

Received
City of Victoria
MAY 08 2019
Planning & Development Department
Development Services Division

CROSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC



LOW HAMMOND ROWE ARCHITECTS



TL HOUSING
SOLUTIONS



ISSUED FOR REZONING AND DEVELOPMENT PERMIT

REV. APRIL 26, 2019



Site context and photos

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ARCHITECTURAL

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- DP02 COMMUNITY PLAN
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LANDSCAPE

- L1 LANDSCAPE PLAN - GROUND LEVEL
- L2 LANDSCAPE PLAN - SECOND LEVEL
- L3 LANDSCAPE PLAN - THIRD AND FIFTH LEVEL
- L4 STORMWATER MANAGEMENT PLAN

CIVIL

- C1 BURNSIDE ROAD EAST FRONTAGE



Urban context City of Victoria



Neighbourhood context



Photo map



01. Douglas St- looking south



02. Douglas St- looking north



03. Burnside Rd E- looking south



04. Burnside Rd E- looking north



05. Site from Burnside Rd E:
left- Toyota, right- Tally Ho



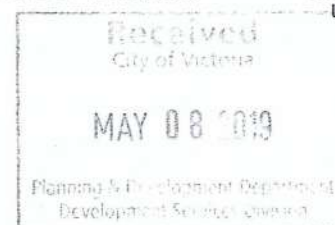
06. Site from Burnside Rd E:
left- Tally Ho, right- BCG EU



07. Site from Douglas St- looking north



08. Site from Douglas St:
left- Tally Ho, right- Toyota



CROSSTOWN



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PROJECT CONTEXT

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DP01

City of Victoria
Official
Community
Plan
/ 2017-07
and
Burnside Gorge
Neighbourhood
Plan
/ 2017-07



Neighbourhood context (BGNP p.9)



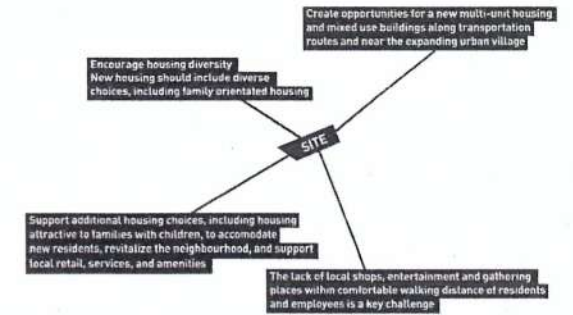
Big moves (BGNP p.15)



Burnside neighbourhood (OCP p19-142)
/ Land use policies (BGNP p.25/ 27/ 75)



Land use policies- site (BGNP p.25/ 27/ 75)

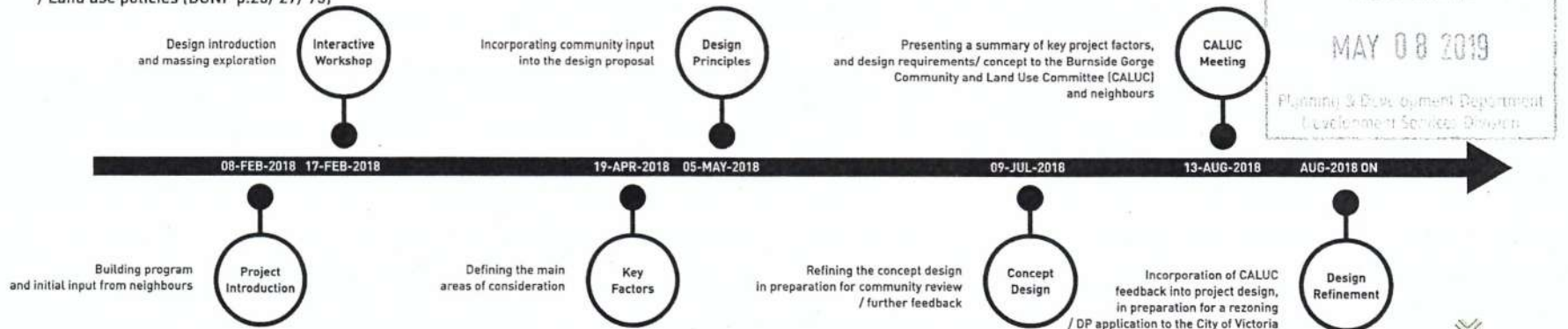


Goals/ land use policies/ issues (BGNP p.11/ 19/ 50)



Human scale requirement (OCP p.75)

Community
engagement
timeline



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COMMUNITY PLAN
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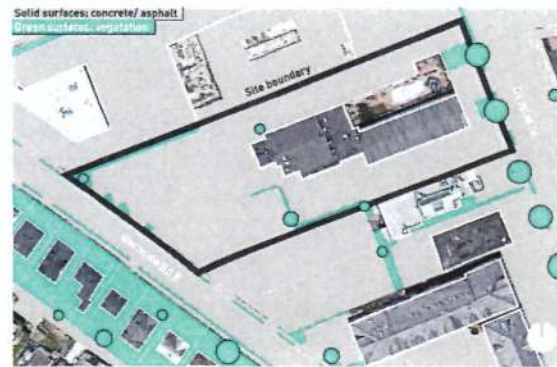


DP02

Existing site



Existing neighbourhood- program and height



Existing landscape



Existing circulation

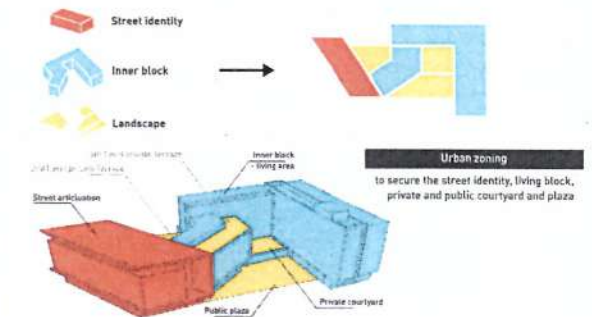
Design and phasing



Phase 01



Phase 02

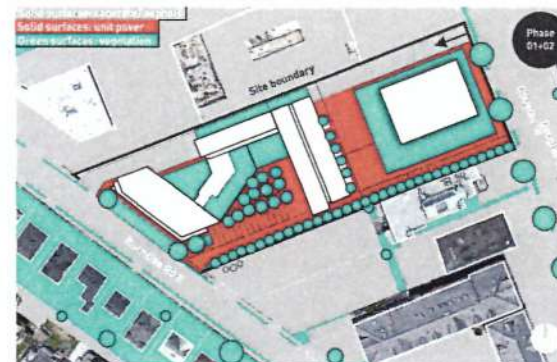


Phase 01- Urban design objectives

Proposed site



Proposal/ neighbourhood- program- Phase 01+02



Proposed landscape- Phase 01+02



Proposed site circulation- Phase 01+02



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SITE ANALYSIS & DESIGN PART I

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DP03

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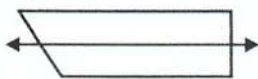
Planning & Design Services

A

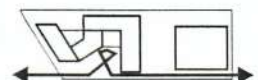
Site design

Community input

Design proposal



A.01 Provide public thorough-fare from Burnside to Douglas St



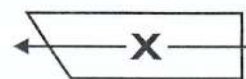
A.02 Green space for the community



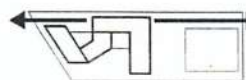
A.03 Safe areas for kids to play



Daycare at level +2, playground areas at +1 and +5



A.04 Direct car access through the site to be avoided or controlled



Underground car park



A.05 Create private and semi-private outdoor spaces



Terraces at different levels



A.06 Give a street the identity and create boulevard



B

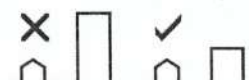
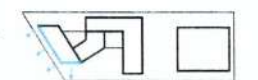
Building form

Community input

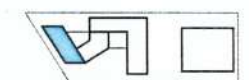
Design proposal



B.01 Dynamic street-level retail spaces fronting Burnside Rd



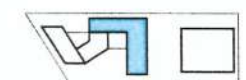
B.02 Building height appropriate for the neighbourhood



4+1 Storeys towards Burnside



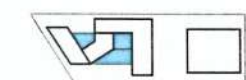
B.03 Mid-portion of site can absorb a higher height density



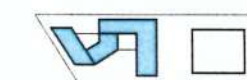
6 Storeys in the middle



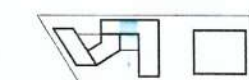
B.04 Courtyard



B.05 Avoid monolithic forms; step back building form



B.06 Daycare spills out onto courtyard space



C

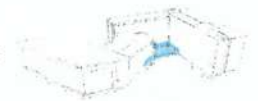
Building program

Community input

Design proposal



C.01 Daycare



C.02 Restaurant or Café: spaces that gather community together



C.03 Mix of affordable rental and work-live



Work-live



C.04 Diverse group of residents: low income, family and seniors



Studio/ 1 bedroom
2 bedroom/ 3 bedroom



C.05 Commercial development to add social value



Commercial Phase 01



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COMMUNITY ENGAGEMENT

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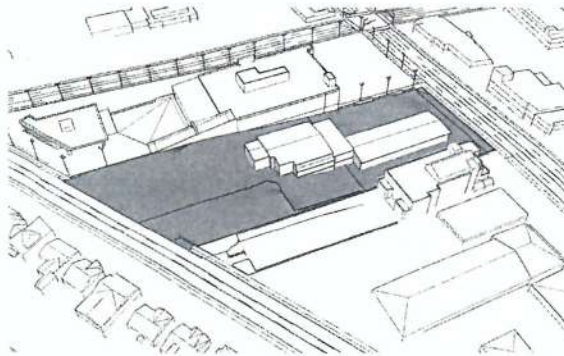
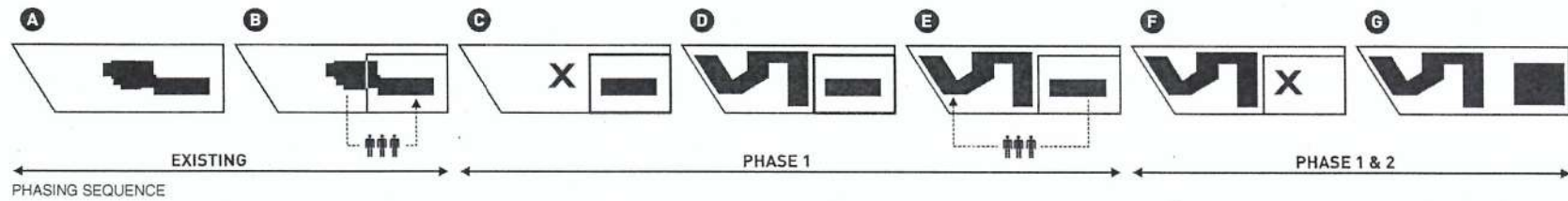


CROSSTOWN

DP04

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Planning & Development Department



EXISTING



PHASE 1



PHASE 1 & 2

PROJECT DATA

Project description: SIX STOREY MIXED USE BUILDING WITH TWO LEVELS OF BELOW GRADE PARKING. MIXED USE IS COMPOSED OF COMMERCIAL, RETAIL SPACES, COMMERCIAL OFFICE, AND DAYCARE ON LEVELS 1 AND 2 RESPECTIVELY. LEVELS 3-6 ARE MULTI-FAMILY RESIDENTIAL.		Phase		Phase	
Owner: COOL AID SOCIETY		PHASE 1 (DP & REZONING)		PHASE 1 (DP & REZONING)	
Municipal Address: 3020 DOUGLAS STREET, VICTORIA, BC 584 BURNSIDE RD EAST, VICTORIA, BC		Site Area: 5752.6 m ²		Required: 142	
Municipality: CITY OF VICTORIA		Lot Width: 56.78 m		Proposed: 144	
Reference: BRITISH COLUMBIA BUILDING CODE 2018		Total Floor Area: 11,532.0 m ²		Vehicle Parking Stalls:	
Legal Description: Lot 4 Plan V1P116 Section 4 Land District S7 PID: 004-427-362 Lot 4 Plan V1P116 Section 4 Land District S7 Except Plan 8803 14437 PID: 009-306-625		Floor Space Ratio:		Bicycle Stalls:	
Zoning: EXISTING: T-1 - LIMITED TRANSIENT ACCOMMODATION DISTRICT R1-8 - SINGLE FAMILY DWELLING DISTRICT PROPOSED: SITE SPECIFIC ZONE		ALLOWABLE BY:		Long Term: 181	
		COMMERCIAL: 1:1 RESIDENTIAL: 1.5:1		Short Term: 30	
		PROPOSED: 0.51:1 1.5:1		Total: 211	
		ALLOWABLE BY:		Total Number of Units: 153	
		COMMERCIAL: 2:1 RESIDENTIAL: 2:1		Unit Type:	
		PROPOSED: 2:1		STUDIO: 55	
		PROPOSED: 2:1		STUDIO ACCESSIBLE: 9	
		PROPOSED: 2:1		1 BEDROOM: 11	
		PROPOSED: 2:1		1 BEDROOM ACCESSIBLE: 25	
		PROPOSED: 2:1		2 BEDROOM: 4	
		PROPOSED: 2:1		3 BEDROOM: 9	
		PROPOSED: 2:1		WORK-LIVE UNITS: 4	
		PROPOSED: 2:1		Ground-oriented Units:	
		PROPOSED: 2:1		Minimum Unit Floor Area: 32.5 m ²	
		PROPOSED: 2:1		Total Residential Floor Area: 8,529 m ²	



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PROJECT DATA
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1:1



DP05

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VICTORIA COOL
AID SOCIETY

Lot A, Section 4, Victoria District, Plan 14497	
ADDRESS: 3020 Douglas Street	
PROJECT SURVEY NO.: 894	
DRAWN BY: JPH/SAR	DATE: APR 27/8
OUR FILE: 21246	REVISION: AUG 18/8



**J.E. ANDERSON
& ASSOCIATES**
SURVEYORS - ENGINEERS

4212 GLANFORD AVE, VICTORIA, B.C. V8Z 4S7
TEL: 250-727-2714 FAX: 250-727-3386
E-MAIL: info@woodwardcan.com
ACTON • BARNABY • BURNABY • COQUITLAM • CAMPBELL RIVER

This sketch does not constitute a recitation of the legal boundaries herein described and is not to be used in any matter which would involve same.

It, Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decision made, or actions taken based on this document.

Subject to charges, legal notations and interests shown on:

Lot A Title No. C45808124 (P.O. 004-427-262)
Lot A Title No. C45808125 (P.O. 004-396-629)

Differences and elevations are in meters.
Elevations are generally based on contour numbers 24-25.
Elevations are of natural grade unless noted otherwise.
Service inverts in road allowance is based on City of Victoria GIS data.

LEGEND

- Denotes Standard Iron Post Foundation
- Denotes Lead Plug Found
- Denotes Concrete Monument Found
- Denotes Traverse Station Fixed
- Denotes Dutch Bait
- Denotes Drain Conduit
- Denotes Drain Manhole
- Denotes Gas Service
- Denotes Hydrant
- Denotes Irrigation Box
- Denotes Lamp Standard
- Denotes Sewer Manhole
- Denotes Typical Spot Elevation
- Denotes Street Sign
- Denotes Tens Service
- Denotes Utility Pole Anchor
- Denotes Water Service
- Denotes Water Valve Box



The intended plot size of this plot is 80.6mm in width by 56.0mm in height. (D size), when p

\\Projects\3-240\08\02

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CROSSTOWN MIXED USE DEVELOPMENT

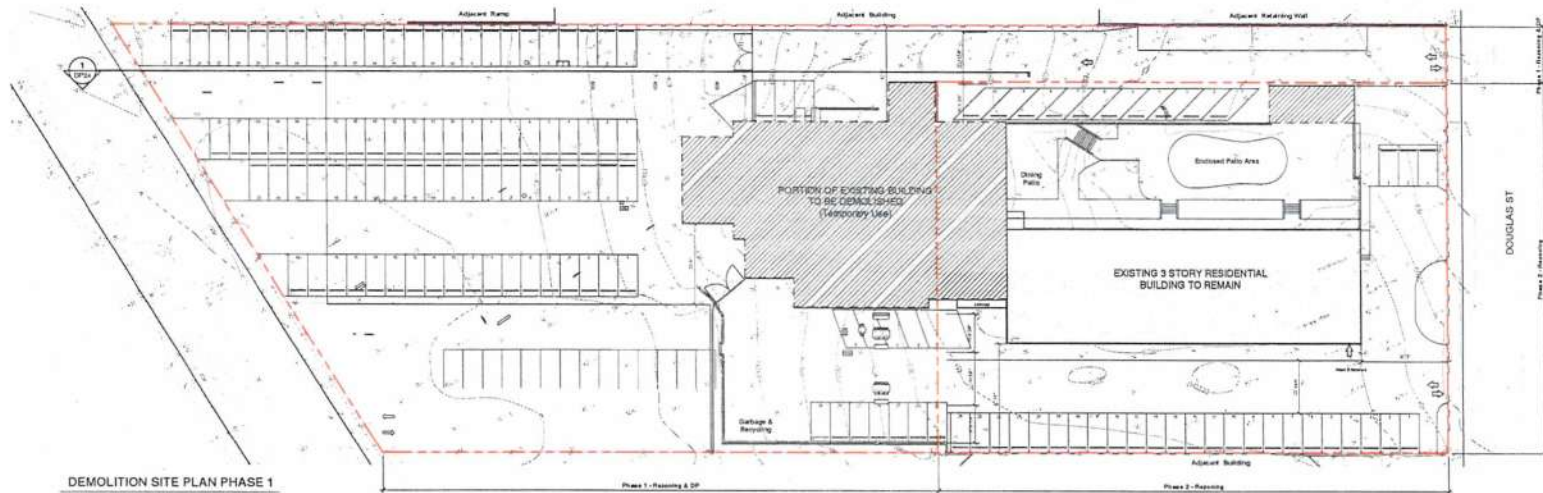
584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

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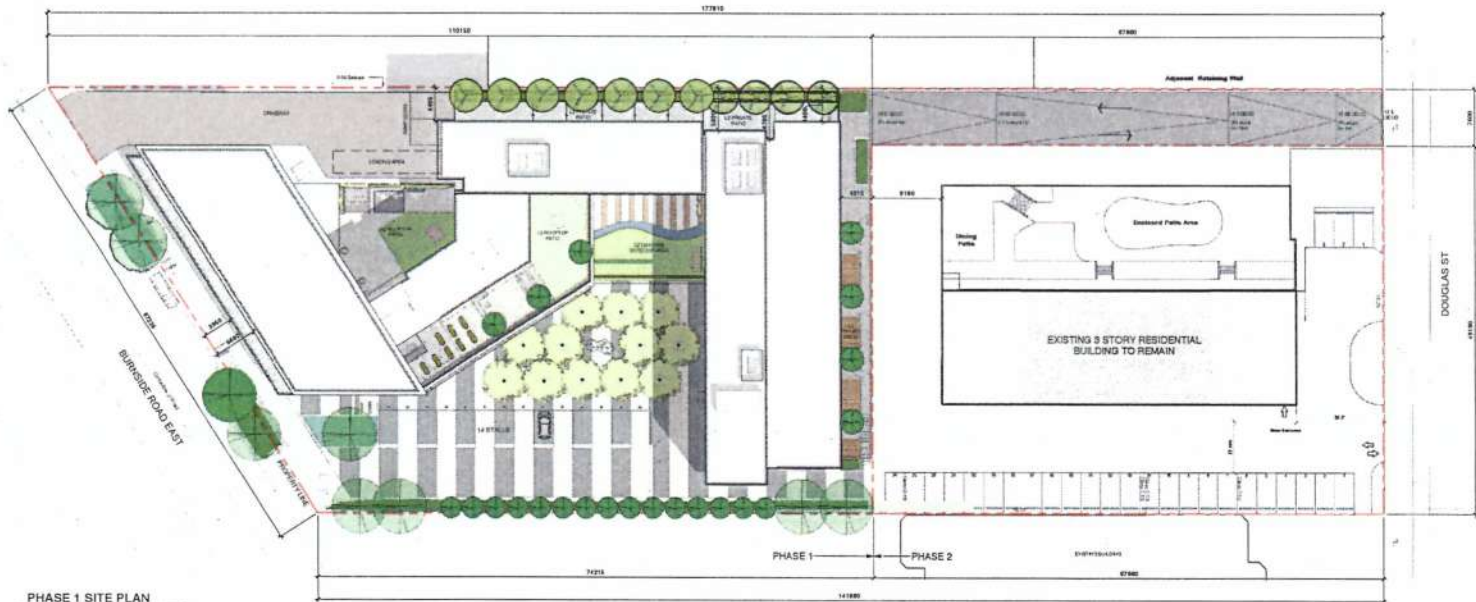
EXISTING SURVEY

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DP06



DEMOLITION SITE PLAN PHASE 1



PHASE 1 SITE PLAN

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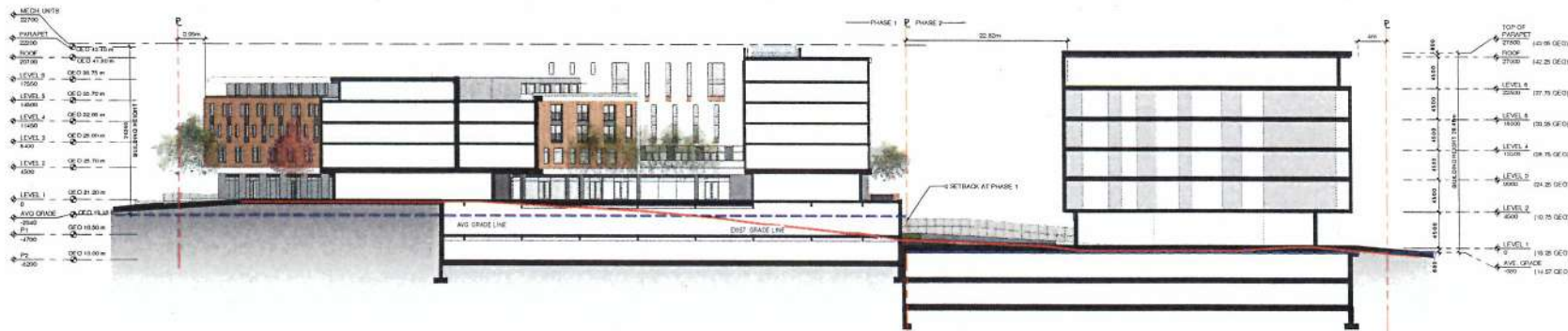


CROSSTOWN MIXED USE DEVELOPMENT DEMOLITION & PHASING SITE PLAN
584 BURNIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC
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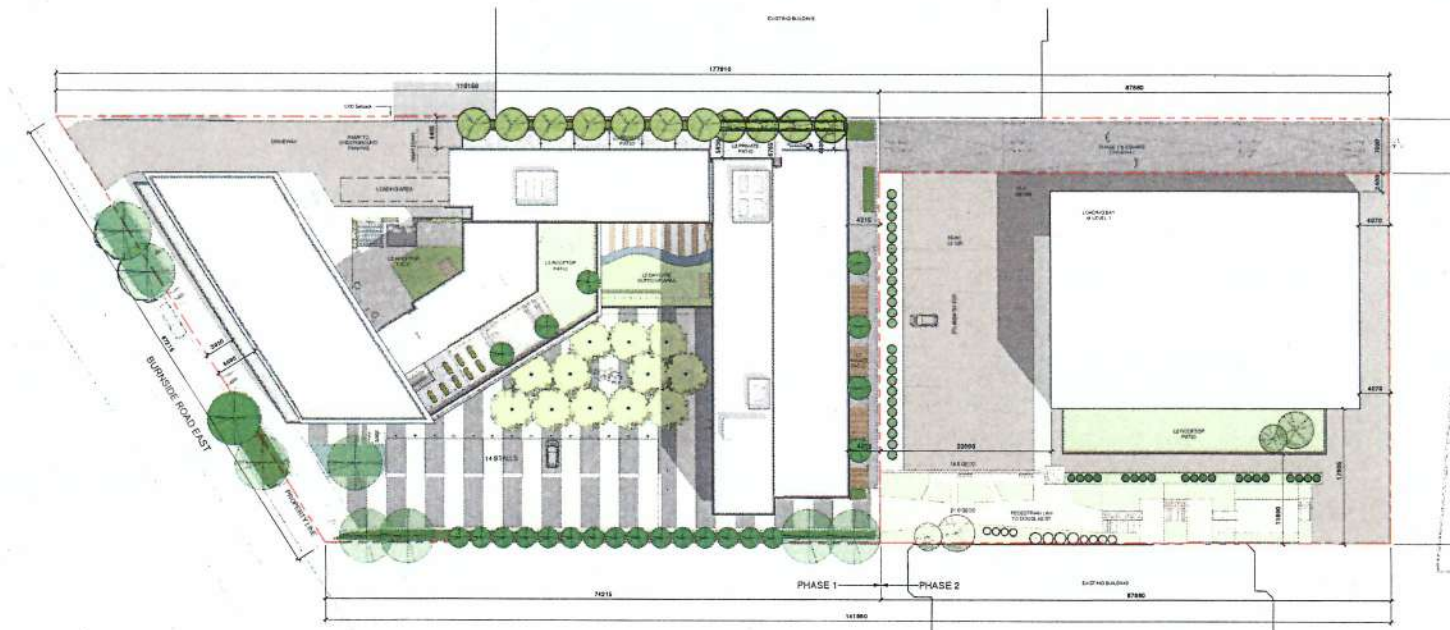
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1:300



