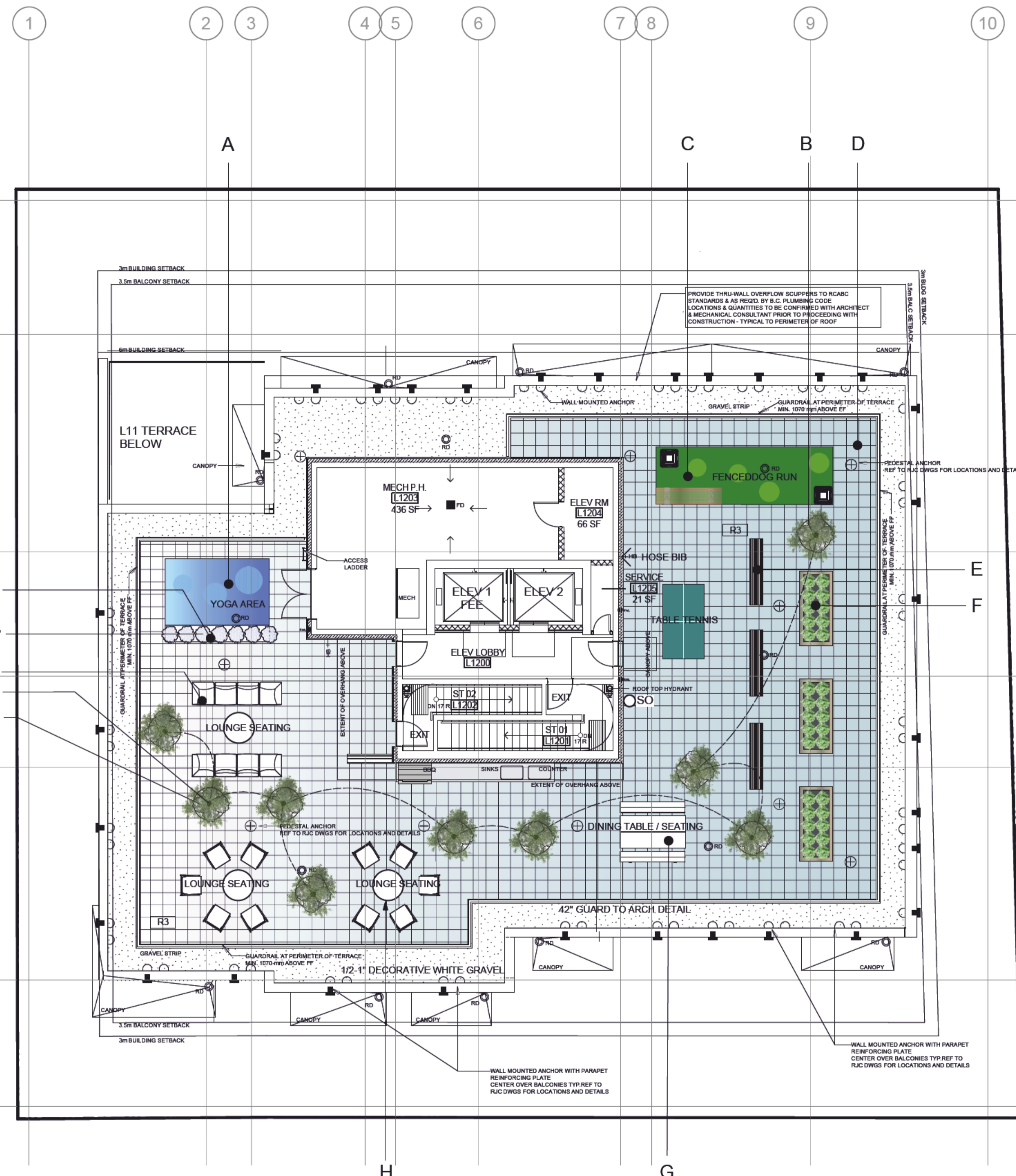
2017.09_02 L12_L1

number

L12_L1

LEGEND / DETAIL REFERENCES

- 1 L11_L6 A POURED IN PLACE RUBBER SURFACE FLUSH WITH PAVING.
- 2 L11_L6 B P/C ALUMINIUM PLANTER MIN 4' PLANTING DEPTH / SMALL TREE
- 3 L11_L6 C DOG RUN AREA WITH LOGS/ FAKE HYDRANTS. SURFACE TO BE WASHABLE PET FRIENDLY SYNTHETIC GRASS. SPRINKLER SYSTEM TO BE INSTALLED FOR MAINTENANCE. DOG WASTE RECIPTICLES AND DOG WASTE BAG DISPENSER.
- 4 L11_L6 D 18"x18" PCC PAVER E.G. TEXADA CHARCOAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED.
- 1 L11_L6 E DOUBLE SIDED TIMBER BENCH SEATING
- 1 L11_L6 F UNIVERSALLY ACCESSIBLE URBAN AGRICULTURE BEDS
- 2 L11_L6.1 G DINING TABLE / BENCH SEATS REF. HARVEST BY LANDSCAPE FORMS
- 3 L11_L6.1 H COCHRAN LOUNGE CHAIRS / 45" DIA. ROUND LOUNGE TABLE REF. CHIPMAN BY LANDSCAPE FORMS.
- 4 L11_L6.1 I MODULAR P/C ALUMINIUM PLANTER MIN 2' PLANTING DEPTH SHRUB PLANTING
- J SIESTA MODULAR OUTDOOR SOFA & OTTOMAN BY ANDREU WORLD COLOUR WHITE
<https://www.andreuworl.com/contact>
- OSO IRRIGATION STUB OUT LOCATION - IRRIGATION TO RUN TO EACH TREE/ SHRUB PLANTER. NO IRRIGATION REQUIRED FOR URBAN AGRICULTURE BEDS.



1 L12_L1 ROOF GENERAL ARRANGEMENT
1:100 METRIC

ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
ApOB	9	Acer palmatum 'Oshio-Beni'	Oshio-Beni Japanese Maple	#10 Cont.	Full Crown/ Container Grown
Lav ang 'M'	43	Lavandula angustifolia 'Munstead'	Munstead Lavender	#3 Cont.	Full and bushy plants

general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.

All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT	07.05.2021
BUILDING PERMIT RESUBMISSION	30.06.2021
DDP RESUBMISSION	19.08.2021
BUILDING PERMIT RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	07.05.2021

project
 819-827 FORT STREET VICTORIA BC.

legal
 PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
 ROOF TYPICAL DETAILS

