

EDWARD - WILSON TOWNHOMES

VICTORIA, B.C.

CIVIC ADDRESS: 441 RUSSELL ST, VICTORIA & 786 RUSSELL ST, VICTORIA
 LEGAL DESCRIPTION: LOTS 84 & 96, SECTION 31, ESQUIMALT DISTRICT, PLAN 549
 P.I.D. : 008-923-540 & 008-924-589

ISSUED FOR REZONING AND DEVELOPMENT PERMIT - OCT 5, 2023



ARTISTIC RENDERING

PROJECT TEAM:

CLIENT:
 GARETT CAMPBELL
 LOGIC HOMES
 TEL.: 250-884-9688

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 XENIYA VINS
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 2B-40 CADILLAC AVE
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 TEL.: 250-475-6906

LANDSCAPE ARCHITECT:
 BIOPHILIA
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 TEL.: 250-589-8244

ARBORIST
 DUNSTER AND ASSOCIATES ENVIRONMENTAL
 CONSULTANTS LTD
 4621 CLIFFWOOD PL, VICTORIA, BC
 778-433-8465

DRAWING LIST

ARCHITECTURAL

- A000 COVER
- A100 SITE PLAN & AVERAGE GRADES
- A200 BUILDING PLANS & UNIT PLANS
- A300 ELEVATIONS & MATERIALS
- A400 3D RENDERINGS

CIVIL

- 1 SERVICES PLAN
- 2 NEW SIDEWALK (RUSSEL) DETAILS
- 3 ENTRANCE DETAILS
- 4 ENTRANCE DETAILS 2
- 5 RUSSEL STREET SIDEWALK
- 6 ENTRANCE DETAILS
- 7 WILSON STREET SIDEWALK

LANDSCAPE

- L0.00 COVER PAGE
- L0.01 TREE MANAGEMENT PLAN
- L1.01 SITE PLAN
- L2.01 TREE PLANTING PLAN
- L2.02 PLANTING PLAN
- L3.01 SOIL DEPTH PLAN
- L4.01 SECTIONS
- L5.01 DETAILS

Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date
October 27, 2023

PROJECT STATISTICS
EDWARD-WILSON TOWNHOMES

Project No.:

REVISION NO.01	DATE:	15-Sep-23			
SITE INFORMATION					
LEGAL DESCRIPTION	Lots 84&96, Block J, Section 31, Esquimalt District, Plan 549.				
CIVIC ADDRESS					
ZONING	EXISTING R-2	PROPOSED COMPREHENSIVE			
SITE AREA (ft²)	7893.4 & 7905.4	15,799/1467.7sm			
F.S.R.		0.80			
BUILDING A F.A.R. (ft²)					
LOWER FLOOR		4713 /437.8sm			
MAIN FLOOR		4404 /409sm			
2ND FLOOR		4404 /409sm			
TOTAL BLD A:		13521 /1256sm			
BUILDING B F.A.R. (ft²)					
LOWER FLOOR		1913 /177.7sm			
MAIN FLOOR		1913 /177.7sm			
2ND FLOOR		1913 /177.7sm			
TOTAL BLD B:		5739 /533.17sm			
SITE COVERAGE					
		47%			
BUILDING A HEIGHT (FROM AV.GR. TO MID ROOF)	2.5 storey	38'-5 1/4" (11.72m)			
BUILDING B HEIGHT (FROM AV.GR. TO MID ROOF)	2.5 storey	28'-2" (8.58m)			
SETBACKS					
	FRONT (RUSSEL STREET)	8'-0 1/2" (2.5m)			
	REAR	12'-10 1/2" (3.8m)			
	NORTH SIDE (EDWARD)	11'-1 1/2" (3.4m)			
	SOUTH SIDE (WILSON)	10'-4" (3.1m)			
OPEN SPACE					
		43%			
PARKING					
SITE PARKING		7			
	TOTAL	7			
SHORT TERM BIKES		6			
LONG TERM BIKES	(BIKE DEPOT - 14)	42			
	TOTAL	48			
BUILDING DATA					
TOWNHOME UNITS	DESCRIPTION	AREA (SF)	# OF UNITS	TOTAL AREA (SF)	TOTAL AREA (m2)
UNIT A - UPPER UNIT	3BR /2.5BATH	610	10	6,100	566.7
UNIT B - LOWER UNIT	1BR/1BATH	1220	10	12,200	1,133.4
	TOTAL		20	18,300	1,700.1

NORTH ARROW:

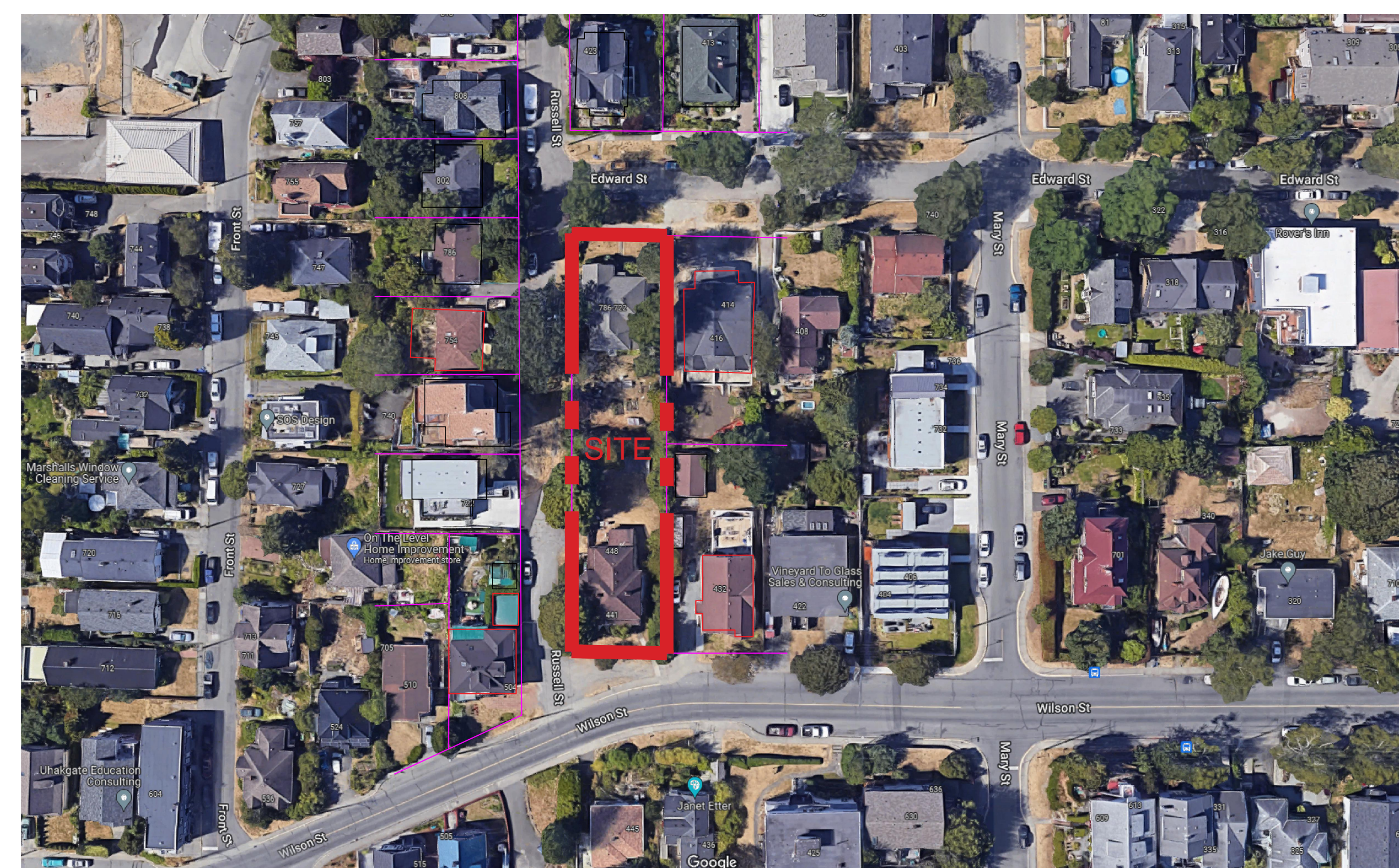
OWNER/CLIENT:



GENERAL NOTES:

1	ISSUED FOR RE-ZONING	5/10/23			
NO.	ISSUE	Y/M/D			

SEAL:



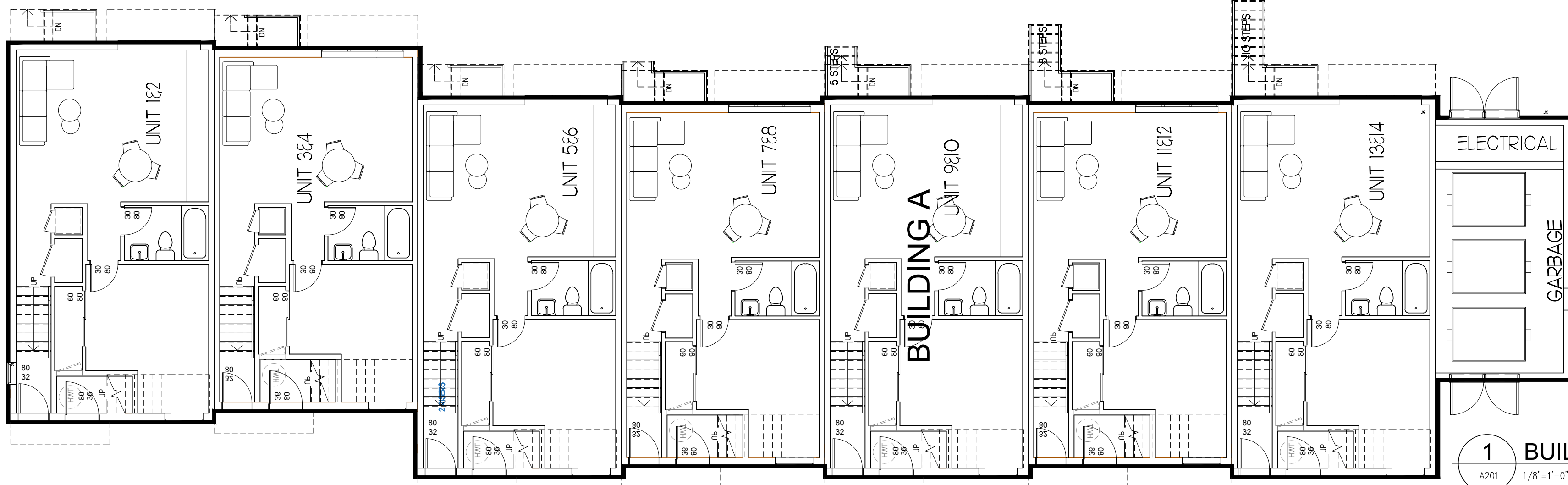
CONTEXT PLAN

PROJECT NAME:
EDWARD WILSON TOWNHOMES

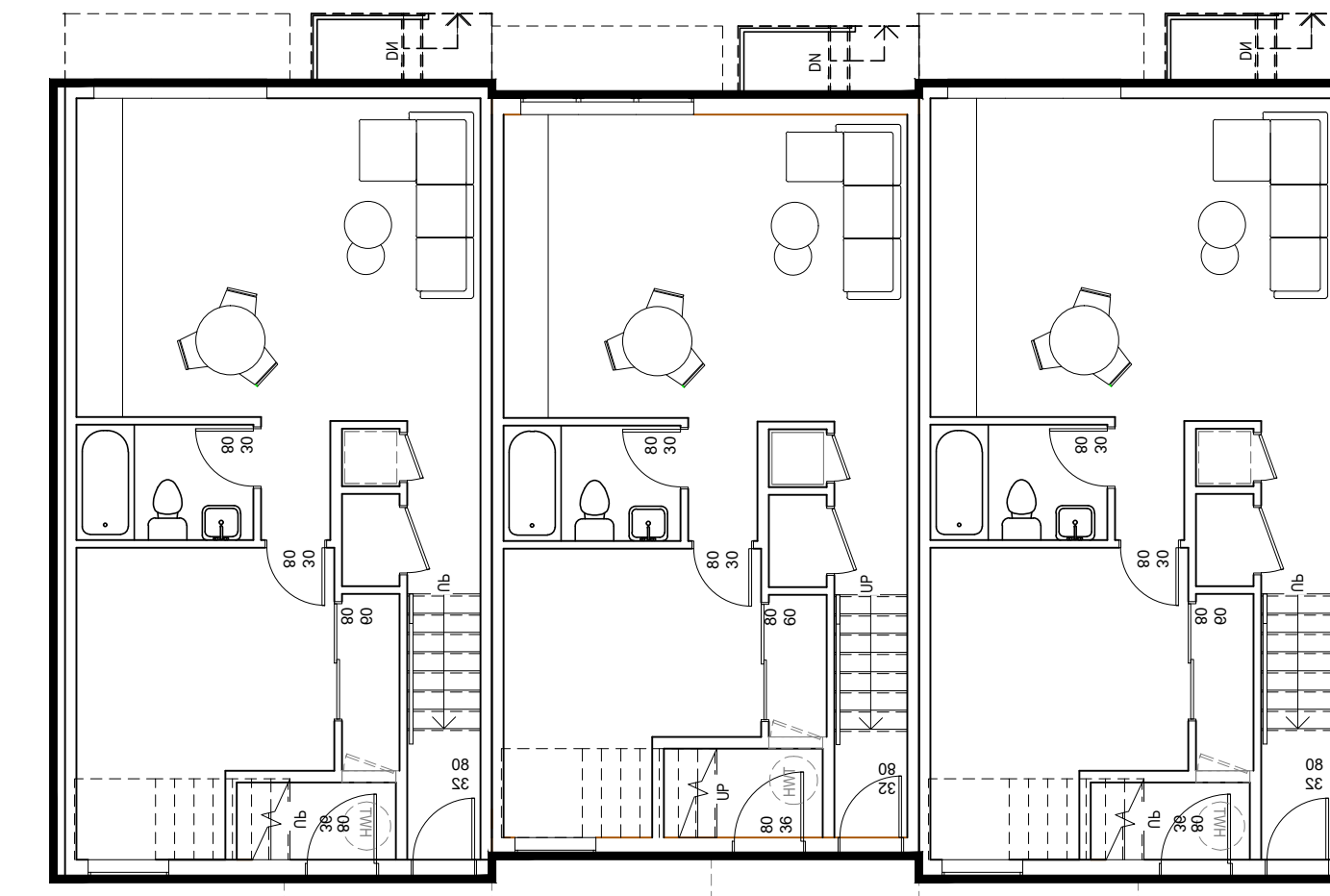
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DRAWING TITLE:
COVER PAGE

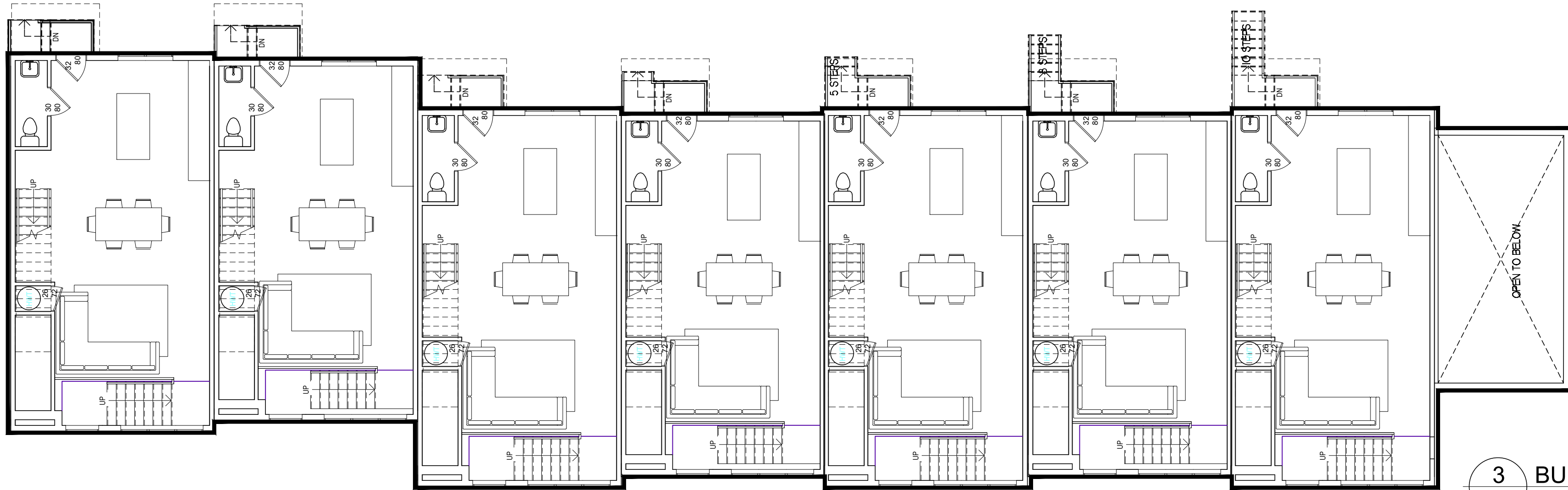
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 SCALE: AS NOTED REVIEW BY: XV
 DWG NO: **A000**



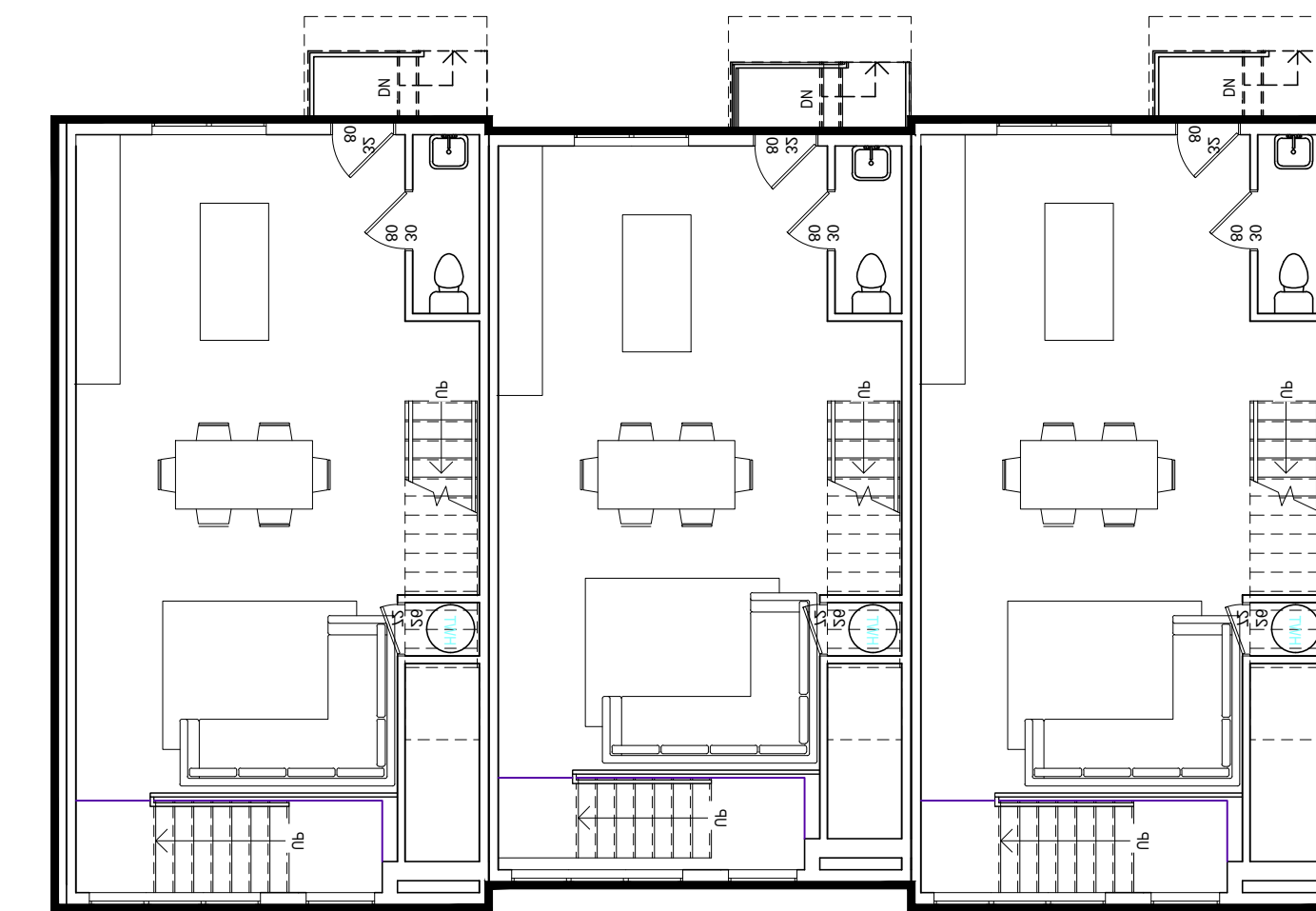
1 BUILDING A - L1
A201 1/8"=1'-0"