DP07



SITE PLAN SECTION



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PHASE 2 - SITE PLAN & SECTION
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As Indicated



DP08

SITE PLAN KEYNOTES

- 1 PLAZA
- 2 SERVICE LANE
- 3 SURFACE PARKING
- 4 PEDESTRIAN LINK (PHASE 2)
- 5 BOULEVARD TREES
- 6 TREES & RAIN GARDEN
- 7 REMOVABLE BOLLARD
- 8 SUGGESTED F.D.C. LOCATION
- 9 INSTALL B&C DRAIN (REFER TO LANDSCAPE)

SITE PLAN PHASE 1



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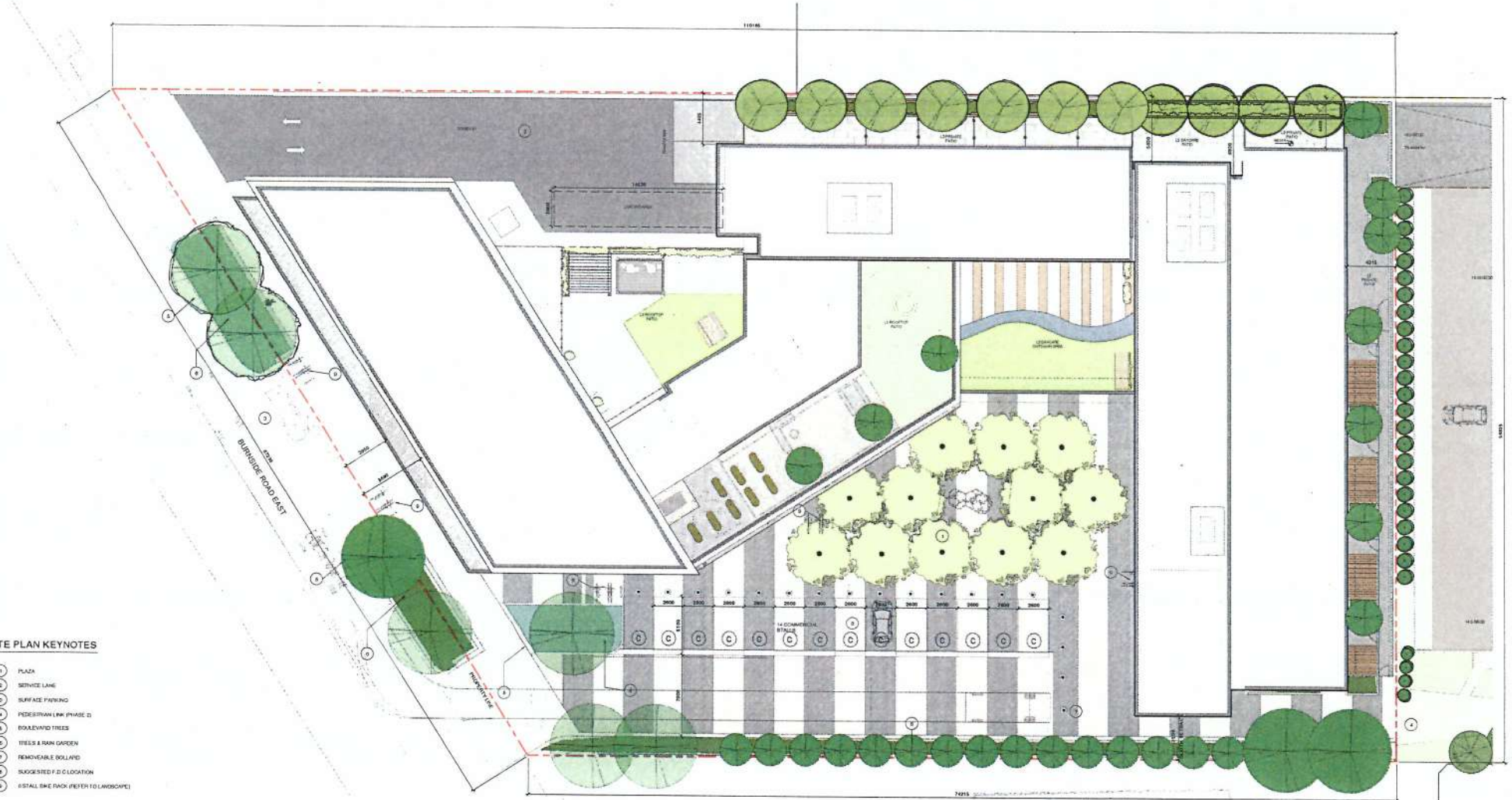
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SITE PLAN PHASE 1

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As Indicated



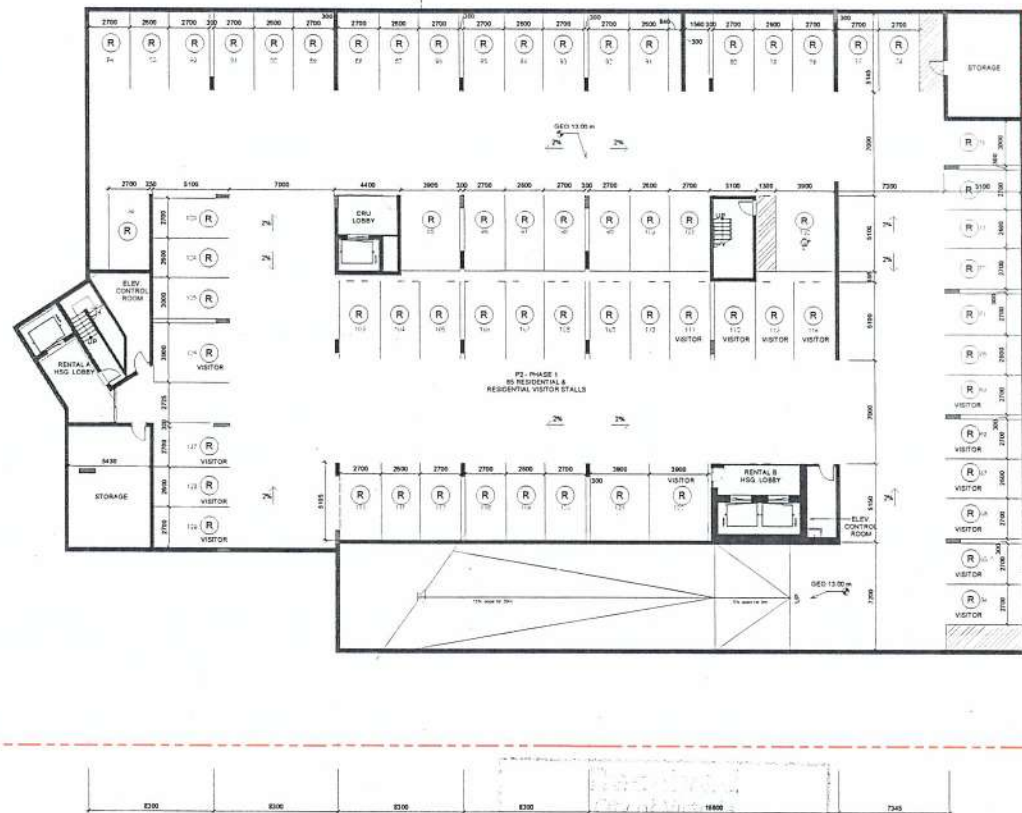
DP09



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MAY 08 2019

VEHICLE PARKING PROVIDED	RESIDENTIAL	UNDERGROUND	52
	VISITOR	UNDERGROUND	18
	COMMERCIAL	UNDERGROUND	80
		SURFACE	24
	TOTAL		174

NOTE: ** REFER TO DPM3 FOR AREA CALCULATION SPECIFICALLY USED FOR PARKING NUMBER



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P2 FLOOR PLAN
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1 : 150

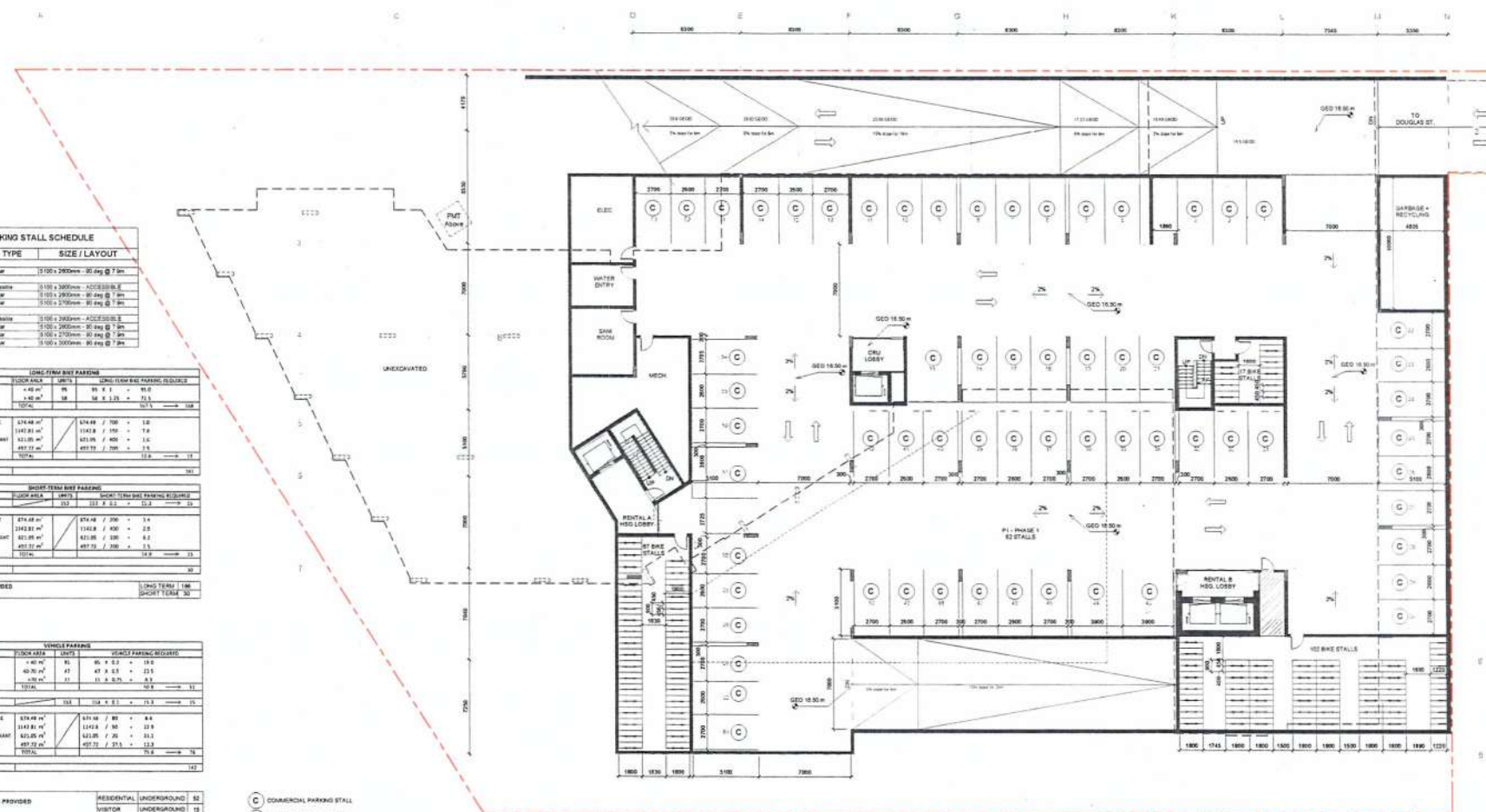


CROSSTOWN

DP10

VEHICLE PARKING PROVIDED	RESIDENTIAL	UNDERGROUND	52
	VISITOR	UNDERGROUND	12
	COMMERCIAL	UNDERGROUND	83
		SURFACE	14
	TOTAL		161