seal

scale
 AS SHOWN

drawn
 JP

checked
 JP

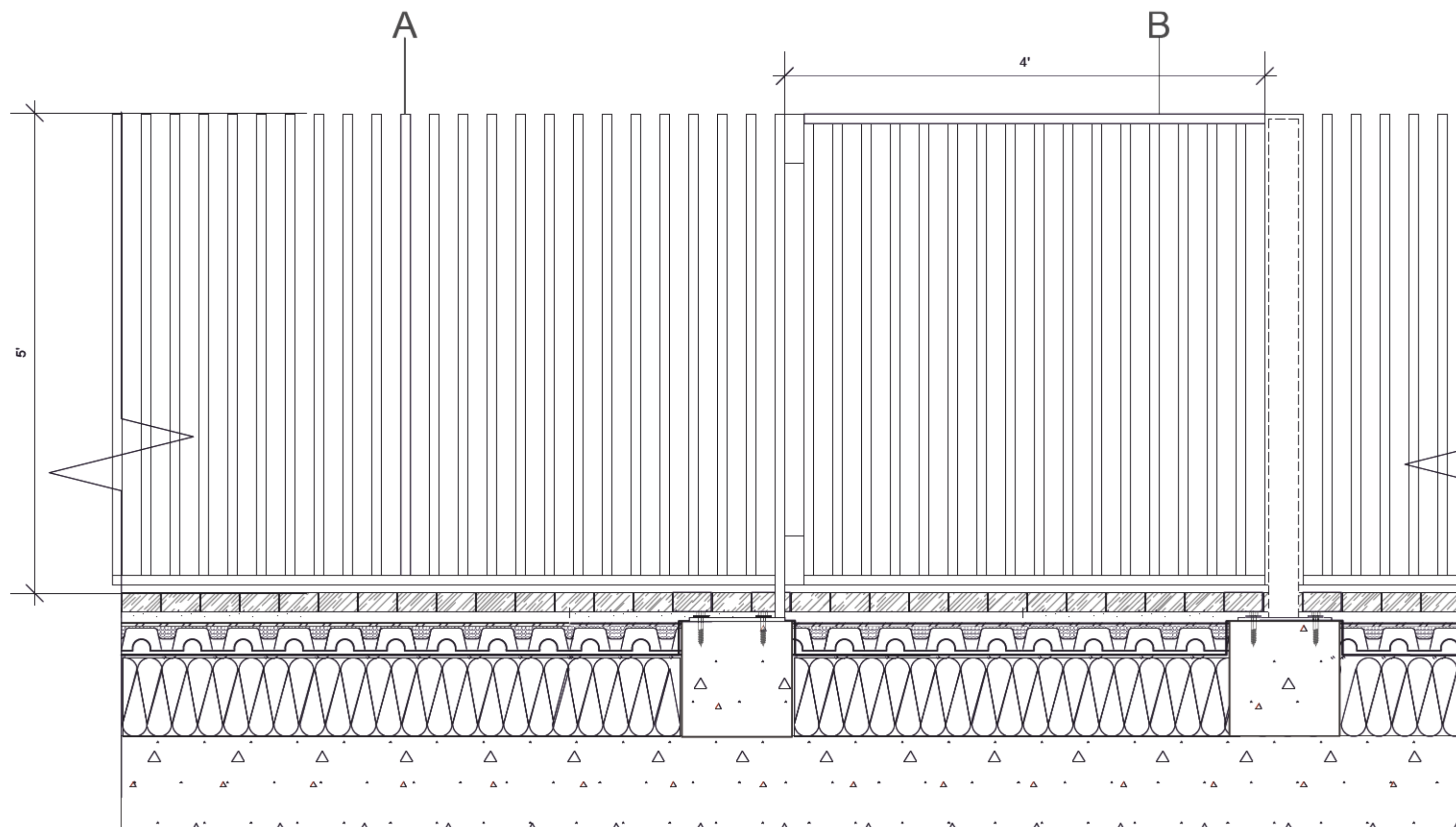
reference
 2017.09_02 L12_L1

number

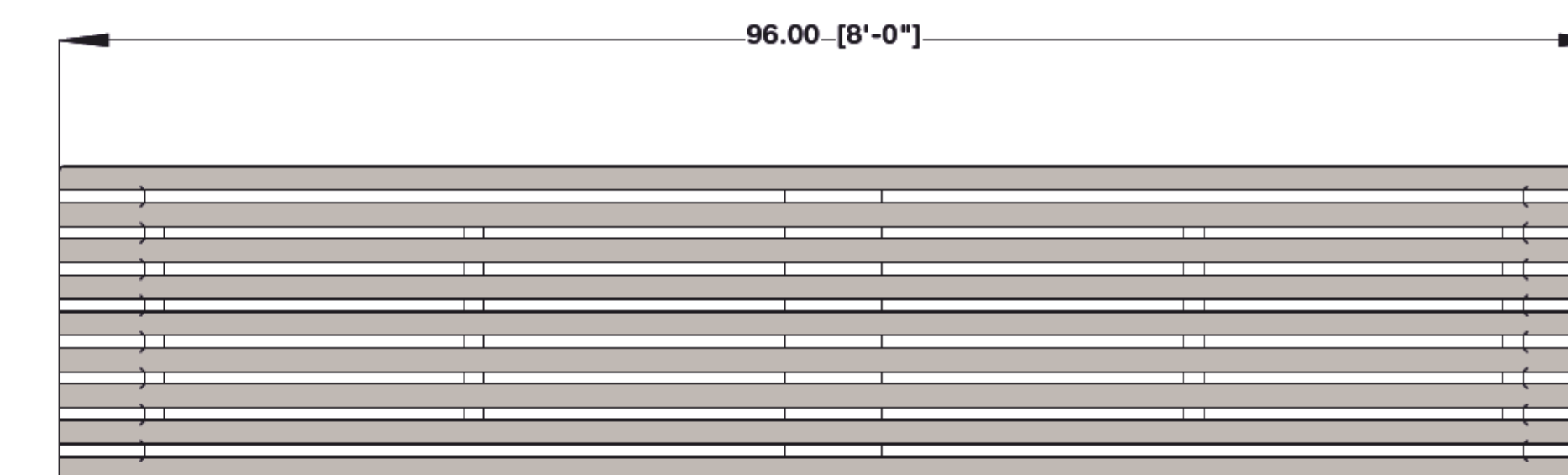
L12_L6

- A. 3"x1" P/C (CHARCOAL GREY) ALUMINIUM RECTANGULAR HOLLOW SECTION WELDED TO 6' LONG SECTIONS OF 3"x1" RHS P/C ALUMINIUM BASE FIXED AT 6' O/C TO INSITU CONCRETE STARTER CURB (NB WATER PROOF MEMBRANE TO WRAP UP AND OVER STARTER CURB) BOLT FIXED TO 3rd PARTY STRUCTURAL ENG. DETAIL
- B. 3"x1" P/C (CHARCOAL GREY) ALUMINIUM RECTANGULAR HOLLOW SECTION WELDED TO 6' LONG SECTIONS OF 3"x1" RHS P/C ALUMINIUM BASE WELDED TO 3" SQ' HOLLOW SECTION POST WITH INTERNAL ALUMINIUM POST AND SLEEVE BOLT FIXED TO INSITU CONCRETE STARTER CURB (NB WATER PROOF MEMBRANE TO WRAP UP AND OVER STARTER CURB) BOLT FIXED TO 3rd PARTY STRUCTURAL ENG. DETAIL

SHOP DRAWINGS TO BE REVIEWED BY LA PRIOR TO FABRICATION & CONSTRUCTION



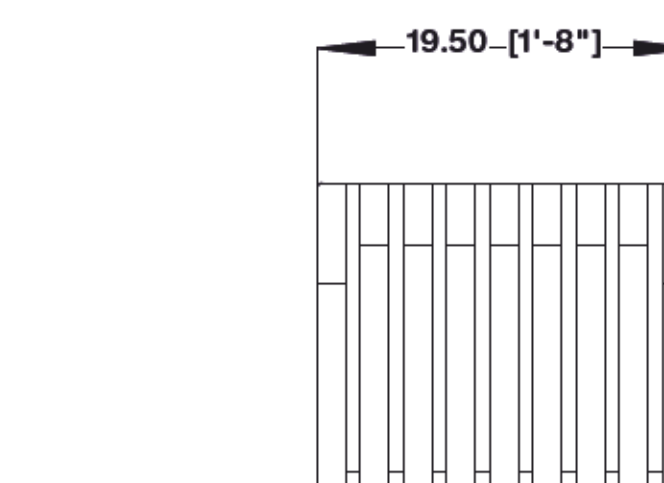
3 ENCLOSURE TO DOG RUN
 L12_L6 Scale: 1:10



WOOD SEATING AND SUPPORTS



4 TIMBER BENCH REF. PAILISADE BY LANDSCAPE FORMS
 L12_L6 Scale: 1:10



NYLON TACK GLIDE

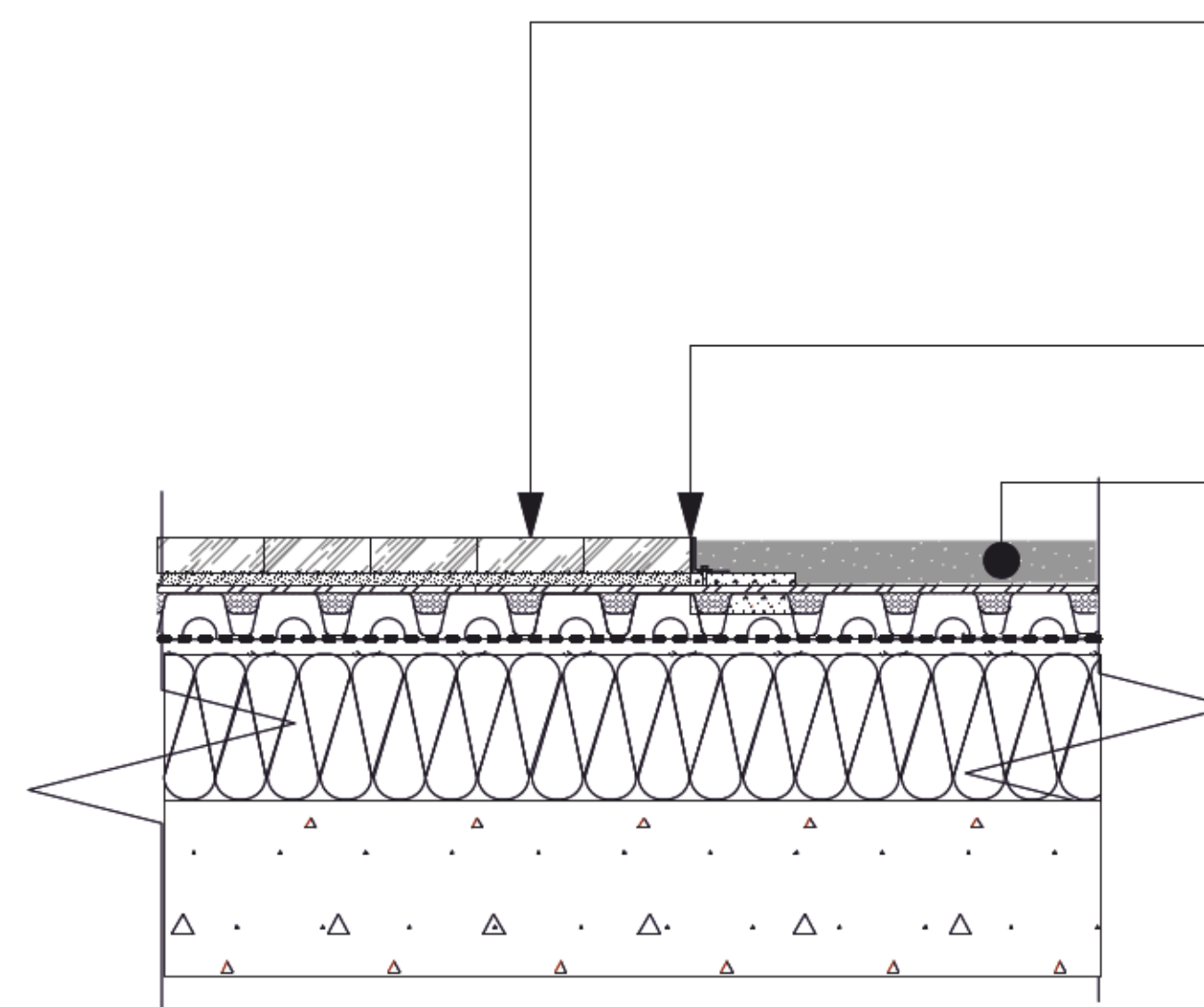
18"x18" PCC PAVER TEXADA CHARCOAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED. ONTO: MIN 50mm LIGHTWEIGHT FREE DRAINING CRUSHED COMPACTED GRAVEL FILL ON TO; ZINCO FILTER SHEET SF ON TO; DRAINAGE ELEMENT FLORADRAIN FD60, INFILL WITH MINERAL SUBSTRATE 'ZINCOBLEND M' ON TO; MOISTURE + PROTECTION MAT ZINCO SSM45 ON TO; WATERPROOFING MEMBRANE ON TO; ROOF SURFACE - AS PER ARCHITECTURE (OR SIMILAR AS APPROVED)

1/4" S/STEEL EDGE WELDED TO ANGLE PLATE BOLT FIXED TO MIN 4" DEEP CONCRETE STRIP FOUNDATION

POURED IN PLACE RUBBER SURFACE 0.5" DEPTH. TOP WEARING COURSE WITH BASEMAT. LANDSCAPE BY MARATHON SURFACES. CONTACT DALE GRAVES TEL: 604-878-0625 ext 2. TOTAL MIN. 2" BUILD-UP DEPTH TBC COLOUR TBC OR SIMILAR AS APPROVED.

NB SLAB SLOPES MIN 1:50 FALL TO ROOF DRAINS TO ARCH/M&E SPECIFICATION & DETAIL

1 RUBBER SURFACE / PAVING
 L12_L6 Scale: 1:10



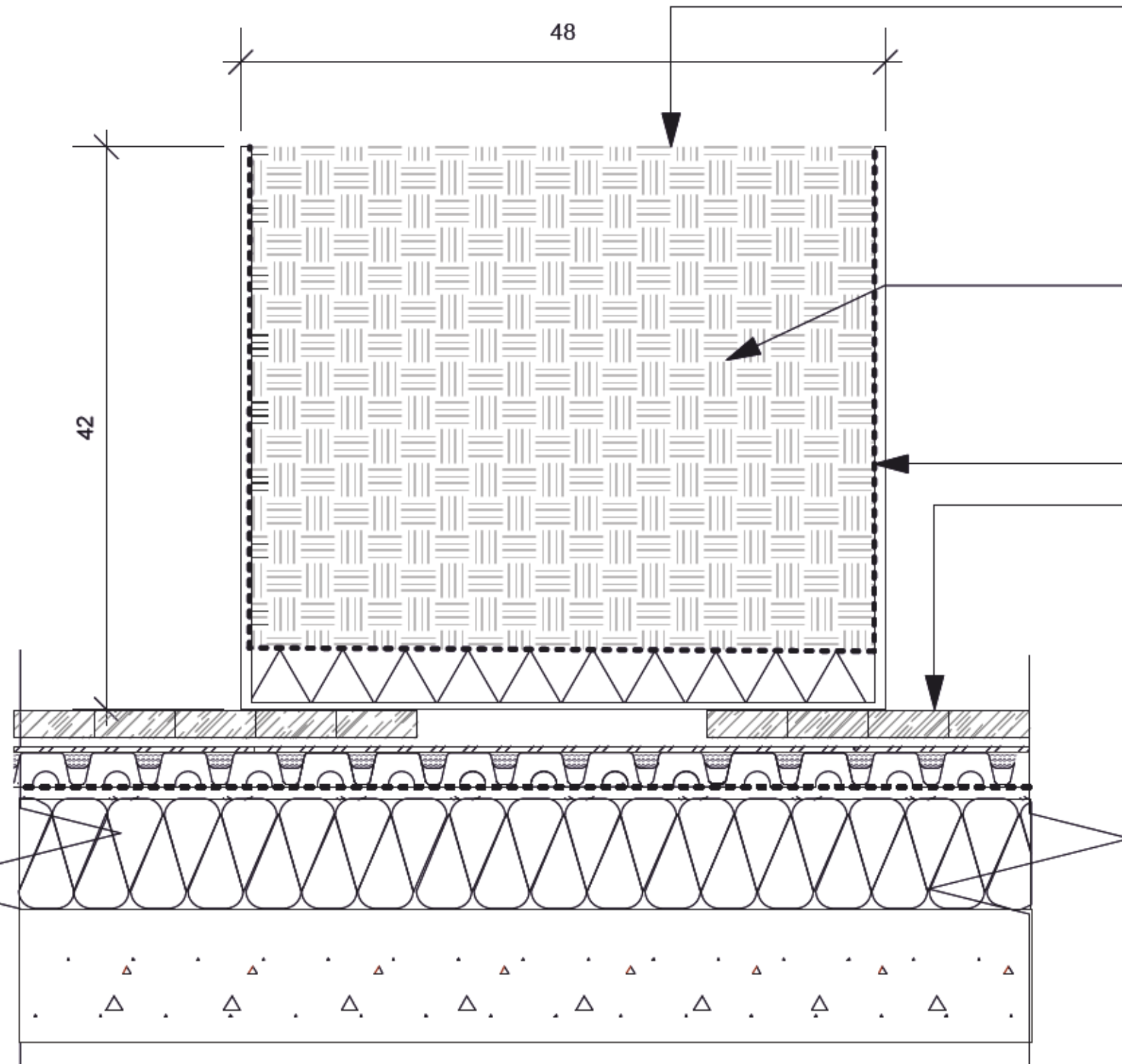
TREE PLANTERS 48" DIA. 42" HEIGHT MIN 38" DEEP GROWING MEDIUM ZINCO INTENSIVE SYSTEM SUBSTRATE ONTO; MIRADRRAIN ONTO; MIN. 4" FREE DRAINING ROCK.