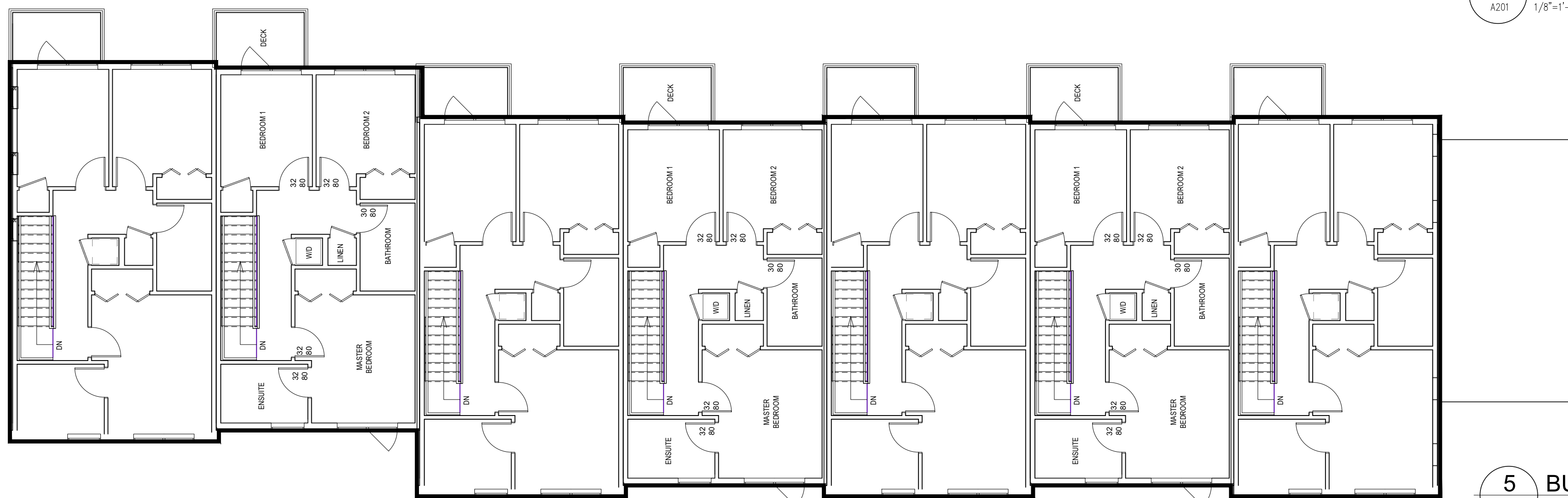
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A201 1/8"=1'-0"



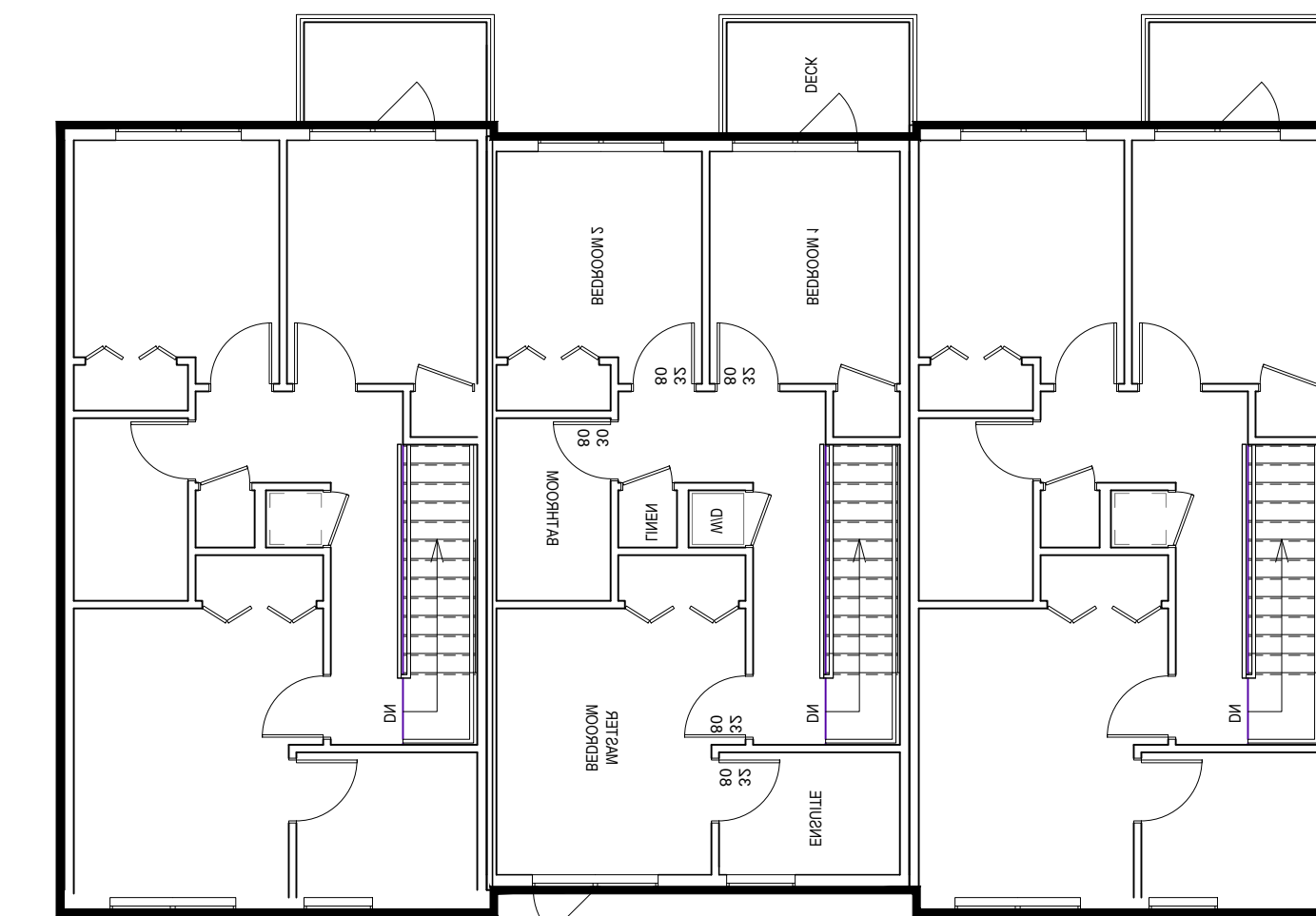
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A201 1/8"=1'-0"



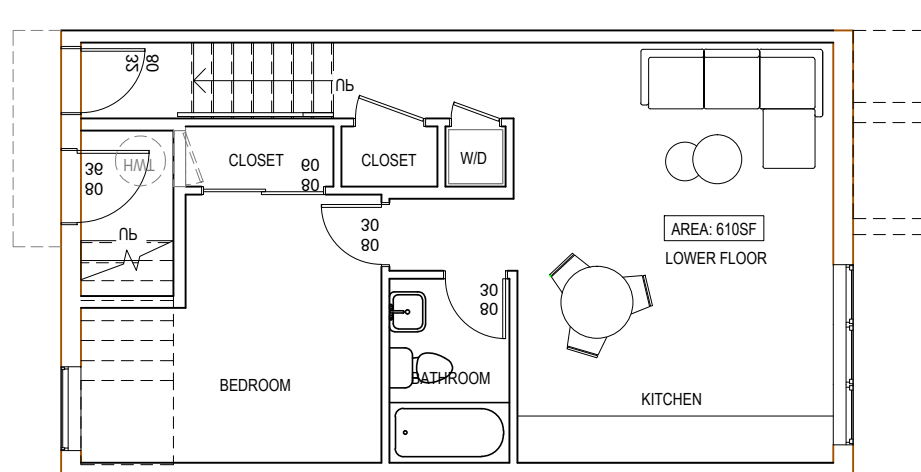
4 BUILDING B - L2
A201 1/8"=1'-0"



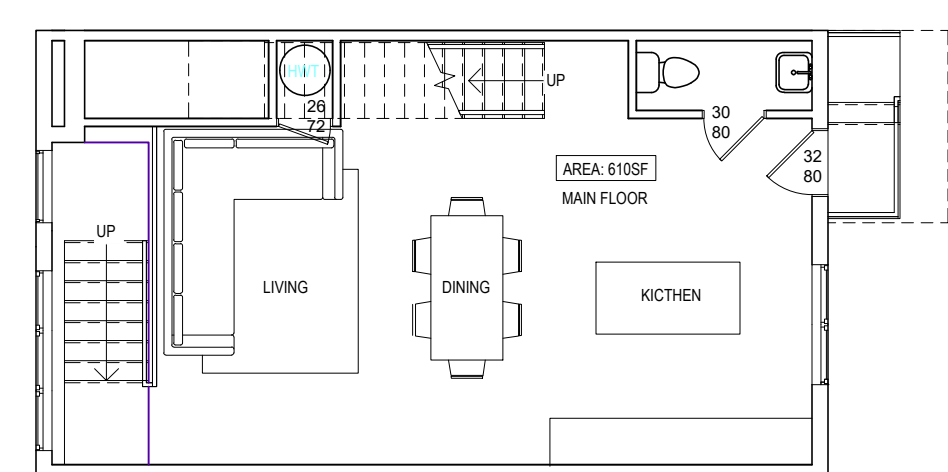
5 BUILDING A - L3
A201 1/8"=1'-0"



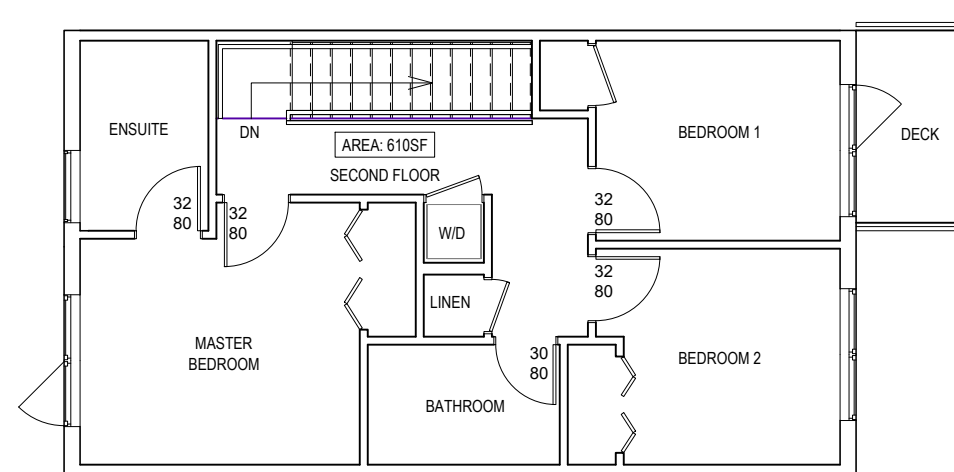
6 BUILDING B - L3
A201 1/8"=1'-0"



7 UNIT PLAN - LOWER UNIT
A201 1/8"=1'-0"



8 UNIT PLAN - UPPER UNIT
A201 1/8"=1'-0"



9

NORTH ARROW:

OWNER/CLIENT:



GENERAL NOTES:

1 ISSUED FOR RE-ZONING 5/10/23
NO. ISSUE Y/M/D

SEAL:

PROJECT NAME:
EDWARD WILSON TOWNHOMES

PROJECT ADDRESS:

DRAWING TITLE:
BUILDING PANS & UNIT PLANS

PROJECT NO: ##### DRAWN BY: #
SCALE: AS NOTED REVIEW BY: #
DWG NO: **A201**



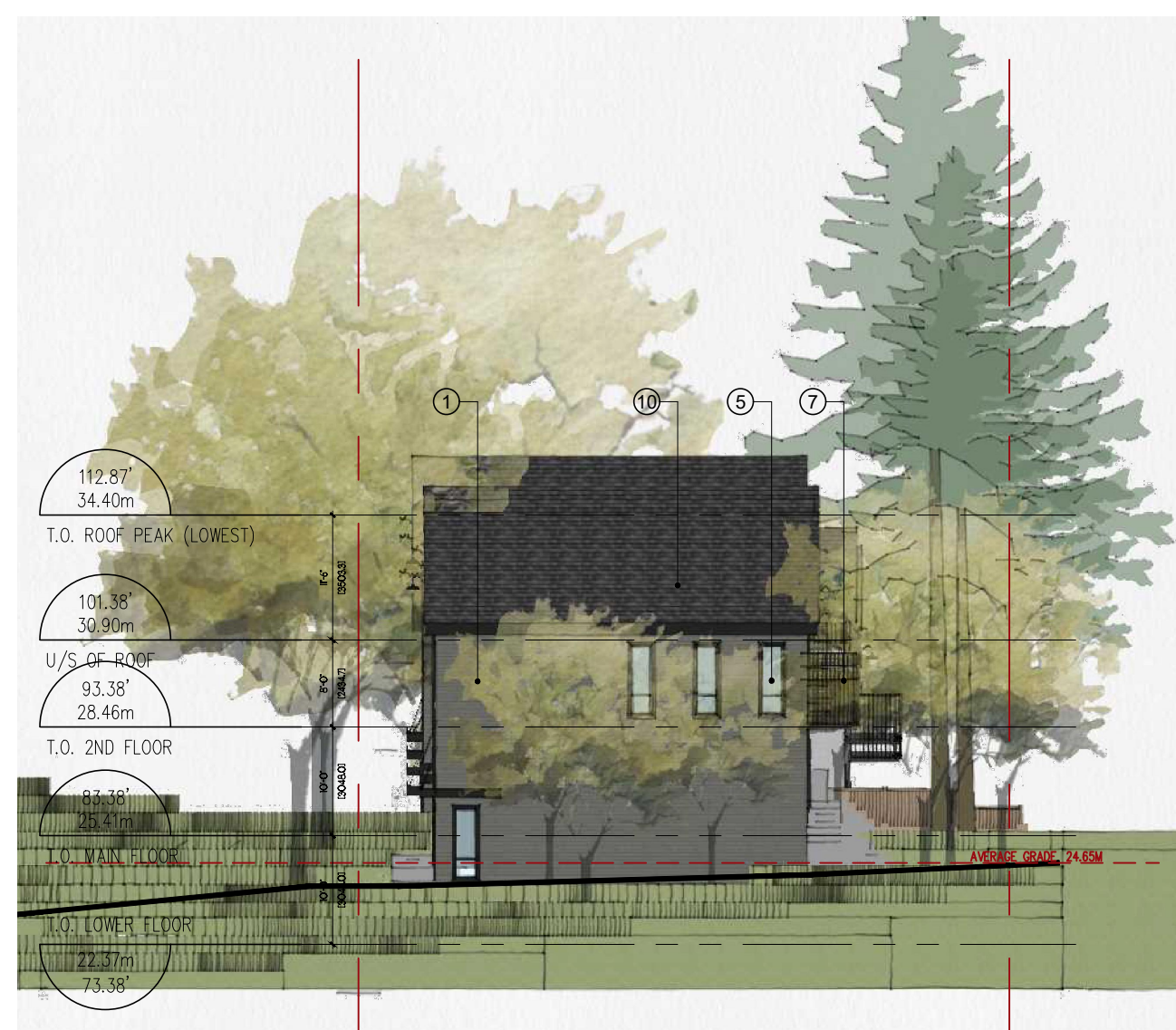
1 FRONT ELEVATION (WEST)

A301 1/16"=1'-0"



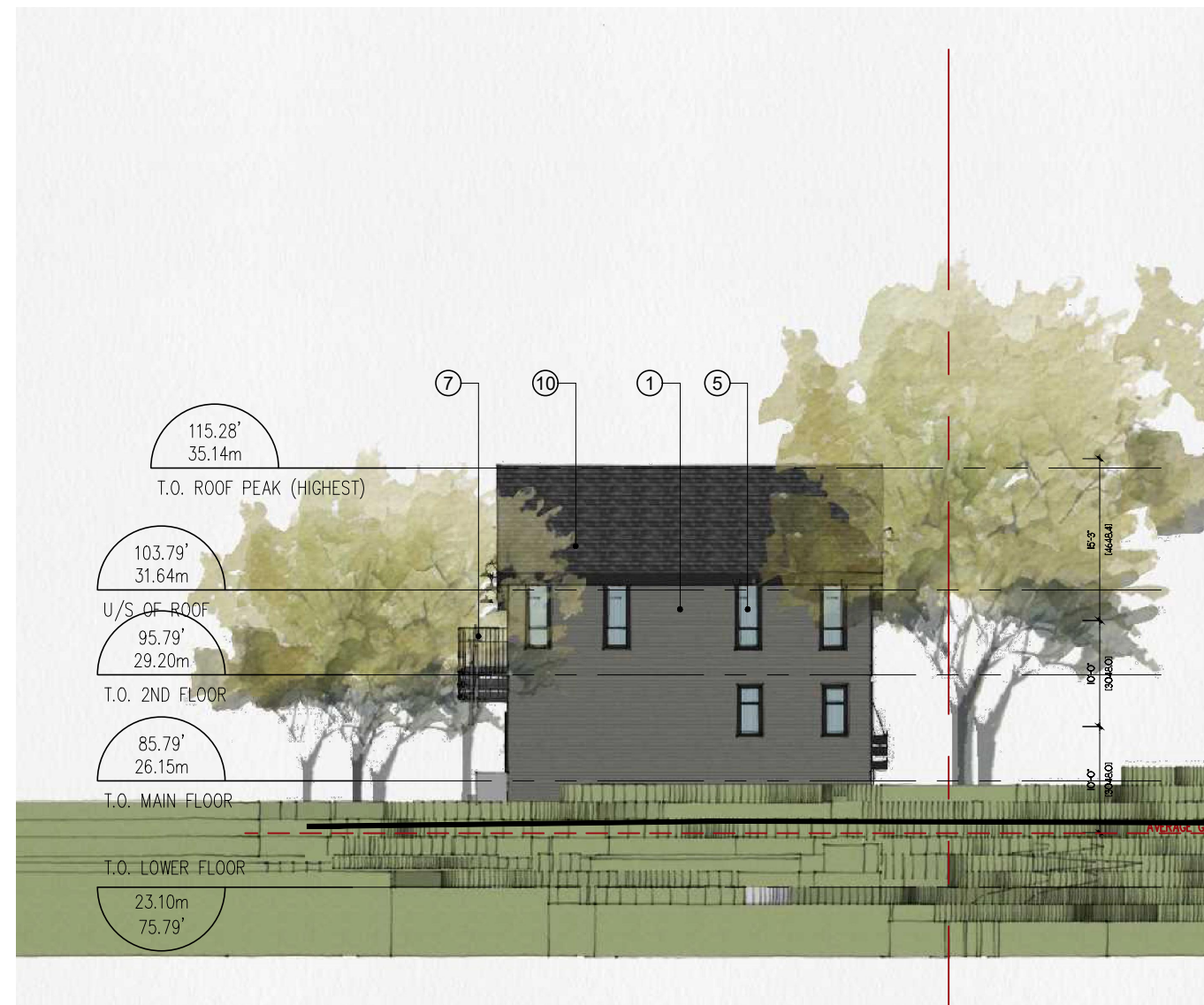
2 REAR ELEVATION (EAST)

A301 1/16"=1'-0"



3 BUILDING B - SOUTH

A301 1/16"=1'-0"



4 BUILDING B - NORTH

A301 1/16"=1'-0"



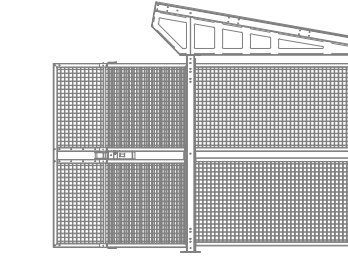
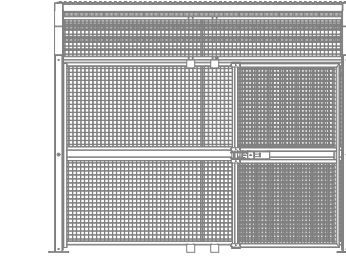
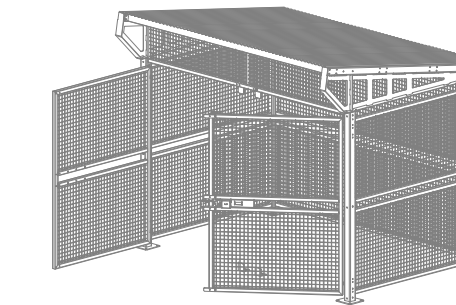
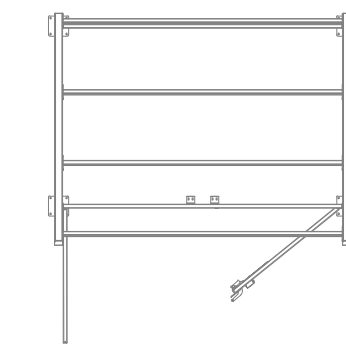
5 BUILDING A - NORTH

A301 1/16"=1'-0"



6 BUILDING A - SOUTH

A301 1/16"=1'-0"

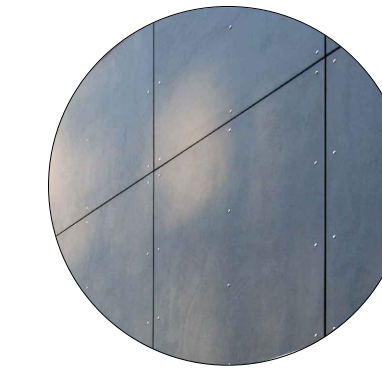


7 PROPOSED BIKE SHELTER

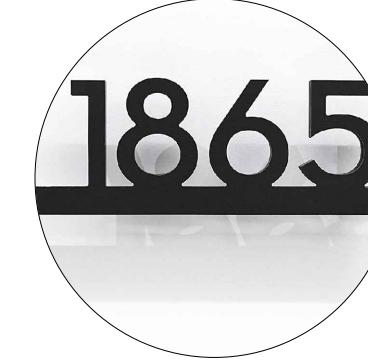
A301 1/8"=1'-0"



