

937 VIEW STREET



Project Rendering - Main Entry Streetscape at View Street

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23-08-15	Issued for DP Revisions 6
23-05-09	Issued for DP Revisions 5
21-12-20	Issued for DP Revisions 4
21-05-04	Issued for DP Revisions 3
20-08-12	Issued for DP Revisions 2
20-01-08	Issued for DP Revisions 1
19-10-02	Issued for DP

Plot Date	23-05-09	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	1 : 1	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View St. Residential

937 View Street

Cover

Revisions

Received Date:
September 27, 2023



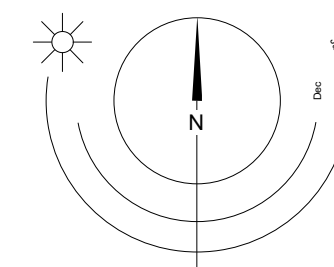
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937 VIEW STREET



1 Context Plan Image
A001



LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HIC	Handicap	SPC	Solid Particleboard Core
ACT	Acoustical Tile	HM	Hollow Metal	ST	Structure
AFB	Above Finished Floor	HP	High Point	STL	Steel
AL	Aluminum	HSS	Hollow Steel Section	STN	Stain(ed)
AO	Auto-Operer	HW	Hardware	STNT	Stone Tile
AP	Annunciator Panel	INSUL	Insulated	SS	Stainless Steel
BG	Building Grade	LAM	Laminated Glass	SVF	Sheet Vinyl Flooring
CEM	Cementitious Backing Board	LP	Low Point	TB	Towel Bar
Conc	Concrete	MDFB	Medium Density Fibreboard Base	TID	Tempered / Double Glazed
CBK	Concrete Block	MR	Mirror	TLAM	Tempered Laminated Glass
CL	Centerline	MP	Metal Panel	TGL	Tempered Glass
CPT	Carpet Tile	OH	Overhead	TLGL	Translucent Glass
CT	Ceramic Tile	OW	Operable Window	TOC	Top of Concrete
CW	Complete With	PF	Prefinished	TOD	Top of Drain
DD	Deck Drain	PLAM	Plastic Laminate	TOI	Top of Insulation
EB	Electric Bike Storage	PLS	Plaster	TOP	Top of Parapet
EL	Elevation	PSF	Pressed Steel Frame	TOS	Top of Slab
EPC	Epoxy Polymer Coating	PT	Paint	TOW	Top of Wall
EV	Electric Vehicle Parking	PTD	Paper Towel Dispenser	TP	Toilet Paper
EXP AGG	Exposed Aggregate	PTD/W	Paper Towel Dispenser / Waste	UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
EXT	Exterior	PTW	Paper Towel Waste	UNO	Unless Noted Otherwise
FD	Floor Drain	RA	Roof Anchor	U/S	Underside of...
FEC	Fire Extinguisher Cabinet	RB	Rubber Base	VCT	Vinyl Composition Tile
FFE	Finished Floor Elevation	RES	Resilient Flooring	VI	Vision Glass
FG	Finished Grade	RD	Roof Drain	VIS	Vinyl Impact Sheet
GB	Grab Bar	RD-P	Roof Drain - Planter	VT	Vinyl Tile
GBL	Glass Block	RWL	Rain Water Leader	W/C	Vinyl Wall Covering
GL	Glass	SATI	Spray Applied Fibrous Insulation	WC	Water Closet
GWG	Georgian Wire Glass	SCW	Solid Core Wood	WD	Wood
GWB	Gypsum Wallboard	SD	Soap Dispenser	WPM	Waterproof Membrane
HC	Hollow Core	SL	Sealer	WRC	Water Repellant Coating
HCW	Hollow Core Wood	SP	Spandrel Glass		

ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

BEDROOM	ROOM NAME & ROOM NUMBER
[201]	
[101a]	DOOR NUMBER See Door Schedule
[W-10]	WINDOW NUMBER See Window Schedule
[W1]	WALL TYPE See Assemblies Schedule
[2.0 hr]	RATED WALL DESIGNATION
[00.00]	ELEVATION DATUM
[2440]	CEILING HEIGHT
[]	AREA OF DROP CEILING
[1]	KEYNOTE SYMBOL
[12]	MATERIAL TAG
[A901]	INTERIOR ELEVATION REFERENCE
[W1 C1 F1 B1]	ROOM FINISHES

BUILDING CODE SUMMARY

REFERENCED DOCUMENTS:
BRITISH COLUMBIA BUILDING CODE 2018 - PART 3
CANADIAN STANDARDS ASSOCIATION B651-19

MAJOR OCCUPANCY CLASSIFICATION:
GROUP C - RESIDENTIAL

BUILDING AREA:
1087 m² (11 700 s.f.)

BUILDING HEIGHT:
23 STOREYS

NUMBER OF STREETS FACING:
1

ACCESSIBLE FACILITIES:
ACCESSIBLE ENTRANCE

CONSTRUCTION REQUIREMENTS:
3.2.2.47 GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED
NON-COMBUSTIBLE CONSTRUCTION WITH 2 HR MIN. FIRE RESISTANCE RATING TO FLOORS AND LOADBEARING WALLS.

ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS
Ref. 3.2.6.1 (1)(d)

PROJECT DESCRIPTION

CIVIC ADDRESS:
937 VIEW STREET, VICTORIA, BC.

LEGAL DESCRIPTION:
LOT A, OF LOTS 785, 786, and 787, VICTORIA CITY,
PLAN 38505

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
23 STOREY RESIDENTIAL BUILDING

USES:
RESIDENTIAL RENTAL

ZONE:
R-48 HARRIS GREEN

DEVELOPMENT PERMIT AREA: DPA 713 (HC)

SITE AREA:
1 572.3 m² (16 924 s.f.)

FLOOR AREA:
Level 1: 707 m² (7 610 s.f.)
Level 2: 735 m² (7 911 s.f.)
Level 3-5: 801 m² (8 622 s.f.) x 3 = 2 403 m²
Level 6-22: 477.5 m² (5 140 s.f.) x 17 = 8 118 m²
Level 23: 327 m² (3 534 s.f.)

TOTAL PROPOSED:
12 356 m² (132 999 s.f.)

FLOOR SPACE RATIO:
7.86 FSR

SITE COVERAGE:
69%

OPEN SITE SPACE:
31%

GREEN STORMWATER INFRASTRUCTURE:
83 m² (893 s.f.)
*Minimum 30% of paving area, refer to Landscape drawing L1.01

GRADE OF BUILDING:
17.7 m (GEODETIC AVG GRADE)
See Site Plan for Grade Calculations

HEIGHT OF BUILDING:
73.4 m

SETBACKS:

FRONT (View Street): 3.5 m

REAR (S): N/A

SIDE (E): N/A

SIDE (W): N/A

NUMBER OF STOREYS:
23 STOREYS

SUITE COMPOSITION:

Studios < 30m²: 33 Suites

1 Bed / 1 Bath < 45m²: 219 Suites

2 Bed / 1 Bath < 45m²: 1 Suite

3 Bed / 1 Bath > 45m²: 8 Suites

3 Bed / 2 Bath > 45m²: 8 Suites

TOTAL:
269 SUITES

RESIDENTIAL PARKING:
N/A

COMMERCIAL PARKING:
N/A

BICYCLE PARKING:
Required Long Term: 274
Provided Long Term: 310 (25% EB)
Required Short Term: 27
Provided Short Term: 26
339 Total

PROJECT DIRECTORY

REGISTERED OWNER
Nelson Investments Inc.
595 Howe Street, 10th Floor
Victoria, BC
V6C 2T5
Chris Nelson
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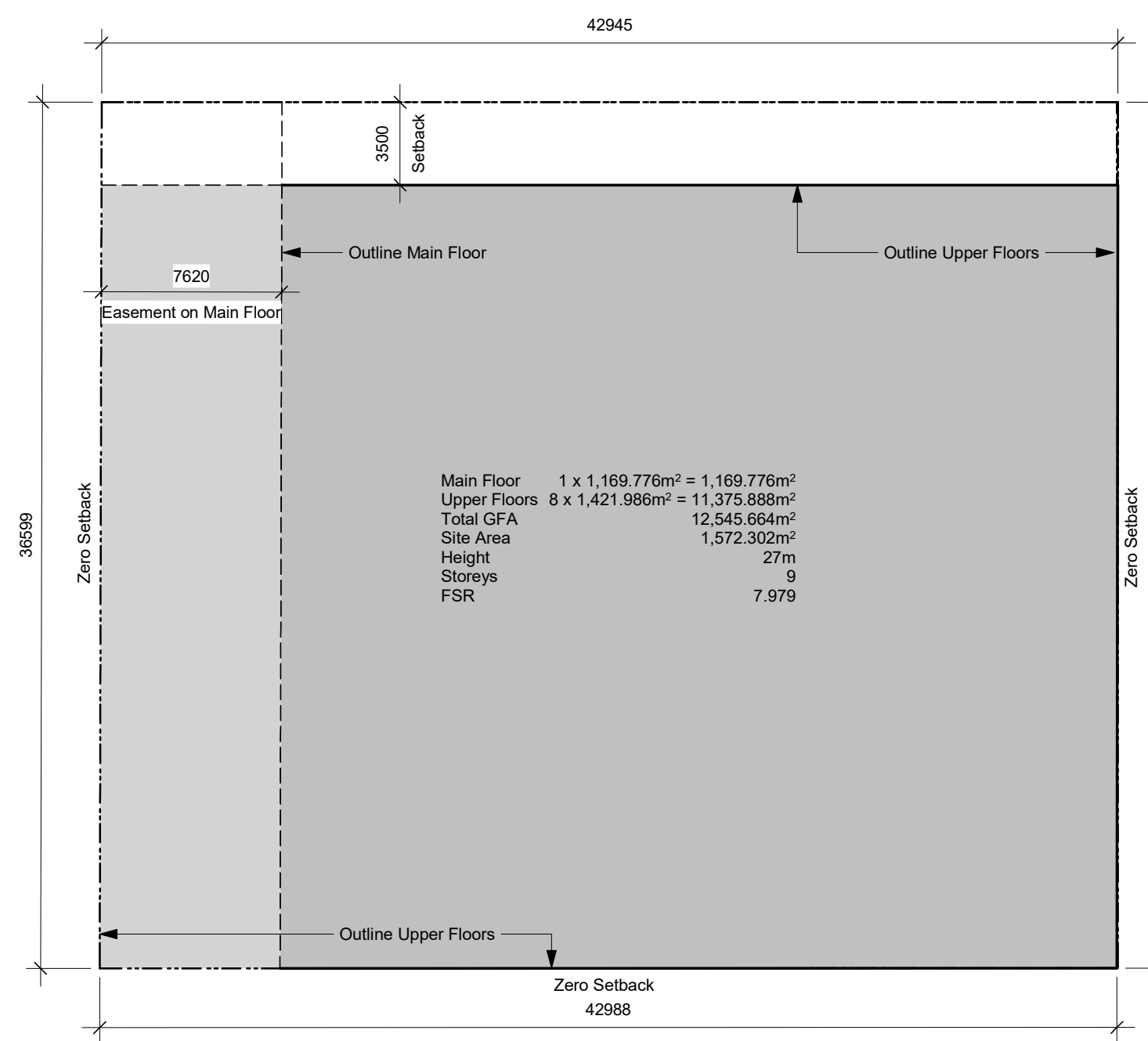
ELECTRICAL CONSULTANT
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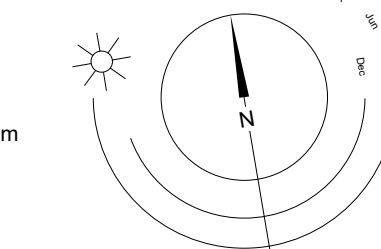
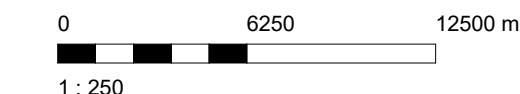
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2 Base FSR Calculation
A001 SCALE: 1 : 250



Plot Date	23-08-15	Issued for DP Revisions 6
Drawn By	RCI	Issued for DP Revisions 5
Scale	As indicated	Issued for DP Revisions 3
		Issued for DP Revisions 2
		Issued for DP Revisions 1
		Issued for DP

Drawn By	RCI	Checked By	ADM
Scale	As indicated	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View St. Residential
937 View Street
Project Data



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Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way
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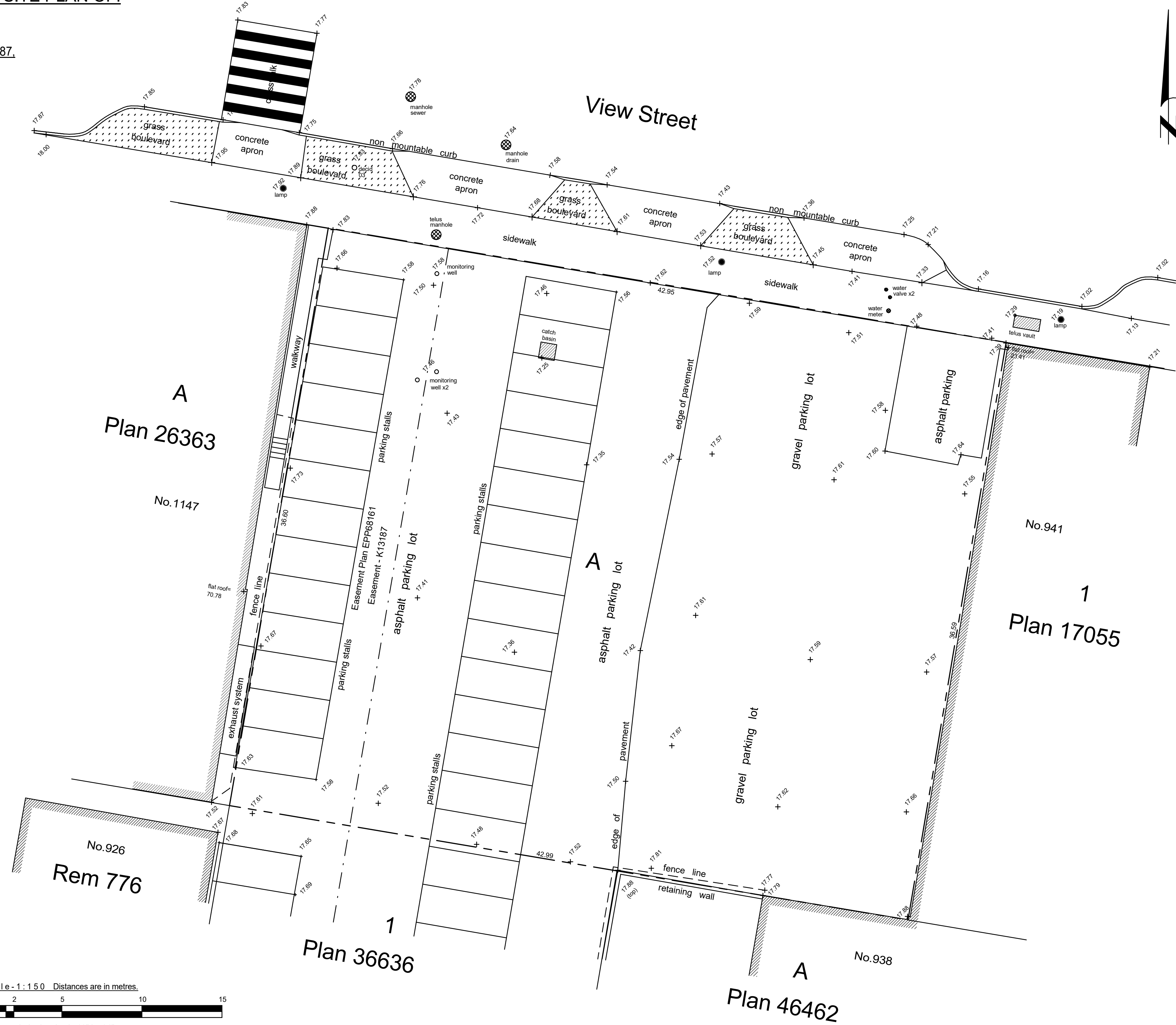
BC LAND SURVEYORS SITE PLAN OF:

Civic: 937 View Street
 Legal Lot A, of Lots 785, 786, and 787,
 Victoria City, Plan 36505

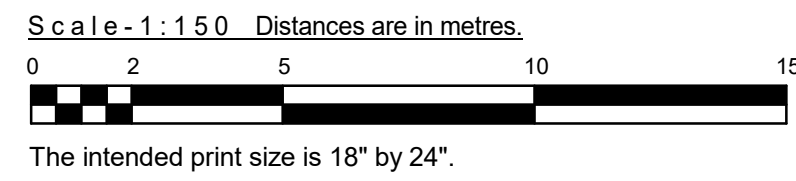
Parcel Identifier: 000-410-233
 in the City of Victoria

LEGEND

Elevations are to geodetic datum.
 + - denotes - existing elevation
 Tree diameters are in centimetres.
 Area Lot A = 1572.3m2



December 13, 2016
 File : 9.929-16
POWELL & ASSOCIATES
 B C Land Surveyors
 250-2950 Douglas Street
 Victoria, BC V8T 4N4
 phone (250) 382-8855

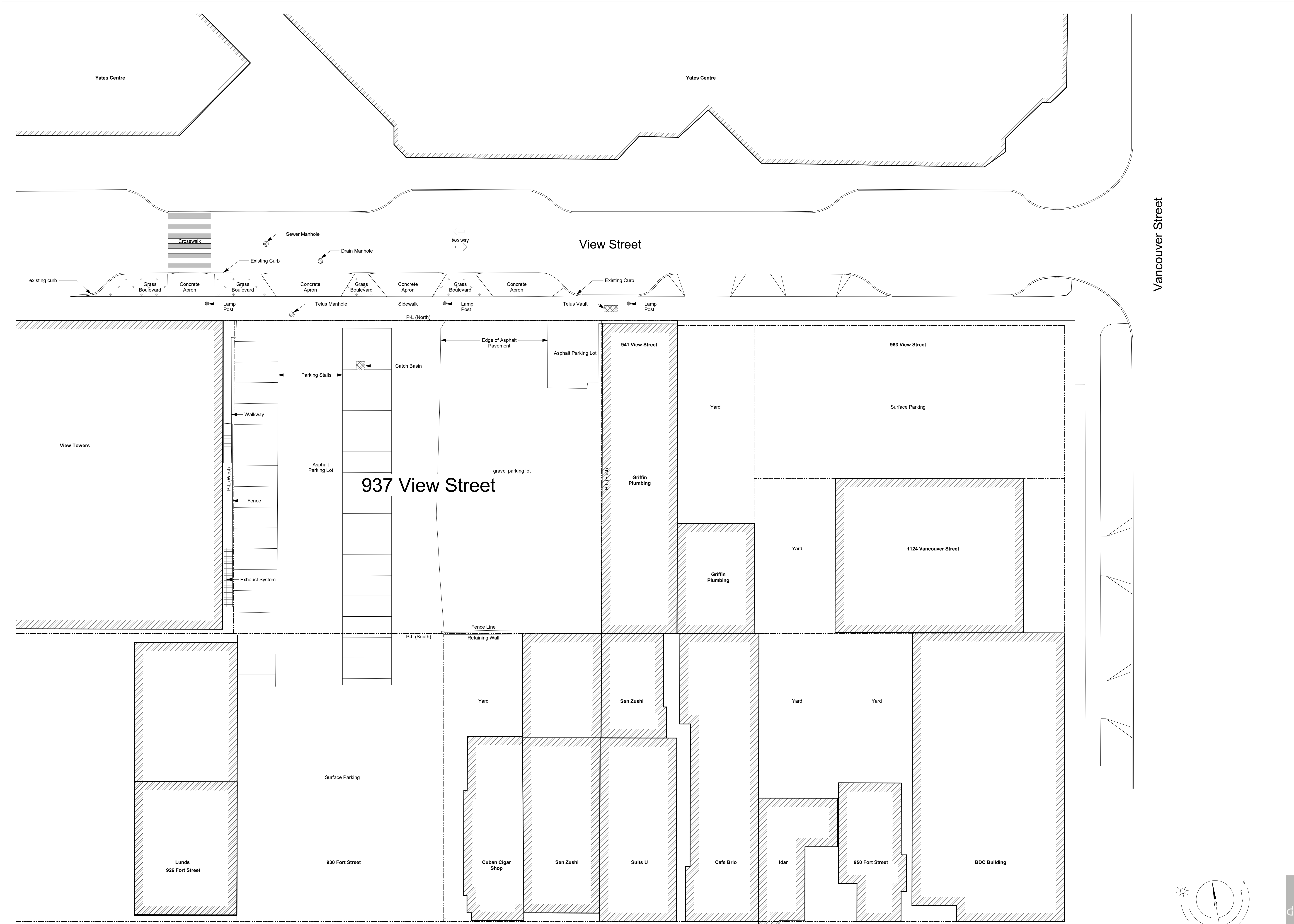


Plot Date	19-10-02	Issued for DP
Drawn By	23-05-09 RCI	Drawing File
Scale	1 : 150	Checked By
		Project Number
		1922

View St. Residential
 937 View Street
 Survey

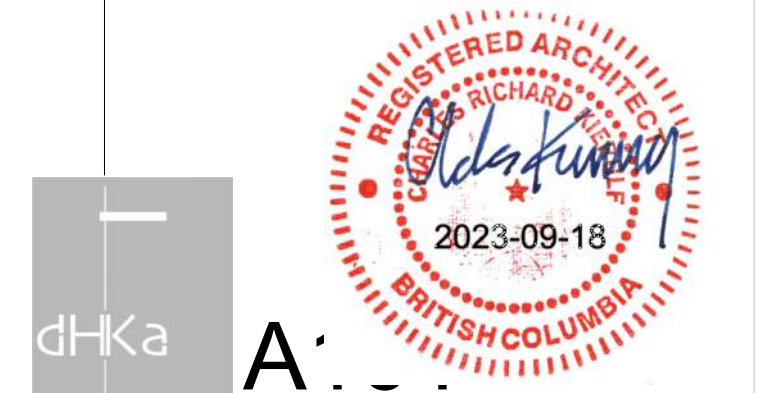
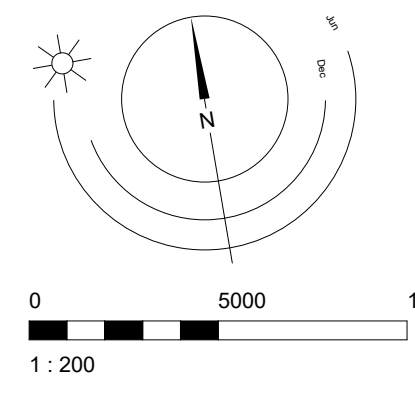


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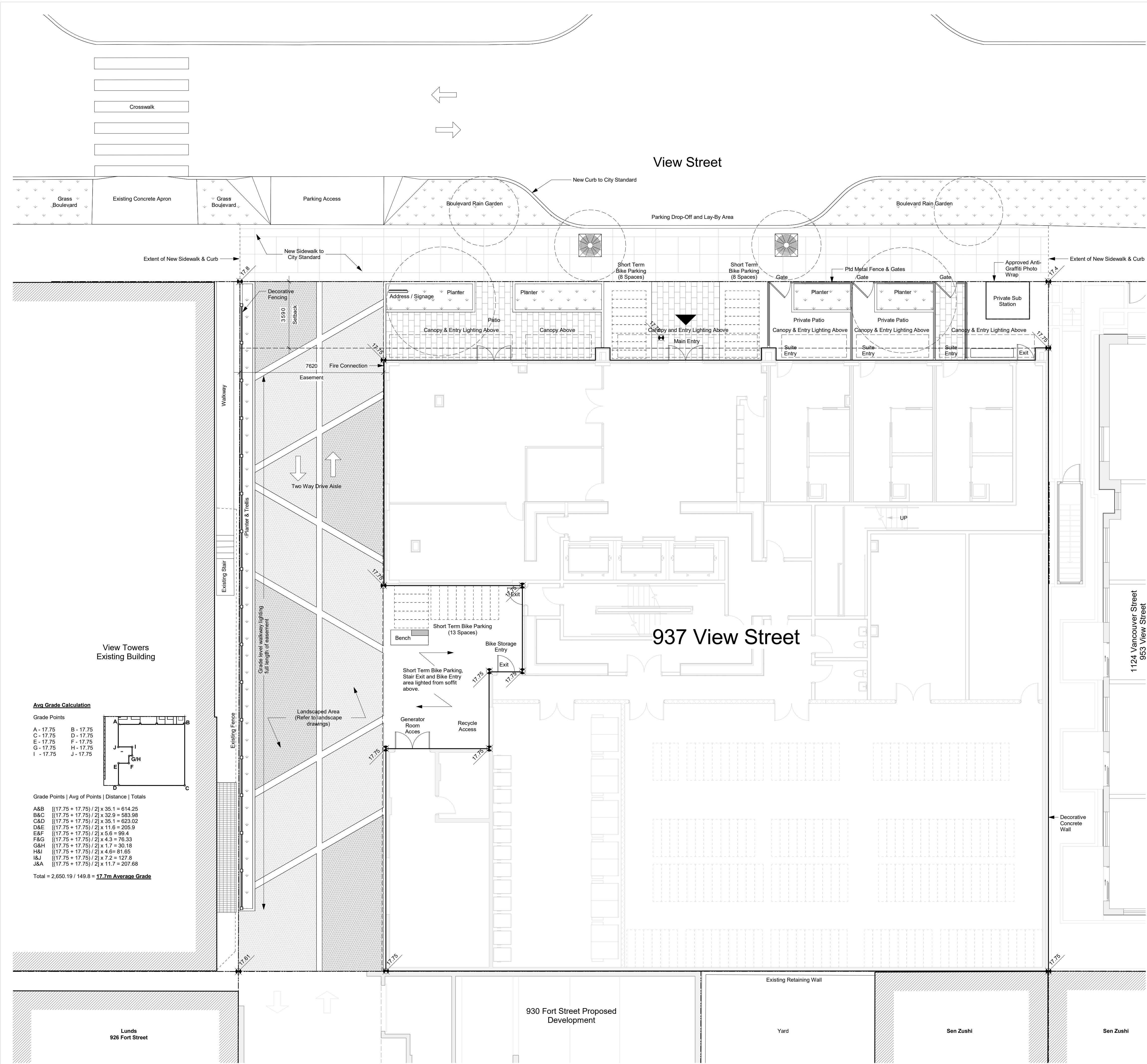
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 Plot Date 23-05-09 Drawing File
 Drawn By RCI Checked By ADM
 Scale 1 : 200 Project Number 1922
 NOTE: All dimensions are shown in millimeters.

View St. Residential
 937 View Street
 Site Plan Existing



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View Street

937 View Street

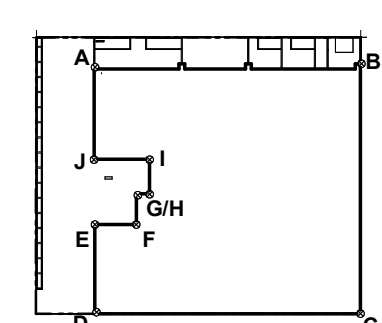
930 Fort Street Proposed Development

1124 Vancouver Street
953 View Street
Under Construction

View Towers
Existing Building

Avg. Grade Calculation

Grade Points
 A - 17.75 B - 17.75
 C - 17.75 D - 17.75
 E - 17.75 F - 17.75
 G - 17.75 H - 17.75
 I - 17.75 J - 17.75



Grade Points | Avg of Points | Distance | Totals

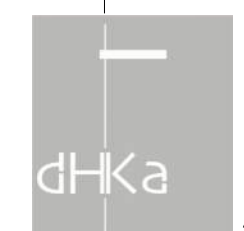
A&B [(17.75 + 17.75) / 2] x 35.1 = 614.25
 B&C [(17.75 + 17.75) / 2] x 32.9 = 583.98
 C&D [(17.75 + 17.75) / 2] x 35.1 = 623.02
 D&E [(17.75 + 17.75) / 2] x 11.6 = 205.9
 E&F [(17.75 + 17.75) / 2] x 5.6 = 99.4
 F&G [(17.75 + 17.75) / 2] x 4.3 = 76.33
 G&H [(17.75 + 17.75) / 2] x 1.7 = 30.18
 H&I [(17.75 + 17.75) / 2] x 4.6 = 81.65
 I&J [(17.75 + 17.75) / 2] x 7.2 = 127.8
 J&A [(17.75 + 17.75) / 2] x 11.7 = 207.68
 Total = 2,650.19 / 149.8 = **17.7m Average Grade**

23-08-15	Issued for DP Revisions 6
23-05-09	Issued for DP Revisions 5
22-04-06	Issued for DP Revisions 4 Correction
21-12-20	Issued for DP Revisions 4
21-05-04	Issued for DP Revisions 3
20-08-12	Issued for DP Revisions 2
20-01-08	Issued for DP Revisions 1
19-10-02	Issued for DP

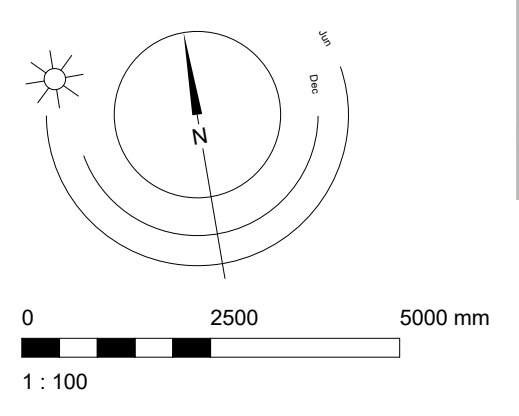
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NOTE: All dimensions are shown in millimeters.

View St. Residential
 937 View Street
 Site Plan Proposed

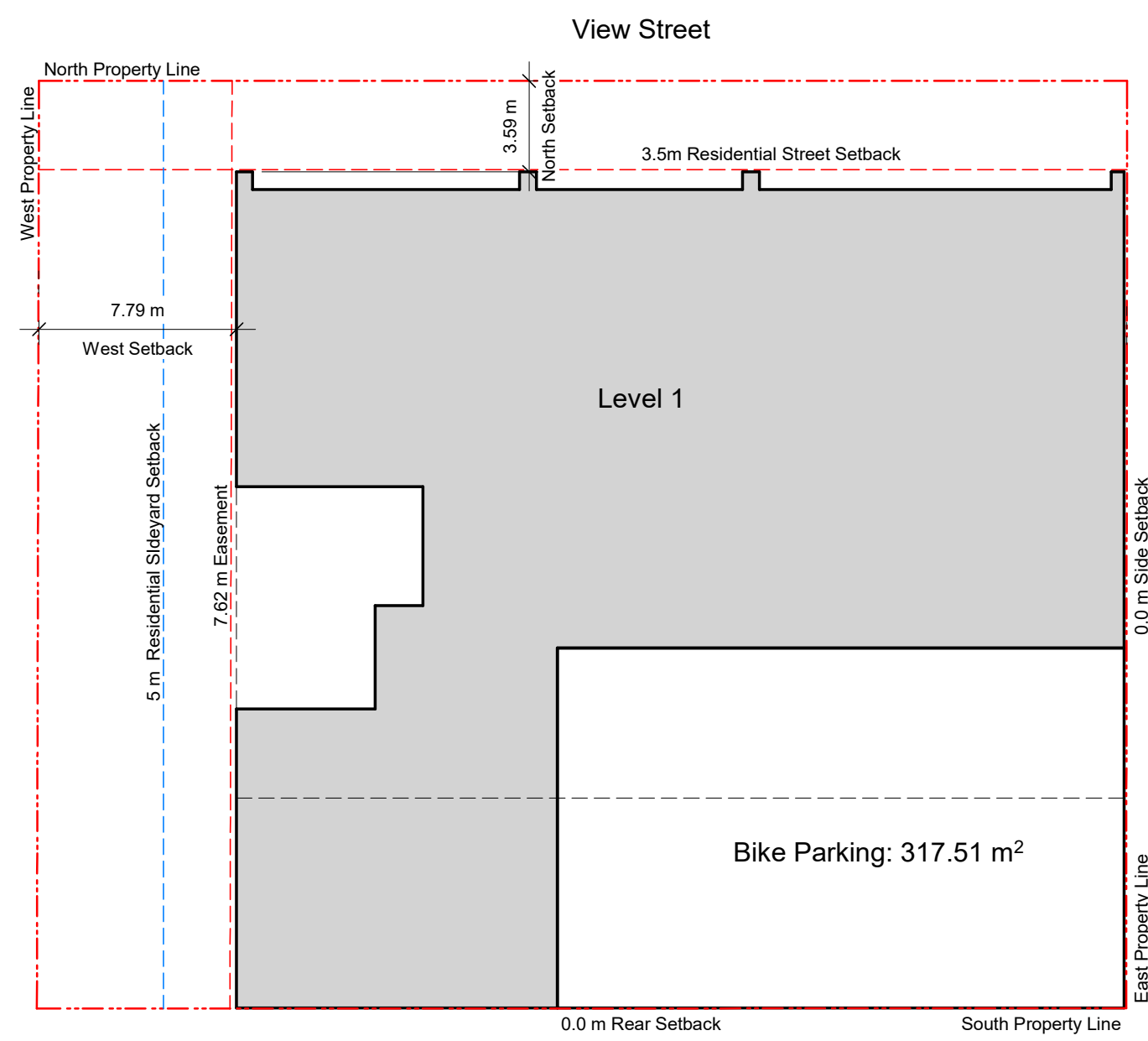


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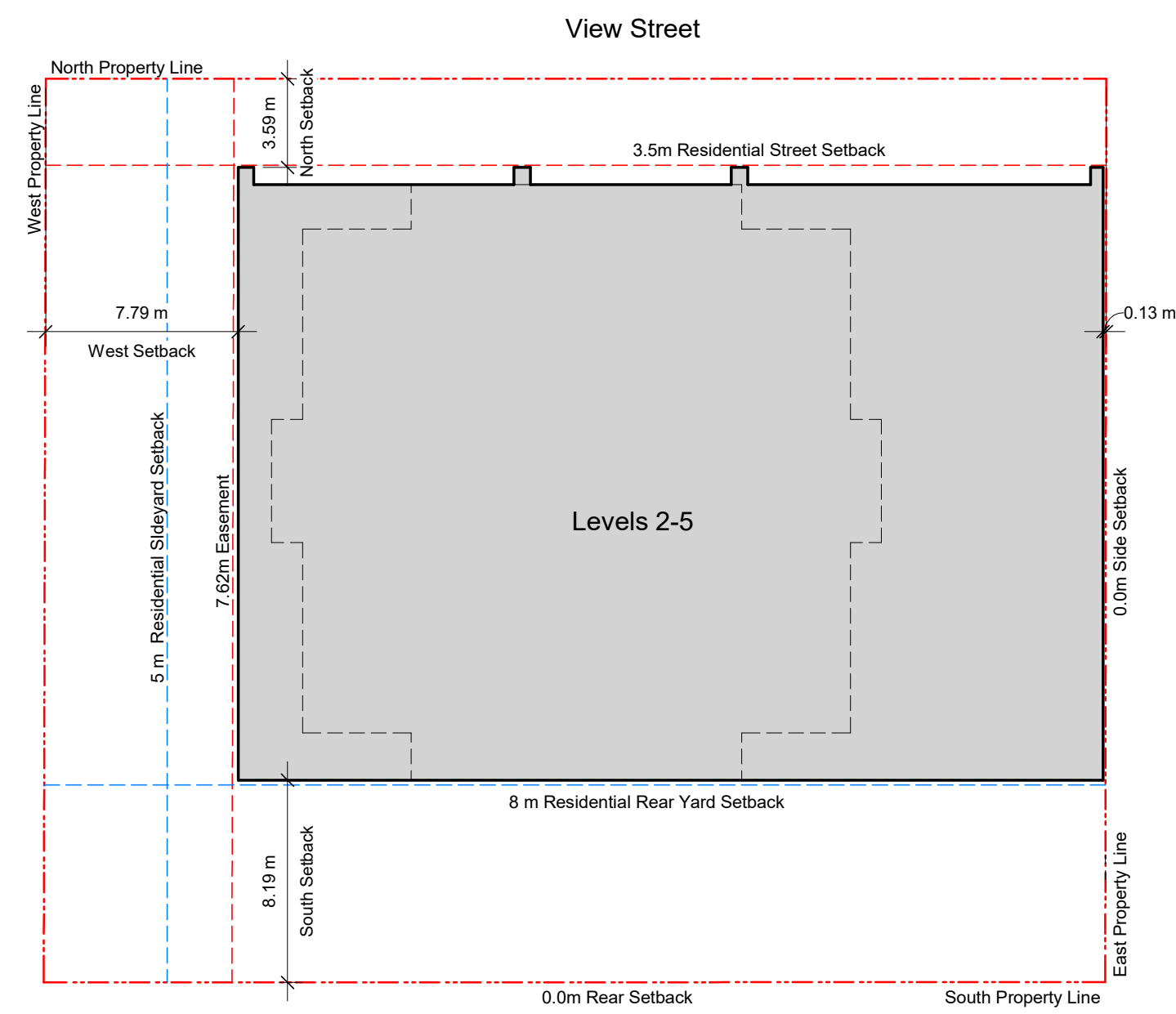