1/4" THICK POWDER COATED WHITE ALUMINIUM PLANTER BASE OF PLANTER TO BE DRILLED WITH 5/8" DIA HOLES @ 200mm C. TO RECEIVE IRRIGATION FEED & ALLOW FOR DRAINAGE

PLANTER TO BE FULLY LINED WITH MIRADRRAIN OR SIMILAR AS APPROVED BY LA

18"x18" PCC PAVER TEXADA CHARCOAL GREY BY ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED ONTO; MIN 50mm LIGHTWEIGHT FREE DRAINING CRUSHED COMPACTED GRAVEL FILL ON TO; ZINCO FILTER SHEET SF ON TO; DRAINAGE ELEMENT FLORADRAIN FD60, INFILL WITH MINERAL SUBSTRATE 'ZINCOBLEND M' ON TO; MOISTURE + PROTECTION MAT ZINCO SSM45 ON TO; WATERPROOFING MEMBRANE ON TO; ROOF SURFACE - AS PER ARCHITECTURE (OR SIMILAR AS APPROVED)

NB SLAB SLOPES MIN 1:50 FALL TO ROOF DRAINS TO ARCH/M&E SPECIFICATION & DETAIL
 SHOP DRAWINGS TO BE APPROVED BY LA



2 TYPICAL TREE PLANTER
 L12_L6 Scale: 1:10

L12_L6

general notes

This drawing is an instrument of service, remains the property of considered design inc and may not be reproduced without the permission of considered design inc.
All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.

DO NOT SCALE FROM THIS DRAWING

All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
BUILDING PERMIT 90%	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	07.05.2021