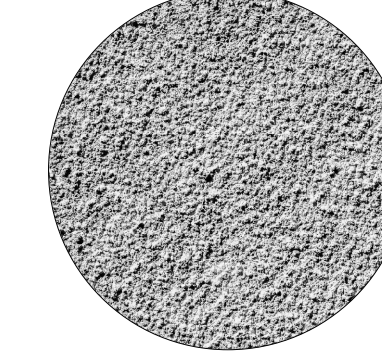
FRONT DOOR



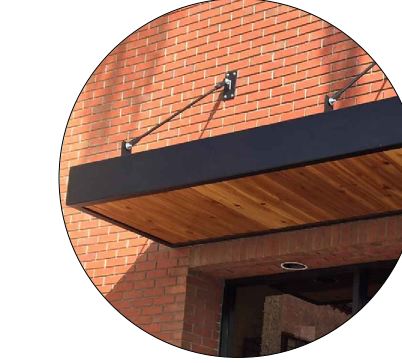
JAMES HARDIE
HARDIE REVEAL BOARD
CHARCOAL



METAL NUMBERS
BLACK



ACRYLIC STUCCO
GRAY



METAL HANGER RODS

MATERIALS LEGEND

- 1 HARDIE LAP SIDING - LIGHT GRAY
- 2 HARDIE BOARD & BATTEN - GRAY
- 3 STUCCO - GRAY
- 4 HARDIE REVEAL PANEL - CHARCOAL
- 5 VINYL WINDOW - BLACK
- 6 VINYL ENTRANCE DOOR - YELLOW
- 7 METAL RAILING
- 8 METAL EXTRUDED NUMBERS
- 9 METAL FASCIA - BLACK
- 10 ASPHALT SHINGLES

NORTH ARROW:

OWNER/CLIENT:



GENERAL NOTES:

NO.	ISSUE	Y/M/D
1	ISSUED FOR RE-ZONING	5/10/23

1 ISSUED FOR RE-ZONING 5/10/23

SEAL:

PROJECT NAME:
**EDWARD WILSON
TOWNHOMES**

PROJECT ADDRESS:

DRAWING TITLE:
ELEVATIONS

PROJECT NO: ##### DRAWN BY: XV

SCALE: AS NOTED REVIEW BY: ##

DWG NO: A301



1 VIEW OF FRONT ELEVATION (WEST)

A401 NTS



3 VIEW OF FRONT ELEVATION (WEST)

A401 NTS



2 VIEW OF REAR ELEVATION (EAST)

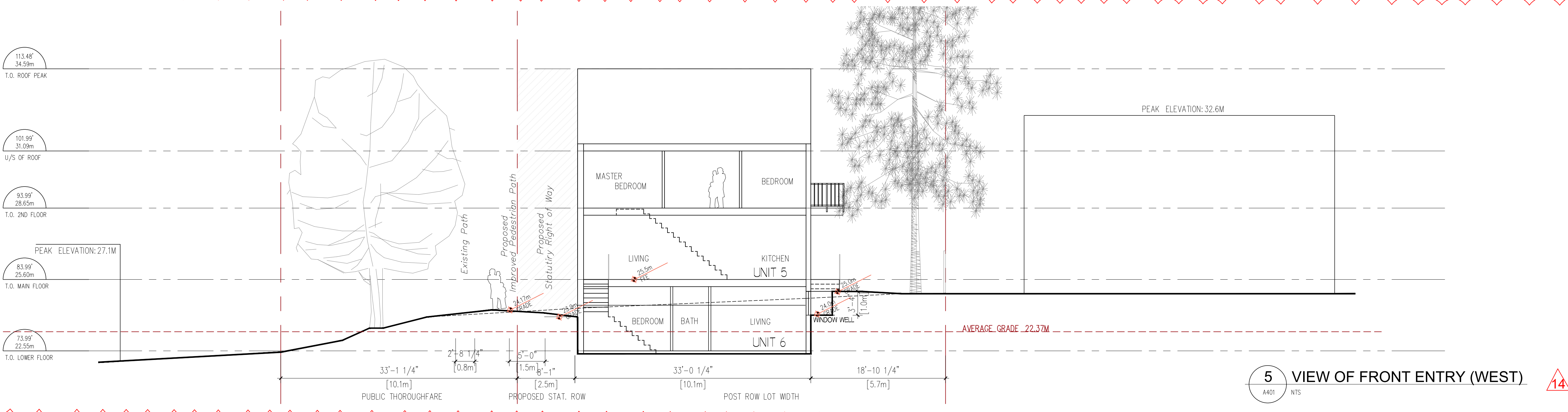
A401 NTS



4 VIEW OF FRONT ENTRY (WEST)

A401 NTS

13



5 VIEW OF FRONT ENTRY (WEST)

A401 NTS

14

NORTH ARROW:

OWNER/CLIENT:



GENERAL NOTES:

1 ISSUED FOR RE-ZONING 5/8/23
 NO. ISSUE Y/M/D
 SEAL:

PROJECT NAME:
EDWARD WILSON TOWNHOMES

PROJECT ADDRESS:

DRAWING TITLE:
3D VIEWS & SECTION

PROJECT NO: DRAWN BY: XV
 SCALE: AS NOTED REVIEW BY: XV
 DWG NO: **A401**

488 WILSON STREET

422 Edward St - 488 Wilson St, Victoria, BC

SHEET LIST

L0.00 COVER PAGE

L0.01 TREE MANAGEMENT PLAN

L1.01 SITE PLAN

L2.01 TREE PLANTING PLAN

L2.02 PLANTING PLAN

L3.01 SOIL DEPTH PLAN

L4.01 SECTIONS

L5.01 DETAILS

GENERAL LANDSCAPE NOTES

STANDARDS:

1. ALL WORK ON MUNICIPAL PROPERTY TO CONFORM TO THE CITY OF VICTORIA DEVELOPMENT STANDARDS
2. ALL WORK ON THE DEVELOPMENT SITE TO CONFORM TO THE BC LANDSCAPE STANDARD (BCLS) AND THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS PLATINUM EDITION (MMCD) AND MMCD SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS, UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
3. IN CASES OF CONFLICT BETWEEN THE BCLS AND THE MMCD STANDARDS, THE MORE STRINGENT REQUIREMENT WILL TAKE PRECEDENCE.
4. LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH MUNICIPAL DEVELOPMENT STANDARDS AND BE IN POSSESSION OF THE BCLS AND MMCD MANUALS AND SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS.
5. GROWING MEDIUM AND GROWING MEDIUM TESTING TO MMCD AND BCLS SECTION 6.
6. IRRIGATION TO IIABC AND BCLS STANDARDS.

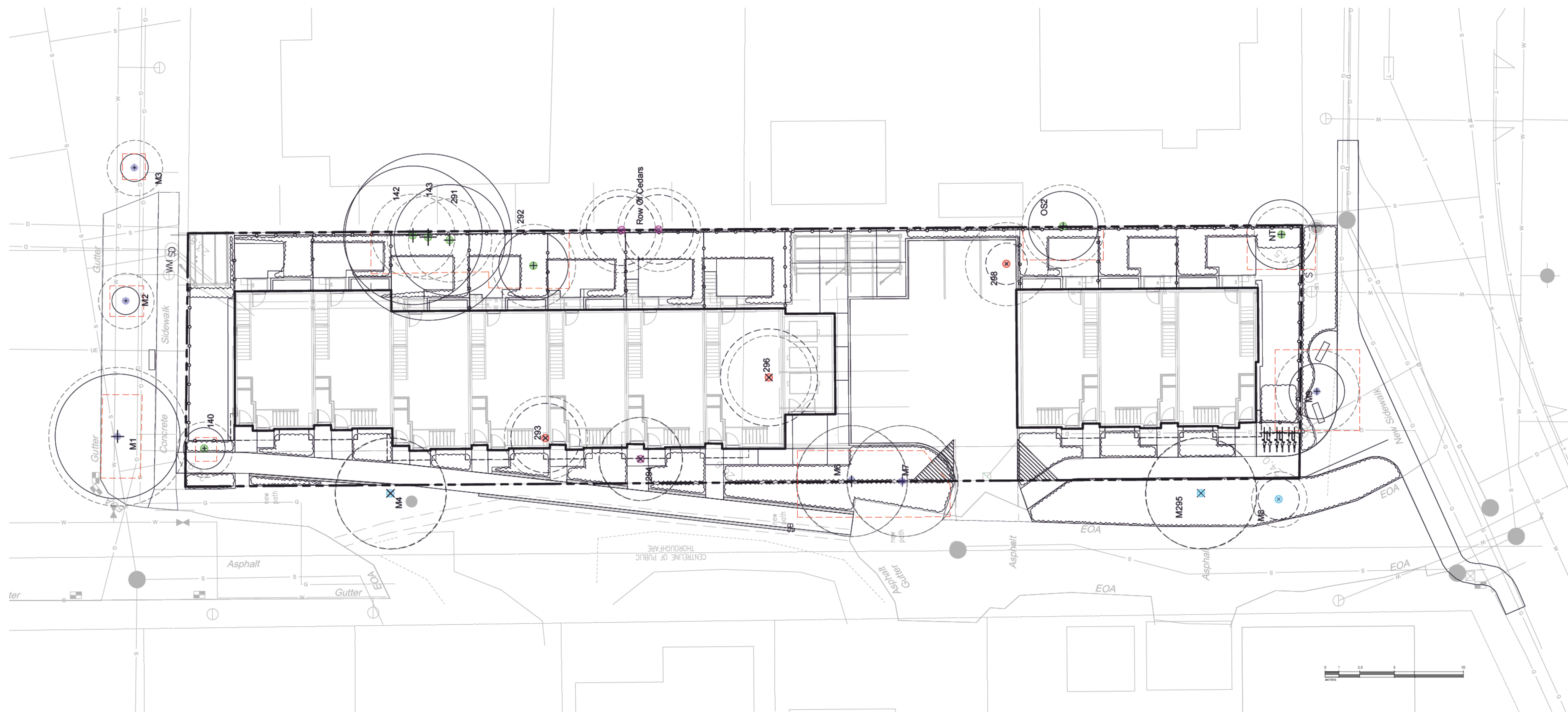


OWNER/CLIENT:
Logic Homes

PROJECT NAME:
488 Wilson Street

PROJECT ADDRESS:
**422 Edward St -
488 Wilson St
Victoria, BC**

DESIGNED BY: BIANCA BOOLEY
DRAWN BY: G. MORAZZANI / L. BLANCO



LEGEND

- PROTECTED TREE FOR REMOVAL
- PROTECTED TREE TO RETAIN
- NON-PROTECTED TREE FOR REMOVAL
- MUNICIPAL TREE TO BE RETAINED
- MUNICIPAL TREE TO BE REMOVED

CRITICAL ROOT ZONE
• MEASURED IN RADIUS

• TREE TO BE RETAINED
• SHOWN AS CANOPY SPREAD IN DIAMETER

• TREE TO BE REMOVED
• SHOWN AS CANOPY SPREAD IN DIAMETER

• TREE PROTECTION FENCING
• TO OUTSIDE OF DRUPLINE WHERE POSSIBLE (AS SHOWN)
• TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION
• TO MUNICIPAL STANDARD

Table 1. Details of Trees on survey plans.

Tag / ID #	Species	Trunk Diameter (cm)	Bylaw status M Y N	Protected Root Zone * 1	Canopy spread	Condition	Retention suitability	Remove	Comments
M1	Black Locust	75	M	5	9	G	G	N	
M2	Red Oak	6	M	2	2	P	G	N	Many past wound sites on trunk
M3	Honey Locust	5	M	2	1	G	G	N	
M4	Horse chestnut	47	M	4	8	G	P	Y	Too close to path and buildings
M6	Horse chestnut	~62	M	4	8	G	G	N	Heavy rvy on trunk. Diameter estimated
M7	Horse chestnut	55	M	4	8	G	G	N	
M295	Horse chestnut	76	M	4	8	G	G	Y	Old pruning wounds, reasonable condition. City required pathway to close to retain tree.
M8	Black Locust	8	M	2	3	G	G	Y	City required pathway to close to retain tree.
M9	Red Horse chestnut	20	M	3	4	G	G	N	
Row of cedars	Western red-cedar	16,10,9,10, 13,18,10, 20/20	N	3	1	F	G	Y	All trees located beyond wooden fence. 9 stems, 8 trees. City staff (Simon Vis) advise none are protected and need not be considered in tree count.
OS2	Cherry	35	Y	3		F	P	N	Off site beyond fence, almost dead.
NT1	Holly		Y	2	5	G	G	N	Multiple small stems to form one large bushy tree
140	Dogwood	8	Y	2	3	G	G	N	Assumed to be a native species. Fair. Crown dieback.
142	Douglas-fir	41	Y	3	10	G	G	N	Reasonable condition, minor deadwood.
143	Douglas-fir	49	Y	3	12	G	G	N	Reasonable condition, minor deadwood.
291	Douglas-fir	33	Y	3	8	G	G	N	Topped in the past, reasonable condition, minor deadwood.
292	Pear	39	Y	3	5	F	G	N	Heavily pruned, regrown. Fair. Crown dieback.
293	Cherry	48/31	Y	3	5	P	P	Y	Very poor condition—almost dead. In footprint.
294	Norway Maple	19	N	3	6	G	G	Y	In footprint.
296	Linden	30	Y	3	7	G	G	Y	Some included bark at stem union. In footprint.
298	Pear	14/13/12	Y	3	3	P	P	Y	Poor condition. In footprint.

M = Municipal tree so assumed to be protected. NT=no tag. OS= off site. Rows in colour are trees to be removed.

SUPPLEMENTARY STANDARD DETAIL DRAWINGS

TREE PROTECTION FENCING

- FENCE WILL BE CONSTRUCTED USING 38 mm X 88mm WOOD FRAME. TOP, BOTTOM AND POSTS * USE ORANGE SNOW-FENCING MESH AND SECURE THE WOOD FRAME WITH ZIP TIES OR GALVANIZED STAPLES.
- ATTACH A 500mm X 500mm SIGN WITH THE FOLLOWING WORDING: WARNING- TREE PROTECTION AREA. THIS SIGN MUST BE AFFIXED ON EVERY FENCE OR AT LEAST EVERY 10 LINEAR METERS.

* IN ROCKY AREAS METAL POSTS (T-BAR OR REBAR) DRILLED INTO ROCK WILL BE ACCEPTED

TREE PROTECTION FENCING AND SIGNAGE DETAIL **REVISIONS** **DRAWING NUMBER: SD P1**

NO.	ISSUE	DATE
3	ISSUED FOR REZONING/DP	10/10/2023
2	ISSUED FOR REZONING	9/5/2023
1	ISSUED FOR DP	12/13/2022
	ISSUE	MM/DD/YYYY

SEAL

NORTH ARROW

DRAWING TITLE:
TREE MANAGEMENT PLAN

DWG NO:
L0.01

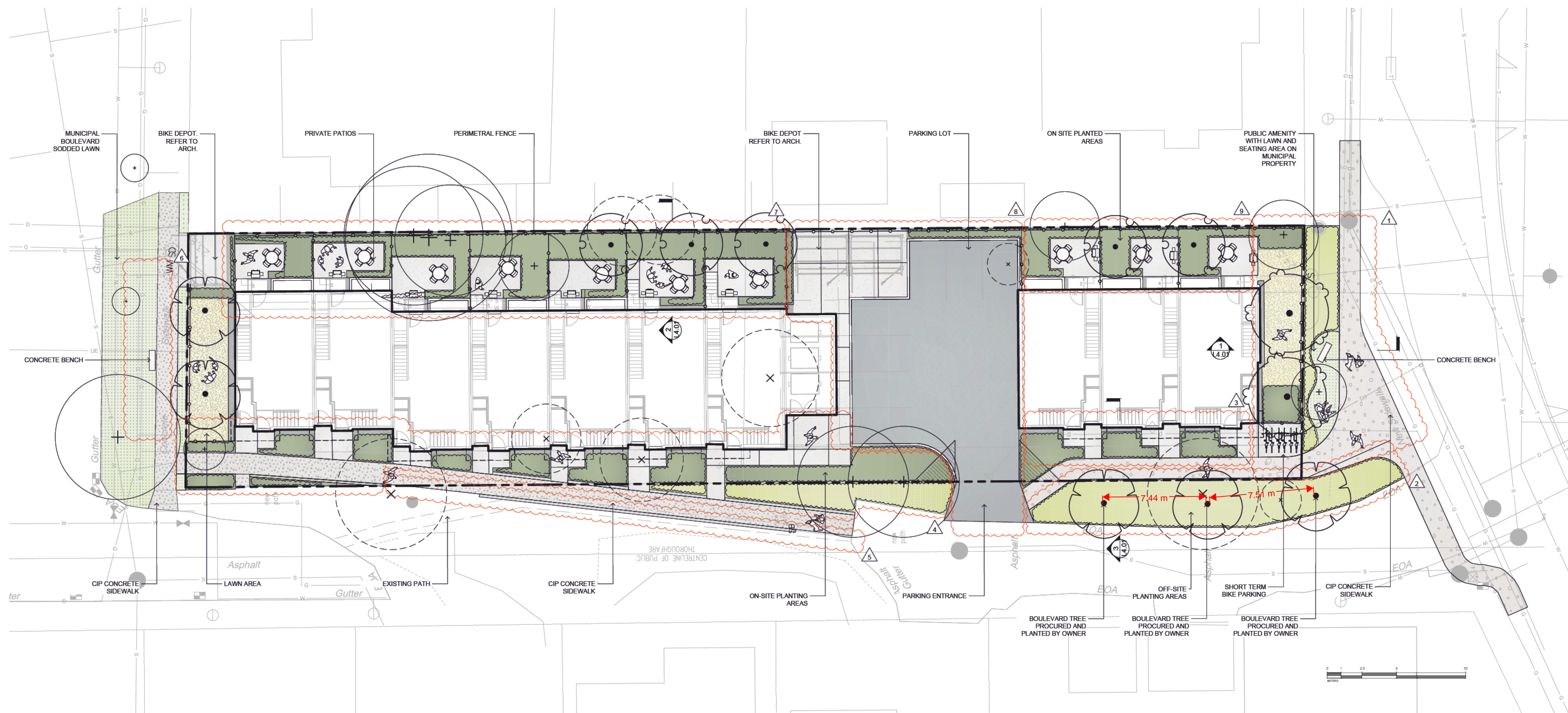
SCALE: 1:150



1608 Camosun Street, Victoria BC V8T 3E6
 Info@biophilicollective.ca 250 590 1156

OWNER/CLIENT:
Logic Homes
 PROJECT NAME:
488 Wilson Street
 PROJECT ADDRESS:
**422 Edward St -
 488 Wilson St
 Victoria, BC**

DESIGNED BY: BIANCA BOOLEY
 DRAWN BY: G. MORAZZANI / L. BLANCO



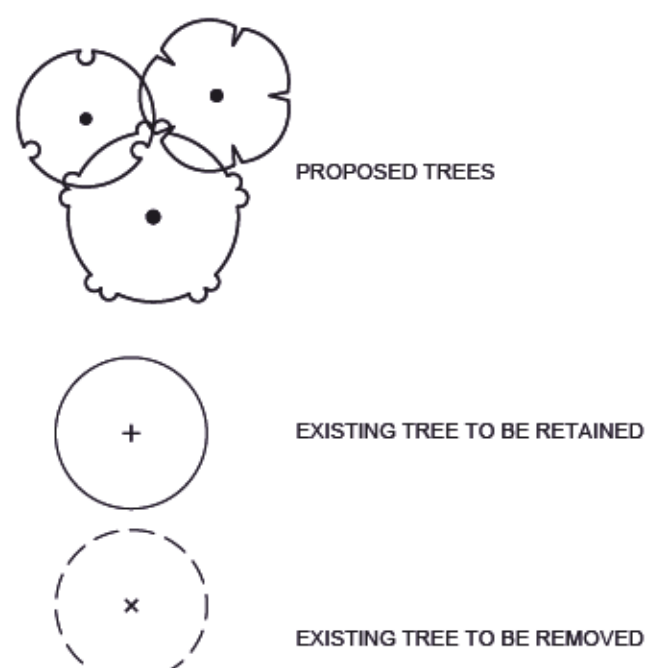
GENERAL LEGEND

- PROPERTY LINE
- - -** OVERHANG

MATERIALS SCHEDULE

SYMBOL	DESCRIPTION	QTY
	Paving type 1: CIP concrete -Pedestrian grade -Smooth finish	266.4 m ²
	Paving type 2: Asphalt -See Civil	187.6 m ²
	On-site planted areas -Refer to planting plan	261.0 m ²
	Off-site planted areas -Refer to planting plan	110.7 m ²
	Municipal sidewalk -To city of Victoria Standards	224.7 m ²
	Municipal boulevard -Sod	111.0 m ²
	Maintenance strip -Pebble mulch -Color: salt and pepper	20.3 m ²
	Sod -Refer to planting plan	59.9 m ²

PLANTING LEGEND



CITY OF VICTORIA - IRRIGATION

- BOULEVARD IRRIGATION**
- MUNICIPAL BOULEVARD TO BE IRRIGATED BY A SEPARATE SYSTEM FROM A SEPARATE CITY SOURCE CONFORMING TO THE CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C TO BYLAW 12-042, SUBDIVISION BYLAW.
- IRRIGATION DESIGN DRAWINGS MUST BE SENT TO PARKS FOR REVIEW 30 DAYS PRIOR TO INSTALLATION.
- DRAWINGS SHOULD INDICATE ALL COMPONENTS, MODELS AND MATERIALS FROM WATER SUPPLY TO IRRIGATION HEADS.
- THE CITY WILL REQUIRE 4 INSPECTIONS FOR IRRIGATION INSTALLATION: 1) SLEEPING, 2) OPEN TRENCH MAINLINE AND PRESSURE TEST, 3) OPEN TRENCH AND LATERAL LINE, 4) OPERATION AND COVERAGE, AND BACKFLOW PREVENTER ASSEMBLY TEST REPORT.