(C) COMMERCIAL PARKING STALL
(R) RESIDENTIAL PARKING STALL

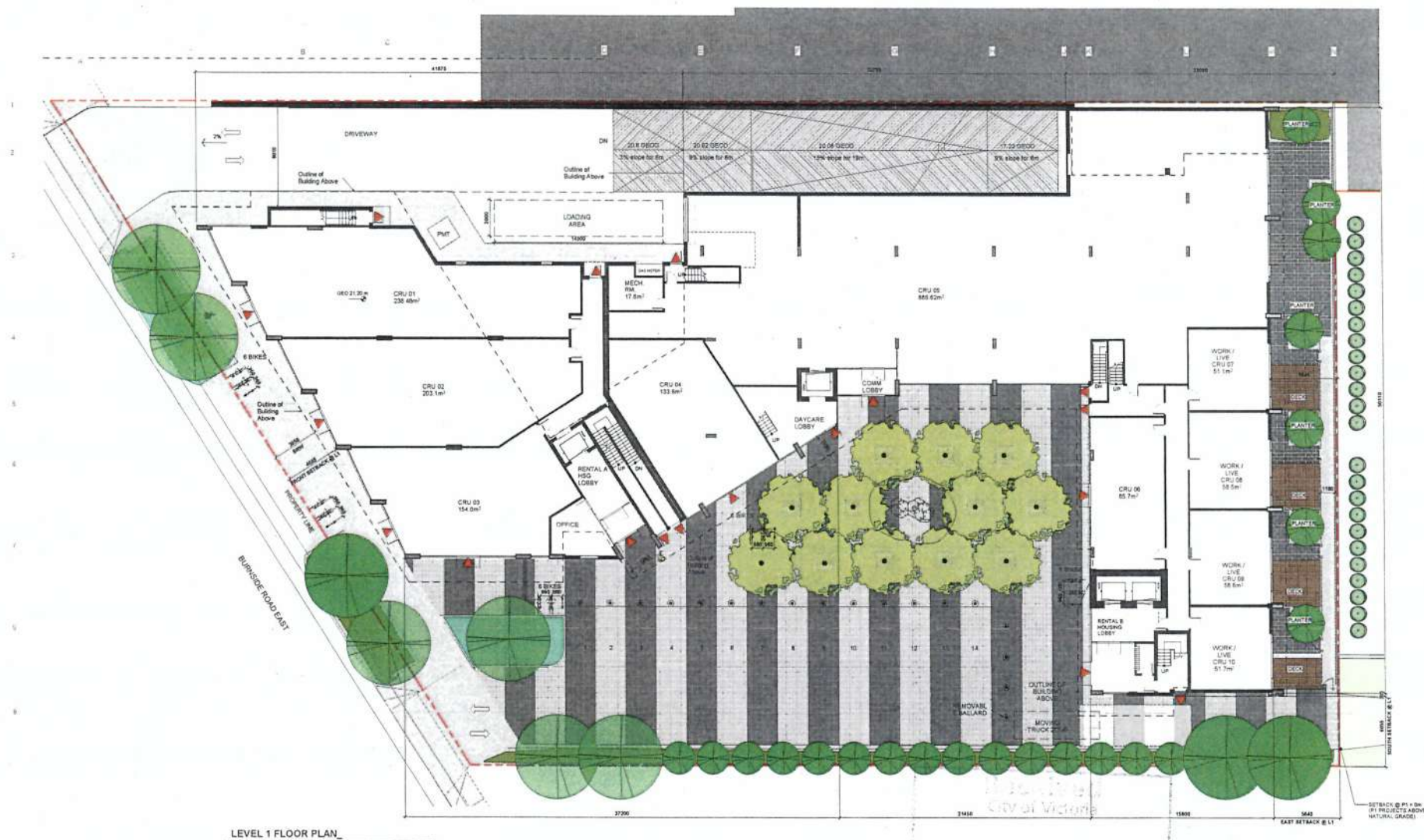


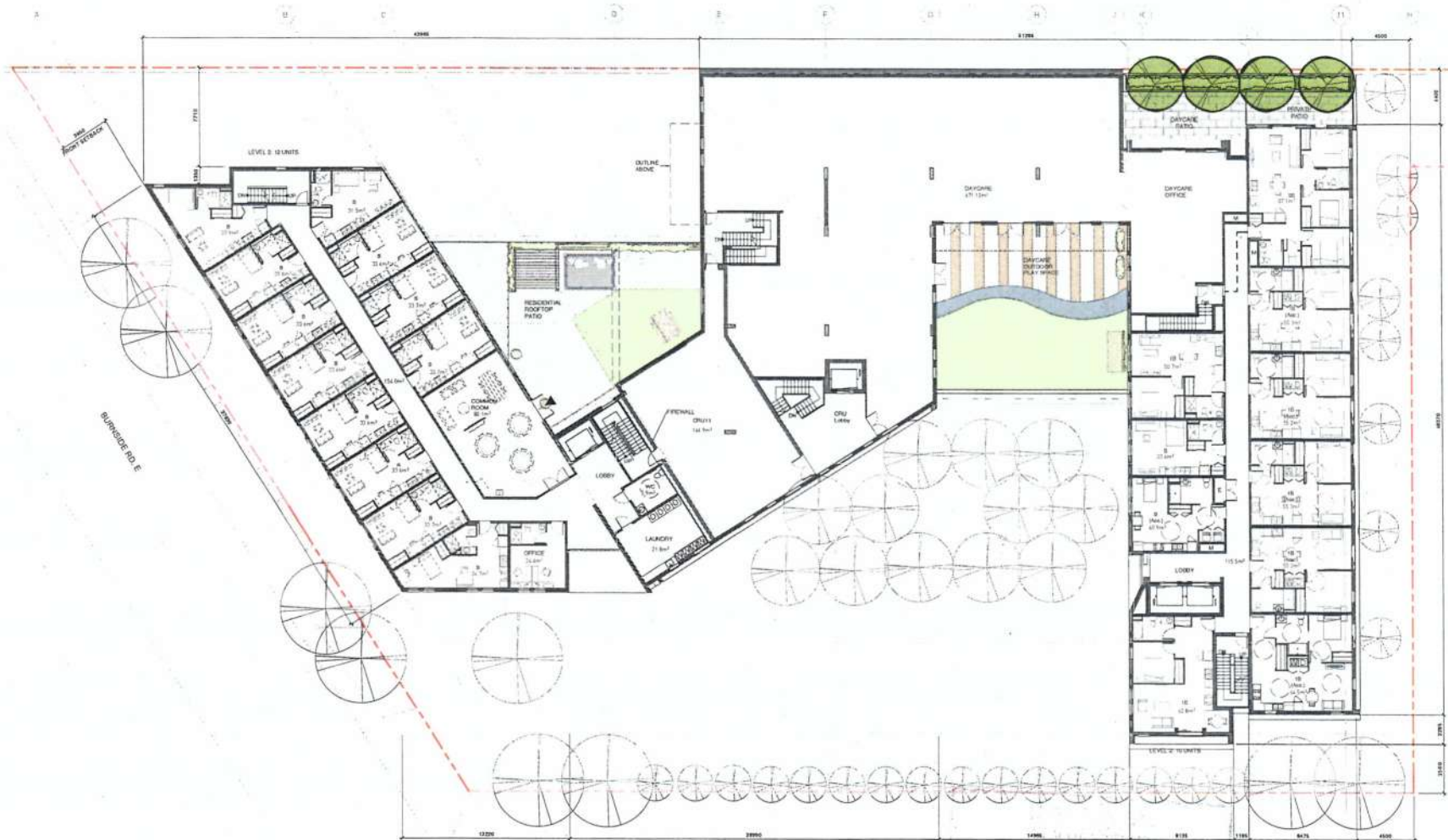
CROSSTOWN

P1 FLOOR PLAN
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1 : 150



DP11







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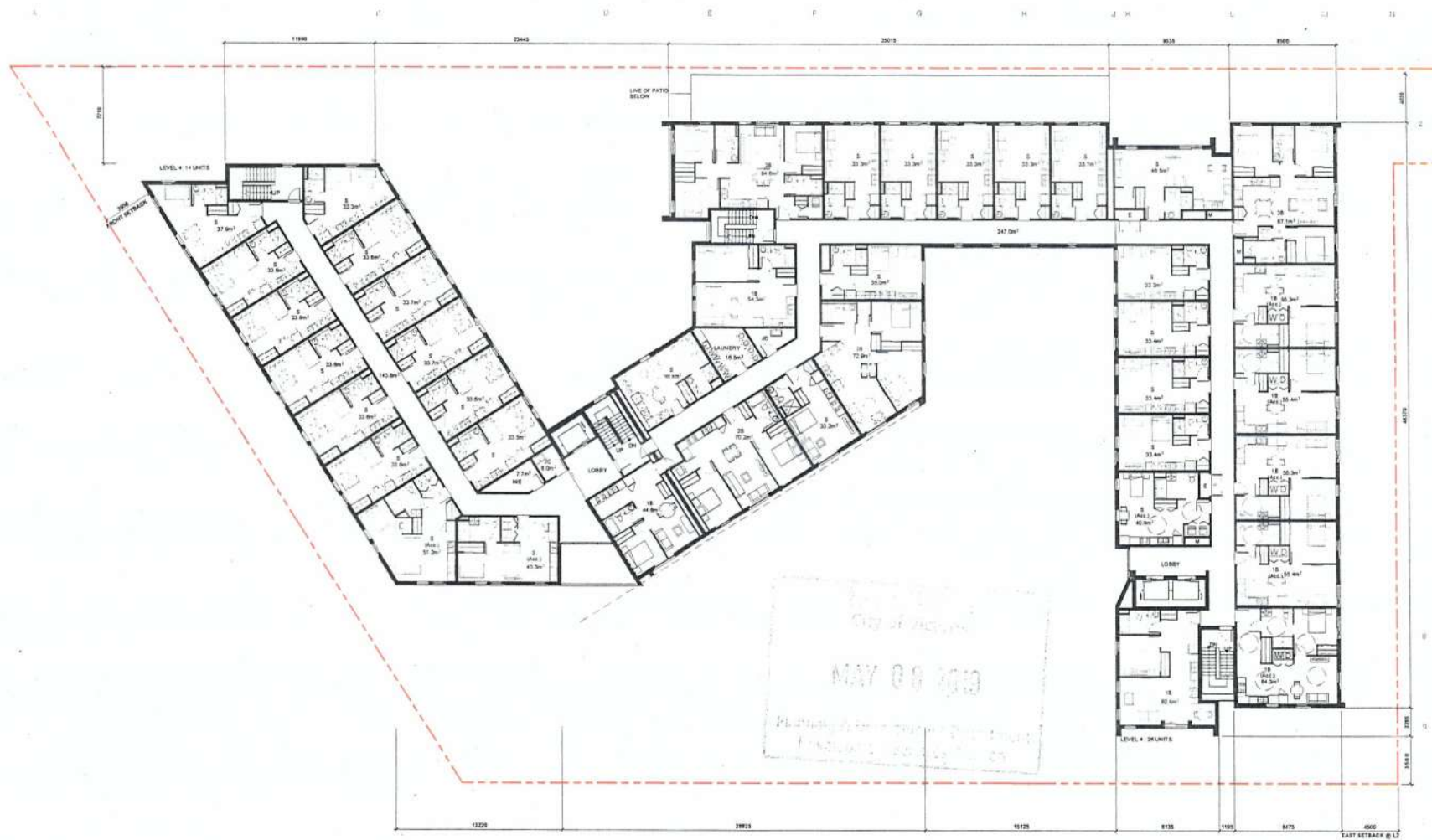
LEVEL 3 FLOOR PLAN

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1 : 150



DP14





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LEVEL 5 FLOOR PLAN

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1 : 150



CROSTOWN

DP16





ELEVATION - WEST



ELEVATION - SOUTH

MATERIAL LEGEND

-  1 CEMENTITIOUS PANELS - WHITE
-  2 CEMENTITIOUS PANELS - CHARCOAL
-  3 VERTICAL METAL PANEL WITH WOOD GRAIN LAMINATE OR PHENOLIC CORE PANEL WITH WOOD TEXTURE (PARALLEL OR CEMENTITIOUS PANEL WITH WARM WOOD TONE)
-  4 METAL PANEL @ WINDOW - CHARCOAL
-  5 METAL PANEL @ WINDOW - WARM WOOD TONE
-  6 METAL CLADDING - CHARCOAL
-  7 VINYL WINDOW - CHARCOAL
-  8 CURTAIN WALL GLAZING - CHARCOAL
-  9 PICKET GUARDRAILS - CHARCOAL
-  10 MECHANICAL SCREEN - (METAL LOUVERS)

