

LA SOCIETE FRANCOPHONE DE VICTORIA

2-1218 LANGLEY ST | ISSUED FOR DELEGATED PERMIT APPLICATION **AMENDEMENT 1**

LIST OF DRAWINGS

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- A300 ELEVATIONS
- A301 IMAGES
- A500 STAIRS AND LIFT DETAILS
- A501 STAIRS AND LIFT DETAILS
- A502 STAIRS AND LIFT DETAILS

PROJECT INFORMATION

OWNER NAME : LA SOCIETE FRANCOPHONE DE VICTORIA
CONTACT : CASEY EDMUNDS
CIVIC ADDRESS : #2-1218 LANGLEY ST - VICTORIA - V8W 1W2

SUBJECT SUITE IS LOCATED ON SECOND FLOOR OF THE BUILDING. LA SOCIÉTÉ FRANCOPHONE IS OCCUPYING ALL THE SECOND FLOOR.

PROPOSED PROJECT :
TENANT IMPROVEMENT - ADDITION OF LIFT, STAIRS AND LANDING

ARCHITECT :
ANNIE M. CHARBONNEAU, ARCHITECT INC. - 250-891-4663

STRUCTURAL ENGINEER :
ALEX CONNELLY-REED, P.ENG, INTEGRATED EIS - 778-874-1192

ELECTRICAL ENGINEER :
BAL KLEAR, ASCT , AES ENGINEERING - 778-746-2003

GENERAL NOTES

ALL WORK SHALL CONFORM TO THE BRITISH COLUMBIA BUILDING CODE 2018 OR LOCAL BUILDING CODES AND BY-LAWS WHICH MAY TAKE PRECEDENCE.

CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE.

NO INTERVENTIONS ON EXTERIOR ELEMENTS.

NO INTERVENTIONS ON EXISTING STRUCTURAL ELEMENTS. CONTRACTORS TO VERIFY ON SITE.



3D IMAGE

ZONING SUMMARY

PID : 009-396-802 (EXTRA PIDS 009-396-811)
FOLIO: 01064007
LEGAL DESCRIPTION : VICTORIA LOT 1622/1623 (SEE PAGE A100)
SITE AREA : 390.8 SQ.M
MUNICIPALITY : VICTORIA
ZONING:OTD-1 : OLD TOWN DISTRICT-1
DP AREA : PA 1 (HC) - HISTORIC CORE

SITE COVERAGE
81% EXISTING / PROPOSED (SAME OPEN SITE SPACE %)

FLOOR AREA
2.43 EXISTING / PROPOSED (3 PERMITTED) NO INTERVENTIONS

SETBACKS
NO INTERVENTIONS ON SETBACKS FOR BUILDING
STAIRS AND LANDING ON BUILDING PROPERTY - SEE PAGE A100

HEIGHT
10.49 M EXISTING / PROPOSED (15M PERMITTED) NO INTERVENTIONS
PARKING
NO PARKING - NO INTERVENTIONS ON PARKING
NO BIKE PARKING - PROPOSED SECURED BIKE PARKING AREA

BCBC REGULATION

BUILDING AREA | 317 SQ.M
BUILDING HEIGHT | 3 STORY
TOTAL FLOOR AREA | 951 SQ.M (NO COMMERCIAL AREA)

MAJOR OCCUPANCY | D
OCCUPANCY OF SUITE | D

GOVERNING ARTICLE | 3.2.2.60
AUTOMATIC SPRINKLERS | NO
FIRE ALARM SYSTEM | YES

FIRE-RATING REQUIRED | 45 MIN
FR REQUIRED BETWEEN D SUITES | - (EXISTING)
CONSTRUCTION | COMBUSTIBLE
TOTAL PERIMETER OF THE BUILDING | 1 STREET

NO INTERVENTION ON FIRE SEPARATION.

SUITE INFORMATION

SPACE AREA | 257 SQ.M

OCCUPANCY | D

OCCUPANT LOAD
OFFICES | 257 SQ.M / 9.3 P/M² = 28 PERSON
FOR EVENTS ALCOHOL PERMIT IS ATTRIBUTED FOR 50 PERSON

2 EXIT REQUIRED FLOOR - 2 EXITS PROVIDED
2 EGRESS DOORWAYS SUITE - 2 EXISTING AND PROPOSED

TRAVEL DISTANCE REQUIRED | 25 M
TRAVEL DISTANCE EXISTING | 17.2 M

WIDTH REQUIRED DOOR | MIN 800 MM
WIDTH REQUIRED CORRIDOR | MIN 1100 MM

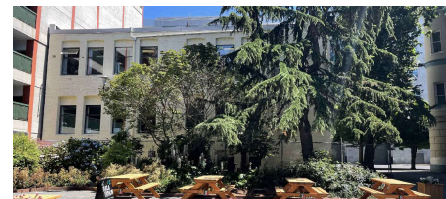
WASHROOM REQUIREMENT
2 REQUIRED - 2 EXISTING
(1 ACCESSIBLE WASHROOM)