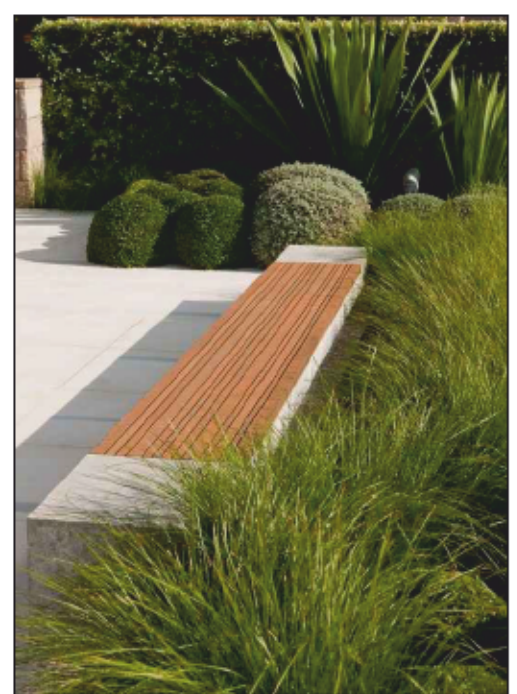
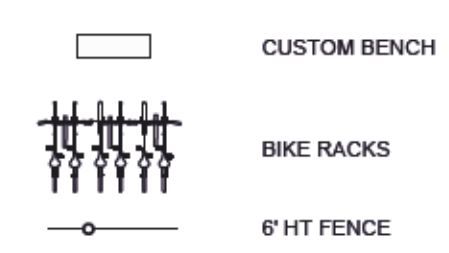
ON-SITE IRRIGATION

- IRRIGATION**
- ALL PLANTED LANDSCAPE AREAS TO BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM DESIGNED BY AN IABC CERTIFIED IRRIGATION DESIGNER AND INSTALLED TO IABC STANDARDS.
- WATER WISE MP ROTATOR SPRAY HEADS
- BACKFLOW PREVENTION DEVICE AND WINTERIZATION BLOW OUT
- WIFI TIMER

CITY OF VICTORIA - BOULEVARD TREE PLANTING

- PROPOSED BOULEVARD TREES**
- TREE SPECIES TO BE COORDINATED WITH PARKS PRIOR TO PLANTING
- TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 5-8 cm DIAMETER, CALIPER MEASURED 15 cm ABOVE GROUND, WELL BALANCED CROWN WITH BRANCHING STARTING AT 1.8m-2.5m ABOVE GROUND
- TREES TO BE PLANTED AS PER PLANTING OF TREES, SHRUBS AND GROUND COVERS (S2 93 01) MMCO 2009 AND CITY OF VICTORIA SUPPLEMENTAL DRAWINGS (S0 P3 AND S0 P4)
- PARKS WILL REQUIRE 3 INSPECTIONS FOR TREE PLANTING: 1) INSPECTION OF SOIL AND PLANTING AREA, 2) INSPECTION OF STOCK UPON DELIVERY, 3) INSPECTION OF INSTALLED TREE WITH MULCH AND STAKING. TRUNK FLARE MUST BE VISIBLE AND PLANTED AT OR SLIGHTLY ABOVE GRADE UPON INSPECTION.
- THE APPLICANT MUST MAINTAIN THE TREE IN GOOD HEALTH AND STRUCTURAL CONDITION FOR 1 YEAR FROM THE SUBSTANTIAL COMPLETION TO BE ELIGIBLE FOR DEPOSIT RETURN.

FURNISHING SCHEDULE



CUSTOM BENCH



BOSTON IVY



RED MAPLE



PIN OAK



PACIFIC DOGWOOD

NO.	ISSUE	DATE
3	ISSUED FOR REZONING/DP	10/10/2023
2	ISSUED FOR REZONING	9/5/2023
1	ISSUED FOR DP	12/13/2022

SEAL



DRAWING TITLE:
LANDSCAPE SITE PLAN

DWG NO:

SCALE: 1:150 **L1.01**

OWNER/CLIENT:

Logic Homes

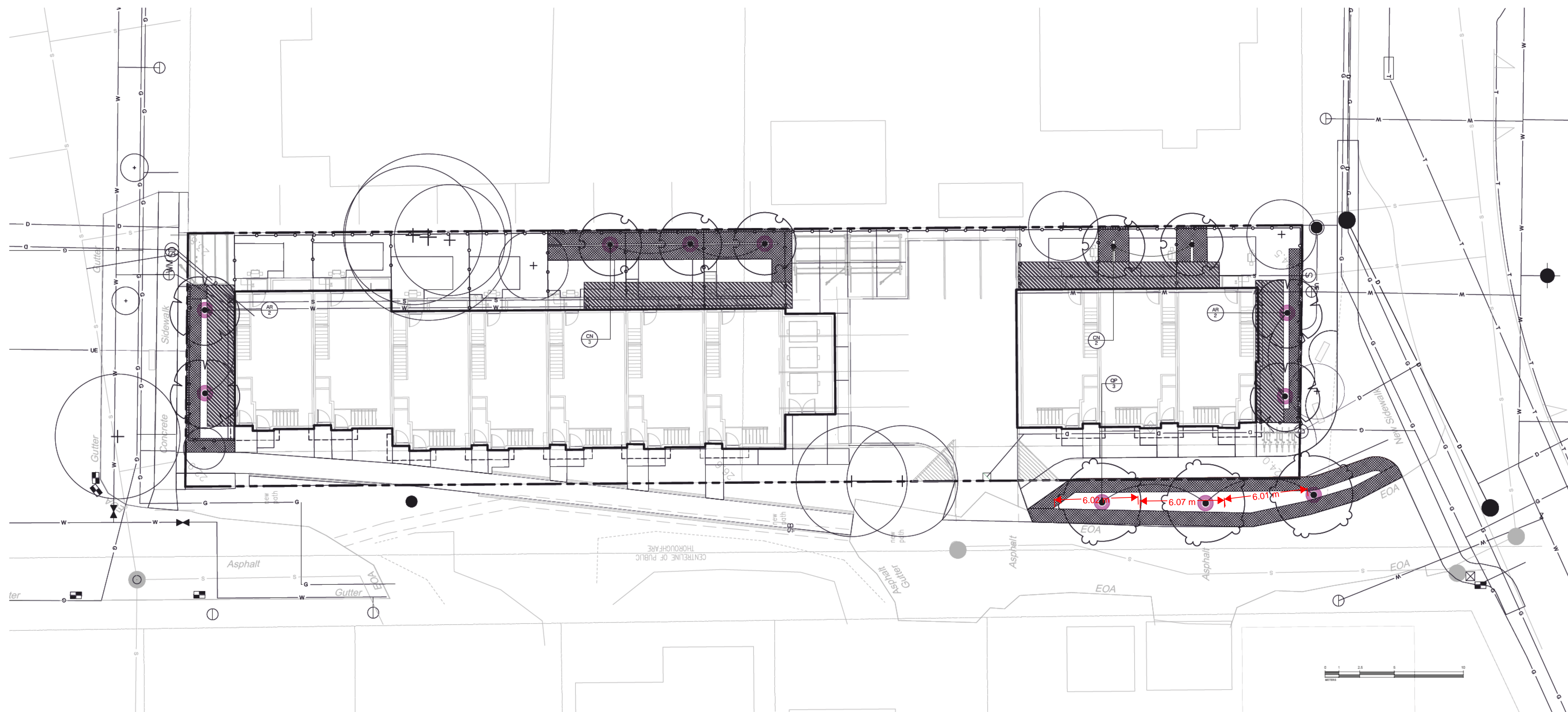
PROJECT NAME:

488 Wilson Street

PROJECT ADDRESS:

**422 Edward St -
488 Wilson St
Victoria, BC**

DESIGNED BY: BIANCA BOOLEY
DRAWN BY: G. MORAZZANI / L. BLANCO



GENERAL LEGEND

PROPERTY LINE



1 m. DISTANCE FROM ANY PROPERTY LINE OF A LOT, ABOVE AND UNDERGROUND UTILITIES, DRIVEWAYS AND OTHER PAVED SURFACES

OVERHANG






2 M. DISTANCE FROM BUILDING FOUNDATION WALL



REPLACEMENT TREES

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	AR	Acer rubrum 'Armstrong' / Armstrong Red Maple	60mm Cal.	4	B&B, Well Established
	CN	Cornus nuttallii / Pacific Dogwood	60mm Cal.	5	B&B, Well Established
	QP	Quercus palustris / Pin Oak	60mm Cal.	3	B&B, Well Established

BOULEVARD TREES INSPECTION NOTES

- THE PROPOSED BOULEVARD TREES MUST COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW AND THE CURRENT VERSION OF THE CANADIAN LANDSCAPE STANDARD. PLANTING DETAILS CAN BE FOUND IN SCHEDULE B3-4. THE FOLLOWING TREE INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C. TO SCHEDULE AN INSPECTION PLEASE CONTACT ROB HUGHES, RHUGHES@VICTORIA.CA AND ALSO COPY TREEPERMITS@VICTORIA.CA 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME.
 - TREE PLANTING INSPECTIONS
 - EXCAVATED TREE PITS, SOIL CELLS, ROOT BARRIERS
 - TREES PRIOR TO PLANTING. (PARKS STAFF CAN INSPECT TREES PRIOR TO SHIPPING AT LOCAL NURSERIES. PHOTOS CAN BE PROVIDED FROM UP-ISLAND AND MAINLAND NURSERIES. TREE MUST MEET THE SPEC UPON DELIVERY.)
 - COMPLETED PLANTING - TREE PLANTING, STAKES ETC.

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NO.	ISSUE	MMDDYY

SEAL

NORTH ARROW



DRAWING TITLE:

TREE PLANTING PLAN

DWG NO:

L2.01

SCALE: 1:150

OWNER/CLIENT:

Logic Homes

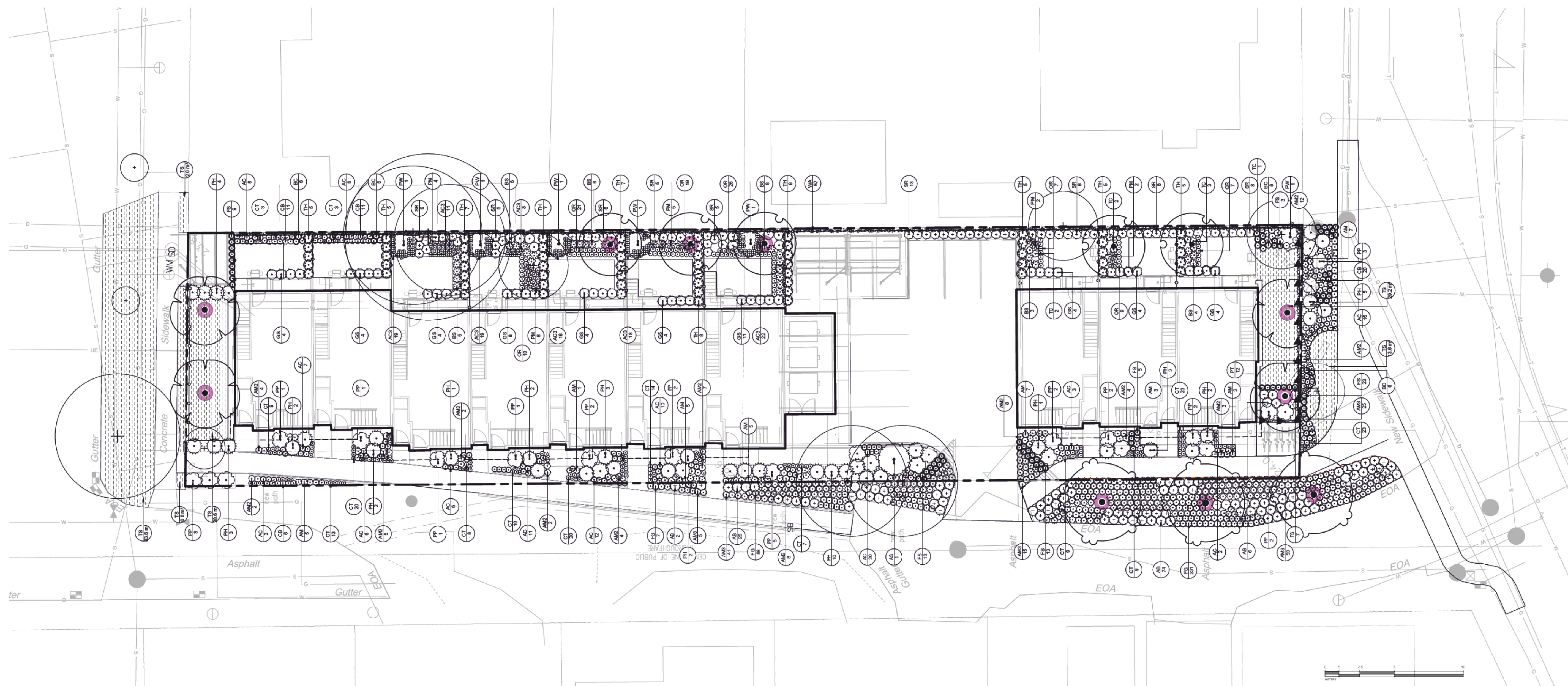
PROJECT NAME:

488 Wilson Street

PROJECT ADDRESS:

**422 Edward St -
488 Wilson St
Victoria, BC**

DESIGNED BY: BIANCA BOOLEY
DRAWN BY: G. MORAZZANI / L. BLANCO






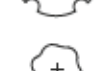







GENERAL LEGEND

——— PROPERTY LINE

- - - - - OVERHANG

 REPLACEMENT TREES

PLANT SCHEDULE

SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	AS	Amelanchier alnifolia / Serviceberry	#3 POT	1	Well Established
	PW	Philadelphus lewisii / Wild Mockorange	#2 POT	6	Well Established
	PP	Pinus mugo pumilio / Dwarf Mugo Pine	#2 POT	27	Well Established
	SR	Skimmia japonica 'Rubella' / Rubella Skimmia	#1 POT	67	Well Established
	TH	Taxus x media 'Hicksii' / Hicks Anglo-Japanese Yew	#2 POT	62	Well Established
FERNS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	BS	Blechnum spicant / Deer Fern	#2 POT	32	Well Established
	PM	Polystichum munitum / Western Sword Fern	#2 POT	19	Well Established
GRASSES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	BC	Bromus carinatus / California Brome	#1 POT	26	Well Established
	FG	Festuca glauca / Blue Fesouie	#1 POT	306	Well Established
	FS	Festuca idahoensis roemerii / Roemer's Fesouie	#1 POT	73	Well Established
	PH	Panicum virgatum 'Heavy Metal' / Heavy Metal Switch Grass	#2 POT	39	Well Established

PERENNIALS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	AM	Achillea millefolium / Common Yarrow	#1 POT	35	Well Established
	AC	Allium oernuum / Nodding Onion	#1 POT	108	Well Established
	AM2	Anaphalis margaritacea / Pearly Everlasting	#1 POT	68	Well Established
	AB	Arctostaphylos edmundsii 'Bert Johnson' / Bert Johnson Little Sur Manzanita	#1 POT	108	Well Established
	AM3	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Kinnikinnick	#1 POT	139	Well Established
	AC3	Asarum caudatum / Wild Ginger	#1 POT	115	Well Established
	CT	Calluna vulgaris 'Melanie' / Melanie Heather	#1 POT	171	Well Established
	CB	Camassia quamash 'Blue Melody' / Blue Melody Small Camas	#1 POT	48	Well Established
	GS	Gautheria shallon / Salal	#2 POT	51	Well Established
	OR	Oxalis oregana / Redwood Sorrel	#1 POT	99	Well Established
	TC	Tiarella cordifolia / Foamflower	#1 POT	8	Well Established
VINE/ESPALIER	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	PT	Parthenocissus tricuspidata / Boston Ivy	#2 POT	12	Well Established
	WA	Wisteria floribunda 'Alba' / Japanese Wisteria	#2 POT	52	Well Established
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	QTY	REMARKS	
	TS	Turf Sod / Drought Tolerant Fesouie Blend	167.8 m ²		

PLANTING PLAN NOTES

- ALL PLANT MATERIAL TO BCSLA STANDARDS.
- THE SEARCH AREA FOR PLANT MATERIAL IS THE PACIFIC NORTHWEST INCLUDING WASHINGTON, OREGON AND BRITISH COLUMBIA.
- CONFIRM PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
- ALL SOIL VOLUMES TO MEET THE STANDARDS OF THE CITY OF VICTORIA. REFER TO SOIL DEPTH PLANS FOR SOIL DEPTH REQUIREMENTS.

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	NO. ISSUE	MM/DD/YYYY

SEAL

NORTH ARROW



DRAWING TITLE:

PLANTING PLAN

DWG NO:

L2.02

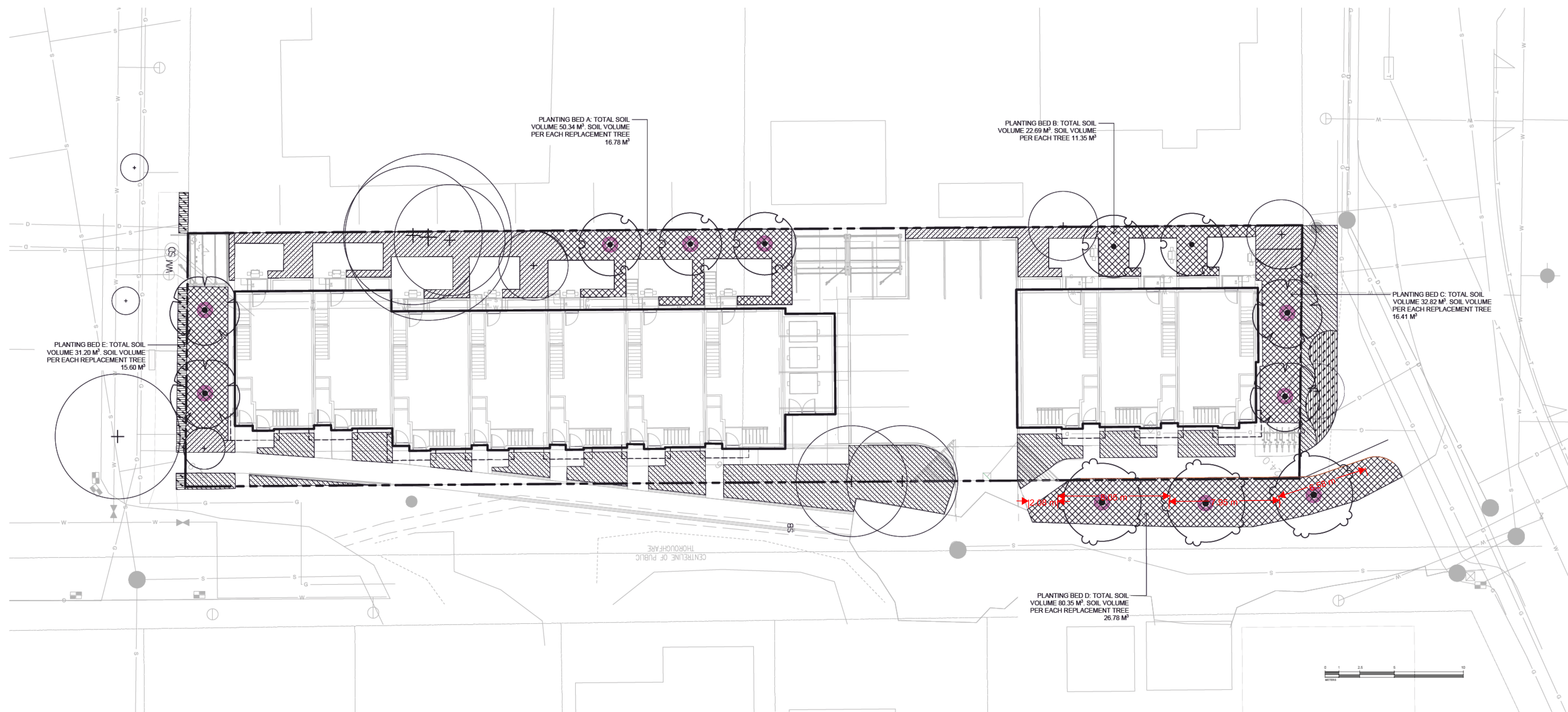
SCALE: 1:150

OWNER/CLIENT:
Logic Homes

PROJECT NAME:
488 Wilson Street

PROJECT ADDRESS:
**422 Edward St -
 488 Wilson St
 Victoria, BC**




DESIGNED BY: **BIANCA BOOLEY**
 DRAWN BY: **G. MORAZZANI / L. BLANCO**



GENERAL LEGEND

-  PROPERTY LINE
-  OVERHANG

SOIL DEPTH SCHEDULE

SYMBOL	DESCRIPTION	QTY
	1000 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	217.4 m ²
	450 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	239.3 m ²
	150 mm Soil Depth - Growing medium to Canadian Landscape Standards - Refer to specifications	24.4 m ²