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BUILDING ELEVATIONS

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 As indicated



CROSTOWN

DP19



ELEVATION - NORTH



ELEVATION - EAST

MATERIAL LEGEND

- 1 CEMENTITIOUS PANELS - WHITE
- 2 CEMENTITIOUS PANELS - CHARCOAL
- 3 VERTICAL METAL PANEL, WITH WOOD PRINT (CHARCOAL) OR PHENOLIC CORE PANEL WITH WOOD TEXTURE PANELS OR CEMENTITIOUS PANEL IN WARM WOOD TONE
- 4 METAL PANEL @ WINDOW - CHARCOAL
- 5 METAL PANEL @ WINDOW - WARM WOOD TONE
- 6 METAL CLADDING - CHARCOAL
- 7 VINYL WINDOW - CHARCOAL
- 8 CURTAIN WALL GLAZING - CHARCOAL
- 9 PICKET GUARDRAIL - CHARCOAL
- 10 MECHANICAL SCREEN - (METAL LOUVERS)

CROSSTOWN



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BUILDING ELEVATIONS

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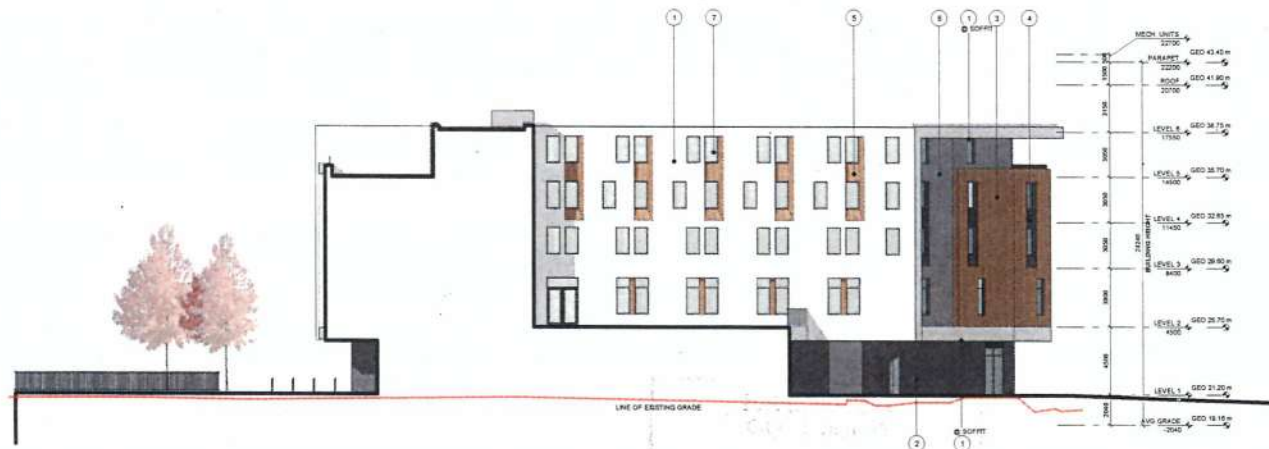


DP20

ELEVATION - WEST COURTYARD



ELEVATION - EAST COURTYARD



MATERIAL LEGEND

- 1 CEMENTITIOUS PANELS - WHITE
- 2 CEMENTITIOUS PANELS - CHARCOAL
- 3 VERTICAL METAL PANEL WITH WOOD GRAIN (HORIZONTAL OR PHENOLIC CORE PANEL WITH WOOD TEXTURE PANELS) OR CEMENTITIOUS PANEL IN WARM WOOD TONE
- 4 METAL PANEL @ WINDOW - CHARCOAL
- 5 METAL PANEL @ WINDOW - WARM WOOD TONE
- 6 METAL CLADDING - CHARCOAL
- 7 VINYL WINDOW - CHARCOAL
- 8 CURTAIN WALL GLAZING - CHARCOAL
- 9 PICKET GUARDRAIL - CHARCOAL
- 10 MECHANICAL SCREEN (METAL LOUVERS)



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BUILDING SECTION
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DP22



BUILDING SECTION 02

RECEIVED
City of Victoria
MAY 08 2019



LOW HAMMOND ROWE ARCHITECTS



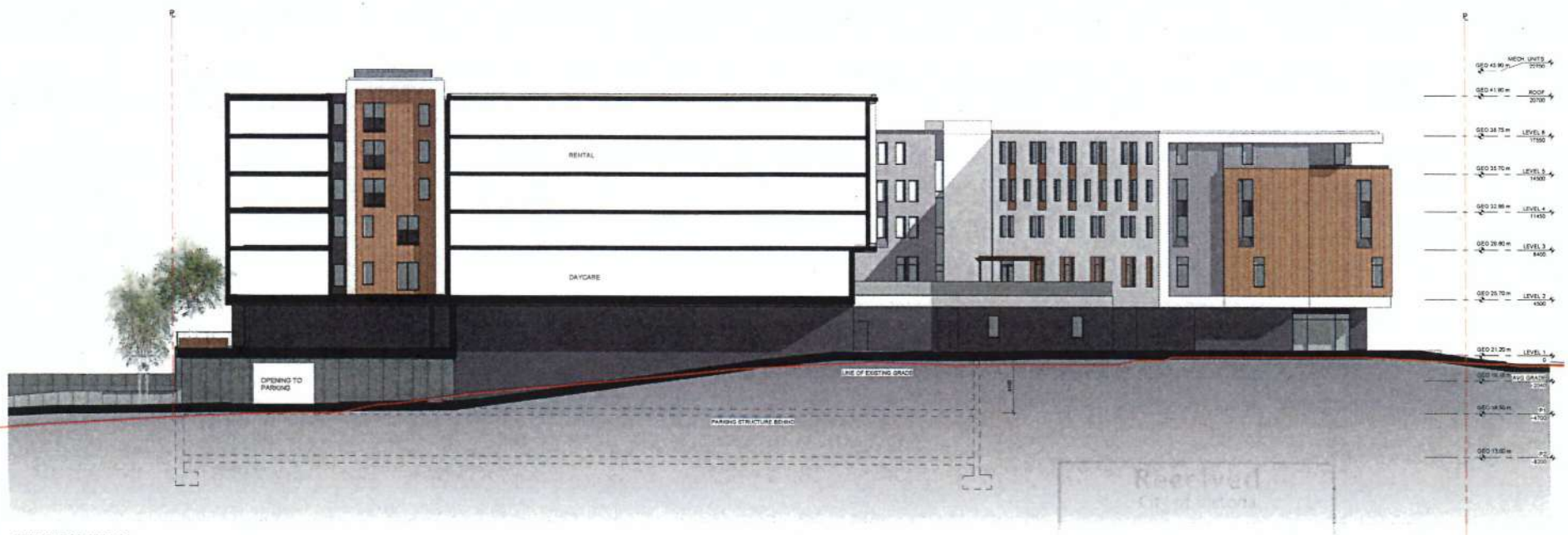
CROSSTOWN MIXED USE DEVELOPMENT
584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC
ISSUED FOR REZONING & DEVELOPMENT PERMIT

BUILDING SECTION
REV. April, 28 | 2019
As Indicated

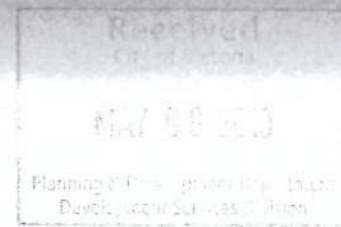


CROSSTOWN

DP23



BUILDING SECTION 03



CROSSTOWN



LOW HAMMOND ROWE ARCHITECTS



CROSSTOWN MIXED USE DEVELOPMENT

584 BURNIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

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BUILDING SECTION

REV. April 26, 2019
As indicated



DP24



LOW HAMMOND ROWE ARCHITECTS



CROSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

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AERIAL VIEW

REV. April, 26| 2019



DP25



MAY 08 2019

Prepared by: [illegible]
 Date: [illegible]



LOW HAMMOND ROWE ARCHITECTS



CROSSTOWN MIXED USE DEVELOPMENT
 584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC
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VIEW DOWN BURNSIDE
 REV. April, 26| 2019

DP26



LOW HAMMOND ROWE ARCHITECTS



CROSSTOWN MIXED USE DEVELOPMENT

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PLAZA LOOKING WEST

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DP27



LOW HAMMOND ROWE ARCHITECTS



CROSSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

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MAY 03 2019

COURTYARD

REV. April. 26 | 2019



DP28



LOW HAMMOND ROWE ARCHITECTS



CoolAid
everyone deserves home



CROSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

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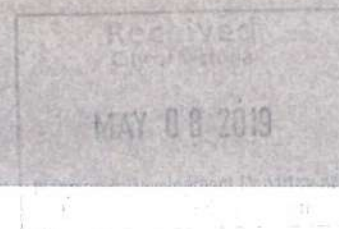
SOUTH EAST CORNER VIEW

REV. April. 26| 2019




CROSTOWN

DP29



LOW HAMMOND ROWE ARCHITECTS



CROSTOWN MIXED USE DEVELOPMENT
 564 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC
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NORTH EAST CORNER VIEW
 REV. April. 26| 2019



DP30



Original View 0104

MAY 08 2019


CROSSTOWN



LOW HAMMOND ROWE ARCHITECTS



CROSSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

ISSUED FOR REZONING & DEVELOPMENT PERMIT

VIEW DOWN BURNSIDE

REV. April, 28| 2019

DP31



LOW HAMMOND ROWE ARCHITECTS



CROSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

ISSUED FOR REZONING & DEVELOPMENT PERMIT

City of Victoria
District of Central Area

MAY 20 2019

Planned Development Permit
City of Victoria

CROSTOWN

VIEW FROM BURNSIDE

REV. April. 26 | 2019

DP32



LOW HAMMOND ROWE ARCHITECTS



CROSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

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BURNSIDE & FINLAYSON

REV. April 26 | 2019

CROSTOWN

DP33



LOW HAMMOND ROWE ARCHITECTS



CROSTOWN MIXED USE DEVELOPMENT
584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC
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MAY 09 2019

DOUGLAS & FINLAYSON
REV. April, 26 | 2019



DP34



VIEW FROM BURNSIDE



VIEW FROM DOUGLAS

CROSSTOWN



LOW HAMMOND ROWE ARCHITECTS



CROSSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

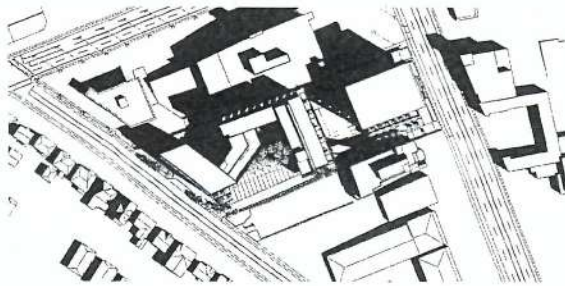
ISSUED FOR REZONING & DEVELOPMENT PERMIT