FRONT ELEVATION - LANGLEY STREET



LATERAL ELEVATION - CHANCERY LANE



BACK ELEVATION - BASTION SQUARE



KEY PLAN

PROJET

LA SOCIÉTÉ FRANCOPHONE DE VICTORIA
#2 - 1218 LANGLEY ST
VICTORIA BC
V8W 1W2

CLIENT



SEAL



ANNIE M CHARBONNEAU, ARCHITECT ABC
#2 - 1218 LANGLEY ST
VICTORIA BC
V8W 1W2

EMISSION DELEGATED PERMIT APPLICATION A1

PROJECT INFORMATION AND CODE ANALYSIS

TITLE

SCALE

DATE 2023-11-23

PROJET 2021-08 | SFV

PAGE **A000**

NOT FOR CONSTRUCTION

PROJET

LA SOCIÉTÉ FRANCOPHONE DE VICTORIA
#2-1218 LANGLEY ST
VICTORIA BC V8W 1W2

CLIENT



SEAL



ANNIE M CHARBONNEAU, ARCHITECT ABC
#2-1218 LANGLEY ST
VICTORIA BC V8W 1W2

EMISSION DELEGATED PERMIT APPLICATION A1

PROPOSED SITE PLAN

TITLE

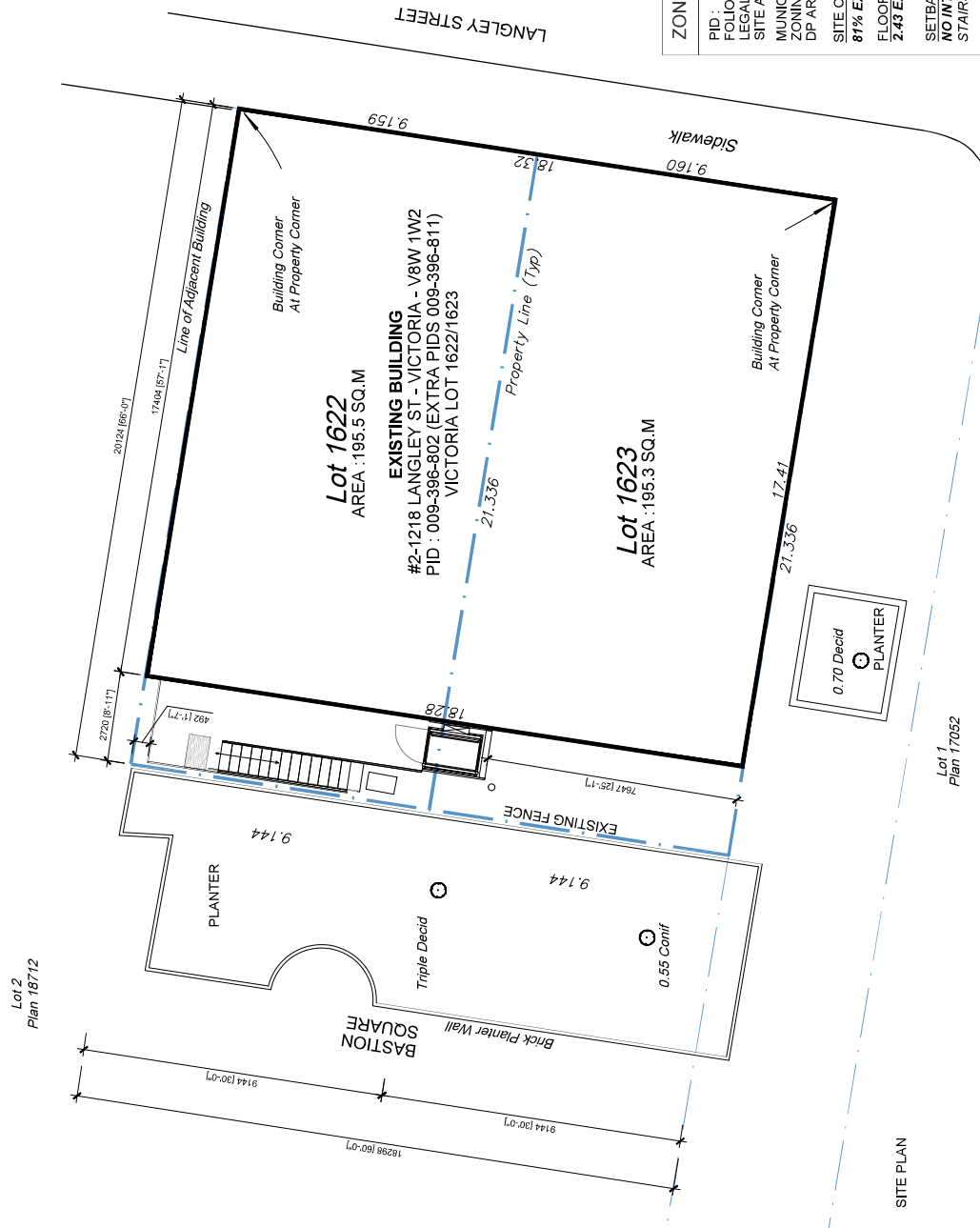
SCALE 1:100

DATE 2024-11-23

PROJET 2021-06 | SFV

PAGE

NOT FOR CONSTRUCTION



ZONING SUMMARY

PID : 009-396-802 (EXTRA PIDS 009-396-811)
FOLIO : 01064007
LEGAL DESCRIPTION : VICTORIA LOT 1622/1623 (SEE PAGE A100)
SITE AREA : 390.8 SQ.M
MUNICIPALITY : VICTORIA
ZONING/OTD-1 : OLD TOWN DISTRICT-1
DP AREA : PA 1 (HC) - HISTORIC CORE
SITE COVERAGE : 81% EXISTING / PROPOSED (SAME OPEN SITE SPACE %)
FLOOR AREA : 2.45 EXISTING / PROPOSED (3 PERMITTED) NO INTERVENTIONS
SETBACKS : NO INTERVENTIONS ON SETBACKS FOR BUILDING
STAIRS AND LANDING ON BUILDING PROPERTY - SEE PAGE A100
HEIGHT : 10.49 M EXISTING / PROPOSED (15M PERMITTED) NO INTERVENTIONS
PARKING : NO PARKING - NO INTERVENTIONS ON PARKING
NO BIKE PARKING - PROPOSED SECURED BIKE PARKING AREA

BCBC REGULATION

BUILDING AREA | 317 SQ.M
BUILDING HEIGHT | 3 STORY
TOTAL FLOOR AREA | 951 SQ.M (NO COMMERCIAL AREA)
MAJOR OCCUPANCY | D
OCCUPANCY OF SUITE | D
GOVERNING ARTICLE | 3.2.2.60
AUTOMATIC SPRINKLERS | NO
FIRE ALARM SYSTEM | YES
FIRE-RATING REQUIRED | 45 MIN
FR REQUIRED BETWEEN D SUITES | - (EXISTING)
CONSTRUCTION | COMBUSTIBLE
TOTAL PERIMETER OF THE BUILDING | 1 STREET
NO INTERVENTION ON FIRE SEPARATION.