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SEAL

NORTH ARROW



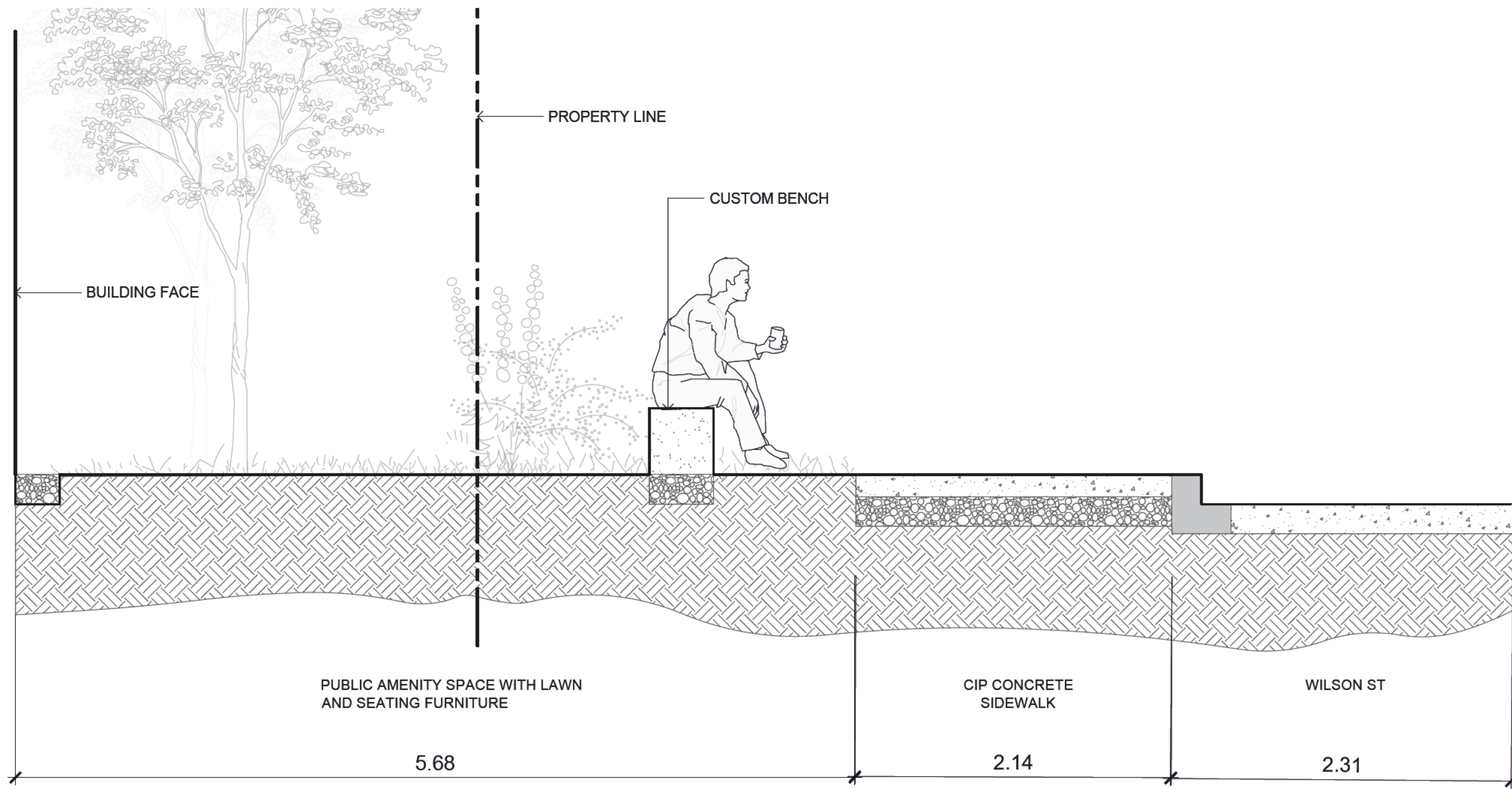
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SOIL DEPTH PLAN

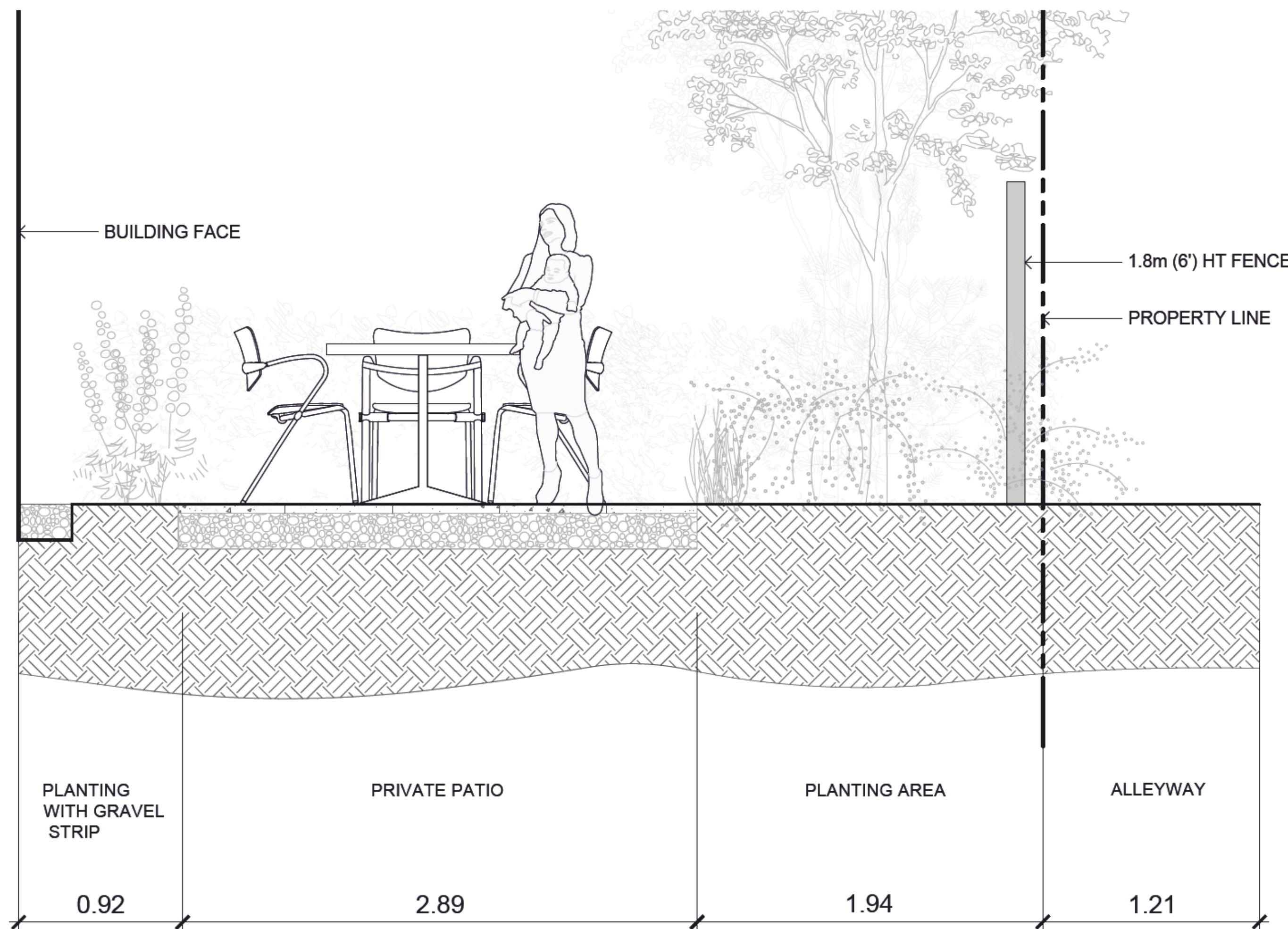
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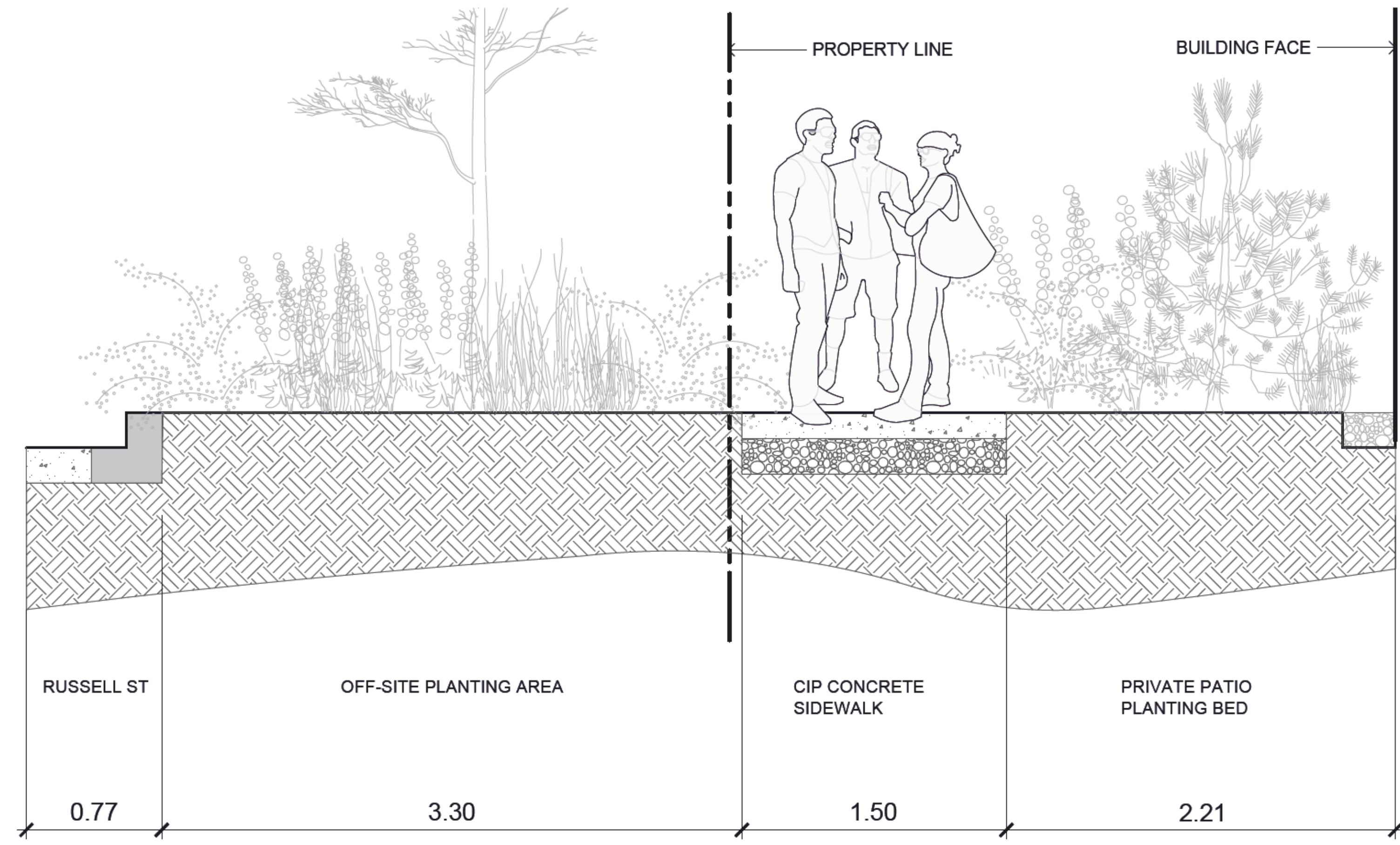
L3.01



1 SECTION: PUBLIC AMENITY WILSON ST
1:20



2 SECTION: PRIVATE PATIO WITH PERIMETER FENCE
1:20



3 SECTION: PRIVATE PATIO RUSSELL ST
1:20



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilacollective.ca 250 590 1156

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DESIGNED BY: BIANCA BOOLEY
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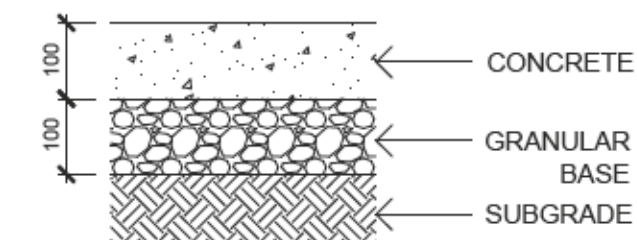
NORTH ARROW



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SECTIONS

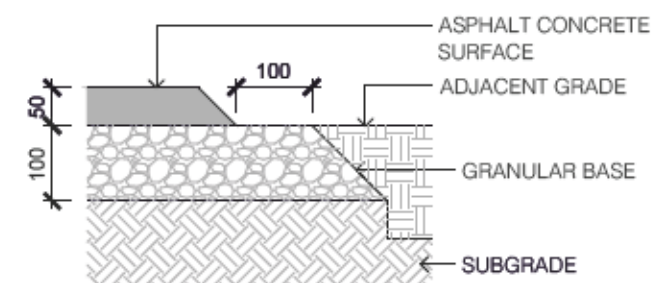
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SCALE AS SHOWN **L4.01**



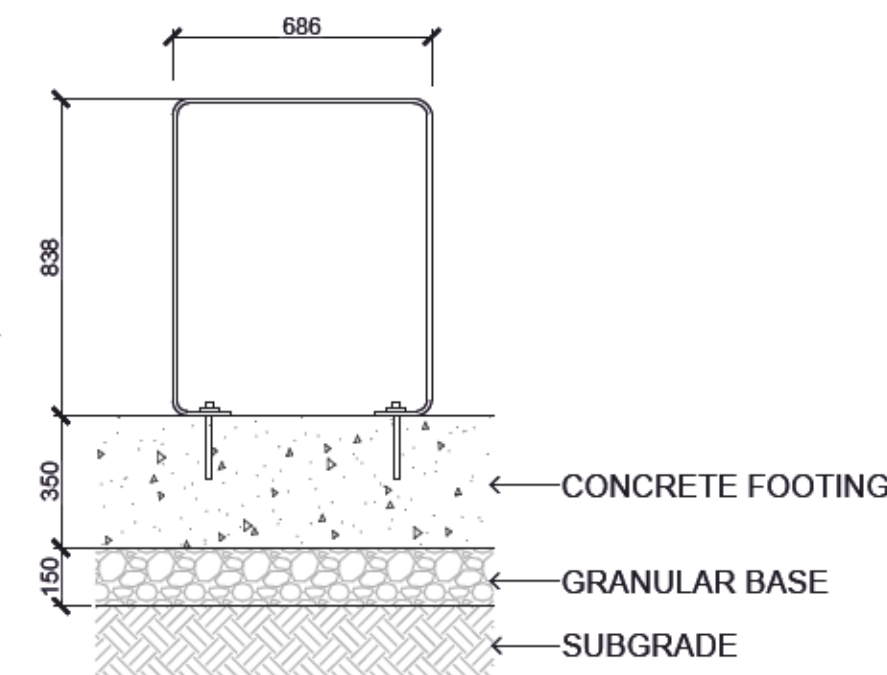
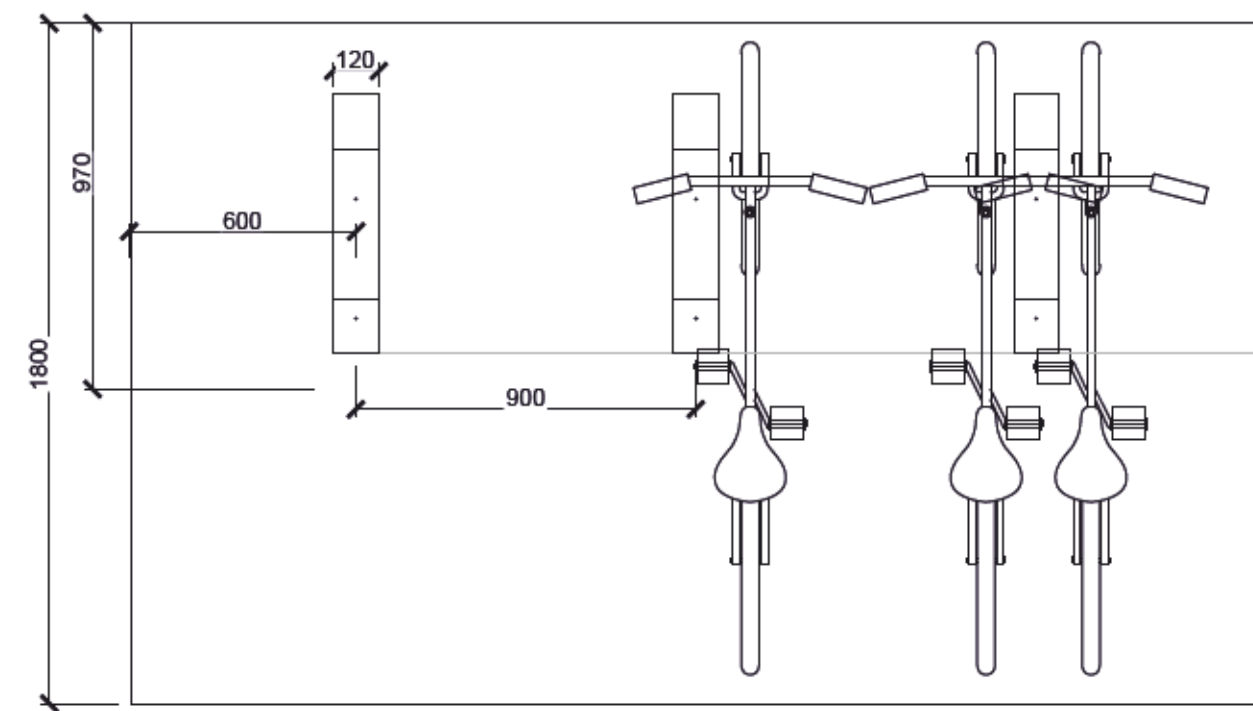
- SUBGRADE AND GRANULAR BASE TO BE COMPACTED TO MIN. 95% MPD.
- CONCRETE SIDEWALK TO MMCD/MUNICIPAL SPECIFICATIONS

1 PAVING TYPE 1: CIP CONCRETE
1:10



- SUBGRADE AND GRANULAR BASE TO BE COMPACTED TO MIN. 95% MPD.
- ASPHALT TO CIVIL OR MMCD SPECIFICATION.

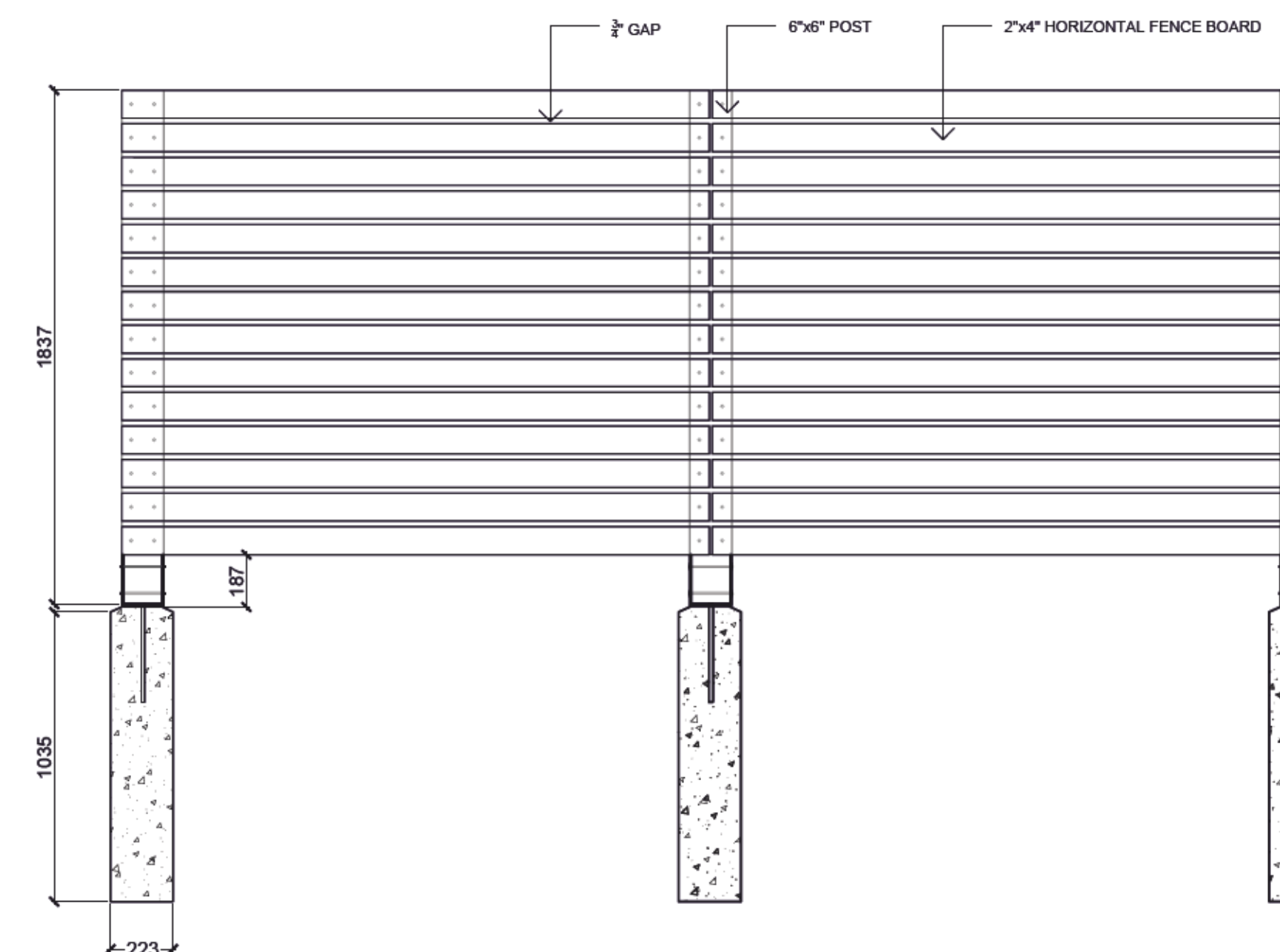
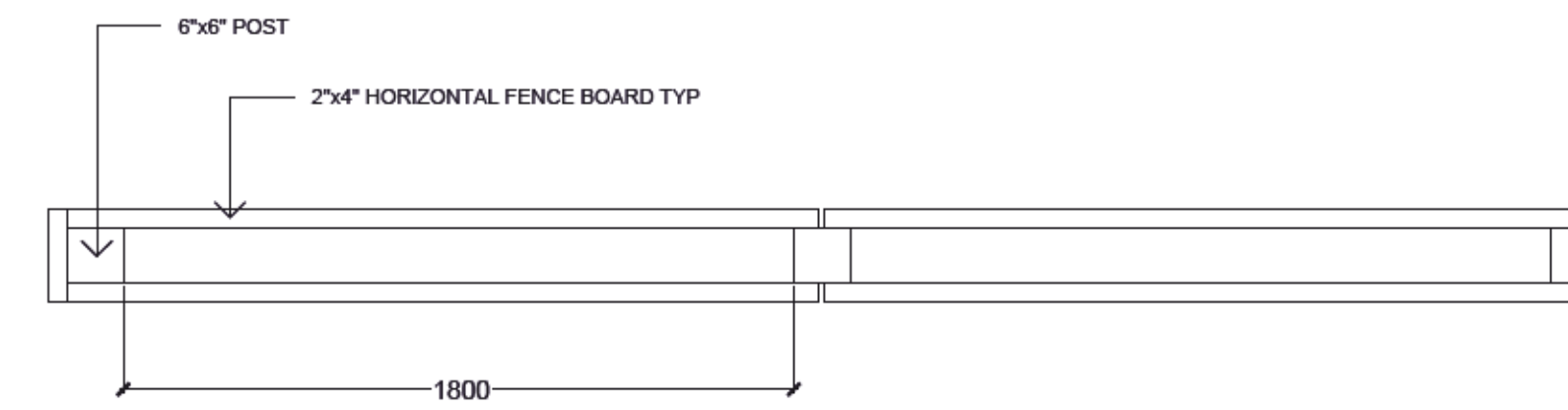
2 PAVING TYPE 2: ASPHALT
1:10



NOTES:

- BIKE RACK INCLUDES INSTALLATION OF CONCRETE FOOTINGS. ENSURE GRANULAR BASE TO BE COMPACTED TO MIN. 95% MPD. CONCRETE TO MMCD SPECIFICATIONS.
- STEEL TO BE 50/10 THICKNESS; HOT-DIPPED GALVANIZED AS PER ASTM A123 AND HAND GROUND AFTER GALVANIZATION, PRIMED WITH A ZINC-RICH EPOXY PRIMER AND POWDERCOATED WITH A POLYESTER TRY-GLICIDYLISOCYANURATE (TGIC) FINISH 4mm THICK. COLOUR: SILVER
- SURFACE MOUNT WITH TAMPERPROOF BOLTS.
- SHOP DRAWING REQUIRED FOR APPROVAL PRIOR TO FABRICATION.

