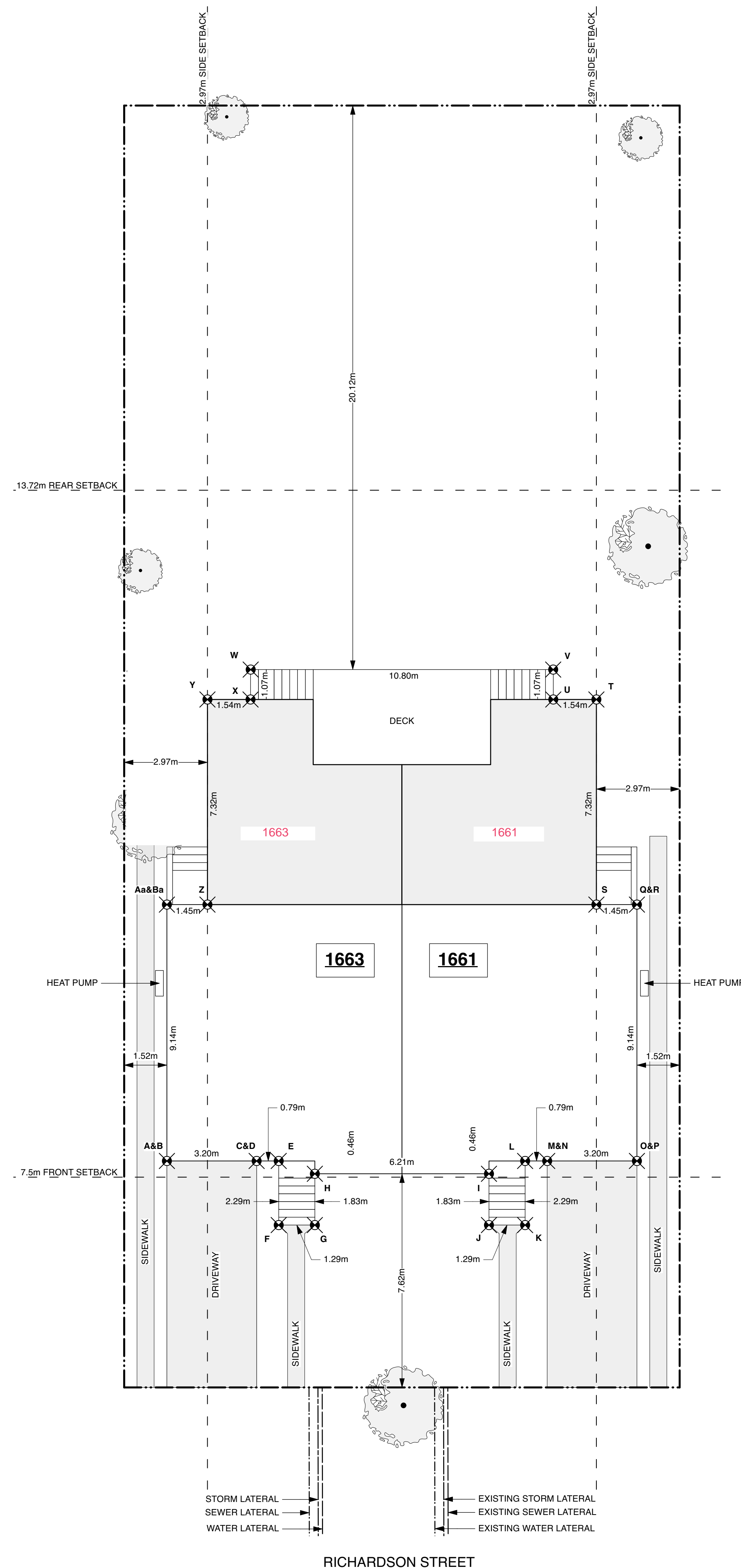
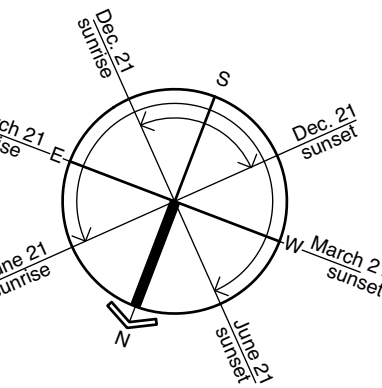




1 AERIAL
A1.00 Scale: N.T.S.

Original Submission
Received Date: October 27, 2023



*Plans of completed work. Work was completed through permit process. Now hoping to change land use from R1-G to R2.

GRADE POINTS

GRADE POINT A:	10.96 m
GRADE POINT B:	10.39 m
GRADE POINT C:	10.39 m
GRADE POINT D:	11.63 m
GRADE POINT E:	11.63 m
GRADE POINT F:	11.63 m
GRADE POINT G:	11.63 m
GRADE POINT H:	11.63 m
GRADE POINT I:	11.63 m
GRADE POINT J:	11.63 m
GRADE POINT K:	11.63 m
GRADE POINT L:	11.63 m
GRADE POINT M:	11.63 m
GRADE POINT N:	10.39 m
GRADE POINT O:	10.39 m
GRADE POINT P:	11.00 m
GRADE POINT Q:	11.00 m
GRADE POINT R:	10.39 m
GRADE POINT S:	10.92 m
GRADE POINT T:	11.00 m
GRADE POINT U:	10.92 m
GRADE POINT V:	10.90 m
GRADE POINT W:	10.75 m
GRADE POINT X:	10.76 m
GRADE POINT Y:	10.91 m
GRADE POINT Z:	10.39 m
GRADE POINT Aa:	10.39 m
GRADE POINT Bb:	10.86 m

GRADE CALCULATION

GRADE POINTS	AVERAGE OF POINTS	DISTANCE BETWEEN	TOTALS
B & C	((10.39+10.39)÷2)	x 3.20 m	= 33.24
D & E	((11.63+11.63)÷2)	x 0.79 m	= 9.18
E & F	((11.63+11.63)÷2)	x 2.29 m	= 26.63
F & G	((11.63+11.63)÷2)	x 1.83 m	= 15.00
G & H	((11.63+11.63)÷2)	x 1.83 m	= 21.28
H & I	((11.63+11.63)÷2)	x 6.21 m	= 72.92
I & J	((11.63+11.63)÷2)	x 1.83 m	= 21.28
J & K	((11.63+11.63)÷2)	x 1.29 m	= 15.00
K & L	((11.63+11.63)÷2)	x 2.29 m	= 26.63
L & M	((11.63+11.63)÷2)	x 0.79 m	= 9.18
N & O	((10.39+10.39)÷2)	x 3.20 m	= 33.24
P & Q	((11.00+11.00)÷2)	x 9.14 m	= 100.54
R & S	((10.39+10.39)÷2)	x 1.45 m	= 15.06
S & T	((10.39+11.00)÷2)	x 7.32 m	= 78.28
T & U	((11.00+10.92)÷2)	x 1.54 m	= 16.87
U & V	((10.92+10.90)÷2)	x 1.07 m	= 11.67
V & W	((10.90+10.75)÷2)	x 10.80 m	= 116.91
W & X	((10.75+10.76)÷2)	x 1.07 m	= 11.50
X & Y	((10.76+10.91)÷2)	x 1.54 m	= 16.68
Y & Z	((10.91+10.39)÷2)	x 7.32 m	= 77.95
Z & Aa	((10.39+10.39)÷2)	x 1.45 m	= 15.06
Bb & A	((10.86+10.98)÷2)	x 9.14 m	= 89.80
		76.85 m	= 843.20

GRADE CALCULATION: 843.20 ÷ 76.85 (PERIMETER) = 10.97 m

VENTILATION & SMOKE ALARMS

- SMOKE ALARMS:**
 - SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING.
 - SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND.
 - BE INSTALLED WITH PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT AND BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE.
- CARBON MONOXIDE ALARMS** SHALL BE INSTALLED ON OR NEAR THE CEILING.
- HEAT SOURCE:** HEAT PUMP
- VENTILATION:**
 - PRINCIPAL VENTILATION SYSTEM EXHAUST FAN:
 - MINIMUM AIR-FLOW RATE: 49 L/s
 - SHALL BE DESIGNED TO RUN CONTINUOUSLY AND CONTROLLED BY A DEDICATED SWITCH THAT HAS 2 SETTINGS, ON AND OFF.
 - SHALL BE ACCESSIBLE FOR SERVICING THE EXHAUST FAN BUT NOT LIKELY TO BE TURNED OFF INADVERTENTLY AND CONTROLLED BY A DEDICATED SWITCH THAT HAS 2 SETTINGS, ON AND OFF.
 - CLEARLY MARKED "PRINCIPAL VENTILATION EXHAUST FAN"
 - MINIMUM DUCT DIAMETER: 125mm Ø RIGID DUCT OR 150 mm FLEXIBLE DUCT.
 - THE SOUND RATING SHALL NOT EXCEED 1.0 SONE WHEN RUNNING CONTINUOUSLY AT THE AIR-FLOW RATE SPECIFIED.
 - KITCHEN EXHAUST FAN:
 - MINIMUM AIR-FLOW RATE - INTERMITTENT: 47 L/s
 - MINIMUM DUCT DIAMETER: 125mm Ø RIGID DUCT OR 150 mm FLEXIBLE DUCT.
 - BATHROOM EXHAUST FAN:
 - MINIMUM AIR-FLOW RATE - INTERMITTENT: 23 L/s
 - MINIMUM AIR-FLOW RATE - CONTINUOUS: 9 L/s
 - MINIMUM DUCT DIAMETER: 100 mm Ø RIGID DUCT OR 125 mm FLEXIBLE DUCT.
- VENTILATION SYSTEM SUPPLY AIR:** HEAT-RECOVERY VENTILATOR
 - SHALL PROVIDE SUPPLY AIR THROUGH DEDICATED DUCTING TO EACH BEDROOM AND EACH FLOOR LEVEL WITHOUT A BEDROOM.
 - SHALL DRAW EXHAUST AIR, THROUGH DEDICATED DUCTING, FROM ONE OR MORE INDOOR INLETS, AT LEAST ONE OF WHICH IS LOCATED AT LEAST 2.0 m ABOVE THE FLOOR OF THE UPPERMOST FLOOR LEVEL.
 - MINIMUM AIR-FLOW RATE OF 35 L/s.

GENERAL NOTES

- ALL WORK TO CONFORM TO 2018 BRITISH COLUMBIA BUILDING CODE AND ALL OTHER APPLICABLE CODES, BYLAWS AND STANDARDS.
- ALL DIMENSIONS ARE IN IMPERIAL (FEET & INCHES) UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF SHEATHING, CENTERLINE OF STUD, CENTERLINE OF DOORS AND WINDOWS, AND TO FACE OF ANY OTHER STRUCTURAL ELEMENT NOT LISTED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND INFORM COORDINATING REGISTERED PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO UNDERTAKING THE PORTION OF WORK WHICH IS IN REFERENCE TO ANY DISCREPANCY.
- DO NOT SCALE THESE DRAWINGS. FINLAYSON BONET ARCHITECTURE LTD. IS NOT RESPONSIBLE FOR ISSUES THAT ARISE FROM A FAILURE TO COMPLY.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL SPECIFICATIONS, STRUCTURAL DRAWINGS AND SPECIFICATIONS, MECHANICAL DRAWINGS AND SPECIFICATIONS, ELECTRICAL DRAWINGS AND SPECIFICATIONS, CIVIL DRAWINGS AND SPECIFICATIONS, LANDSCAPE DRAWINGS AND SPECIFICATIONS, INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS AND ANY OTHER CONSULTANT DEEMED PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS, BYLAW APPROVALS, AND OBSERVE ALL REQUIRED SAFETY REGULATIONS THROUGHOUT THE COURSE OF CONSTRUCTION.
- PENETRATIONS THROUGH FIRE SEPARATIONS ARE TO BE SEALED WITH A LISTED ULC FIRESTOP ASSEMBLY.
- SHOULD ANY EXISTING FIRE RATED ASSEMBLY AFFECTED BY THE RENOVATION SCOPE OF WORK, BE FOUND TO BE NON-COMPLIANT WITH A 45 MIN FIRE RESISTANT RATING ADDITIONAL LAYER(S) OF FIRE RATED GYPSUM WALLBOARD TO BE PROVIDED IN CONFORMANCE WITH
- IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.

DRAWING LIST

A1.00	SITE PLAN & PROJECT DATA
A1.01	ASSEMBLIES
A2.00	FOUNDATION PLAN
A2.01	LOWER FLOOR PLAN
A2.02	MAIN FLOOR PLAN
A2.03	ROOF PLAN
A3.00	NORTH & EAST ELEVATIONS
A3.01	SOUTH & WEST ELEVATIONS
A4.00	BUILDING SECTIONS & WALL DETAIL
A5.00	MISC. DETAILS
A5.01	WINDOW & DOOR DETAILS

PROJECT DATA

LEGAL DESCRIPTION: LOT 55, SECTION 68, VICTORIA DISTRICT, PLAN VIP10250, PID 005-184-053

LOT SIZE: 0.09 HECTARES / 0.22 ACRES / 905.8 m²

ZONING: R1-G

BUILDING AREA:

- EXISTING BUILDING: 156.12 m²
- PROPOSED ADDITION & DECKS: 112.98 m²
- TOTAL: 269.10 m²

GROSS FLOOR AREA:

- 1661 RICHARDSON STREET:
 - MAIN FLOOR - EXISTING: 75.13 m²
 - MAIN FLOOR - PROPOSED: 40.03 m²
 - LOWER FLOOR - EXISTING: 35.59 m²
 - LOWER FLOOR - PROPOSED: 39.43 m²
 - TOTAL: 190.18 m²
- 1663 RICHARDSON STREET:
 - MAIN FLOOR - EXISTING: 75.13 m²
 - MAIN FLOOR - PROPOSED: 40.03 m²
 - LOWER FLOOR - EXISTING: 35.59 m²
 - LOWER FLOOR - PROPOSED: 39.43 m²
 - TOTAL: 190.18 m²
- TOTAL: 380.36 m²

LOT COVERAGE (30% MAX): 29.7%

FLOOR AREA RATIO (0.5 MAX): 0.42

SETBACKS:

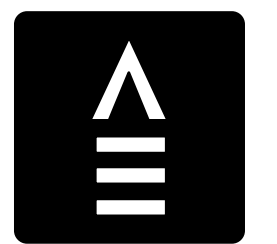
- FRONT YARD (NORTH): 7.62 m EXISTING
- REAR YARD (SOUTH): 20.12 m
- INTERIOR SIDE YARD (EAST): 2.97 m
- INTERIOR SIDE YARD (WEST): 2.97 m

AVERAGE GRADE: 10.97 m

BUILDING HEIGHT: 5.22 m

PARKING:

- REQUIRED: 2 TOTAL (1 PER UNIT)
- PROVIDED:
 - 1661 RICHARDSON ST.: 1 GARAGE & 1 DRIVEWAY EXISTING
 - 1663 RICHARDSON ST.: 1 GARAGE & 1 DRIVEWAY EXISTING



FINLAYSON BONET
ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd.
Saanichton V8M 2B4
Phone: 250-656-2224
Fax: 250-656-2275
Email: info@finlaysonbonet.ca

16Nov22	Issued for permit	
Rev	Date	Description
Checked By		SMB
Drawn By		MEH / RJC
Scale		AS NOTED
Date		NOVEMBER 16, 2022

Project Name
RICHARDSON ST. RENO
1661 & 1663 RICHARDSON ST.
VICTORIA, B.C.

Drawing Title
SITE PLAN & PROJECT DATA

Drawing No. **A1.00**

Project No. **21491**

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture Ltd. and may not be used for the project shown and may not be reproduced without written consent.