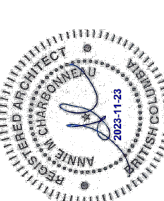
3D IMAGE

SITE PLAN

Lot 2
Plan 18712

PROJET

CLIENT



SEAL

Annie M. Charbonneau
 ARCHITECTE

ANNIE M CHARBONNEAU ARCHITECT ABC
 #2 - 1218 LANGLEY ST
 VICTORIA BC
 V8W 1W2

EMISSION DELEGATED PERMIT APPLICATION A1

PROPOSED PLAN

TITLE

SCALE 1:50

DATE 2025-06-26

PROJET 2021-06 | SFV

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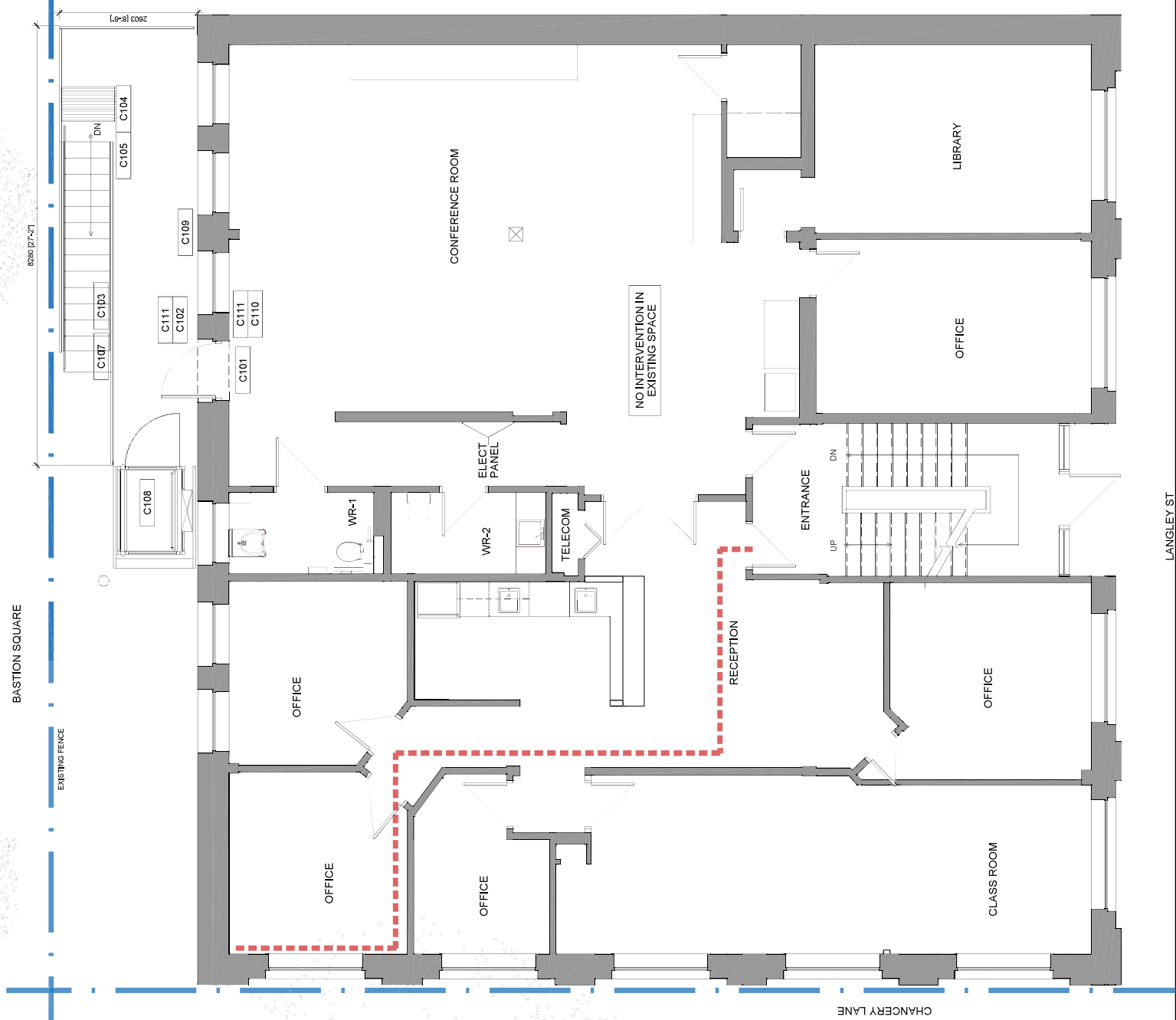
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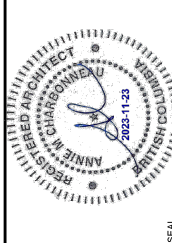
- LEGENDE**
- EXISTING WALL
 - WALL TO BE DEMOLISHED
 - EXISTING DOOR
 - DOOR TO BE DEMOLISHED
 - NEW DOOR

SPECIFIC NOTES - PROJECT PHASE 2

- C101 DEMOLISH EXISTING WINDOW AND BOTTOM PART OF WALL AS PER PAGE A302
- C102 NEW DOOR SEE DETAIL PAGE A302
- C103 NEW STEEL STAIRS WITH CONTRAST NOSING. SEE DETAILS PAGE A502
- C104 TACTILE WARNING. DETAILS TO COME.
- C105 NEW STEEL GUARDRAIL SEE DETAILS PAGE A502.
- C106 METAL LANDING. SEE DETAILS PAGE A500.
- C107 NEW HANDRAIL ONE SIDE OF STAIRS ONLY. SEE DETAILS PAGE A502.
- C108 NEW SAVARIA V-1504 36" X 54" 2 STOP LIFT WITH STEEL WALLS BLACK. TO BE COORDINATED WITH MANUFACTURER.
- C109 PROVIDE EXTERIOR LIGHTING DETAILS TO COME.
- C110 PROVIDE NEW PULL STATION AND NEW EXIST SIGN WITH EMERGENCY LIGHTING.
- C111 NEW PUSH BUTTON.