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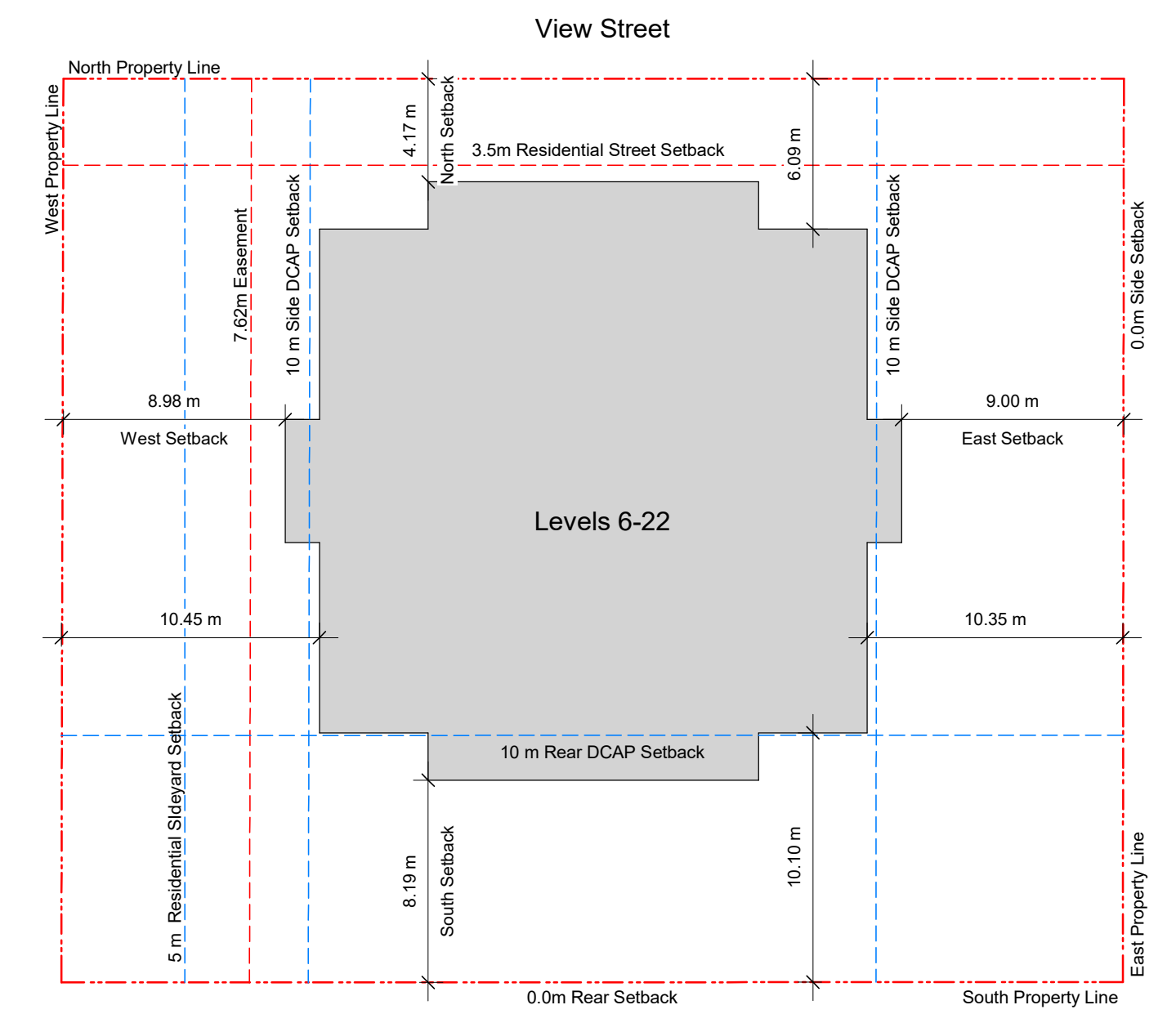
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1 Setback Plan - L1
A103 SCALE: 1 : 250



2 Setback Plan - L2-L5
A103 SCALE: 1 : 250



3 Setback Plan - L6-L22
A103 SCALE: 1 : 250

23-05-09 Issued for DP Revisions 5
21-05-04 Issued for DP Revisions 3
20-08-12 Issued for DP Revisions 2

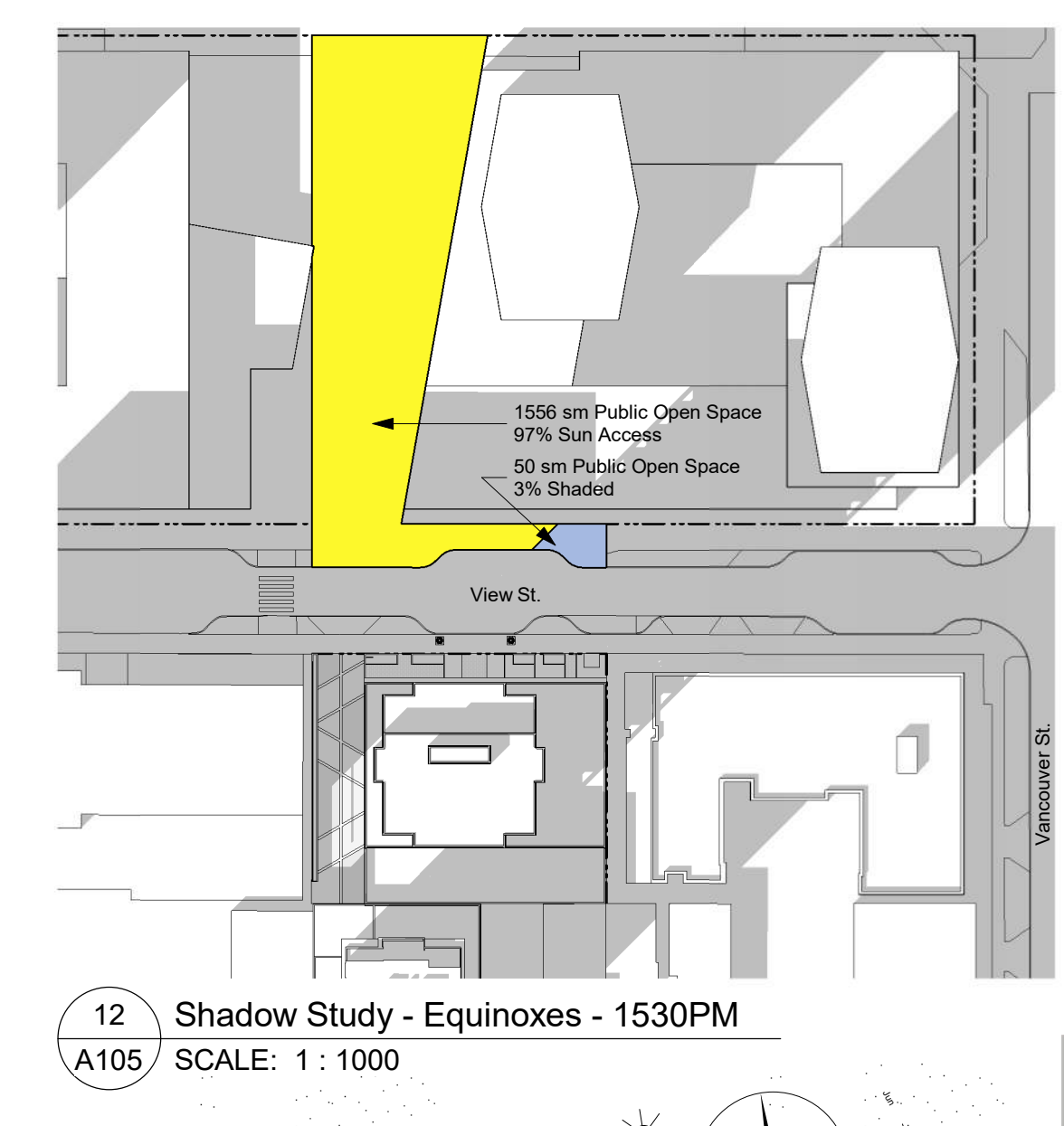
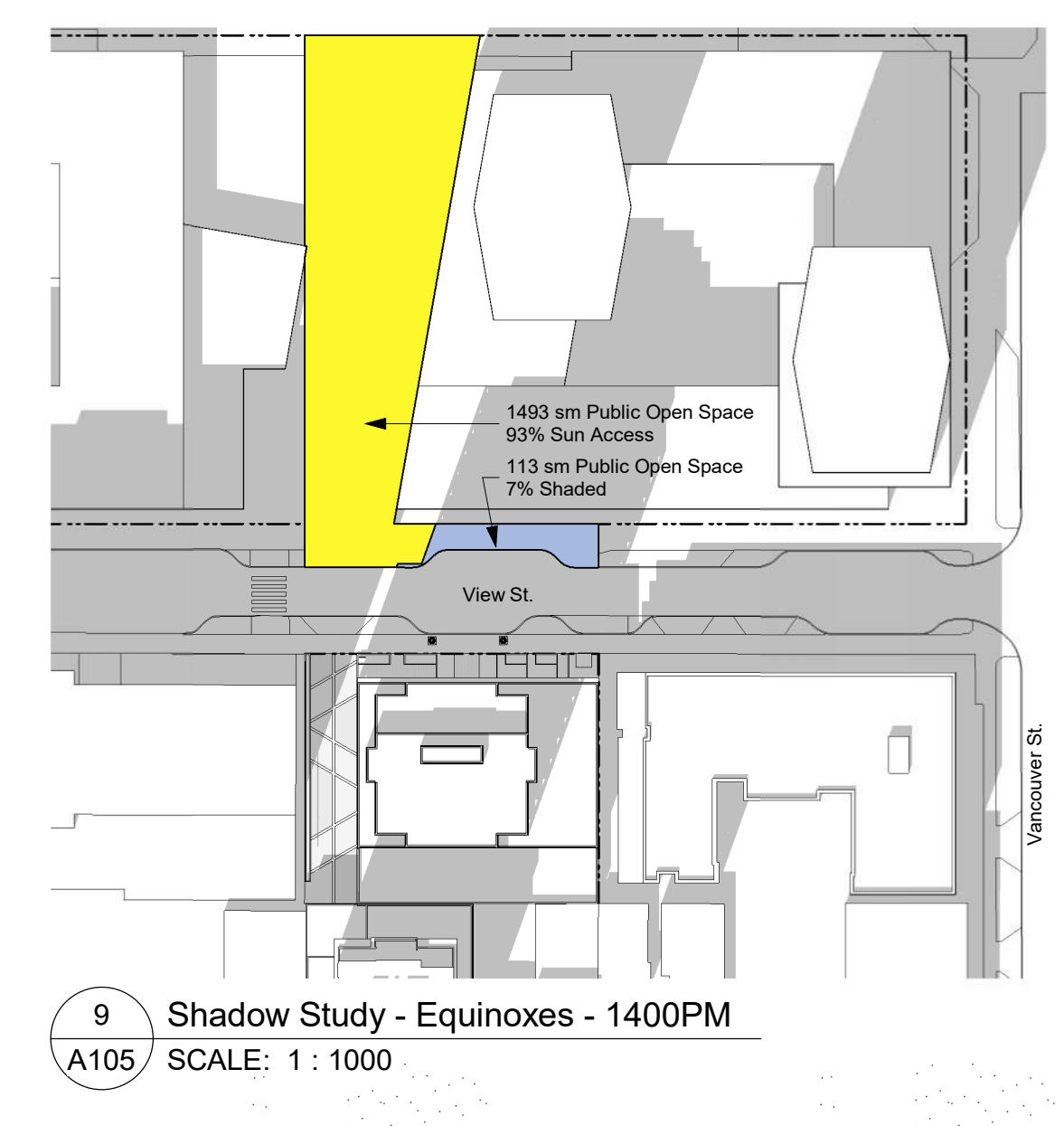
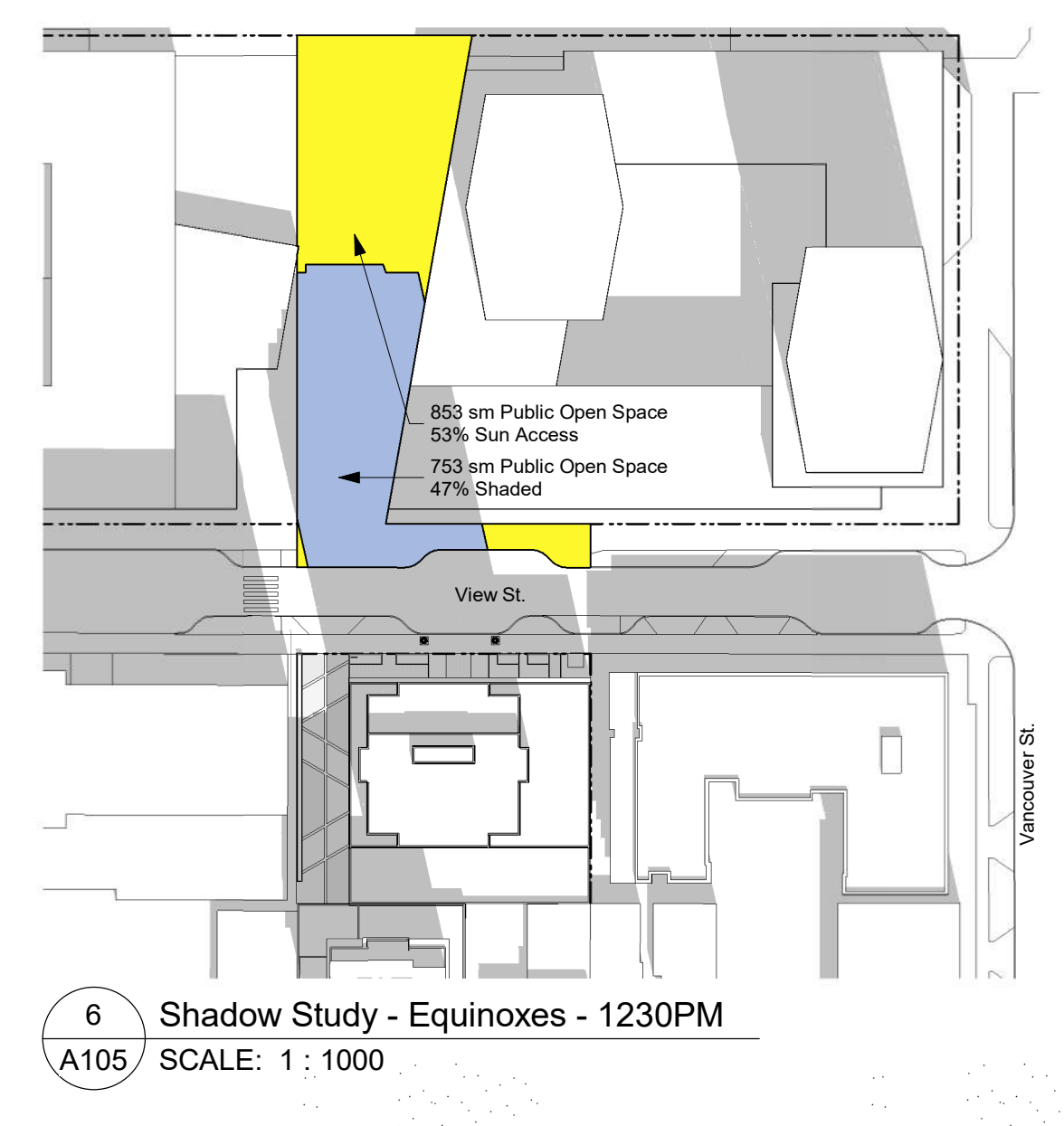
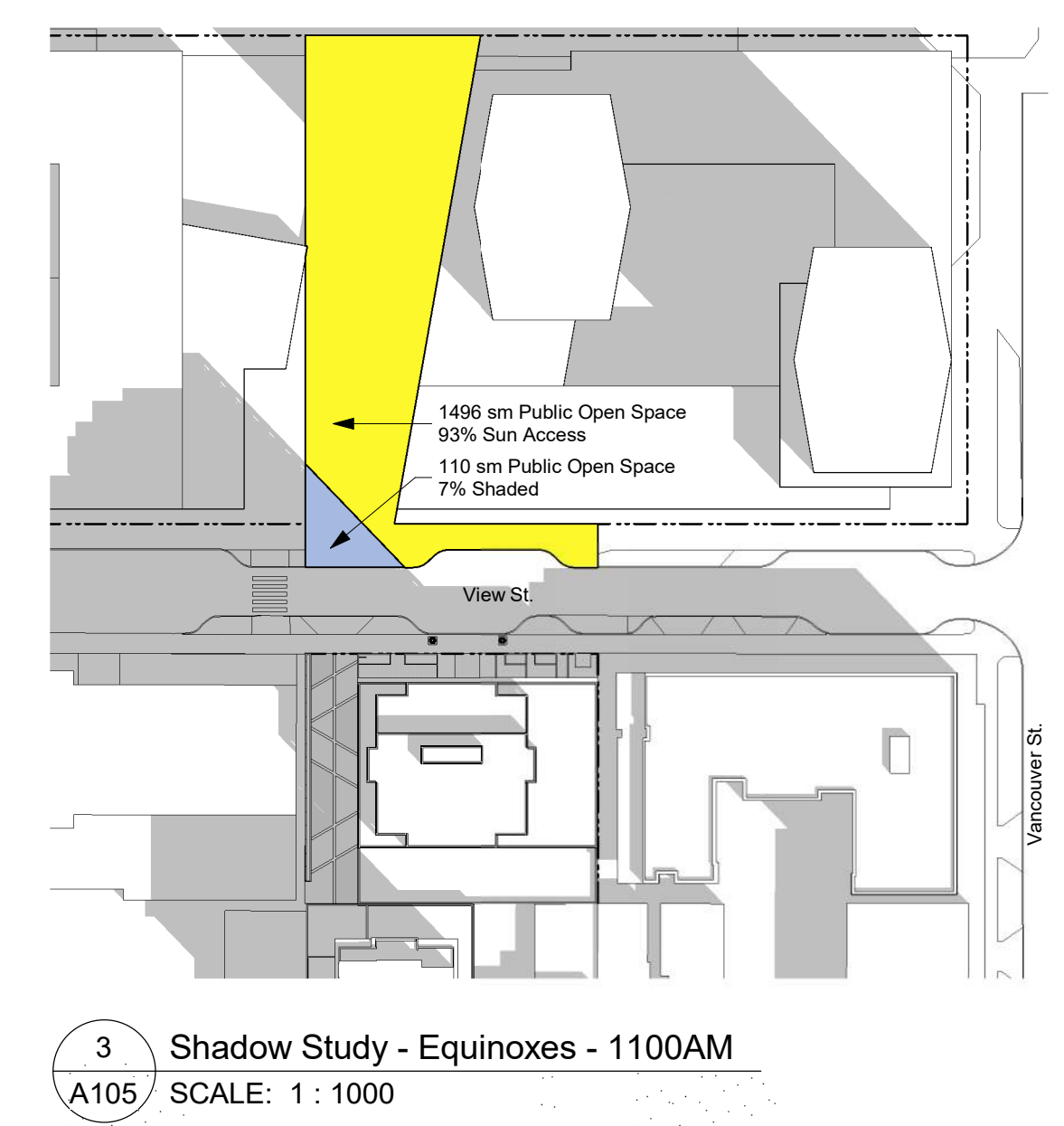
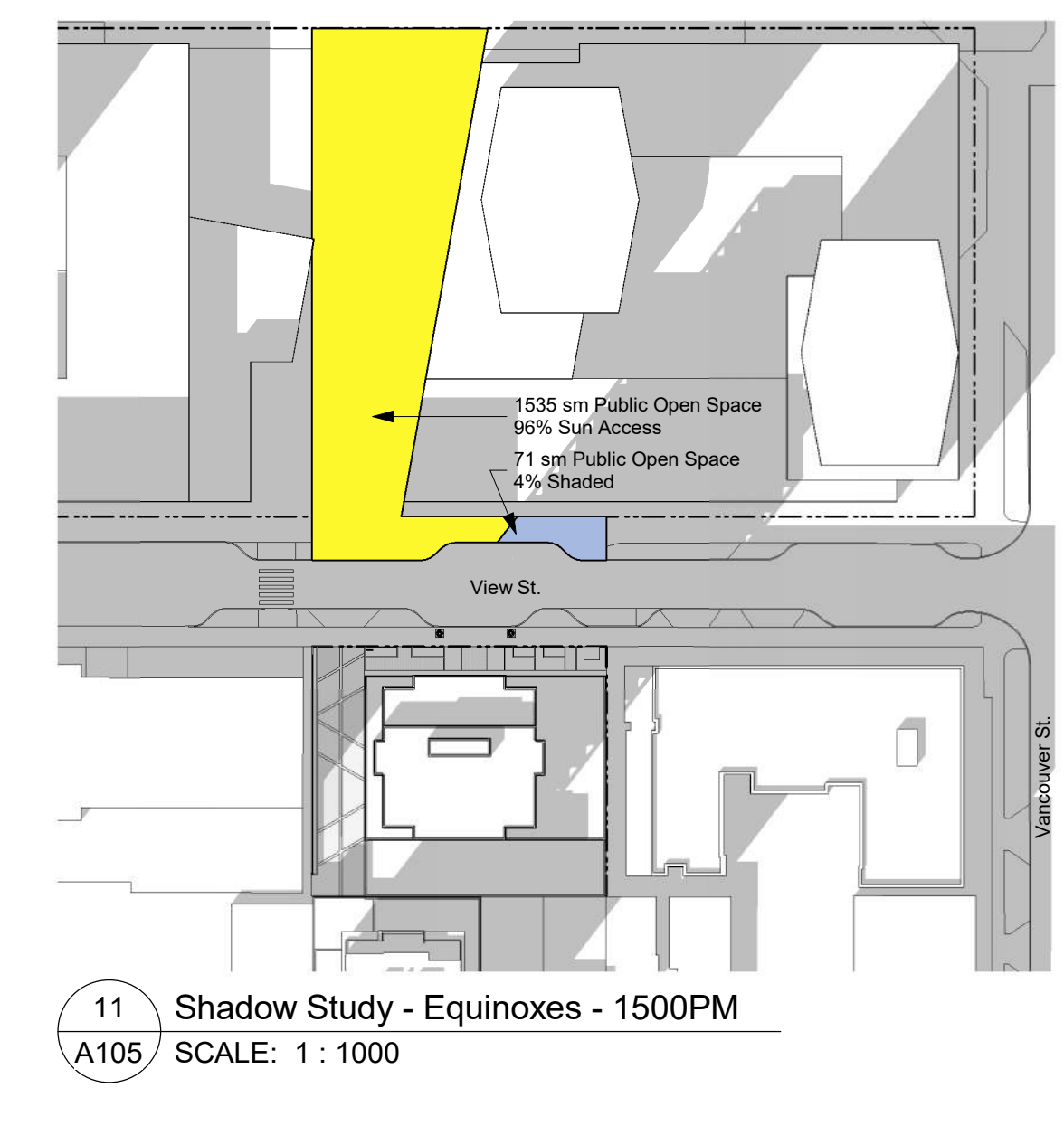
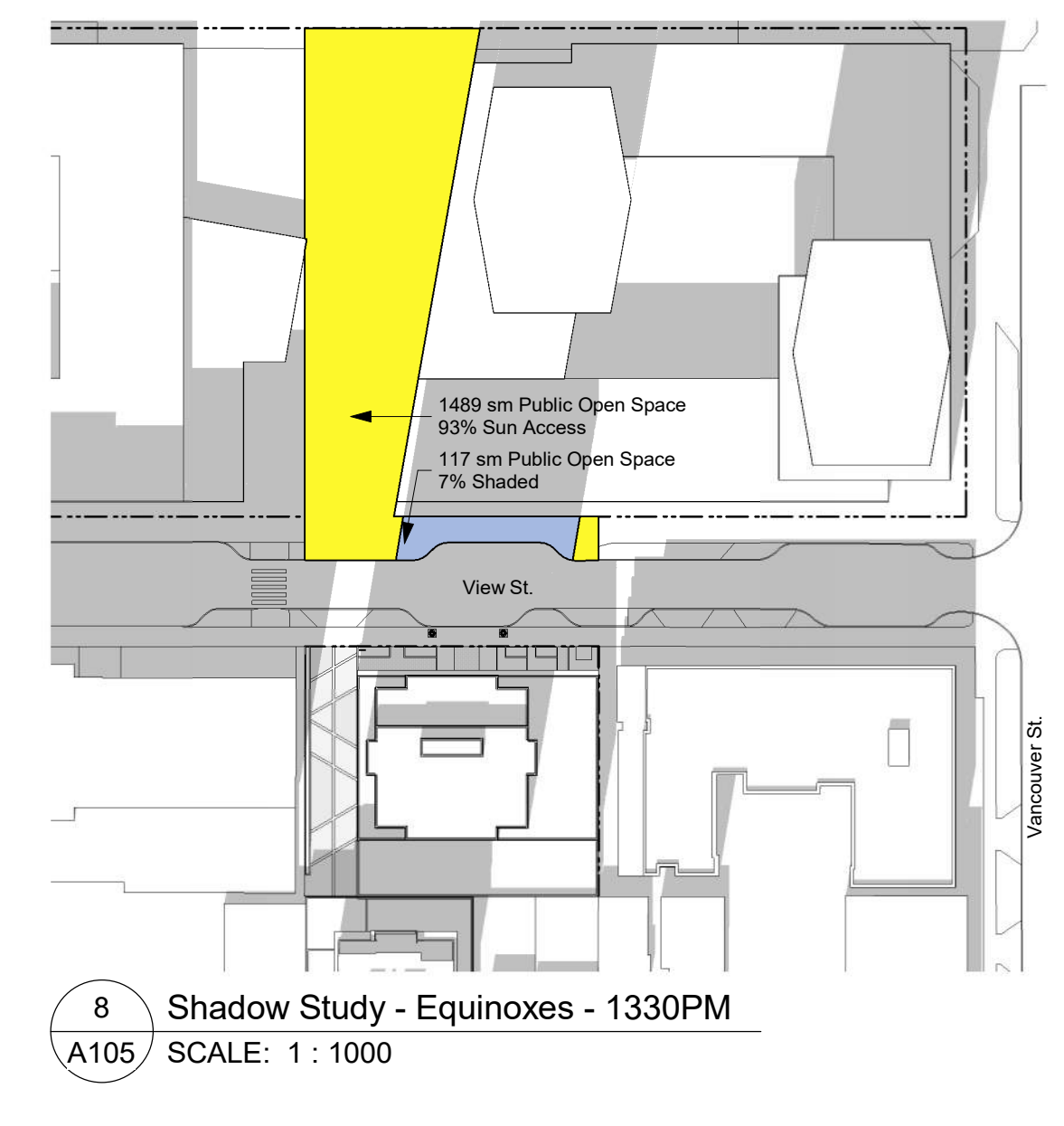
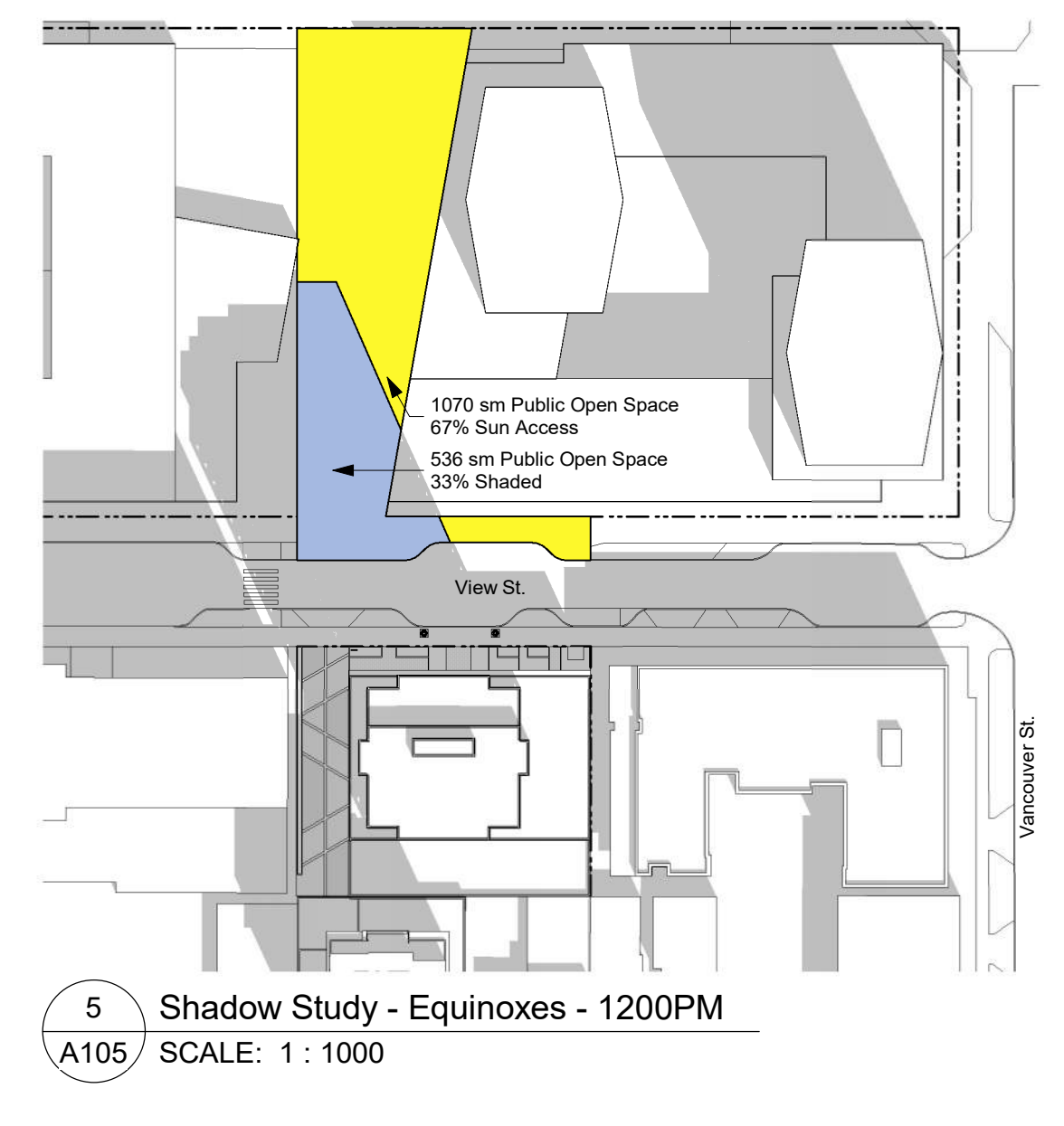
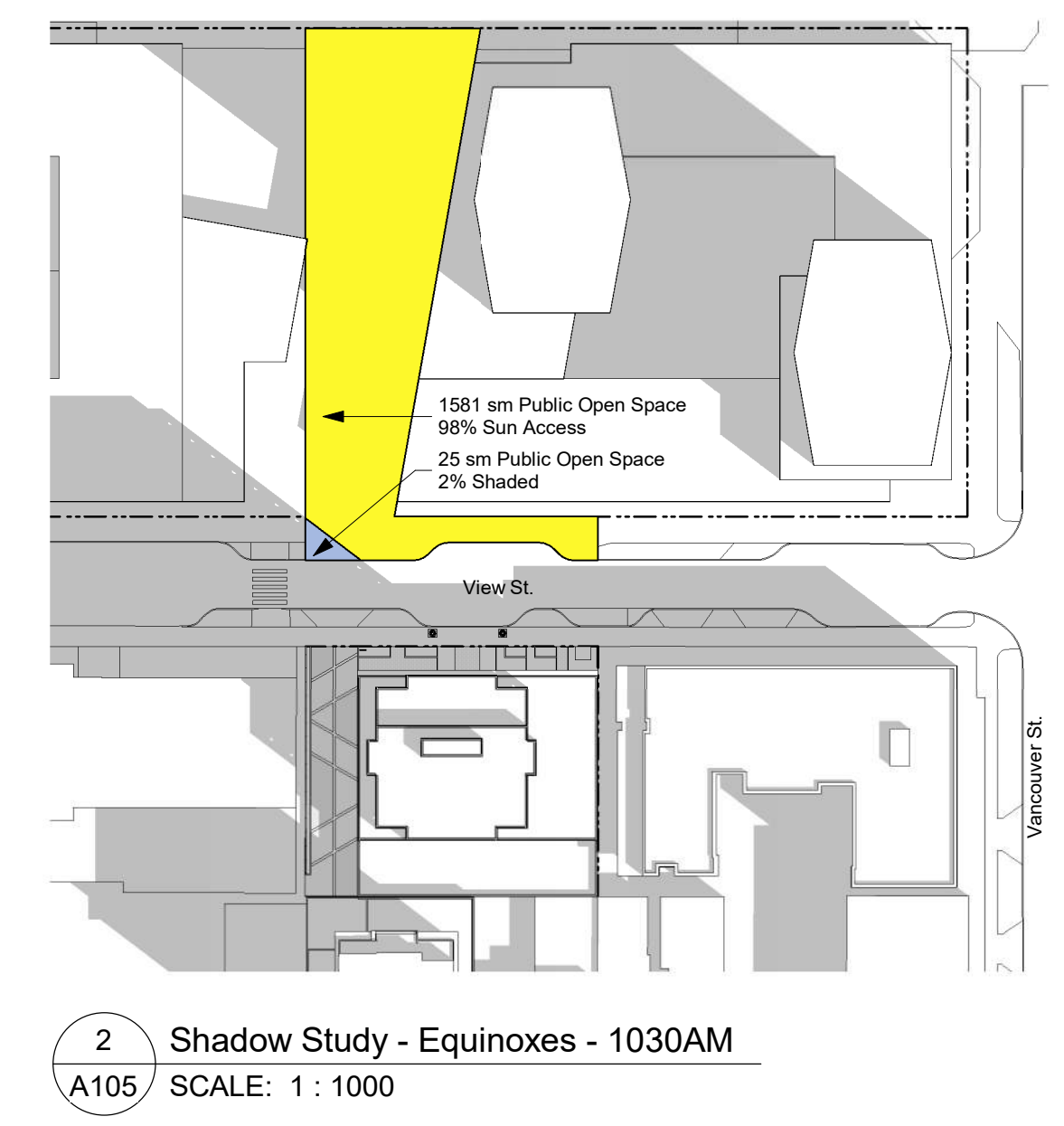
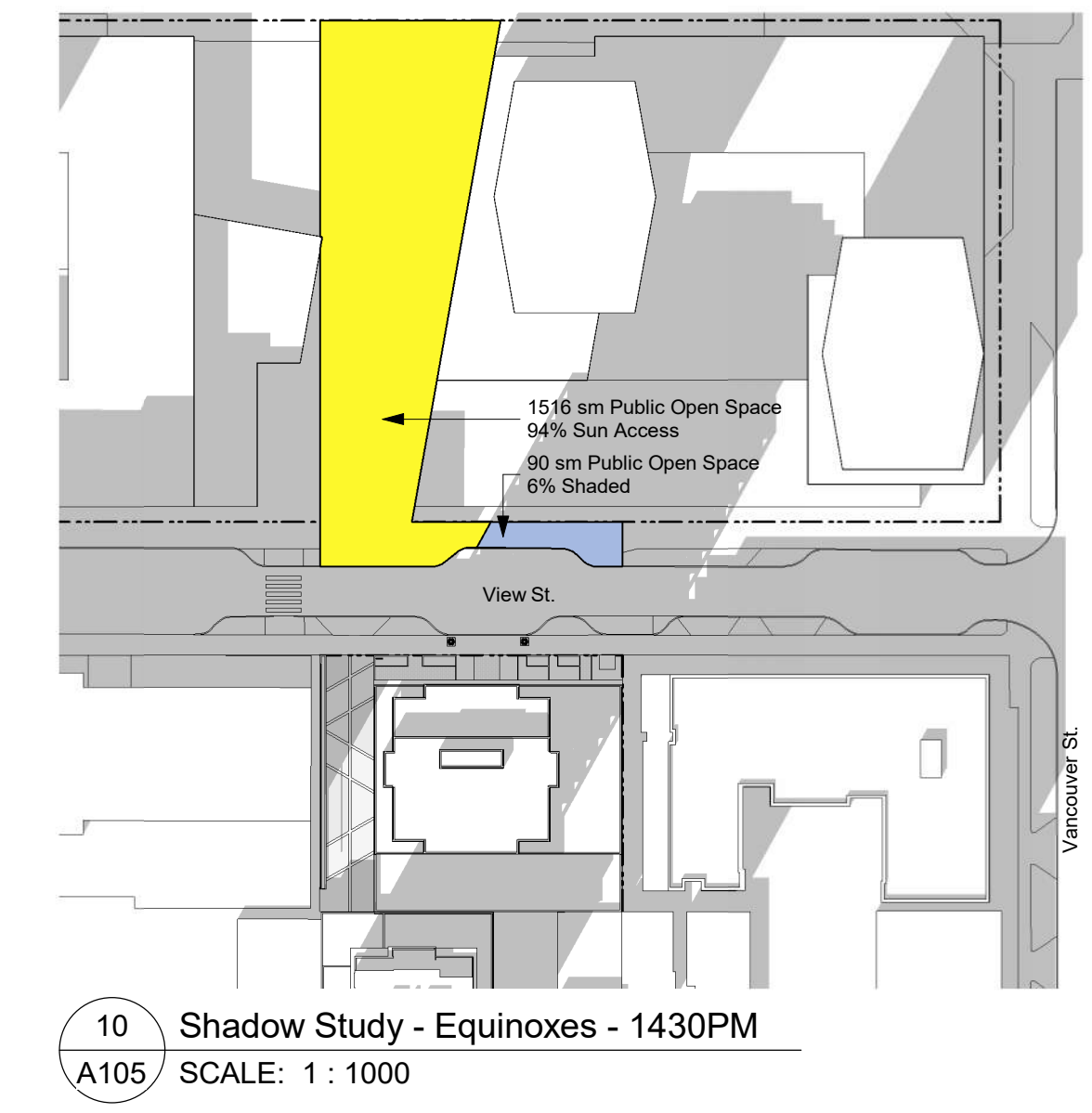
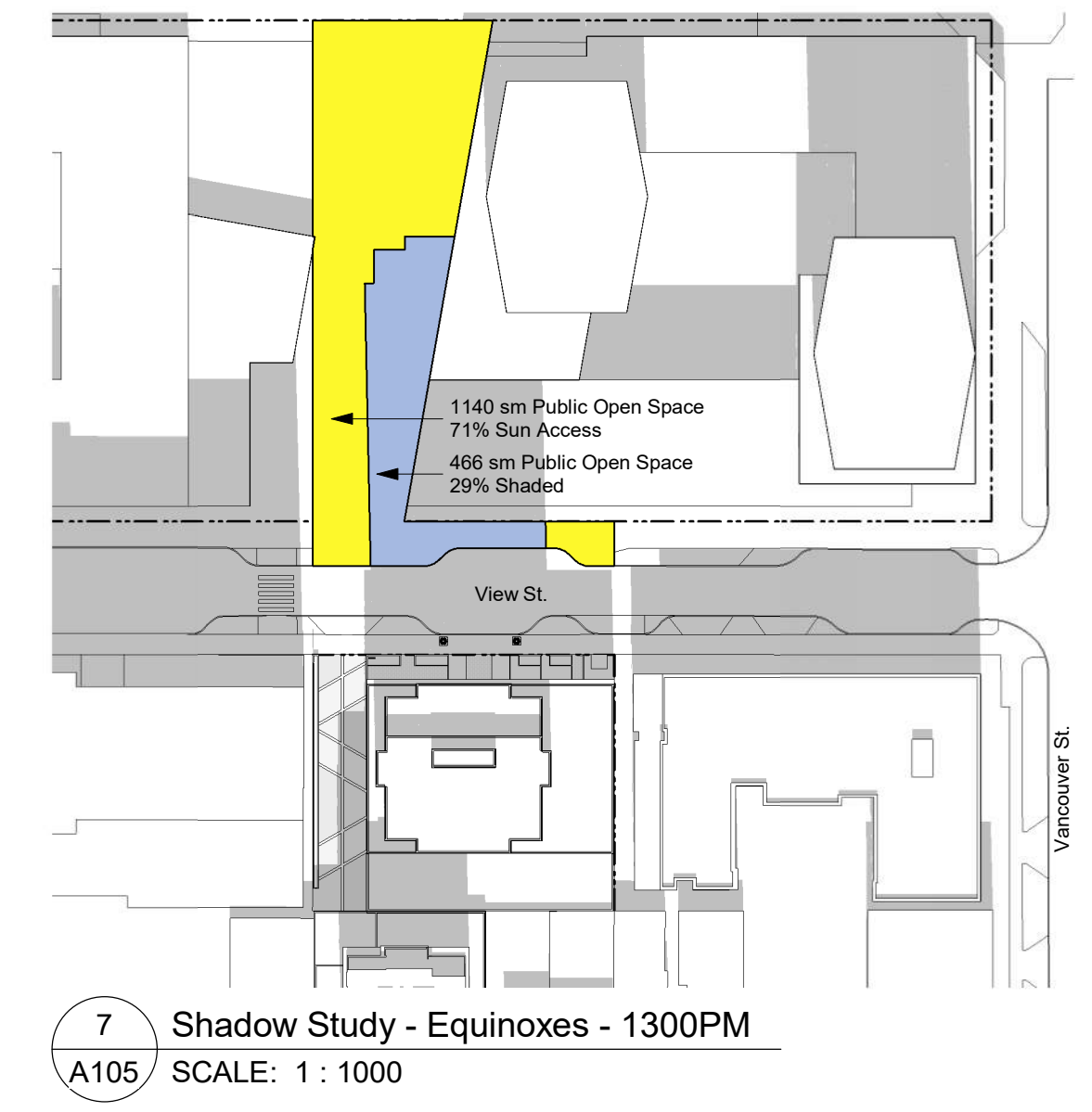
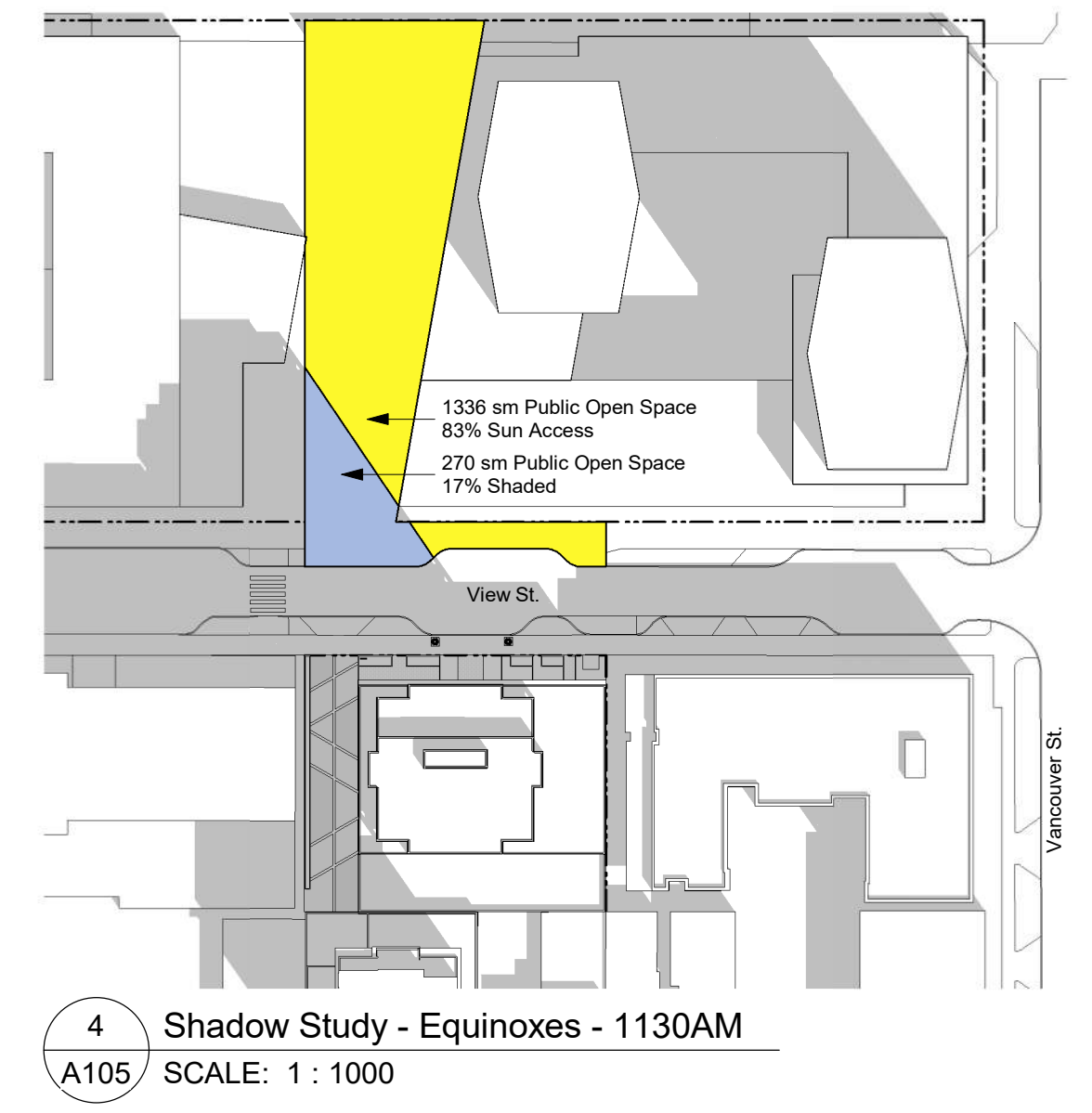
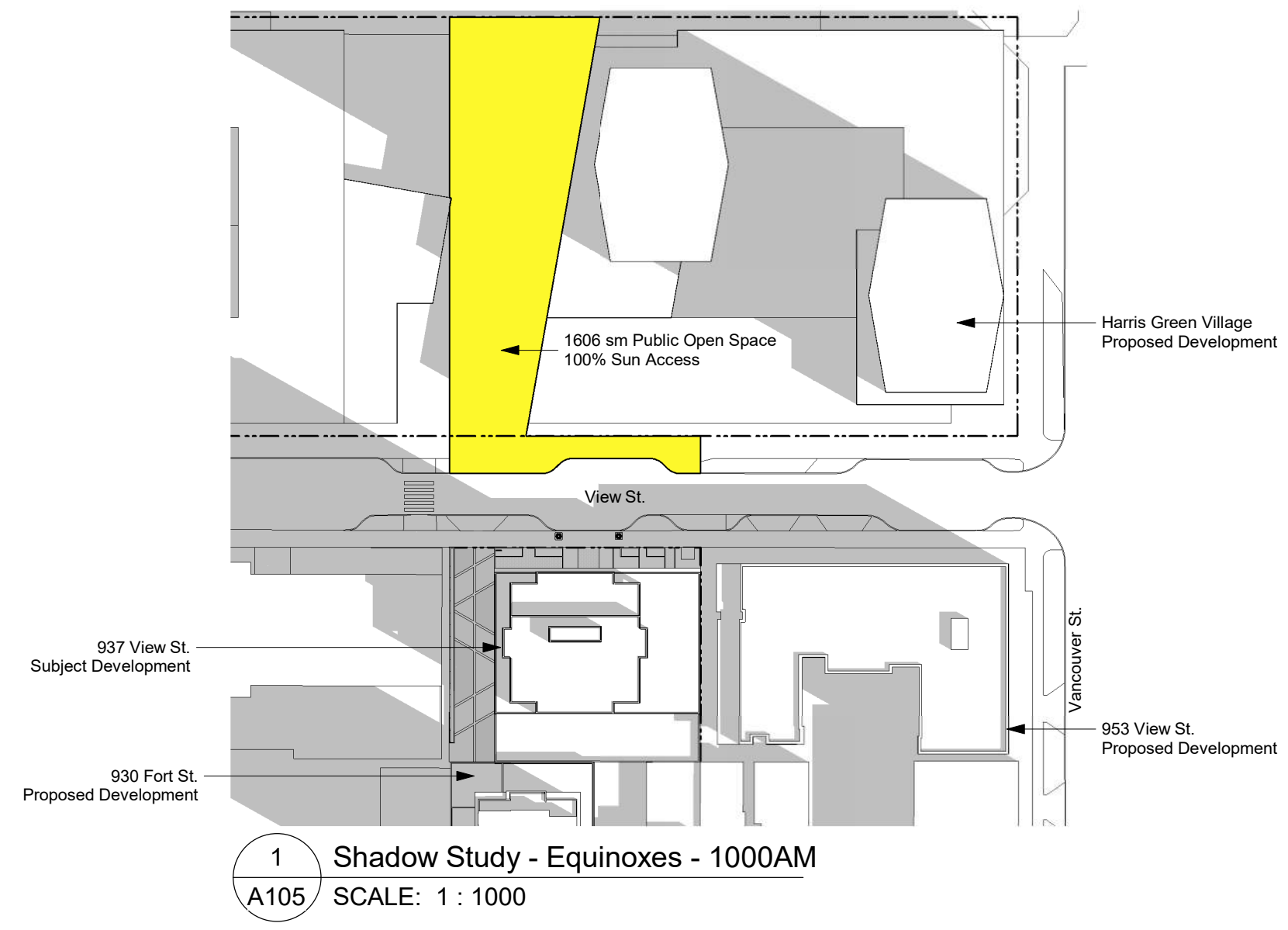
Plot Date 23-05-09 Drawing File
Drawn By RCI Checked By ADM
Scale 1 : 250 Project Number 1922