2 SITE PLAN
A1.00 Scale: 1:100

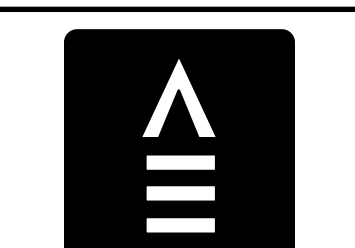
PARTITION ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING (REQUIRED)	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
P1		NEW 2x4 PARTITION <ul style="list-style-type: none"> 1/2" GYPSUM WALLBOARD 2x4 WOOD STUDS @ 16" O.C. ACOUSTIC INSULATION @ BEDROOM AND WASHROOM SEPARATIONS 1/2" GYPSUM WALLBOARD NOTE! • IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD. • REFER TO STRUCTURAL FOR SHEARWALL INFORMATION.	-	-	-	-
P2		NEW 2x6 PARTITION <ul style="list-style-type: none"> 1/2" GYPSUM WALLBOARD 2x6 WOOD STUDS @ 16" O.C. ACOUSTIC INSULATION @ BEDROOM AND WASHROOM SEPARATIONS 1/2" GYPSUM WALLBOARD NOTE! • IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.	-	-	-	-
P3		NEW PARTYWALL PARTITION <ul style="list-style-type: none"> 5/8" TYPE 'X' GYPSUM WALLBOARD 1/2" PLYWOOD SHEATHING 2x4 WOOD STUDS @ 16" O.C. ACOUSTIC BATT INSULATION TO FILL CAVITY AIR SPACE ACOUSTIC BATT INSULATION TO FILL CAVITY 2x4 WOOD STUDS @ 16" O.C. 1/2" PLYWOOD SHEATHING 5/8" TYPE 'X' GYPSUM WALLBOARD NOTE! • IN WET LOCATIONS SUBSTITUTE CGC SHEETROCK BRAND PANELS MOLD TOUGH FIRECODE X (CAN/ULC S102) FOR GYPSUM WALLBOARD. • REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.	1.0 HR	BCBC 2018 W13a	-	57 STC
P4		NEW LOWER FLOOR PARTYWALL PARTITION W/ FURRING WALL <ul style="list-style-type: none"> 1/2" GYPSUM WALLBOARD 2x6 WOOD STUDS @ 16" O.C. 5/8" TYPE 'X' GYPSUM WALLBOARD 1/2" PLYWOOD SHEATHING 2x4 WOOD STUDS @ 16" O.C. ACOUSTIC BATT INSULATION TO FILL CAVITY AIR SPACE ACOUSTIC BATT INSULATION TO FILL CAVITY 2x4 WOOD STUDS @ 16" O.C. 1/2" PLYWOOD SHEATHING 5/8" TYPE 'X' GYPSUM WALLBOARD 2x6 WOOD STUDS @ 16" O.C. 1/2" GYPSUM WALLBOARD NOTE! • IN WET LOCATIONS SUBSTITUTE CGC SHEETROCK BRAND PANELS MOLD TOUGH FIRECODE X (CAN/ULC S102) FOR GYPSUM WALLBOARD. • REFER TO STRUCTURAL FOR SHEAR WALL INFORMATION.	1.0 HR	BCBC 2018 W13a	-	57 STC
P5a		INTERIOR ATTIC PARTITION 1 <ul style="list-style-type: none"> 5/8" TYPE 'X' GYPSUM WALLBOARD 2x6 WOOD STUDS @ 16" O.C. TO UNDERSIDE OF ROOF SHEATHING. (REFER TO STRUCTURAL) 5/8" TYPE 'X' GYPSUM WALLBOARD NOTE! • APPLY INTUMESCENT FIRE CAULK AT ALL GYPSUM JOINTS.	1.0 HR	BCBC 2018 APPENDIX D	-	-
P5b		INTERIOR ATTIC PARTITION 2 <ul style="list-style-type: none"> 5/8" TYPE 'X' GYPSUM WALLBOARD PRE-ENGINEERED DRAG TRUSS (REFER TO STRUCTURAL) 5/8" TYPE 'X' GYPSUM WALLBOARD NOTE! • APPLY INTUMESCENT FIRE CAULK AT ALL GYPSUM JOINTS.	1.0 HR	BCBC 2018 APPENDIX D	-	-
P5c		INTERIOR ATTIC PARTITION 3 <ul style="list-style-type: none"> 5/8" TYPE 'X' GYPSUM WALLBOARD DOUBLE DRAG TRUSS (REFER TO STRUCTURAL) 5/8" TYPE 'X' GYPSUM WALLBOARD NOTE! • APPLY INTUMESCENT FIRE CAULK AT ALL GYPSUM JOINTS.	1.0 HR	BCBC 2018 APPENDIX D	-	-
P5d		EXTERIOR ATTIC PARTITION <ul style="list-style-type: none"> 5/8" DENSGLOSS FIREGUARD SHEATHING DOUBLE DRAG TRUSS (REFER TO STRUCTURAL) 5/8" DENSGLOSS FIREGUARD SHEATHING NOTE! • APPLY INTUMESCENT FIRE CAULK AT ALL GYPSUM JOINTS.	1.0 HR	BCBC 2018 APPENDIX D	-	-
P6		NEW DECK PRIVACY SCREEN <ul style="list-style-type: none"> 2x6 HORIZONTAL BOARDS @ 11" O.C. 2x4 WOOD STUDS @ 16" O.C. 2x6 HORIZONTAL BOARDS @ 11" O.C. 	1.0 HR	BCBC 2018 APPENDIX D	-	-
P7		EXISTING MAIN FLOOR PARTYWALL PARTITION <ul style="list-style-type: none"> NEW 5/8" TYPE 'X' GYPSUM WALLBOARD NEW RESILIENT CHANNELS 24" O.C. EXISTING 1/2" PLASTER STUCCO EXISTING 3/8" GYPSUM WALLBOARD EXISTING 2x4 STAGGERED WOOD STUDS EXISTING ACOUSTIC BATT INSULATION EXISTING 3/8" GYPSUM WALLBOARD EXISTING 1/2" PLASTER STUCCO NEW RESILIENT CHANNELS 24" O.C. NEW 5/8" TYPE 'X' GYPSUM WALLBOARD 	1.0 HR	BCBC 2018 W13a	-	57 STC

FOUNDATION WALL ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION (PLAN)	DESCRIPTION	REQUIRED FIRE RATING	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
FD1		FOUNDATION WALL 1 <ul style="list-style-type: none"> 1/2" GYPSUM WALLBOARD 3-1/2" TYPE 3 EXPANDED POLYSTYRENE RIGID INSULATION 2x4 WOOD STUD FRAMING @ 16" O.C. AIRSPACE 8" REINFORCED CONCRETE FOUNDATION WALL WITH A 16" WIDE x 8" DEEP CONCRETE STRIP FOOTING SELF-ADHERED SBS WATERPROOF MEMBRANE POLY PROPYLENE DRAINAGE MAT DRAIN ROCK FILTER FABRIC CLEAN BACKFILL NOTE! • IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.	-	-	-	-
FD2		FOUNDATION WALL 2 <ul style="list-style-type: none"> 8" REINFORCED CONCRETE FOUNDATION WALL NOTE! • REFER TO STRUCTURAL FOR FOOTING SIZE.	-	-	-	-
FD3		FOUNDATION WALL 3 <ul style="list-style-type: none"> 6" REINFORCED CONCRETE FOUNDATION WALL NOTE! • REFER TO STRUCTURAL FOR FOOTING SIZE.	-	-	-	-

ROOF ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING (REQUIRED)	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
R1		ROOF ASSEMBLY 1 <ul style="list-style-type: none"> ASPHALT OR FIBERGLASS SHINGLES TO MATCH EXISTING #15 FELT UNDERLAY 5/8" PLYWOOD SHEATHING ENGINEERED TRUSSES @ 24" O.C. R40 MINERAL WOOL BATT INSULATION 6mil POLY VAPOUR BARRIER 5/8" GYPSUM CEILING BOARD or 1/2" GYPSUM CEILING BOARD 	-	-	-	-
R2		ROOF ASSEMBLY 2 <ul style="list-style-type: none"> 2-PLY SBS MODIFIED BITUMEN ROOFING MEMBRANE 5/8" TONGUE AND GROOVE PLYWOOD SHEATHING ENGINEERED TRUSSES @ 24" O.C. R40 MINERAL WOOL BATT INSULATION 6mil POLY VAPOUR BARRIER 5/8" GYPSUM CEILING BOARD or 1/2" GYPSUM CEILING BOARD 	-	-	-	-
R3		ROOF ASSEMBLY 3 <ul style="list-style-type: none"> ASPHALT OR FIBERGLASS SHINGLES TO MATCH EXISTING #15 FELT UNDERLAY 5/8" PLYWOOD SHEATHING ENGINEERED TRUSSES @ 24" O.C. PREFINISHED PERFORATED METAL SOFFIT 	-	-	-	-

FLOOR ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING (REQUIRED)	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
F1		NEW CONCRETE SLAB ON GRADE <ul style="list-style-type: none"> FLOOR FINISH BY OWNER 4" REINFORCED CONCRETE SLAB ON GRADE 6mil POLYETHYLENE VAPOUR BARRIER R51 2" 11" EXTRUDED POLYSTYRENE RIGID INSULATION 8" COMPACTED GRAVEL FILL BEARING SOIL NOTE! • EXTEND RIGID INSULATION 48" IN FROM FOUNDATION WALL.	-	-	-	-
F2		NEW MAIN FLOOR <ul style="list-style-type: none"> FLOOR FINISH BY OWNER 3/4" PLYWOOD SHEATHING BATT INSULATION TO FILL CAVITY 2x10 JOISTS @ 16" O.C. WITH BRIDGING 1/2" GYPSUM CEILINGBOARD OR 5/8" GYPSUM WALLBOARD 	-	-	-	-
F3		NEW DECK <ul style="list-style-type: none"> 2x6 WOOD DECKING WITH 1/4" GAP BETWEEN BOARDS 2x6 WOOD JOISTS @ 12" O.C. WITH BRIDGING AND STRAPPING (REFER TO STRUCTURAL) NOTE! • APPLY SELF-APPLIED ELASTOMERIC BITUMEN TAPE TO TOP OF JOISTS.	-	-	-	-

WALL ASSEMBLIES						
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING (REQUIRED)	TESTING AGENCY	U-VALUE (EFFECTIVE R-VALUE)	STC RATING
W1		NEW EXTERIOR WALL WITH HARDIE BOARD <ul style="list-style-type: none"> 26ga VERTICAL METAL CLADDING 3/4" PRESSURE TREATED PLYWOOD STRAPPING AT 16" O.C. OR DRAINAGE MAT (KEENE DRIWALL RAINSCREEN 10MM OR SIMILAR) VAPOUR PERMEABLE SHEATHING MEMBRANE 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS AT 16" O.C. R22 BATT INSULATION 6MIL POLY VAPOUR BARRIER 1/2" GYPSUM WALLBOARD NOTE! • IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD. • REFER TO STRUCTURAL FOR SHEARWALL INFORMATION. • ASSEMBLY W1a - TYPE A: SUBSTITUTE 1/2" GYPSUM WALLBOARD FOR 5/8" TYPE 'X' GYPSUM WALLBOARD	-	-	-	-
W2		NEW EXTERIOR WALL WITH FURRING WALL <ul style="list-style-type: none"> 26ga VERTICAL METAL CLADDING 3/4" PRESSURE TREATED PLYWOOD STRAPPING AT 16" O.C. OR DRAINAGE MAT (KEENE DRIWALL RAINSCREEN 10MM OR SIMILAR) VAPOUR PERMEABLE SHEATHING MEMBRANE 1/2" PLYWOOD SHEATHING 2x6 WOOD STUDS AT 16" O.C. R22 BATT INSULATION AIR SPACE R22 BATT INSULATION 2x6 WOOD STUDS @ 16" O.C. 1/2" GYPSUM WALL BOARD 6MIL POLY VAPOUR BARRIER NOTE! • IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD. • FURRING WALL TO HAVE R22 BATT INSULATION FOR SECTION AGAINST FOUNDATION WALL.	-	-	-	-



FINLAYSON BONET
ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd.
Saanichton V8M 2B4
Phone: 250-656-2224
Fax: 250-656-2279
Email: info@finlaysonbonet.ca

16Nov22 Issued for permit

Rev Date Description

Checked By SMB

Drawn By MEH / RJC

Scale N.T.S.

Date

NOVEMBER 16, 2022

Project Name

RICHARDSON ST. RENO
1661 & 1663 RICHARDSON ST.
VICTORIA, B.C.

Drawing Title

ASSEMBLIES

Drawing No.

A1.01

Project No.

21491

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

KEY NOTES

- REMOVE ALL COMPONENTS OF EXISTING WALL ASSEMBLY. DISPOSE OF OFFSITE.
- REMOVE EXISTING EXTERIOR STUCCO, LATH, SHEATHING AND MEMBRANE. DISPOSE OF OFFSITE. EXISTING STUDS, TOP PLATE, AND BOTTOM PLATE TO REMAIN.
- REMOVE EXISTING SECTION OF EXTERIOR WALL AND FOUNDATION WALL. DISPOSE OF OFFSITE. PREPARE OPENING FOR INSTALLATION OF NEW DOOR.
- REMOVE INDICATED PORTION OF EXISTING ROOF SHINGLES, MEMBRANE AND SHEATHING. DISPOSE OF OFFSITE. PREPARE OPENING FOR INSTALLATION OF NEW ROOF ASSEMBLY.
- REMOVE EXISTING CHIMNEY AND DISPOSE OF OFFSITE. REPAIR ROOF AS REQUIRED TO MATCH EXISTING ASSEMBLY.
- REMOVE EXISTING DOWNSPOUT AND INDICATED PORTION OF EAVESTROUGH. DISPOSE OF OFFSITE.
- REMOVE EXISTING DOOR. DISPOSE OF OFFSITE.
- REMOVE EXISTING WINDOW. DISPOSE OF OFFSITE.
- REMOVE EXISTING CHIMNEY AND ASSOCIATED FOUNDATION. DISPOSE OF OFFSITE.
- REMOVE EXISTING FURNACE AND ASSOCIATED DUCTWORK. RETAIN FOR REUSE.
- REMOVE INDICATED PORTION OF EXISTING INTERIOR STAIRS AND HANDRAILS. DISPOSE OF OFFSITE.
- REMOVE EXISTING DECK ASSEMBLY, ASSOCIATED FOUNDATION, STAIRS, GUARD AND HANDRAIL. DISPOSE OF OFFSITE.
- REMOVE EXISTING CONCRETE STAIRS, RETAINING WALLS, METAL PIPE GUARD AND PERIMETER DRAIN. DISPOSE OF OFFSITE.
- REMOVE EXISTING RAISED HEARTH, MANTLE, AND FIREPLACE SURROUND. DISPOSE OF OFFSITE.
- REMOVE INDICATED SECTION OF EXISTING FLOOR ASSEMBLY. DISPOSE OF OFFSITE. PREPARE OPENING FOR NEW STAIRS.
- 8" x 8" REINFORCED CONCRETE UPSTAND ON A 24" x 24" x 10" DEEP CONCRETE PAD FOOTING (REFER TO STRUCTURAL).
- REMOVE EXISTING MILLWORK AND KITCHEN APPLIANCES. DISPOSE OF OFFSITE.
- EXISTING ELECTRICAL PANEL OR METER TO REMAIN.

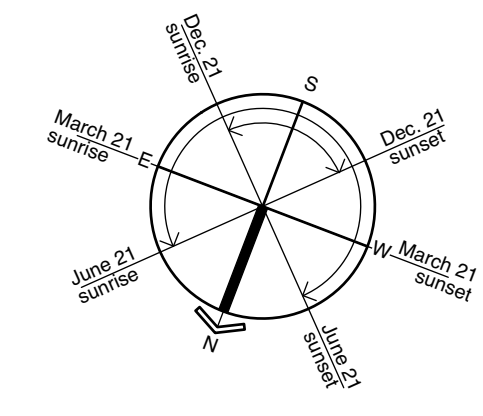
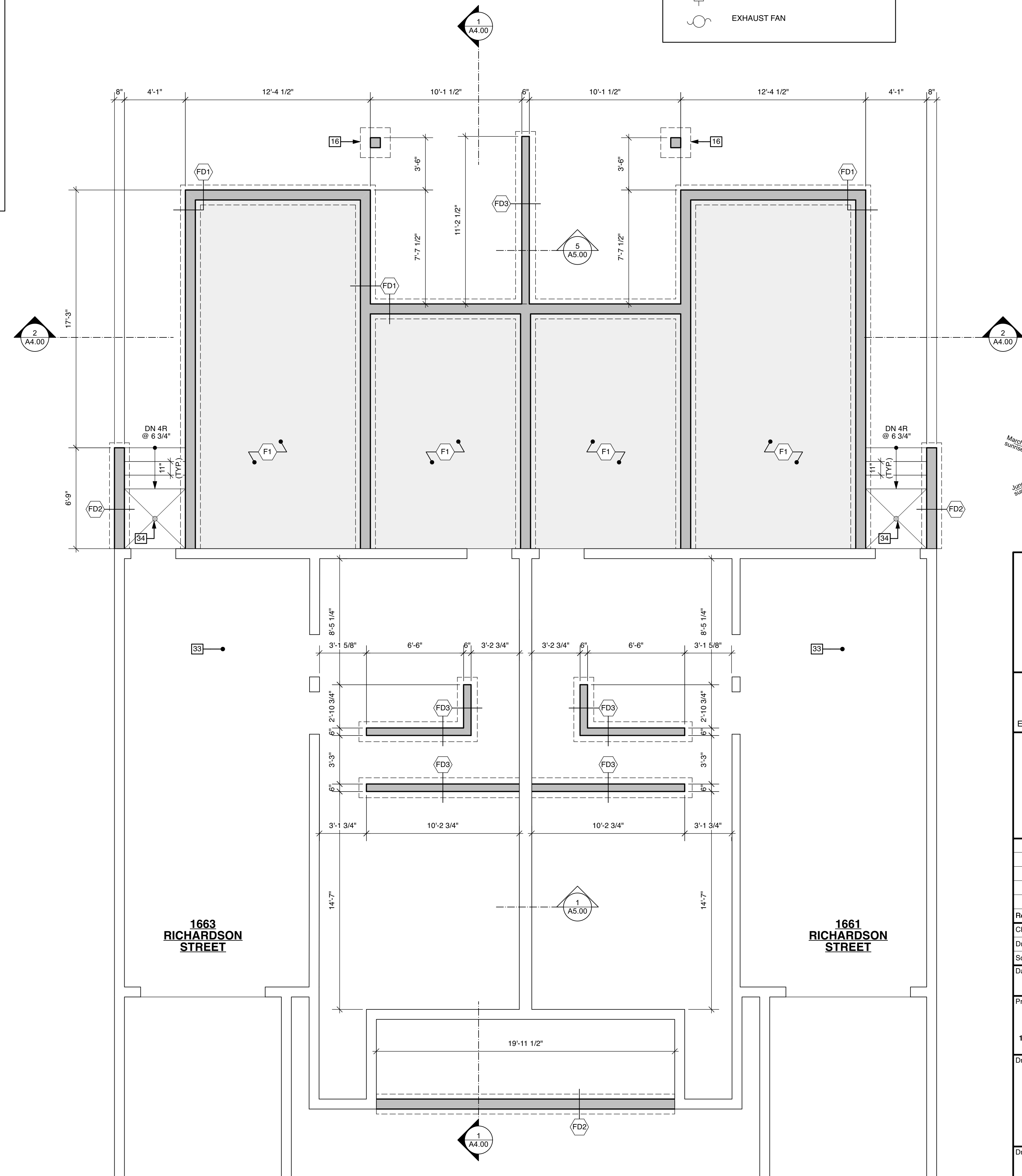
- EXISTING 6" PIPE TO REMAIN.
- EXISTING 2'-0" x 2'-4" ACCESS HATCH ABOVE TO REMAIN.
- EXISTING ROOF VENT TO REMAIN.
- SUPPLY AND INSTALL NEW 2'-0" x 4'-0" CURB MOUNTED SKYLIGHTS.
- SUPPLY AND INSTALL NEW INSULATION AND GYPSUM WALL BOARD TO EXISTING 2x6 STUD WALL. REFER TO ASSEMBLY P2.
- SUPPLY AND INSTALL NEW RESILIENT CHANNELS AT 24" O.C. AND NEW 5/8" TYPE 'X' GYPSUM WALL BOARD TO EACH SIDE OF EXISTING PARTY WALL. REFER TO ASSEMBLY P8.
- INFILL OPENING IN EXISTING WALL. REFER TO ASSEMBLY P1.
- INFILL OPENING IN EXISTING WALL. REFER TO ASSEMBLY P2.
- SUPPLY AND INSTALL NEW WINDOW IN EXISTING OPENING. REPAIR WALL AS REQUIRED TO MATCH EXISTING ASSEMBLY.
- PROVIDE NEW EXTERIOR CONCRETE STAIRS, RETAINING WALL, 42" HIGH PREFINISHED METAL GUARD, 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL, AND LANDING WITH DRAIN. LANDING TO BE SLOPED TOWARDS DRAIN.
- PROVIDE NEW DECK ASSEMBLY, STAIRS, GUARD AND HANDRAIL.
- SUPPLY AND INSTALL NEW ELECTRIC FIREPLACE. MODEL TO BE CONFIRMED BY CLIENTS.
- SUPPLY AND INSTALL NEW ROOF VENT.
- SUPPLY AND INSTALL NEW 42" HIGH PREFINISHED METAL GUARD WITH 1/2" THICK LAMINATED TEMPERED GLASS PANELS & 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL.
- EXISTING CONCRETE SLAB TO REMAIN.
- FLOOR DRAIN.
- WINDOW SIZE & LOCATION TO BE CONFIRMED ON SITE.
- REMOVE EXISTING WINDOW AND DISPOSE OF OFFSITE. INFILL OPENING WITH ASSEMBLY TO MATCH EXISTING.
- 42" HIGH PREFINISHED METAL GUARD.