ALL DIMENSION TO BE VALIDATED ON SITE.

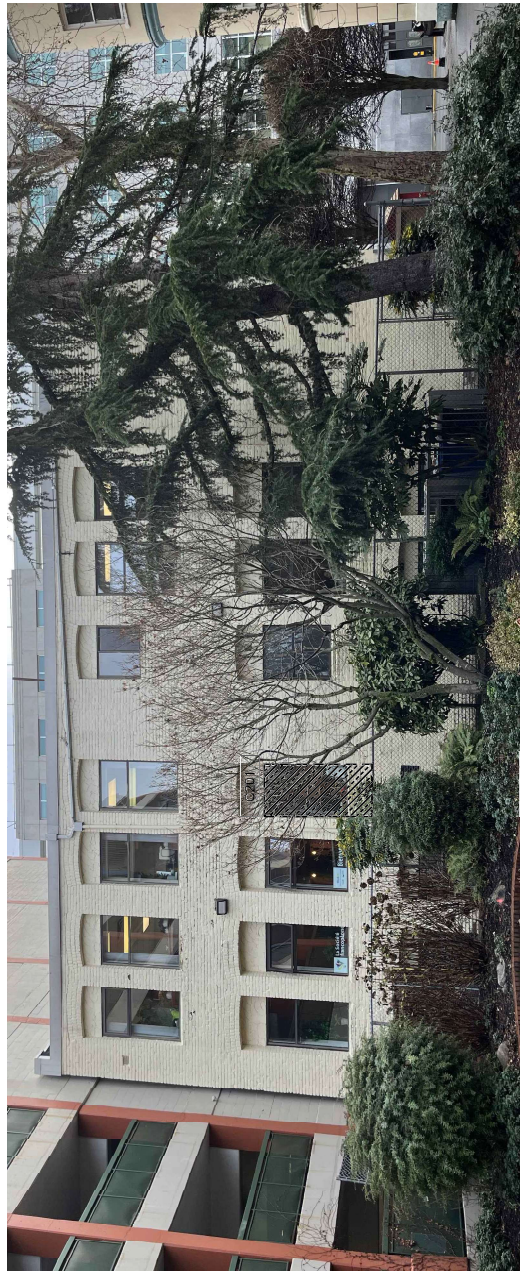
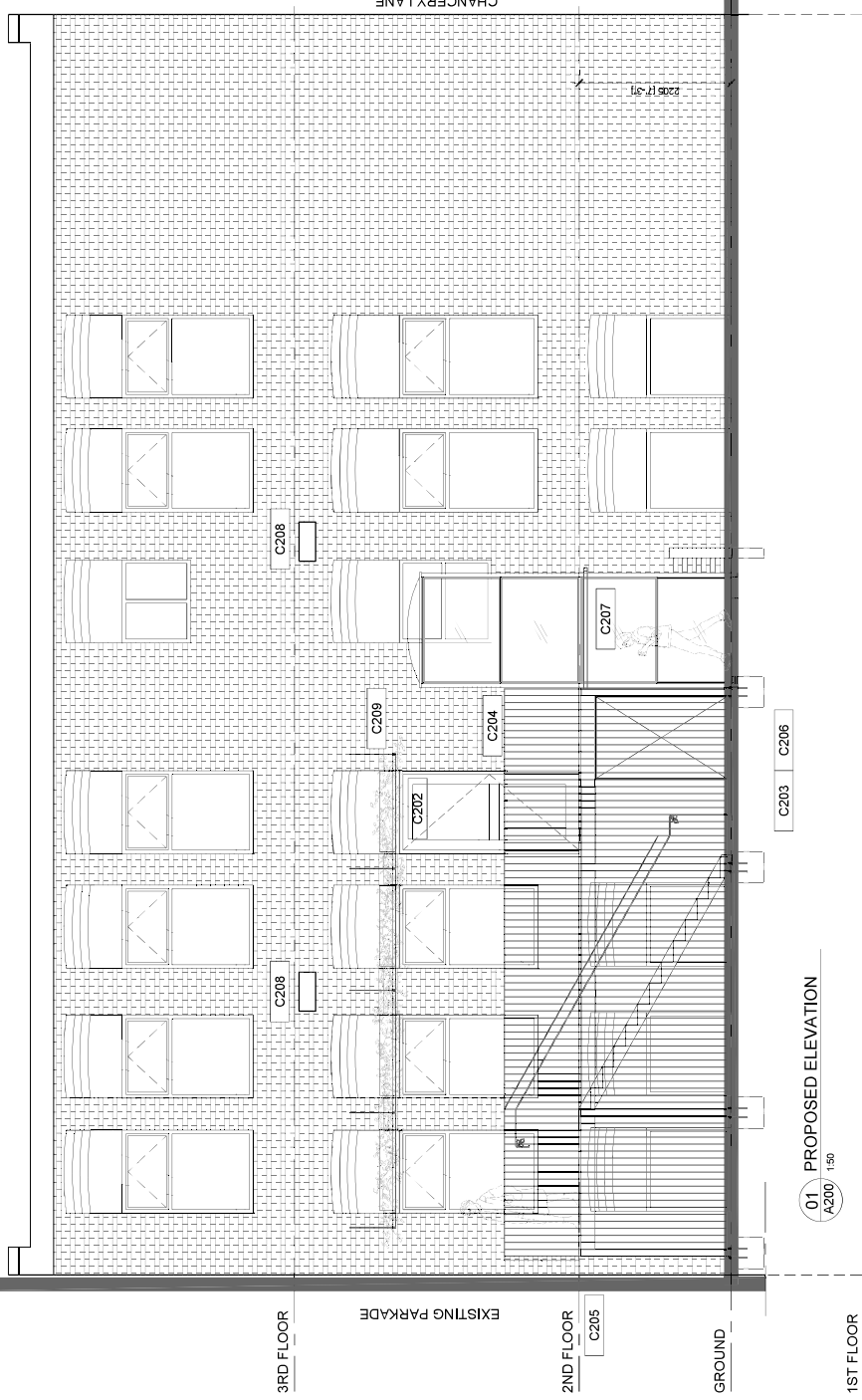