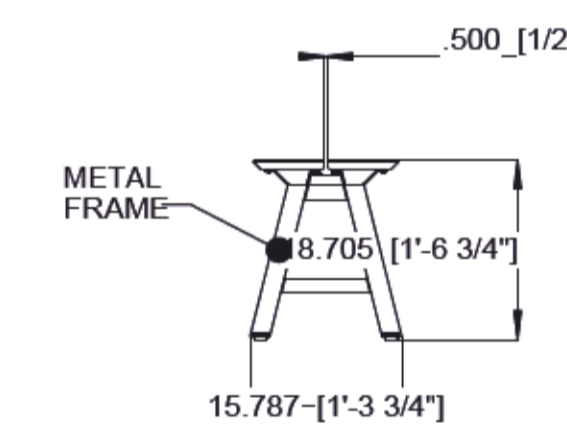
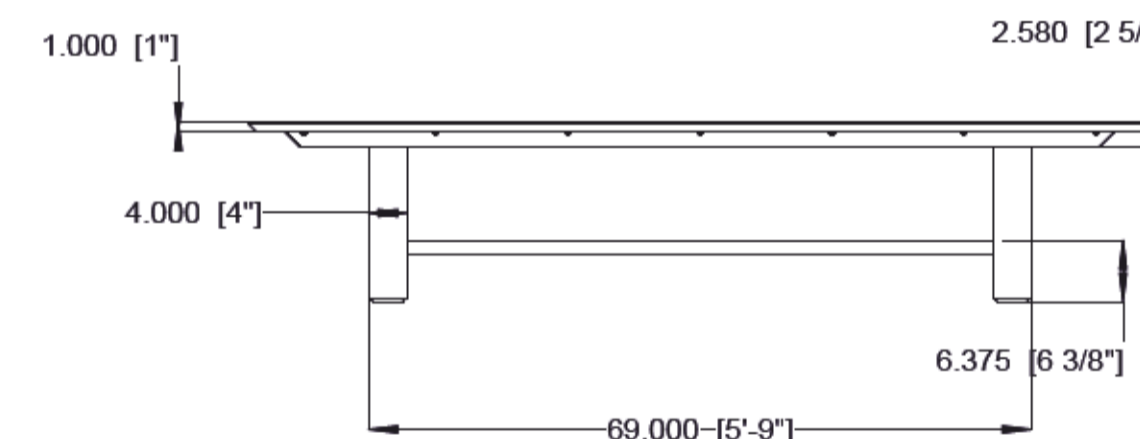
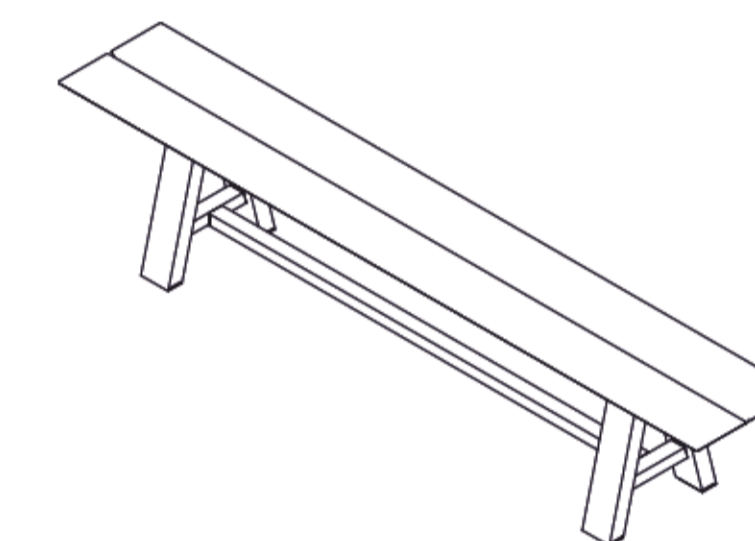
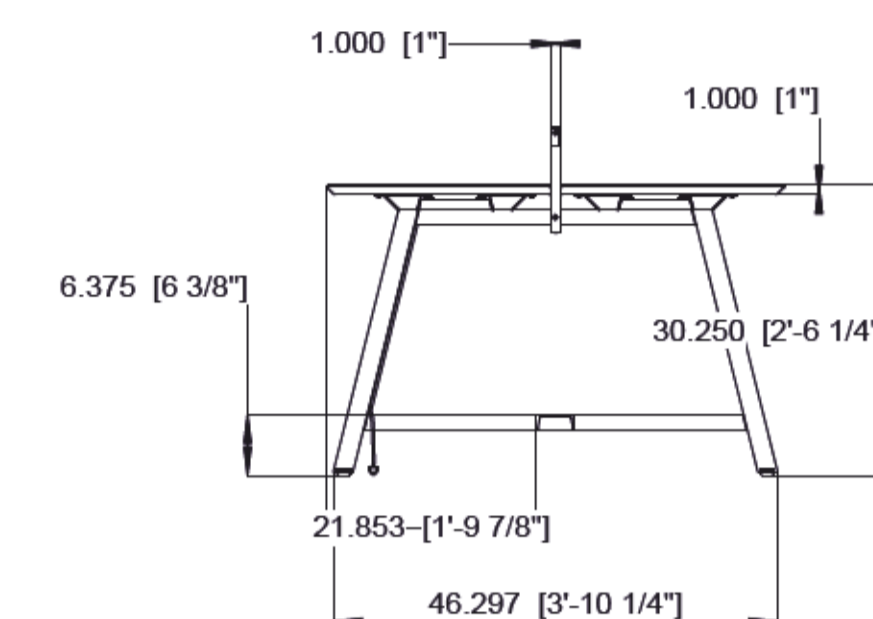
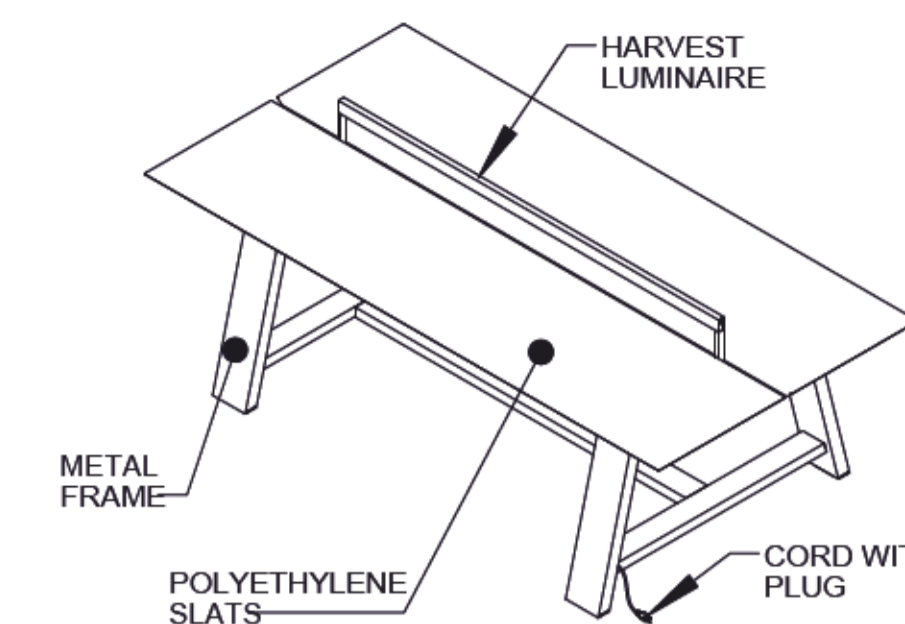
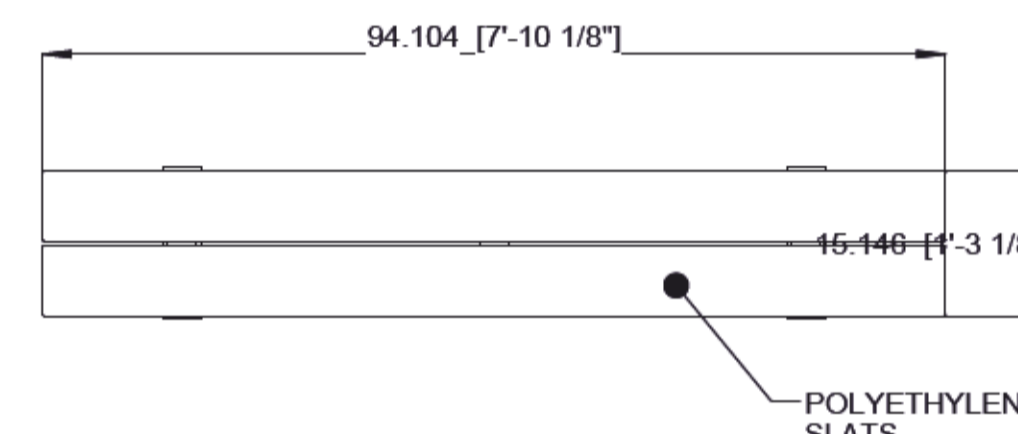
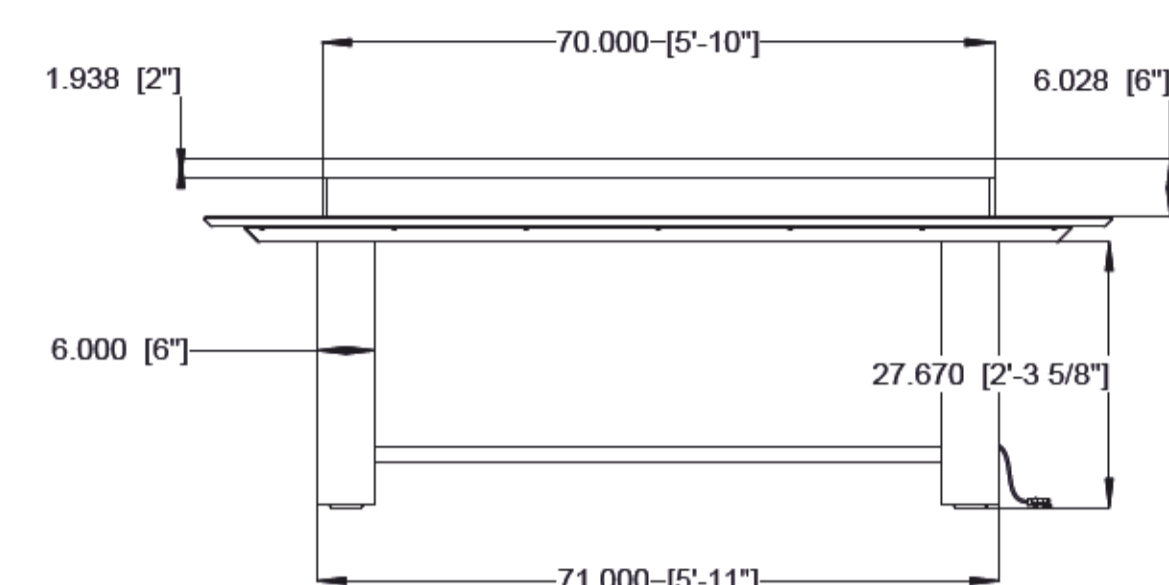
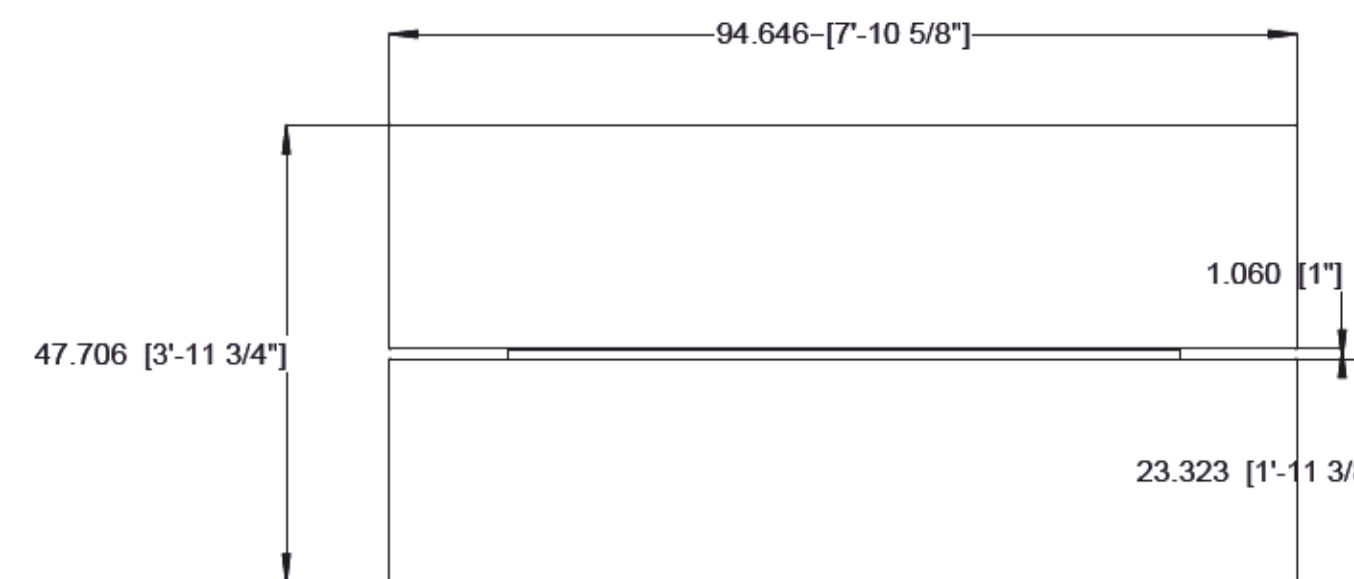
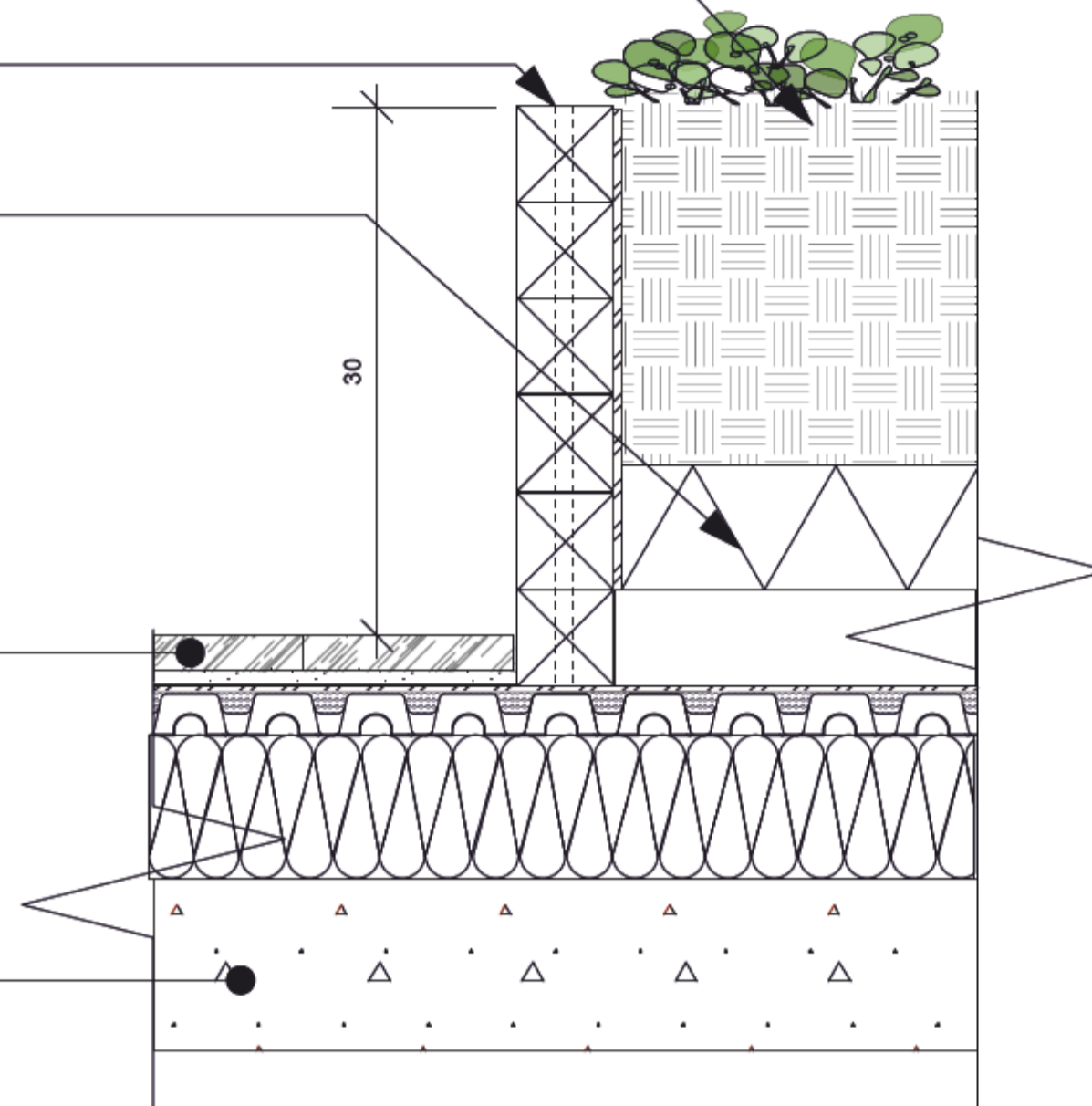
SYSTEM BUILD-UP:
PLANT MATERIAL ONTO:
GROWING MEDIUM ZINCO EXTENSIVE SYSTEM SUBSTRATE
ZINCO GROWING MEDIUM ONTO, ZINCO FILTER SHEET SF
ON TO, MIN 4" FREE DRAINING ROCK
DRAINAGE ELEMENT FLORADRAIN FD60 INFILL WITH MINERAL
(OR SIMILAR AS APPROVED)