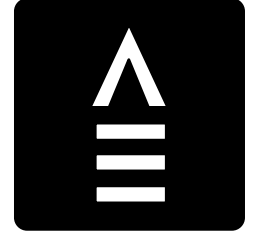
SYMBOL LEGEND

- ASSEMBLY TAGS
- DETAIL TAG
- BUILDING SECTION MARKER
- CARBON MONOXIDE DETECTOR
- SMOKE ALARM
- EXHAUST FAN

WALL LEGEND

- EXISTING WALL ASSEMBLY TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL ASSEMBLY
- NEW SHEAR WALL (REFER TO STRUCTURAL)
- NEW CONCRETE WALL





**FINLAYSON
BONET**
ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd.
Saanichton V8M 2B4
Phone: 250-656-2224
Fax: 250-656-2279
Email: info@finlaysonbonet.ca

16Nov22 Issued for permit	
Rev	Description
Checked By	SMB
Drawn By	MEH / RJC
Scale	1/4"=1'-0"
Date	NOVEMBER 16, 2022
Project Name	RICHARDSON ST. RENO 1661 & 1663 RICHARDSON ST. VICTORIA, B.C.
Drawing Title	FOUNDATION PLAN
Drawing No.	A2.00
Project No.	21491

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

2
A2.00 Scale: 1/4" = 1'-0" FOUNDATION PLAN

KEY NOTES

- REMOVE ALL COMPONENTS OF EXISTING WALL ASSEMBLY. DISPOSE OF OFFSITE.
- REMOVE EXISTING EXTERIOR STUCCO, LATH, SHEATHING AND MEMBRANE. DISPOSE OF OFFSITE. EXISTING STUDS, TOP PLATE, AND BOTTOM PLATE TO REMAIN.
- REMOVE EXISTING SECTION OF EXTERIOR WALL AND FOUNDATION WALL. DISPOSE OF OFFSITE. PREPARE OPENING FOR INSTALLATION OF NEW DOOR.
- REMOVE INDICATED PORTION OF EXISTING ROOF SHINGLES, MEMBRANE AND SHEATHING. DISPOSE OF OFFSITE. PREPARE OPENING FOR INSTALLATION OF NEW ROOF ASSEMBLY.
- REMOVE EXISTING CHIMNEY AND DISPOSE OF OFFSITE. REPAIR ROOF AS REQUIRED TO MATCH EXISTING ASSEMBLY.
- REMOVE EXISTING DOWNSPOUT AND INDICATED PORTION OF EAVESTROUGH. DISPOSE OF OFFSITE.
- REMOVE EXISTING DOOR. DISPOSE OF OFFSITE.
- REMOVE EXISTING WINDOW. DISPOSE OF OFFSITE.
- REMOVE EXISTING CHIMNEY AND ASSOCIATED FOUNDATION. DISPOSE OF OFFSITE.
- REMOVE EXISTING FURNACE AND ASSOCIATED DUCTWORK. RETAIN FOR REUSE.
- REMOVE INDICATED PORTION OF EXISTING INTERIOR STAIRS AND HANDRAILS. DISPOSE OF OFFSITE.
- REMOVE EXISTING DECK ASSEMBLY, ASSOCIATED FOUNDATION, STAIRS, GUARD AND HANDRAIL. DISPOSE OF OFFSITE.
- REMOVE EXISTING CONCRETE STAIRS, RETAINING WALLS, METAL PIPE GUARD AND PERIMETER DRAIN. DISPOSE OF OFFSITE.
- REMOVE EXISTING RAISED HEARTH, MANTLE, AND FIREPLACE SURROUND. DISPOSE OF OFFSITE.
- REMOVE INDICATED SECTION OF EXISTING FLOOR ASSEMBLY. DISPOSE OF OFFSITE. PREPARE OPENING FOR NEW STAIRS.
- 8" x 8" REINFORCED CONCRETE UPSTAND ON A 24" x 24" x 10" DEEP CONCRETE PAD FOOTING (REFER TO STRUCTURAL).
- REMOVE EXISTING MILLWORK AND KITCHEN APPLIANCES. DISPOSE OF OFFSITE.
- EXISTING ELECTRICAL PANEL OR METER TO REMAIN.

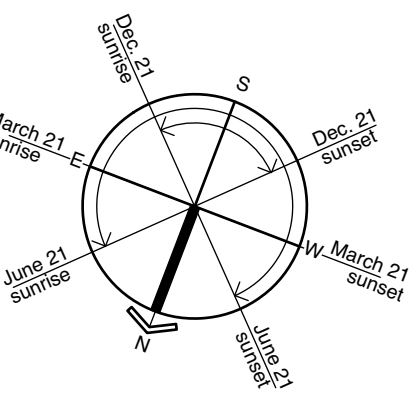
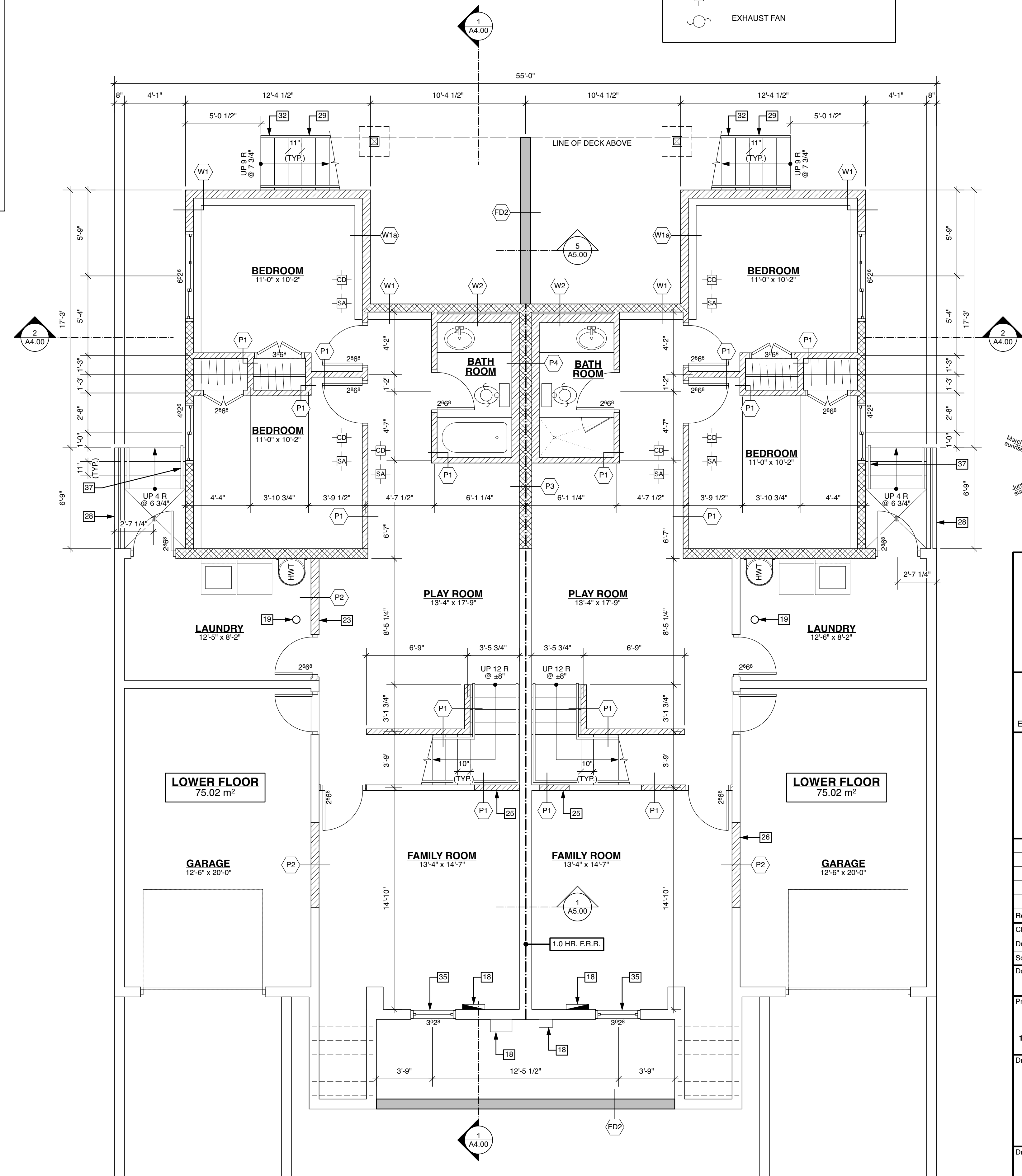
- EXISTING 6" PIPE TO REMAIN.
- EXISTING 2'-0" x 2'-4" ACCESS HATCH ABOVE TO REMAIN.
- EXISTING ROOF VENT TO REMAIN.
- SUPPLY AND INSTALL NEW 2'-0" x 4'-0" CURB MOUNTED SKYLIGHTS.
- SUPPLY AND INSTALL NEW INSULATION AND GYPSUM WALL BOARD TO EXISTING 2x6 STUD WALL. REFER TO ASSEMBLY P2.
- SUPPLY AND INSTALL NEW RESILIENT CHANNELS AT 24" O.C. AND NEW 5/8" TYPE 'X' GYPSUM WALL BOARD TO EACH SIDE OF EXISTING PARTY WALL. REFER TO ASSEMBLY P8.
- INFILL OPENING IN EXISTING WALL. REFER TO ASSEMBLY P1.
- INFILL OPENING IN EXISTING WALL. REFER TO ASSEMBLY P2.
- SUPPLY AND INSTALL NEW WINDOW IN EXISTING OPENING. REPAIR WALL AS REQUIRED TO MATCH EXISTING ASSEMBLY.
- PROVIDE NEW EXTERIOR CONCRETE STAIRS, RETAINING WALL, 42" HIGH PREFINISHED METAL GUARD, 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL, AND LANDING WITH DRAIN. LANDING TO BE SLOPED TOWARDS DRAIN.
- PROVIDE NEW DECK ASSEMBLY, STAIRS, GUARD AND HANDRAIL.
- SUPPLY AND INSTALL NEW ELECTRIC FIREPLACE. MODEL TO BE CONFIRMED BY CLIENTS.
- SUPPLY AND INSTALL NEW ROOF VENT.
- SUPPLY AND INSTALL NEW 42" HIGH PREFINISHED METAL GUARD WITH 1/2" THICK LAMINATED TEMPERED GLASS PANELS & 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL.
- EXISTING CONCRETE SLAB TO REMAIN.
- FLOOR DRAIN.
- WINDOW SIZE & LOCATION TO BE CONFIRMED ON SITE.
- REMOVE EXISTING WINDOW AND DISPOSE OF OFFSITE. INFILL OPENING WITH ASSEMBLY TO MATCH EXISTING.
- 42" HIGH PREFINISHED METAL GUARD.

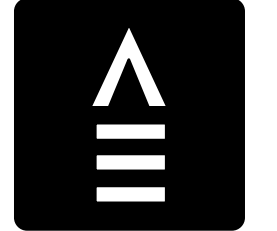
SYMBOL LEGEND

- ASSEMBLY TAGS
- DETAIL TAG
- BUILDING SECTION MARKER
- CARBON MONOXIDE DETECTOR
- SMOKE ALARM
- EXHAUST FAN

WALL LEGEND

- EXISTING WALL ASSEMBLY TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL ASSEMBLY
- NEW SHEAR WALL (REFER TO STRUCTURAL)
- NEW CONCRETE WALL





**FINLAYSON
BONET
ARCHITECTURE LTD.**

#4 - 7855 East Saanich Rd.
Saanichton V8M 2B4
Phone: 250-656-2224
Fax: 250-656-2279
Email: info@finlaysonbonet.ca

16Nov22 Issued for permit	
Rev	Description
Checked By	SMB
Drawn By	MEH / RJC
Scale	1/4"=1'-0"
Date	NOVEMBER 16, 2022
Project Name	RICHARDSON ST. RENO 1661 & 1663 RICHARDSON ST. VICTORIA, B.C.
Drawing Title	LOWER FLOOR PLAN
Drawing No.	A2.01
Project No.	21491

© Copyright reserved. These plans and designs are and all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

2 A2.01 Scale: 1/4" = 1'-0" LOWER FLOOR PLAN

KEY NOTES

- REMOVE ALL COMPONENTS OF EXISTING WALL ASSEMBLY. DISPOSE OF OFFSITE.
- REMOVE EXISTING EXTERIOR STUCCO, LATH, SHEATHING AND MEMBRANE. DISPOSE OF OFFSITE. EXISTING STUDS, TOP PLATE, AND BOTTOM PLATE TO REMAIN.
- REMOVE EXISTING SECTION OF EXTERIOR WALL AND FOUNDATION WALL. DISPOSE OF OFFSITE. PREPARE OPENING FOR INSTALLATION OF NEW DOOR.
- REMOVE INDICATED PORTION OF EXISTING ROOF SHINGLES, MEMBRANE AND SHEATHING. DISPOSE OF OFFSITE. PREPARE OPENING FOR INSTALLATION OF NEW ROOF ASSEMBLY.
- REMOVE EXISTING CHIMNEY AND DISPOSE OF OFFSITE. REPAIR ROOF AS REQUIRED TO MATCH EXISTING ASSEMBLY.
- REMOVE EXISTING DOWNSPOUT AND INDICATED PORTION OF EAVESTROUGH. DISPOSE OF OFFSITE.
- REMOVE EXISTING DOOR. DISPOSE OF OFFSITE.
- REMOVE EXISTING WINDOW. DISPOSE OF OFFSITE.
- REMOVE EXISTING CHIMNEY AND ASSOCIATED FOUNDATION. DISPOSE OF OFFSITE.
- REMOVE EXISTING FURNACE AND ASSOCIATED DUCTWORK. RETAIN FOR REUSE.
- REMOVE INDICATED PORTION OF EXISTING INTERIOR STAIRS AND HANDRAILS. DISPOSE OF OFFSITE.
- REMOVE EXISTING DECK ASSEMBLY, ASSOCIATED FOUNDATION, STAIRS, GUARD AND HANDRAIL. DISPOSE OF OFFSITE.
- REMOVE EXISTING CONCRETE STAIRS, RETAINING WALLS, METAL PIPE GUARD AND PERIMETER DRAIN. DISPOSE OF OFFSITE.
- REMOVE EXISTING RAISED HEARTH, MANTLE, AND FIREPLACE SURROUND. DISPOSE OF OFFSITE.
- REMOVE INDICATED SECTION OF EXISTING FLOOR ASSEMBLY. DISPOSE OF OFFSITE. PREPARE OPENING FOR NEW STAIRS.
- 8" x 8" REINFORCED CONCRETE UPSTAND ON A 24" x 24" x 10" DEEP CONCRETE PAD FOOTING (REFER TO STRUCTURAL).
- REMOVE EXISTING MILLWORK AND KITCHEN APPLIANCES. DISPOSE OF OFFSITE.
- EXISTING ELECTRICAL PANEL OR METER TO REMAIN.