NOTE: All dimensions are shown in millimeters.

View St. Residential
937 View Street
Setback Plans



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21-05-04 Issued for DP Revisions 3
20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1
19-10-02 Issued for DP

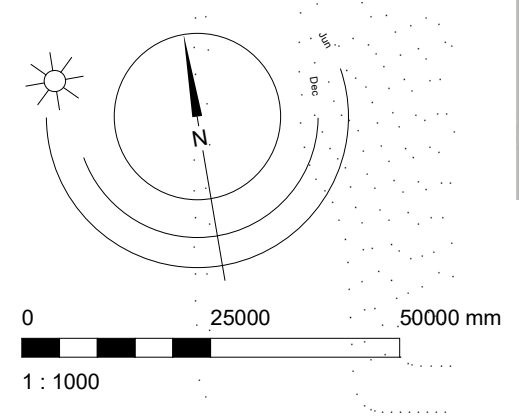
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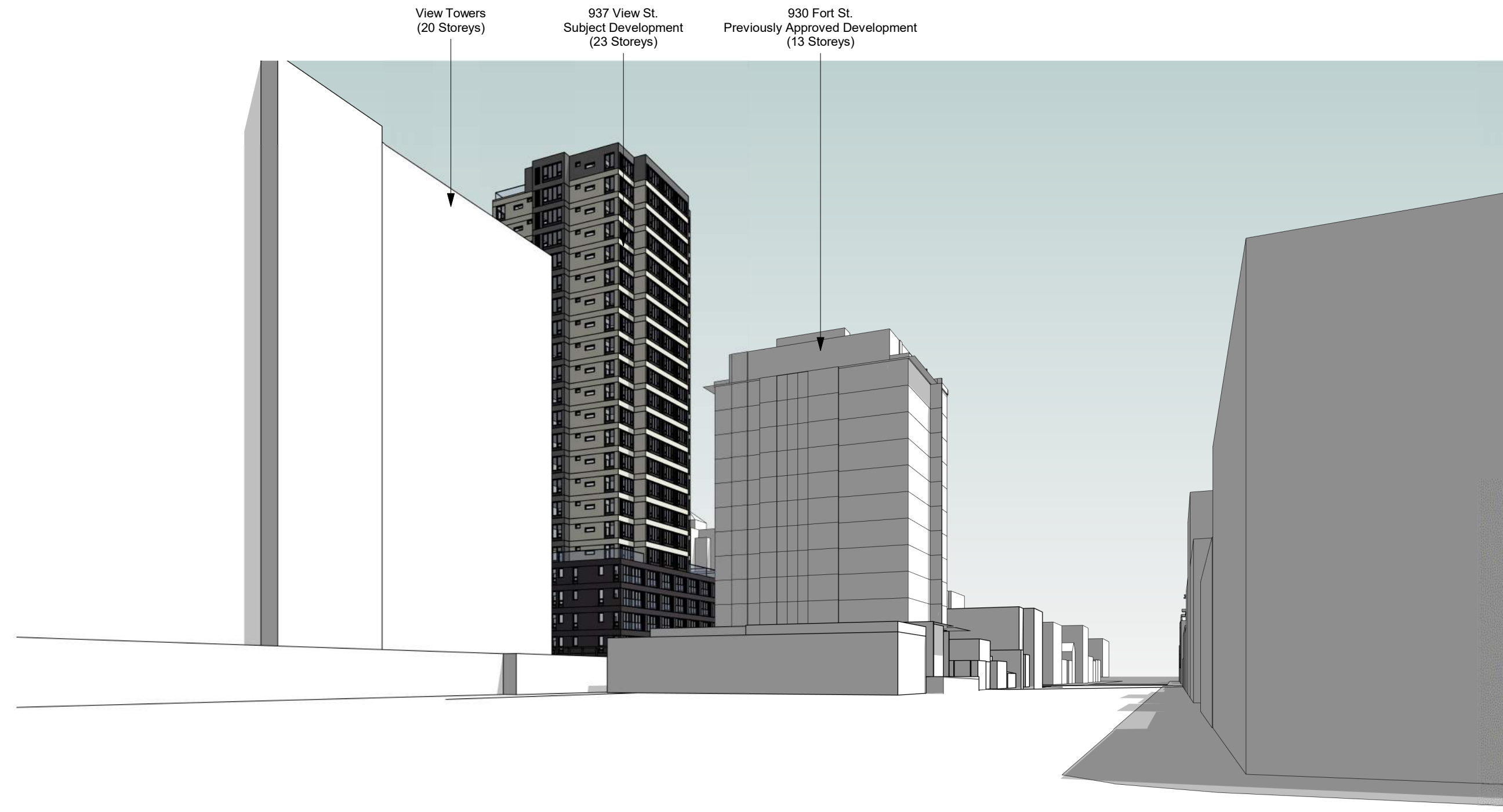
View St. Residential

937 View Street

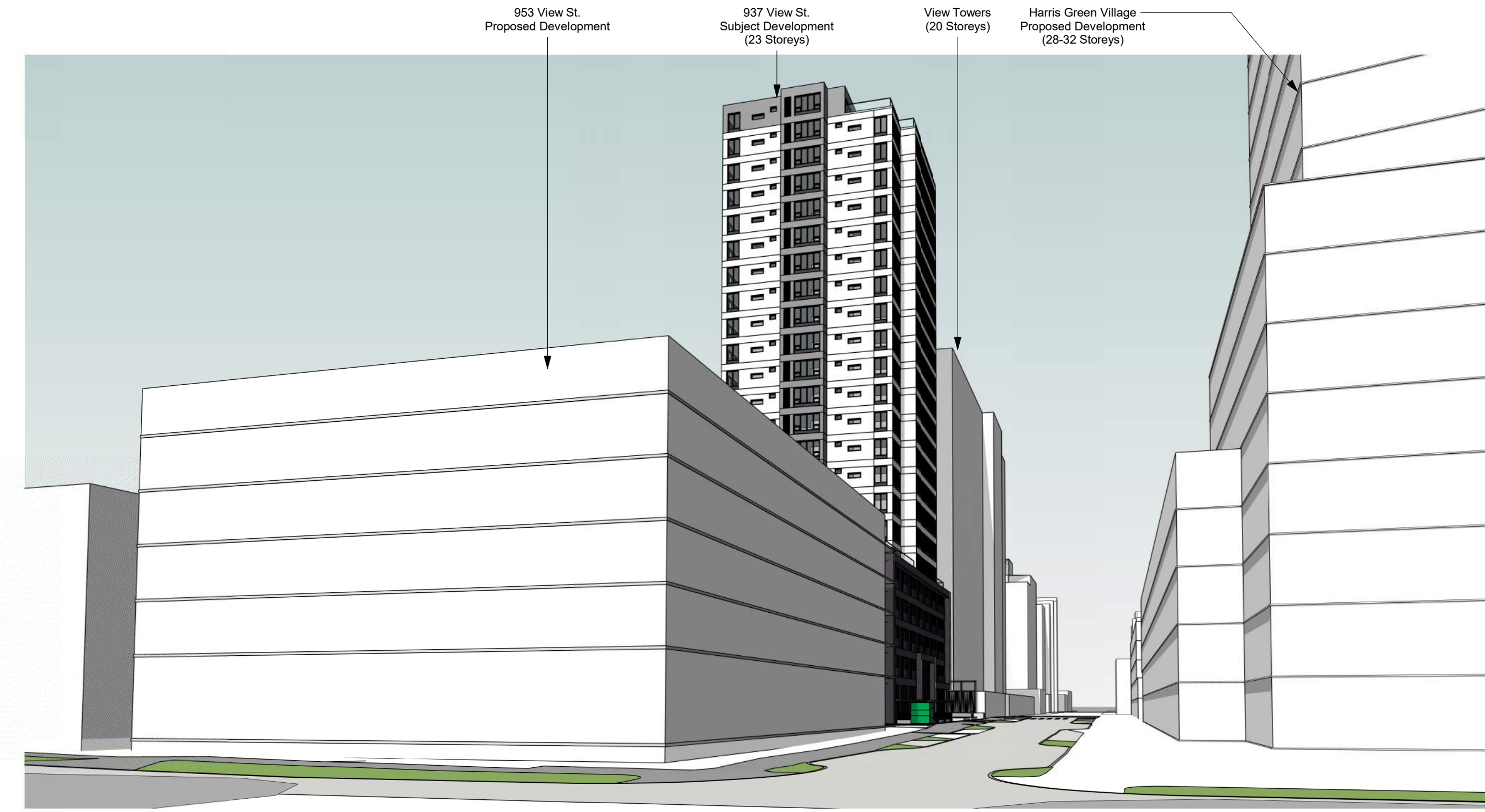
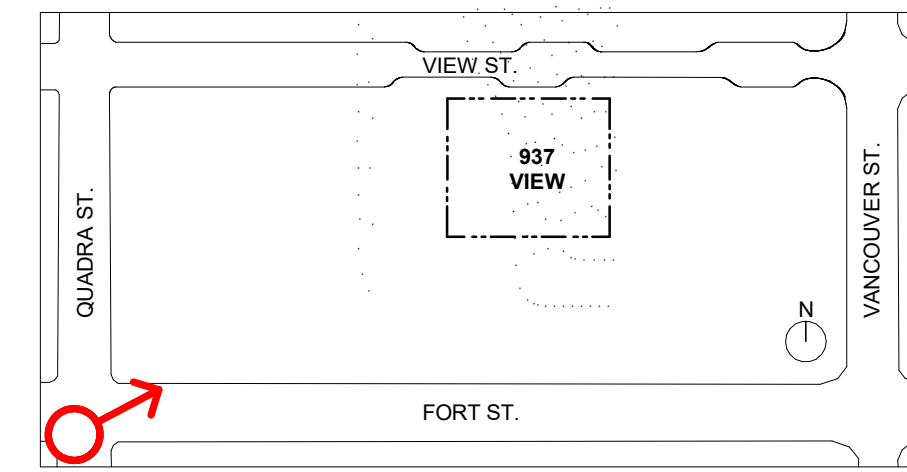
Site Context - Shado



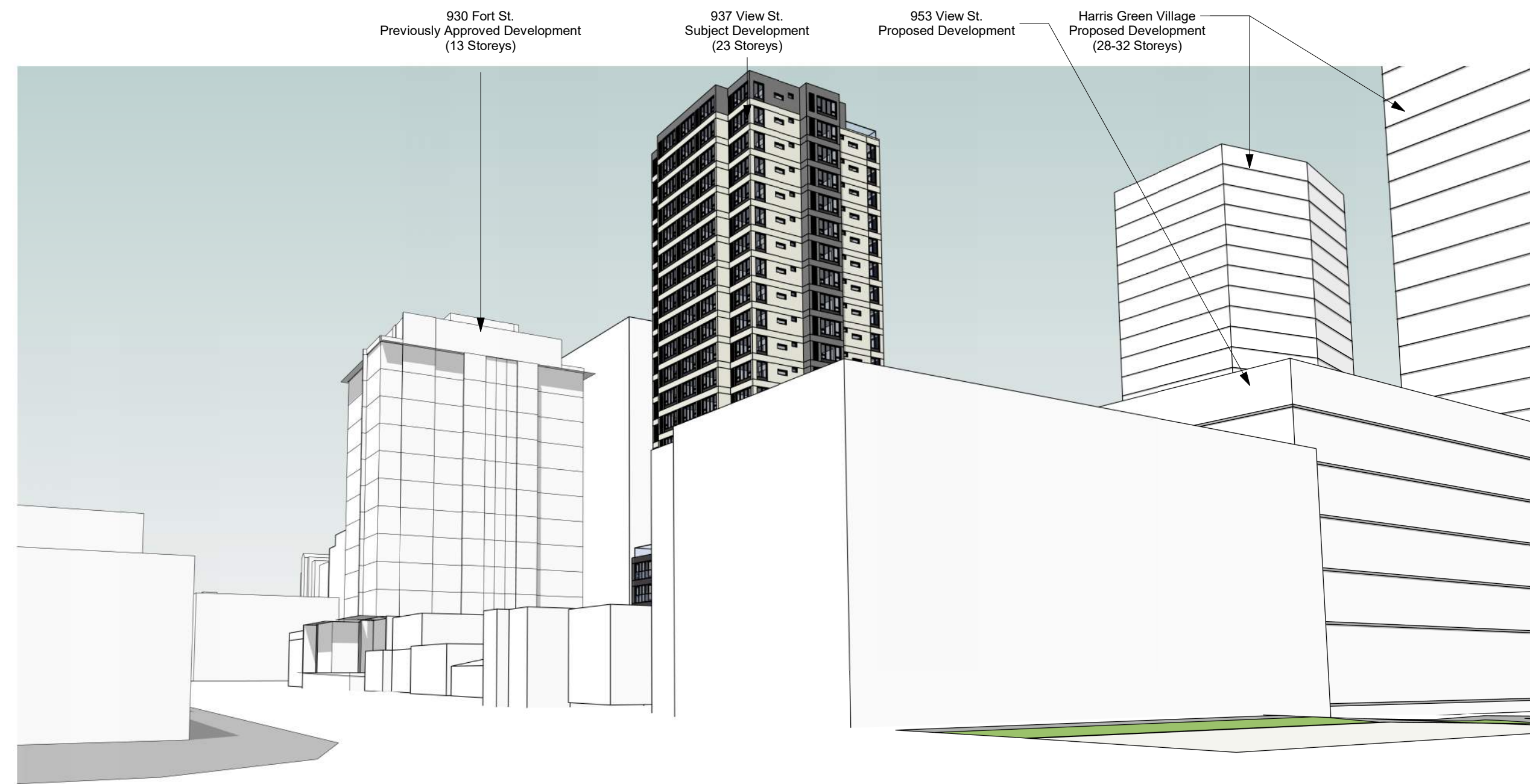
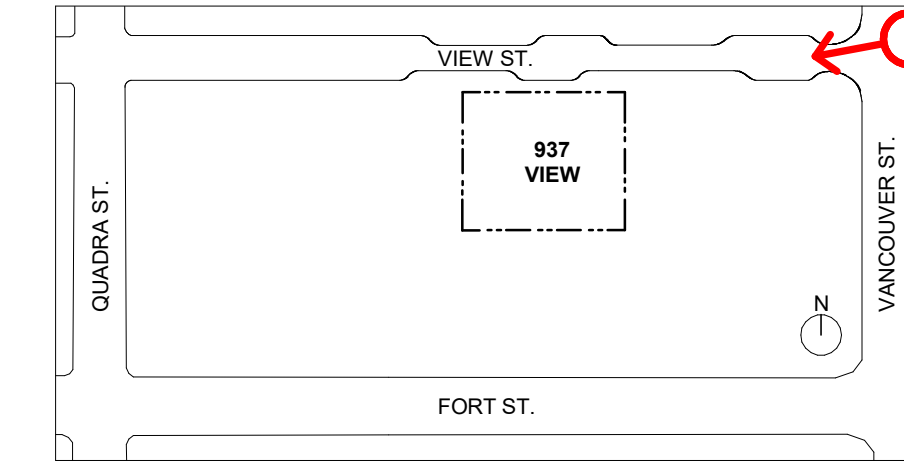
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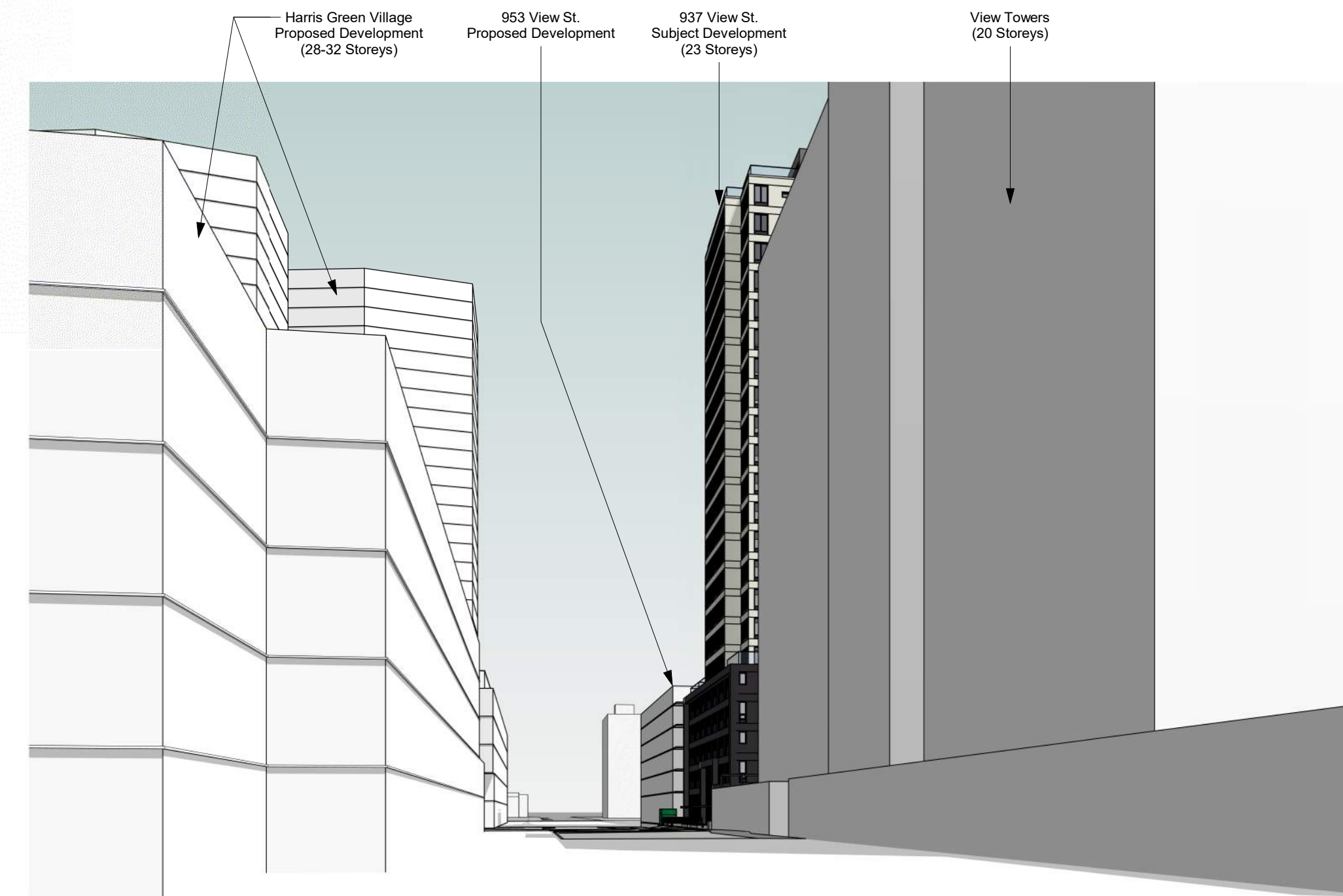
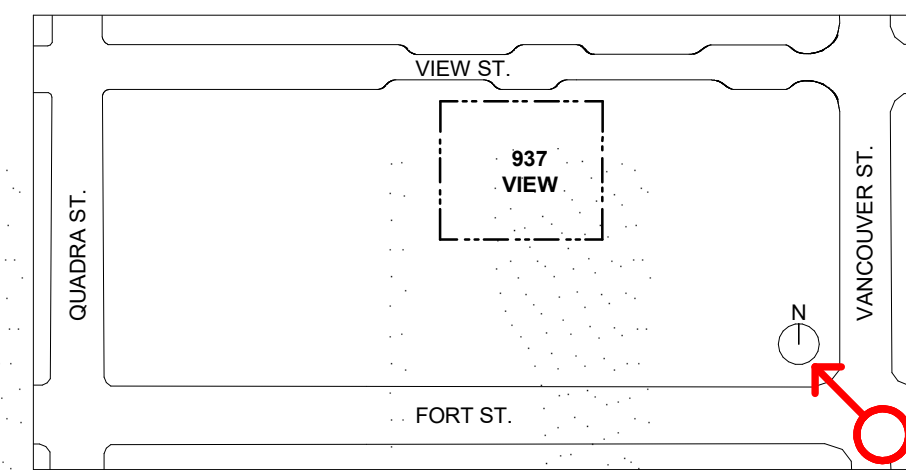
1 Street Perspective - Fort & Quadra - SW Corner
A107



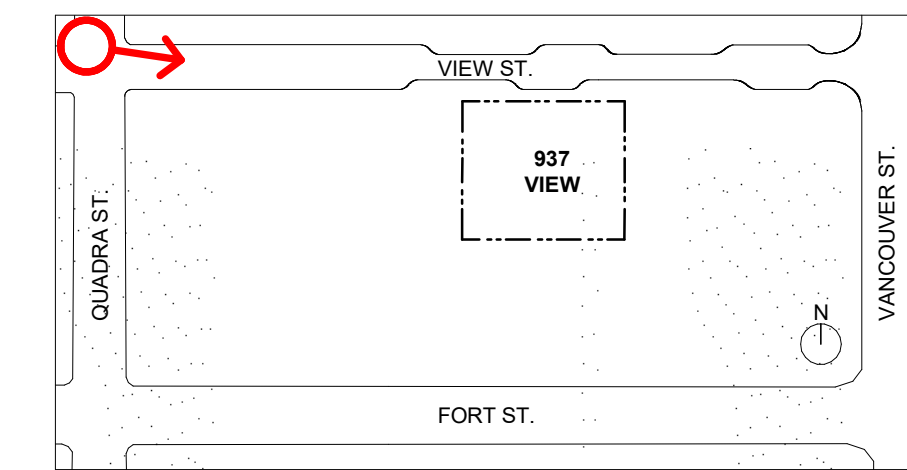
2 Street Perspective - View & Vancouver - NE Corner
A107



3 Street Perspective - Fort & Vancouver - SE Corner
A107



4 Street Perspective - View & Quadra - NW Corner
A107



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Plot Date 23-05-09 Drawing File
Drawn By RCI Checked By ADM
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NOTE: All dimensions are shown in millimeters.

View St. Residential

937 View Street

Site Context - Street Views



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 Scale 1 : 300 Project Number 1922

NOTE: All dimensions are shown in millimeters.

View St. Residential

937 View Street

Site Context - Street Elevati



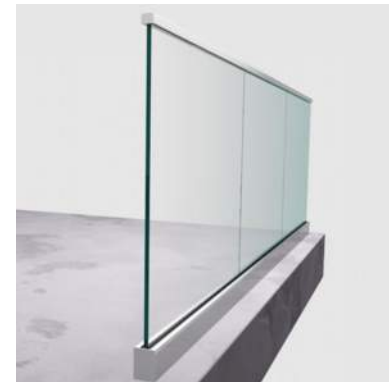
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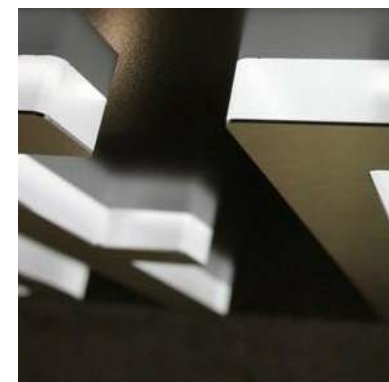
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1 Street Elevation - North
 A108 SCALE: 1 : 300

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Tempered and Laminated Structural Glass Guardrail w/ Anodized Aluminum Cap Rail



Three Dimensional Backlit Address Signage

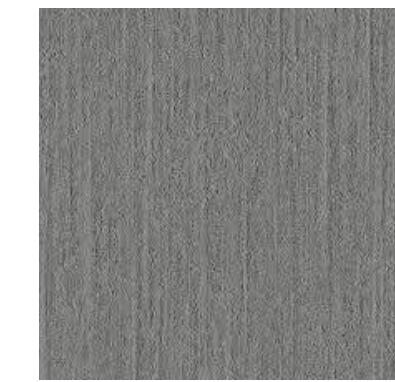


Window Wall System w/ Low E Insulated Glass & LED Coloured Backlit Feature Wall



Painted Metal Gates, Trellis, Guards & Fencing

Rainscreen Panel System - Gray



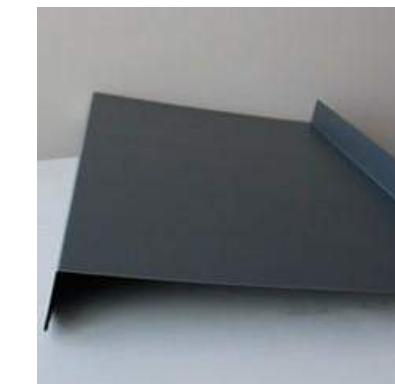
Black Zinc Louvres



Rainscreen Panel System - White



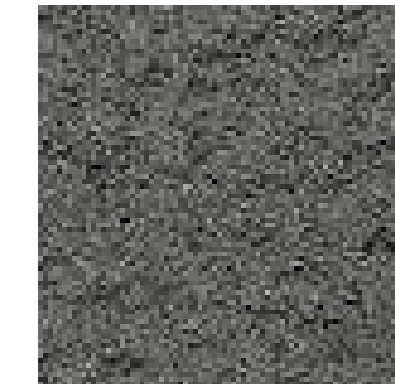
Black Zinc Flashing



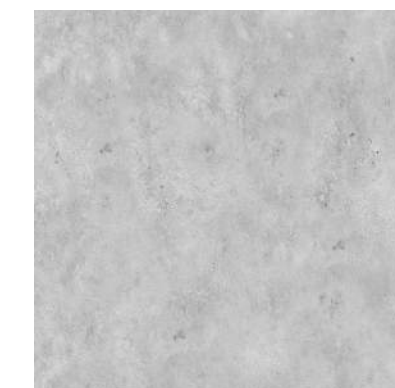
Low E Insulated windows



Rainscreen Panel System - Dark Gray Textured



Architectural Exposed Concrete Benches/Planters



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View St. Residential

937 View Street

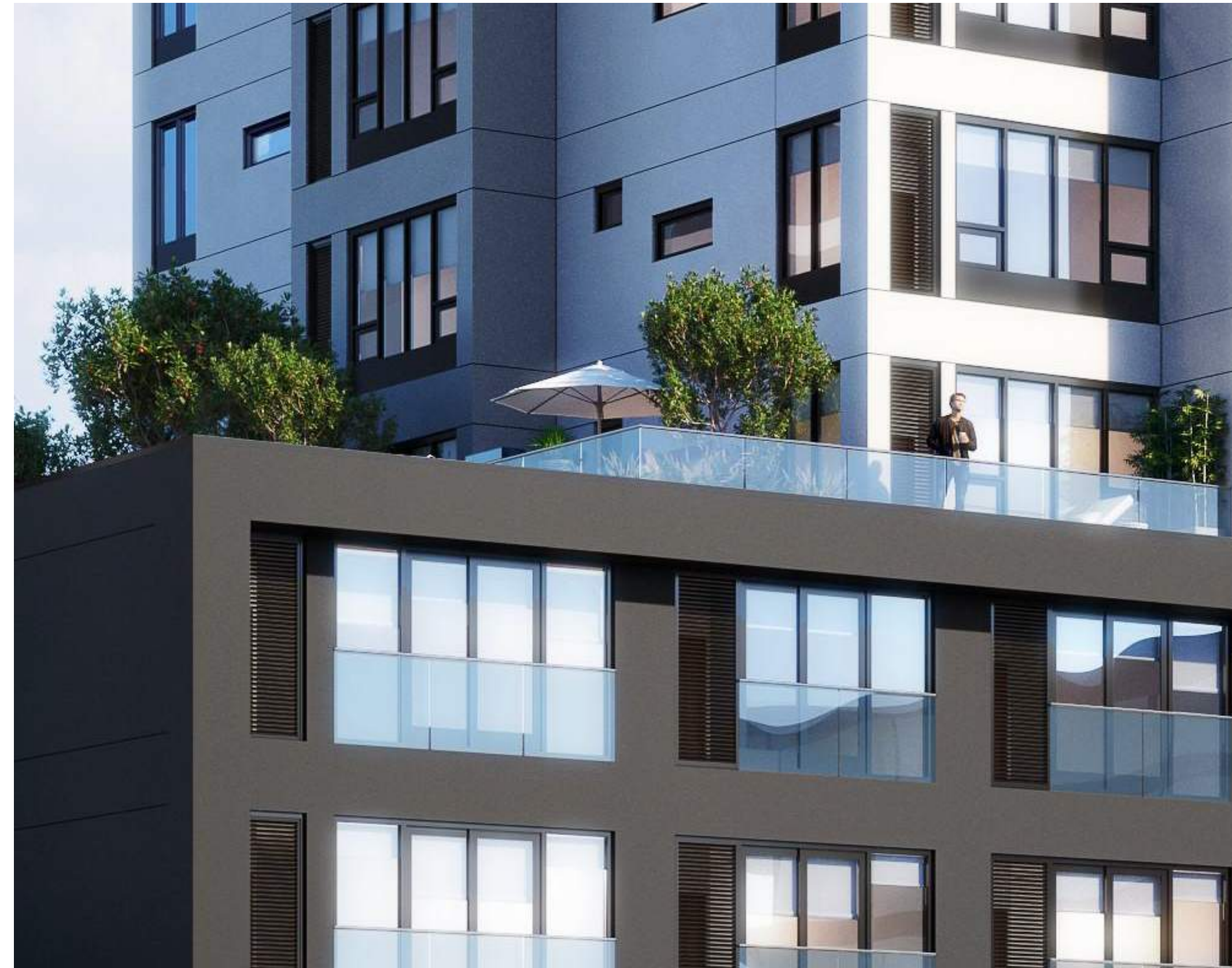
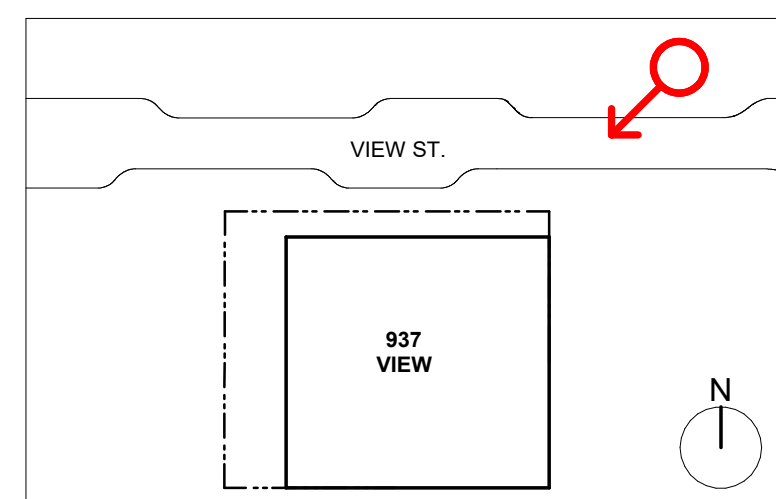
Site Context -
 Materic