ILLUSTRATIVE VIEWS

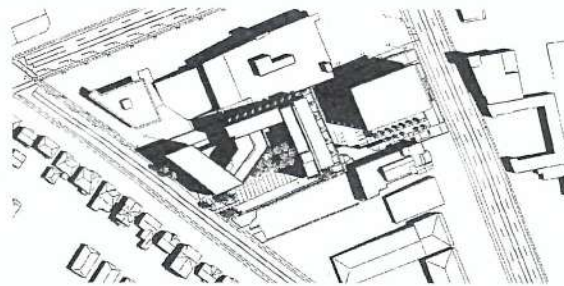
REV. April, 26 | 2019



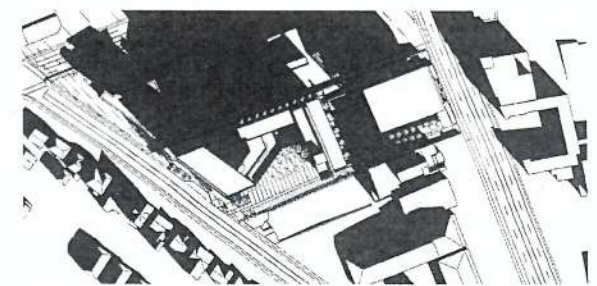
DP35



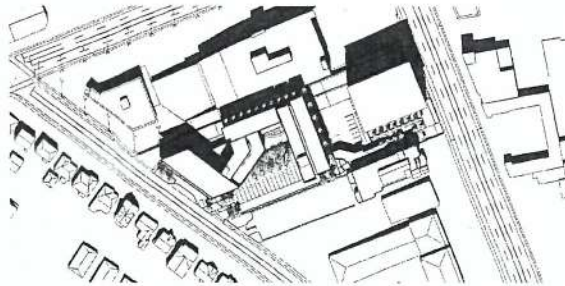
MARCH 21 SPRING 9AM



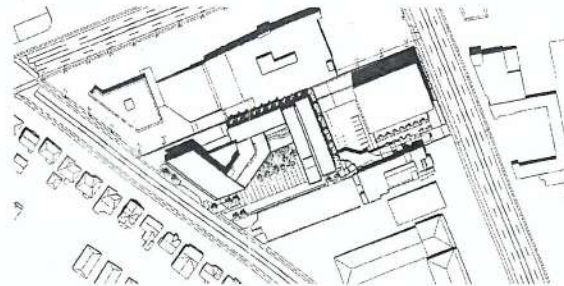
JULY 21 SUMMER 9AM



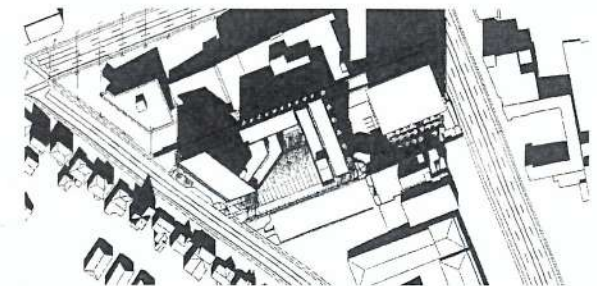
DECEMBER 21 WINTER 9AM



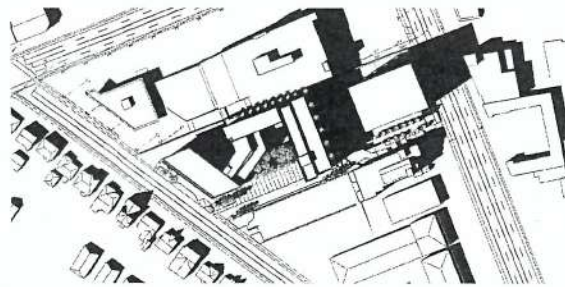
MARCH 21 SPRING 12PM



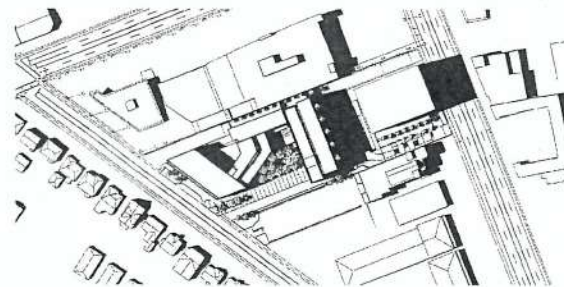
JULY 21 SUMMER 12PM



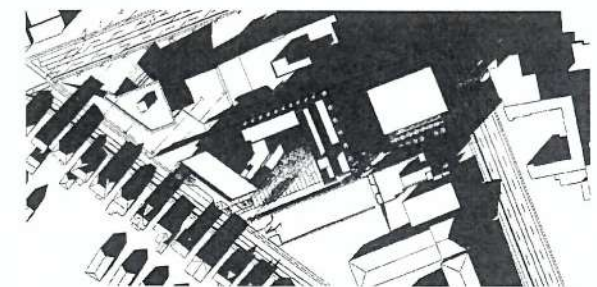
DECEMBER 21 WINTER 12PM



MARCH 21 SPRING 3PM



JULY 21 SUMMER 3PM



DECEMBER 21 WINTER 3PM



LOW HAMMOND ROWE ARCHITECTS



CROSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

ISSUED FOR REZONING & DEVELOPMENT PERMIT

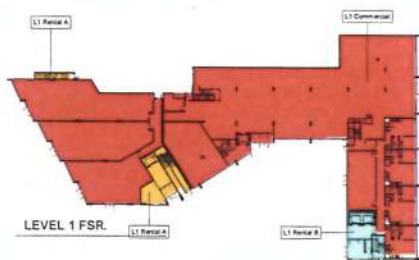


SUN STUDIES

REV. April, 26 | 2019



DP36



UNIT COUNTS BY TYPE

OCCUPANCY	Unit Type	Count	Unit Type Percentage
Rental A	S (A)	9	2%
Rental B	S	48	47%
Rental C	S	9	9%
Rental D	S	4	4%
Rental E	18 (A)	25	23%
Rental F	18	10	10%
SUB TOTAL (NO. 101)		101	100%

UNIT COUNTS BY LEVEL

LEVEL	RENTAL A	RENTAL B
LEVEL 1	10	12
LEVEL 2	28	14
LEVEL 3	28	14
LEVEL 4	28	14
LEVEL 5	20	12
LEVEL 6	10	12
TOTAL	101	82

NET AREA SCHEDULE

Level	Name	Area (sqm)	AREA (sqft)	FSR
LEVEL 1	L1 Commercial	2070.1	22383	0.36
LEVEL 1	L1 Rental A	95.7	1041	0.02
LEVEL 1	L1 Rental B	73.8	818	0.01
TOTAL AREA		2249.6	24242	0.39
LEVEL 2	L2 Commercial	887.4	9552	0.15
LEVEL 2	L2 Rental A	888	9584	0.12
LEVEL 2	L2 Rental B	888.1	9585	0.12
TOTAL AREA		2663.5	28721	0.46
LEVEL 3	L3 Rental A	941.5	10155	0.11
LEVEL 3	L3 Rental B	1038.2	11213	0.28
TOTAL AREA		2147.8	23118	0.37
LEVEL 4	L4 Rental A	838.5	9075	0.11
LEVEL 4	L4 Rental B	1002.5	10775	0.29
TOTAL AREA		2141.1	23048	0.37
LEVEL 5	L5 Rental A	543.1	5845	0.09
LEVEL 5	L5 Rental B	1298.2	13938	0.22
TOTAL AREA		1762.3	18944	0.21
LEVEL 6	L6 Rental B	1087.8	11710	0.19
TOTAL AREA		1087.8	11710	0.19

RESIDENTIAL TOTAL FSR

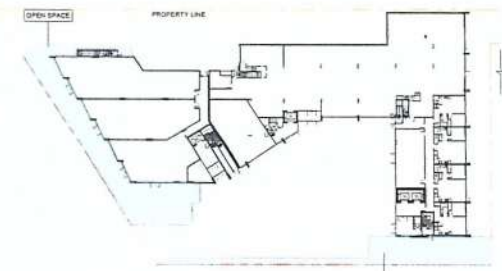
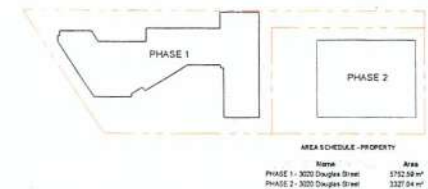
Level	Area (sqm)	AREA (sqft)	FSR
LEVEL 1	1772.5	19037	0.02
LEVEL 2	1351.1	14542	0.28
LEVEL 3	2147.8	23118	0.37
LEVEL 4	2141.1	23048	0.37
LEVEL 5	1762.3	18944	0.21
LEVEL 6	1087.8	11710	0.19
TOTAL AREA	8622.6	92459	1.32

COMMERCIAL TOTAL FSR

Level	Area (sqm)	AREA (sqft)	FSR
LEVEL 1	2070.1	22383	0.36
LEVEL 2	887.4	9552	0.15
TOTAL AREA	2957.5	31935	0.51

TOTAL FSR

Level	Area (sqm)	AREA (sqft)	FSR
LEVEL 1	2242.6	24140	0.38
LEVEL 2	2238.5	24086	0.36
LEVEL 3	2147.8	23118	0.37
LEVEL 4	2141.1	23048	0.37
LEVEL 5	1762.3	18944	0.21
LEVEL 6	1087.8	11710	0.19
TOTAL AREA	17662.1	18944	2.87



OPEN SPACE AREA PLAN
 OPEN SPACE AREA: 619.41M²
 PHASE 1 SITE AREA: 5752.59M²
 OPEN SPACE RATIO: 619.4/5752.59=10.77%



SITE COVERAGE
 SITE COVERAGE AREA: 4025.05M²
 SITE AREA: 5752.59M²
 SITE COVERAGE RATIO: 4025.05/5752.59=69.97%



LOW HAMMOND ROWE ARCHITECTS



CROSTOWN MIXED USE DEVELOPMENT

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FSR AREA SUMMARY

REV. April 26] 2019
 As indicated

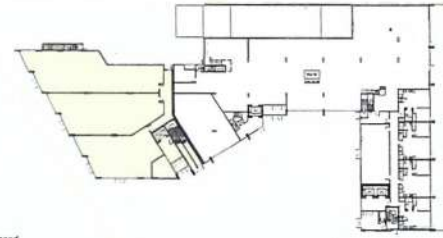


DP38



BCBC Building Area
 □ BLD 01 666.7 m²

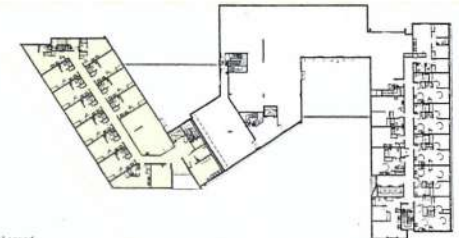
BCBC BUILDING AREA PLAN_BLD01



Building Area Legend

□ BLD 01 784 m²
 □ BLD 02 1572 m²

LEVEL 1 BUILDING AREA



Building Area Legend

□ BLD 01 678 m²
 □ BLD 02 1275 m²

LEVEL 2 BUILDING AREA



BCBC Building Area
 □ BLD 01 1802.3 m²

BCBC BUILDING AREA_BLD02



Building Area Legend

□ BLD 01 878 m²
 □ BLD 02 1582 m²

LEVEL 3 BUILDING AREA

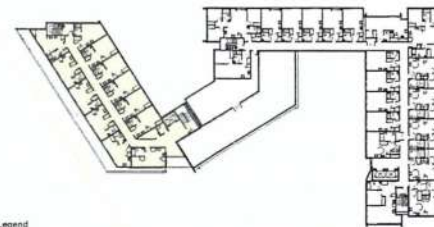
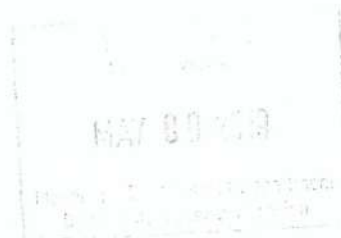


Building Area Legend

□ BLD 01 678 m²
 □ BLD 02 1582 m²

LEVEL 4 BUILDING AREA

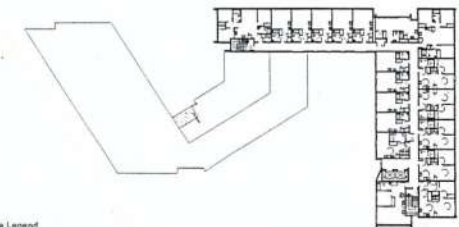
NOTE: "GROSS BUILDING AREA CALCULATION INCLUDES
 EXTERIOR CLADDING TO COMPLY WITH BC BUILDING CODE"



Building Area Legend

□ BLD 01 1078 m²
 □ BLD 02 1318 m²

LEVEL 5 BUILDING AREA



Building Area Legend

□ BLD 01 1103 m²

LEVEL 6 BUILDING AREA

CROSSTOWN



LOW HAMMOND ROWE ARCHITECTS



CROSSTOWN MIXED USE DEVELOPMENT

584 BURNSIDE RD EAST & 3020 DOUGLAS ST, VICTORIA BC

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GROSS BUILDING AREA_BCBC

REV. April, 26| 2019

1 : 500



DP39



LI COMMERCIAL GROSS AREA SCHEDULE		
Line Type	Area	AREA ADJ.
CIRCULATION 1	36 sq ft	361.5 SF
CIRCULATION 2	53 sq ft	531.5 SF
CIRCULATION 3	9 sq ft	102.3 SF
CIRCULATION 4	6.6 sq ft	111.1 SF
CIRCULATION 5	3.5 sq ft	39.8 SF
CIRCULATION 6	32.5 sq ft	325.5 SF
CRU 02	325.1 sq ft	1848.9 SF
CRU 03		1558 SF
CRU 04	136.2 sq ft	1485.7 SF
CRU 05	846.8 sq ft	8464.5 SF
CRU 06	51.1 sq ft	912.5 SF
CRU 07	51.1 sq ft	500 SF
CRU 08	56.5 sq ft	620.5 SF
CRU 09	36.6 sq ft	332.3 SF
CRU 10	5.5 sq ft	55.5 SF
MECH.	17.8 sq ft	178 SF
TOTAL AREA	2181.8 sq ft	20430.4 SF