6"x6" NOM. LENGTH UNTREATED CEDAR SECTIONS
FINGER JOINTED AT CORNERS AND DRILLED / FIXED
WITH 5/8TH" S STEEL DOWEL BARS

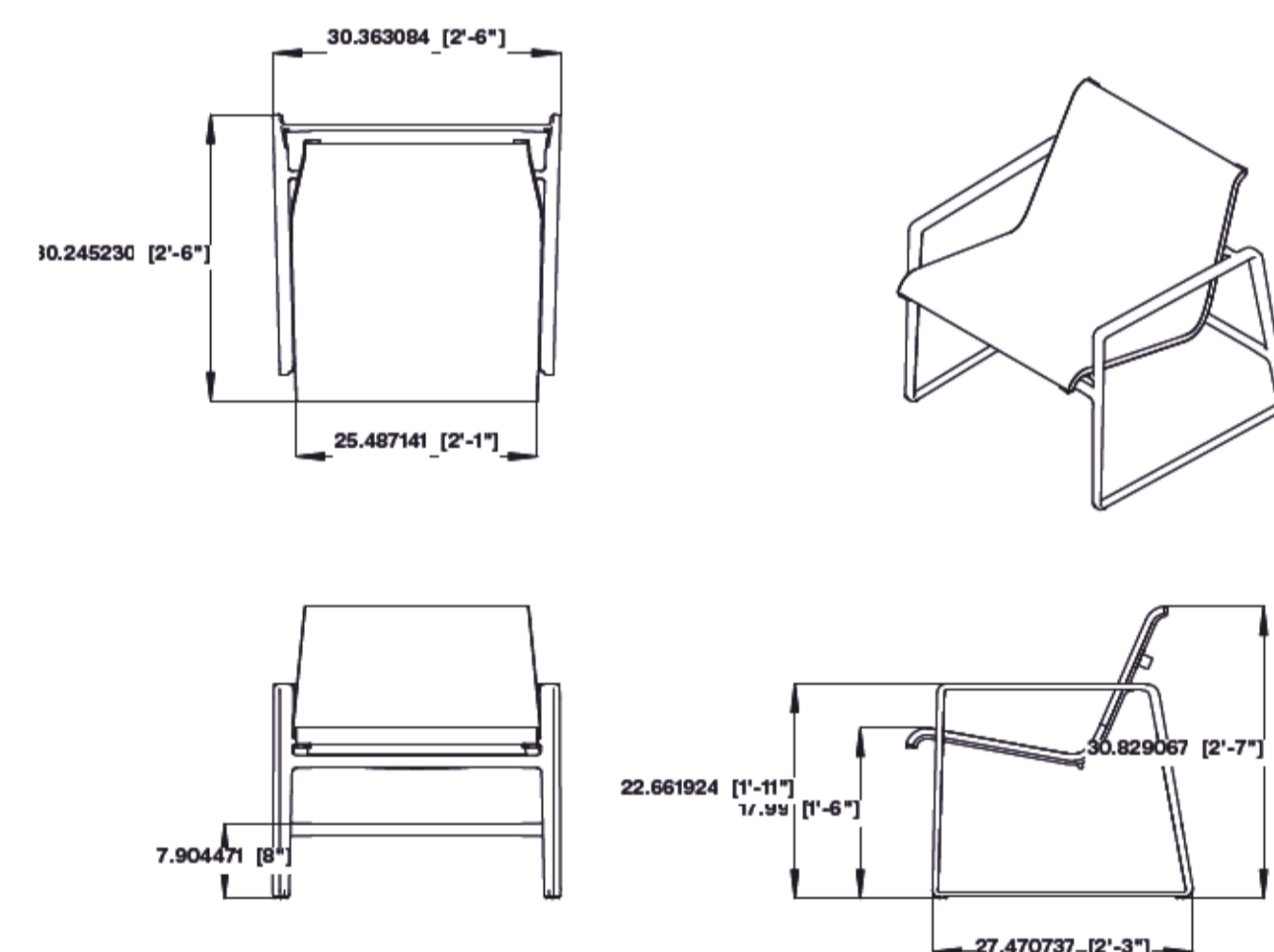
MIN 4" FREE DRAINING ROCK

18"x18" PCC PAVER TEXADA CHARCOAL GREY BY
ABBOTSFORD CONCRETE OR SIMILAR AS APPROVED
ON TO, MIN 1" 3/4" FREE DRAINING COMPACTED ANGULAR
GRAVEL ONTO DRAINAGE ELEMENT FLORADRAIN FD60
INFILL WITH MINERAL SUBSTRATE ZINCOBLEND M²
(OR SIMILAR AS APPROVED)

SLOPED STRUCTURAL SLAB
TO ARCH DETAIL /
SPECIFICATION



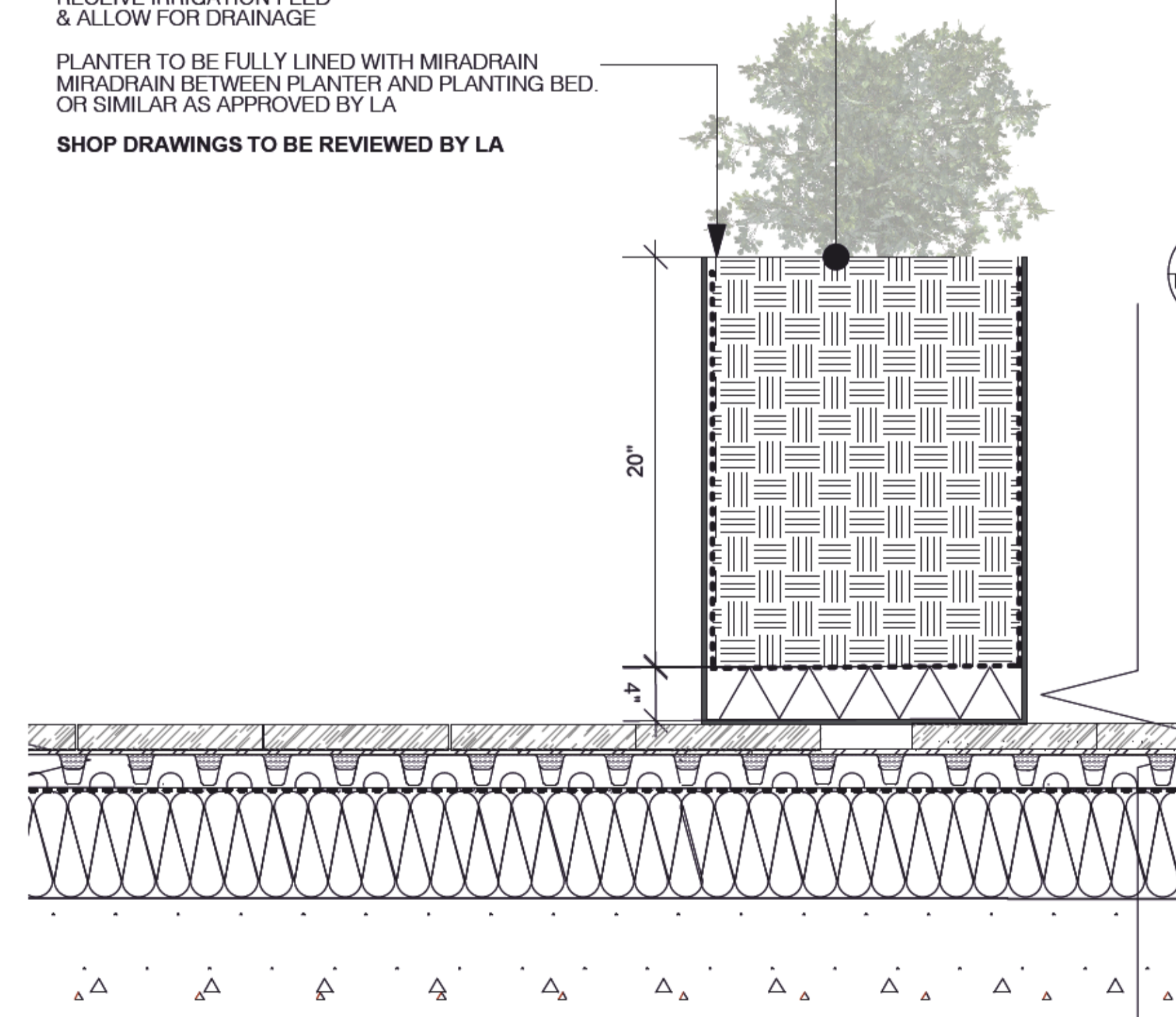
1 URBAN AGG. PLANTERS
L12_L6.1 Scale: 1:10



MIN 20" DEEP GROWING MEDIUM ZINCO
INTENSIVE SYSTEM SUBSTRATE ONTO,
MIRADRAIN ONTO, MIN. 4" FREE DRAINING
ROCK.
MODULAR 24" HIGH 2" WIDE POWDER COATED
ALUMINIUM PLANTERS
BY GREENTHEORY 604 4757002 OR SIMILAR AS APPROVED
COLOUR WHITE
BASE OF PLANTER TO BE DRILLED WITH
5/8" DIA HOLES @ 200mm C. TO
RECEIVE IRRIGATION FEED
& ALLOW FOR DRAINAGE

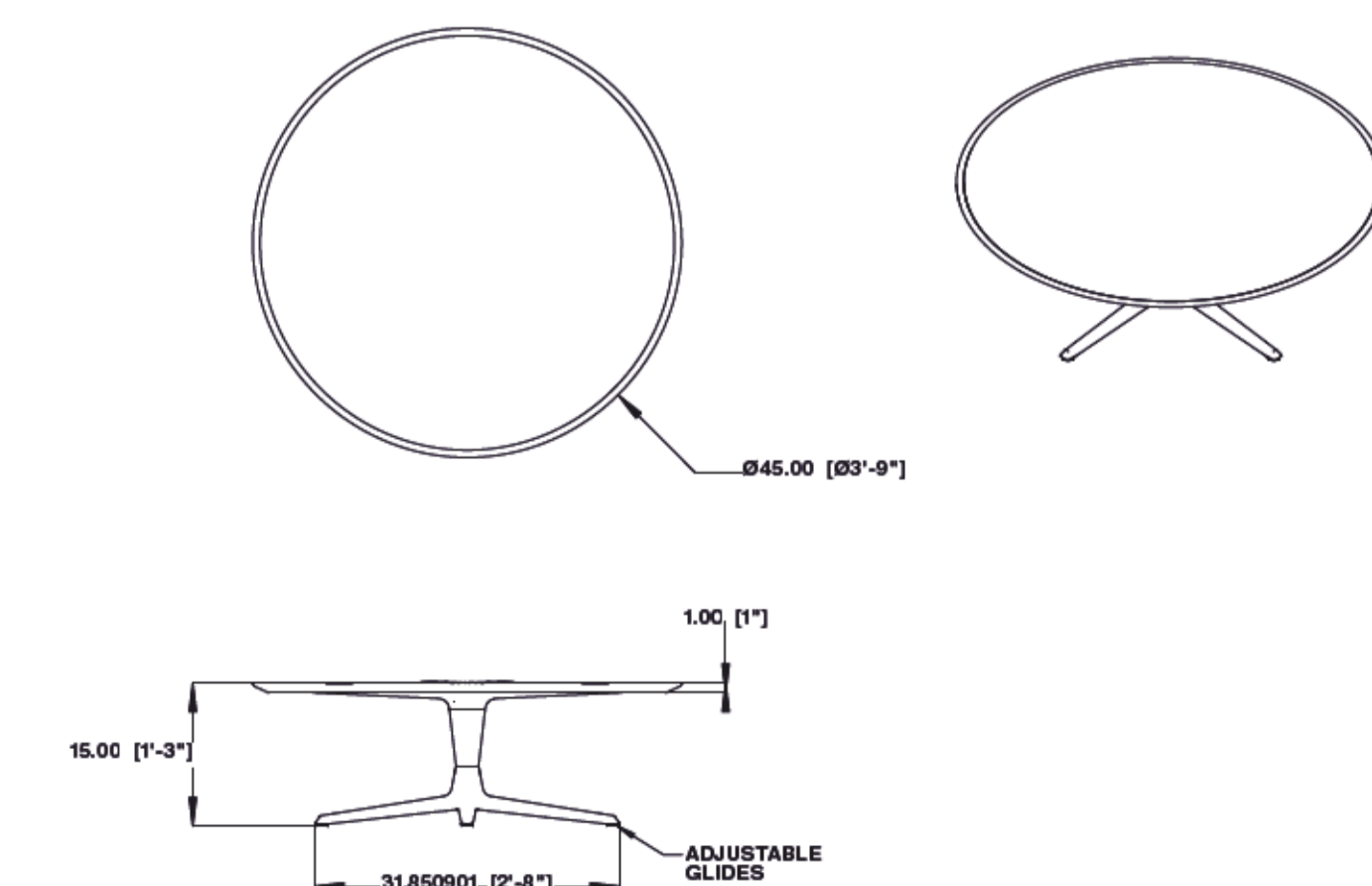
PLANTER TO BE FULLY LINED WITH MIRADRAIN
MIRADRAIN BETWEEN PLANTER AND PLANTING BED.
OR SIMILAR AS APPROVED BY LA

SHOP DRAWINGS TO BE REVIEWED BY LA



2 HARVEST TABLE / BENCH BY LANDSCAPE FORMS
L12_L6.1 Scale: 1:20

5 COCHRAN LOUNGE CHAIRS CHIPMAN TABLE BY LANDSCAPE FORMS
L12_L6.1 Scale: 1:20



4 MODULAR ALUMINIUM PLANTER
L12_L6.1 Scale: 1:10

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278,
VICTORIA CITY.

drawing
ROOF GENERAL ARRANGEMENT

seal

scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L12_L1

number

L12_L6.1

general notes

This drawing is an instrument of service, remains the property considered design inc and may not be reproduced without the permission of considered design inc.