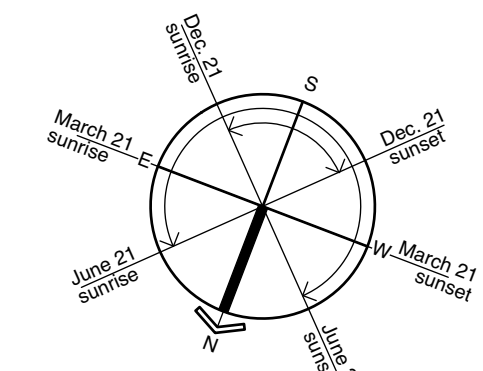
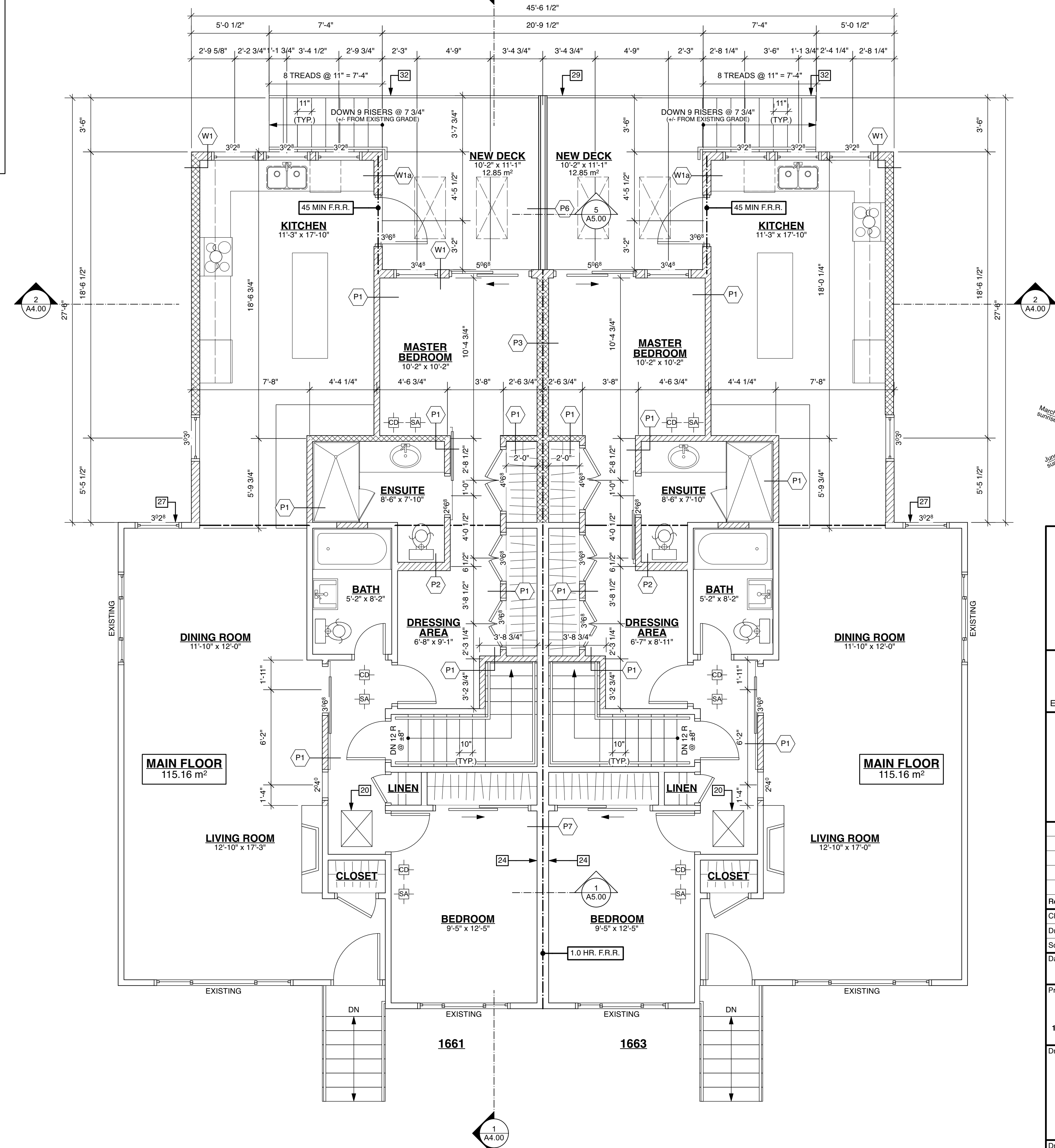
- EXISTING 6" PIPE TO REMAIN.
- EXISTING 2'-0" x 2'-4" ACCESS HATCH ABOVE TO REMAIN.
- EXISTING ROOF VENT TO REMAIN.
- SUPPLY AND INSTALL NEW 2'-0" x 4'-0" CURB MOUNTED SKYLIGHTS.
- SUPPLY AND INSTALL NEW INSULATION AND GYPSUM WALL BOARD TO EXISTING 2x6 STUD WALL. REFER TO ASSEMBLY P2.
- SUPPLY AND INSTALL NEW RESILIENT CHANNELS AT 24" O.C. AND NEW 5/8" TYPE 'X' GYPSUM WALL BOARD TO EACH SIDE OF EXISTING PARTY WALL. REFER TO ASSEMBLY P8.
- INFILL OPENING IN EXISTING WALL. REFER TO ASSEMBLY P1.
- INFILL OPENING IN EXISTING WALL. REFER TO ASSEMBLY P2.
- SUPPLY AND INSTALL NEW WINDOW IN EXISTING OPENING. REPAIR WALL AS REQUIRED TO MATCH EXISTING ASSEMBLY.
- PROVIDE NEW EXTERIOR CONCRETE STAIRS, RETAINING WALL, 42" HIGH PREFINISHED METAL GUARD, 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL, AND LANDING WITH DRAIN. LANDING TO BE SLOPED TOWARDS DRAIN.
- PROVIDE NEW DECK ASSEMBLY, STAIRS, GUARD AND HANDRAIL.
- SUPPLY AND INSTALL NEW ELECTRIC FIREPLACE. MODEL TO BE CONFIRMED BY CLIENTS.
- SUPPLY AND INSTALL NEW ROOF VENT.
- SUPPLY AND INSTALL NEW 42" HIGH PREFINISHED METAL GUARD WITH 1/2" THICK LAMINATED TEMPERED GLASS PANELS & 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL.
- EXISTING CONCRETE SLAB TO REMAIN.
- FLOOR DRAIN.
- WINDOW SIZE & LOCATION TO BE CONFIRMED ON SITE.
- REMOVE EXISTING WINDOW AND DISPOSE OF OFFSITE. INFILL OPENING WITH ASSEMBLY TO MATCH EXISTING.
- 42" HIGH PREFINISHED METAL GUARD.

SYMBOL LEGEND

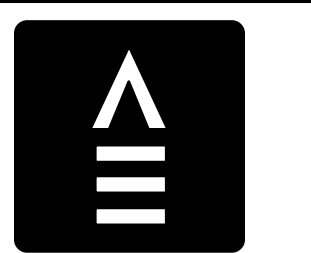
- ASSEMBLY TAGS
- DETAIL TAG
- BUILDING SECTION MARKER
- CARBON MONOXIDE DETECTOR
- SMOKE ALARM
- EXHAUST FAN

WALL LEGEND

- EXISTING WALL ASSEMBLY TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- NEW WALL ASSEMBLY
- NEW SHEAR WALL (REFER TO STRUCTURAL)
- NEW CONCRETE WALL



2 MAIN FLOOR PLAN Scale: 1/4" = 1'-0"



FINLAYSON BONET ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd. Saanichton V8M 2B4
 Phone: 250-656-2224 Fax: 250-656-2279
 Email: info@finlaysonbonet.ca

Rev	Date	Description

16Nov22 Issued for permit

Checked By: SMB
 Drawn By: MEH / RJC
 Scale: 1/4"=1'-0"
 Date: NOVEMBER 16, 2022

Project Name: **RICHARDSON ST. RENO**

1661 & 1663 RICHARDSON ST. VICTORIA, B.C.

Drawing Title: **MAIN FLOOR PLAN**

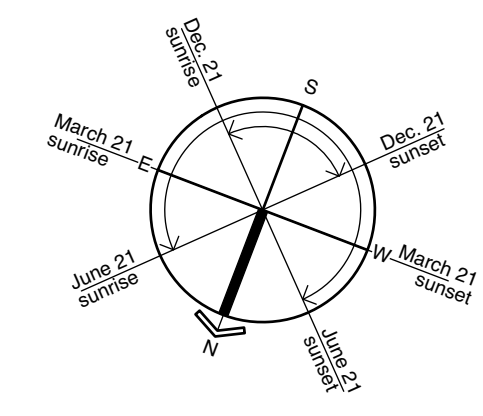
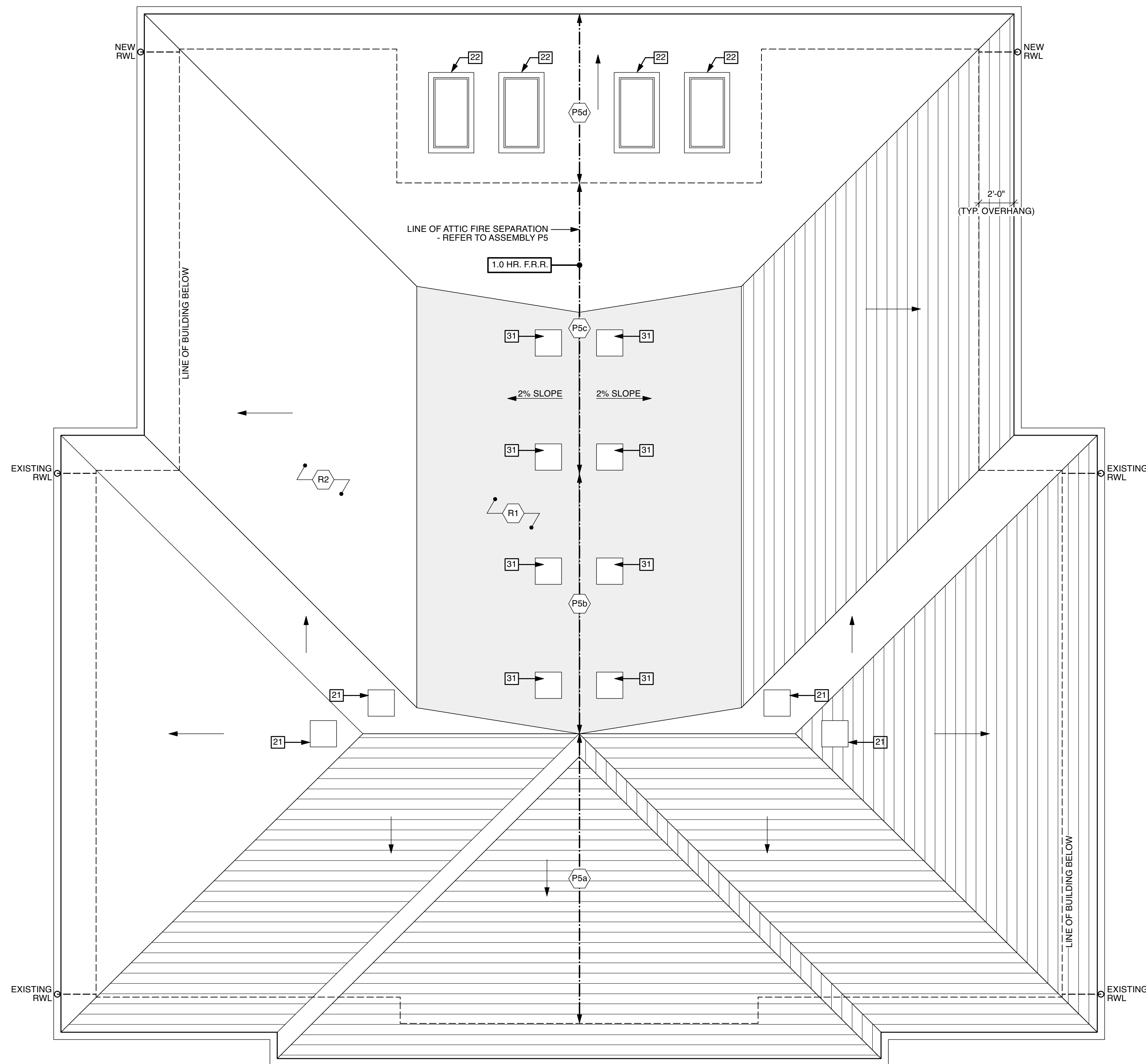
Drawing No. **A2.02**

Project No. **21491**

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

KEY NOTES

1. REMOVE ALL COMPONENTS OF EXISTING WALL ASSEMBLY. DISPOSE OF OFFSITE.
2. REMOVE EXISTING EXTERIOR STUCCO, LATH, SHEATHING AND MEMBRANE. DISPOSE OF OFFSITE. EXISTING STUDS, TOP PLATE, AND BOTTOM PLATE TO REMAIN.
3. REMOVE EXISTING SECTION OF EXTERIOR WALL AND FOUNDATION WALL. DISPOSE OF OFFSITE. PREPARE OPENING FOR INSTALLATION OF NEW DOOR.
4. REMOVE INDICATED PORTION OF EXISTING ROOF SHINGLES, MEMBRANE AND SHEATHING. DISPOSE OF OFFSITE. PREPARE OPENING FOR INSTALLATION OF NEW ROOF ASSEMBLY.
5. REMOVE EXISTING CHIMNEY AND DISPOSE OF OFFSITE. REPAIR ROOF AS REQUIRED TO MATCH EXISTING ASSEMBLY.
6. REMOVE EXISTING DOWNSPOUT AND INDICATED PORTION OF EAVESTROUGH. DISPOSE OF OFFSITE.
7. REMOVE EXISTING DOOR. DISPOSE OF OFFSITE.
8. REMOVE EXISTING WINDOW. DISPOSE OF OFFSITE.
9. REMOVE EXISTING CHIMNEY AND ASSOCIATED FOUNDATION. DISPOSE OF OFFSITE.
10. REMOVE EXISTING FURNACE AND ASSOCIATED DUCTWORK. RETAIN FOR REUSE.
11. REMOVE INDICATED PORTION OF EXISTING INTERIOR STAIRS AND HANDRAILS. DISPOSE OF OFFSITE.
12. REMOVE EXISTING DECK ASSEMBLY, ASSOCIATED FOUNDATION, STAIRS, GUARD AND HANDRAIL. DISPOSE OF OFFSITE.
13. REMOVE EXISTING CONCRETE STAIRS, RETAINING WALLS, METAL PIPE GUARD AND PERIMETER DRAIN. DISPOSE OF OFFSITE.
14. REMOVE EXISTING RAISED HEARTH, MANTLE, AND FIREPLACE SURROUND. DISPOSE OF OFFSITE.
15. REMOVE INDICATED SECTION OF EXISTING FLOOR ASSEMBLY. DISPOSE OF OFFSITE. PREPARE OPENING FOR NEW STAIRS.
16. 8" x 8" REINFORCED CONCRETE UPSTAND ON A 24" x 24" x 10" DEEP CONCRETE PAD FOOTING (REFER TO STRUCTURAL).
17. REMOVE EXISTING MILLWORK AND KITCHEN APPLIANCES. DISPOSE OF OFFSITE.
18. EXISTING ELECTRICAL PANEL OR METER TO REMAIN.
19. EXISTING 6" PIPE TO REMAIN.
20. EXISTING 2'-0" x 2'-4" ACCESS HATCH ABOVE TO REMAIN.
21. EXISTING ROOF VENT TO REMAIN.
22. SUPPLY AND INSTALL NEW 2'-0" x 4'-0" CURB MOUNTED SKYLIGHTS.
23. SUPPLY AND INSTALL NEW INSULATION AND GYPSUM WALL BOARD TO EXISTING 2x6 STUD WALL. REFER TO ASSEMBLY P2.
24. SUPPLY AND INSTALL NEW RESILIENT CHANNELS AT 24" O.C. AND NEW 5/8" TYPE 'X' GYPSUM WALL BOARD TO EACH SIDE OF EXISTING PARTY WALL. REFER TO ASSEMBLY P8.
25. INFILL OPENING IN EXISTING WALL. REFER TO ASSEMBLY P1.
26. INFILL OPENING IN EXISTING WALL. REFER TO ASSEMBLY P2.
27. SUPPLY AND INSTALL NEW WINDOW IN EXISTING OPENING. REPAIR WALL AS REQUIRED TO MATCH EXISTING ASSEMBLY.
28. PROVIDE NEW EXTERIOR CONCRETE STAIRS, RETAINING WALL, 42" HIGH PREFINISHED METAL GUARD, 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL, AND LANDING WITH DRAIN. LANDING TO BE SLOPED TOWARDS DRAIN.
29. PROVIDE NEW DECK ASSEMBLY, STAIRS, GUARD AND HANDRAIL.
30. SUPPLY AND INSTALL NEW ELECTRIC FIREPLACE. MODEL TO BE CONFIRMED BY CLIENTS.
31. SUPPLY AND INSTALL NEW ROOF VENT.
32. SUPPLY AND INSTALL NEW 42" HIGH PREFINISHED METAL GUARD WITH 1/2" THICK LAMINATED TEMPERED GLASS PANELS & 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL.
33. EXISTING CONCRETE SLAB TO REMAIN.
34. FLOOR DRAIN.
35. WINDOW SIZE & LOCATION TO BE CONFIRMED ON SITE.
36. REMOVE EXISTING WINDOW AND DISPOSE OF OFFSITE. INFILL OPENING WITH ASSEMBLY TO MATCH EXISTING.
37. 42" HIGH PREFINISHED METAL GUARD.



2
A2.03 ROOF PLAN Scale: 1/4" = 1'-0"

SYMBOL LEGEND

	ASSEMBLY TAGS
	DETAIL TAG
	BUILDING SECTION MARKER
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM
	EXHAUST FAN

WALL LEGEND

	EXISTING WALL ASSEMBLY TO REMAIN
	EXISTING WALL TO BE DEMOLISHED
	NEW WALL ASSEMBLY
	NEW SHEAR WALL (REFER TO STRUCTURAL)
	NEW CONCRETE WALL

FINLAYSON BONET ARCHITECTURE LTD.
 #4 - 7855 East Saanich Rd. Saanichton V8M 2B4
 Phone: 250-656-2224 Fax: 250-656-2279 Email: info@finlaysonbonet.ca

16Nov22 Issued for permit

Rev	Date	Description

Checked By: SMB
 Drawn By: MEH / RJC
 Scale: 1/4"=1'-0"
 Date: NOVEMBER 16, 2022

Project Name: **RICHARDSON ST. RENO**
 1661 & 1663 RICHARDSON ST. VICTORIA, B.C.