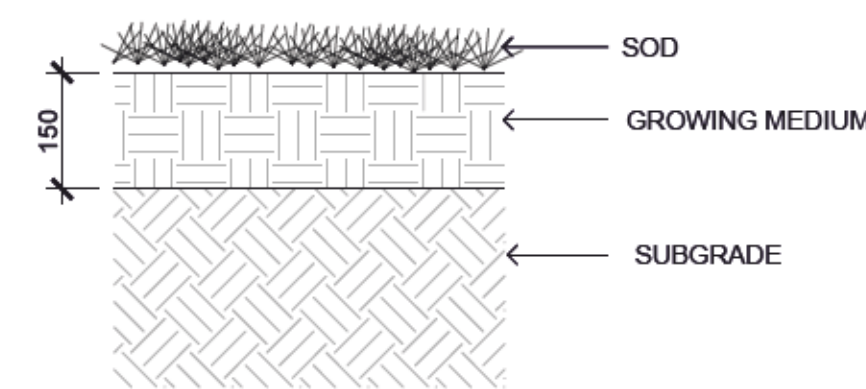
3 BIKE RACKS
1:20



NOTES:

- ALL LUMBER TO BE SMOOTH, FINISHED 4 SIDES, CLEAR GRADE SEASONED CEDAR - ALL RIPPED BOARDS TO BE PLANED SMOOTH
- ALL SCREWS TO BE POLYMER COATED EXTERIOR WOOD SCREWS
- ALL NUTS AND WASHERS TO BE SELF LOCKING STAINLESS STEEL
- POST BASE ANCHOR TO BE BLACK POWDERCOATED STEEL

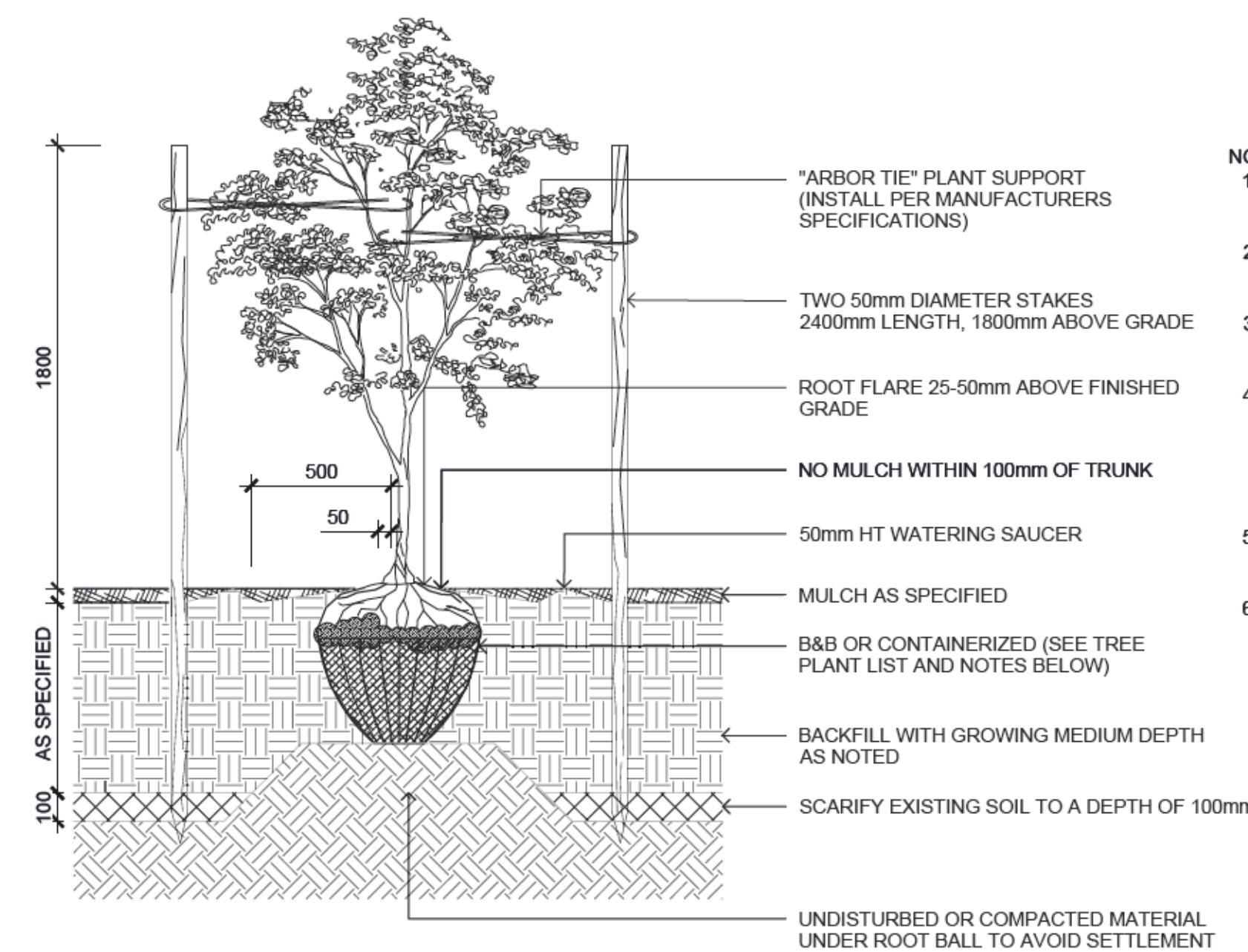
4 FENCE
1:10



NOTES:

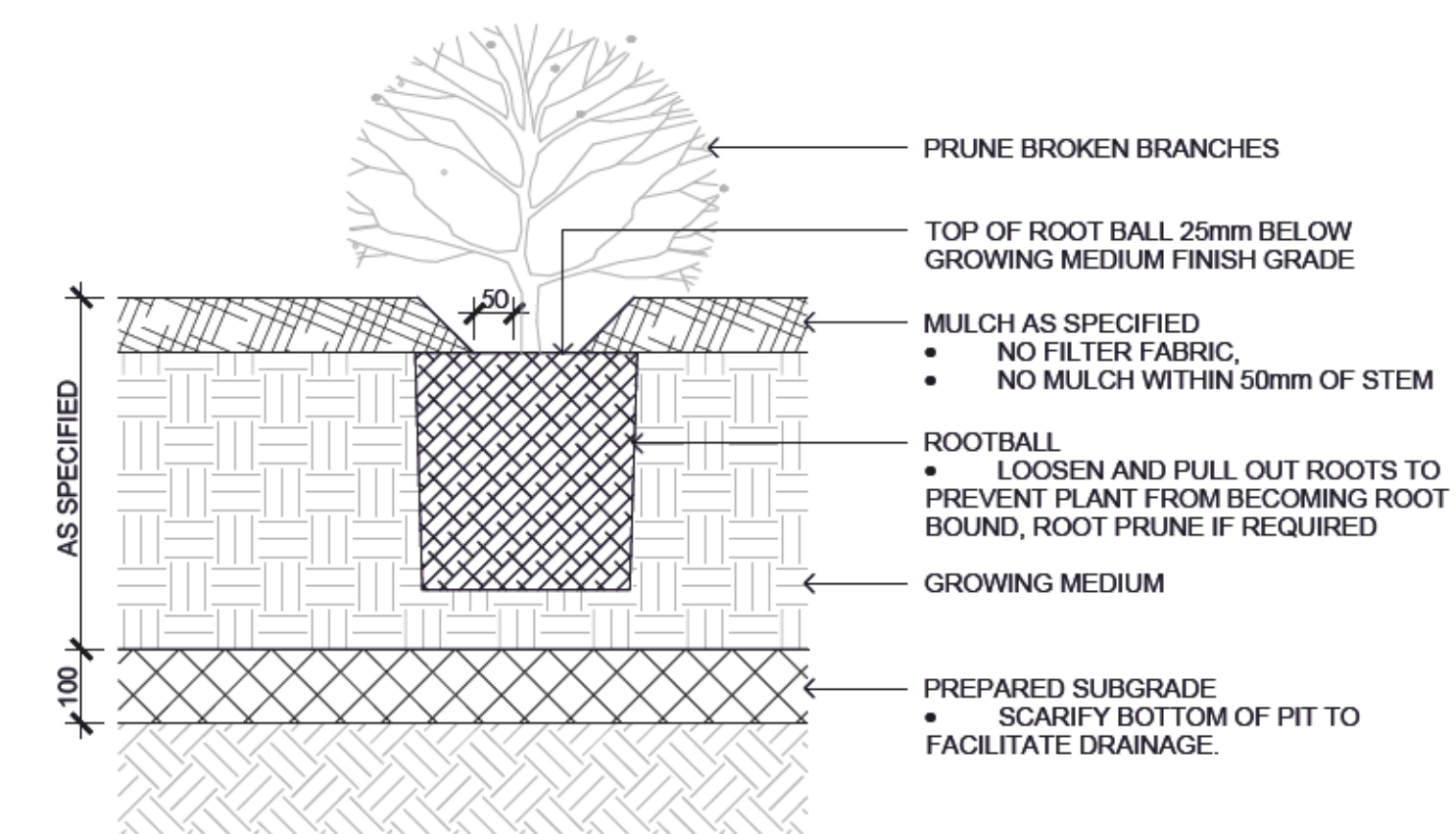
- SUBGRADE TO BE COMPACTED TO A CONSISTENT 80% MPD.

6 SOD PLANTING
1:10



NOTES:

- CONTRACTOR SHALL INSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION
- FOR B&B: REMOVE TOP 1/3 OF BURLAP AND CAGE PRIOR TO BACKFILLING WITH GROWING MEDIUM
- FOR CONTAINERS: LOOSEN ROOT STRUCTURE AND ENSURE NO CIRCLING ROOTS BY LIGHT ROOT PRUNING. INSTALL TREE TIE AT APPROX. 50% OF TREE HT. FOR CONIFERS LESS THAN 3m HT. AND 100mm BELOW LOWEST BRANCH FOR DECIDUOUS LESS THAN 100mm CAL. DO NOT REMOVE OR CONSTRAIN ANY BRANCHES.
- STANDARD TREE PLANTING DETAILS TO BE APPLIED ACCORDINGLY TO TREES PLANTED IN PLANTERS
- TREE PLANTING ON MUNICIPAL PROPERTY TO MUNICIPAL STANDARD DETAIL



NOTES:

- SHRUB PLANTING AS PER WRITTEN SPECIFICATIONS
- GROWING MEDIUM AND MULCH AS PER WRITTEN SPECIFICATIONS

8 SHRUB PLANTING
1:10

CITY OF VICTORIA

SUPPLEMENTARY STANDARD DETAIL DRAWINGS

PREPARATION NOTES:

- CONTAINER GROWN: REMOVE COMPLETELY FROM CONTAINER
- BURLAP AND ROPE: REMOVE TOP 1/3 OF COVERING
- WIRE AND BURLAP: REMOVE TOP 1/3 OF WIRE, ROPE AND BURLAP COVERING WITHOUT DAMAGING ROOTBALL. REMOVE ALL TWINE.

DO NOT PRUNE LEADER. PRUNE ONLY DEAD OR DAMAGED BRANCHES.

2-2 1/2" (64mm) ROUND PRESSURE TREATED STAKES @ 8' 0" (2440mm) LENGTH. STAKE AT EDGES OF THE ROOTBALL IN LINE WITH ROADWAY. ON EXPOSED SITES STAKE IN LINE WITH PREVAILING WIND. VERTICAL STAKES TO BE DRIVEN 600 mm INTO GROUND.

40mm NYLON WEBBING

1.0m DIAMETER BARK MULCH RING SAUCER OVER ROOTBALL 150mm DEPTH

TREES MUST BE PLANTED WITH NO MORE THAN A 50 mm DEPTH FROM FINISHED GRADE TO THE TOP OF THE ROOT BALL.

GRASS BOULEVARD

ROOT BARRIER 450 mm x 4.0M LENGTH

BROOM FINISH CONCRETE SIDEWALK

700 mm COMPACTED STRUCTURAL SOIL TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER

ASPHALT ROADWAY REFER TO CIVIL DWGS

ROOT BARRIER 450 mm x 4.0M LENGTH

COMPACTED SUBGRADE TO 98% S.F.D.

SCARIFY BOTTOM OF PIT

NOTES:

- ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA TREE SPECIFICATIONS
- ROOT BARRIER REQUIRED ON BLVD 2.0m OR LESS WIDE OR AS SPECIFIED BY THE DIRECTOR OF PARKS.
- ROOT BARRIER REQUIRED PENDING TREE SPECIES AND/OR BLVD WIDTH.

TREE PLANTING IN BOULEVARD

REVISIONS: DRAWING NUMBER: **SD P4**

5 TREE PLANTING IN BOULEVARD
1:10

7 ON-SITE TREE PLANTING
1:10



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilialcollective.ca 250 590 1156

OWNER/CLIENT:
Logic Homes

PROJECT NAME:
488 Wilson Street

PROJECT ADDRESS:
**422 Edward St -
488 Wilson St
Victoria, BC**

DESIGNED BY: BIANCA BODLEY
DRAWN BY: G. MORAZZANI / L. BLANCO

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NO.	ISSUE	MM/DD/YYYY

SEAL

NORTH ARROW

DRAWING TITLE:
DETAILS

DWG NO:
L5.01

SCALE AS SHOWN

ENVIRONMENTAL NOTES:

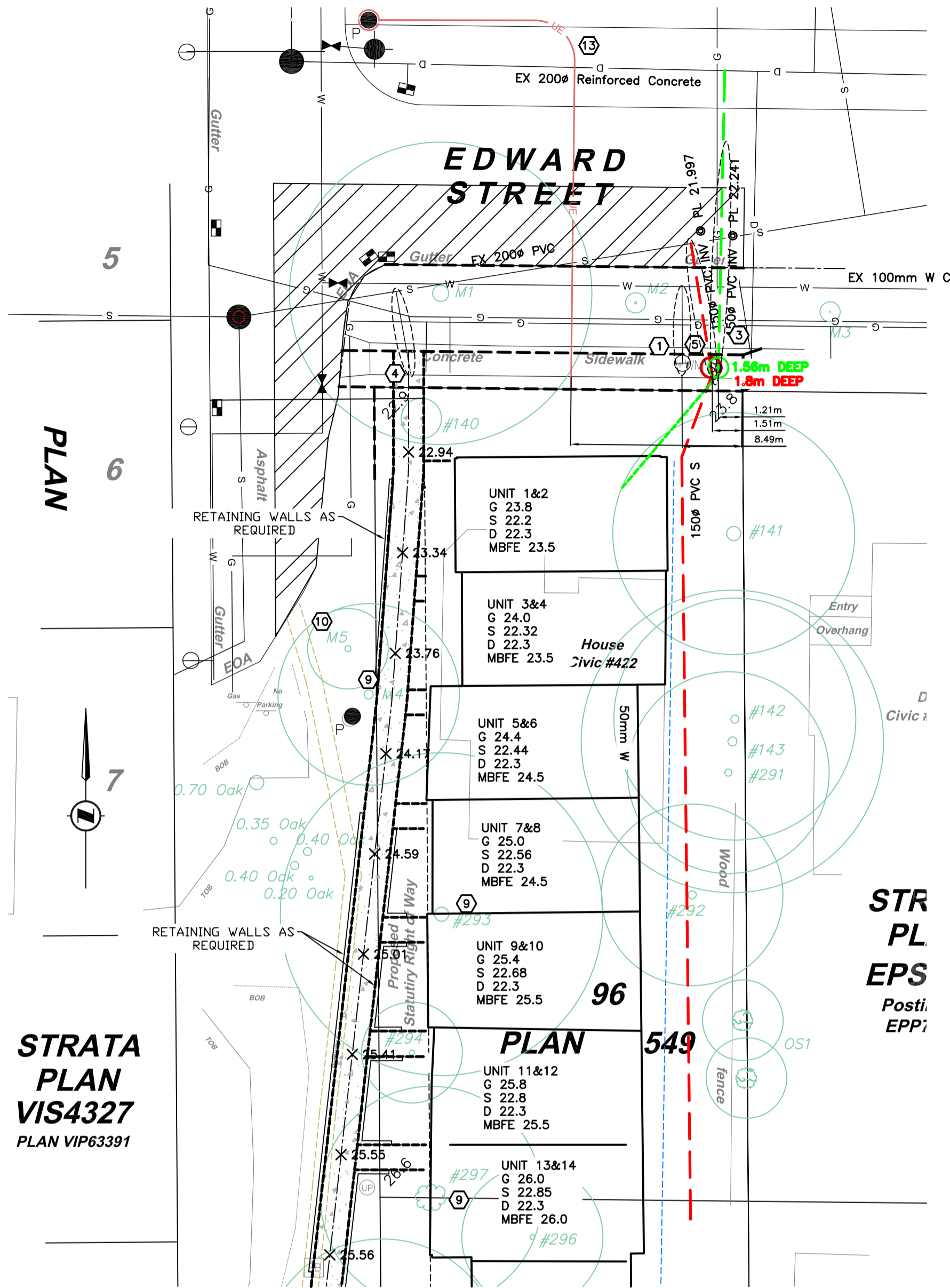
- USE BEST MANAGEMENT PRACTICES DURING CONSTRUCTION. ADJUST WORK ACTIVITIES DURING PERIODS OF HEAVY RAIN TO MINIMIZE SEDIMENTS ENTERING THE STORM DRAINAGE SYSTEM. SOME BMP'S TO CONSIDER:
 - CHECK ALL EQUIPMENT FOR FLUID LEAKS PRIOR TO ENTERING THE WORK AREA.
 - NO EQUIPMENT RE-FUELING TO OCCUR IN THE WORK AREA UNLESS SPILL PROTECTION MEASURES ARE IN PLACE.
 - A SPILL KIT IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.
 - SURFACE WATER IS TO BE MANAGED WITHIN THE WORK AREA AND TREATED BEFORE DISCHARGED. THIS MAY INCLUDE ONSITE DETENTION AND/OR CULVERT FILTRATION.
 - COVER EXPOSED SOILS IN INCLEMENT WEATHER ie TARP, HYDRO SEED OR ORGANIC LEAF MULCH.
 - STOCKPILE SOILS AWAY FROM CULVERT INLETS AND ENSURE THEY ARE COVERED IF LEFT FOR MORE THAN 48 HOURS.
 - PLACE DRAIN ROCK AND FILET FABRIC AT THE IN LET OF CULVERT AS PER DETAIL B.
- SURROUND PROTECTED TREES WITH SNOW FENCING AT DRIP LINE OR CRITICAL ROOT ZONE OF TREE DURING CONSTRUCTION. CONTACT VICTORIA ARBORIST PRIOR TO BEGINNING CONSTRUCTION.
- INSTALL SILT FENCING AS PER DETAIL A IN LOCATION SHOWN ON PLAN.
- ADHERE TO ALL CONDITIONS OF THE PROJECT ENVIRONMENTAL PROTOCOL WORKSHEET.