L1 TOTAL GROSS AREA	
Area sqm.	AREA sqf.
2205.08 m ²	24002.8 SF

LEVEL 2.
1:300

Unit Type	Area sqm	AREA sqm
CIRCULATION 5	25.5 m ²	274.5 m ²
CIRCULATION 6	50.8 m ²	548.5 m ²
CIRCULATION 7	13.4 m ²	144.6 m ²
CRU03	148.6 m ²	1581.6 m ²
L2 GARDENS	871.1 m ²	7223.9 m ²
TOTAL AREA	907.7 m ²	8770.6 m ²

L2 TOTAL GROSS AREA	
Area sqm.	AREA sqf.
1297.08 m ²	34725.855

DP40



L3 TOTAL GROSS AREA	
Area sqm.	AREA sqf.
2190 00 sqf	23660 ± 5%

L3 MENTAL AND PHYSICAL SCHEDULE			
Start time	Activity	Area	Area/s
16	24 min	24	344.7 S
18	24 min	24	344.7 S
19	24 min	24	344.7 S
20	24 min	24	344.7 S
21	24 min	24	344.7 S
22	24 min	24	344.7 S
23	24 min	24	344.7 S
24	24 min	24	344.7 S
25	24 min	24	344.7 S
26	24 min	24	344.7 S
27	24 min	24	344.7 S
28	24 min	24	344.7 S
29	24 min	24	344.7 S
30	24 min	24	344.7 S
31	24 min	24	344.7 S
32	24 min	24	344.7 S
33	24 min	24	344.7 S
34	24 min	24	344.7 S
35	24 min	24	344.7 S
36	24 min	24	344.7 S
37	24 min	24	344.7 S
38	24 min	24	344.7 S
39	24 min	24	344.7 S
40	24 min	24	344.7 S
41	24 min	24	344.7 S
42	24 min	24	344.7 S
43	24 min	24	344.7 S
44	24 min	24	344.7 S
45	24 min	24	344.7 S
46	24 min	24	344.7 S
47	24 min	24	344.7 S
48	24 min	24	344.7 S
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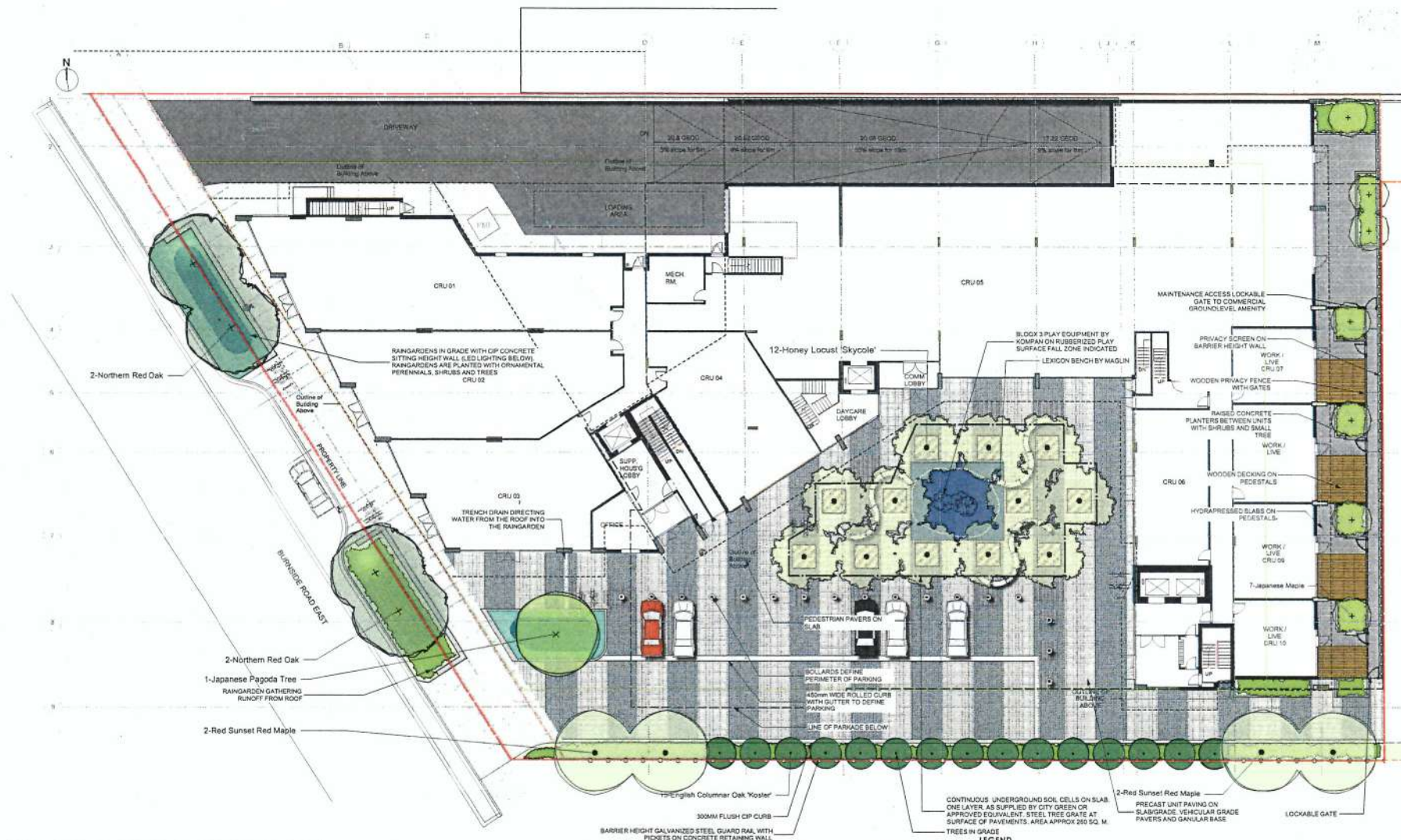
LEVEL 4.

LA Forest A GROSS AREA SCHEDULE		
Unit Type	Area sqm	AREA sqft
S (A)	51.2 m ²	551.4 SF
S (B)	43.4 m ²	466.0 SF
S (A) 2	94.8 m ²	1018.4 SF
S	33.8 m ²	362.2 SF
S	33.8 m ²	362.2 SF
S	33.8 m ²	362.2 SF
S	33.8 m ²	362.2 SF
B	36 m ²	387.6 SF
B	33.2 m ²	357.5 SF
B	33.2 m ²	357.5 SF
B	33.7 m ²	362.0 SF
B	33.2 m ²	357.5 SF
S	33.8 m ²	362.2 SF
S	33.5 m ²	360.9 SF
S 1/2	408.6 m ²	4376.7 SF
CIRCULATION	143.3 m ²	1542.6 SF
CIRCULATION 1	143.3 m ²	1542.6 SF
TOTAL AREA	644.5 m ²	6937.3 SF

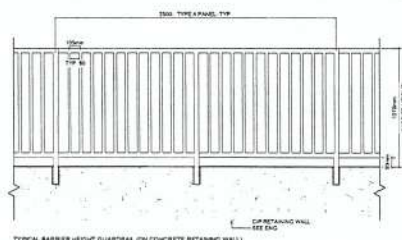
Unit Type	Area (acres)	AREA ac
5 (A)	45.0	440.2 SF
6 (A)	21.0	204.2 SF
7 (A)	22.0	216.7 SF
8 (A)	23.0	226.9 SF
9 (A)	22.0	216.7 SF
10 (A)	23.0	226.9 SF
11 (A)	23.0	226.9 SF
12 (A)	23.0	226.9 SF
13 (A)	23.0	226.9 SF
14 (A)	23.0	226.9 SF
15 (A)	23.0	226.9 SF
16 (A)	23.0	226.9 SF
17 (A)	23.0	226.9 SF
18 (A)	23.0	226.9 SF
19 (A)	23.0	226.9 SF
20 (A)	23.0	226.9 SF
21 (A)	23.0	226.9 SF
22 (A)	23.0	226.9 SF
23 (A)	23.0	226.9 SF
24 (A)	23.0	226.9 SF
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41 (A)	23.0	226.9 SF
42 (A)	23.0	226.9 SF
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45 (A)	23.0	226.9 SF
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51 (A)	23.0	226.9 SF
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54 (A)	23.0	226.9 SF
55 (A)	23.0	226.9 SF
56 (A)	23.0	226.9 SF
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62 (A)	23.0	226.9 SF
63 (A)	23.0	226.9 SF
64 (A)	23.0	226.9 SF
65 (A)	23.0	226.9 SF
66 (A)	23.0	226.9 SF
67 (A)	23.0	226.9 SF
68 (A)	23.0	226.9 SF
69 (A)	23.0	226.9 SF
70 (A)	23.0	226.9 SF
71 (A)	23.0	226.9 SF
72 (A)	23.0	226.9 SF
73 (A)	23.0	226.9 SF
74 (A)	23.0	226.9 SF
75 (A)	23.0	226.9 SF
76 (A)	23.0	226.9 SF
77 (A)	23.0	226.9 SF
78 (A)	23.0	226.9 SF
79 (A)	23.0	226.9 SF
80 (A)	23.0	226.9 SF
81 (A)	23.0	226.9 SF
82 (A)	23.0	226.9 SF
83 (A)	23.0	226.9 SF
84 (A)	23.0	226.9 SF
85 (A)	23.0	226.9 SF
86 (A)	23.0	226.9 SF
87 (A)	23.0	226.9 SF
88 (A)	23.0	226.9 SF
89 (A)	23.0	226.9 SF
90 (A)	23.0	226.9 SF
91 (A)	23.0	226.9 SF
92 (A)	23.0	226.9 SF
93 (A)	23.0	226.9 SF
94 (A)	23.0	226.9 SF
95 (A)	23.0	226.9 SF
96 (A)	23.0	226.9 SF
97 (A)	23.0	226.9 SF
98 (A)	23.0	226.9 SF
99 (A)	23.0	226.9 SF
100 (A)	23.0	226.9 SF
101 (A)	23.0	226.9 SF
102 (A)	23.0	226.9 SF
103 (A)	23.0	226.9 SF
104 (A)	23.0	226.9 SF
105 (A)	23.0	226.9 SF
106 (A)	23.0	226.9 SF
107 (A)	23.0	226.9 SF
108 (A)	23.0	226.9 SF
109 (A)	23.0	226.9 SF
110 (A)	23.0	226.9 SF
111 (A)	23.0	226.9 SF
112 (A)	23.0	226.9 SF
113 (A)	23.0	226.9 SF
114 (A)	23.0	226.9 SF
115 (A)	23.0	226.9 SF
116 (A)	23.0	226.9 SF
117 (A)	23.0	226.9 SF
118 (A)	23.0	226.9 SF
119 (A)	23.0	226.9 SF
120 (A)	23.0	226.9 SF
TOTAL AREA	1004.1	10041.1 SF







PLANT LIST			
Sym	Qty	Botanical Name	Common Name
TREES			
1	1	Aspen japonica	Japanese Maple
2	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
3	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
4	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
5	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
6	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
7	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
8	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
9	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
10	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
11	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
12	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
13	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
14	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
15	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
16	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
17	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
18	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
19	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
20	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
21	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
22	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
23	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
24	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
25	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
26	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
27	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
28	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
29	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
30	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
31	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
32	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
33	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
34	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
35	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
36	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
37	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
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41	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
42	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
43	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
44	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
45	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
46	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
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52	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
53	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
54	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
55	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
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57	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
58	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
59	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
60	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
61	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
62	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
63	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
64	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
65	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
66	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
67	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
68	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
69	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
70	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
71	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
72	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
73	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
74	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
75	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
76	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
77	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
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89	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
90	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
91	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
92	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
93	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
94	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
95	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
96	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
97	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
98	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
99	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple
100	1	Aspen japonica 'Red Sunset'	Red Sunset Japanese Maple



LEGEND

- Property Line
- Parking Structure Below Grade
- Paved Pavements (Non-porous): Exposed aggregate concrete 75 x 100 x 20mm. See L4 Stormwater Management Plan
- Concrete Walkways
- Paved Pavements on Pedestals: Exposed aggregate concrete 75 x 100 x 20mm. See L4 Stormwater Management Plan
- Hydropressed Slabs on Pedestals
- Bike Rack (6-bike)
- Sitting Height Wall
- Wood Decking on Pedestals
- Rubberized Play Surface
- Synthetic Lawn
- Bench: Option by Maguin
- Raingarden
- Deciduous Tree
- Shrub Planting

NOT FOR CONSTRUCTION

rev no	description	date
1	Revisions to DP	4/15/18
2	Revised Reasoning	2/25/19
3	DP	11/11/18



client
Victoria Coast-Aid Society
101-749 Pandora Avenue
Victoria, BC

project
Crosstown
3020 Douglas
Ave, Victoria BC

sheet title
Landscape Plan-
Ground Level

project no.	118.16
scale	1:150 @ 24"x36"
drawn by	GJ
checked by	SM
revision no.	sheet no.