Drawing Title: **ROOF PLAN**

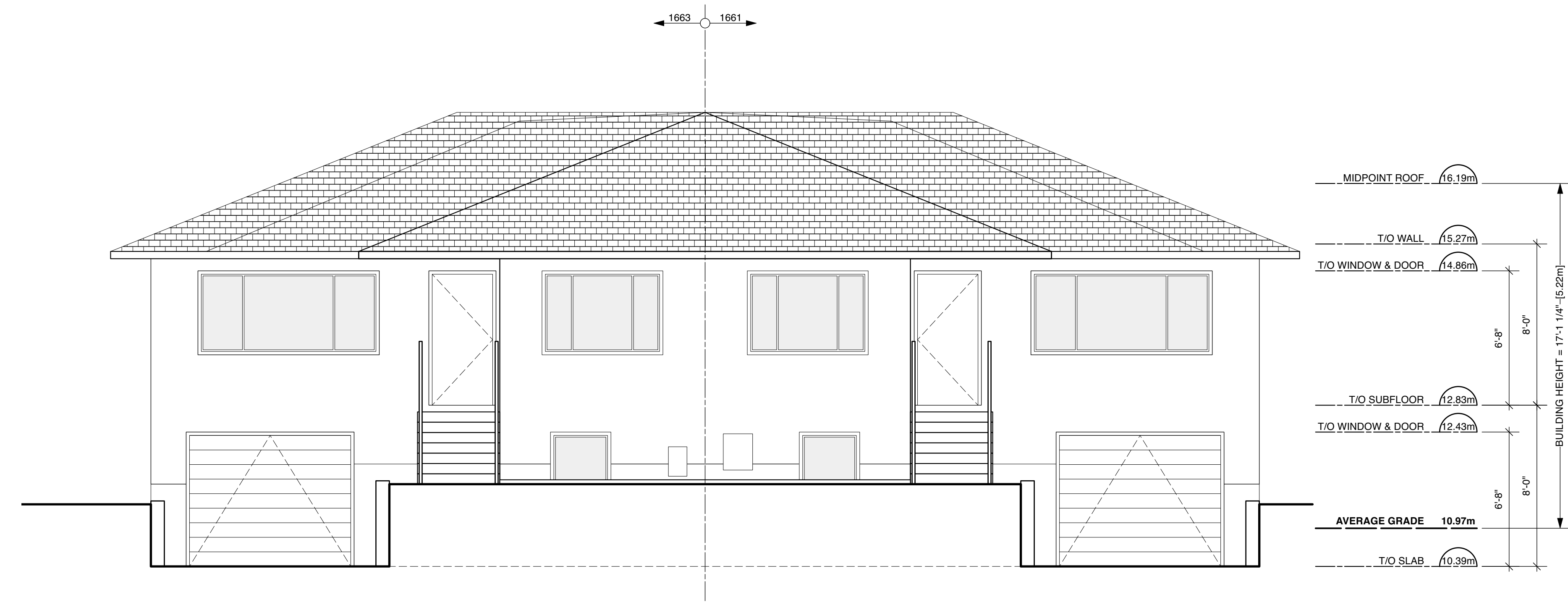
Drawing No. **A2.03**

Project No. **21491**

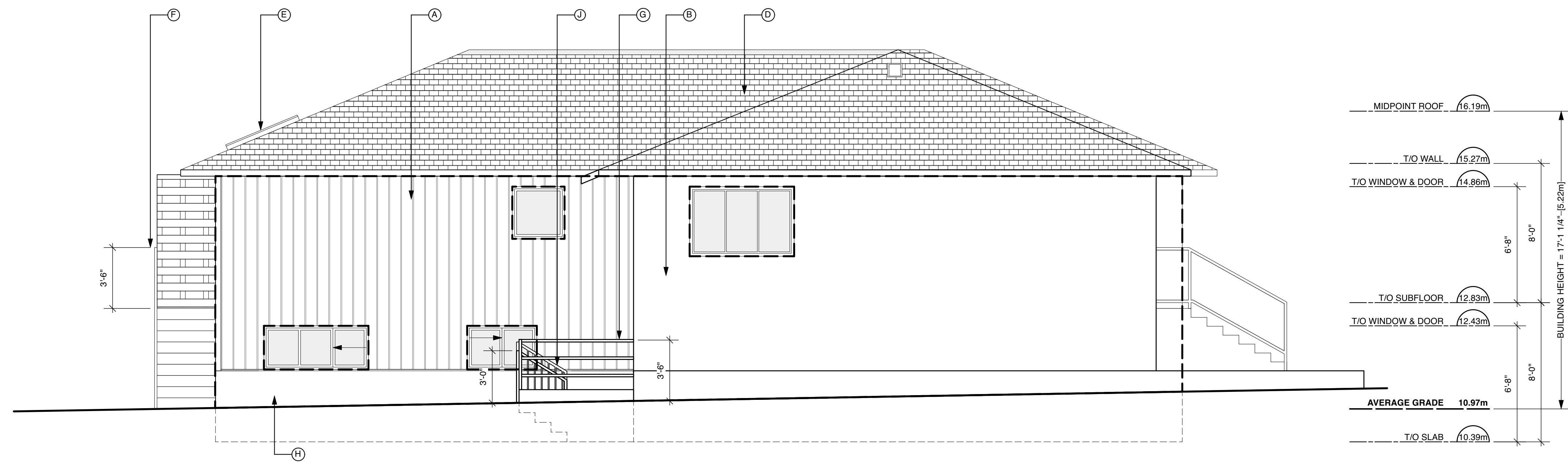
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

MATERIALS LEGEND	
A.	26ga VERTICAL METAL CLADDING.
B.	EXISTING STUCCO FINISH.
C.	6x6 WOOD POSTS.
D.	ASPHALT OR FIBREGLASS SHINGLES TO MATCH EXISTING.
E.	24" x 48" CURB MOUNTED FIXED SKYLIGHT.
F.	42" HIGH PREFINISHED METAL GUARD WITH 1/2" THICK LAMINATED TEMPERED GLASS PANELS AND 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL.
G.	42" HIGH PREFINISHED METAL GUARD WITH 3/4" PICKETS SPACED 4" MAX AND WITH 36" HIGH 1 1/2" Ø PREFINISHED METAL HANDRAIL.
H.	EXPOSED CONCRETE.
J.	42" HIGH PREFINISHED METAL GUARD WITH 3/4" PICKETS SPACED 4" MAX.

SYMBOL LEGEND	
	ASSEMBLY TAGS
	DETAIL TAG
	BUILDING SECTION MARKER
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM
	EXHAUST FAN

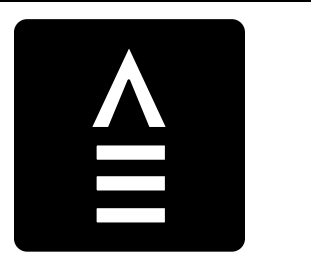


2 NORTH ELEVATION
Scale: 1/4" = 1'-0"



LIMITING DISTANCE (BCBC2018 TABLE 9.10.15.4.)	
LD	= 1.52 m
EBF	= 66.30 m ²
UPO	= 5.39 m ²
ALLOWABLE	= 8.1%
PROVIDED	= 8.1%

1 EAST ELEVATION
Scale: 1/4" = 1'-0"



FINLAYSON BONET
ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd.
Saanichton V8M 2B4
Phone: 250-656-2224
Fax: 250-656-2279
Email: info@finlaysonbonet.ca

16Nov22 Issued for permit

Rev	Date	Description
Checked By		SMB
Drawn By		MEH / RJC
Scale		1/4"=1'-0"
Date		

NOVEMBER 16, 2022

Project Name
RICHARDSON ST. RENO
1661 & 1663 RICHARDSON ST.
VICTORIA, B.C.

Drawing Title
NORTH & EAST ELEVATIONS

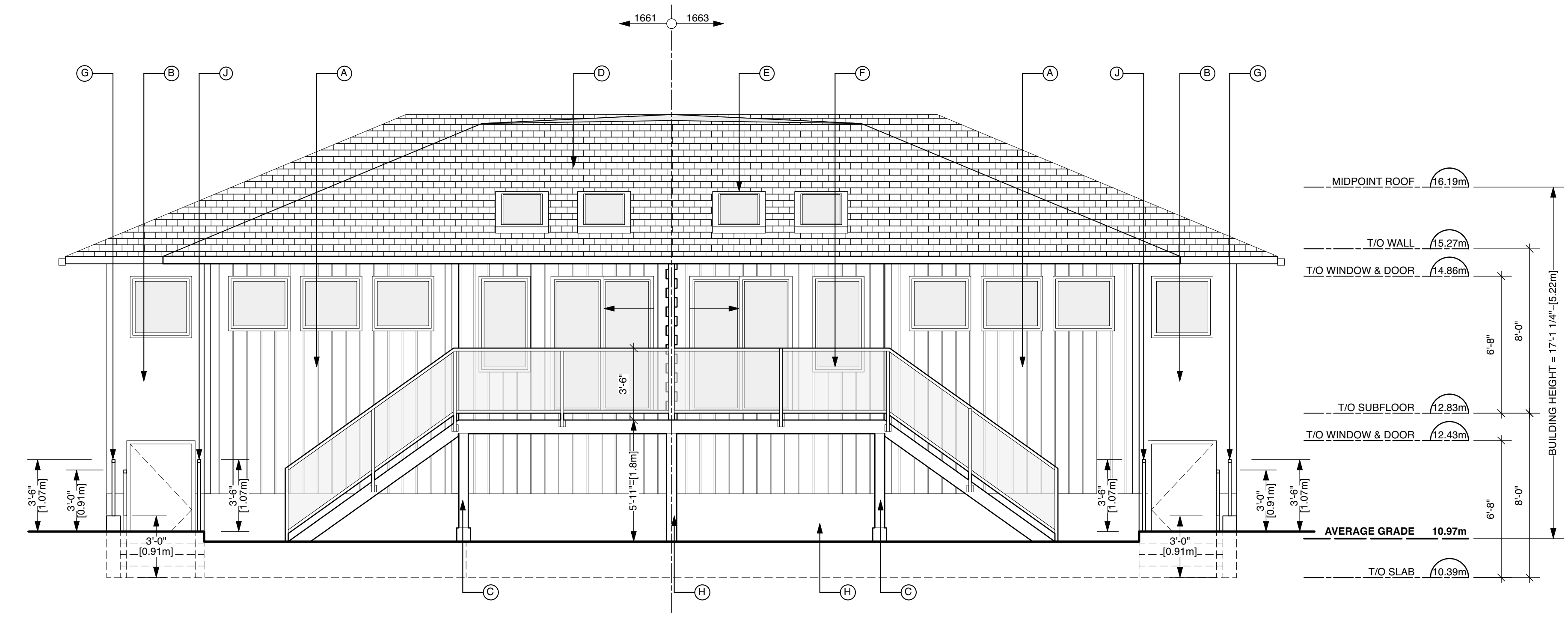
Drawing No. **A3.00**

Project No. **21491**

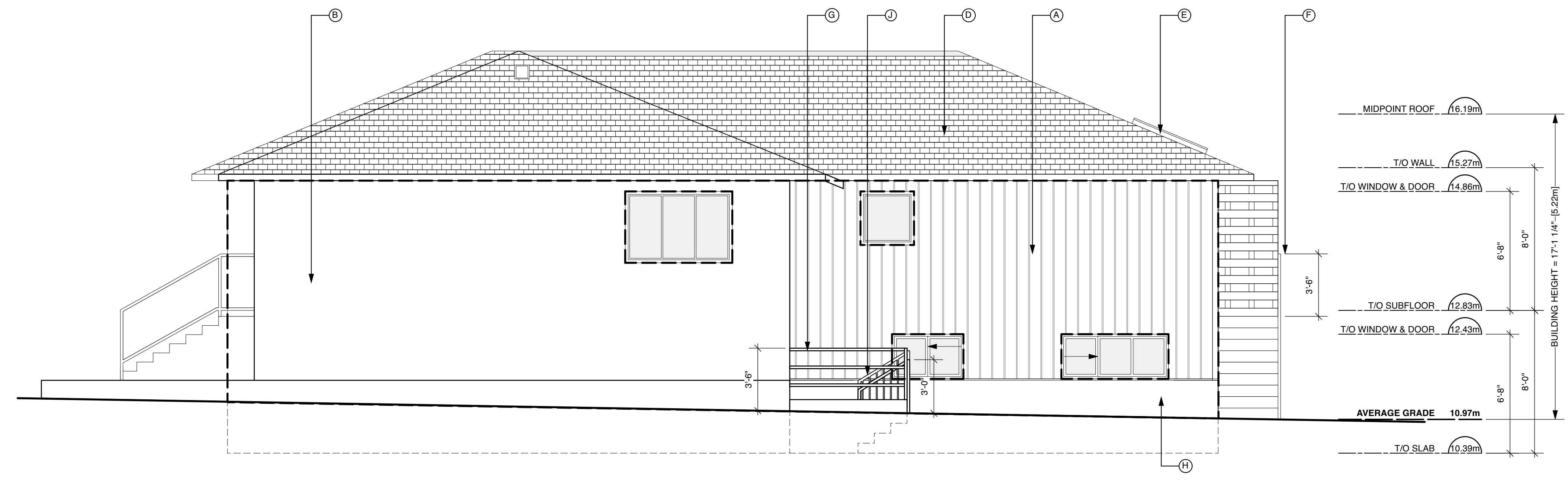
© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

MATERIALS LEGEND	
A.	26ga VERTICAL METAL CLADDING.
B.	EXISTING STUCCO FINISH.
C.	6x6 WOOD POSTS.
D.	ASPHALT OR FIBREGLASS SHINGLES TO MATCH EXISTING.
E.	24" x 48" CURB MOUNTED FIXED SKYLIGHT.
F.	42" HIGH PREFINISHED METAL GUARD WITH 1/2" THICK LAMINATED TEMPERED GLASS PANELS AND 36" HIGH 1 1/2" O PREFINISHED METAL HANDRAIL.
G.	42" HIGH PREFINISHED METAL GUARD WITH 3/4" PICKETS SPACED 4" MAX AND WITH 36" HIGH 1 1/2" O PREFINISHED METAL HANDRAIL.
H.	EXPOSED CONCRETE.
J.	42" HIGH PREFINISHED METAL GUARD WITH 3/4" PICKETS SPACED 4" MAX.

SYMBOL LEGEND	
	ASSEMBLY TAGS
	DETAIL TAG
	BUILDING SECTION MARKER
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM
	EXHAUST FAN



2 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



1 WEST ELEVATION
Scale: 1/4" = 1'-0"

LIMITING DISTANCE (BCBC2018 TABLE 9.10.15.4.)	
LD	= 1.52 m
EBF	= 66.30 m ²
UPO	= 5.39 m ²
ALLOWABLE	= 8.1%
PROVIDED	= 8.1%

**FINLAYSON
BONET**
ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd.
Saanichton V8M 2B4
Phone: 250-656-2224
Fax: 250-656-2279
Email: info@finlaysonbonet.ca

16Nov22 Issued for permit

Rev	Date	Description

Checked By: SMB
Drawn By: MEH / RJC
Scale: 1/4"=1'-0"
Date: NOVEMBER 16, 2022

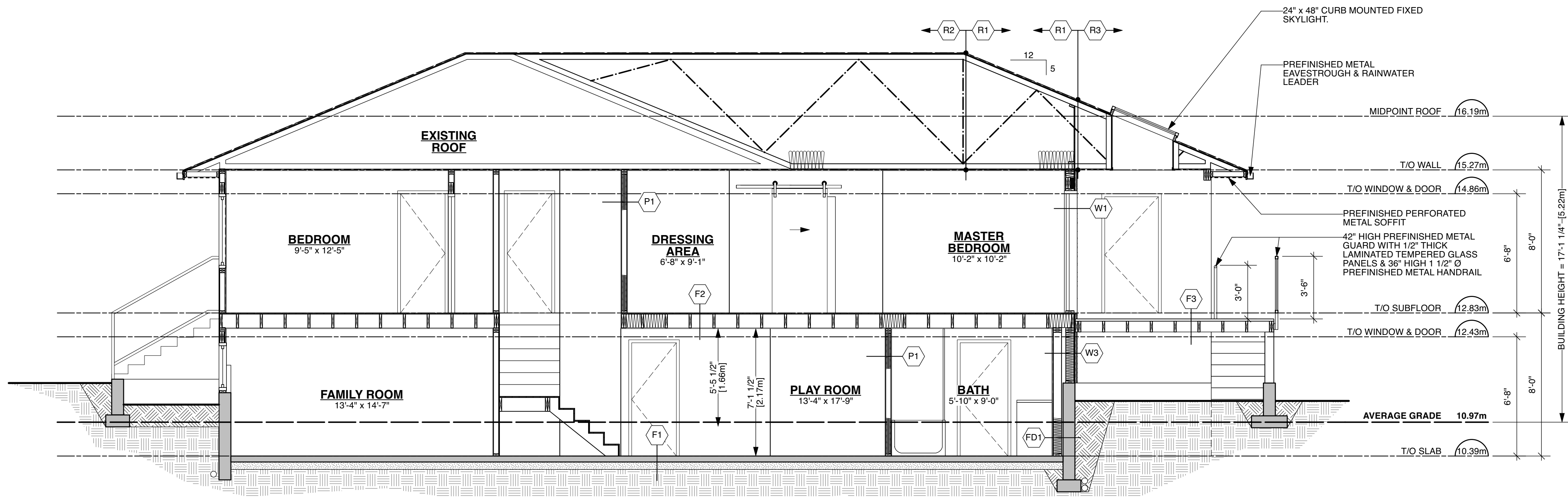
Project Name:
RICHARDSON ST. RENO
1661 & 1663 RICHARDSON ST.
VICTORIA, B.C.