LEGENDE

	EXISTING WALL
	WALL TO BE DEMOLISHED
	EXISTING DOOR
	DOOR TO BE DEMOLISHED
	NEW DOOR

- SPECIFIC NOTES - PROJECT PHASE 2**
- C201 DEMOLISH EXISTING WINDOW AND BOTTOM PART OF WALL AS PER PICTURE 03 PAGE A300
 - C202 NEW STORE FRONT ALUMINUM DOOR WITH FULL GLAZED, DETAIL TO COME. PROVIDE PANICS HARDWARE. SPECS : KAWNEER 190/350 STANDARD ENTRANCES ANODIZED BLACK, OR EQUIVALENT.
 - C203 NEW STEEL GRATE METAL STAIRS WITH CONTRAST NOSING, DETAILS PAGE A302
 - C204 NEW STEEL GUARDRAIL, DETAILS TO COME. DETAILS PAGE A502
 - C205 NEW STEEL GRATE METAL LANDING, DETAILS PAGE A502
 - C206 NEW HANDRAIL ONE SIDE OF STAIRS ONLY. DETAILS PAGE A502
 - C207 NEW SAVARIA V-1504 36" X 54" 2 STOP LIFT WITH STEEL WALLS BLACK, TO BE COORDINATED WITH MANUFACTURER.
 - C208 EXISTING EXTERIOR LIGHTING .
 - C209 NEW TRELLIS SEE DETAILS PAGE A502. PROVIDE SEPARATE PRICE.
 - C210 NEW EXTERIOR LIGHTING . SEE ELECTRICAL FOR DETAILS.