L1



PLANT LIST					
Sym	Qty	Botanical Name	Common Name	Sch'd. Size / Plant Spacing	
TREES:					
	4	Stylos japonica 'Emerald Pagoda'	Japanese Snowbell	5.0m cal. bbs	
SHRUBS/PERENNIALS/GRASSES/VINES:					
AL	49	Anemone nemorosa	New Zealand Wind Grass	#1 Pot	
Ca	5	Clematis emerald	Evergreen Clematis	#1 Pot	
End	44	Euclalyptus 'Newport Dwarf'	Newport Dwarf Euclalyptus	#1 pot	
Gw	31	Gaura lindheimeri 'Whirling Butterflies'	Whirling Butterflies Gaura	#1 pot	
Pg	31	Parthenocissus quinquefolia	Virginia Creeper	#2 Pot	

CHARACTER IMAGES:



Roof Top Amenity Space



Roof Top Play Space



Plaza



Bollard



Plaza

Client
Victoria Cool-Aid Society
101-140 Pandora Avenue
Victoria, BC

Project
Crosstown
3020 Douglas
Ave, Victoria BC

Sheet Title
Landscape Plan-
Second Level

Project no. 118.16
Scale 1:150 @ 24"x36"
Drawn by GJ
Checked by SM
Revision no. sheet no.

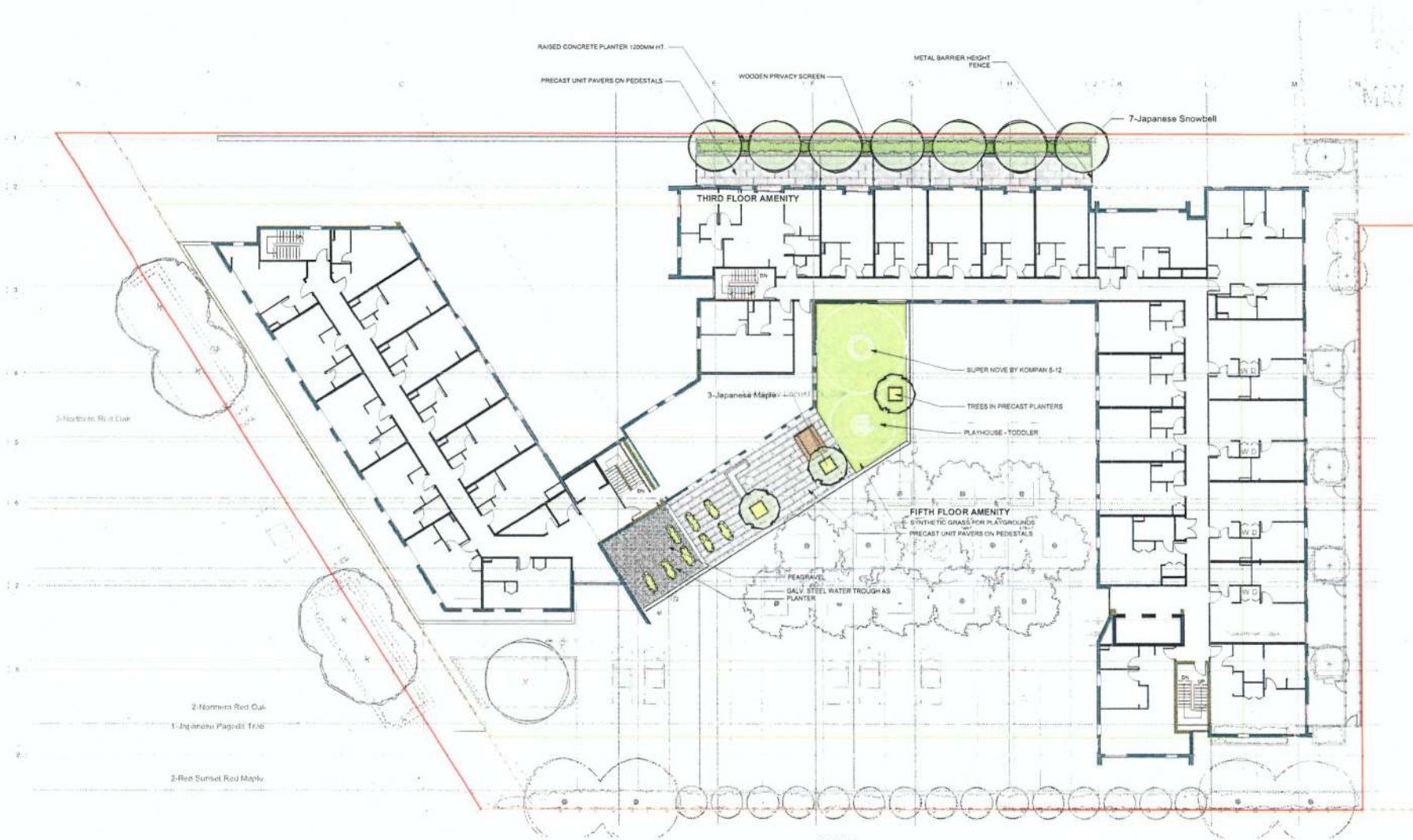
1 L2

Revisions to DP 4/15/18
Revised Reasoning 2/20/18
DP 1/12/18

Rev no description date

Murdoch
deGreeff INC
Landscape Planning & Design
200-1011-140 Pandora Ave
Victoria, BC V8P 1G7

N



PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES				
	3	Acer palmatum	Japanese Maple	1.8 m height, specimen quality
	7	Styax japonicus 'Emerald Pagoda'	Japanese Snowbell	5.0m cal. 180
SHRUBS/PERENNIALS/GRASSES/OWNS				
AL	55	Anemone nemorosa	New Zealand Wind Grass	#1 Pot
End	55	Escallonia 'Newport Dwarf'	Newport Dwarf Escallonia	#1 pot
Gw	55	Gaura lindheimeri 'Whirling Butterflies'	Whirling Butterflies Gaura	#1 pot
NCH	21	Nandina domestica 'Variegata Dwarf'	Harbour Dwarf Nandina	#1 Pot

LEGEND

Property Line	Bike Rack (6 bikes)	Bench Option by Margin
Parking Structure Below Grade	Siting Height Wall	Rain Garden
Paved Pavements (Non-porous): Exposed aggregate 75 x various x 105mm. See L4 Stormwater Management Plan	Wood Decking on Pedestals	Deciduous Trees
Concrete Walkways	Rubberized Play Surface	Shrub Planting
Paved on Pedestals, By Abbotsford Concrete or approved equivalent. 450 x 900 x 20mm. Finish pattern 180.	Synthetic Lawn	
Hydropressed Slabs on Pedestals		
Boards: Defines Parking Lot		

MURDOCH DE GREEFF INC.
Landscape Planning & Design
200-1100-1100
Phone: 250-110-1100 Fax: 250-110-1100

NOT FOR CONSTRUCTION

REV NO	DESCRIPTION	DATE
3	Revisions to DP	4/15/19
2	Revised Reasoning	2/25/19
1	DP	11/2/18

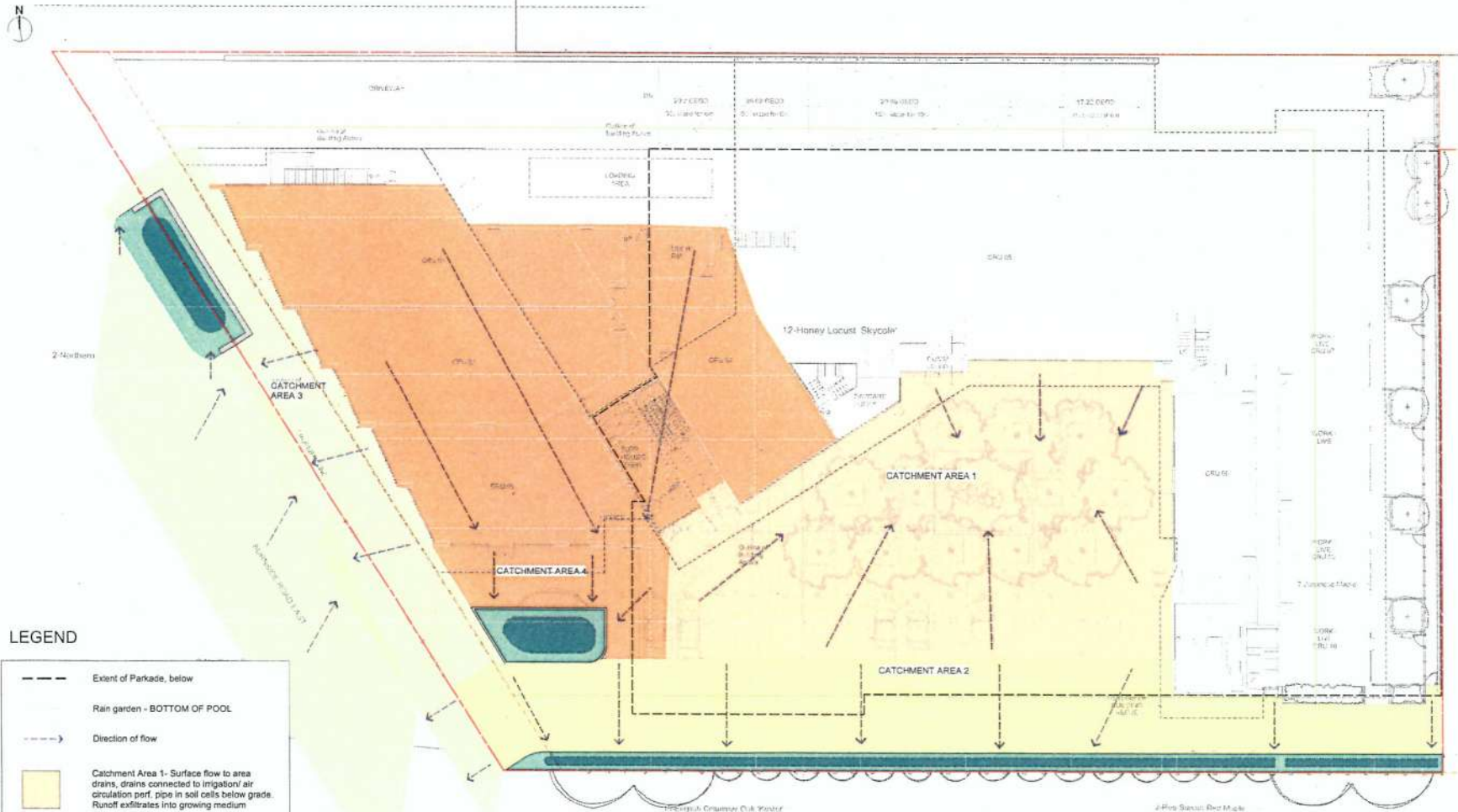
client
Victoria Coal-Aid Society
101-749 Pandora Avenue
Victoria, BC

project
Crosstown
3020 Douglas Ave, Victoria BC

sheet title
Landscape Plan-
Third and Fifth Level

project no.	118-16
scale	1:150 @ 24"x36"
drawn by	GJ
checked by	SM
revision no.	sheet no.

L3



LEGEND

- Extent of Parkade, below
- Rain garden - BOTTOM OF POOL
- Direction of flow
- Catchment Area 1- Surface flow to area drains, drains connected to irrigation/ air circulation perf. pipe in soil cells below grade. Runoff infiltrates into growing medium
- Catchment Area 2- Surface flow to rain garden, overflow drains connected to storm sewer
- Catchment Area 3- Surface flow to road, which is captured by rain gardens
- Catchment Area 4- Roof and Surface flow collected by rain garden via Downspout and Trench Drain
- Rain Garden / Rain Planter

NOT FOR CONSTRUCTION

Rev. No.	Description	Date
3	Revisions to DP	4/15/19
2	Revised Reasoning	3/20/19
1	DP	11/21/18



client
Victoria Coal-Aid Society
101-749 Pandora Avenue
Victoria, BC

project
Crosstown
3020 Douglas
Ave, Victoria BC

sheet title
Stormwater
Management Plan

project no.	118.16
scale	1:150 @ 24"x36"
drawn by	GLJ
checked by	SM
revision no.	sheet no.



L4