Drawing Title:
SOUTH & WEST ELEVATIONS

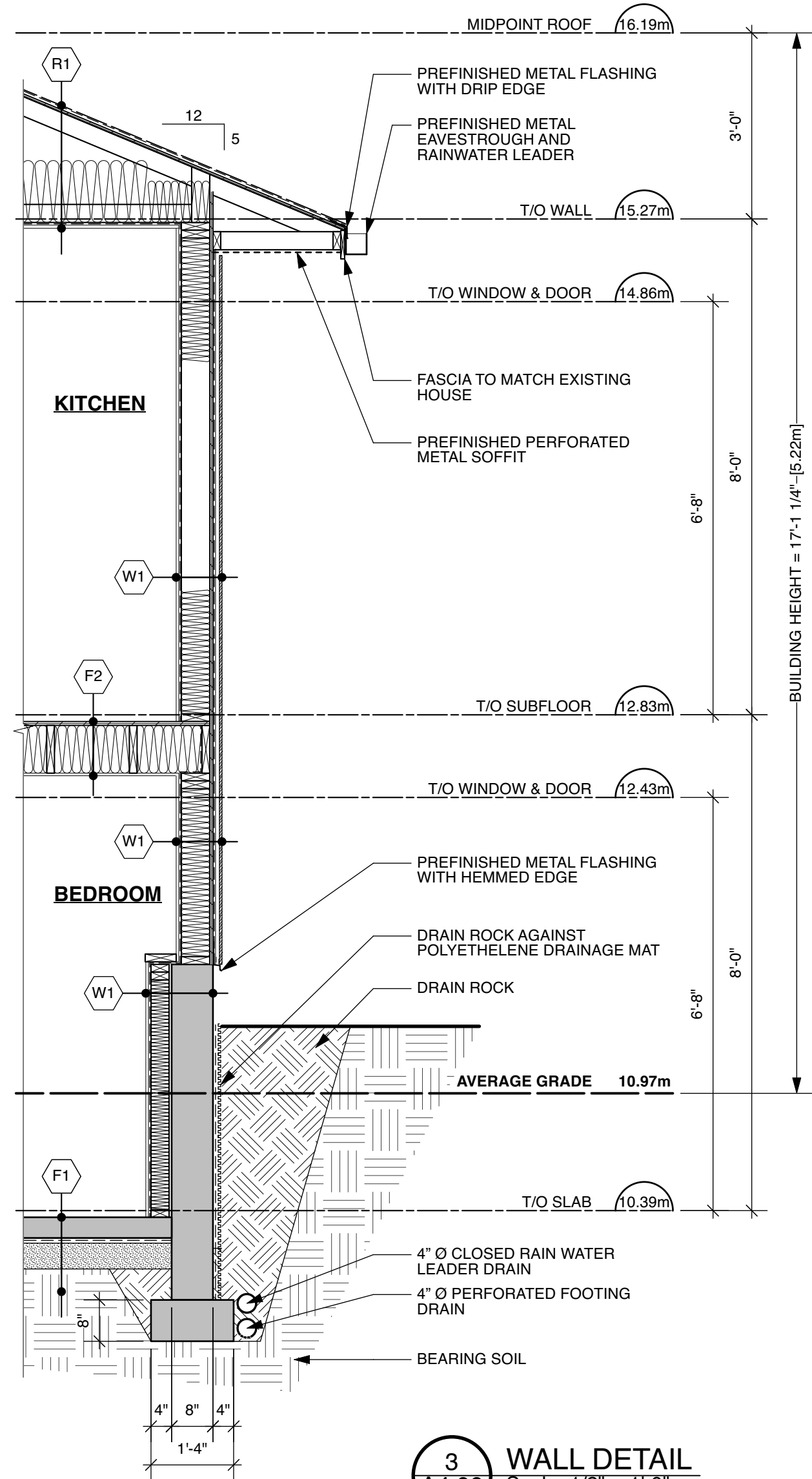
Drawing No.: **A3.01**
Project No.: **21491**

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

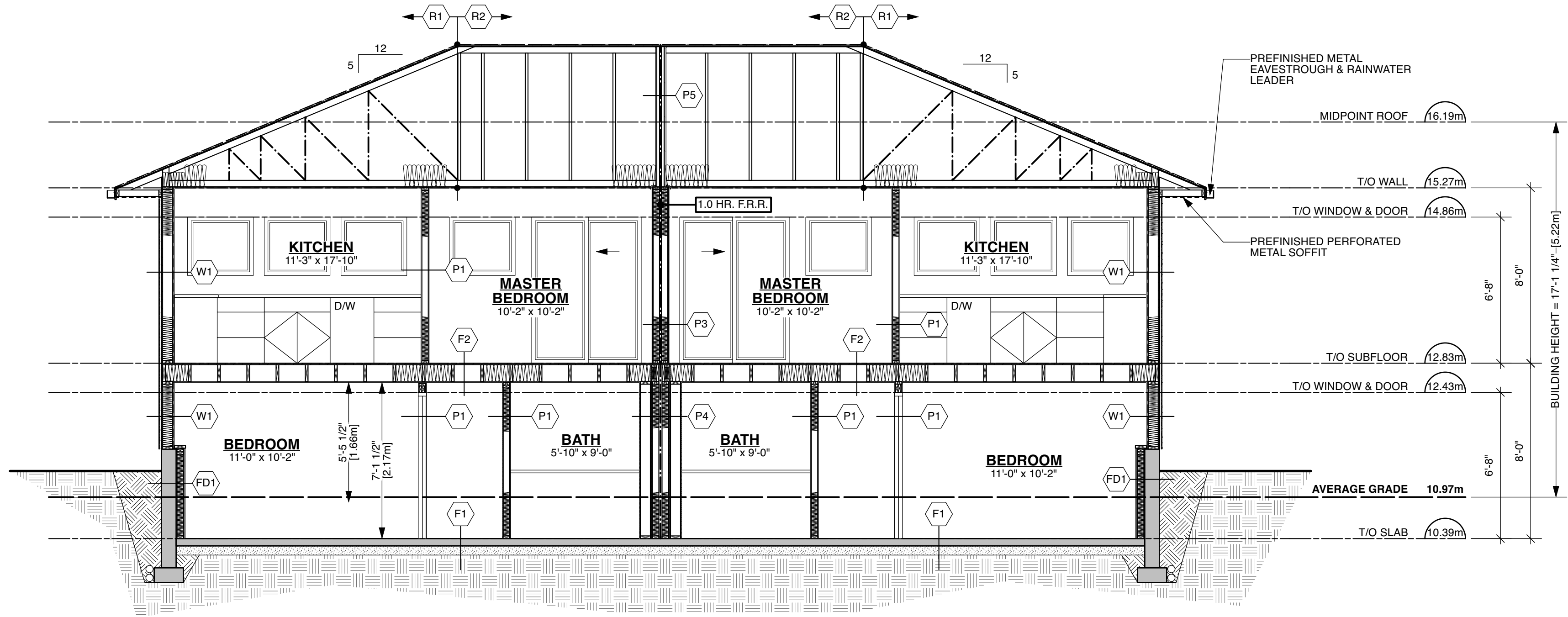
SYMBOL LEGEND	
	ASSEMBLY TAGS
	DETAIL TAG
	BUILDING SECTION MARKER
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM
	EXHAUST FAN



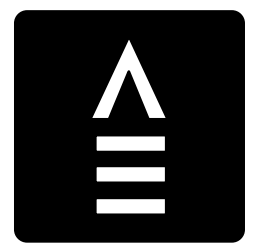
4 BUILDING SECTION ONE
A4.00 Scale: 1/4" = 1'-0"



3 WALL DETAIL
A4.00 Scale: 1/2" = 1'-0"



2 BUILDING SECTION TWO
A4.00 Scale: 1/4" = 1'-0"



**FINLAYSON
BONET**
ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd.
Saanichton V8M 2B4
Phone: 250-656-2224
Fax: 250-656-2279
Email: info@finlaysonbonet.ca

16Nov22 Issued for permit	
Rev	Date Description
Checked By	SMB
Drawn By	MEH / RJC
Scale	1/4"=1'-0"
Date	NOVEMBER 16, 2022

Project Name
**RICHARDSON ST.
RENO**
1661 & 1663 RICHARDSON ST.
VICTORIA, B.C.

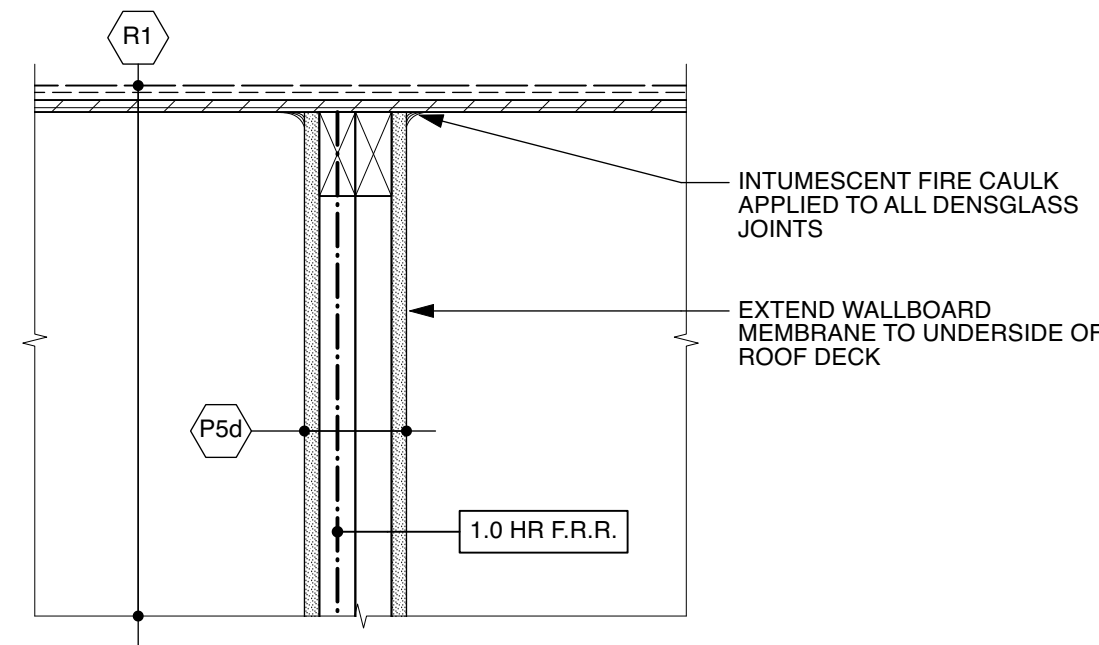
Drawing Title
**BUILDING
SECTIONS &
WALL DETAIL**

Drawing No. **A4.00**

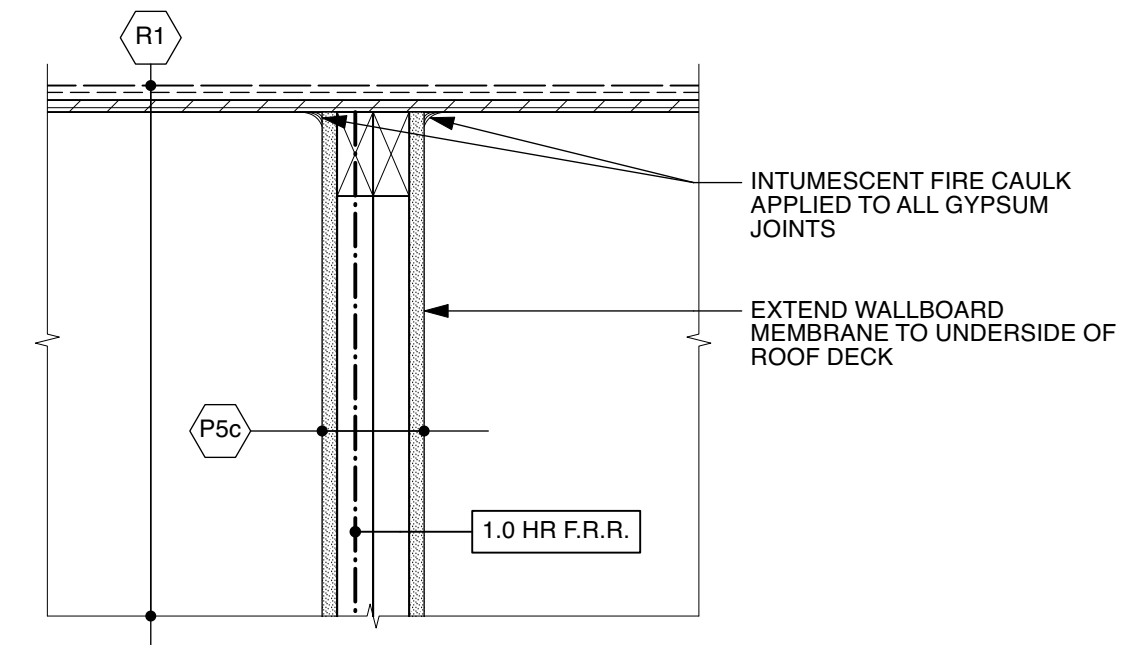
Project No. **21491**

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

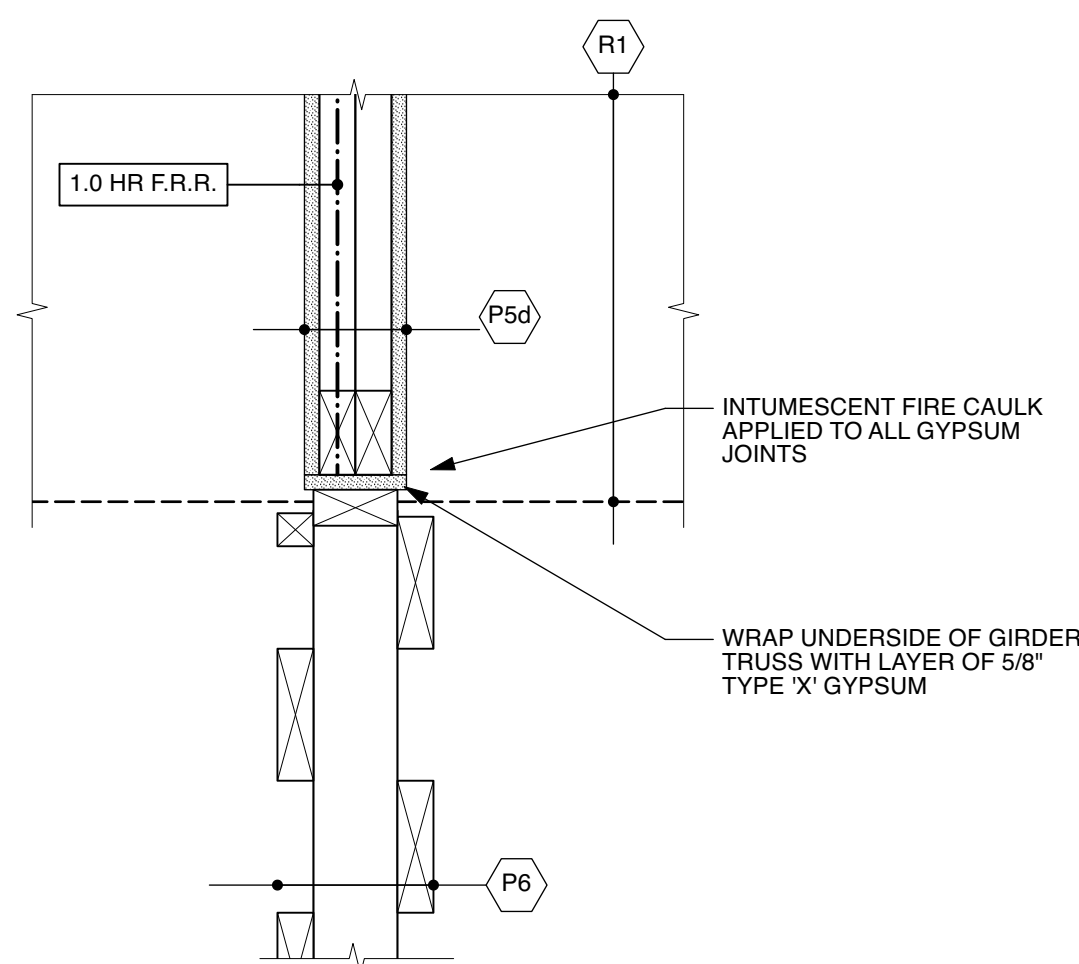
SYMBOL LEGEND	
	ASSEMBLY TAGS
	DETAIL TAG
	BUILDING SECTION MARKER
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM
	EXHAUST FAN



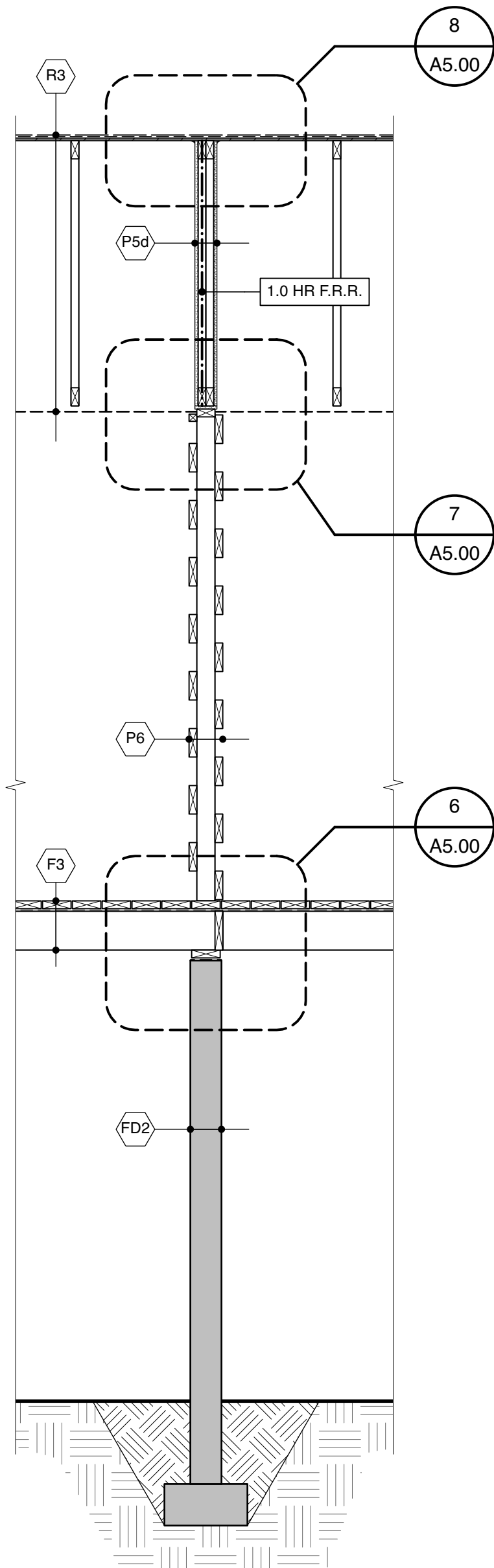
8 DECK ATTIC FIRE SEPARATION DETAIL
A5.00 Scale: 1 1/2" = 1'-0"