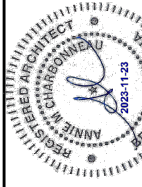


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VICTORIA BC V8W 1W2

CLIENT



SEAL



Annie M. Charbonneau
Architecte

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VICTORIA BC
V8W 1W2

EMISSION DELEGATED PERMIT APPLICATION A1

TITLE ELEVATIONS

SCALE 1:50

DATE 2025-06-28

PROJET 2021-08 | SFV

PAGE A301



IMAGE 3 - STORAGE VIEW

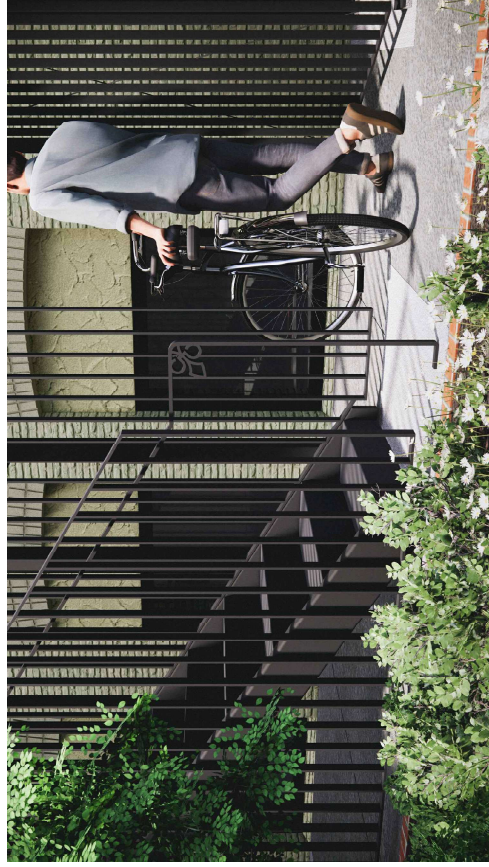


IMAGE 4 - DETAIL VIEW

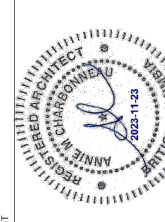


IMAGE 1 - COURTYARD VIEW



IMAGE 2 - ELEVATION VIEW

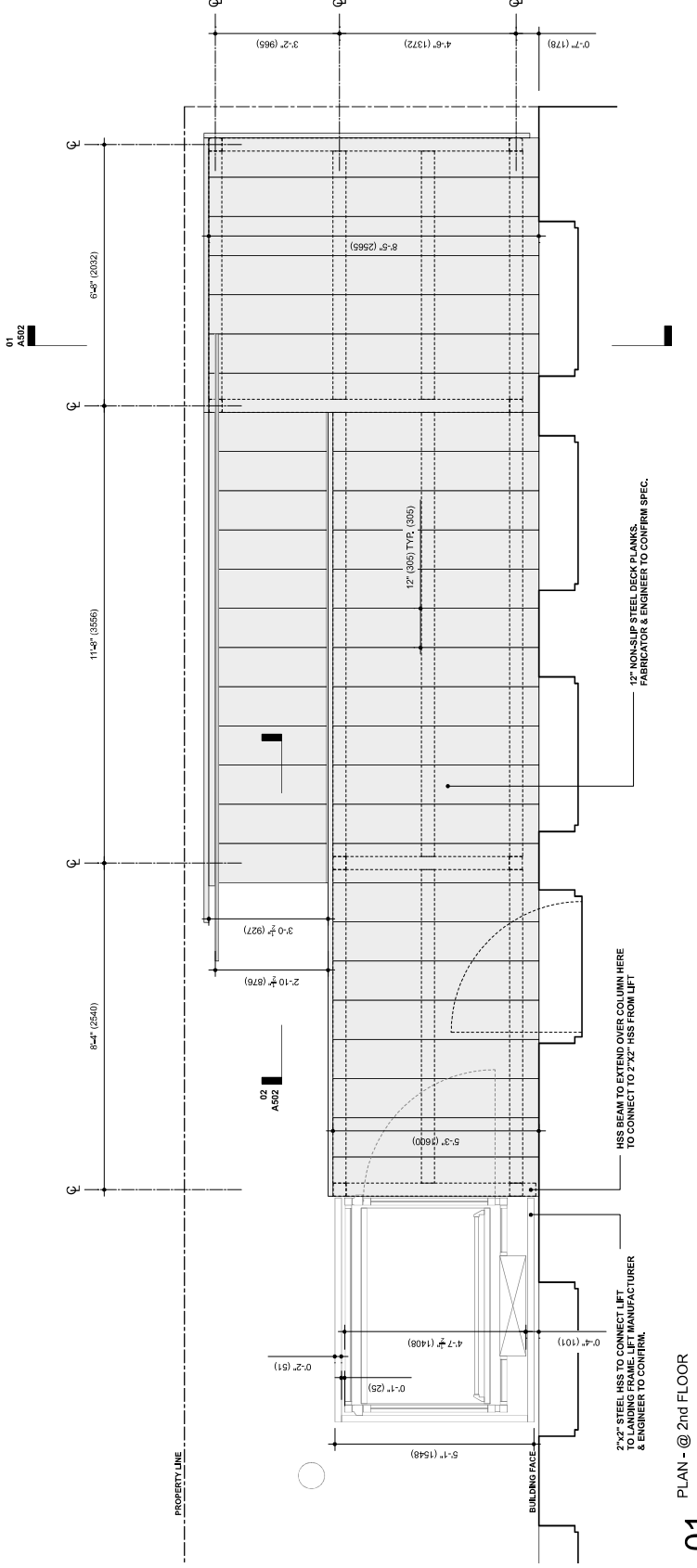
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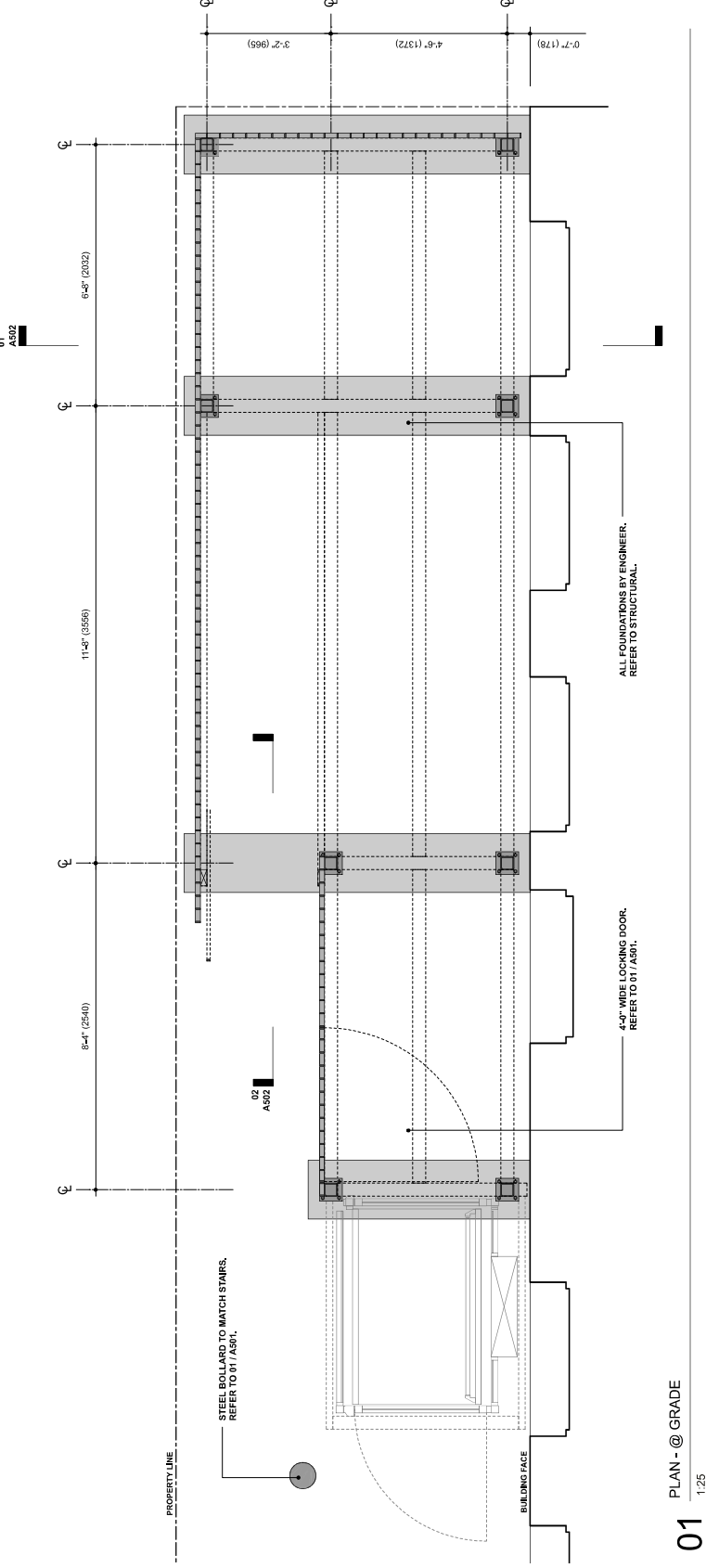
EMISSION	DELEGATED PERMIT APPLICATION A1
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TITLE	STAIR & LIFT DETAILS
SCALE	
DATE	2023-06-28
PROJECT	202-108 SPV