GENERAL CONSTRUCTION NOTES:

- CONTACT & NOTIFY ALL HOMEOWNERS AFFECTED BY WORKS 4 WEEKS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED ON THIS DRAWING.
- REPAIR AND/OR REPLACE ALL INFRASTRUCTURE/PRIVATE PROPERTY DAMAGED OR REMOVED DURING CONSTRUCTION, TO BETTER THAN, OR EQUAL TO PRE-CONSTRUCTION CONDITIONS.
- REINSTATE ALL PRIVATE PROPERTY AND BOULEVARDS TO PRE-CONSTRUCTION CONDITIONS.
- CONTACT VICTORIA PARKS DEPARTMENT PRIOR TO WORKING IN AND AROUND TREES.
- ENSURE THE CURRENT MUNICIPAL O.H.&S. GROUND DISTURBANCE PRACTICE AND PROCEDURES ARE FOLLOWED. CONTACT BC1 AT 1-800-474-8886 FOR EXTERNAL UTILITY LOCATIONS AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- NOTIFY THOSE HOMEOWNERS WHO WILL BE AFFECTED BY CONSTRUCTION 48HRS BEFORE BEGINNING WORKS.
- CONFIRM LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTIONS PRIOR TO CONSTRUCTION.
- ENSURE ALL EXISTING SERVICES STAY IN OPERATIONAL CONDITION DURING CONSTRUCTION.

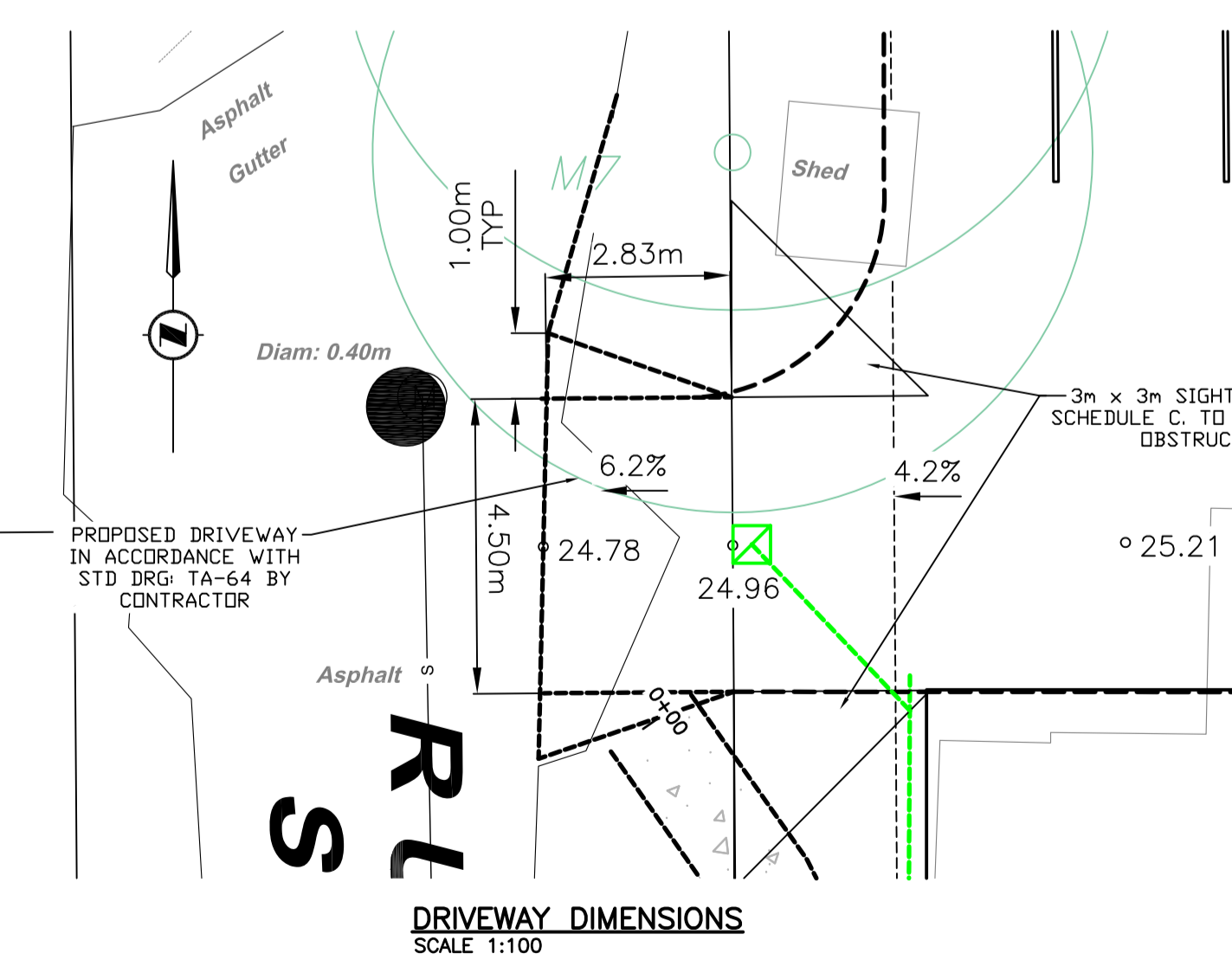
DETAILED CONSTRUCTION NOTES:

- CAP EXISTING WATER CONNECTION BY CITY AT APPLICANTS EXPENSE.
- UPGRADE EXISTING WATER CONNECTION TO 50mm WATER CONNECTION AND METER BY CITY AT APPLICANTS EXPENSE.
- NEW 150mm PVC STORM CONNECTION AND IC TO BE INSTALLED BY CITY AT APPLICANTS EXPENSE.
- EXISTING SEWER CONNECTION TO BE CAPPED AT PROPERTY LINE BY CONTRACTOR
- TWO NEW 150mm PVC SEWER CONNECTION AND IC TO BE INSTALLED BY CITY AT APPLICANTS EXPENSE.
- NEW 100mm PVC STORM CONNECTION AND IC TO BE INSTALLED BY CITY AT APPLICANTS EXPENSE.
- EXISTING SEWER CONNECTION TO BE CAPPED AT PROPERTY LINE BY CONTRACTOR
- EXISTING SIDEWALK TO BE REMOVED
- TREE TO BE REMOVED
- NEW 1.5m PROPOSED SIDEWALK CONNECTING EDWARD STREET TO RUSSELL STREET AS SHOWN. DETAILS FOR SIDEWALK AND ENTRANCES ON SHEET 2, IN ACCORDANCE WITH STD DRG-SD C7c. BRDM FINISHED
- NEW 1.5m PROPOSED SIDEWALK ON RUSSELL STREET CONNECTING TO WILSON STREET AS SHOWN. DETAILS FOR SIDEWALK AND ENTRANCES ON SHEET 3, IN ACCORDANCE WITH STD DRG-SD C7c. BRDM FINISHED
- NEW PROPOSED ALIGNMENT OF SIDEWALK ON WILSON STREET AS SHOWN. DETAILS FOR SIDEWALK ON SHEET 4, IN ACCORDANCE WITH STD DRG-SD C7c. BRDM FINISHED. EXISTING SIDEWALK TO BE REMOVED.
- THIRD PARTY UTILITIES SHOWN SCHEMATICALLY. PROPERTY TO BE SERVICES VIA UNDERGROUND CONNECTION. REFER TO TELUS/SHAW/HYDRO FOR DETAILS
- PROVIDE 4.5m WIDE DRIVEWAY IN ACCORDANCE WITH CITY STANDARDS W/ 1m WIDE FLARES APPROXIMATELY 3m DEEP.
- EXISTING ASPHALT ROAD EDGE TO BE ADJUSTED AS SHOWN AND BOULEVARD RESTORATION TO BE PROVIDED
- PROVIDE SILT TRAP AS PER DETAIL D12B AS SHOWN ON PLAN. CONNECT TO DRAIN SYSTEM WITH 100mm PVC AT MIN 2%. DRIVEWAY TO BE GRADED TO ALLOW POSITIVE DRAINAGE.
- PROPOSED 2.47m STATUTORY RIGHT OF WAY TO BE REGISTERS AS SHOWN FOR SIDEWALK ACCESS.
- REMOVE AND REPLACE CURB AND GUTTER ALONG EDWARD FRONTAGE AND RESURFACE ASPHALT TO CENTERLINE AS SHOWN. DETAILS SHOWN ON SHEET 5

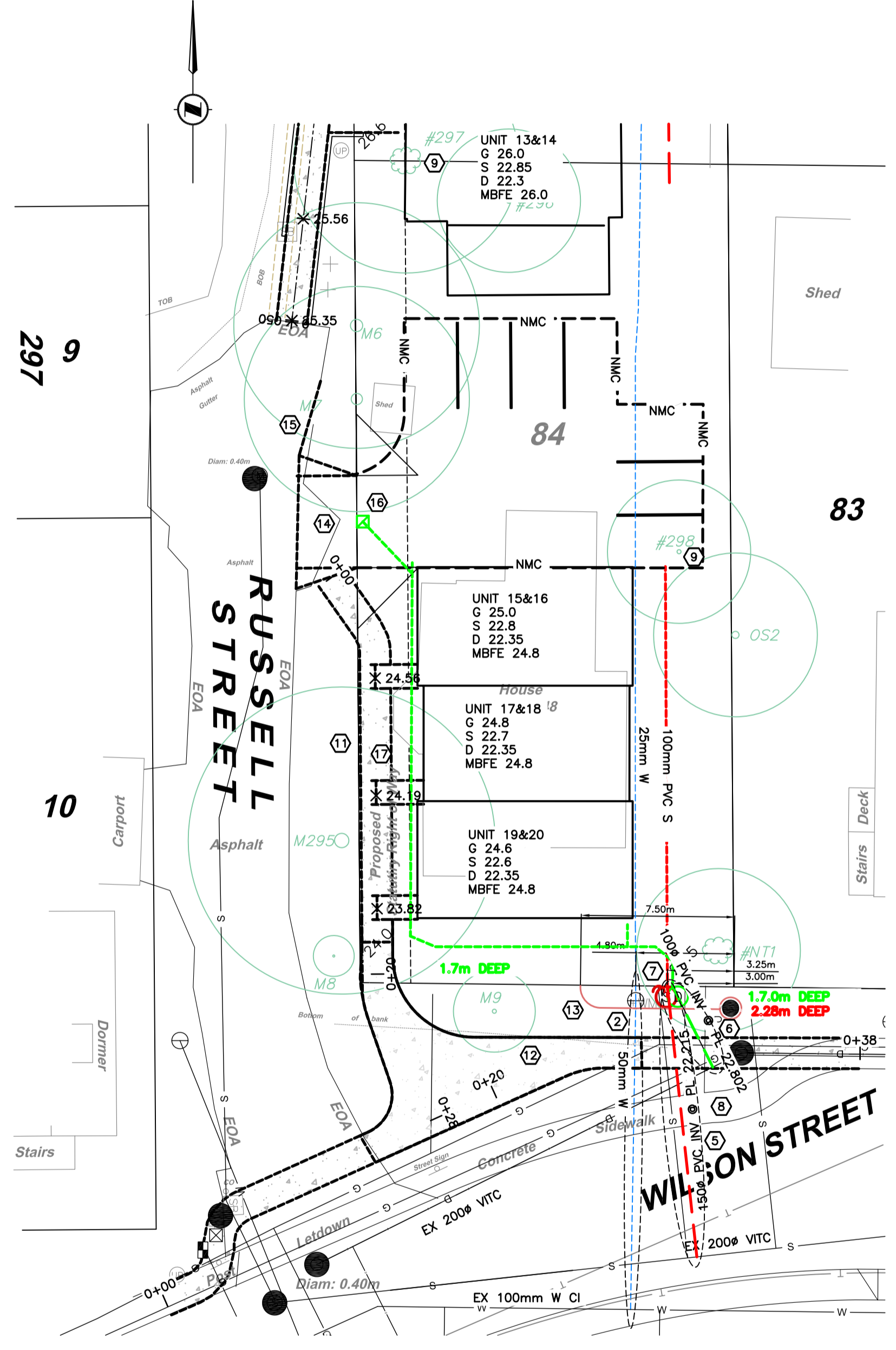


422 EDWARD STREET SERVICES PLAN
SCALE 1:200

NOTE:
ALL ON SITE PIPE WORK IN ACCORDANCE WITH BC PLUMBING CODE



DRIVEWAY DIMENSIONS
SCALE 1:100



448 WILSON STREET SERVICES PLAN
SCALE 1:200

GENERAL NOTES:

DRAWING INFORMATION
DIMENSIONS ARE METRIC; MILLIMETERS ON DETAIL DRAWINGS; METERS ON 1:200 PLAN AND PROFILE, UNLESS OTHERWISE NOTED.

INFORMATION THAT IS PROVIDED IN OUR PLANS, DESIGNS, OR SPECIFICATIONS IS INTENDED TO INDICATE THE GENERAL ARRANGEMENT OF WORK TO BE CARRIED OUT, AS THE PROJECT PROGRESSES, THE DEGREE OF DETAIL THAT IS PROVIDED MAY REQUIRE ADDITIONS OR DELETIONS.

EXISTING SERVICE INFORMATION WITHIN AREAS OF CONSTRUCTION MAY HAVE BEEN SUPPLIED BY OTHERS AND ARE APPROXIMATE ONLY. ADDITIONAL SERVICES MAY BE PRESENT BUT NOT INDICATED ON THESE DRAWINGS.

GENERAL REQUIREMENTS
REFER TO HOEL ENGINEERING'S "STATEMENT OF CONDITIONS" FOR ADDITIONAL INFORMATION AS TO THE USE OF THESE DOCUMENTS AND CONSTRUCTION OF THE WORKS.

REFER TO VICTORIA STANDARD DRAWINGS AND SPECIFICATIONS AND PERMITS, MASTER MUNICIPAL CONSTRUCTION DOCUMENTS, LATEST EDITION, BC HYDRO, TELUS, SHAW AND FORTIS GAS DRAWINGS AND SPECIFICATIONS, AND OTHER AGENCIES/ SUB-CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR INFORMATION NOT COVERED ON THESE DRAWINGS.

ALL OTHER CONSTRUCTION, MATERIAL AND INSTALLATION OF SERVICES NOT COVERED SPECIFICALLY BY THE BC BUILDING CODE, BC ELECTRICAL CODE, OR BY OTHER BYLAWS OR SPECIFICATIONS SHALL BE IN GENERAL CONFORMANCE WITH THE MASTER MMCD SPECIFICATIONS/STANDARD DETAIL DRAWINGS, AND ADDENDUMS.

UNLESS OTHERWISE SPECIFIED HEREIN, ALL WORK WITHIN PRIVATE PROPERTY AND EASEMENTS TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE AND INSPECTED BY THE MUNICIPAL WORKS INSPECTOR.

USE OF INFORMATION
THIS DOCUMENT MAY NOT BE USED, COPIED OR SHARED WITHOUT THE EXPRESS WRITTEN AUTHORITY OF HOEL ENGINEERING LTD AND AT NO TIME MAY IT BE USED OR REFERENCED IN ANY FORM FOR ANY LEGAL INSTRUMENT.

COORDINATION REQUIREMENTS
COMMUNICATION AND REPORTING
CONTACT BC ONE-CALL PRIOR TO CONSTRUCTION FOR SERVICES LOCATE. 1-800-474-6886

THE CONTRACTOR IS TO COORDINATE AND COMMUNICATE WITH THE ENGINEER, ALL UTILITIES, AND AUTHORITIES HAVING JURISDICTION, WELL IN ADVANCE (2-WORKING DAYS MINIMUM) OF THE START OF ANY EXCAVATION AND COMMENCEMENT OF EACH PHASE OF CONSTRUCTION.

THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL SUB-CONSULTANTS, CONTRACTORS AND TRADES REQUIRED FOR THE COMPLETION OF THE WORKS.

THE CONTRACTOR SHALL PROVIDE THE REQUIRED QUALITY CONTROL AND CONFORMANCE TESTING REPORTS TO THE ENGINEER AT THE COMPLETION OF EACH PHASE OF THE WORK.

PERMITS
A TREE BYLAW PERMIT IS TO BE OBTAINED PRIOR TO ANY SITE ACTIVITIES.

A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL ROAD ALLOWANCE MUST BE OBTAINED BEFORE WORKS COMMENCE.

A PERMIT TO CROSS OR WORK NEAR FORTIS GAS PIPELINE IS REQUIRED. CONTACT 1-877-599-0996

NOTIFICATION
WHEN GIVING ADVANCE NOTIFICATION, THE CONTRACTOR SHALL TAKE INTO CONSIDERATION THE SCHEDULING DEMAND AND PRIOR COMMITMENTS OF ALL PARTIES.

FAILURE TO COMPLY WITH THESE REQUIREMENTS MAY RESULT IN DELAYS, REJECTION OF THE WORK, OR EXPENSIVE TESTING TO PROVE COMPLIANCE.

IN THE EVENT THAT THE CONTRACTOR IS NOT PROVIDING HIS OWN CONSTRUCTION LAYOUT, THE ENGINEER IS TO BE NOTIFIED BY EMAIL OR OTHERWISE IN WRITING AT LEAST 5 DAYS BEFORE ANY CONSTRUCTION LAYOUT IS REQUIRED.

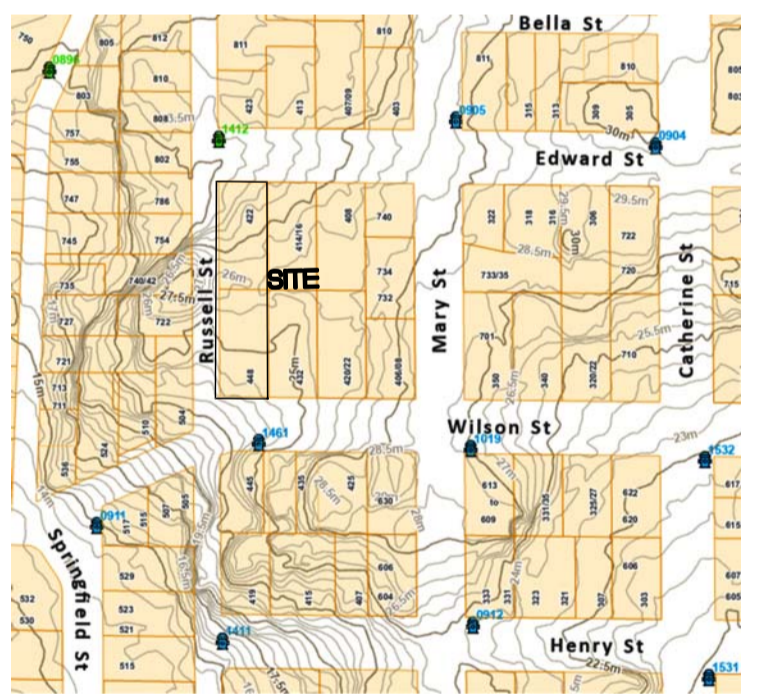
THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF CONDITIONS ARE NOT FAVORABLE TO THE ACHIEVEMENT OF THE DESIGN INTENT.

CHANGE REQUESTS
CONTRACTOR REQUESTED CONSTRUCTION CHANGES MUST BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO IMPLEMENTATION.

TESTING REQUIREMENTS
CONFORMANCE TESTING IS TO BE PROVIDED BY THE CONTRACTORS TESTING ENGINEER FOR ALL ROAD CROSSINGS, ROAD BASE, CONCRETE, AND PAVING CONSTRUCTION MATERIALS AND AS OTHERWISE REQUIRED BY VICTORIA OR THE ENGINEER.

ALL TESTING IS TO BE PROVIDED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.

MISCELLANEOUS
ALL PUBLIC ROADS ARE TO BE MAINTAINED MUD AND DUST FREE DURING CONSTRUCTION.
ALL LANDSCAPING AND STRUCTURES TO BE REINSTATED TO ORIGINAL CONDITION OR BETTER.