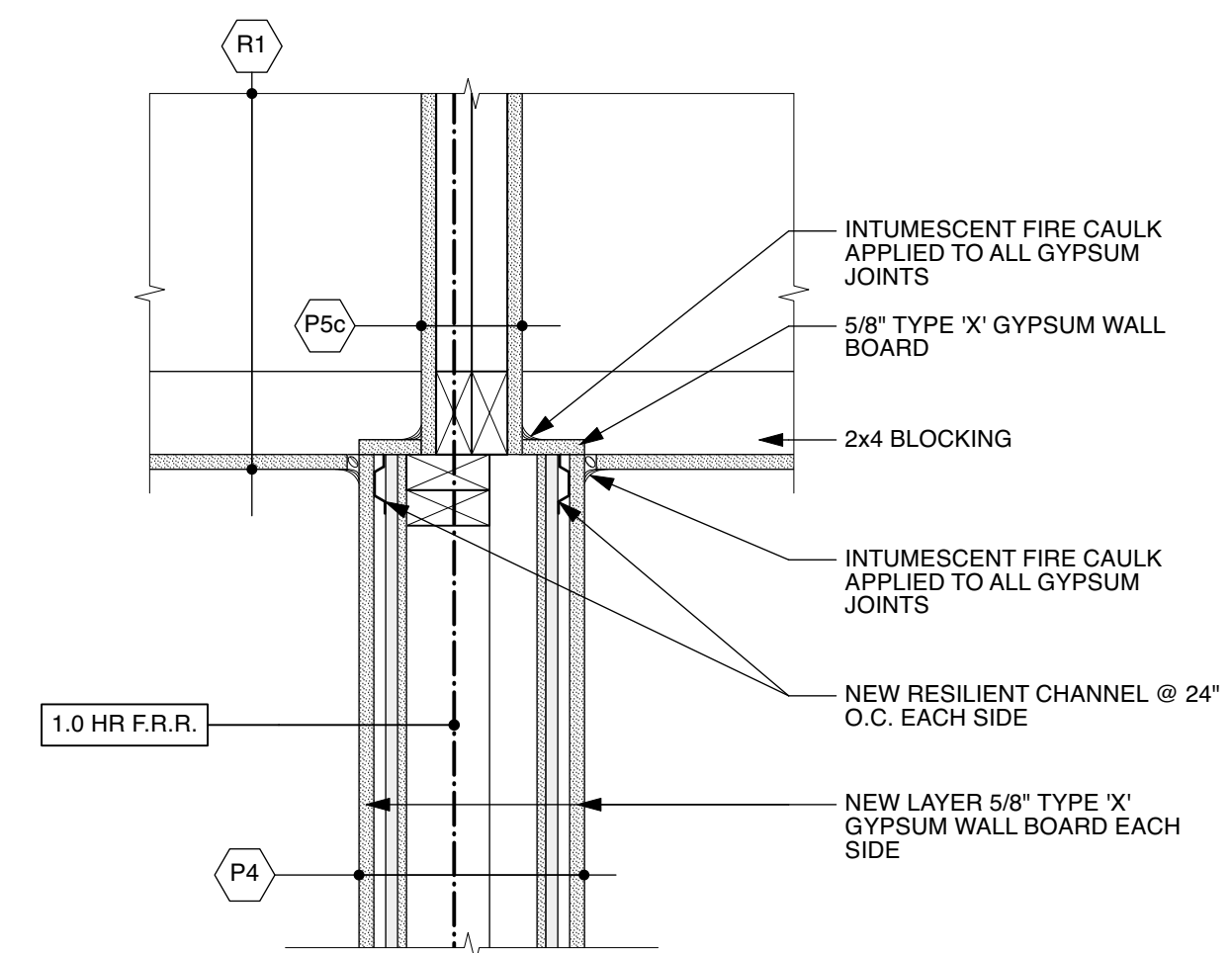
4 PARTY WALL AT ROOF DETAIL
A5.00 Scale: 1 1/2" = 1'-0"



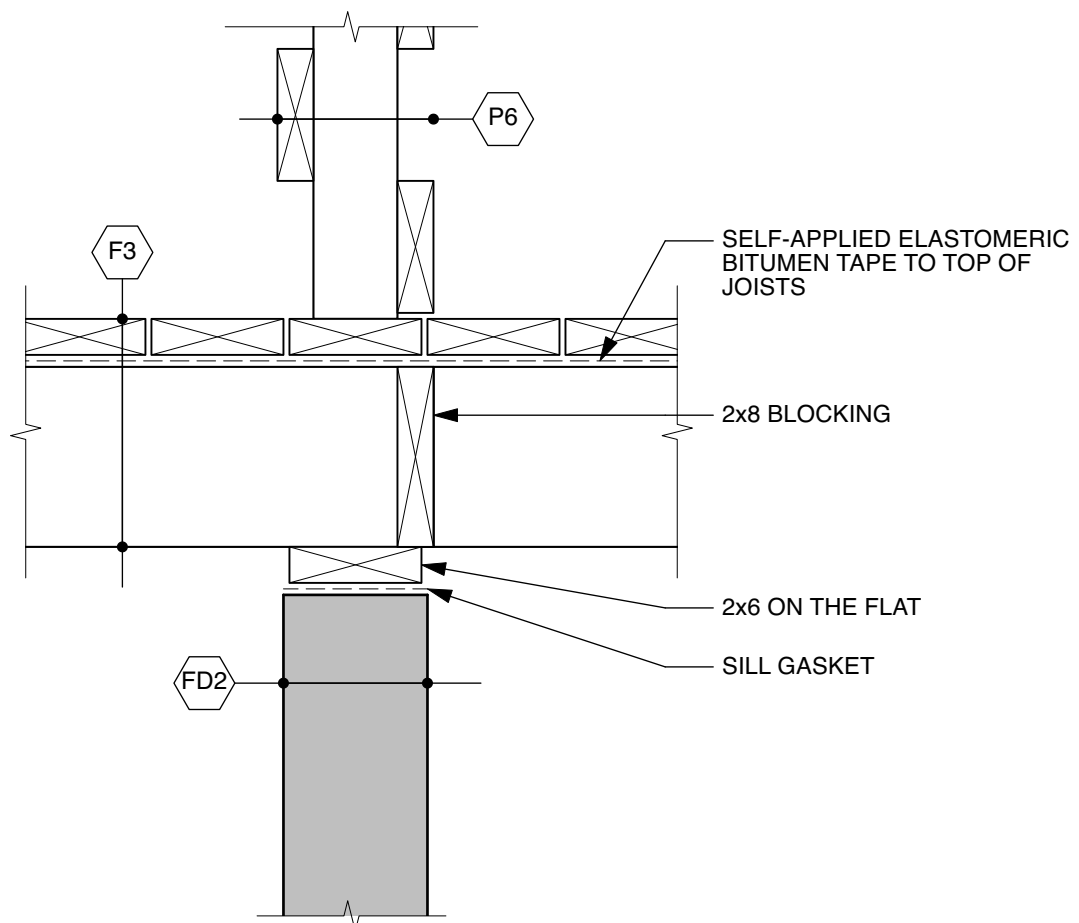
7 PRIVACY SCREEN AT SOFFIT DETAIL
A5.00 Scale: 1 1/2" = 1'-0"



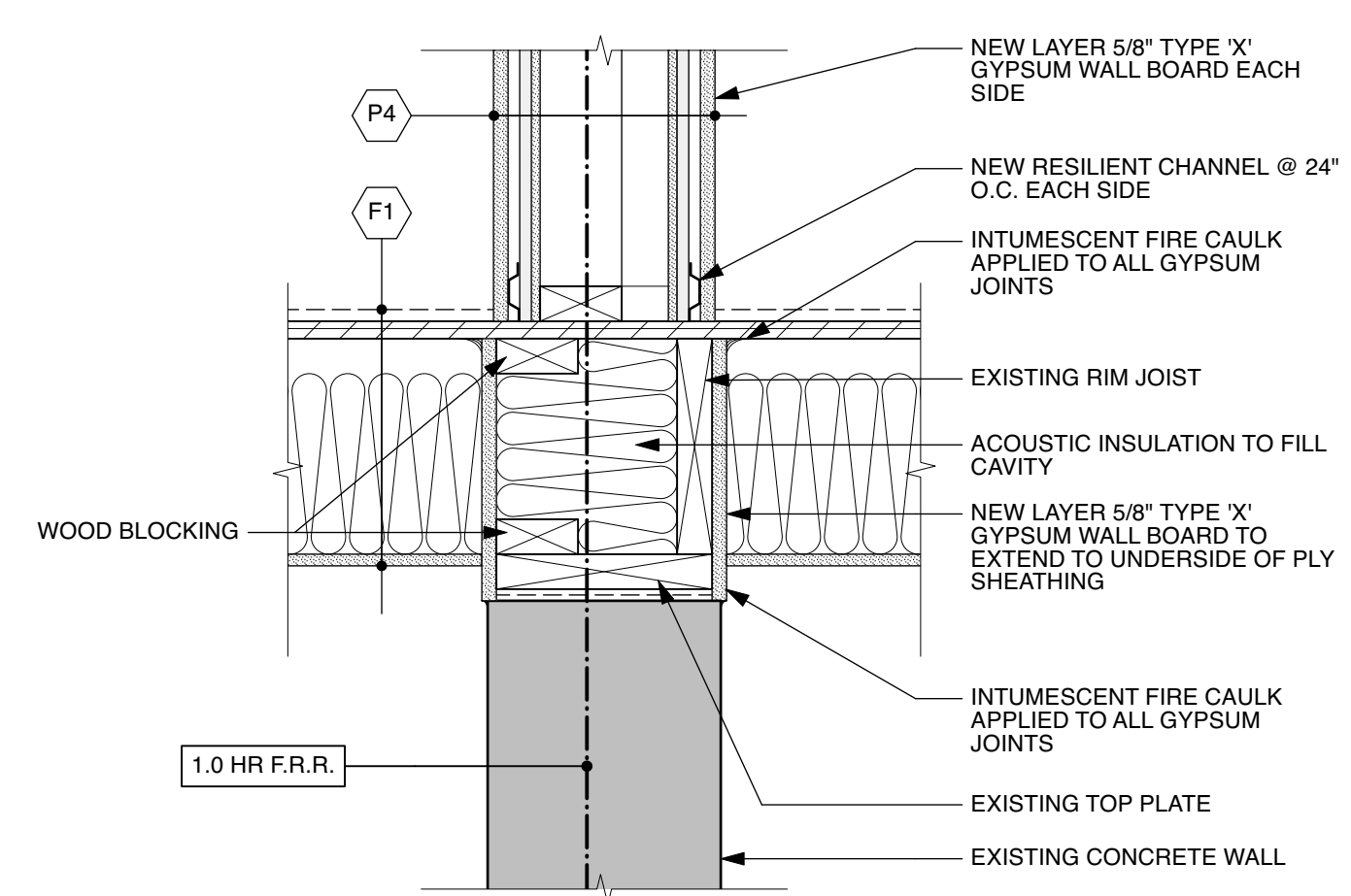
5 PRIVACY SCREEN WALL SECTION
A5.00 Scale: 1/2" = 1'-0"



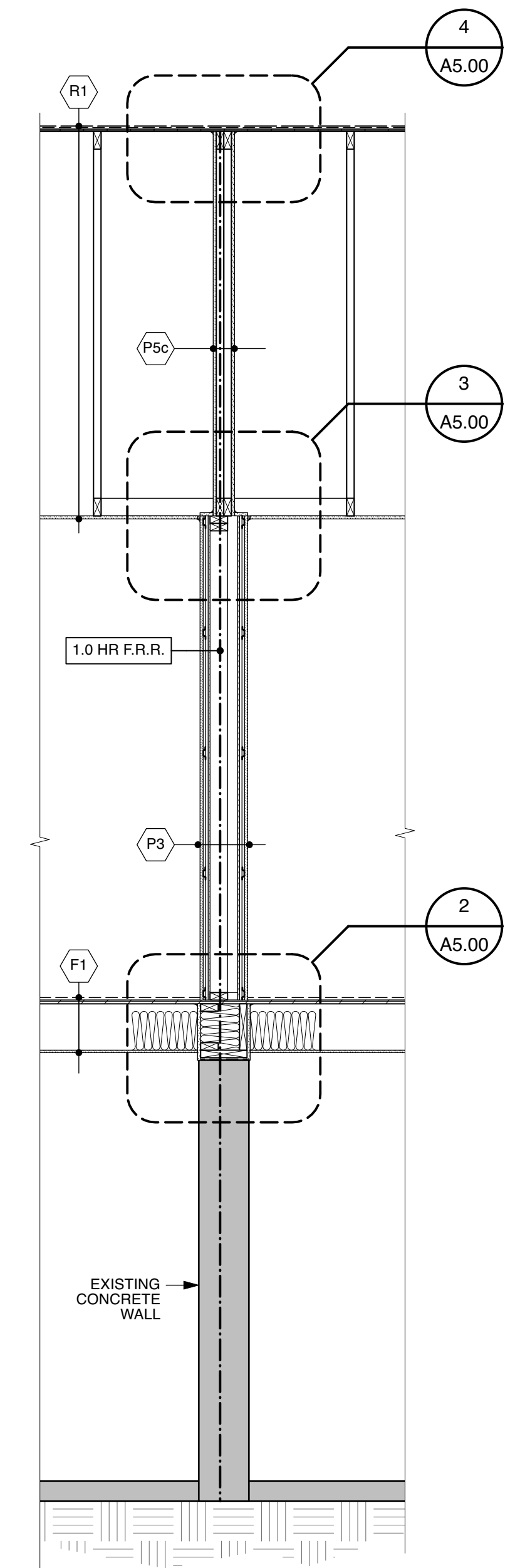
3 PARTY WALL AT CEILING DETAIL
A5.00 Scale: 1 1/2" = 1'-0"



6 PRIVACY SCREEN AT DECK DETAIL
A5.00 Scale: 1 1/2" = 1'-0"



2 PARTY WALL AT FLOOR DETAIL
A5.00 Scale: 1 1/2" = 1'-0"



1 PARTY WALL SECTION
A5.00 Scale: 1/2" = 1'-0"



**FINLAYSON
BONET**
ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd.
Saanichton V8M 2B4
Phone: 250-656-2224
Fax: 250-656-2279
Email: info@finlaysonbonet.ca

16Nov22 Issued for permit

Rev Date Description

Checked By SMB

Drawn By MEH / RJC

Scale AS NOTED

Date

NOVEMBER 16, 2022

Project Name

**RICHARDSON ST.
RENO**
1661 & 1663 RICHARDSON ST.
VICTORIA, B.C.

Drawing Title

**MISC.
DETAILS**

Drawing No.

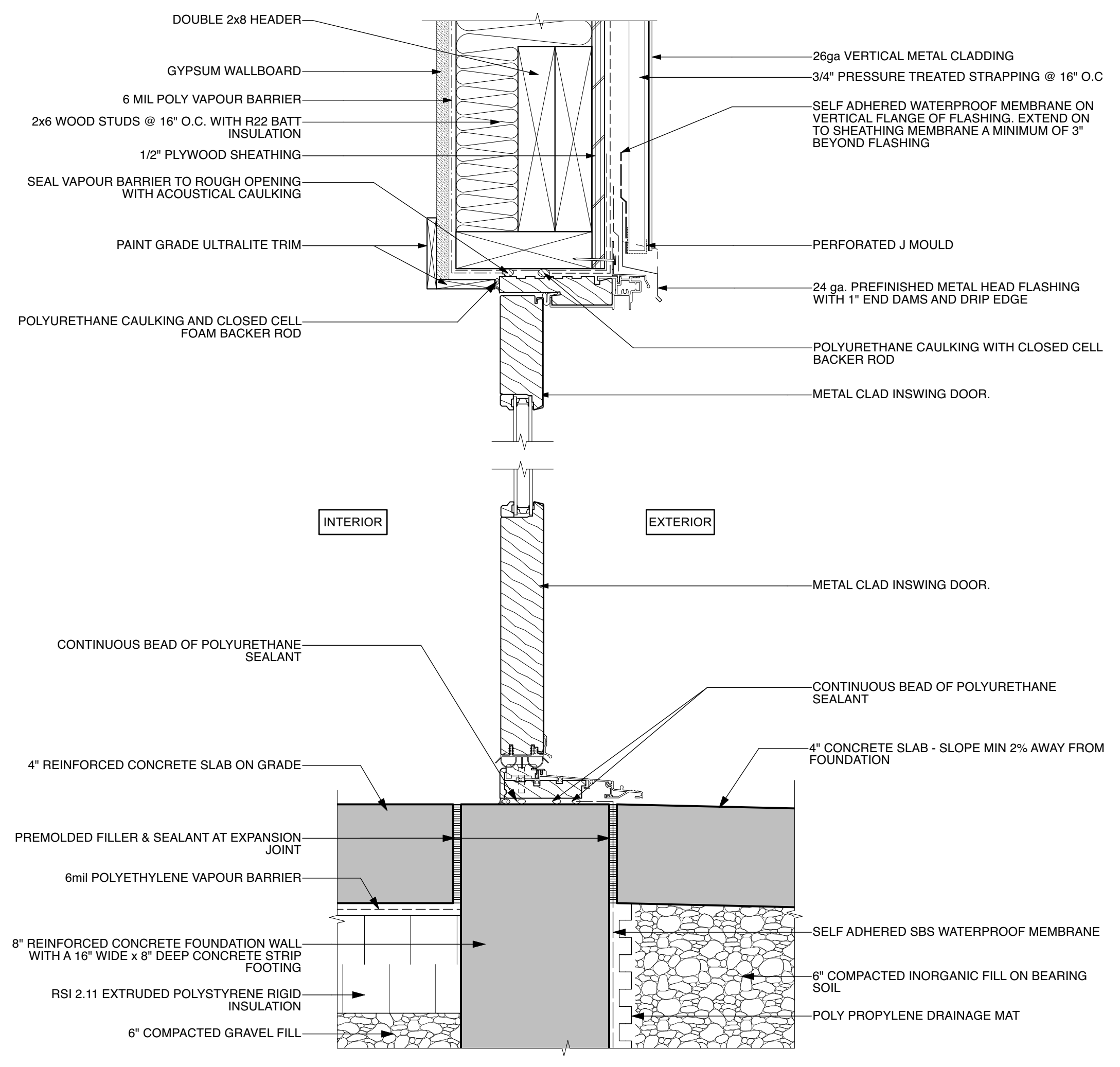
A5.00

Project No.