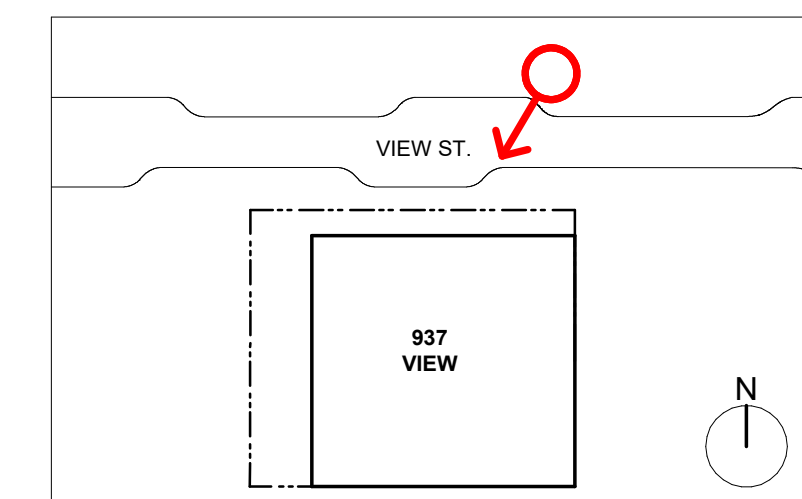
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1 Perspective Render - View St. Looking Southwest
A110



2 Perspective Rendering - L6 Terraces Overlooking View St
A110



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View St. Residential

937 View Street

Site Context -
Render



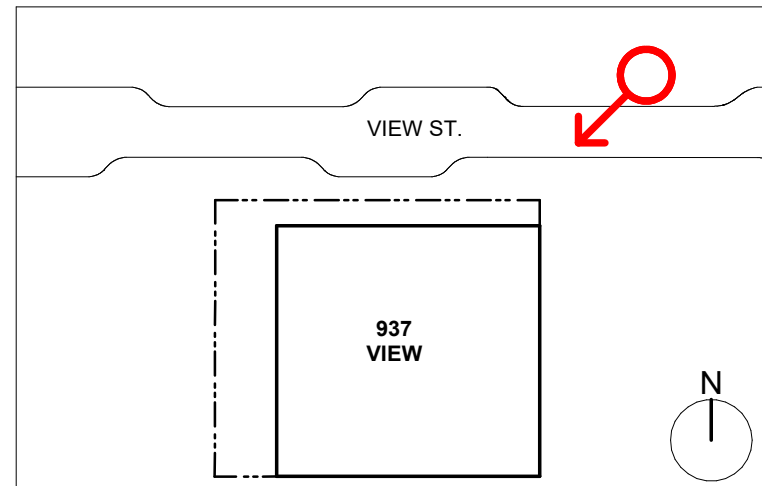
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1 Perspective Rendering - Main Entry Interface at View St
A111



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View St. Residential

937 View Street

Site Context -
Render



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1 Perspective Rendering - Easement Looking at Bike Entry
 A112 SCALE: 1 : 1

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 20-08-12 Issued for DP Revisions 2
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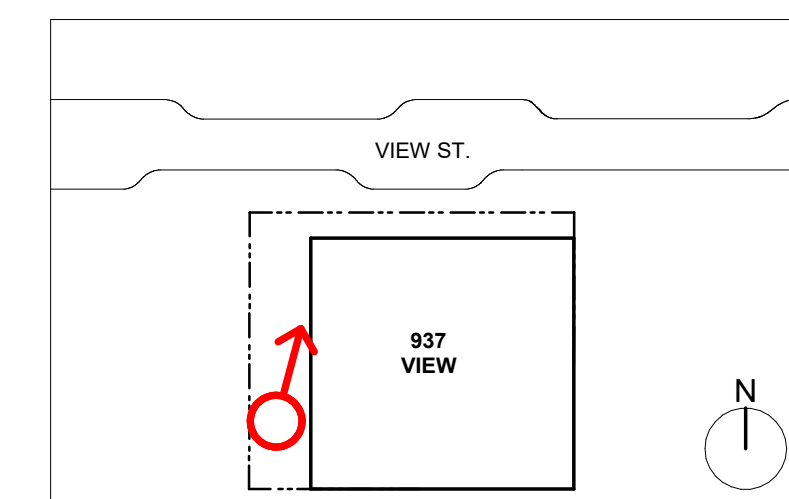
Plot Date 23-05-09 Drawing File
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 Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

View St. Residential

937 View Street

Site Context -
 Render

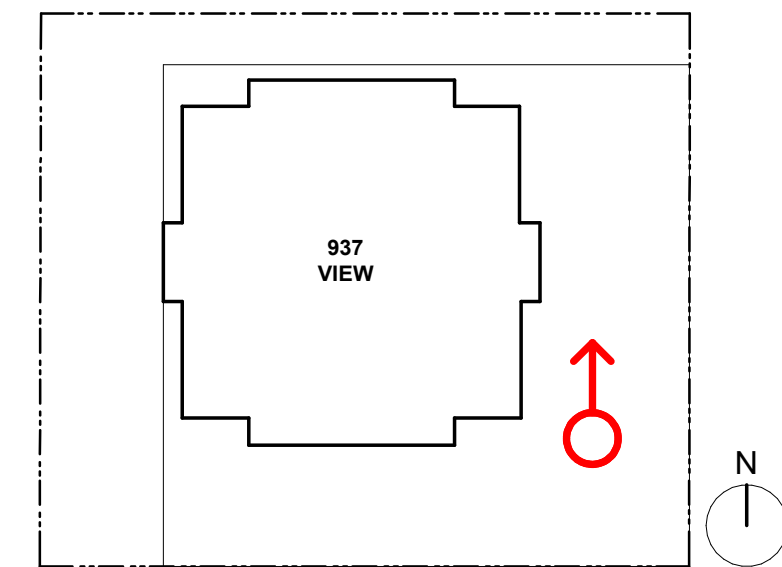


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1 Perspective Rendering - L6 Amenity Terrace
 A113 SCALE: 1 : 1



23-08-15 Issued for DP Revisions 6

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Scale	As indicated	Project Number	1922

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View St. Residential

937 View Street

Site Context - Render



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1 Perspective Rendering - L23 Amenity Terrace
A114

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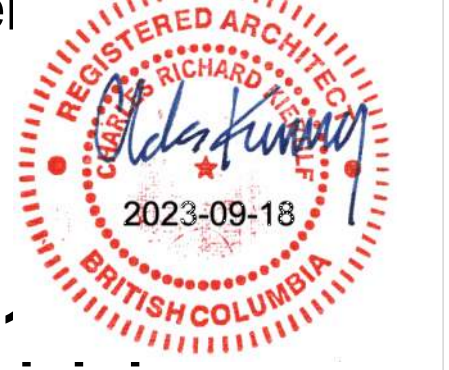
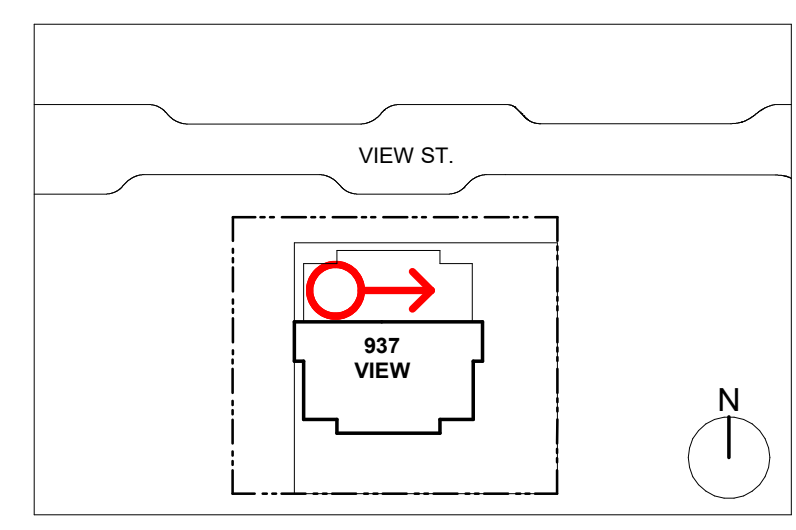
Plot Date 23-05-09 Drawing File
Drawn By RCI Checked By ADM
Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

View St. Residential

937 View Street

Site Context -
Render



dHka A:

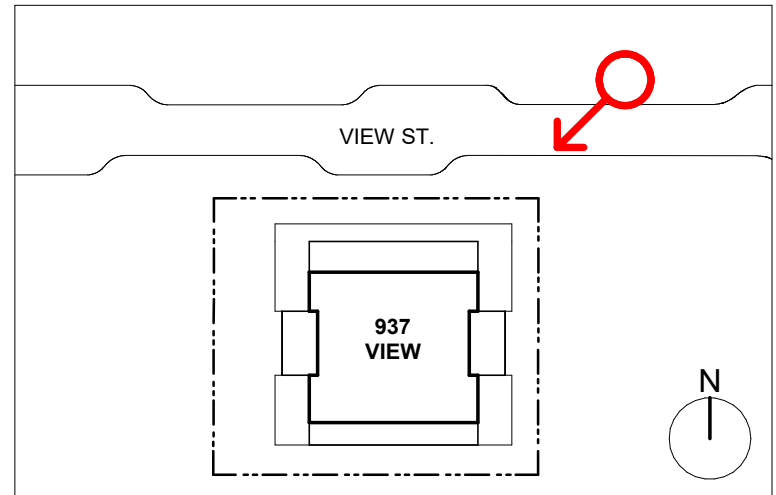
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1 Perspective Rendering - Overall - Night
A115 SCALE: 1 : 1

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NOTE: All dimensions are shown in millimeters.

View St. Residential

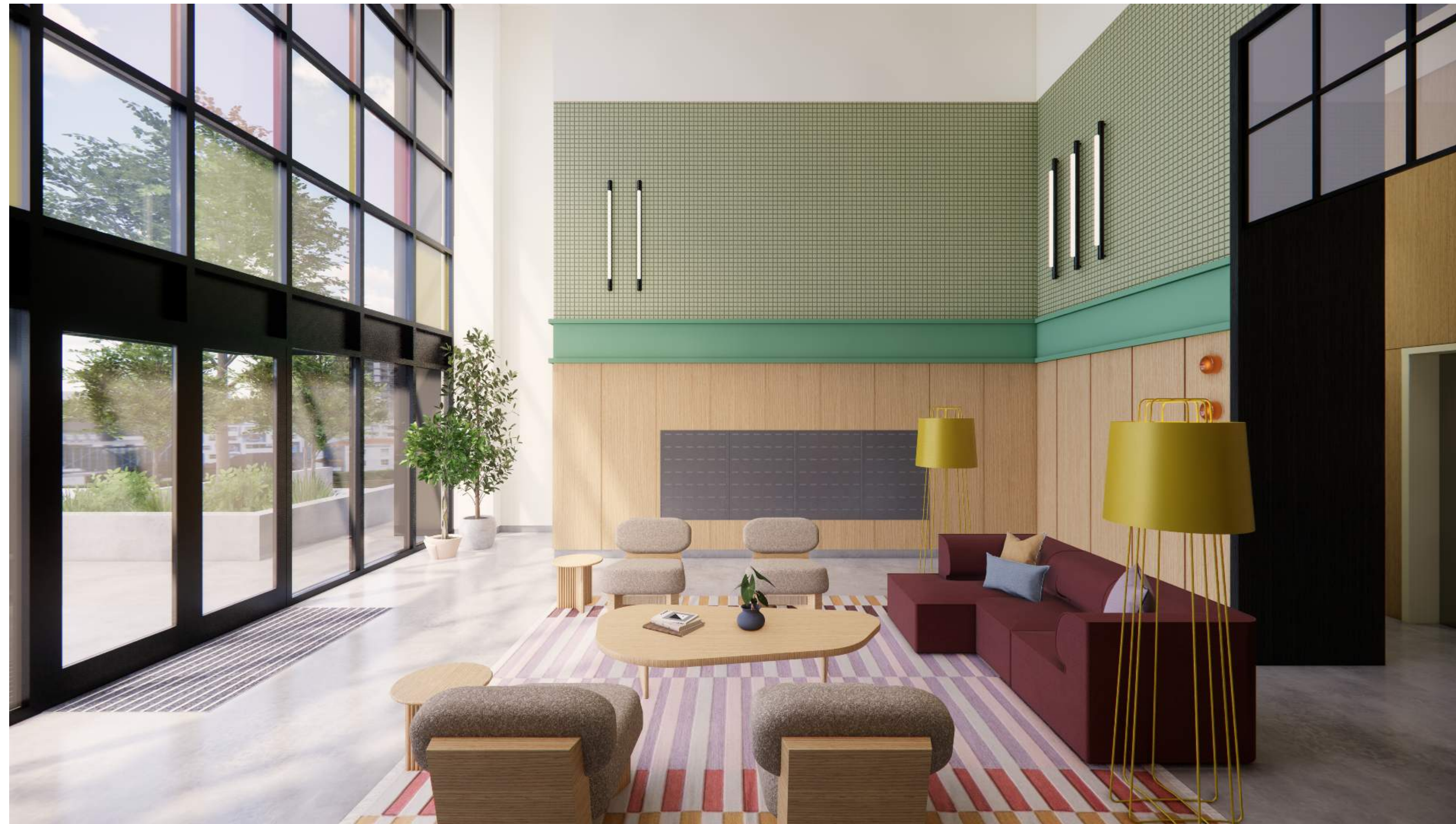
937 View Street

Site Context - Render



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Rendered View of Main Lobby Area - East Elevation

1 Perspective Rendering - Main Lobby Area
 A117 SCALE: 1 : 1



Rendered View of Main Lobby Area - West Elevation

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Drawn By	Author	Checked By	Checker
Scale	1 : 1	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View St. Residential

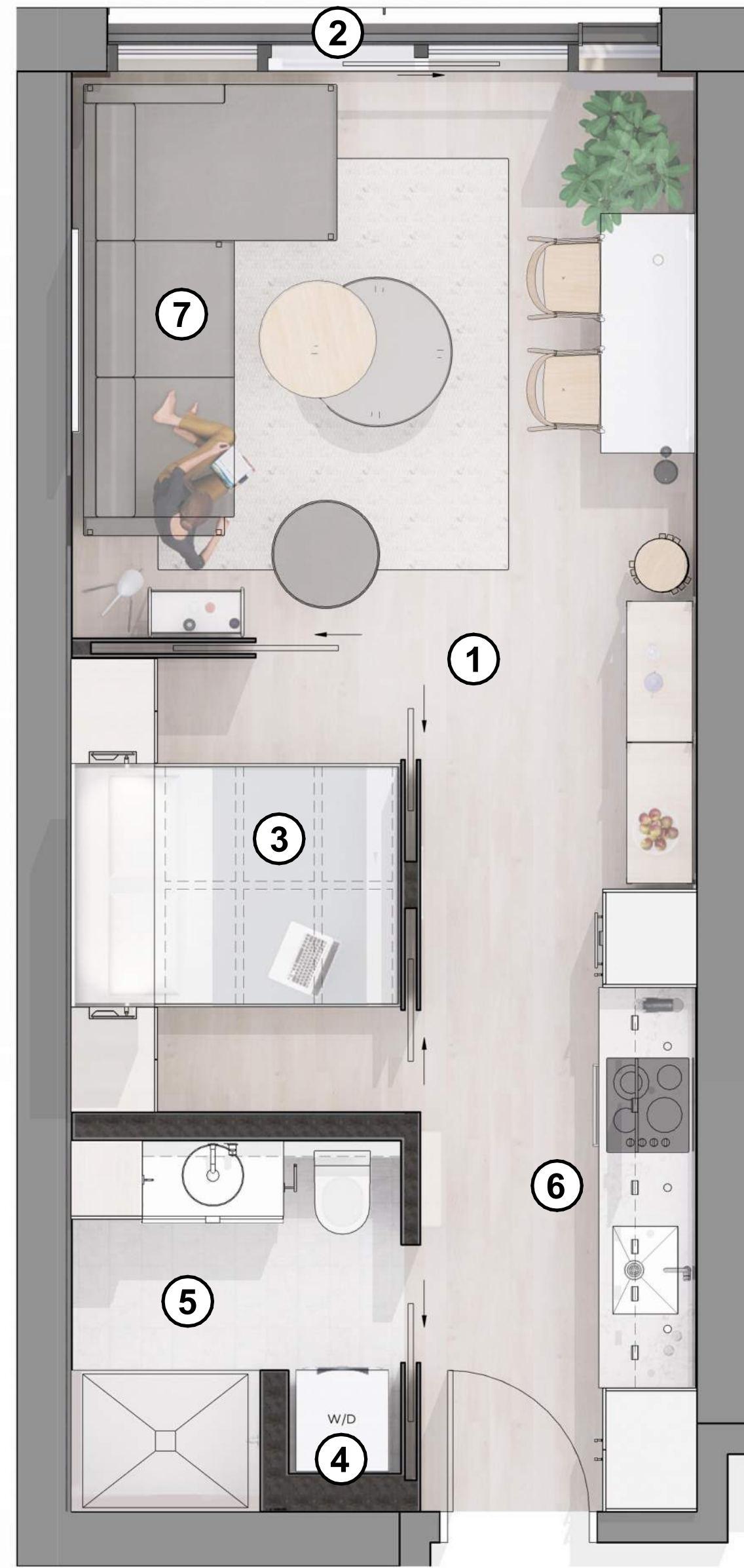
937 View Street

Livability - Rendered Interior



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Rendered Plan View of Unit Type C (NTS)



Rendered RCP of Unit Type C (NTS)

TYPICAL UNIT TYPE C

LIVABILITY NOTES

1. 33 m sq average size (min 32.16 - max 33.09 m sq)
2. Juliette Balcony and full height windows on primary elevation for light and air access.
3. Built in storage and bedroom furniture.
4. W/D in every unit.
5. Three piece bathrooms with built in linen storage and medicine cabinets.
6. Full featured galley style kitchen and cabinets including tub style stainless steel sink, microwave, electric induction range and electric oven.
7. Living area sized for flexibility with prewired for high speed data / cable.
8. High ceilings with high performance LED lighting.



Rendered View of Kitchen Area



Rendered View of Living Area



Rendered View of Living and Bedroom Area

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Drawn By	Author	Checked By	Checker
Scale	1 : 1	Project Number	1922

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View St. Residential

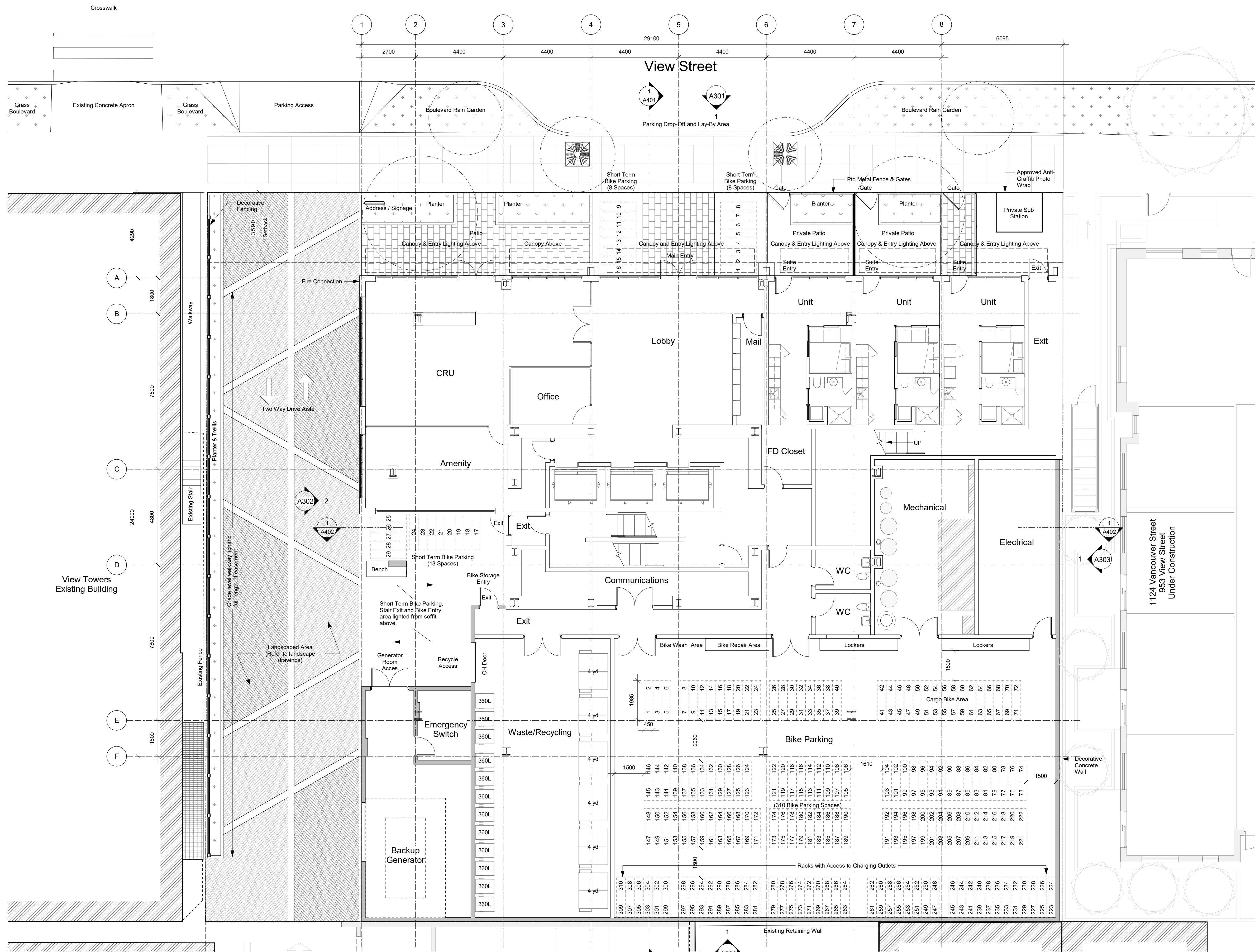
937 View Street

Livability - Rendered Interior



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Lunds
926 Fort Street

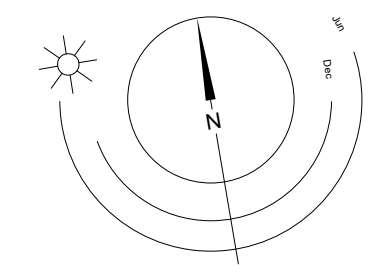
Bike Parking	274
Long Term Required	310 Spaces
Long Term Provided	155 Ground-Anchored (50%)
	155 Stacked (50%)
* All spaces adjacent to wall to be E/V ready.	
Short Term Required	27 Spaces
Short Term Provided	25 Spaces

930 Fort Street Proposed Development

Yard

Sen Zushi

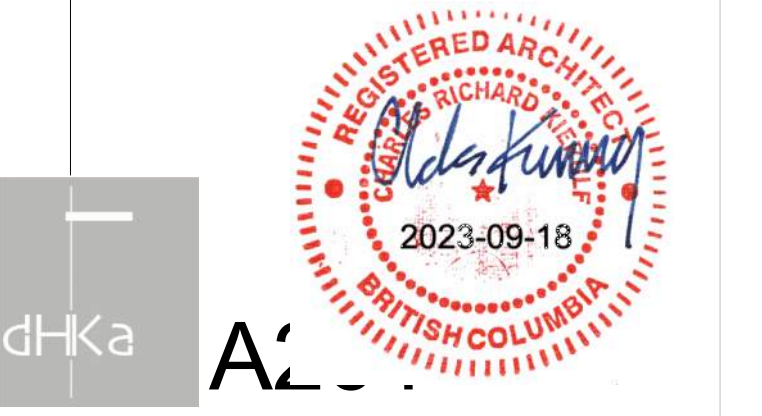
Sen Zushi



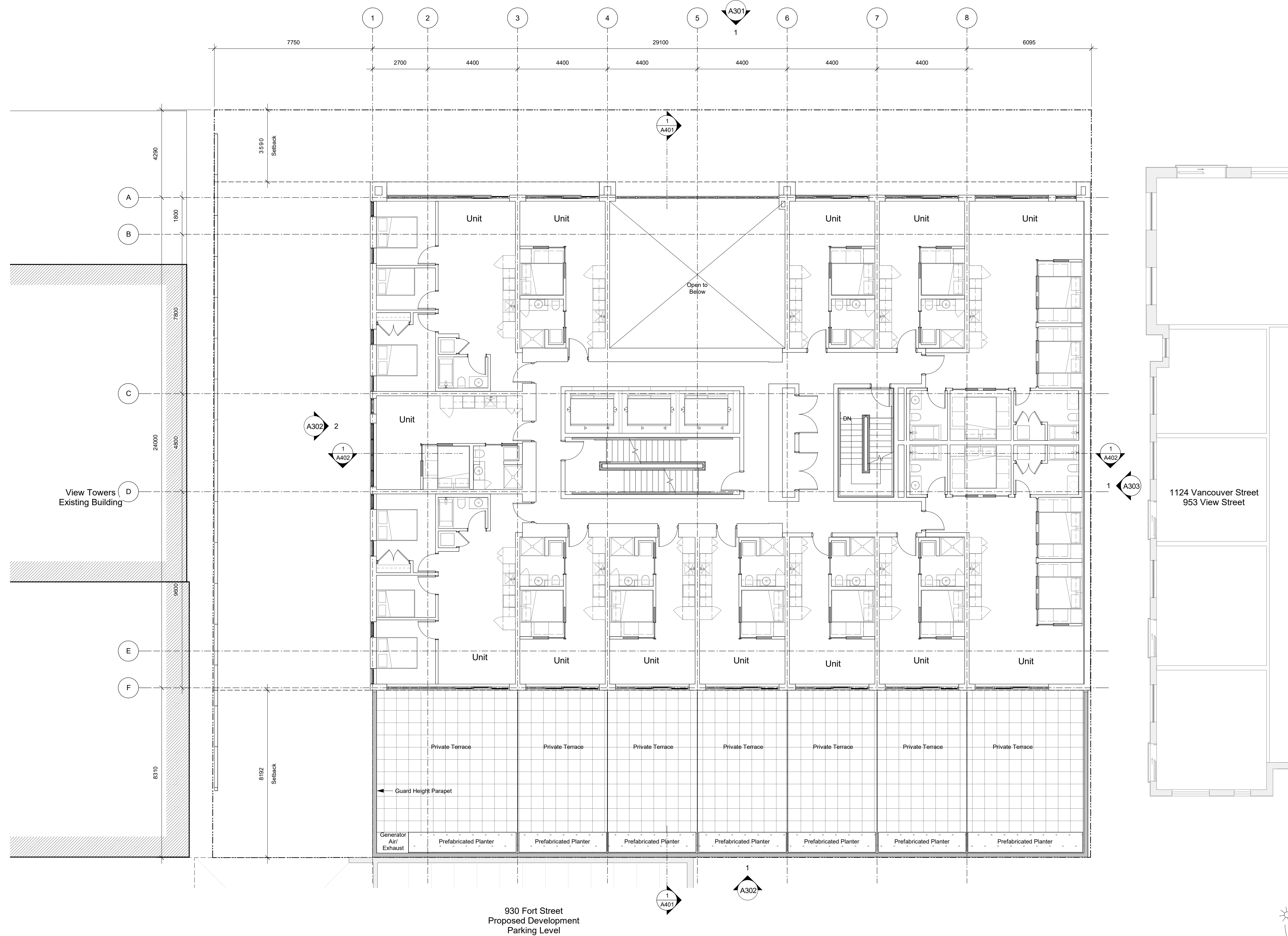
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23-05-09	Issued for DP Revisions 5
22-04-06	Issued for DP Revisions 4 Correction
21-12-20	Issued for DP Revisions 4
21-05-04	Issued for DP Revisions 3
20-08-12	Issued for DP Revisions 2
20-01-08	Issued for DP Revisions 1
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View St. Residential
 937 View Street
 Level 1 Plan



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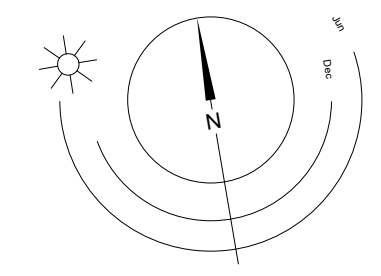


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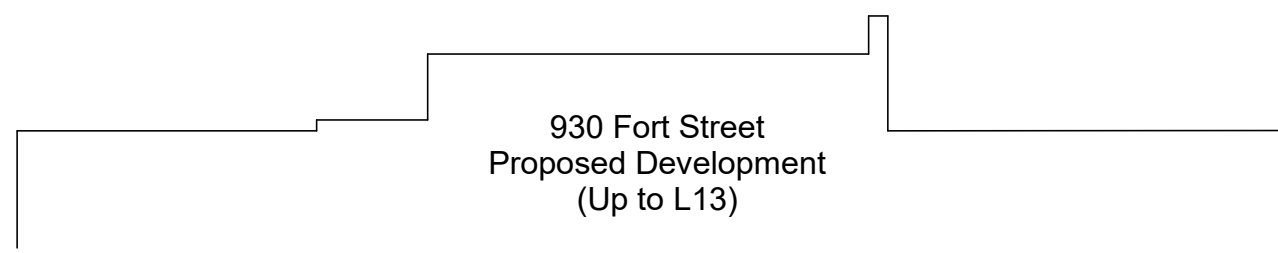
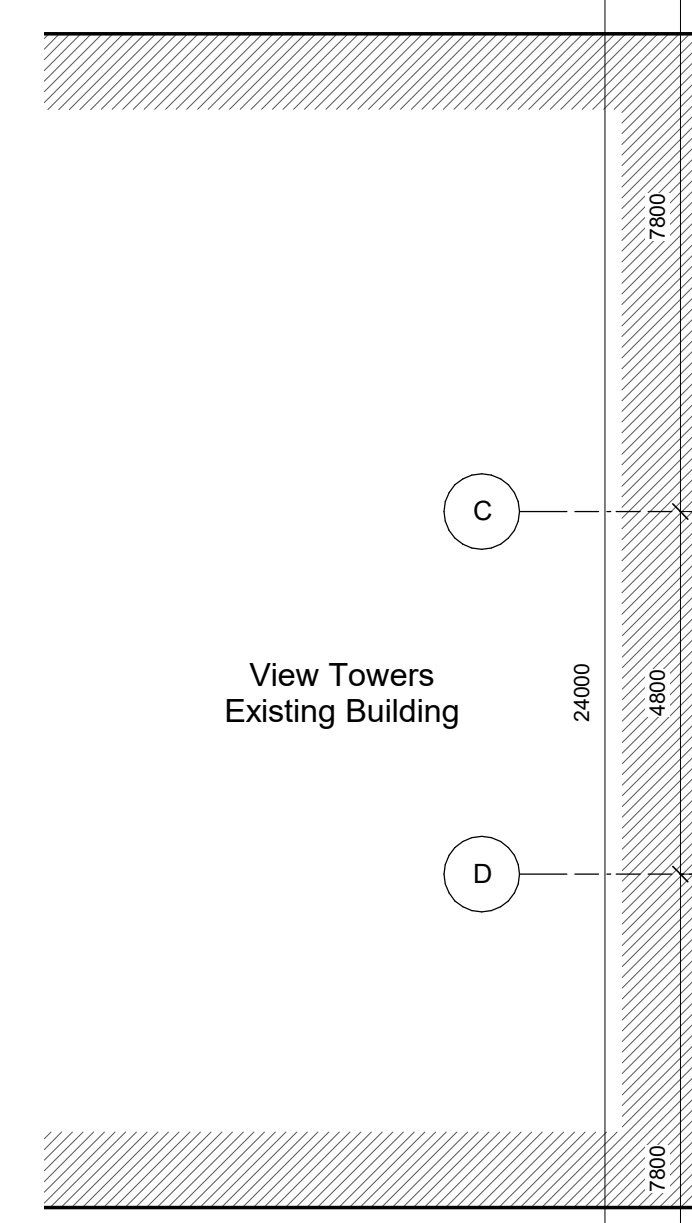
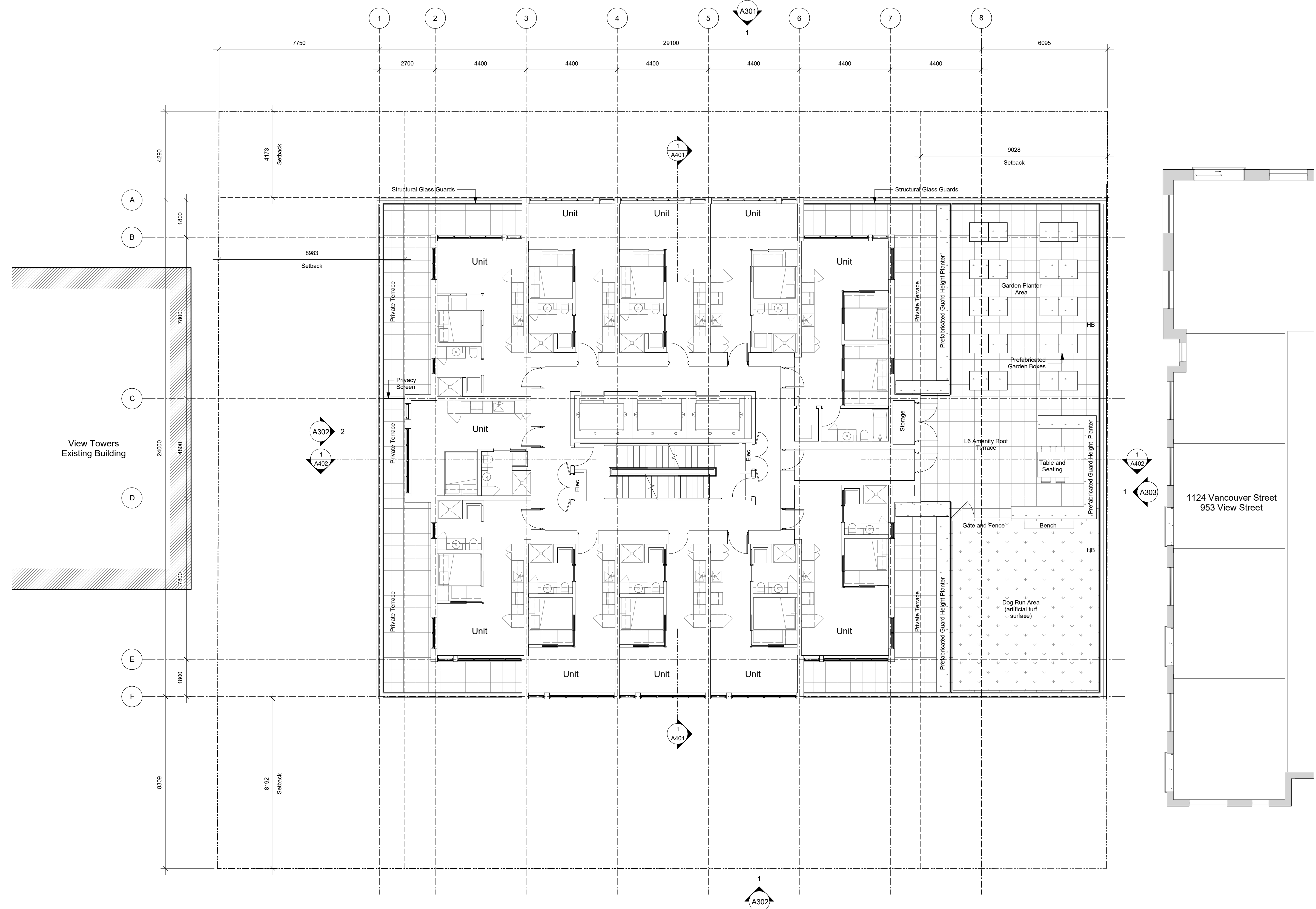
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View St. Residential
 937 View Street
 Level 2 Plan



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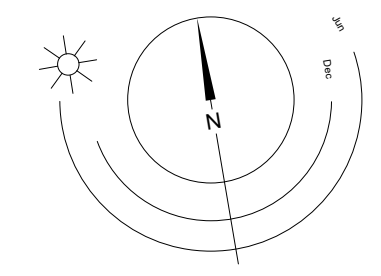


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21-05-04	Issued for DP Revisions 3
20-08-12	Issued for DP Revisions 2
20-01-08	Issued for DP Revisions 1
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Plot Date	23-05-09	Drawing File	
Drawn By	RCI	Checked By	ADM
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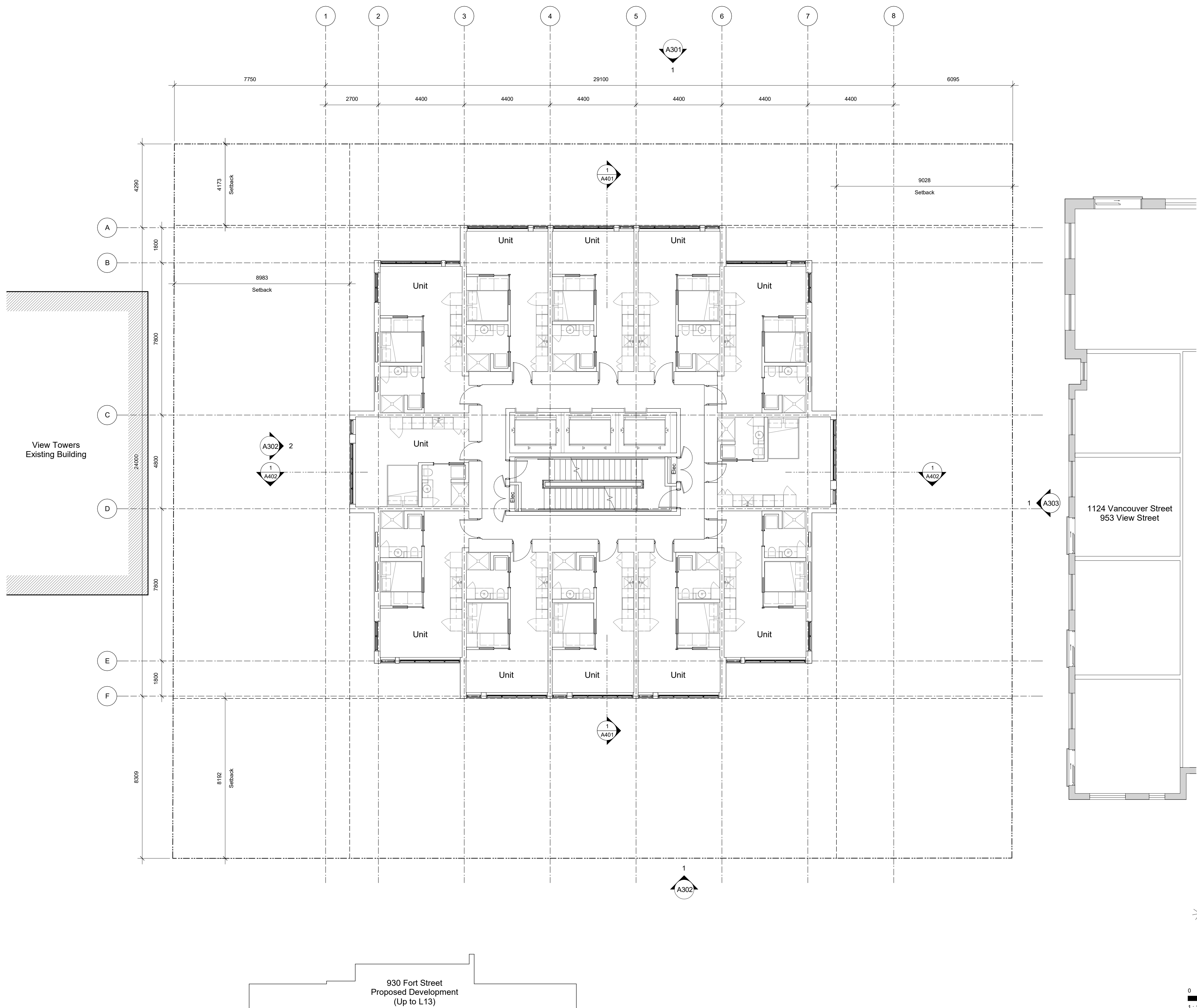
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View St. Residential
 937 View Street
 Levels 6 Plan