All information shown on this drawing is for use in this specific project and shall not be used without written consent of considered design inc.
DO NOT SCALE FROM THIS DRAWING
All dimensions are to be verified by the contractor, use figured dimensions only. Any discrepancies shall be brought to the attention of the Landscape Architect prior to the commencement of work on site.

THIS DRAWING SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR IFC

issue	date
FOR COMMENT	13.11.2020
BUILDING PERMIT	18.12.2020
BUILDING PERMIT	04.03.2021
IFT	07.05.2021
BUILDING PERMIT RESUBMISSION	30.06.2021
BUILDING PERMIT RESUBMISSION	19.08.2021
DDP RESUBMISSION	21.10.2021
BUILDING PERMIT RESUBMISSION	15.11.2021
BUILDING PERMIT RESUBMISSION	28.06.2022
DDP RESUBMISSION	30.05.2023

revision	date
A	30.05.2023

project
819-827 FORT STREET VICTORIA BC.

legal
PARCEL D (DD 263514 I) OF LOTS 277 AND 278, VICTORIA CITY.

drawing
ROOF LANDSCAPE LIGHTING PLAN

seal



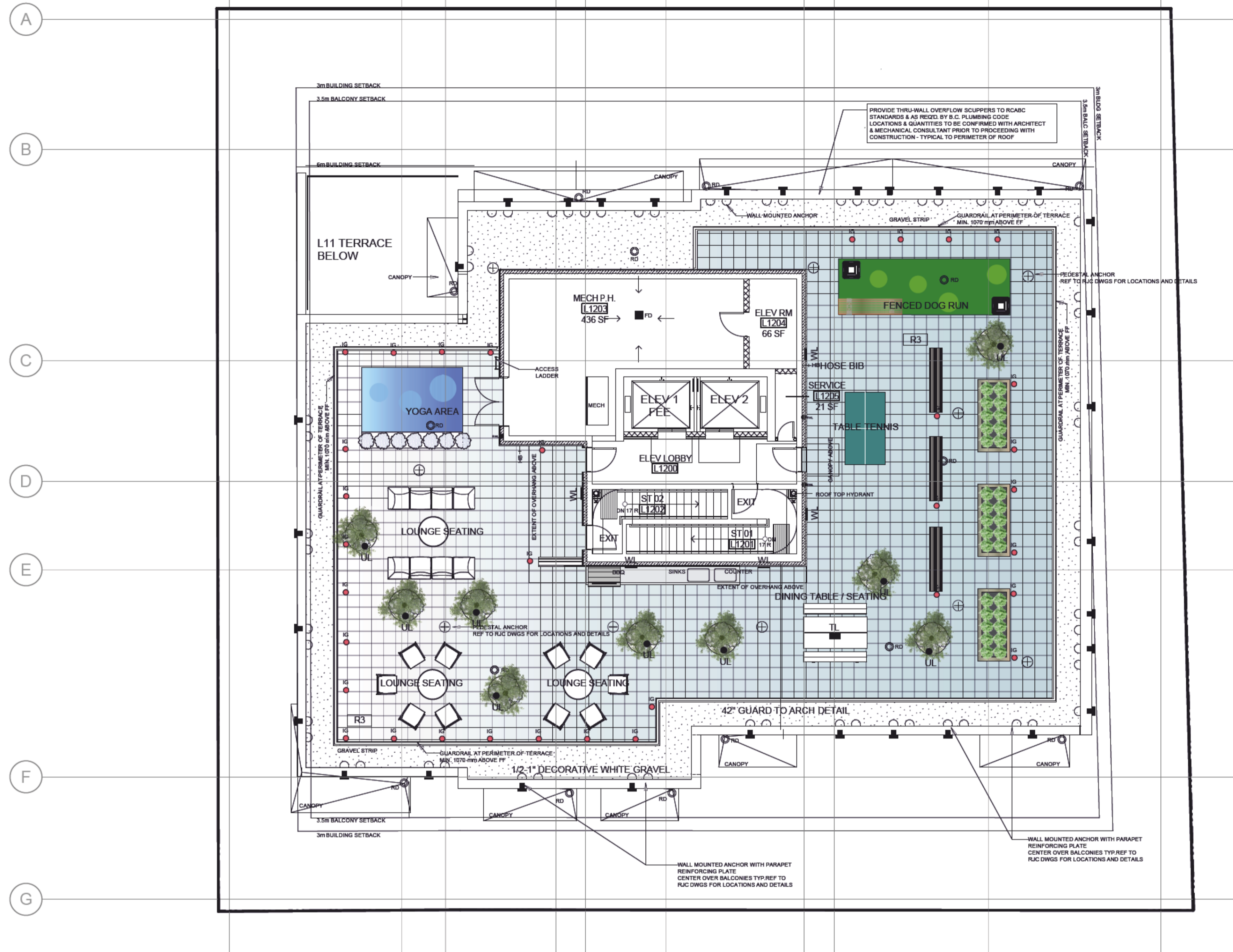
scale
AS SHOWN

drawn
JP

checked
JP

reference
2017.09_02 L12_L1

number
L12_L11



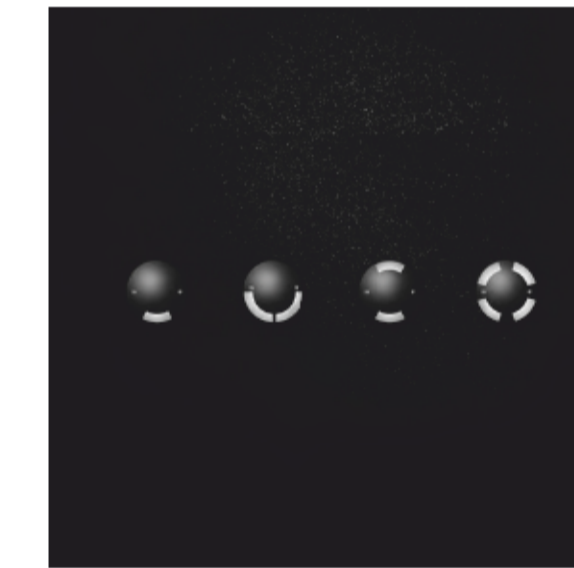
TL TABLE LIGHT / HARVEST TABLE BY LANDSCAPE FORMS



WL WALL LIGHT / EG. BEGA 24374 / WALL LIGHTS TO BE COORDINATED WITH ARCHITECTURE.



IG INGROUND LIGHT / EG. BEGA 88674 WITH 1 OR 2 OPENINGS DEPENDANT ON LOCATION.



UL TREE UP LIGHT / EG. BK NITESTAR



1 ROOF LANDSCAPE LIGHTING
L12_L11 1:100 METRIC



Letter to Mayor and Council

September 26, 2023

Mayor Marianne Alto
Members of City Council
City of Victoria
1 Centennial Square
Victoria, BC V8W 1P6

Dear Mayor and Council,

**Re: 819-827 Fort Street (Project Name “825 Fort”)
DPV00244 Variance Request To Increase Building Height and Add 14-Residential Suites**

Please accept this letter on behalf of 825 Fort Holdings Ltd as our response to Council’s stated commitment to find ways to provide housing and aid in its affordability, including working with industry to find creative ways in which to do so.

Following the rezoning and DP approval of 825 Fort Street, the project achieved approval under the CMHC “Rental Construction Financing Initiative” (RCFI) program. RCFI is CMHC’s program for private housing with the deepest levels of affordability, energy use and greenhouse gas emissions and accessibility criteria. Our commitments for 825 Fort achieve the deepest level of affordability, for the greatest percentage of suites for the longest term (21-years) available under the program.

Given this, we are proposing a DP Variance to the building height and parking requirement that will increase the number of homes delivered through this RCFI approved project. The resulting 11-story building would include 119-studio, 1-bed, 2-bed, and 3-bed homes. These 14-suites represent a 13% increase in the rental housing on this site.

The building height variance includes a variance of the “rooftop structure” to a height of 6.2m. This exceeds the provisions of the RMD-2 zoning bylaw, which indicates a maximum rooftop structure height of 5.0m above the main roof. The proposed “rooftop structure” height of 6.2m includes the “elevator overrun” required for an elevator appropriate for a building and population of this volume, and an elevator stop on the roof that enables universal accessibility to the common amenity deck.

“825 Fort” includes a significant common amenity space on the main building rooftop. This amenity space includes a barbeque area, various eating and seating areas, an area for yoga/exercise, a dog exercise area, and tenant planting gardens. It is fully wheelchair accessible, with an elevator stop to this level.

The height variance also allows for changes to the roof design to accommodate a central cooling system for all the building’s homes. We believe that this is consistent with the goal of providing highly livable homes for rent in Victoria’s high density residential district. I also note that the updated DCAP allows 12-story buildings in this location.



This represents an opportunity for Council to add 14-rental homes in downtown Victoria in a project that is underway in a location that permits the requested height, and where financing agreements with CMHC legally obligate the project in its affordability, energy use and GHG emission reductions, and in its delivery of homes that are accessible, adaptable, and designed with “universal” principles.

For reference, 825 Fort Street includes the following:

- Retention and restoration of 2-designated heritage facades (819 and 825 Fort)
- Seven 3-Bedroom homes

CMHC RCFI “Rental Construction Financing Initiative” commitments achieved at 825 Fort Street include:

1. Affordability in 2-forms:

- a. Initial lease up must be at no more than 90% of appraised rents for the entire rent roll, and
- b. 20% of the suites plus 10-additional suites will be affordable.
If 119 suites approved, the building will include 34-affordable suites (28.6% of the total).

Affordable suites will be leased for no more than 70% of 30% (21%) of CMHC median household income. (This is the deepest level of affordability under CMHC’s RCFI program).

Affordability item b) will remain for a term of 21-years.

2. Accessibility:

- 10% of the suites will be accessible
- In addition, 2-suites will be fully adaptable
- In addition, 2-suites will be designed with universal accessibility

3. Energy efficiency and GHG emissions:

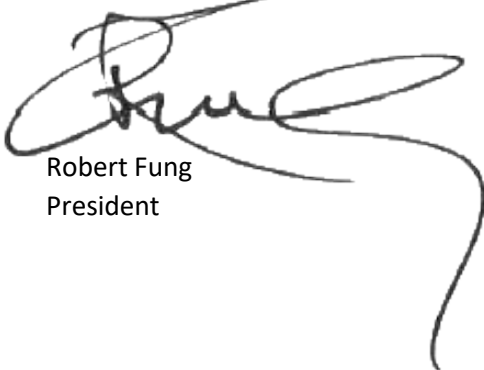
- The building design is over 15% more energy efficient and greenhouse gas emissions are more than 15% less than the 2015 model building code.

We are hopeful that this project will assist the city in achieving its goals of increasing delivery of housing supply, while also providing affordability, accessibility, and energy efficiency.

Thank you for your consideration.