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01 PLAN - @ 2nd FLOOR
1:25

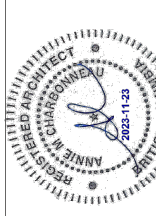


01 PLAN - @ GRADE
1:25

PROJET

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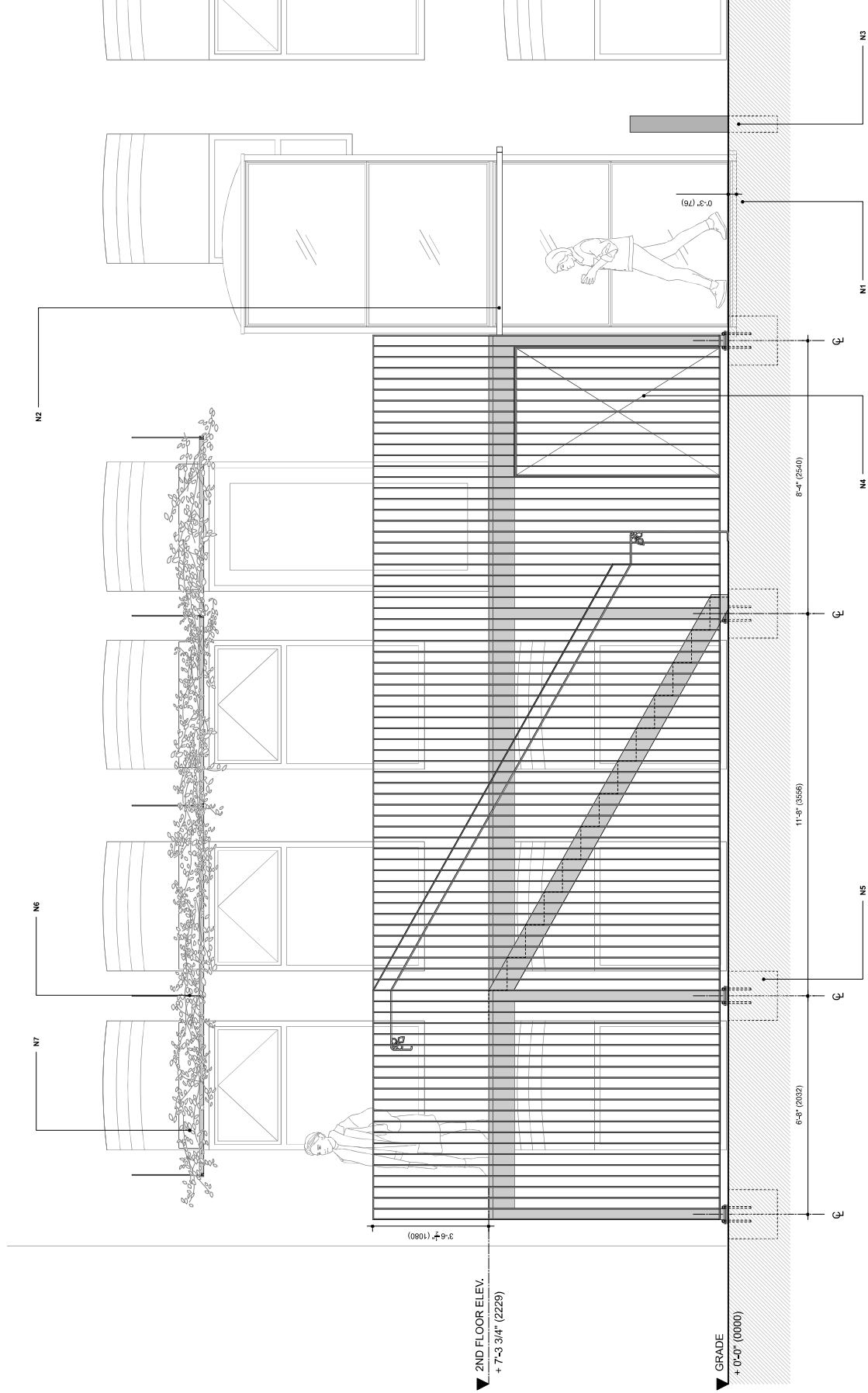


SEAL

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ANNIE M. CHARBONNEAU ARCHITECTE INC
1218 LANGLEY ST #2
VICTORIA BC V8W 1W2