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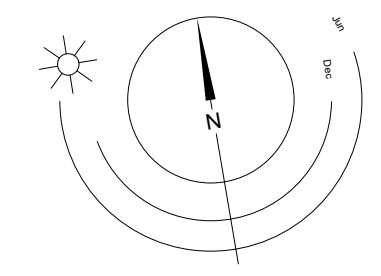


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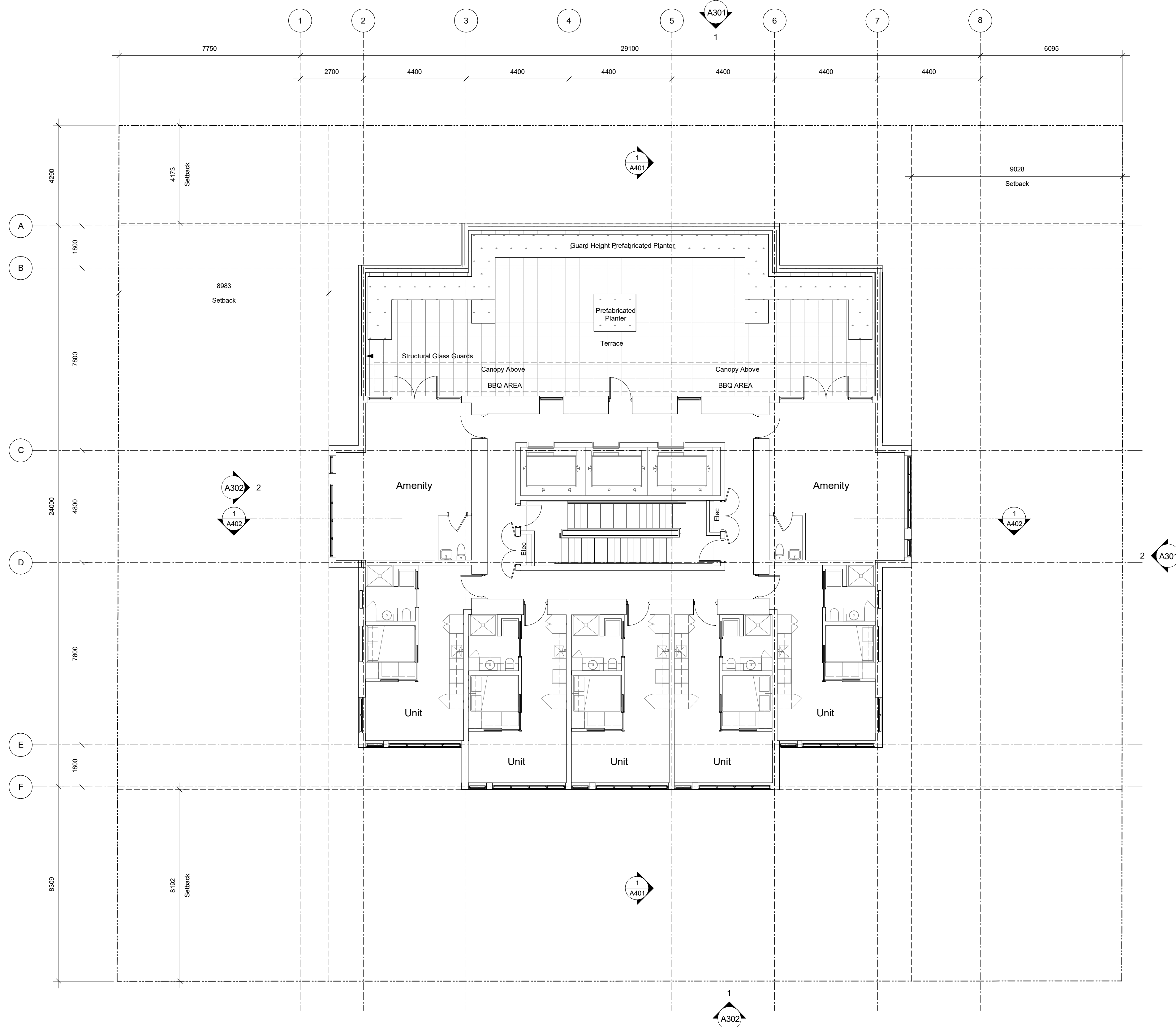
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View St. Residential
 937 View Street
 Levels 7-22 Plan



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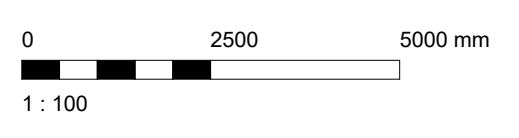
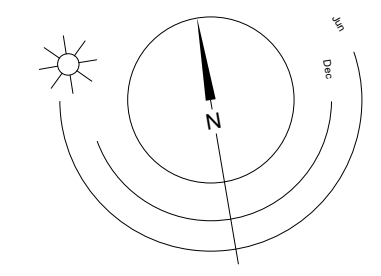


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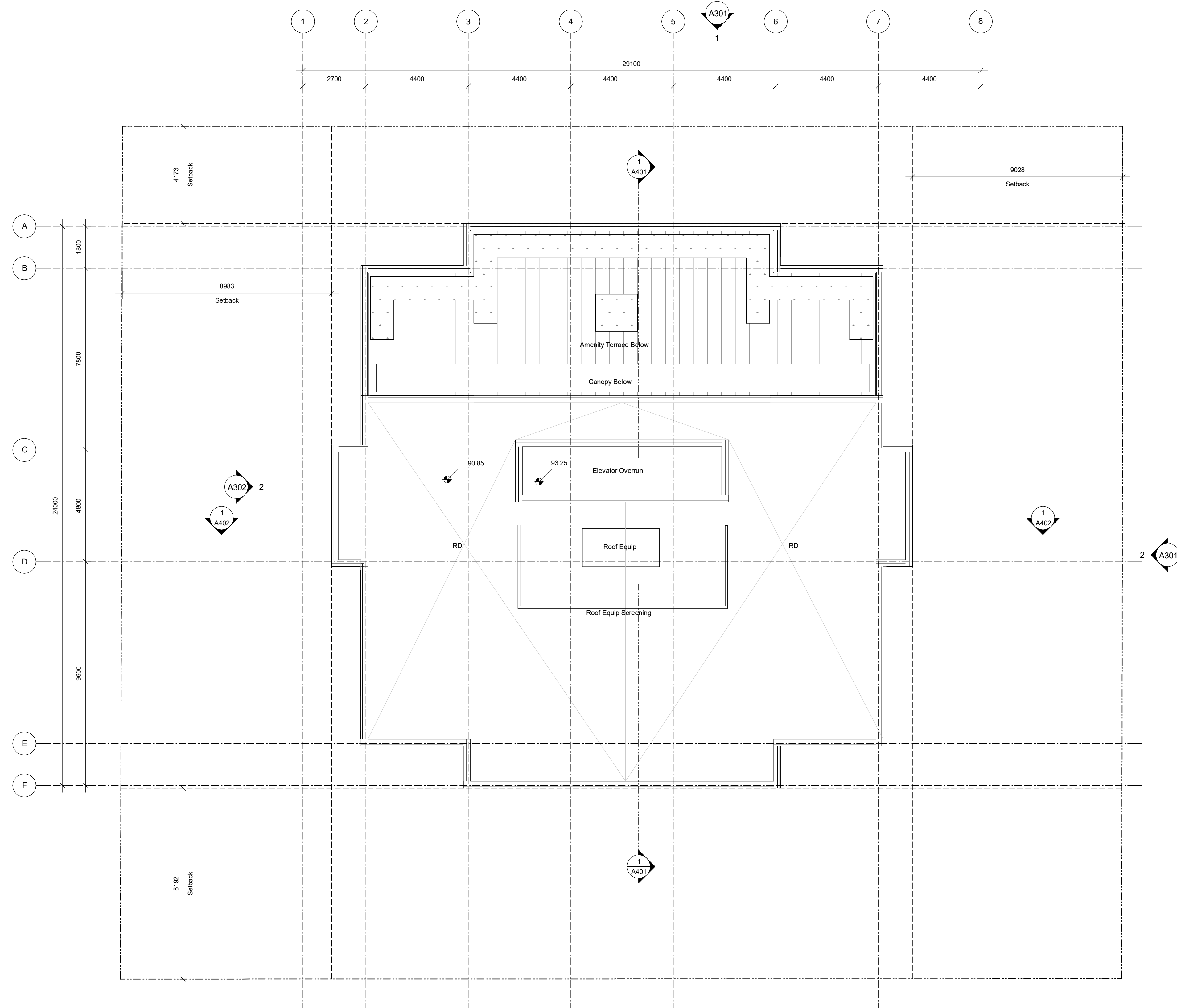
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View St. Residential
 937 View Street
 Level 23 Plan



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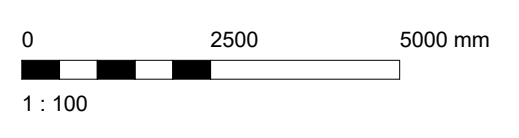
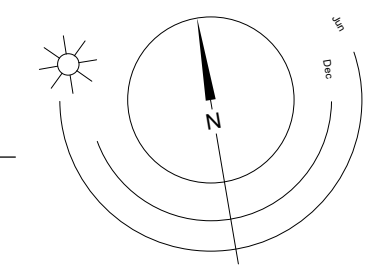
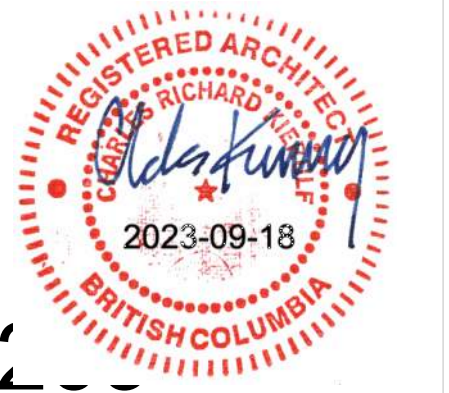


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 20-01-08 Issued for DP Revisions 1
 19-10-02 Issued for DP

Plot Date: 23-05-09 Drawing File:
 Drawn By: RCI Checked By: ADM
 Scale: 1 : 100 Project Number: 1922

NOTE: All dimensions are shown in millimeters.

View St. Residential
 937 View Street
Roof Plan

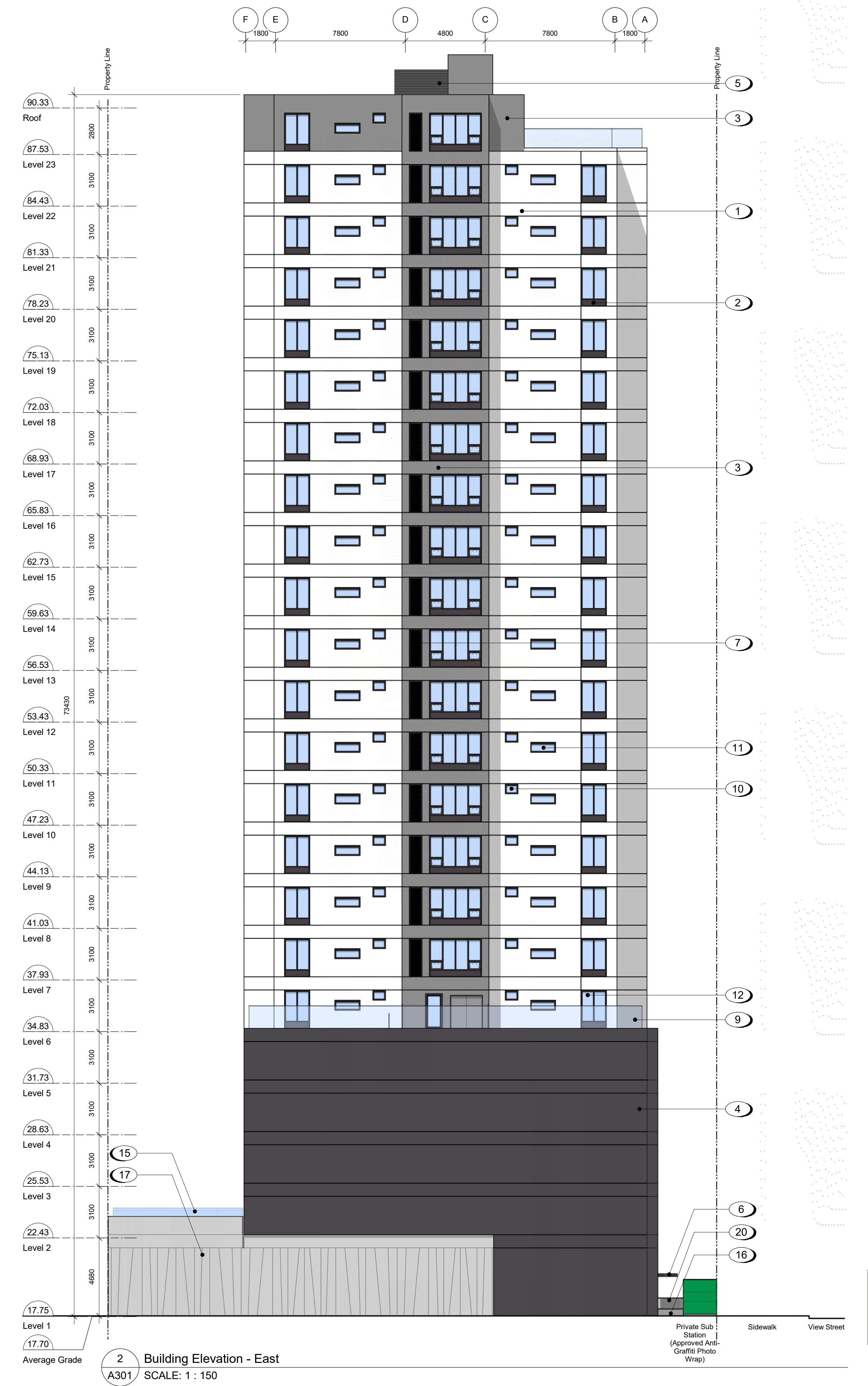


1 Roof - Overall
 A209 SCALE: 1 : 100

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1 Building Elevation - North
SCALE: 1 : 150



2 Building Elevation - East
SCALE: 1 : 150

Materials Schedule

- 1 Rainscreen Panel System - White Texture
- 2 Rainscreen Panel System - Dark Gray
- 3 Rainscreen Panel System - Gray Texture
- 4 Rainscreen Panel System - Dark Gray Texture
- 5 Prefinished Louvered Metal Mechanical Screen - Dark Gray
- 6 Tempered and Laminated Glass Canopy with Prefinished Metal Zinc Coloured Frame
- 7 Rainscreen Panel System - Zinc Coloured Louver Finish
- 8 Juliette Balcony with Tempered and Laminated Glass Guard with Anodized Aluminum Caprail
- 9 Tempered and Laminated Glass Guard with Anodized Aluminum Caprail
- 10 Low-E Insulated Frosted Window with Zinc Coloured Frame
- 11 Low-E Insulated Glass Window with Zinc Coloured Frame
- 12 Low-E Insulated Glass Sliding Door with Safety Film
- 13 Low-E Insulated Glass Window Wall System with LED Backlit Colours
- 14 Low-E Insulated Glass Window Wall System
- 15 Tempered Translucent Glass Privacy Screen with Anodized Zinc Coloured Frame
- 16 Architectural Exposed Concrete
- 17 Decorative Concrete Wall
- 18 Painted Metal Door
- 19 Prefinished Zinc Coloured Sectional Aluminum Overhead Garage Door
- 20 Painted Metal Fence - Black

23-08-15	Issued for DP Revisions 6
23-05-09	Issued for DP Revisions 5
21-12-20	Issued for DP Revisions 4
21-05-04	Issued for DP Revisions 3
20-08-12	Issued for DP Revisions 2
20-01-08	Issued for DP Revisions 1
19-10-02	Issued for DP

Plot Date	23-05-09	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	As indicated	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View St. Residential
937 View Street
Building Elevations



dHka Architects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-658-3367
1-250-585-5810

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2023-05-18 2:19:28 PM



Materials Schedule

- 1 Rainscreen Panel System - White Texture
- 2 Rainscreen Panel System - Dark Gray
- 3 Rainscreen Panel System - Gray Texture
- 4 Rainscreen Panel System - Dark Gray Texture
- 5 Prefinished Louvered Metal Mechanical Screen - Dark Gray
- 6 Tempered and Laminated Glass Canopy with Prefinished Metal Zinc Coloured Frame
- 7 Rainscreen Panel System - Zinc Coloured Louver Finish
- 8 Juliette Balcony with Tempered and Laminated Glass Guard with Anodized Aluminum Caprail
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23-08-15	Issued for DP Revisions 6
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20-08-12	Issued for DP Revisions 2
20-01-08	Issued for DP Revisions 1
19-10-02	Issued for DP

Plot Date	23-05-09	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	As indicated	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View St. Residential
 937 View Street
 Building Elevations



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2023-09-18 2:20:36 PM



1 Building Elevation - East - Adjacent Window Overlay
A303 SCALE: 1 : 100

Notes

Area of Window on Adjacent Building

23-08-15 Issued for DP Revisions 6
20-08-12 Issued for DP Revisions 2

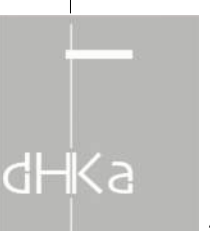
Plot Date 23-05-09 Drawing File
Drawn By RCI Checked By ADM
Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

View St. Residential

937 View Street

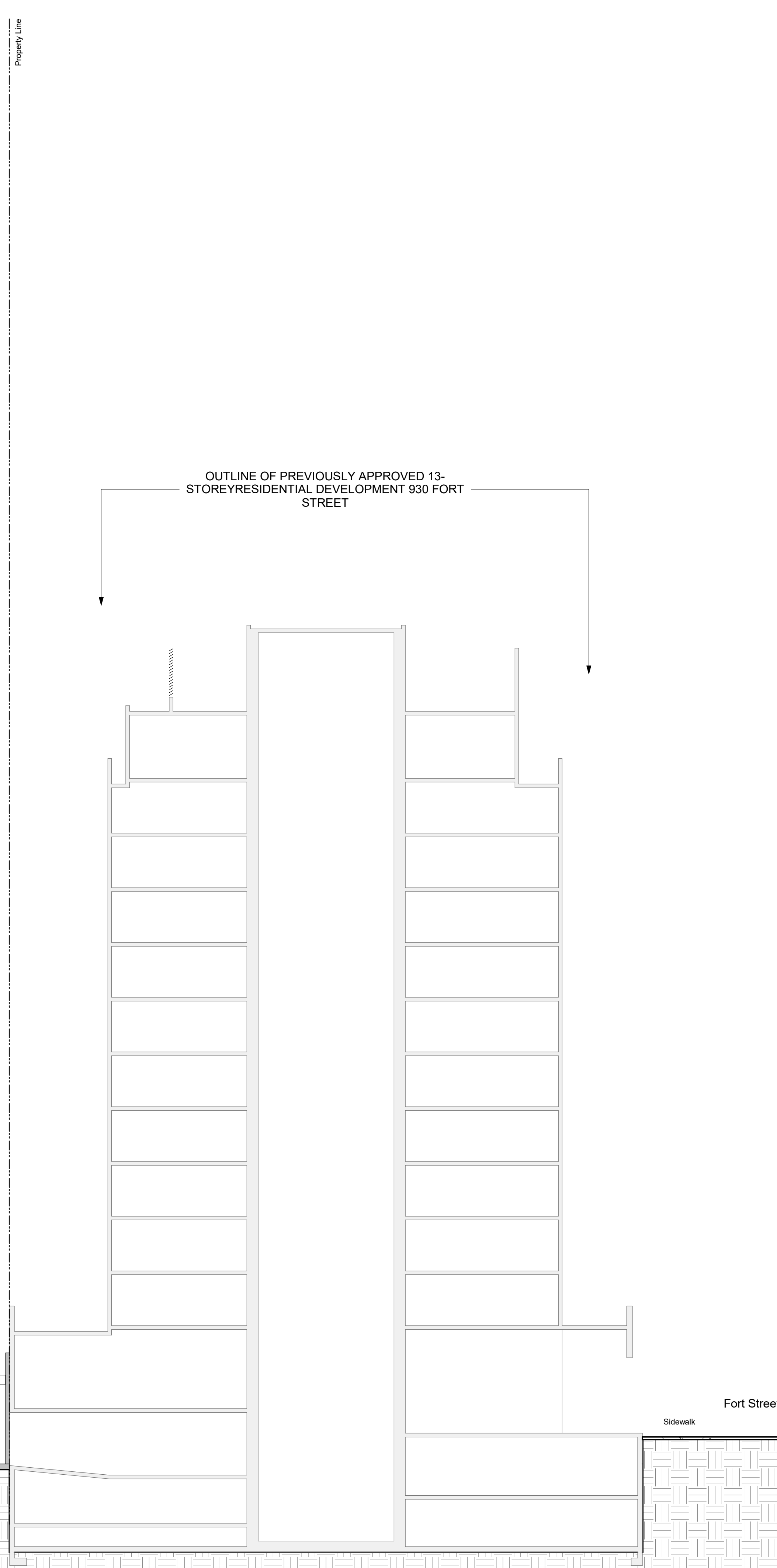
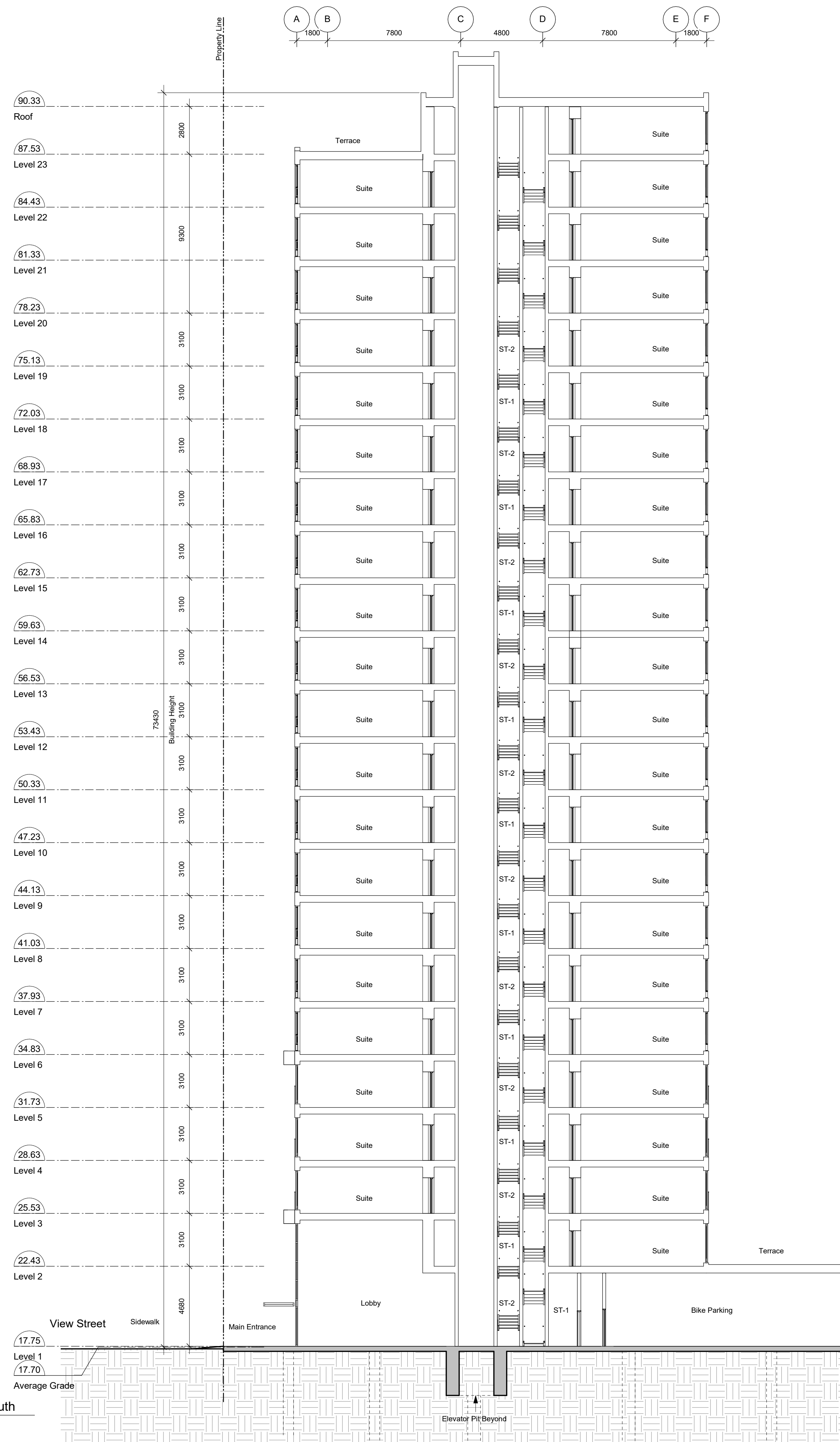
Adjacent Buildings
Analysis



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2023-05-18 2:20:54 PM



General Notes

- 930 Fort Street outline based on Development Permit 5th Resubmission dated 2018-05-16.
- 1124 Vancouver Street, 953 View Street, 941 View Street outline based on Development Permit Submission dated 2021-03-17.

23-05-09	Issued for DP Revisions 5
21-05-04	Issued for DP Revisions 3
20-08-12	Issued for DP Revisions 2
20-01-08	Issued for DP Revisions 1
19-10-02	Issued for DP

Plot Date	23-05-09	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	As indicated	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View St. Residential
 937 View Street
 Building Sections



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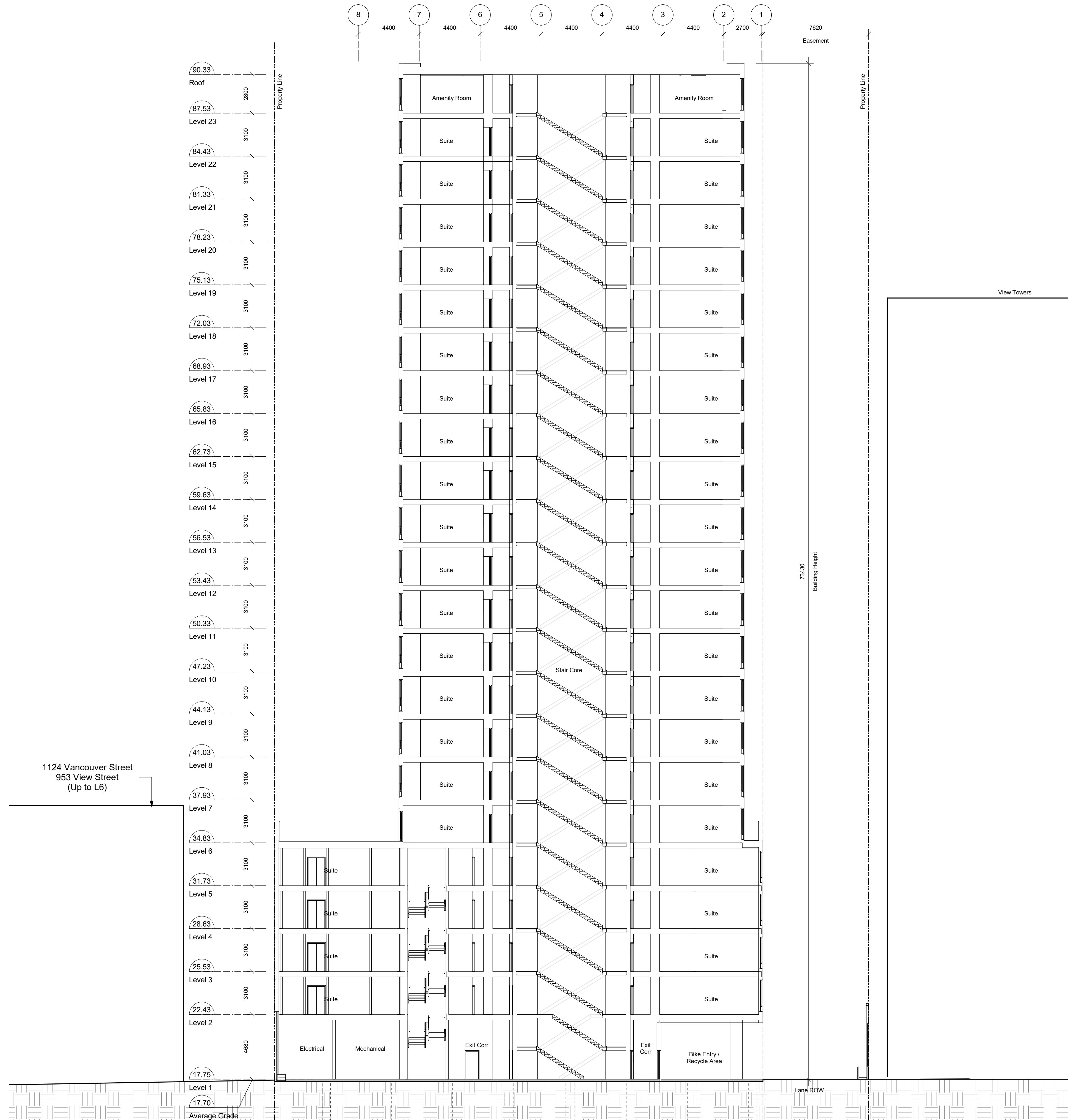
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2023-05-18 2:20:57 PM

1 Building Section - North/South
 A401 SCALE: 1 : 150

General Notes

- 930 Fort Street outline based on Development Permit 5th Resubmission dated 2018-05-16.
- 1124 Vancouver Street, 953 View Street, 941 View Street outline based on Development Permit Submission dated 2021-03-17.



1 Building Section - East/West
A402 SCALE: 1 : 150

23-05-09	Issued for DP Revisions 5
21-05-04	Issued for DP Revisions 3
20-08-12	Issued for DP Revisions 2
20-01-08	Issued for DP Revisions 1
19-10-02	Issued for DP

Plot Date	23-05-09	Drawing File	
Drawn By	RCI	Checked By	ADM
Scale	As indicated	Project Number	1922

NOTE: All dimensions are shown in millimeters.

View St. Residential
937 View Street
Building Sections



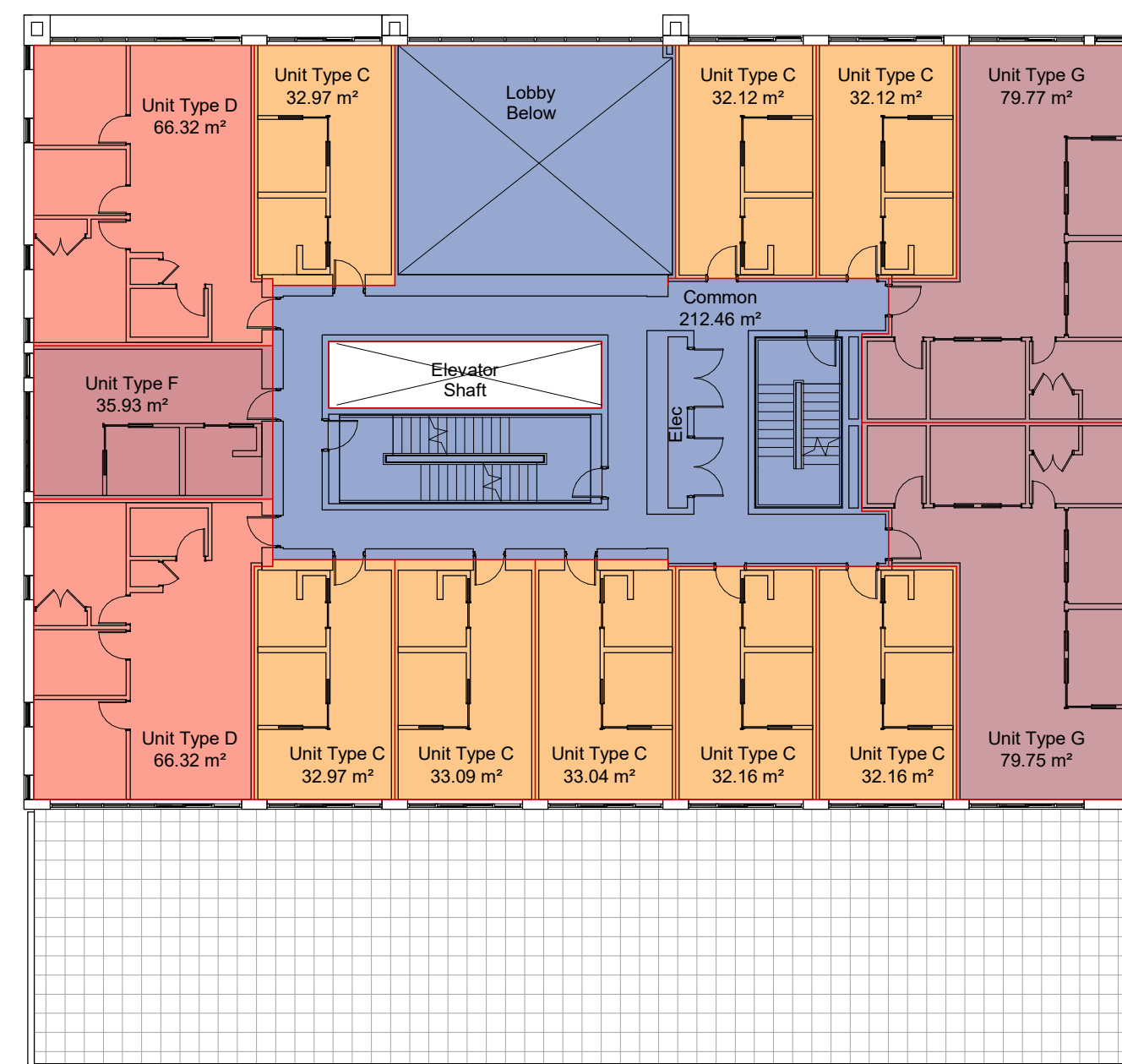
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General Notes

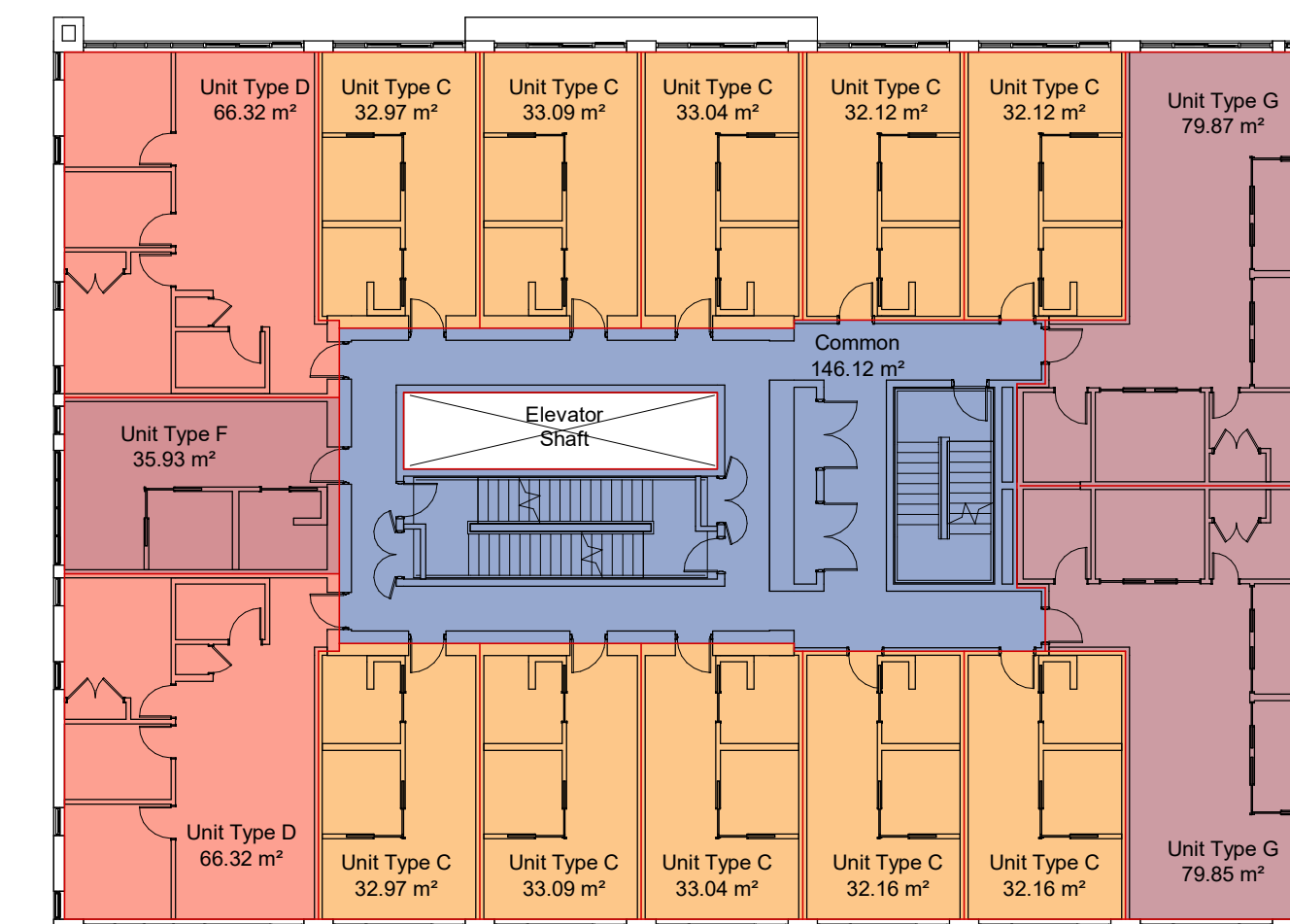
- Plans and Area Schedule show areas measured to inside face of exterior walls, and centre of demising walls.
- See A001 for required bike counts.
- Unit Schedule areas measured to inside face of wall finish on all sides.