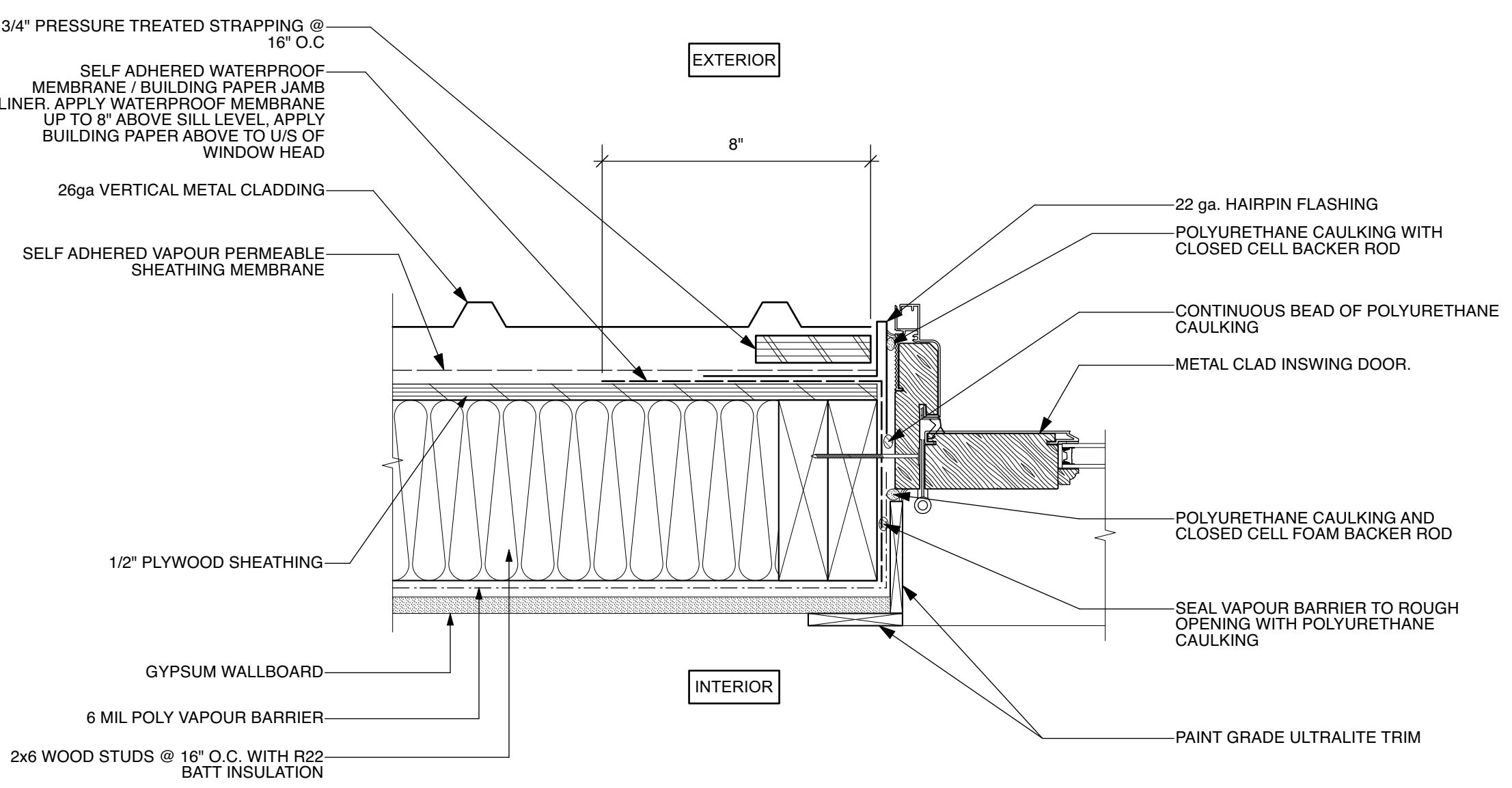
21491

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

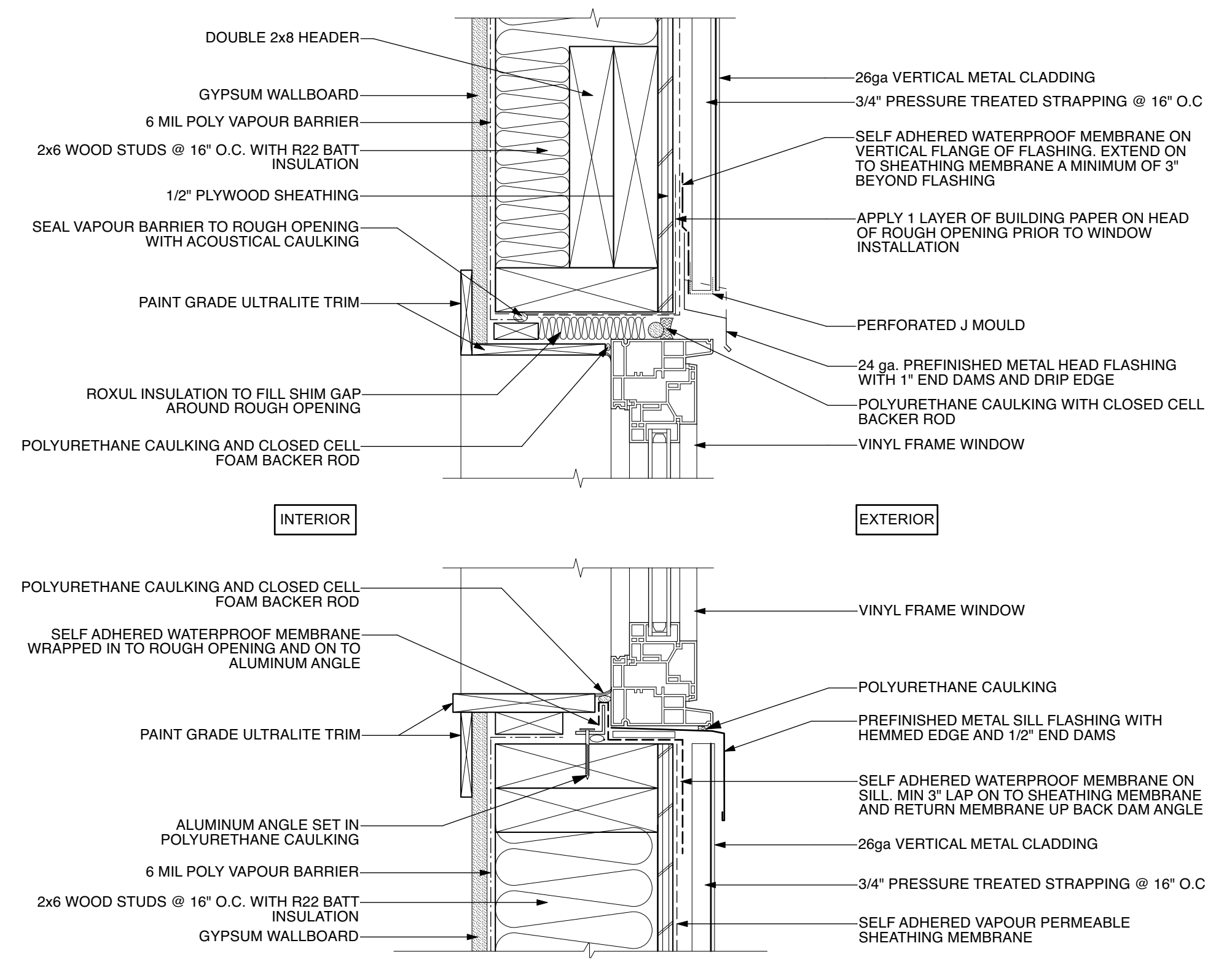
SYMBOL LEGEND	
	ASSEMBLY TAGS
	DETAIL TAG
	BUILDING SECTION MARKER
	CARBON MONOXIDE DETECTOR
	SMOKE ALARM
	EXHAUST FAN



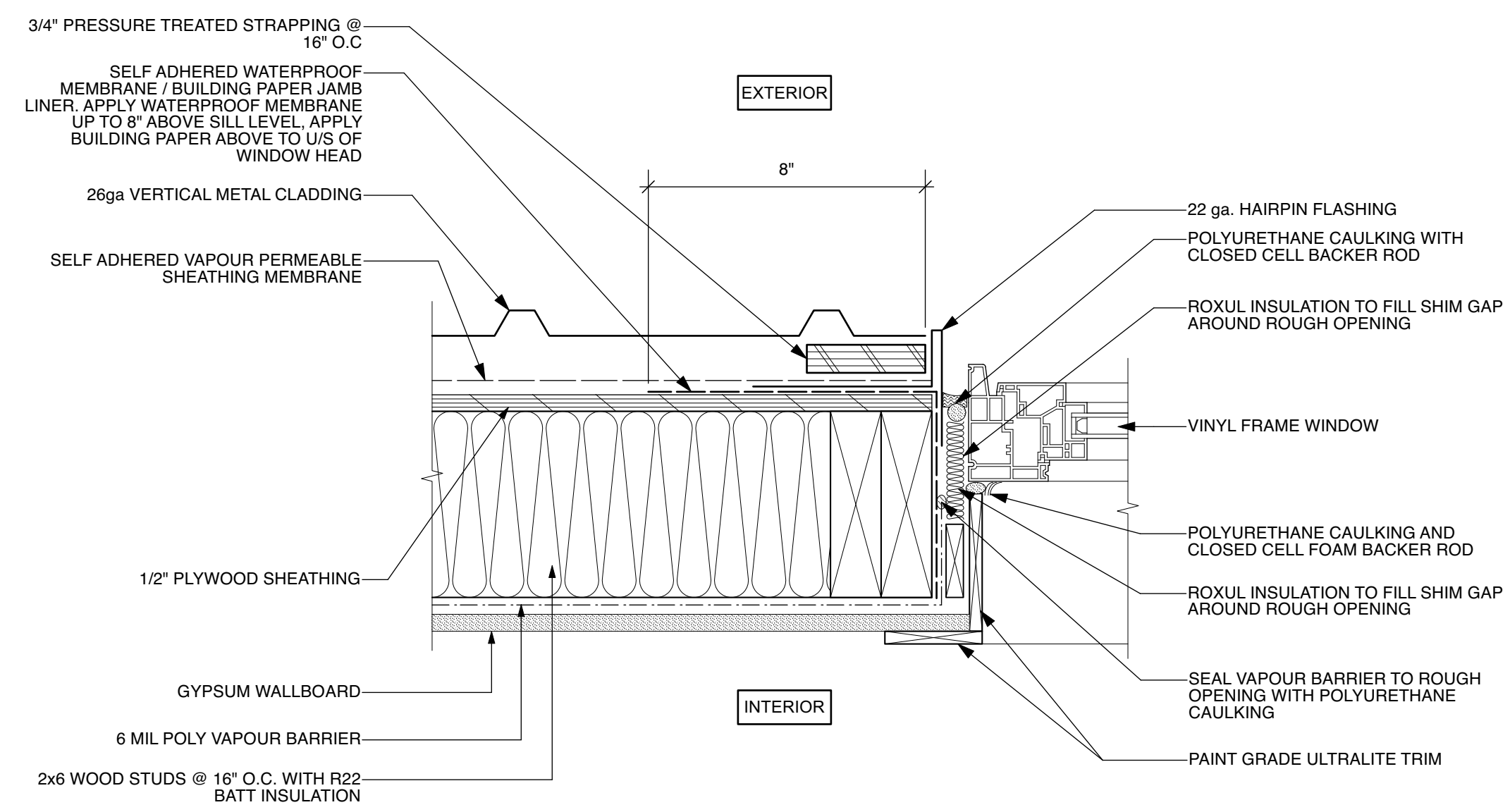
4
A5.01 DOOR HEAD & SILL SECTION DETAIL
Scale: 3" = 1'-0"



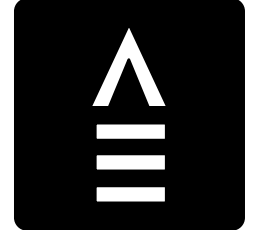
3
A5.01 DOOR JAMB PLAN DETAIL
Scale: 3" = 1'-0"



2
A5.01 WINDOW HEAD & SILL SECTION DETAIL
Scale: 3" = 1'-0"



1
A5.01 WINDOW JAMB PLAN DETAIL
Scale: 3" = 1'-0"



**FINLAYSON
BONET**
ARCHITECTURE LTD.

#4 - 7855 East Saanich Rd.
Saanichton V8M 2B4
Phone: 250-656-2224
Fax: 250-656-2279
Email: info@finlaysonbonet.ca

16Nov22 Issued for permit

Rev	Date	Description

Checked By: SMB
Drawn By: MEH / RJC
Scale: AS NOTED
Date: NOVEMBER 16, 2022

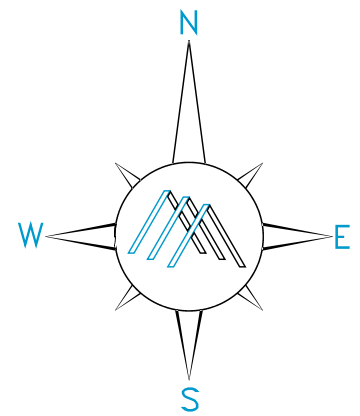
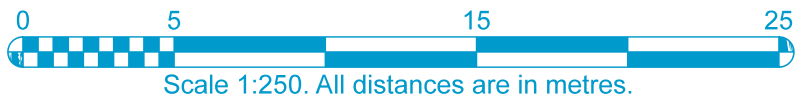
Project Name:
**RICHARDSON ST.
RENO**
1661 & 1663 RICHARDSON ST.
VICTORIA, B.C.

Drawing Title:
**WINDOW &
DOOR DETAILS**

Drawing No. **A5.01**
Project No. 21491

© Copyright reserved. These plans and designs are and at all times remain the property of Finlayson Bonet Architecture to be used for the project shown and may not be reproduced without written consent.

SITE PLAN OF LOT 55, SECTION 68, VICTORIA DISTRICT, PLAN 10250.



NOTE:

Lot dimensions shown are based upon Plans VIS2621 and VIP82260.

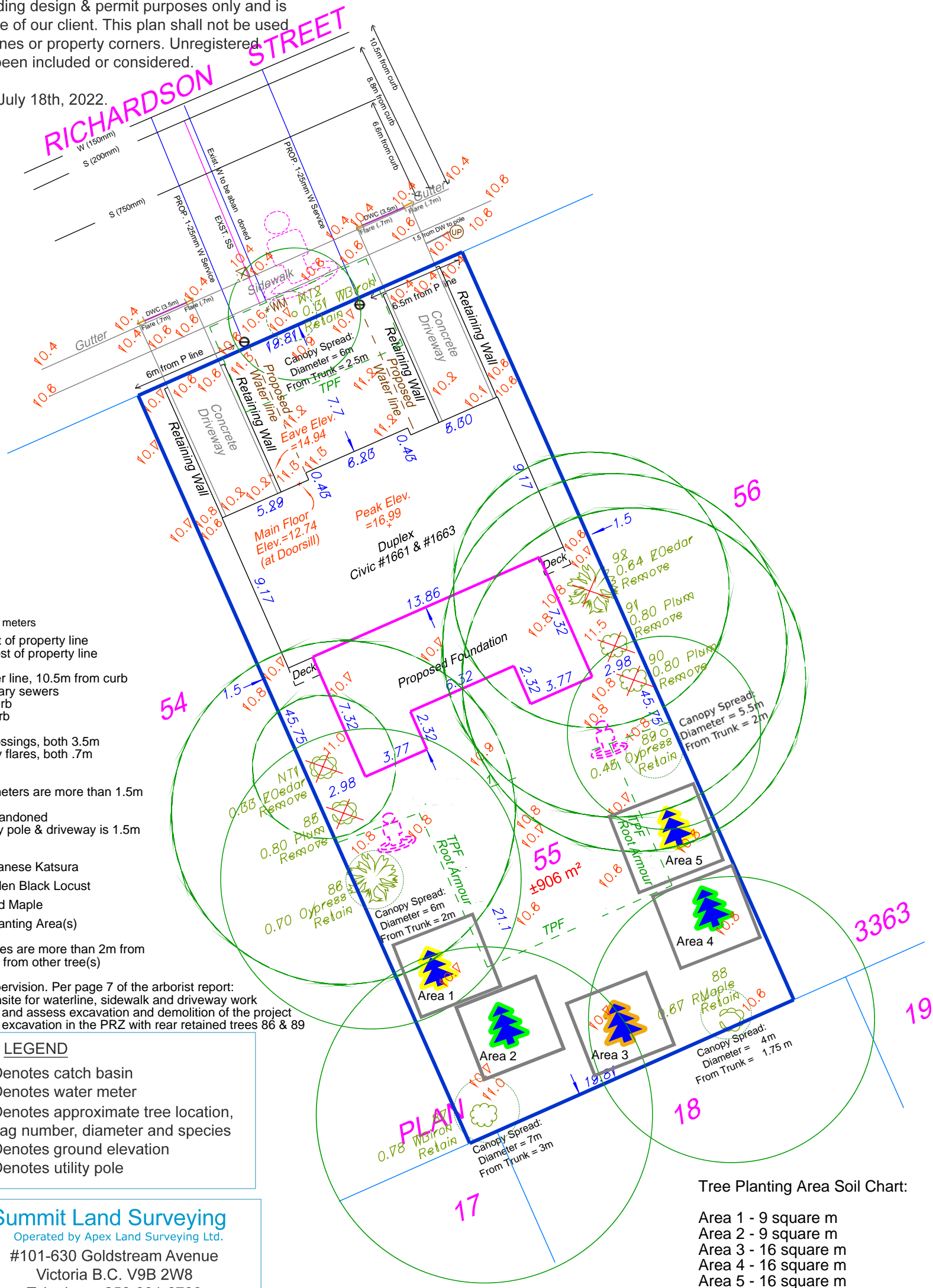
Lot dimensions, offsets, and area shown may vary upon completion of a comprehensive legal survey.

Geodetic elevations shown are based upon observations to geodetic control monuments 10-71 (Elev.=10.568m) and 10-78 (Elev.=11.067m).

This plan is for building design & permit purposes only and is for the exclusive use of our client. This plan shall not be used to define property lines or property corners. Unregistered interests have not been included or considered.

Field survey dated July 18th, 2022.

PID: 005-184-053



Site Servicing Plan

- ⊖ Denotes proposed water meters
- West location is 6m east of property line
- East location is 6.5m west of property line

- W (150mm) denotes water line, 10.5m from curb
- S (200mm) denotes sanitary sewers
- Furthest is 8.8m from curb
- Nearest is 6.6m from curb

- DW denotes driveway crossings, both 3.5m
- Flare(s) denotes driveway flares, both .7m

- *Notes:**
- Both proposed water meters are more than 1.5m from driveway crossings.
 - Existing water to be abandoned
 - Distance between utility pole & driveway is 1.5m

Replacement Trees:

- Yellow outline = Japanese Katsura
- Green outline = Golden Black Locust
- Orange outline = Red Maple
- Grey Rectangle = Planting Area(s)

**All replacement trees are more than 2m from property line and 4m from other tree(s)

- ⊗ Denotes arborist supervision. Per page 7 of the arborist report:
 - Arborist must be onsite for waterline, sidewalk and driveway work
 - Arborist to observe and assess excavation and demolition of the project
 - Arborist to observe excavation in the PRZ with rear retained trees 86 & 89

LEGEND

- ⊗ Denotes catch basin
- +WM Denotes water meter
- 88 Denotes approximate tree location, tag number, diameter and species
- 0.70 Cypress Denotes ground elevation
- ⊕ 10.7 Denotes utility pole

Tree Planting Area Soil Chart:

- Area 1 - 9 square m
- Area 2 - 9 square m
- Area 3 - 16 square m
- Area 4 - 16 square m
- Area 5 - 16 square m



Summit Land Surveying
 Operated by Apex Land Surveying Ltd.
 #101-630 Goldstream Avenue
 Victoria B.C. V9B 2W8
 Telephone 250-391-6708
 www.summitsurveying.ca