KEY PLAN - 1:2500

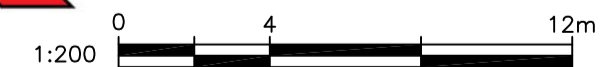
FOR PROPOSED SERVICES OF
LOTS 84 AND 96, BLOCK J, SECTION 31, ESQUIMALT DISTRICT, PLAN 549
PID 008-923-540
PID 008-924-589

422 EDWARD STREET AND 448 WILSON STREET

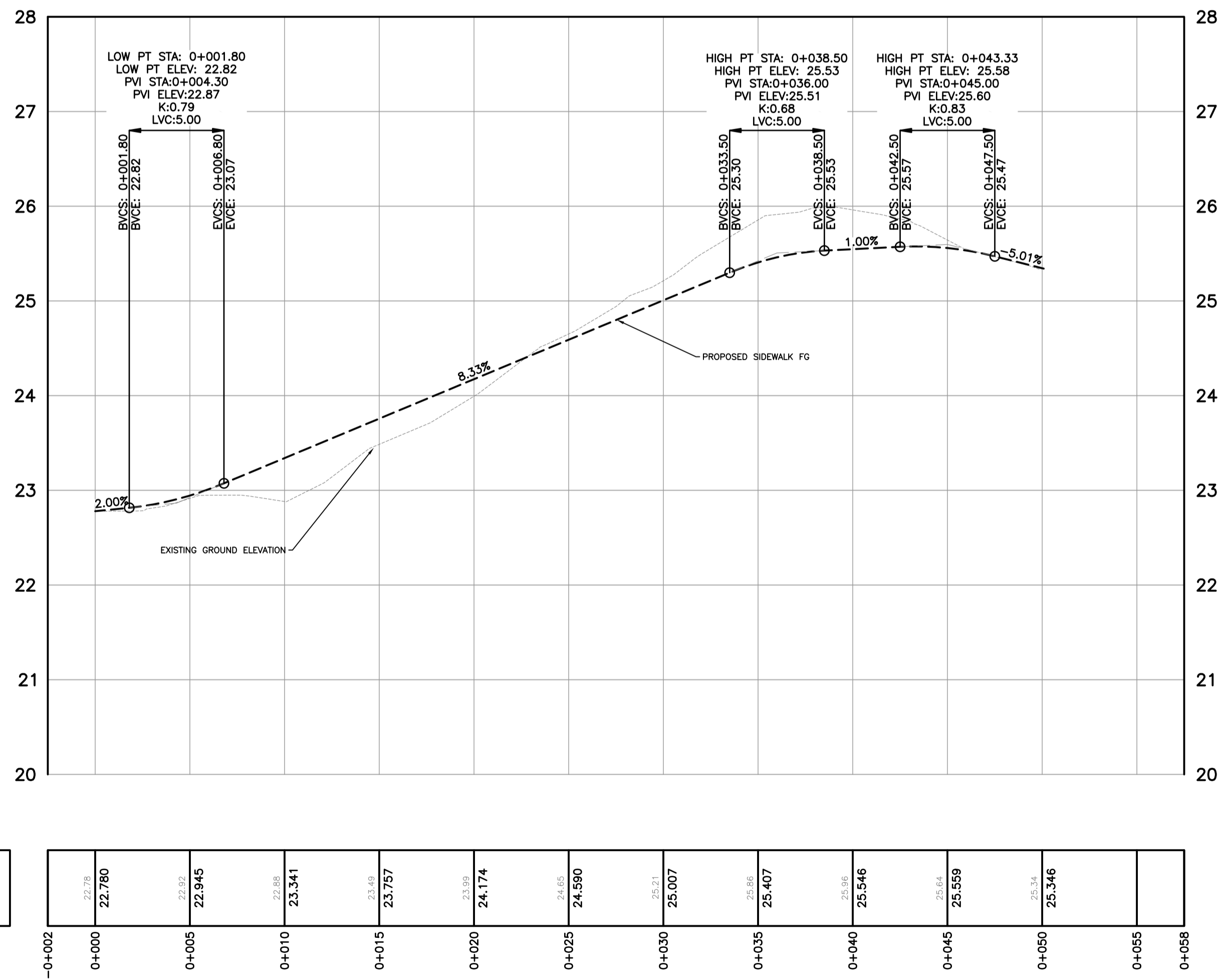
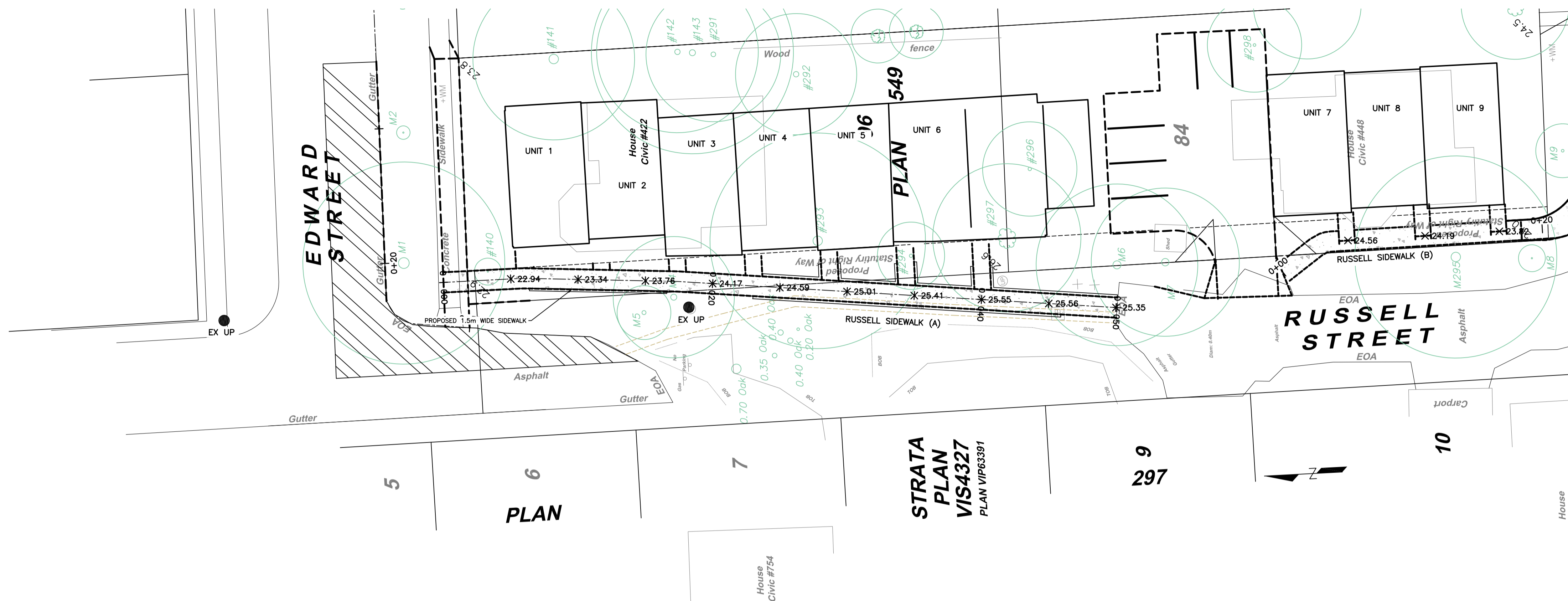
PERMIT TO PRACTICE NUM: 1000348



HOEL ENGINEERING LTD DBA
KYLE ENGINEERING
SUITE 1, 40 CADILLAC
AVE, VICTORIA, BC, V8Z 1T2
250 475 6906



<p>CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES</p> <p>THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.</p>	<p>LEGEND</p> <table border="0"> <tr> <td>Existing Municipal Infrastructure</td> <td>Drain</td> <td>—D—</td> <td>Curb</td> <td>—C—</td> <td>Concrete Box</td> <td>☒</td> <td>Valve</td> <td>⊗</td> </tr> <tr> <td>Proposed Municipal Infrastructure</td> <td>Ditch</td> <td>-D-</td> <td>Sidewalk</td> <td>S/W</td> <td>Wood Box</td> <td>☒</td> <td>Flush Valve</td> <td>⊗</td> </tr> <tr> <td>Existing External U/G Utilities</td> <td>Sewer</td> <td>-e-</td> <td>Manhole</td> <td>○</td> <td>Catch Basin</td> <td>☒</td> <td>Hydrant</td> <td>⊗</td> </tr> <tr> <td>Proposed External U/G Utilities</td> <td>Water</td> <td>-w-</td> <td>Cleanout</td> <td>□</td> <td>Culvert</td> <td>☒</td> <td>Reducer</td> <td>⊗</td> </tr> <tr> <td>Street Lighting</td> <td>Pole Mount</td> <td>☒</td> <td>Standard Mount</td> <td>☒</td> <td>Traffic Signal</td> <td>☒</td> <td>Silt Trap</td> <td>☒</td> </tr> <tr> <td>Post Top</td> <td>☒</td> <td>Pedestrian Signal</td> <td>☒</td> <td>Traffic Signal</td> <td>☒</td> <td>Ctrl Monument</td> <td>☒</td> <td>Traverse Hub</td> <td>☒</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>Gas Valve</td> <td>☒</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>Water Meter</td> <td>☒</td> </tr> </table>		Existing Municipal Infrastructure	Drain	—D—	Curb	—C—	Concrete Box	☒	Valve	⊗	Proposed Municipal Infrastructure	Ditch	-D-	Sidewalk	S/W	Wood Box	☒	Flush Valve	⊗	Existing External U/G Utilities	Sewer	-e-	Manhole	○	Catch Basin	☒	Hydrant	⊗	Proposed External U/G Utilities	Water	-w-	Cleanout	□	Culvert	☒	Reducer	⊗	Street Lighting	Pole Mount	☒	Standard Mount	☒	Traffic Signal	☒	Silt Trap	☒	Post Top	☒	Pedestrian Signal	☒	Traffic Signal	☒	Ctrl Monument	☒	Traverse Hub	☒									Gas Valve	☒									Water Meter	☒	<p>REVISIONS</p> <table border="0"> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>1</td> <td>PRELIMINARY</td> <td></td> </tr> </table>		6			5			4			3			2			1	PRELIMINARY		<p>REVISIONS APPROVED</p> <table border="0"> <tr> <th colspan="3">REVISION # 1</th> <th colspan="3">REVISION # 2</th> <th colspan="3">REVISION # 3</th> </tr> <tr> <td>Approved</td> <td>Date</td> <td>Signed</td> <td>Approved</td> <td>Date</td> <td>Signed</td> <td>Approved</td> <td>Date</td> <td>Signed</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>			REVISION # 1			REVISION # 2			REVISION # 3			Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed										<p>DESIGN APPROVED</p> <table border="0"> <tr> <td>Approved By</td> <td>Date</td> <td>Signed</td> </tr> <tr> <td>Design Engineer</td> <td> </td> <td> </td> </tr> <tr> <td>Manager of Development</td> <td> </td> <td> </td> </tr> <tr> <td>Development Coordinator</td> <td> </td> <td> </td> </tr> </table>			Approved By	Date	Signed	Design Engineer			Manager of Development			Development Coordinator			<p>CITY OF VICTORIA</p> <p>422 EDWARD / 448 WILSON STREET</p> <p>SERVICES PLAN</p> <p>B.M. : Mon 18-38 Elev: 21.77m Design: ESK Scale: Hor: 1:200 Vertical: 1:40 Drawn: ESK Checked: [Signature] Date: JUNE 2022</p>		<p>FILE No. -</p> <p>DESIGN No. -</p> <p>DRAWING No. -</p>	<p>Sheet 1 of 5</p>
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N Russel Sidewalk Ground
N Russel Sidewalk Final Grade

PERMIT TO PRACTICE NUM: 1000348



FOR REVIEW



CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES

THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

LEGEND	
Existing Municipal Infrastructure	Drain
Proposed Municipal Infrastructure	Ditch
Existing External U/G Utilities	Sewer
Proposed External U/G Utilities	Water
Street Lighting	Pole Mount
Post Top	Pedestrian Signal
	Traffic Signal
	Ctrl Monument
	Drain
	Curb
	Concrete Box
	Wood Box
	Catch Basin
	Culvert
	Cap / Plug
	Gas Valve
	Valve
	Flush Valve
	Hydrant
	Reducer
	Air Valve
	Water Meter

REVISIONS	
6	PRELIMINARY

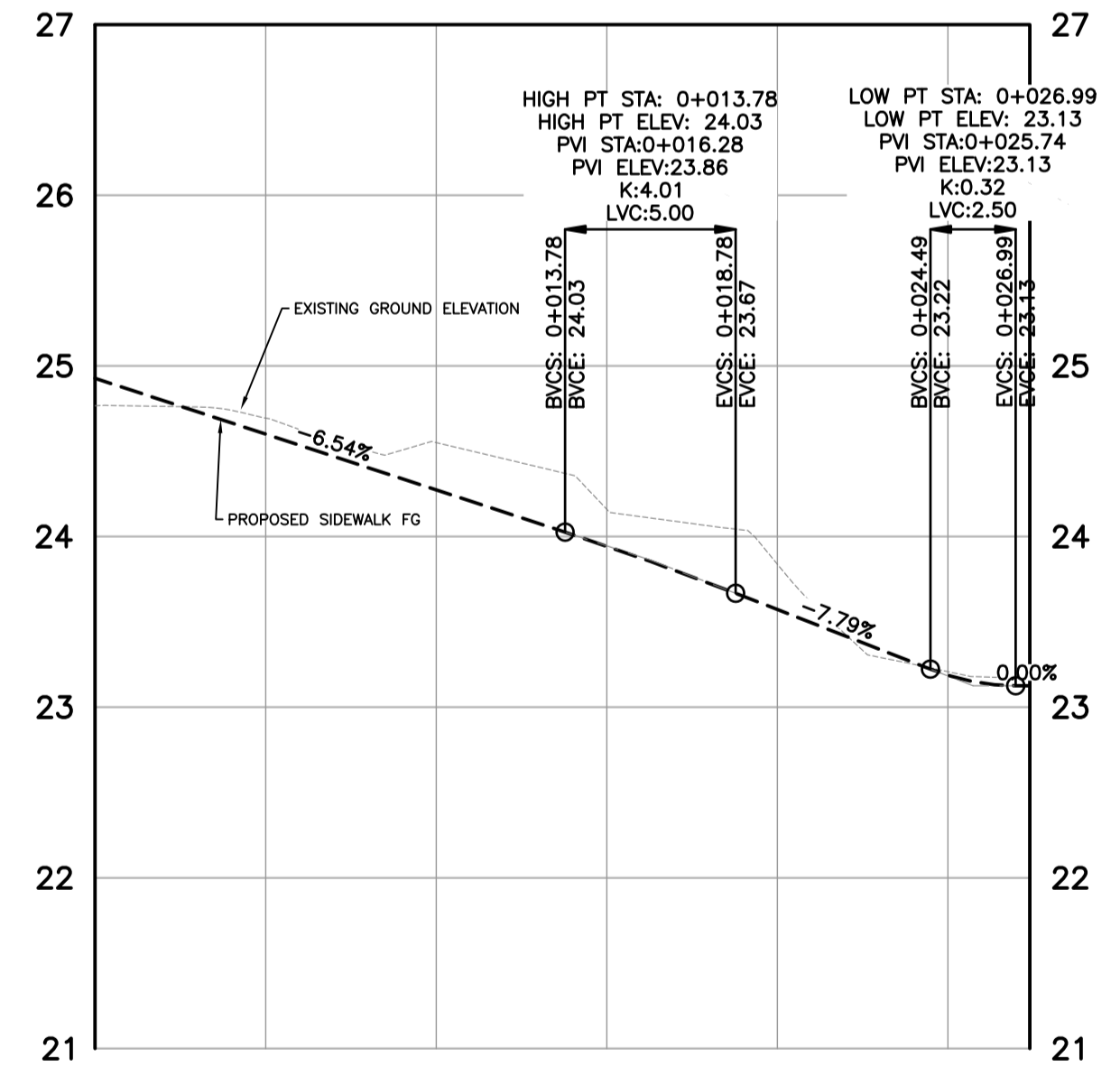
REVISIONS APPROVED								
REVISION # 1			REVISION # 2			REVISION # 3		
Approved	Date	Signed	Approved	Date	Signed	Approved	Date	Signed
Design Engineer			Design Engineer			Design Engineer		
Manager of Development			Manager of Development			Manager of Development		
Development Coordinator			Development Coordinator			Development Coordinator		

DESIGN APPROVED		
Approved By	Date	Signed
Design Engineer		
Manager of Development		
Development Coordinator		

CITY OF VICTORIA		
422 EDWARD / 448 WILSON STREET		
NEW SIDEWALK (RUSSEL) DETAILS		
B.M. : Mon 18-38	Elev: 21.77m	Checked:
Design: ESK	Drawn: ESK	Date: MAY 2022
Scale: Hor: 1:200	Vertical: 1:40	

FILE No.	-
DESIGN No.	-
DRAWING No.	Sheet 2 of 5

CITY OF VICTORIA August 4, 2023 / U:\CS1400_Customer_Files\2022\CV_Civil\CV22-06_Wilson - Campbell\03_EN-CV\040_Internal Drawings\00_Current\230620_CV2206_recover_L_20099_cd1bddbc.aug_recover.dwg



SURVEY TOP (B)
RUSSELL STREET SIDEWALK (B) FG

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FOR REVIEW



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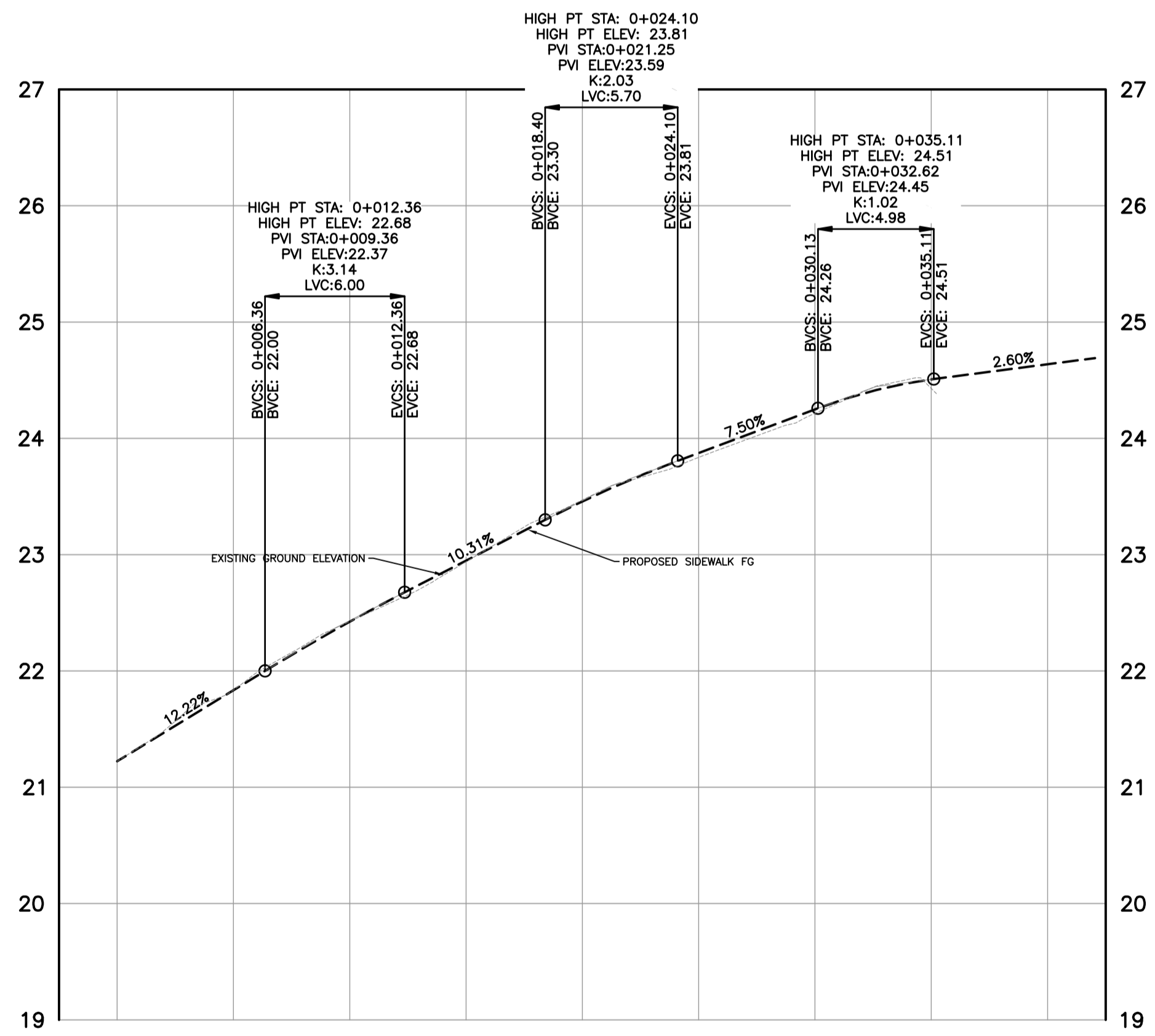
LEGEND		REVISIONS	
Existing Municipal Infrastructure	Drain	Concrete Box	Valve
Proposed Municipal Infrastructure	Ditch	Wood Box	Flush Valve
Existing External U/G Utilities	Sewer	Catch Basin	Hydrant
Proposed External U/G Utilities	Water	Cleanout	Culvert
Street Lighting Pole Mount	Pole Mount	Silt Trap	Cap / Plug
Street Lighting Standard Mount	Standard Mount	Gas Valve	Water Meter
Post Top	Pedestrian Signal	Traffic Signal	Ctrl Monument
		Traverse Hub	

REVISIONS APPROVED								
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DESIGN APPROVED		
Approved By	Date	Signed
Design Engineer		
Manager of Development		
Development Coordinator		

CITY OF VICTORIA			
422 EDWARD / 448 WILSON STREET			
RUSSEL STREET SIDEWALK			
B.M. : Mon 18-38	Elev: 21.77m	Design: ESK	Drawn: ESK
Scale: Hor: 1:200	Vertical: 1:40	Checked:	Date: MAY 2022

FILE No.	-
DESIGN No.	-
DRAWING No.	Sheet 3 of 5



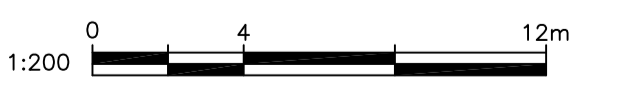
WILSON TOPD SURVEY
WILSON STREET SIDEWALK FG

Station	0+000	0+005	0+010	0+015	0+020	0+025	0+030	0+035	0+040	0+042
Elevation	21.224	21.835	22.424	22.949	23.427	23.874	24.249	24.507	24.637	24.637

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	Gas Valve
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	Silt Trap
	Cap / Plug
	Air Valve
	Concrete Box
	Wood Box
	Catch Basin
	Culvert
	Valve
	Flush Valve
	Hydrant
	Reducer

REVISIONS	
1	PRELIMINARY

REVISIONS APPROVED								
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DESIGN APPROVED		
Approved By	Date	Signed
Design Engineer		
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CITY OF VICTORIA			
422 EDWARD / 448 WILSON STREET			
WILSON STREET SIDEWALK			
B.M. : Mon 18-38	Elev: 21.77m	Design: ESK	Drawn: ESK
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FILE No.	-
DESIGN No.	-
DRAWING No.	Sheet 4 of 5