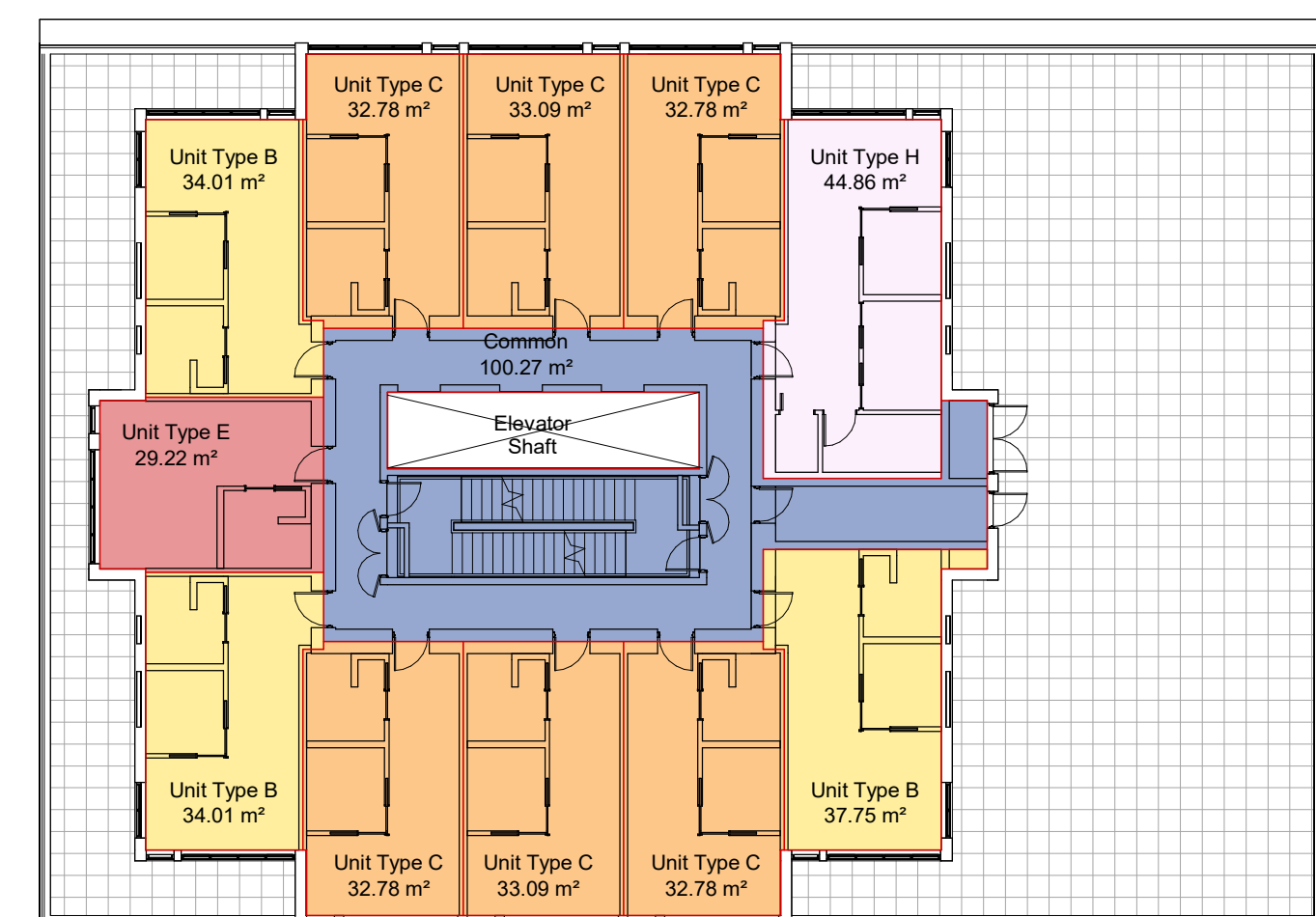
1 Level L1 Area Plan
A911 SCALE: 1 : 200



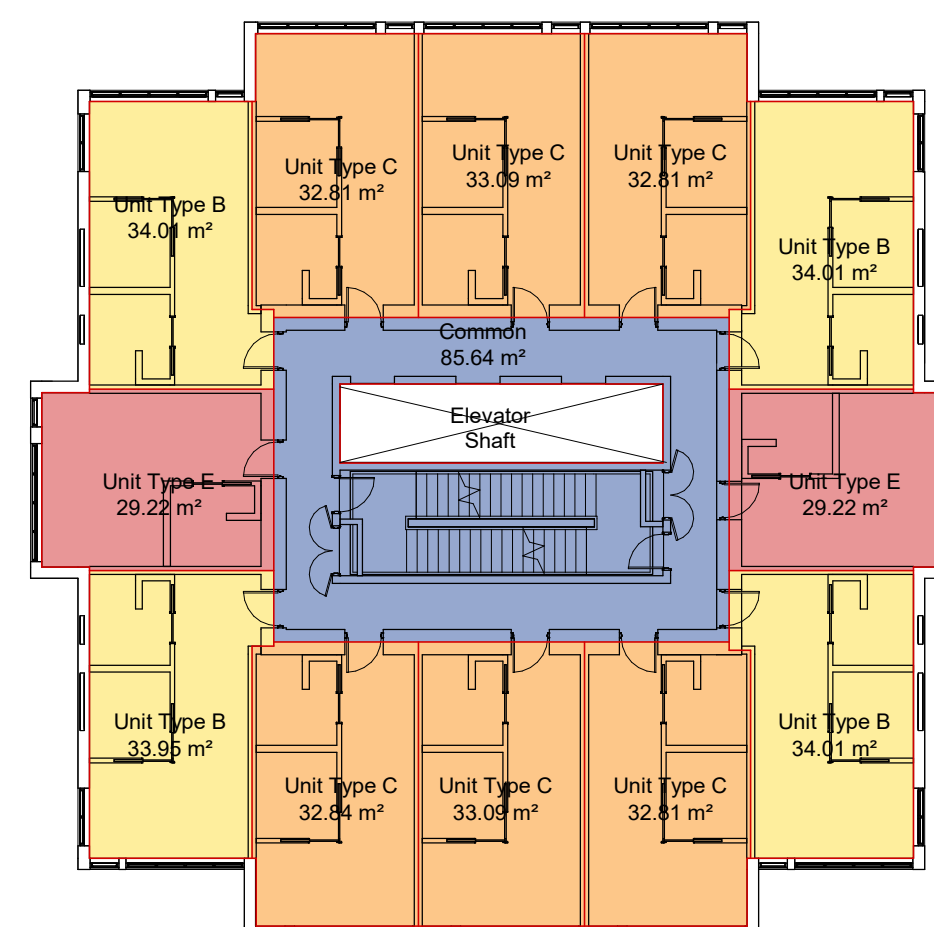
2 Level L2 Area Plan
A911 SCALE: 1 : 200



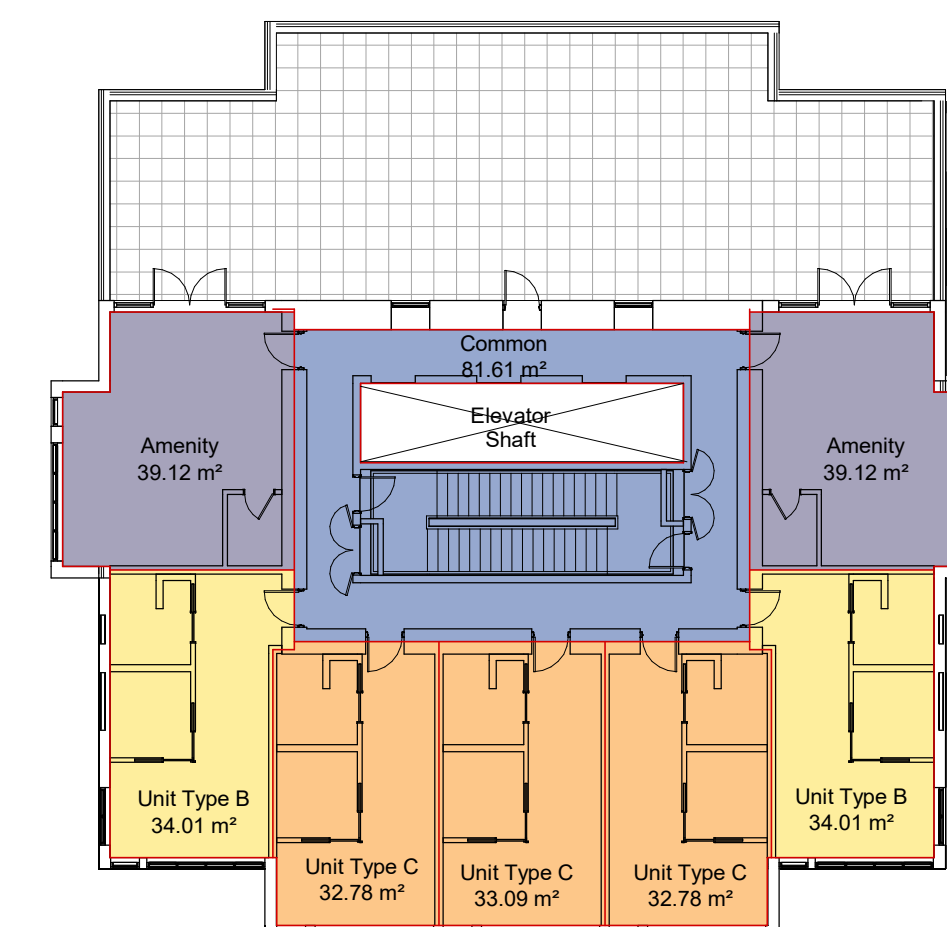
3 Levels L3-L5 Area Plan
A911 SCALE: 1 : 200



5 Level L6 Area Plan
A911 SCALE: 1 : 200



6 Levels L7-L22 Area Plan
A911 SCALE: 1 : 200



4 Level L23 Area Plan
A911 SCALE: 1 : 200

Floor Areas

Level	Area
Not Placed	0 m ²
Level 1	707 m ²
Level 2	801 m ²
Level 3	801 m ²
Level 4	801 m ²
Level 5	801 m ²
Level 6	477 m ²
Level 7	478 m ²
Level 8	477 m ²
Level 9	478 m ²
Level 10	478 m ²
Level 11	478 m ²
Level 12	478 m ²
Level 13	478 m ²
Level 14	477 m ²
Level 15	478 m ²
Level 16	478 m ²
Level 17	478 m ²
Level 18	478 m ²
Level 19	478 m ²
Level 20	478 m ²
Level 21	478 m ²
Level 22	478 m ²
Level 23	327 m ²
	12356 m ²

Area Summary

Site Area	1,572 sm
Total FAR Areas	12,356 sm
FAR	7.86

Unit Type and Count Summary

Studio (Types E)	33
1BR (Types A, B, C, F)	219
2BR (Type H)	1
3BR (Types D, G)	16
Total Units	269

23-08-15 Issued for DP Revisions 6
23-05-09 Issued for DP Revisions 5
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20-08-12 Issued for DP Revisions 2
20-01-08 Issued for DP Revisions 1

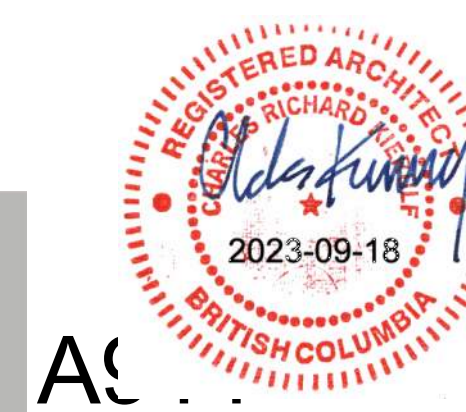
Plot Date 23-05-09 Drawing File
Drawn By RCI Checked By ADM
Scale As indicated Project Number 1922

NOTE: All dimensions are shown in millimeters.

View St. Residential

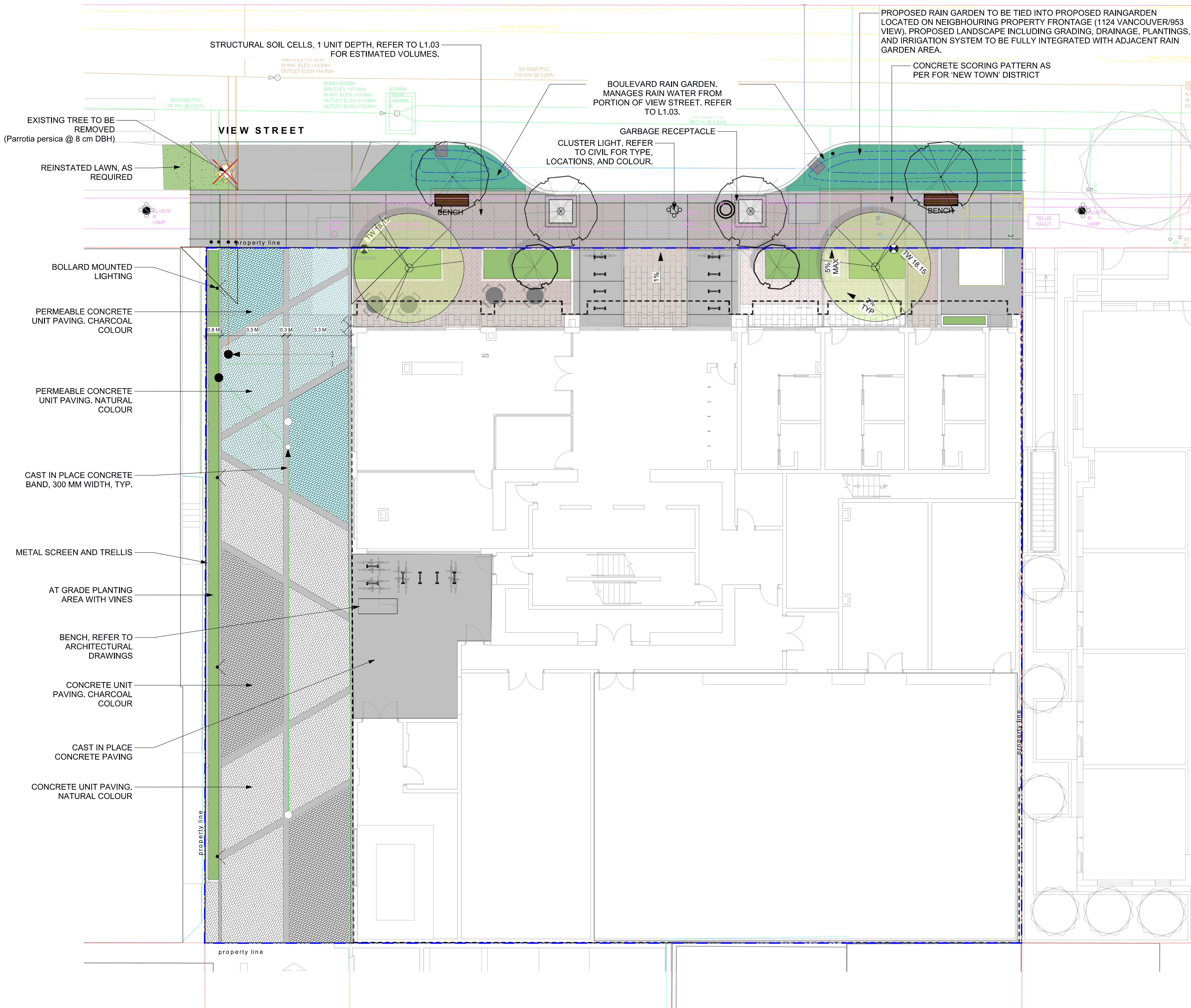
937 View Street

Area Plans



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LEGEND

- Property line
- Extent Of Underground Parking (indicative)
- Extent Of Roof / Canopy Line (indicative)
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Architectural grade, provided for reference only
- Civil grade, provided for reference only
- Proposed landscape grade
- TW Top of Wall
- BW Bottom of Wall
- TC Top of Curb
- BC Bottom of Curb
- TP Top of Pool
- BP Bottom of Pool
- TS Top of Stairs
- BS Bottom of Stairs

UNDERGROUND UTILITIES

EXISTING	PROPOSED
Storm drain	Storm drain
Sewer	Sewer
Water	Water
Electrical	Electrical
Gas	Gas

LANDSCAPE MATERIALS

- Main Entry Paving**
Concrete Unit Paving
- Patio Paving**
Concrete Unit Paving
- Permeable Paving**
Permeable Concrete Unit Paving
- Driveway Paving**
Vehicular Concrete Unit Paving, natural/light colour
- Driveway Paving**
Vehicular Concrete Unit Paving, charcoal/dark colour
- Cast in place concrete paving**
Fine broom finish
- Rain Garden Area on Grade**
450 mm depth growing medium
- Raised Planting Area**
Growing medium depth varies, minimum 450 mm
- Structural Soil Cells**
1 soil cell depth

LANDSCAPE FURNISHINGS

- Wood Bench with Backrest**
2 total @ 1765mm Length x 610mm Depth
Maglin MBE-0870-00025
- Type A: Modern Metal Bin**
1 total
- Bicycle Rack**
14 total

N

rev no	description	date
7	DP REV	23.09.1
6	DP REV	23.05.10
5	DP REV	21.04.30
4	Dev Permit Revisions	20.08.11
3	Issued for DP revisions	20.01.08
2	DP REV	19.10.17
1	DEV PERMIT	17.07.07

MDI
Landscape Architects

200 - 534 Colquhoun Road
Victoria, BC V8Z 1G1

Phone: 250-412-2891
Fax: 250-412-2892

BRITISH COLUMBIA SOCIETY OF
REGISTERED
MEMBER
Scott Murdoch
341
LANDSCAPE ARCHITECTS
2023-09-15

client
NELSON INVESTMENTS, INC.

project
VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC

sheet title
Landscape Materials: Ground Level

project no. 119.24

scale AS NOTED @ 24"x36"

drawn by ML

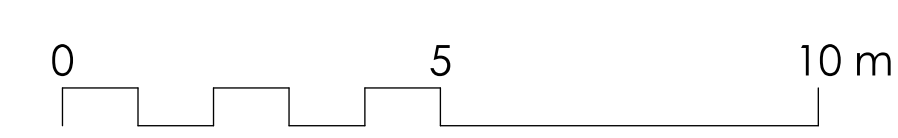
checked by SMP/dG

revision no. sheet no.

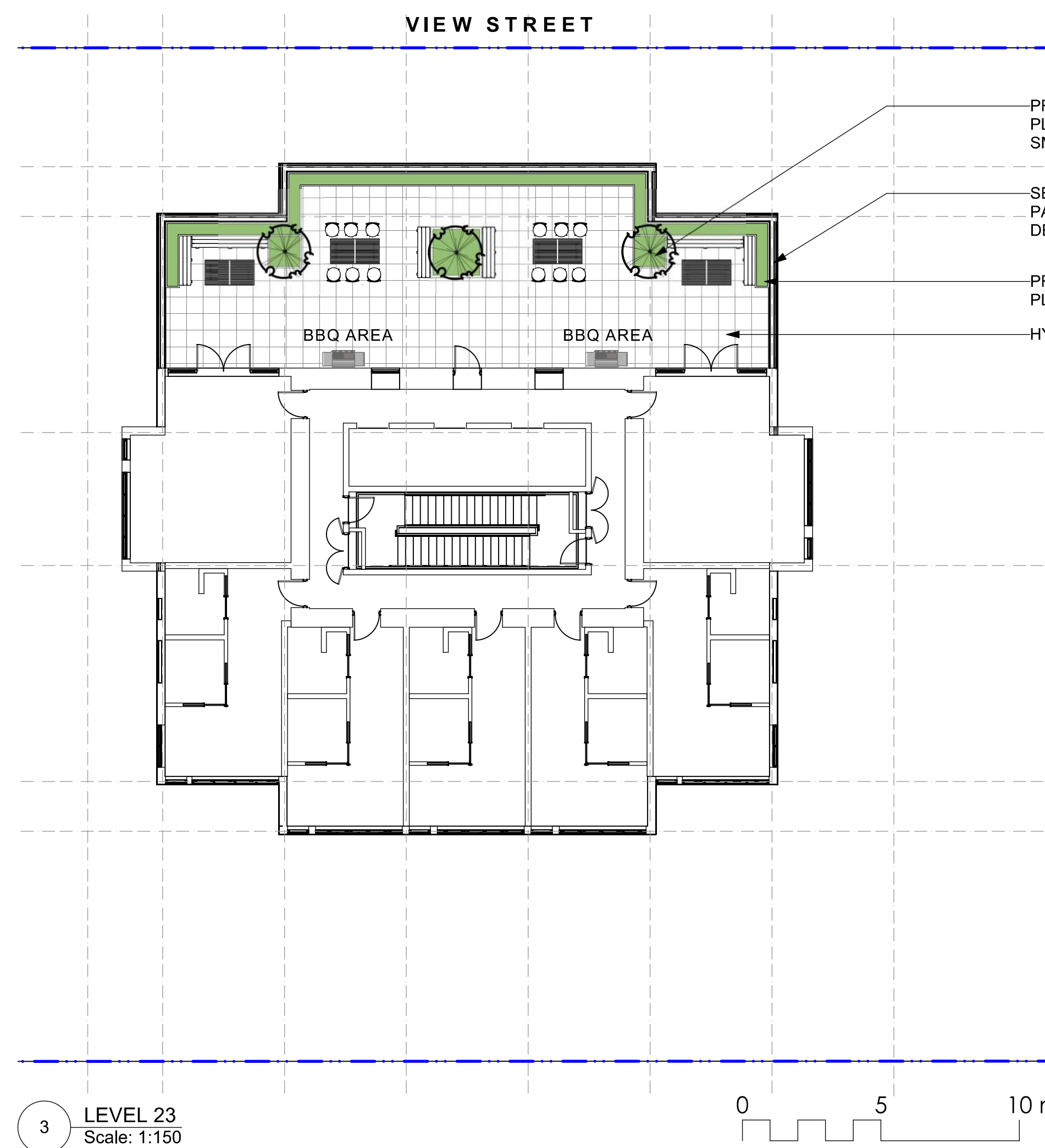
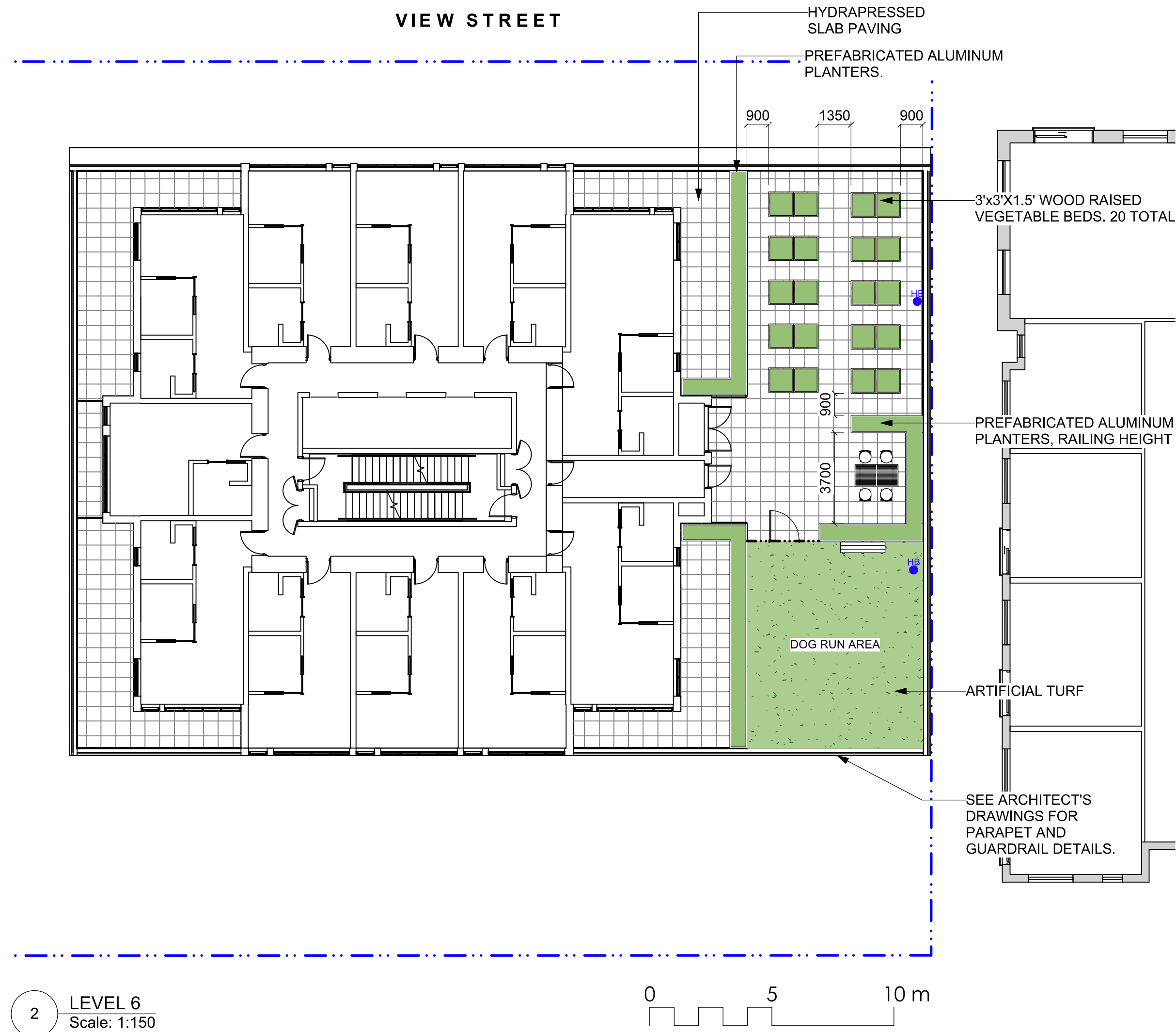
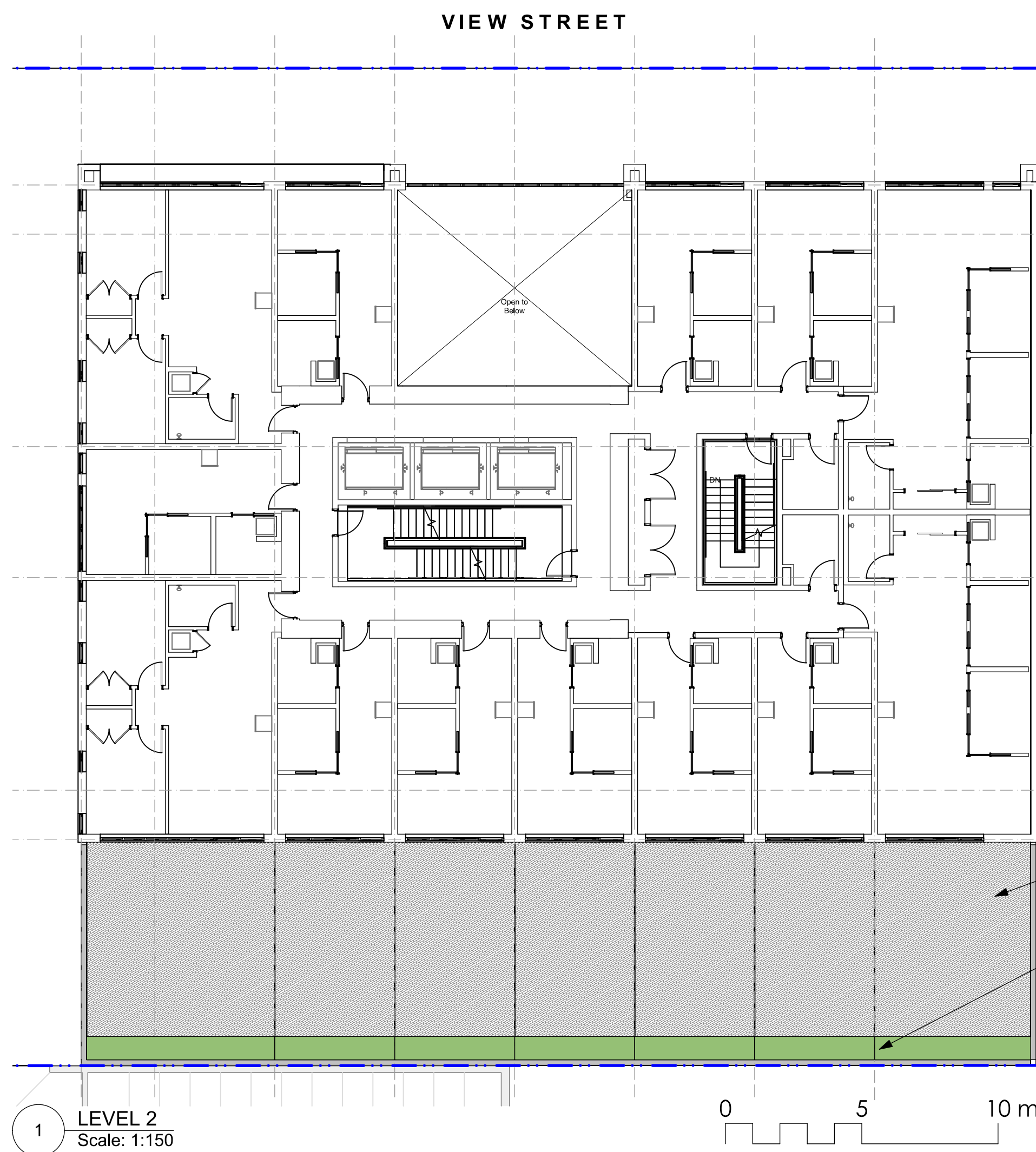
7

L1.01

1 LEVEL 1
Scale: 1:100



- GENERAL NOTES**
- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
 - Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
 - Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
 - Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
 - Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
 - Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
 - The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.



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rev no	description	date
7	DP REV	23.09.1
6	DP REV	23.05.10
5	DP REV	21.04.30
4	Dev Permit Revisions	20.08.11
3	Issued for DP revisions	20.01.08
2	DP REV	19.10.17
1	DEV PERMIT	17.07.07



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Fax: 250-412-2892



REGISTERED MEMBER
Scott Murdoch
341
2023-09-15

client
NELSON INVESTMENTS, INC.

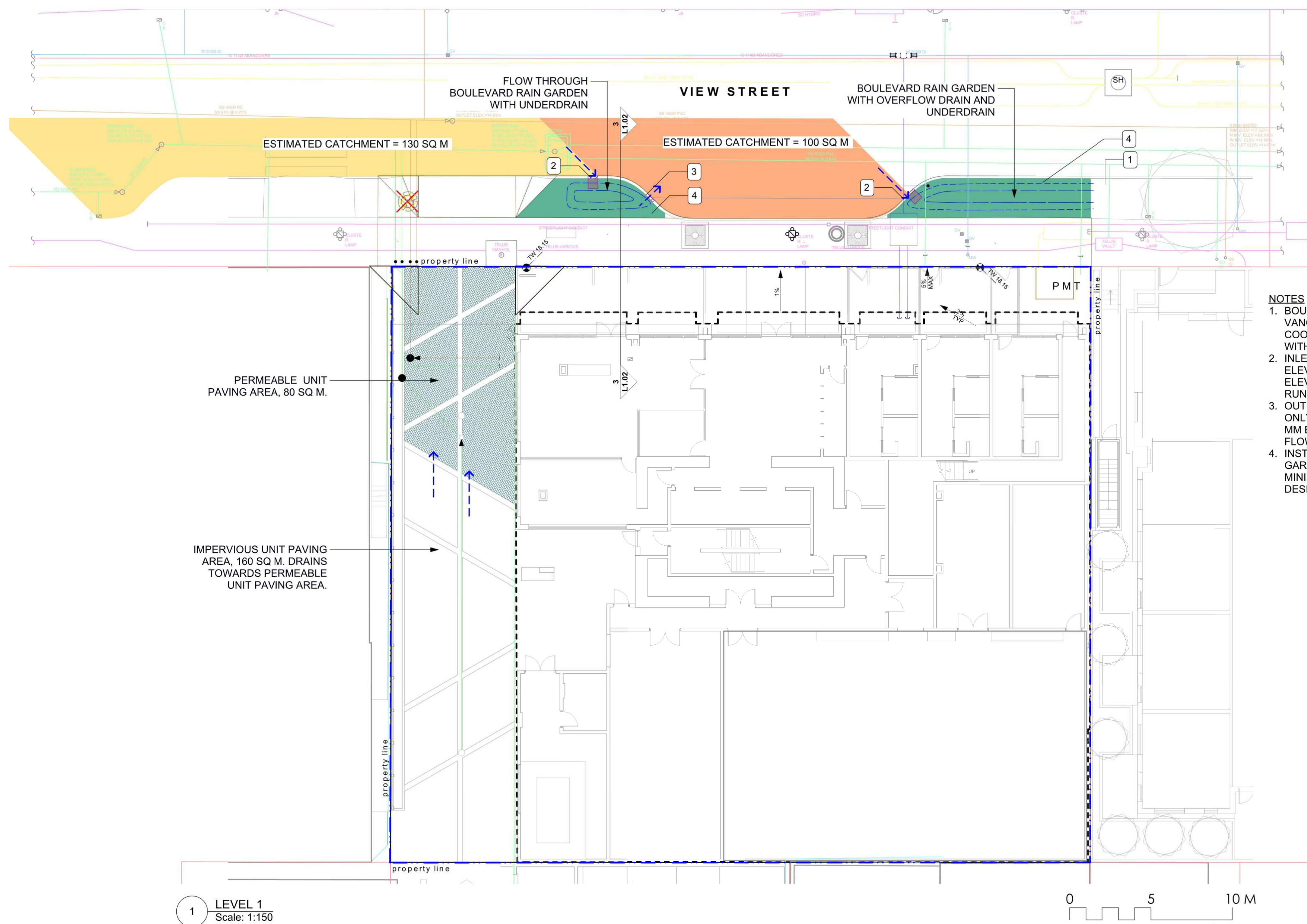
project
VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC

sheet title
Landscape Materials: Upper Levels

project no.	119.24
scale	AS NOTED @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.



L1.02



1 LEVEL 1
Scale: 1:150

LEGEND

- PROPERTY LINE
- EXTENT OF UNDERGROUND PARKING (INDICATIVE)
- EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- RAIN GARDEN - TOP OF POOL
- RAIN GARDEN - BOTTOM OF POOL
- ARCHITECTURAL GRADE, PROVIDED FOR REFERENCE ONLY
- CIVIL GRADE, PROVIDED FOR REFERENCE ONLY
- PROPOSED LANDSCAPE GRADE
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TC TOP OF CURB
- BC BOTTOM OF CURB
- TP TOP OF POOL
- BP BOTTOM OF POOL
- TS TOP OF STAIRS
- BS BOTTOM OF STAIRS

DIRECTION OF FLOW

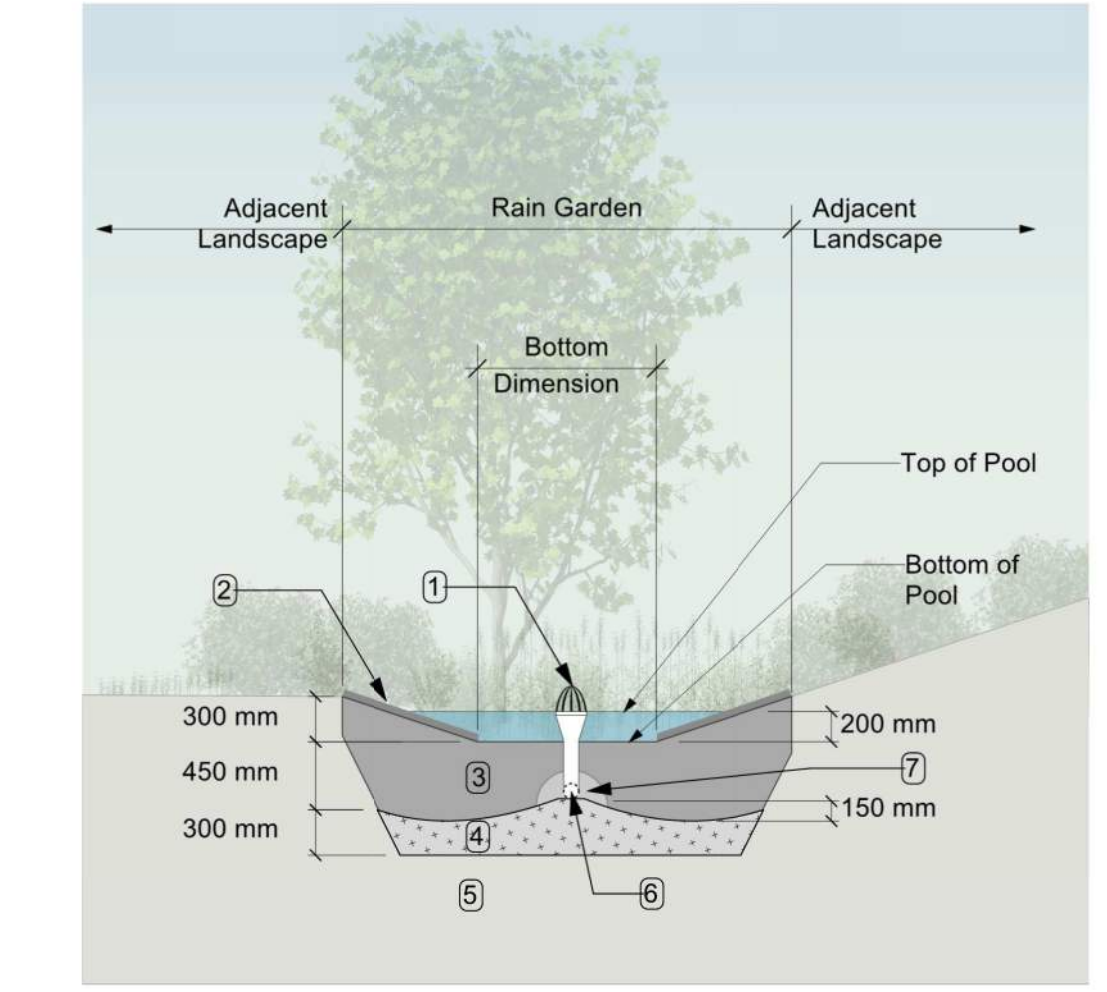
RAIN GARDEN

PERMEABLE UNIT PAVING, MIN 30% OF DRIVEWAY AREA

IMPERVIOUS AREAS

PROPOSED ROAD SURFACE DRAINS TO BOULEVARD RAIN GARDEN

- NOTES**
- BOULEVARD RAIN GARDEN, 1124 VANCOUVER/953 VIEW FRONTAGE COORDINATE LOCATION OF OVERFLOW DRAIN WITH ADJACENT OWNER.
 - INLET LOCATION, SEDIMENT TRAP AT INLET ELEVATION TO BE SET 200 MM BELOW INLET ELEVATION TO ALLOW SEDIMENTS FROM ROAD RUNOFF TO SETTLE WITHIN INLET AREA
 - OUTLET LOCATION (FLOW THROUGH PLANTER ONLY), TOP OF POOL ELEVATION SET MIN 50 MM BELOW OUTLET LOCATION, TO MINIMIZE FLOW OF SEDIMENT TO VIEW STREET.
 - INSTALL PERFORATED UNDERDRAIN IN RAIN GARDEN AREAS TO INCREASE CAPACITY AND MINIMIZE OVERFLOW TO VIEW STREET DURING DESIGN STORM EVENTS.