Yours truly,

825 FORT HOLDINGS LTD

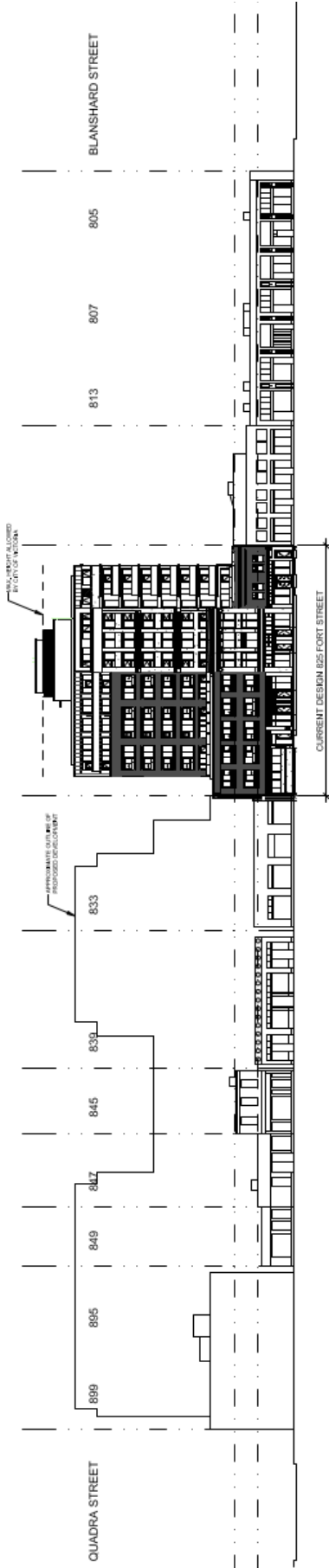


Robert Fung
President

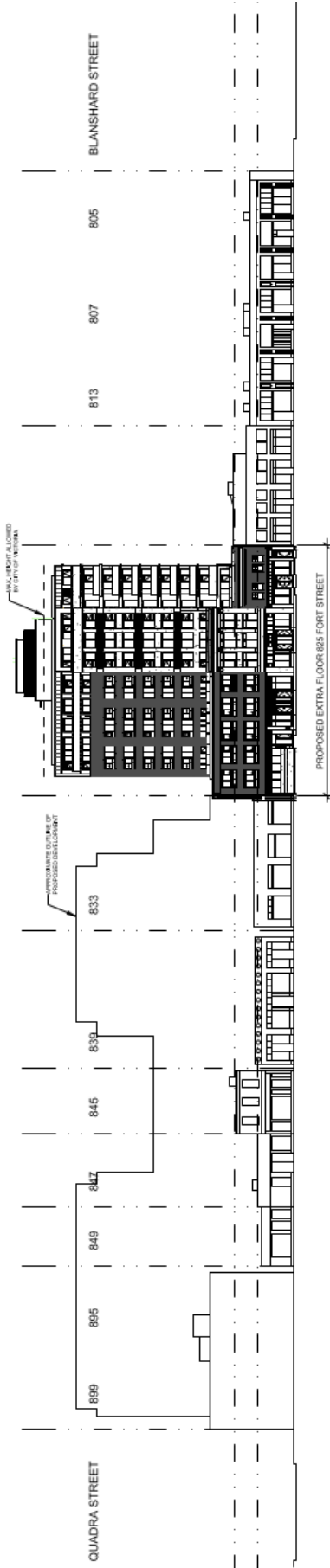
S A L I E N T



The Salient Group #225 – 209 Carrall Street, Vancouver, BC V6B 2J2
T: 604.660.5536 F: 604.660.5574 E: info@thesalientgroup.com



1 NORTH ELEVATION - FORT ST 800 BLOCK - CURRENT DESIGN
 A300 SCALE: 1/32" = 1'-0"



2 NORTH ELEVATION - FORT ST 800 BLOCK - PROPOSED EXTRA FLOOR
 A300 SCALE: 1/32" = 1'-0"

1

2023

CITY OF VICTORIA | Sustainable Planning & Community Development

Development Permit with Variances Application

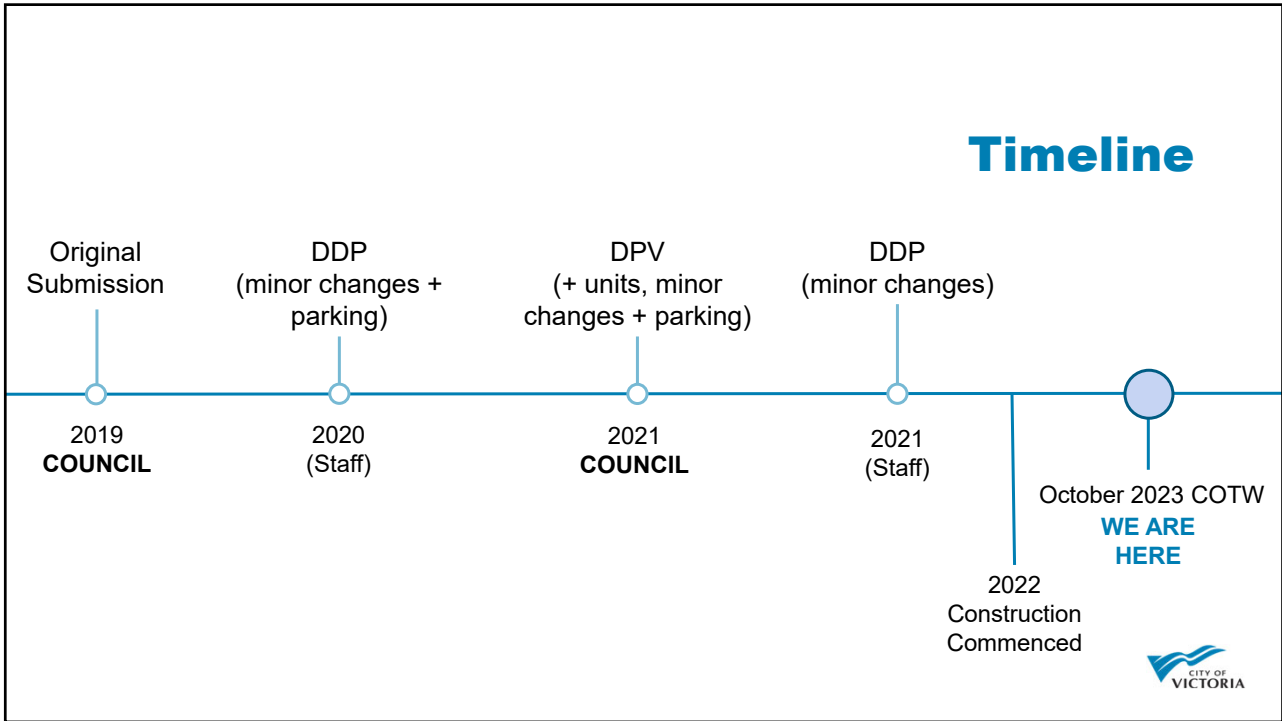
For 827 Fort Street



COMMITTEE OF THE WHOLE | OCTOBER 12, 2023



1



2



Aerial Photo

3



3



Subject Property

4



Neighbouring Properties



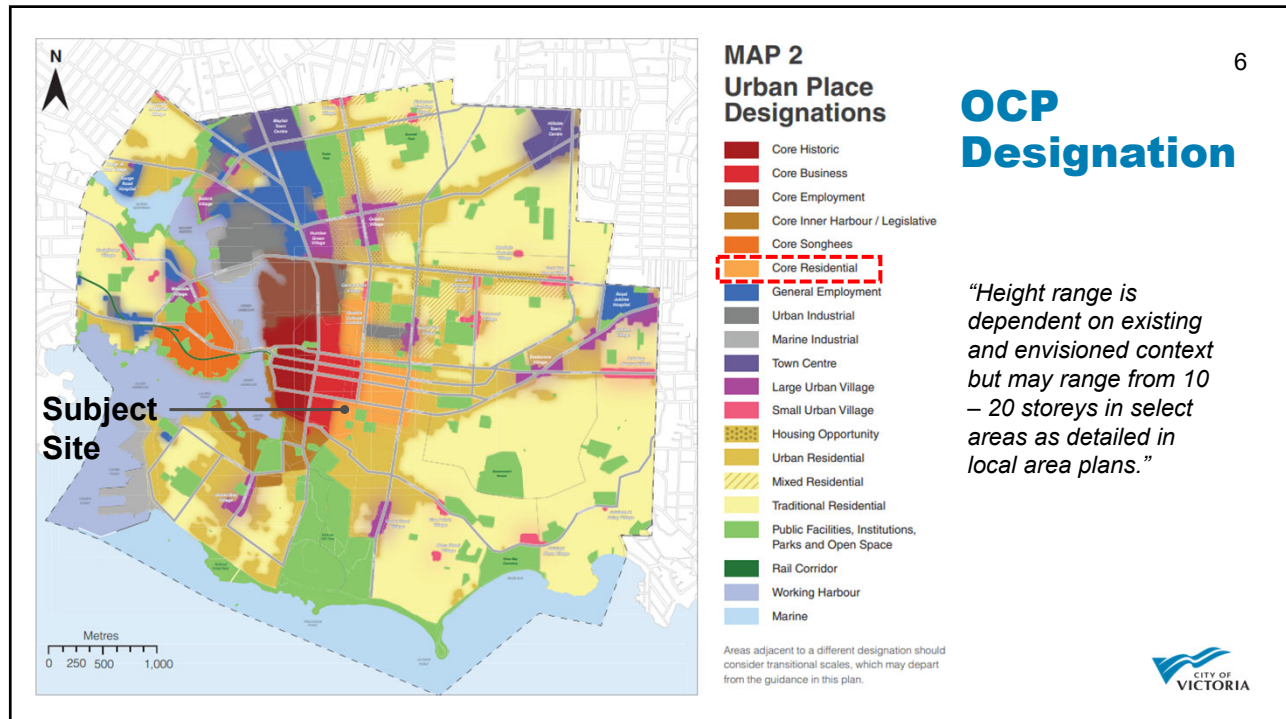
4

Legislative Authority (DPV)

Design Guidelines for Development Permit Area 7B – Corridors Heritage

- Downtown Core Area Plan
- Fairfield Neighbourhood Plan
- Advisory Design Guidelines
- Guidelines for Fences Gates and Shutters

+ Supportability of the proposed variances



Maximum height	Approximate number of storeys in a mixed-use building	Approximate number of storeys in a residential building
20m	5-6	6
25m	7-8	8
30m	8-9	9-10
30-37.5m*	10-11	11-12