EMISSION DELEGATED PERMIT APPLICATION #1

TITLE	STAIR & LIFT DETAILS
SCALE	
DATE	2023-06-28
PROJET	2023-08 SPV



01 STAIR ELEVATION
1/25

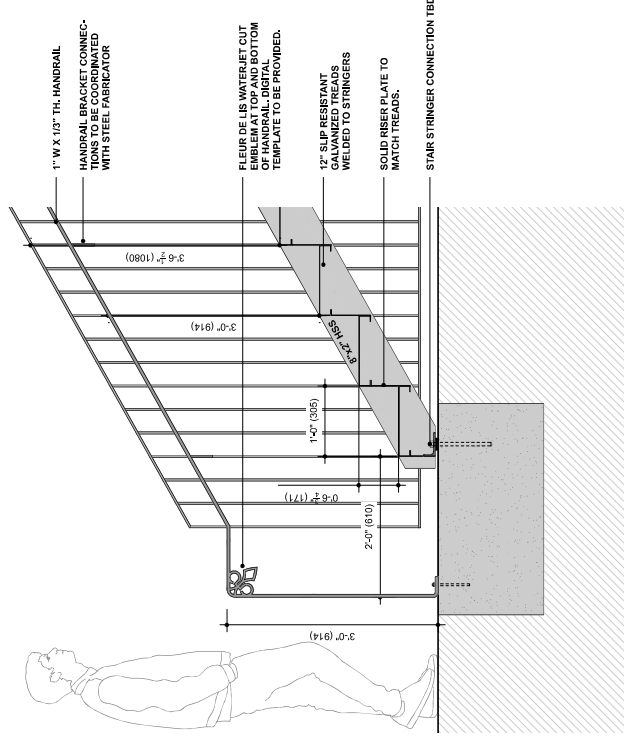
NOTES

- N1 LIFT FOUNDATION SLAB SITS BELOW SURROUNDING SLAB. LIFT MANUFACTURER TO CONFIRM.
- N2 2" X 2" HSS STEEL SUPPORT FOR LIFT. ENGINEER AND LIFT MANUFACTURER TO CONFIRM.
- N3 STEEL BALLUSTER TO MATCH STAIR
- N4 4" WIDE DOOR W/ LOCK. CROSS BRACE W/ 1/4" ROD.
- N5 ALL FOUNDATIONS BY ENGINEER. REFER TO STRUCTURAL.
- N6 STEEL TRELLIS W/ VINES
- N7 ROLL-DOWN SHUTTER WINDOWS BEHIND VINES

NOT FOR CONSTRUCTION

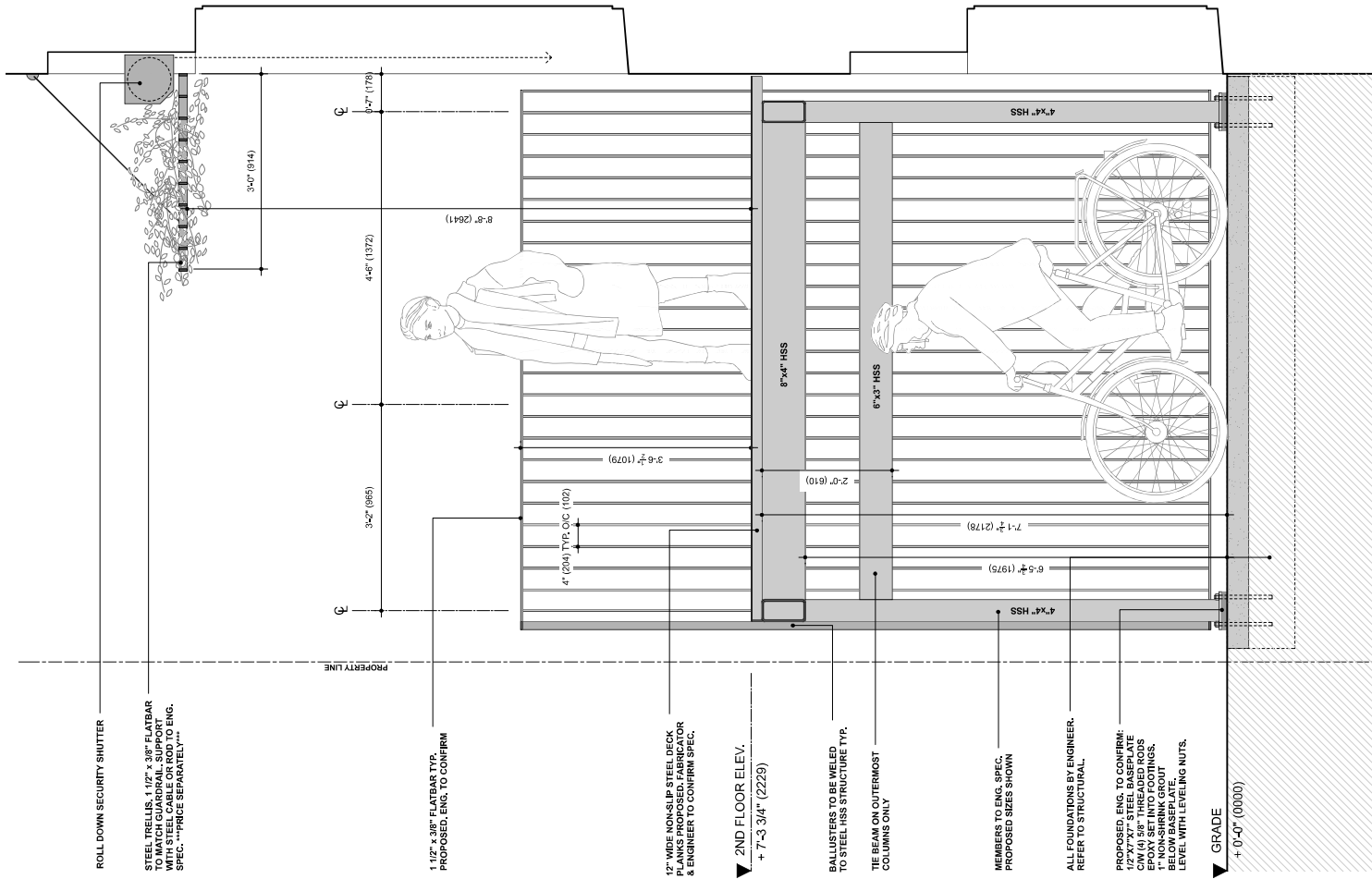


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02 STAIR BOTTOM DETAIL

1:15



01 DECK SECTION

1:15