- RAIN GARDEN MATERIALS**
- Overflow drain, 200 mm domed grate + adapter
 - Composted mulch, 50-70 mm depth. Sides of rain garden only.
 - Bio-retention growing medium, 450 mm depth
 - Scarified/filled subgrade, 300 mm depth
 - Existing subgrade/native material
 - 100 mm diameter (min) perforated pipe
 - 25 mm diameter drain rock, 100 mm depth

2 TYPICAL RAIN GARDEN
NTS

RAIN WATER MANAGEMENT NOTES

Rain gardens are integrated landscape bulges within streetscape areas and are designed to capture, slow flows, and treat runoff from roadways.

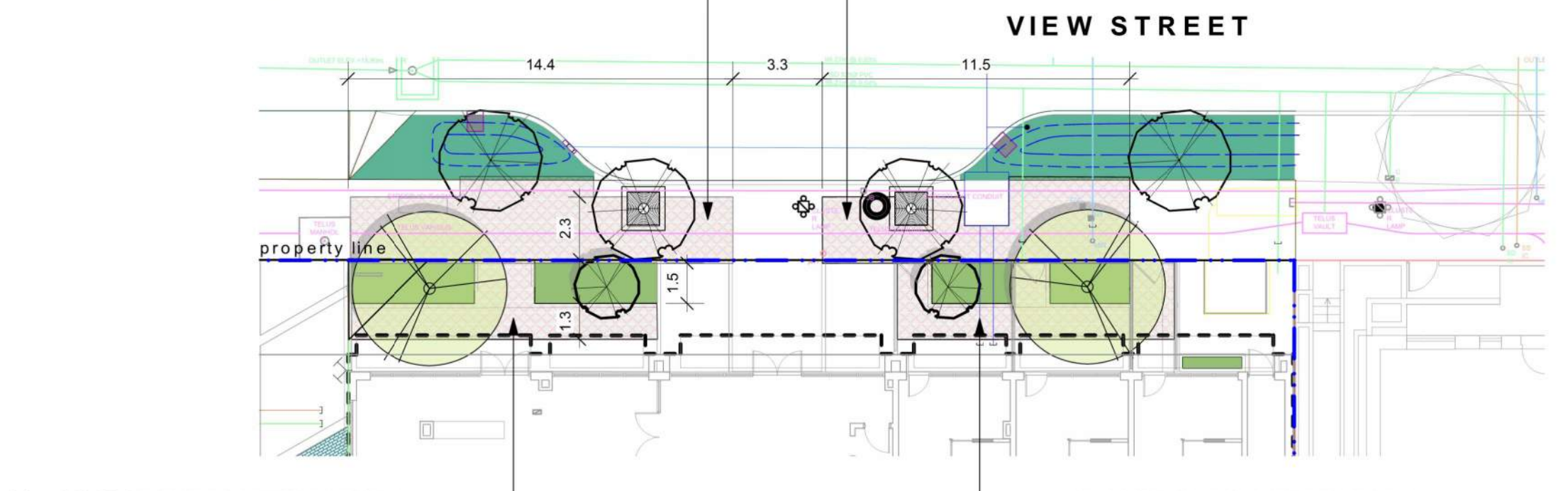
The west rain garden is approximately 2% of the contributing impervious area, and will be designed as flow through planter.

The east rain garden will be designed with underdrains and a high-capacity overflow drain that will be connected to the municipal stormdrain system. The 937 View portion of east rain garden is approximately 20% of the contributing impervious area. Grading, drainage, and planting for the east rain garden will be fully integrated with the adjacent rain garden area, fronting the current development on 1124 Vancouver/953 View Street.

Permeable unit paving will be installed along the north portion of the driveway, as is sized at 30% of driveway area. Impervious areas of driveway will drain towards permeable unit paving area. Refer to Civil Engineers for permeable paving details.

15.75 CU M GROWING MEDIUM /TREE. 17 CU M PROVIDED IN RAIN GARDEN AREA, CONNECT SOIL VOLUMES WITH 14.5 CU M IN STRUCTURAL SOIL CELLS (MIN 3 CELLS WIDE X 1 CELL DEEP)

20 CU M GROWING MEDIUM/ TREE. 28.3 CU M PROVIDED IN RAIN GARDEN AREAS, CONNECT PLANTER SOIL VOLUMES WITH 11.2 CU M IN STRUCTURAL SOIL CELLS (MIN 3 CELLS WIDE X 1 CELL DEEP)

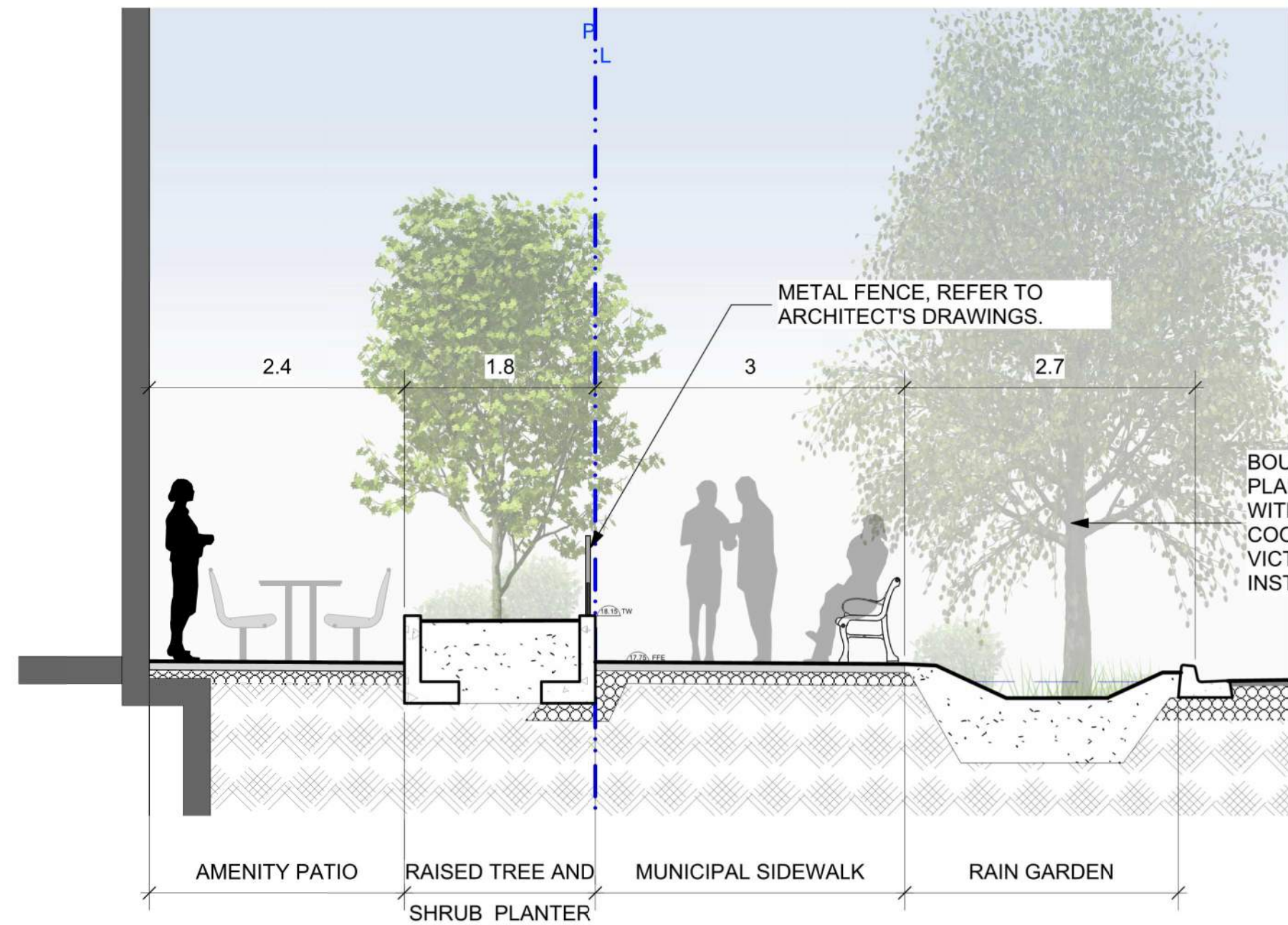


21.5 CU M GROWING MEDIUM FOR 1 MEDIUM AND 1 SMALL TREE. 14.4 CU M PROVIDED IN PLANTER AREAS, CONNECT PLANTER SOIL VOLUMES WITH 7.1 CU M STRUCTURAL SOIL CELLS (1 CELL DEEP).

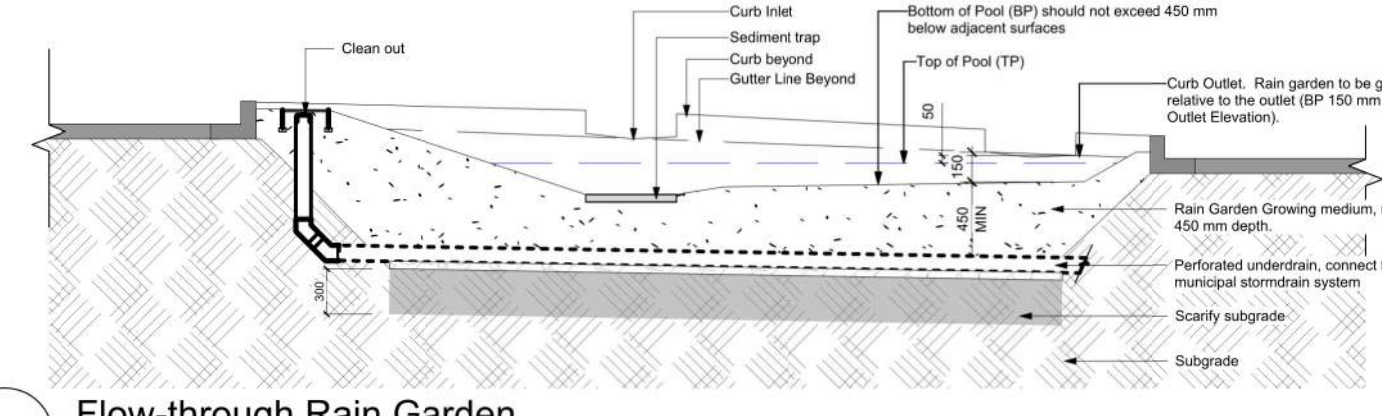
17.5 CU M GROWING MEDIUM FOR 1 MEDIUM AND 1 SMALL TREE. 9 CU M PROVIDED IN PLANTER AREAS, CONNECT PLANTER SOIL VOLUMES WITH 8.5 CU M STRUCTURAL SOIL CELLS (1 CELL DEEP).

3 STRUCTURAL SOIL CELL PLAN
Scale: 1:200

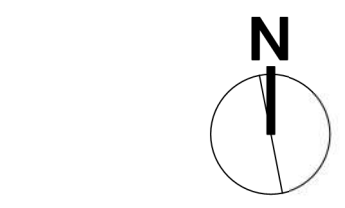
NOTE: DETAILED LAYOUT AND CONSTRUCTION DETAIL(S) TO BE PROVIDED IN BUILDING PERMIT APPLICATION.



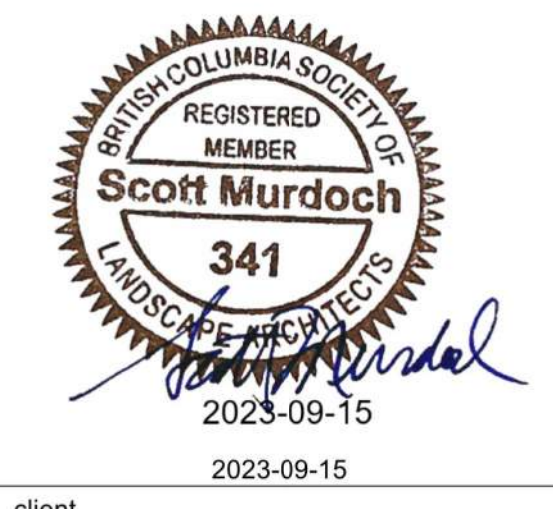
4 SECTION THROUGH FRONTAGE @ RAIN GARDEN
Scale: 1:50



5 Flow-through Rain Garden
Scale: 1:50



rev no	description	date
7	DP REV	23.09.1
6	DP REV	23.05.10
5	DP REV	21.04.30
4	Dev Permit Revisions	20.08.11
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client
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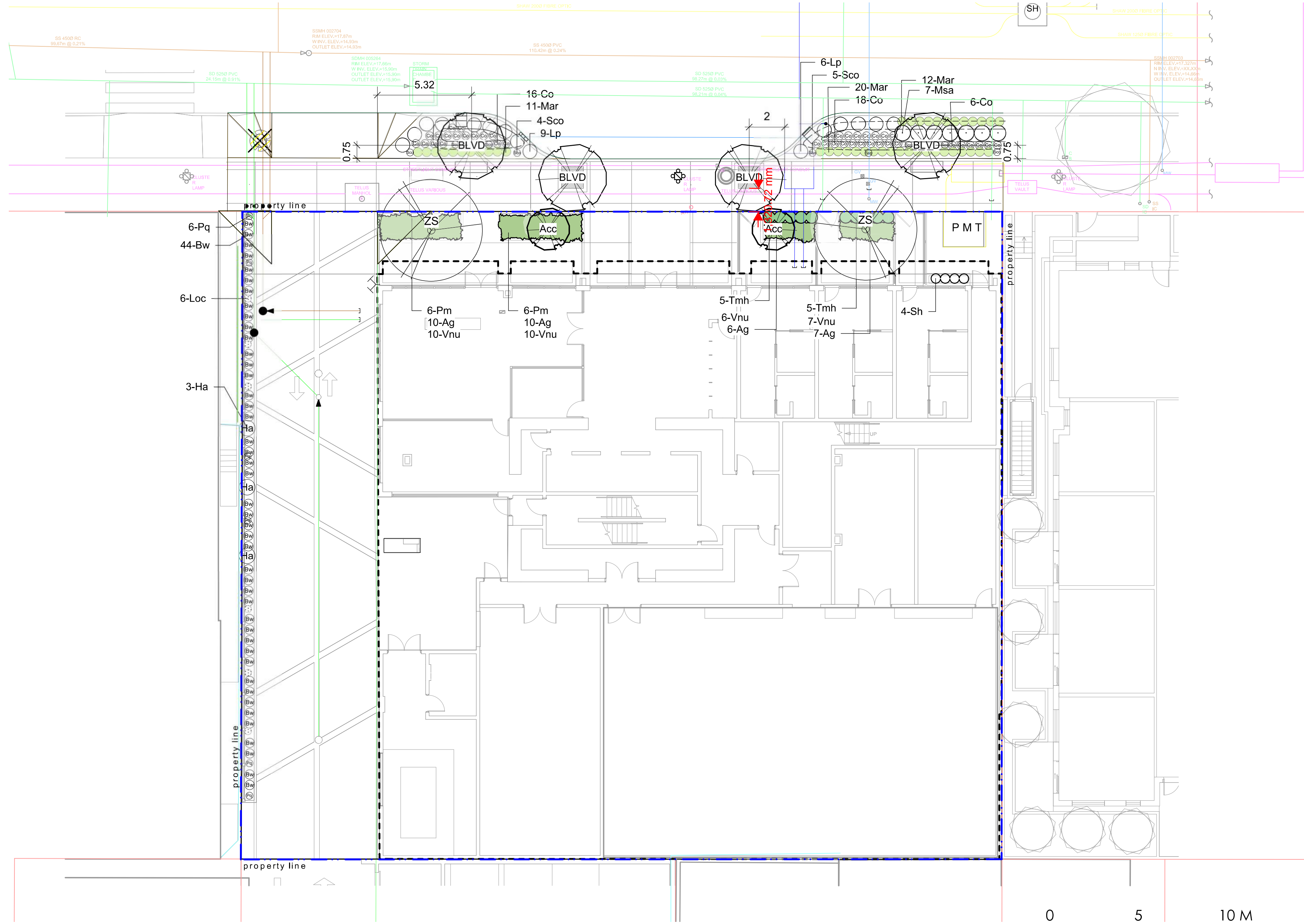
project
**VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC**

sheet title
Stormwater Management

project no.	119.24
scale	AS NOTED @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

7 **L1.03**

VIEW STREET



1 LEVEL 1
Scale: 1:150

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
Acc	2	Acer circinatum	Vine Maple	1.8 m height, specimen quality
BLVD	4	Boulevard Tree as per COV Parks	Boulevard Tree as per COV Parks	6 cm cal, b+b
ZS	2	Zelkova serrata	Japanese Zelkova	6.0cm cal, b&b
SHRUBS:				
Ag	33	Azalea japonica 'Glacier'	Glacier Azalea	#1 pot
Bw	44	Buxus microphylla 'Winter Gem'	Littleleaf Boxwood	#1 pot
Co	40	Carex obovata	Slough Sedge	#1 pot
Ha	3	Hydrangea anomala subsp. petiolaris	Climbing Hydrangea	#1 pot
Loc	6	Lonicera ciliosa	Western Trumpet Honeysuckle	#1 pot
Lp	15	Lonicera pileata	Privet Honeysuckle	#2 pot
Mar	43	Mahonia repens	Prostrate Oregon Grape	#1 pot
Msa	7	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
Pq	6	Parthenocissus quinquefolia	Virginia Creeper	#1 pot
Pm	12	Polystichum munium	Sword Fern	#1 pot
Sh	4	Sarcococca hookeriana var. humilis	Himalayan Sweet Box	#1 pot
Scp	9	Schizostylis coccinea 'Oregon Sunset'	Crimson Flag	#1 pot
Tmh	10	Taxus x media 'Hilli'	Hilli Yew	#3 pot, 0.6 m ht. male only
Vnu	33	Vaccinium nummularia	Coin Whortleberry	#1 pot

GENERAL PLANTING NOTES

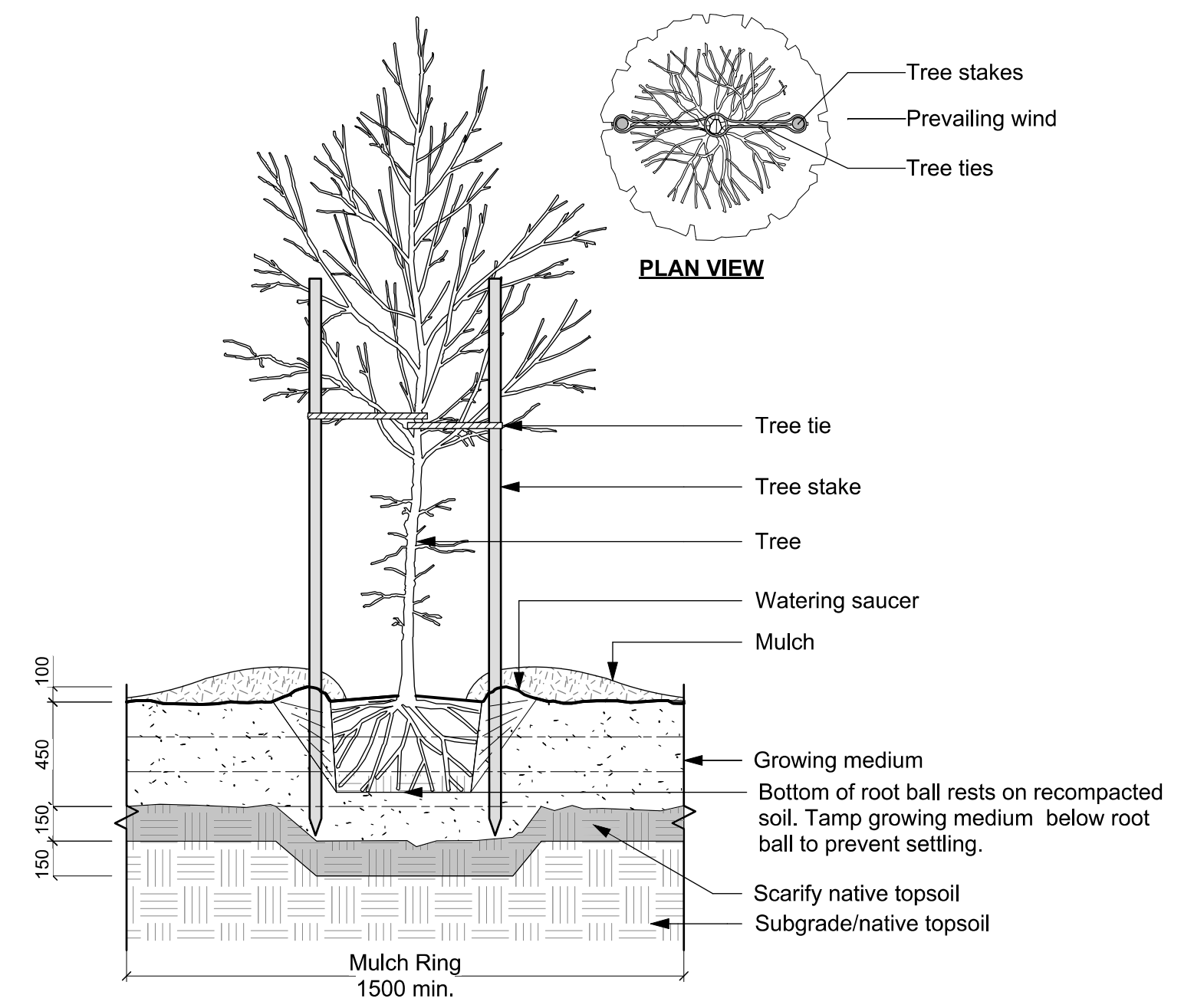
- Plant quantities on Plans shall take precedence over plant list quantities.
- Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

BOULEVARD & GREENWAY PLANTING NOTES

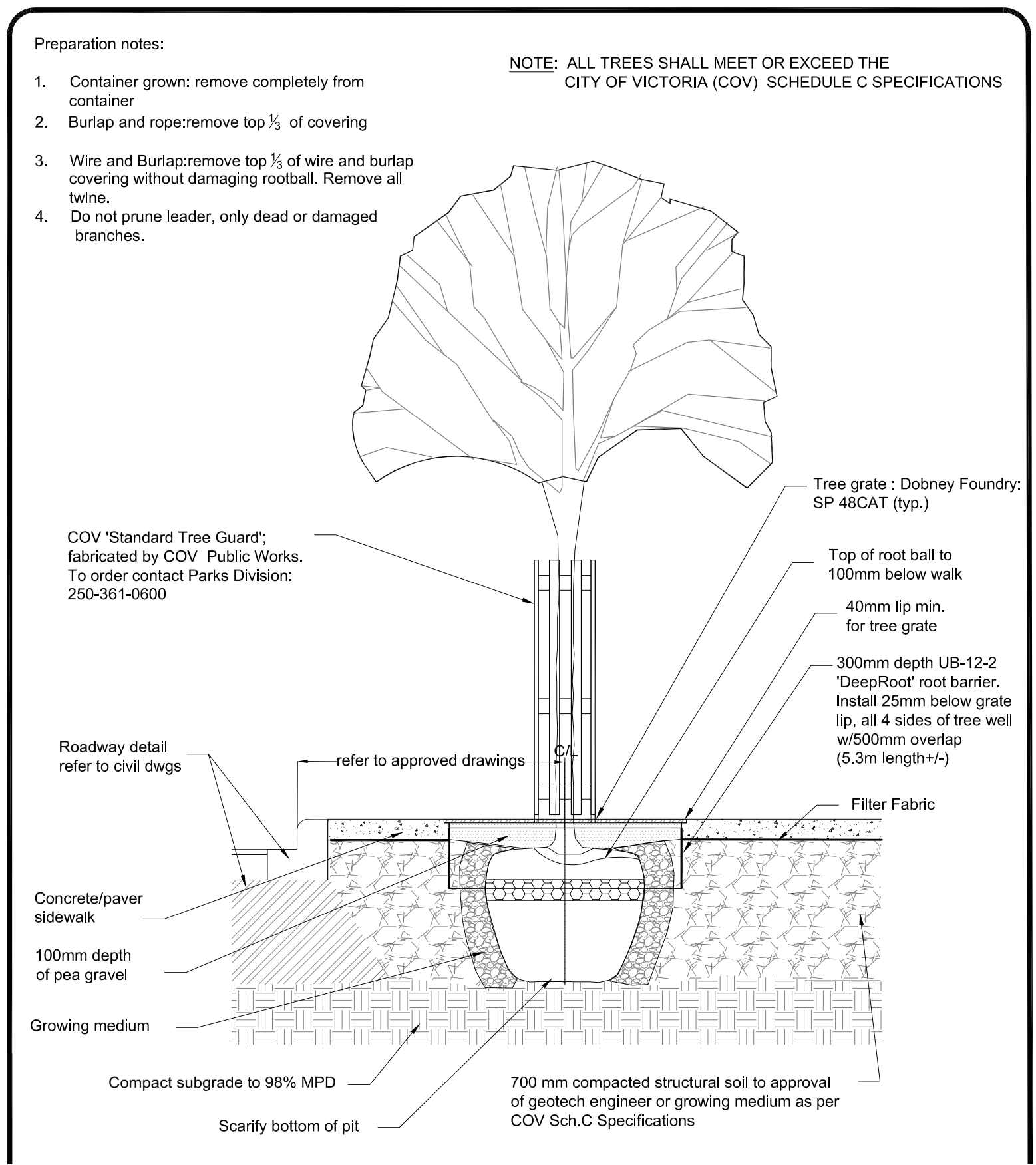
- Final selection and placement of boulevard trees to be determined through consultation with municipal parks staff.
- Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
- Boulevard trees will be placed a minimum of 1.5 m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- Proposed Street Trees must comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B3-4 or on the approved landscape plan. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.
- Trees must have one dominant central leader or single straight trunk, 5-8 cm diameter, caliper measured 15 cm above ground, well balanced crown with branching starting at 1.8 m-2.5 m above ground, as per the City of Victoria Supplemental Drawings SD P4 and must comply with the current version of the Canadian Landscape Standard
- Parks will require [3] inspections for tree planting: 1) Inspection of excavated tree pits, soil cells, root barriers. 2) Inspection of trees prior to planting. (Parks staff can inspect trees prior to shipping at local nurseries. Photos can be provided from up-island and mainland nurseries. Tree must meet the spec upon delivery.) 3) Inspection of installed tree with mulch and staking. Contact treepermits@victoria.ca to arrange for inspections, allow for 48 hrs notice.
- The finished grade for boulevards must be firm against footprints, loose textured, free of all stones, roots, and branches. Parks inspection is required to turf installation. Email gstaniforth@victoria.ca to arrange for inspections, allow 48 hrs notice.
- Final inspection of turf shall be conducted once the turf has knit, mowed at least twice to a height of 2.5 inches and no surface soil is visible.
- Plant material and installation must meet or exceed the current edition of the Canadian Landscape Standard and specifications for planted landscapes as required in the MMCD. To schedule an inspection please contact Tom Sherbo, tsherbo@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.
- The applicant will be required to pay the appraised value of the small boulevard tree proposed for removal. When the tree fee has been paid, the City will post the tree for [10] working days, after which it can be removed at the expense of the applicant.

IRRIGATION NOTES

- Contractor to provide irrigation system for all planting areas to current IIABC Standards and Contract Specifications.
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.
- Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to electrical drawings for electrical service.
- Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- Trees within shrub or rain garden areas to be irrigated with spray heads.
- Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system
- Irrigation Systems on City property shall comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw. Irrigation drawings must be submitted to Parks Division for review and approval 30 days prior to installation work. The following irrigation and sleeving inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Tom Sherbo, tsherbo@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time.



2 TREE PLANTING DETAIL
Scale: 1:25



VICTORIA Parks Division
 TITLE: Tree Planting in Sidewalk with Tree Guard
 SCALE: Not to Scale
 DATE: Feb.27, 2018
 DWN.:
 APPD.:
 DRAWING SD-P5
 File: v:\design\construct_design_specs\const_details\F000SD_P5
 Oct 23/18 Root Barrier note revised

GENERAL NOTES

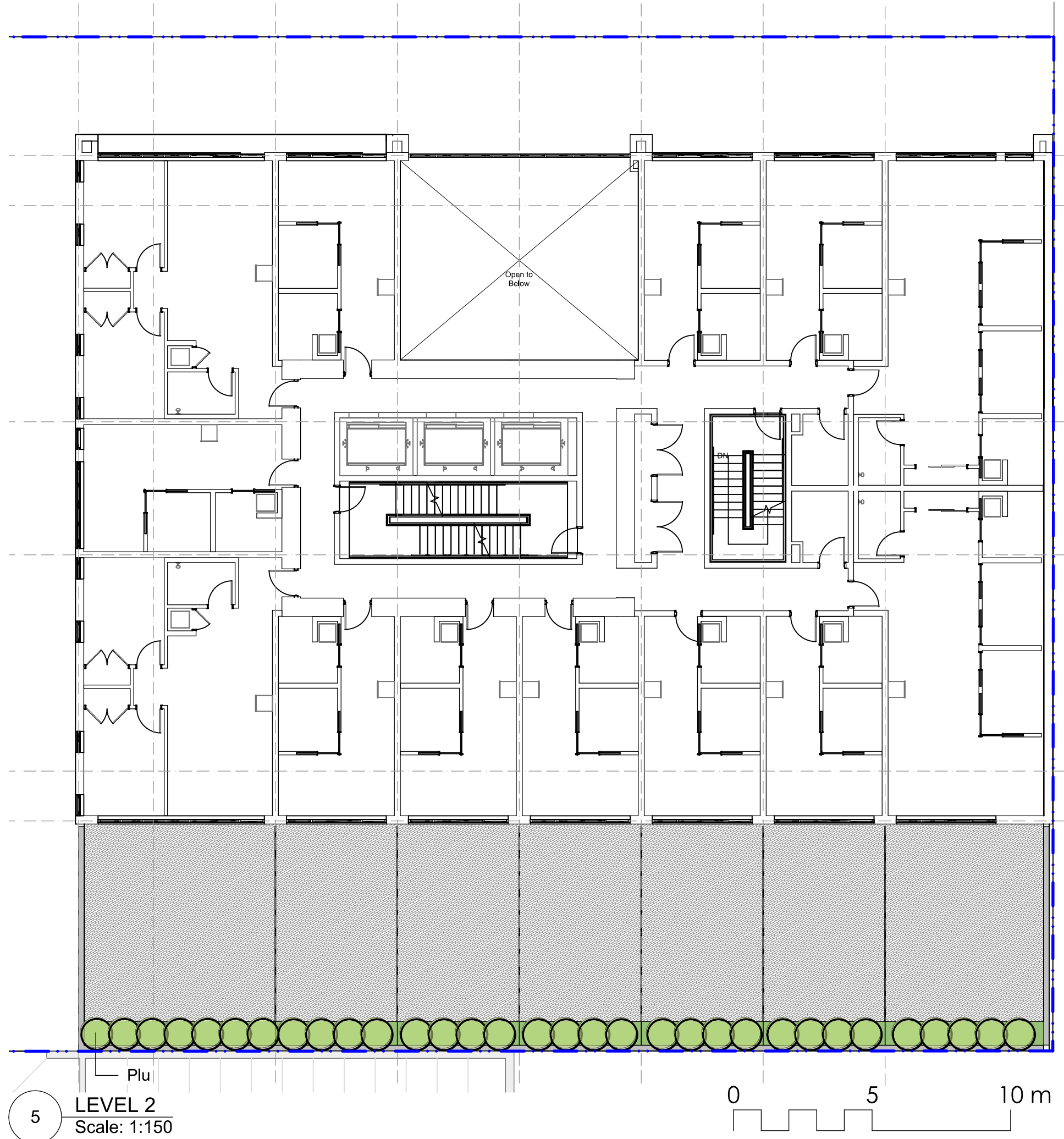
- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

rev no	description	date
7	DP REV	23.09.1
6	DP REV	23.05.10
5	DP REV	21.04.30
4	Dev Permit Revisions	20.08.11
3	Issued for DP revisions	20.01.08
2	DP REV	19.10.17
1	DEV PERMIT	17.07.07

MDI
 Landscape Architects
 200 - 534 Columbia Road
 Victoria, BC V8Z 1G1
 Phone: 250-412-2891
 Fax: 250-412-2892
 BRITISH COLUMBIA SOCIETY OF
 REGISTERED
 MEMBER
Scott Murdoch
 LANDSCAPE ARCHITECTS
 341
 2023-09-15
 2023-09-15

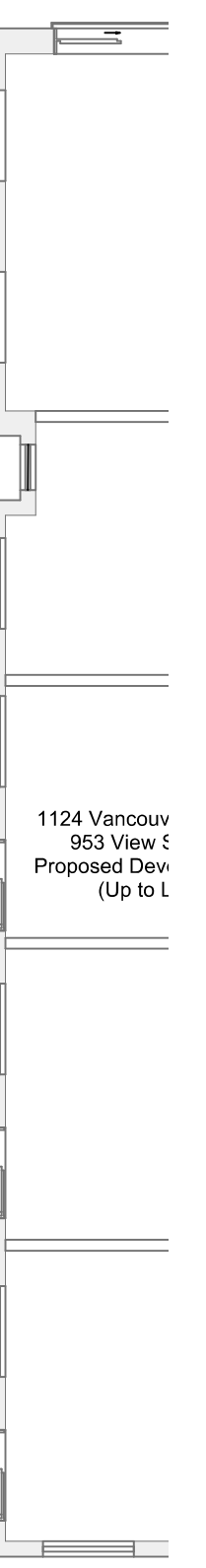
client	NELSON INVESTMENTS, INC.	
project	VIEW STREET RESIDENTIAL 937 VIEW STREET VICTORIA, BC	
sheet title	Planting Plan: Ground Level	
project no.	119.24	
scale	AS NOTED	@ 24"x36"
drawn by	ML	
checked by	SM/PdG	
revision no.		sheet no.
		L3.01

VIEW STREET



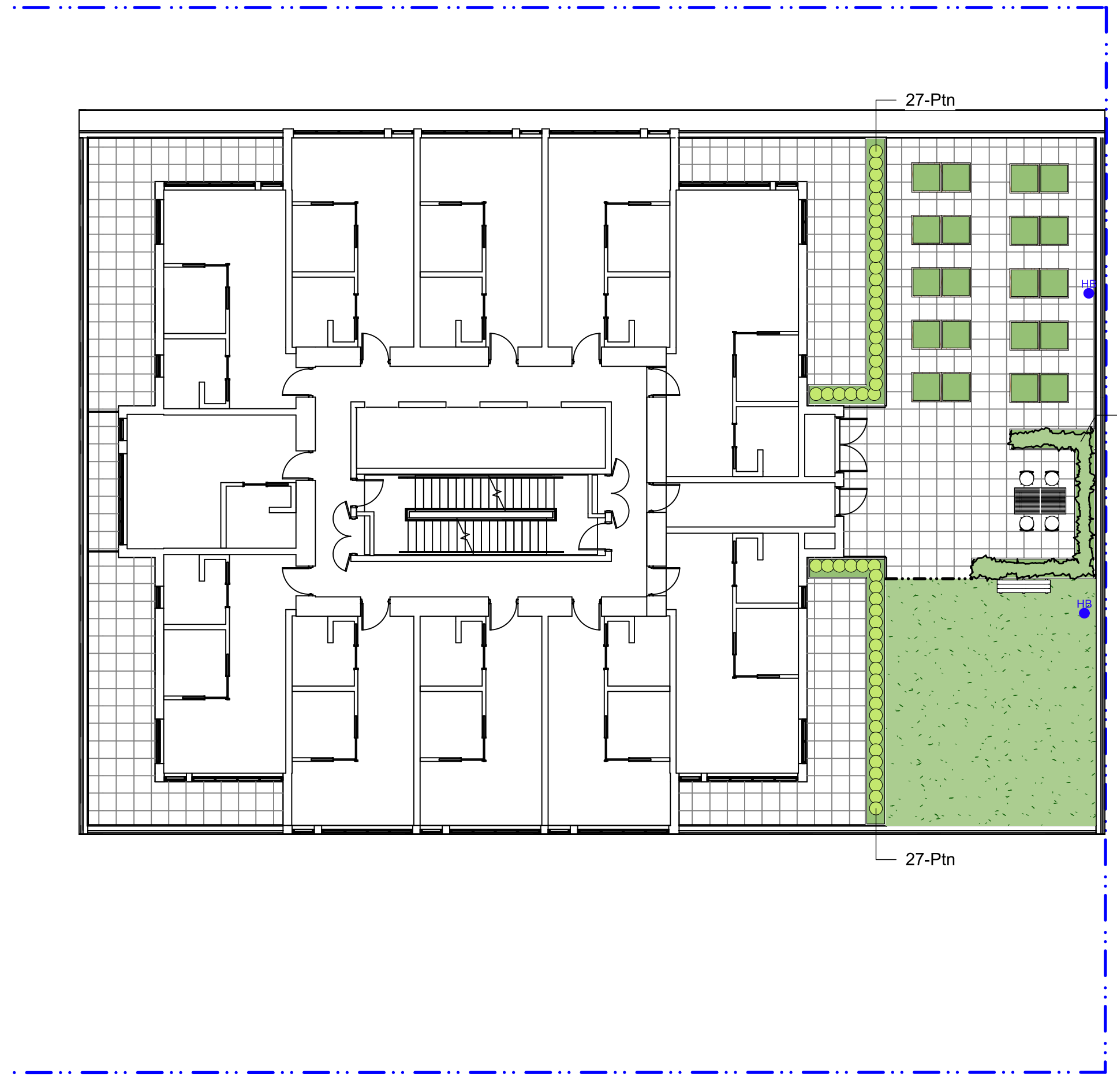
LEVEL 2
Scale: 1:150

PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
LEVEL 2				
Plu	32	Prunus lusitanica	Portugal Laurel	#3 pot
LEVEL 6				
TREES:				
SHRUBS/PERENNIALS:				
Ag	13	Azalea japonica 'Glacier'	Glacier Azalea	
Ptn	54	Pittosporum tobira 'Nana'	Dwarf Pittosporum	
Vo	13	Vaccinium ovatum	Evergreen Huckleberry	
	0			
LEVEL 23				
TREES:				
Psw	3	Pinus sylvestris 'Waterii'	Bonsai Pine	specimen, cloud pruned, min 2 m height,
SHRUBS/PERENNIALS:				
Cvsk	24	Calluna vulgaris 'Silver Knight'	Silver Knight Scotch Heather	#1 pot
Pvi	29	Pennisetum villosum	Feathertop Grass	#1 pot
St	44	Stipa tenuissima	Mexican Feathergrass	#1 pot



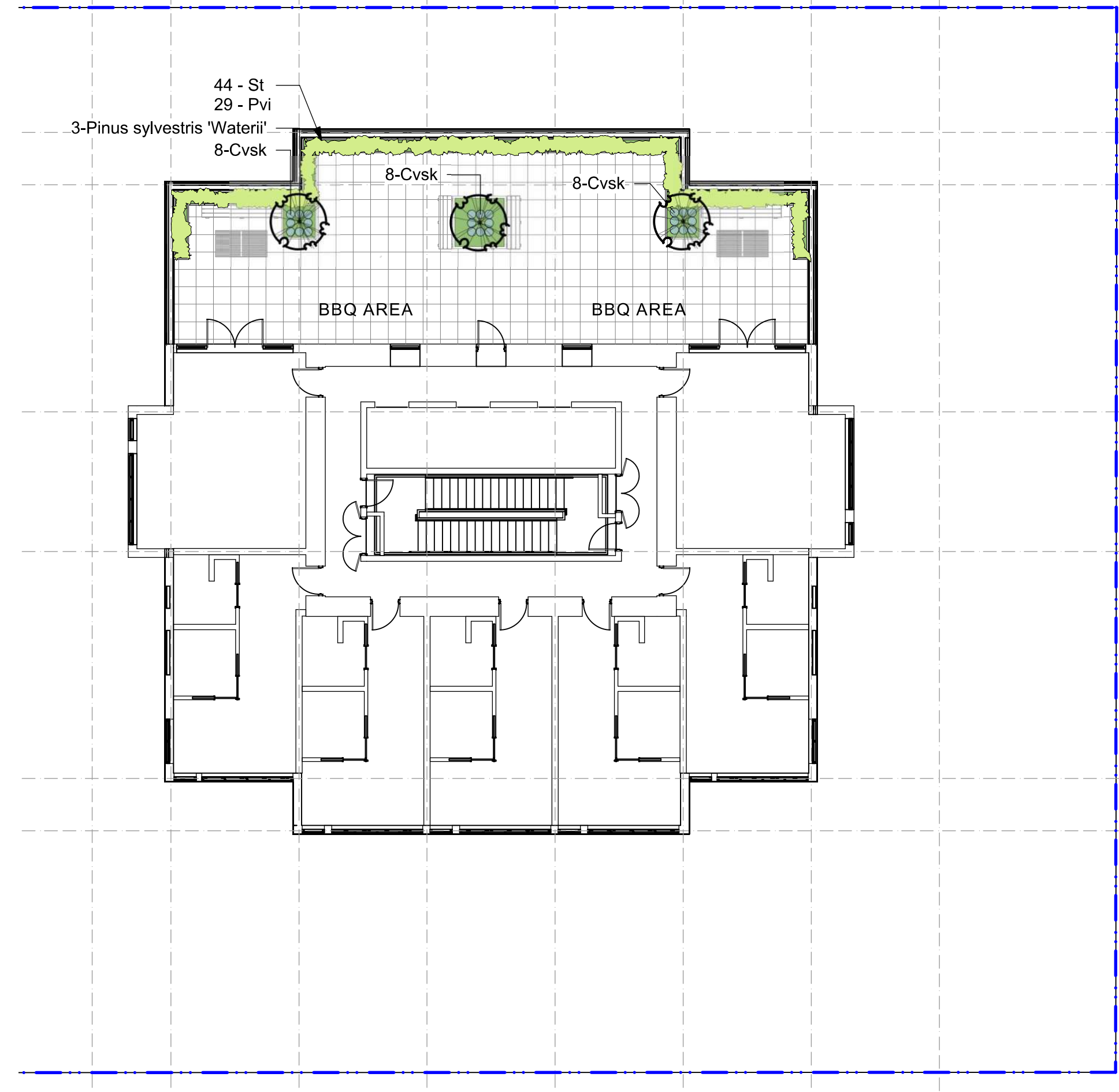
1124 Vancouver
953 View St
Proposed Dev
(Up to L)

VIEW STREET



LEVEL 6
Scale: 1:150

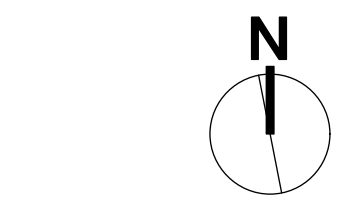
VIEW STREET



LEVEL 23
Scale: 1:150

GENERAL NOTES

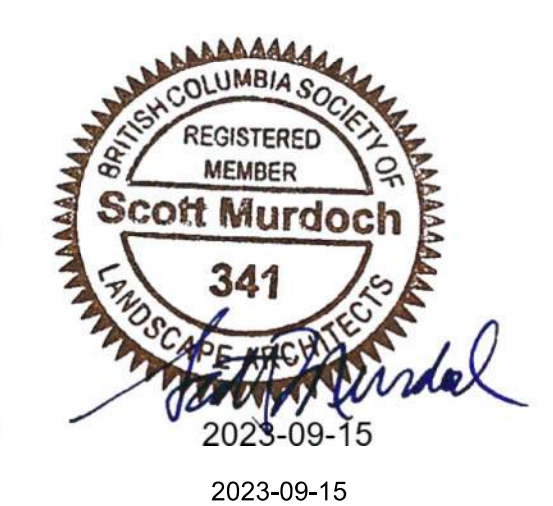
1. Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
2. Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
3. Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
4. Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
5. Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
6. Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
7. The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
8. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.