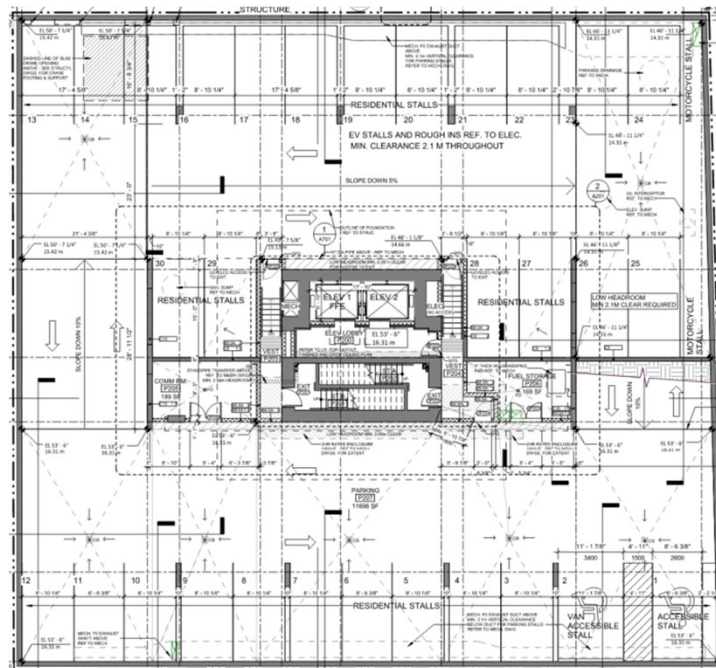
*See policy 6.2.1

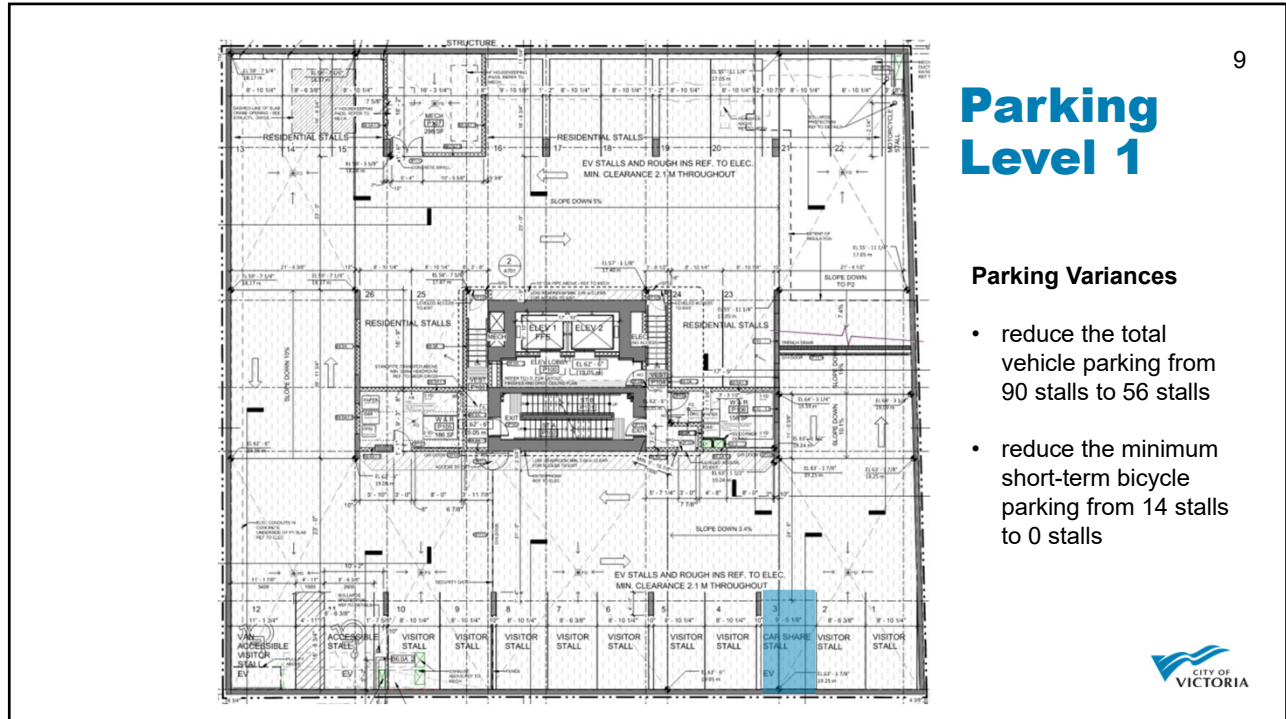
Building Height

Subject Site



Parking Level 2





9

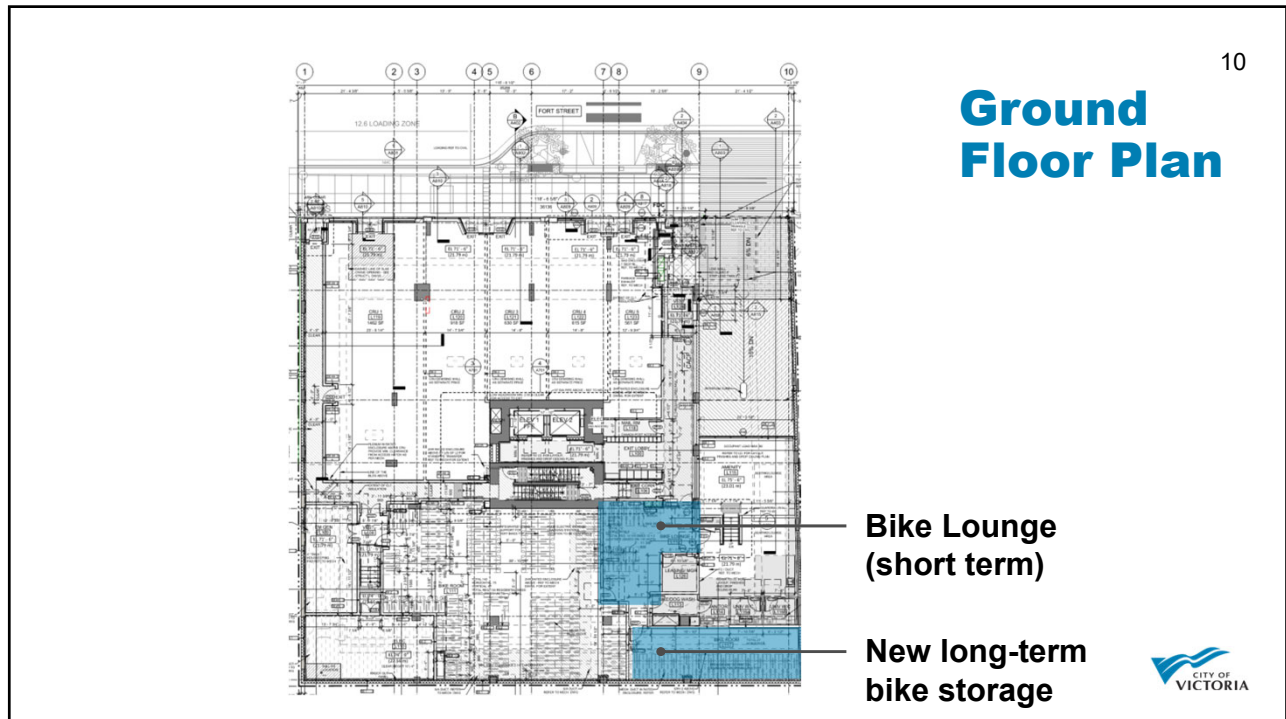
Parking Level 1

Parking Variances

- reduce the total vehicle parking from 90 stalls to 56 stalls
- reduce the minimum short-term bicycle parking from 14 stalls to 0 stalls



9



10

Ground Floor Plan

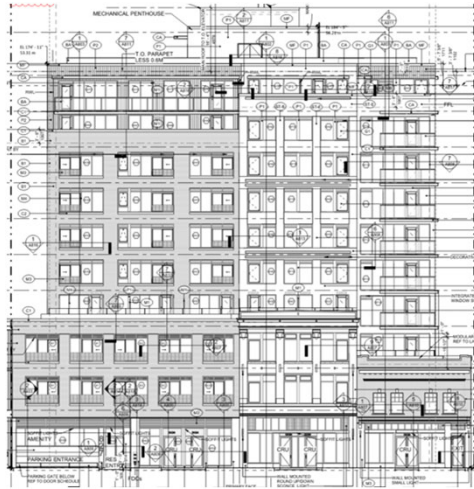
**Bike Lounge
(short term)**

**New long-term
bike storage**



10

Previous Proposal



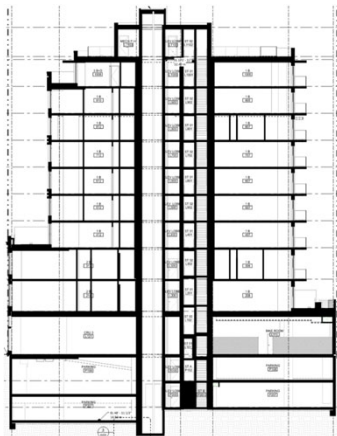
Current Proposal



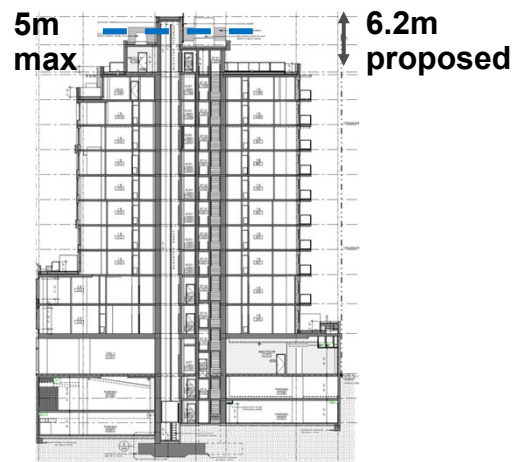
Elevations



Sections



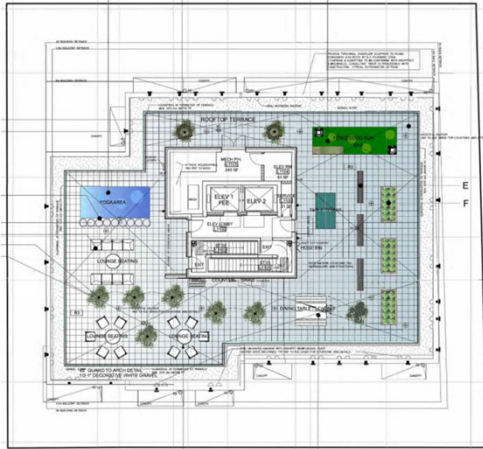
Previous Proposal



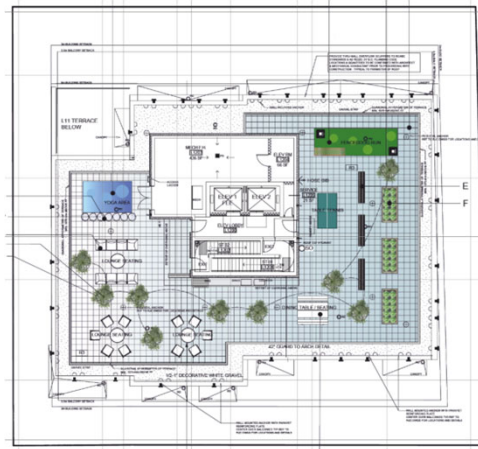
Current Proposal



Landscape Plan



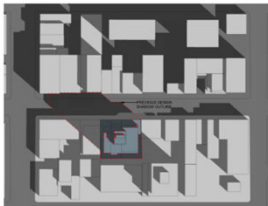
Previous Proposal



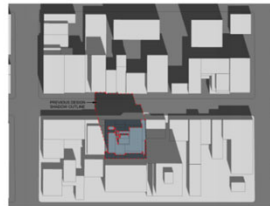
Current Proposal



Shadow Study



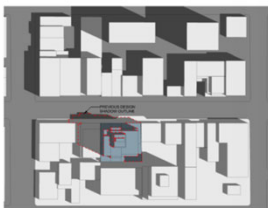
1 Spring Equinox 10 AM



2 Spring Equinox 12 PM



3 Spring Equinox 2 PM



4 Summer Solstice 10 AM



5 Summer Solstice 12 PM



6 Summer Solstice 2 PM



Renders



Previous Proposal



Current Proposal