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4	Dev Permit Revisions	20.08.11
3	Issued for DP revisions	20.01.08
2	DP REV	19.10.17
1	DEV PERMIT	17.07.07



200 - 534 Columbia Road
Victoria, BC V8Z 1G1



client
NELSON INVESTMENTS, INC.

project
**VIEW STREET RESIDENTIAL
937 VIEW STREET
VICTORIA, BC**

sheet title
Planting Plan: Upper Levels

project no. 119.24

scale AS NOTED @ 24"x36"

drawn by ML

checked by SMPdG

revision no. sheet no.

L3.02

LEGEND

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
		EDGE OF PAVEMENT			REDUCER
		CURB AND GUTTER			FENCE
		EDGE OF GRAVEL			DITCH/SWALE
		TOP/BOTTOM OF BANK			WATERMAIN (SIZE AND MATERIAL NOTED)
		CATCH BASIN			SANITARY SEWER (SIZE AND MATERIAL NOTED)
		WATER VALVE			STORM DRAIN (SIZE AND MATERIAL NOTED)
		FIRE HYDRANT			UNDERGROUND TELEPHONE
		CAPPED END			UNDERGROUND HYDRO
		UTILITY POLE AND STREET LIGHT (LABELED PP,TP,PP/LS ETC.)			MONUMENT
		MANHOLE			PROPERTY LINE
		CLEANOUT			CENTERLINE AND STATIONING
		SANITARY/STORM INSPECTION CHAMBER (200# RISER)			SANITARY SEWER SERVICE CONNECTION AT MAIN
		JUNCTION BOX			ELEVATIONS
		AIR VALVE			PAVEMENT REMOVAL
		WATER METER			ASPHALT MILL AND OVERLAY



LOCATION PLAN
NTS

CIVIC ADDRESS: 937 VIEW STREET
 LEGAL: LOT A, OF LOTS 785, 786 AND 787, VICTORIA CITY, PLAN 36505.
 ZONING: R-48, HARRIS GREEN
 LAND USE: RESIDENTIAL
 PROPOSED: 253 UNIT 15 STOREY RESIDENTIAL BUILDING
 SITE AREA: 1572m²
 DWELLING FOOTPRINT AREA: 725m²
 MAIN FLOOR ELEVATION: 17.60m

PLAN TO ACCOMPANY DEVELOPMENT PERMIT APPLICATION

GENERAL NOTES:

- ALL WORK AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE CITY OF VICTORIA (CoV) SPECIFICATIONS, ITS SUPPLEMENTARY MASTER MUNICIPAL SPECIFICATIONS, STANDARD DETAIL DRAWINGS AND MMCD UNLESS OTHERWISE NOTED. IF A CONFLICT BETWEEN SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
- THE ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- SIGNATURE BLOCK FOR SHALLOW UTILITIES TO BE SIGNED AND DATED PRIOR TO CONSTRUCTION.
- PERMITS TO CONSTRUCT WORKS ON THE CoV RIGHT OF WAY MUST BE OBTAINED FROM THE CoV ENGINEERING DEPARTMENT PRIOR TO COMMENCING WORK. PERMITS MUST BE ON SITE FOR REVIEW AS REQUIRED.
- CONFIRM LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- CONFIRM THAT ELEVATION, LOCATION AND GRADIENT OF ASPHALT MATCH EXISTING PRIOR TO PLACEMENT OF ASPHALT OR CONCRETE.
- ALL TREES NOT BEING REMOVED IN THE CONSTRUCTION AREA SHALL BE PROTECTED. CARE TO BE TAKEN TO RETAIN AS MANY TREES AS POSSIBLE.
- ADJUST ALL MANHOLES, WATER VALVES, HYDRO VAULTS, ETC. TO MATCH NEW CONSTRUCTION.
- ALL LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY AND SHOULD BE CONFIRMED BY USE OF A PIPE LOCATOR AND MANUAL DIGGING. ALL OR ANY STRUCTURES NOT NECESSARILY SHOWN.
- ALL EXCAVATED TRENCH AND SUBEXCAVATION MATERIALS TO BE DISPOSED OF OFFSITE.
- ALL ELEVATIONS ARE TO GEODETIC DATUM.
- DATA SOURCES:
 -TOPOGRAPHIC SURVEY COMPLETED BY POWELL & ASSOCIATES BC LAND SURVEYORS, DECEMBER 2016.
 -DIGITAL GIS PROVIDED BY CoV.
 -BC 1 CALL DATA FOR SHALLOW UTILITIES.

ROAD NOTES:

- CONSTRUCT ALL SIDEWALK AND DRIVEWAY CROSSINGS IN ACCORDANCE WITH CoV AND MMCD STANDARDS AS NOTED ON DRAWINGS.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG VIEW STREET DURING CONSTRUCTION.
- ROAD RESTORATION FOR VIEW STREET TO CoV SUPPLEMENTAL DWG. No. SD G5g AND G5b.
- THE PROVISION OF APPROVED SIGNS AND CERTIFIED TRAFFIC CONTROL PERSONNEL IS THE CONTRACTOR'S SOLE RESPONSIBILITY.
- ALL PAVEMENT EXCAVATIONS TO BE SAWCUT.
- PROJECT FRONTAGE TO BE RESTORED AS NOTED ON CIVIL, LANDSCAPE AND ARCHITECTURAL DRAWINGS AS PER CoV "NEW TOWN" SPECIFICATIONS.
- PEDESTRIAN WALKING AREA TO BE DELINEATED DURING THE CONSTRUCTION OF THE WORKS AND MUST BE EASILY RECOGNIZABLE BY THE PUBLIC AND CONTAIN NO OBSTRUCTIONS TO MOBILITY SCOOTERS OR WHEELCHAIRS AND NO HAZARDOUS CONDITIONS. THE PUBLIC USING THESE AREAS MUST BE ADEQUATELY PROTECTED FROM TRAFFIC.

WATER NOTES:

- WATER SERVICE CONNECTION TO BE PER CoV STD. DWG. No. W2d SS.
- CONTRACTOR TO CONFIRM THAT EXISTING WATER SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.

STORM DRAIN AND SANITARY SEWER NOTES:

- CONTRACTOR TO CONFIRM THAT EXISTING SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED BY CONTRACTOR/DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE.
- STORM DRAIN AND SANITARY SEWER CONNECTIONS TO BE AS PER CoV STD. DWG. No. S7 SS.
- STORM DRAIN CONNECTION TO BE 200# PVC SDR28 AT A MINIMUM GRADE OF 2.00% UNLESS OTHERWISE NOTED.
- SANITARY SEWER CONNECTION TO BE 250# PVC SDR28 AT A MINIMUM GRADE OF 2.00% UNLESS OTHERWISE NOTED.
- UNDERGROUND SERVICES TO BE LOCATED, EXPOSED AND ELEVATIONS CONFIRMED AT CROSSINGS PRIOR TO INSTALLATION OF CONNECTIONS.

SHALLOW UTILITY AND STREET LIGHT NOTES:

- EXISTING BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC INFRASTRUCTURE INFORMATION SHOWN ON DRAWINGS IS SCHEMATIC AND FOR INFORMATION ONLY.
- REFER TO UTILITY COMPANY DESIGN DRAWINGS FOR CONSTRUCTION DETAILS. CONSTRUCT UNDERGROUND UTILITIES AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS, SHAW CABLE SPECIFICATIONS AND DRAWINGS.
- CONFIRM AND COORDINATE WITH CoV FORCES REINSTATEMENT OF LAMP STANDARDS AS PER CoV SUPPLEMENTARY STANDARD DETAIL DRAWINGS, INCLUDING BASES, CONDUIT AND JUNCTION BOX.
- CONTACT BC 1 CALL AT 1-800-474-6886 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC 48 HOURS PRIOR TO THE START OF ANY EXCAVATION.
- BC HYDRO TO COORDINATE AND PROVIDE LIAISON WITH CoV PRIOR TO AND DURING CONSTRUCTION.

ISSUES		
No.	DATE	ISSUED FOR
1	2019.09.20	DEVELOPMENT PERMIT
2	2020.01.08	DEVELOPMENT PERMIT REVISIONS
3	2020.08.11	DEVELOPMENT PERMIT REVISION 3
4	2021.05.03	DEVELOPMENT PERMIT REVISION 4
5	2023.05.15	DEVELOPMENT PERMIT REVISION 5
6	2023.09.25	DEVELOPMENT PERMIT REVISION 6

CLIENT

ISSUED FOR
DEVELOPMENT PERMIT



KEY PLAN
1:1000



LIST OF DRAWINGS

DWG. No.	DESCRIPTION
C100	GENERAL NOTES, LOCATION PLAN, KEY PLAN, DRAWINGS LIST & LEGEND
C200	SITE SERVICING PLAN
C300	GRADING PLAN
C400	BC HYDRO INFORMATION PLAN

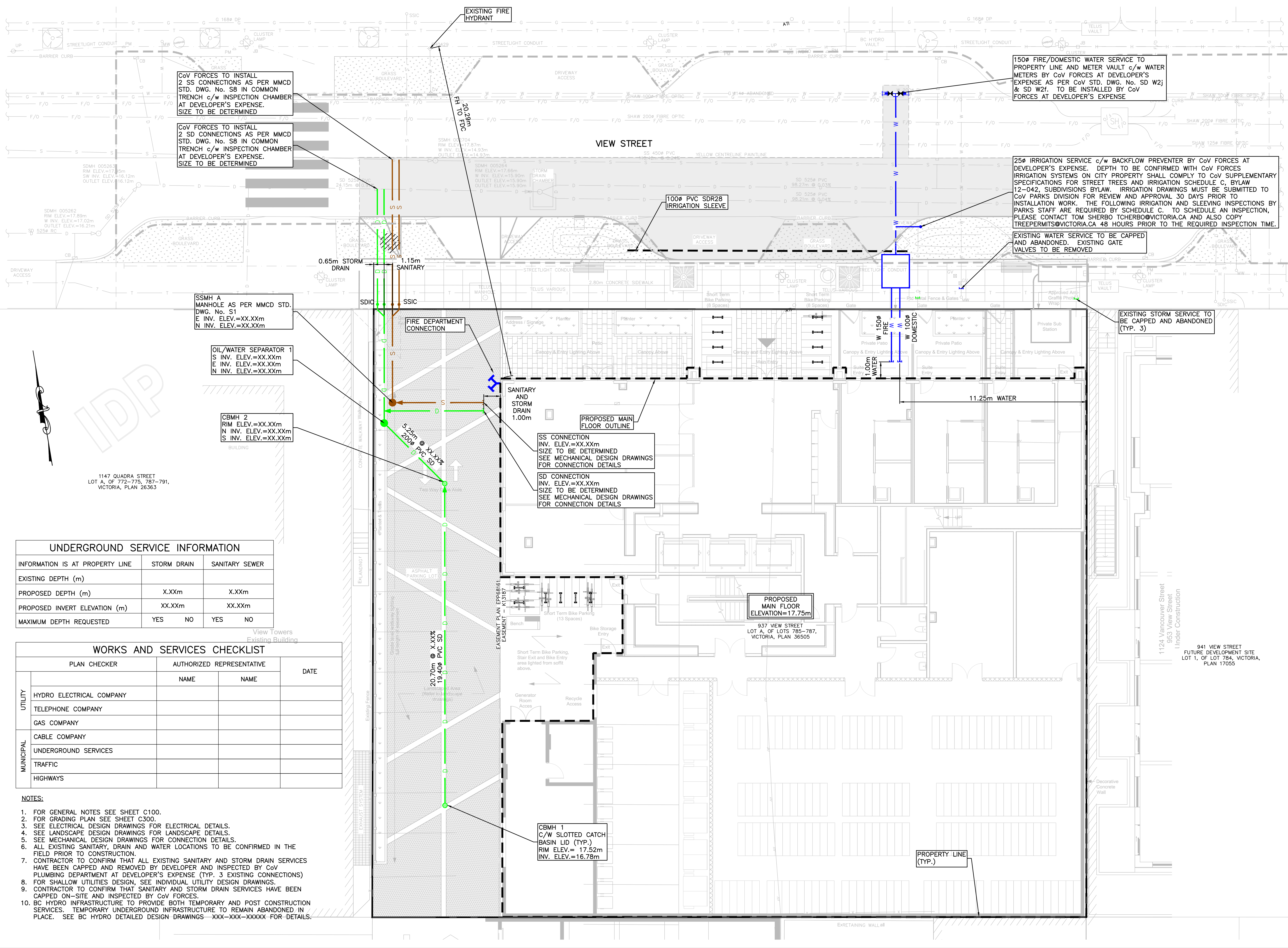
937 VIEW STREET
MARKET RENTAL RESIDENCES

VICTORIA, BC
CHRIS NELSON INVESTMENTS LTD.

HEROLD ENGINEERING
 1051 Vancouver St, Victoria, BC V8V 4T6
 Tel: 250-590-4875 Fax: 250-590-4392
 Email: mail@heroldengineering.com

GENERAL NOTES,
LOCATION PLAN,
KEY PLAN,
DRAWINGS LIST
& LEGEND

DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED LAM	
DRAFTING REVIEW SAC	
PROJECT No. 5094-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C100	REVISION 1 OF 4 6



CoV FORCES TO INSTALL 2 SS CONNECTIONS AS PER MMCD STD. DWG. No. S8 IN COMMON TRENCH c/w INSPECTION CHAMBER AT DEVELOPER'S EXPENSE. SIZE TO BE DETERMINED

CoV FORCES TO INSTALL 2 SD CONNECTIONS AS PER MMCD STD. DWG. No. S8 IN COMMON TRENCH c/w INSPECTION CHAMBER AT DEVELOPER'S EXPENSE. SIZE TO BE DETERMINED

SSMH A MANHOLE AS PER MMCD STD. DWG. No. S1
E INV. ELEV.=XX.XXm
N INV. ELEV.=XX.XXm

OIL/WATER SEPARATOR 1
S INV. ELEV.=XX.XXm
E INV. ELEV.=XX.XXm
N INV. ELEV.=XX.XXm

CBMH 2
RIM ELEV.=XX.XXm
N INV. ELEV.=XX.XXm
S INV. ELEV.=XX.XXm

FIRE DEPARTMENT CONNECTION

SANITARY AND STORM DRAIN 1.00m

PROPOSED MAIN FLOOR OUTLINE

SS CONNECTION
INV. ELEV.=XX.XXm
SIZE TO BE DETERMINED
SEE MECHANICAL DESIGN DRAWINGS FOR CONNECTION DETAILS

SD CONNECTION
INV. ELEV.=XX.XXm
SIZE TO BE DETERMINED
SEE MECHANICAL DESIGN DRAWINGS FOR CONNECTION DETAILS

PROPOSED MAIN FLOOR ELEVATION=17.75m

CBMH 1
C/W SLOTTED CATCH BASIN LID (TYP.)
RIM ELEV.= 17.52m
INV. ELEV.=16.78m

150Ø FIRE/DOMESTIC WATER SERVICE TO PROPERTY LINE AND METER VAULT c/w WATER METERS BY CoV FORCES AT DEVELOPER'S EXPENSE AS PER CoV STD. DWG. No. SD W2j & SD W2f. TO BE INSTALLED BY CoV FORCES AT DEVELOPER'S EXPENSE

25Ø IRRIGATION SERVICE c/w BACKFLOW PREVENTER BY CoV FORCES AT DEVELOPER'S EXPENSE. DEPTH TO BE CONFIRMED WITH CoV FORCES IRRIGATION SYSTEMS ON CITY PROPERTY SHALL COMPLY TO CoV SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042. SUBDIVISIONS BYLAW. IRRIGATION DRAWINGS MUST BE SUBMITTED TO CoV PARKS DIVISION FOR REVIEW AND APPROVAL 30 DAYS PRIOR TO INSTALLATION WORK. THE FOLLOWING IRRIGATION AND SLEEVING INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION, PLEASE CONTACT TOM SHERBO TCHERBO@VICTORIA.CA AND ALSO COPY TREEPERMITS@VICTORIA.CA 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.

EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED. EXISTING GATE VALVES TO BE REMOVED

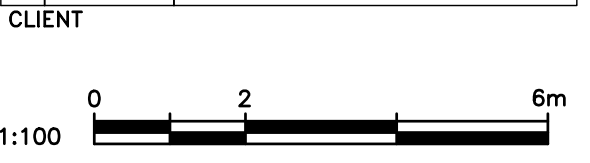
EXISTING STORM SERVICE TO BE CAPPED AND ABANDONED (TYP. 3)

UNDERGROUND SERVICE INFORMATION			
INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY SEWER	
EXISTING DEPTH (m)			
PROPOSED DEPTH (m)	X.XXm	X.XXm	X.XXm
PROPOSED INVERT ELEVATION (m)	XX.XXm	XX.XXm	XX.XXm
MAXIMUM DEPTH REQUESTED	YES NO	YES NO	YES NO

WORKS AND SERVICES CHECKLIST				
UTILITY	PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
		NAME	NAME	
UTILITY	HYDRO ELECTRICAL COMPANY			
	TELEPHONE COMPANY			
	GAS COMPANY			
MUNICIPAL	CABLE COMPANY			
	UNDERGROUND SERVICES			
	TRAFFIC			
	HIGHWAYS			

- NOTES:
- FOR GENERAL NOTES SEE SHEET C100.
 - FOR GRADING PLAN SEE SHEET C300.
 - SEE ELECTRICAL DESIGN DRAWINGS FOR ELECTRICAL DETAILS.
 - SEE LANDSCAPE DESIGN DRAWINGS FOR LANDSCAPE DETAILS.
 - SEE MECHANICAL DESIGN DRAWINGS FOR CONNECTION DETAILS.
 - ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO CONFIRM THAT ALL EXISTING SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED AND REMOVED BY DEVELOPER AND INSPECTED BY CoV PLUMBING DEPARTMENT AT DEVELOPER'S EXPENSE (TYP. 3 EXISTING CONNECTIONS)
 - FOR SHALLOW UTILITIES DESIGN, SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
 - CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY CoV FORCES.
 - BC HYDRO INFRASTRUCTURE TO PROVIDE BOTH TEMPORARY AND POST CONSTRUCTION SERVICES. TEMPORARY UNDERGROUND INFRASTRUCTURE TO REMAIN ABANDONED IN PLACE. SEE BC HYDRO DETAILED DESIGN DRAWINGS -XXX-XXX-XXXXX FOR DETAILS.

ISSUES		
No.	DATE	ISSUED FOR
1	2019.09.20	DEVELOPMENT PERMIT
2	2020.01.08	DEVELOPMENT PERMIT REVISIONS
3	2020.08.11	DEVELOPMENT PERMIT REVISION 3
4	2021.05.03	DEVELOPMENT PERMIT REVISION 4
5	2023.05.15	DEVELOPMENT PERMIT REVISION 5
6	2023.09.25	DEVELOPMENT PERMIT REVISION 6



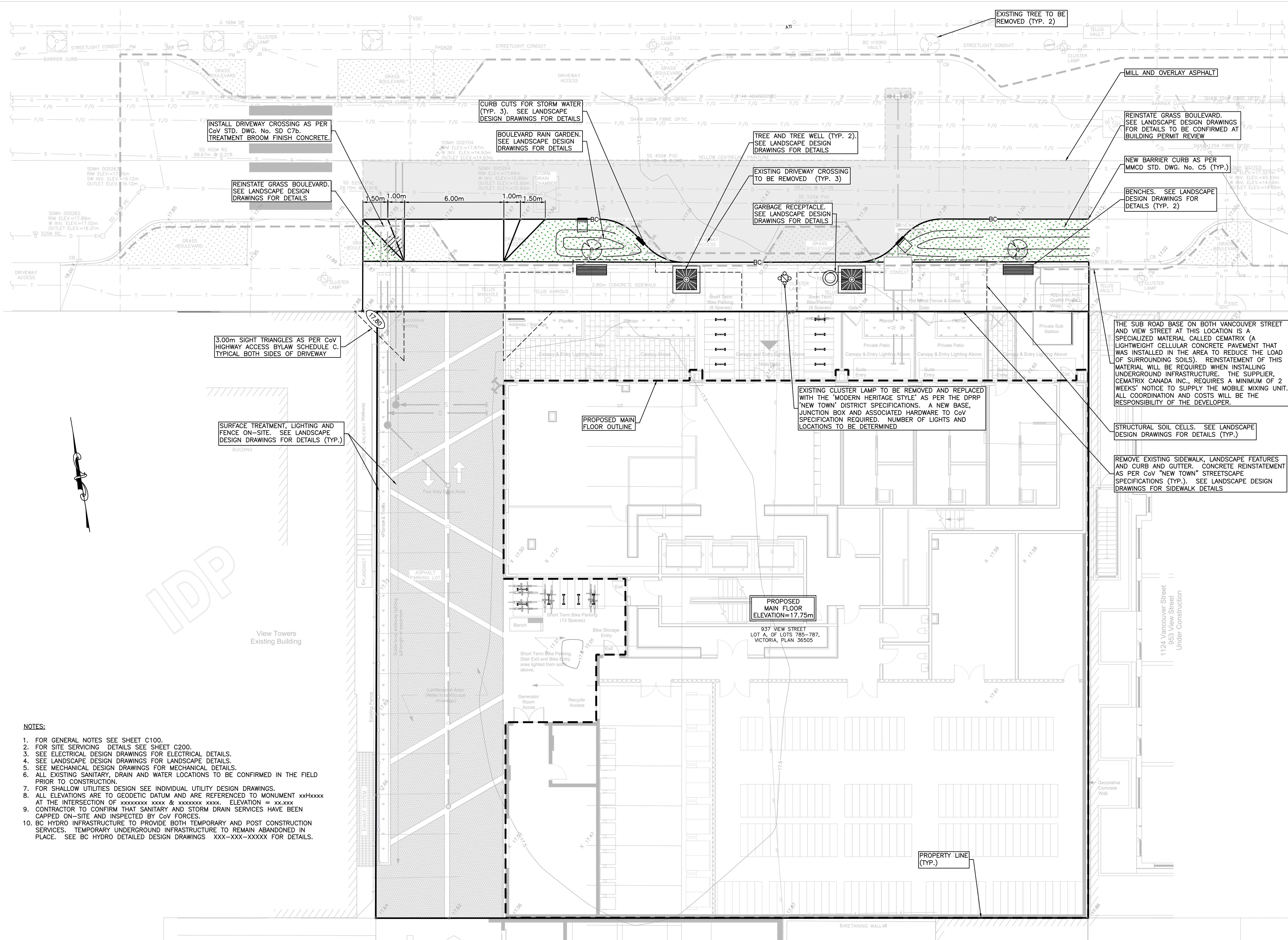
ISSUED FOR DEVELOPMENT PERMIT

937 VIEW STREET
MARKET RENTAL RESIDENCES
VICTORIA, BC
CHRIS NELSON INVESTMENTS LTD.

HEROLD ENGINEERING
1051 Vancouver St, Victoria, BC V8V 4T6
Tel: 250-590-4875 Fax: 250-590-4392
Email: mail@heroldengineering.com

SITE SERVICING PLAN

DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED LAM	
DRAFTING REVIEW SAC	
PROJECT No. 5094-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C200	REVISION 2 OF 4 6



ISSUES		
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1	2019.09.20	DEVELOPMENT PERMIT
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CLIENT

0 2 6m

1:100

ISSUED FOR DEVELOPMENT PERMIT

INSTALL DRIVEWAY CROSSING AS PER CoV STD. DWG. No. SD C7b. TREATMENT BROOM FINISH CONCRETE.

CURB CUTS FOR STORM WATER (TYP. 3). SEE LANDSCAPE DESIGN DRAWINGS FOR DETAILS

BOULEVARD RAIN GARDEN. SEE LANDSCAPE DESIGN DRAWINGS FOR DETAILS

TREE AND TREE WELL (TYP. 2). SEE LANDSCAPE DESIGN DRAWINGS FOR DETAILS

REINSTATE GRASS BOULEVARD. SEE LANDSCAPE DESIGN DRAWINGS FOR DETAILS TO BE CONFIRMED AT BUILDING PERMIT REVIEW

NEW BARRIER CURB AS PER MMCD STD. DWG. No. C5 (TYP.)

BENCHES. SEE LANDSCAPE DESIGN DRAWINGS FOR DETAILS (TYP. 2)

EXISTING DRIVEWAY CROSSING TO BE REMOVED (TYP. 3)

GARBAGE RECEPTACLE. SEE LANDSCAPE DESIGN DRAWINGS FOR DETAILS

REINSTATE GRASS BOULEVARD. SEE LANDSCAPE DESIGN DRAWINGS FOR DETAILS

3.00m SIGHT TRIANGLES AS PER CoV HIGHWAY ACCESS BYLAW SCHEDULE C. TYPICAL BOTH SIDES OF DRIVEWAY

SURFACE TREATMENT, LIGHTING AND FENCE ON-SITE. SEE LANDSCAPE DESIGN DRAWINGS FOR DETAILS (TYP.)

THE SUB ROAD BASE ON BOTH VANCOUVER STREET AND VIEW STREET AT THIS LOCATION IS A SPECIALIZED MATERIAL CALLED CEMATRIX (A LIGHTWEIGHT CELLULAR CONCRETE PAVEMENT THAT WAS INSTALLED IN THE AREA TO REDUCE THE LOAD OF SURROUNDING SOILS). REINSTATEMENT OF THIS MATERIAL WILL BE REQUIRED WHEN INSTALLING UNDERGROUND INFRASTRUCTURE. THE SUPPLIER, CEMATRIX CANADA INC., REQUIRES A MINIMUM OF 2 WEEKS' NOTICE TO SUPPLY THE MOBILE MIXING UNIT. ALL COORDINATION AND COSTS WILL BE THE RESPONSIBILITY OF THE DEVELOPER.

STRUCTURAL SOIL CELLS. SEE LANDSCAPE DESIGN DRAWINGS FOR DETAILS (TYP.)

REMOVE EXISTING SIDEWALK, LANDSCAPE FEATURES AND CURB AND GUTTER. CONCRETE REINSTATEMENT AS PER CoV "NEW TOWN" STREETSCAPE SPECIFICATIONS (TYP.). SEE LANDSCAPE DESIGN DRAWINGS FOR SIDEWALK DETAILS

EXISTING CLUSTER LAMP TO BE REMOVED AND REPLACED WITH THE "MODERN HERITAGE STYLE" AS PER THE DPRP "NEW TOWN" DISTRICT SPECIFICATIONS. A NEW BASE, JUNCTION BOX AND ASSOCIATED HARDWARE TO CoV SPECIFICATION REQUIRED. NUMBER OF LIGHTS AND LOCATIONS TO BE DETERMINED

PROPOSED MAIN FLOOR OUTLINE

PROPOSED MAIN FLOOR ELEVATION=17.75m

PROPERTY LINE (TYP.)

- NOTES:**
- FOR GENERAL NOTES SEE SHEET C100.
 - FOR SITE SERVICING DETAILS SEE SHEET C200.
 - SEE ELECTRICAL DESIGN DRAWINGS FOR ELECTRICAL DETAILS.
 - SEE LANDSCAPE DESIGN DRAWINGS FOR LANDSCAPE DETAILS.
 - SEE MECHANICAL DESIGN DRAWINGS FOR MECHANICAL DETAILS.
 - ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
 - FOR SHALLOW UTILITIES DESIGN SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
 - ALL ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERENCED TO MONUMENT xxHxxxx AT THE INTERSECTION OF xxxxxxxx xxxx & xxxxxxxx xxxx. ELEVATION = xx.xxx
 - CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY CoV FORCES.
 - BC HYDRO INFRASTRUCTURE TO PROVIDE BOTH TEMPORARY AND POST CONSTRUCTION SERVICES. TEMPORARY UNDERGROUND INFRASTRUCTURE TO REMAIN ABANDONED IN PLACE. SEE BC HYDRO DETAILED DESIGN DRAWINGS XXX-XXX-XXXX FOR DETAILS.

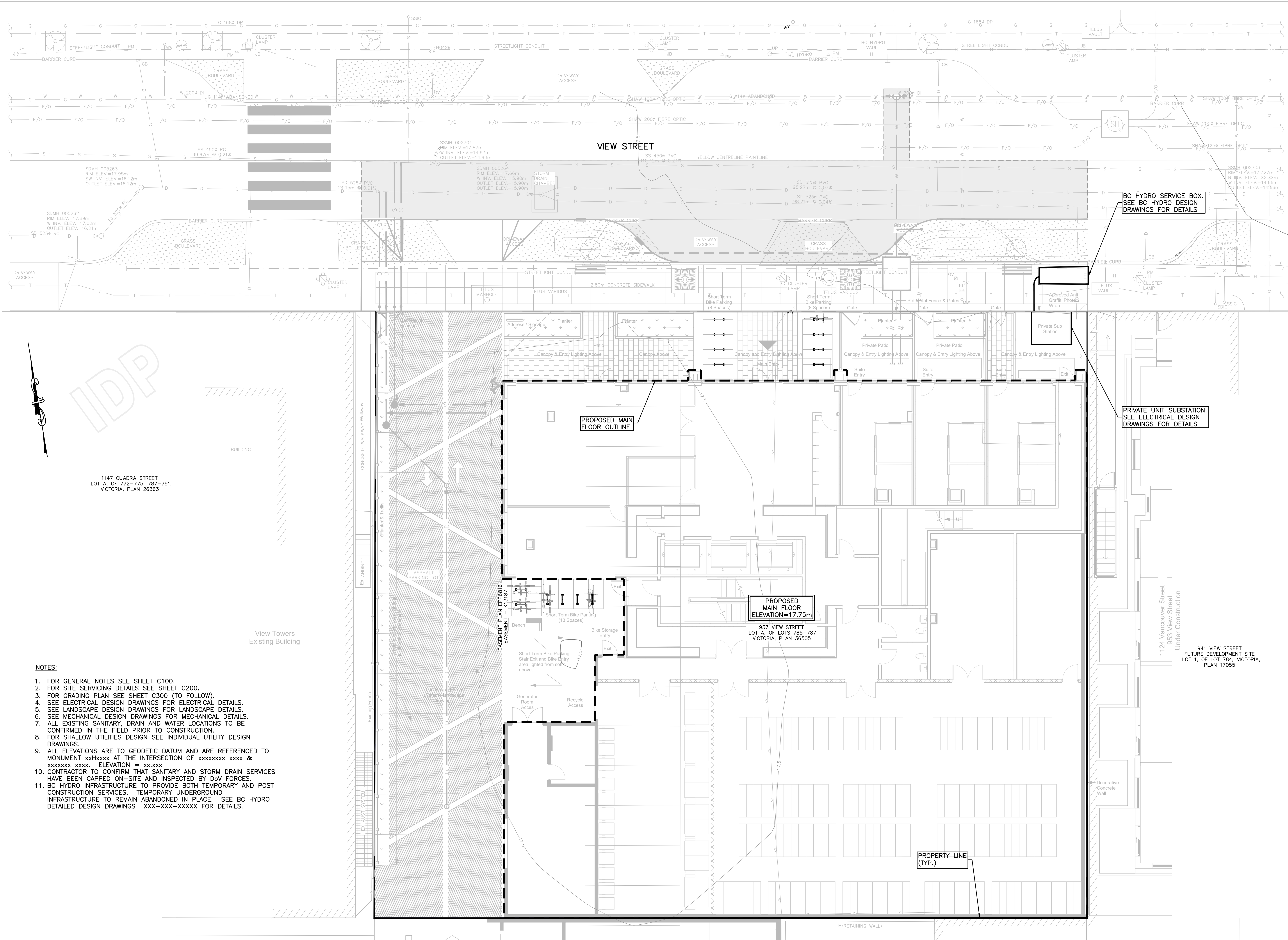
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GRADING PLAN

DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED LAM	
DRAFTING REVIEW SAC	
PROJECT No. 5094-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C300	REVISION 3 OF 4 6



ISSUES		
No.	DATE	ISSUED FOR
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6	2023.09.25	DEVELOPMENT PERMIT REVISION 6

CLIENT
 0 2 6m
 1:100

ISSUED FOR
 DEVELOPMENT PERMIT

- NOTES:**
- FOR GENERAL NOTES SEE SHEET C100.
 - FOR SITE SERVICING DETAILS SEE SHEET C200.
 - FOR GRADING PLAN SEE SHEET C300 (TO FOLLOW).
 - SEE ELECTRICAL DESIGN DRAWINGS FOR ELECTRICAL DETAILS.
 - SEE LANDSCAPE DESIGN DRAWINGS FOR LANDSCAPE DETAILS.
 - SEE MECHANICAL DESIGN DRAWINGS FOR MECHANICAL DETAILS.
 - ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
 - FOR SHALLOW UTILITIES DESIGN SEE INDIVIDUAL UTILITY DESIGN DRAWINGS.
 - ALL ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERENCED TO MONUMENT xxHxxxx AT THE INTERSECTION OF xxxxxxxx xxxx & xxxxxxxx xxxx. ELEVATION = xx.xxx
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BC HYDRO INFORMATION PLAN

DESIGNED TDL	ENGINEER'S SEAL
DESIGN REVIEW AJH	
DRAFTED LAM	
DRAFTING REVIEW SAC	
PROJECT No. 5094-001	CLIENT DRAWING No.
SCALE H: AS NOTED V: -	PERMIT No.
HEL DRAWING No. C400	REVISION 4 OF 4 6