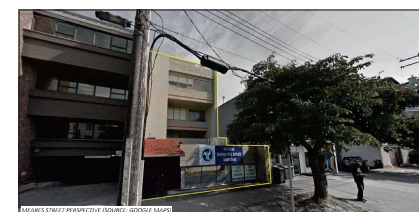


Rezoning Application - 6 October 2023

GENERAL PROJECT INFORMATION	
PROJECT DESCRIPTION	A REVENING APPLICATION TO ALLOW RESIDENTIAL USE AT THE FIRST FLOOR OF 3011 FORT STREET, VICTORIA, BC EXISTING BUILDING TYPE: COMMERCIAL BUILDING PROJECT CURRENTLY UNDERWAY TO IMPROVE THE USE OF LEVEL 8-4 FOR RESIDENTIAL USE AND AUTOMATICALLY WITHIN THE ZONE OF 100% RESIDENTIAL USE (R100%) AND 100% MIXED, DEDICATED DEVELOPMENT PERMIT (R100% AND 100% MIXED).
CONTACT ADDRESS	3011 FORT STREET, VICTORIA, BC, V8S 3K5
OWNER/ADDRESS	100% OF 3011 FORT STREET, VICTORIA, BC IS IN THE R100% ZONE FOR RESIDENTIAL USE, EXCEPT THE 100% MIXED.
AUTHORITY HAVING JURISDICTION	CITY OF VICTORIA
APPLICABLE BUILDING CODE	2018 COLUMBIA BUILDING CODE, 2018 EDITION
APPLICABLE ZONING DISTRICT	NOT APPLICABLE
COMMUNITY ASSOCIATION/LAND USE COMMITTEE	N/A - "TALKING GREEN COMMERCIAL DISTRICT"
DEVELOPMENT PERMIT AREA (D.P.A.)	CMA-78-03 - "COMMERCIAL MIXED"
LOCAL AUTHORITY/AGENCY	CITY OF VICTORIA - PLANNING DEPARTMENT, 100% MIXED, DEDICATED DEVELOPMENT PERMIT (R100% AND 100% MIXED)
LOCAL C.A. ID NUMBER	CMA-78-03 - "COMMERCIAL MIXED"
LOCAL C.A. ID NUMBER	CMA-78-03 - "COMMERCIAL MIXED"



PROJECT INFORMATION TABLE	EXISTING/REQUIRED	PROPOSED	
ZONING DISTRICT	CU-42	NEW	
STREET AREA (sq')	359 (EXISTING)	359 (EXISTING)	NO CHANGE
TOTAL FLOOR AREA (sq')	882.96 (EXISTING)	882.96 (EXISTING)	NO CHANGE
COMMERCIAL FLOOR AREA (sq')	117.13 (PROPOSED)	55.84	TWO (2) OFFICES PROPOSED NO CHANGES TO RESIDENTIAL USE
LANDSCAPE AREA (sq'), COMMON AREAS (EXCLUDED)			
FLOOR SPACE RATIO	2.12 (F.88 EXISTING)	2.86 (EXISTING)	NO CHANGE
STREET COVERAGE (sq')	N/A	N/A	
OPEN SPACE (sq')	N/A	N/A	
HEIGHT OF BUILDING (ft)	5 (1.5)	14.4 (9 EXISTING)	PER 2020 FORTLAURET SUBAREA
NUMBER OF STOREYS	1 (4 EXISTING)	4 (EXISTING)	NO CHANGE
PARKING SPACES OR STS	N/A	N/A	10.0% 6,500H + LOT WIDTH = 18.0%
BIODECK PARKING	N/A	0 (EXISTING)	NO CHANGES
BIODECK	N/A	0 (EXISTING)	NO CHANGES
FOOT STREET - NORTH (sq')	2 (2.6 FROM STREET)	2 (2.6 FROM STREET)	NO CHANGES
FOOT STREET - SOUTH (sq')	0	0 (EXISTING)	NO CHANGES
MEANES STREET - NORTH (sq')	2 (2.6 FROM STREET)	0 (EXISTING)	NO CHANGES
MEANES STREET - SOUTH (sq')	N/A	N/A	
COMBINED LOT VARS (sq')			
STANDARD LOT VARS (sq')	13 (PROPOSED)	17 (2.42 EXISTING)	2 OFFICES PROPOSED CONVERTED TO RESIDENTIAL
STANDARD APPROVED STDS	STANDARD APPROVED STDS	STANDARD	NO CHANGE
GRASSING OR SETBACKS (sq')	NOT APPLICATED	2	2 OFFICES PROPOSED CONVERTED TO RESIDENTIAL
MINIMUM LOT FLOOR AREA (sq')	1,312.2 (PROPOSED)	1,312.2 (PROPOSED)	NO CHANGE
MINIMUM LOT FLOOR AREA (sq')	1,312.2 (PROPOSED)	1,312.2 (PROPOSED)	2 OFFICES PROPOSED CONVERTED TO RESIDENTIAL



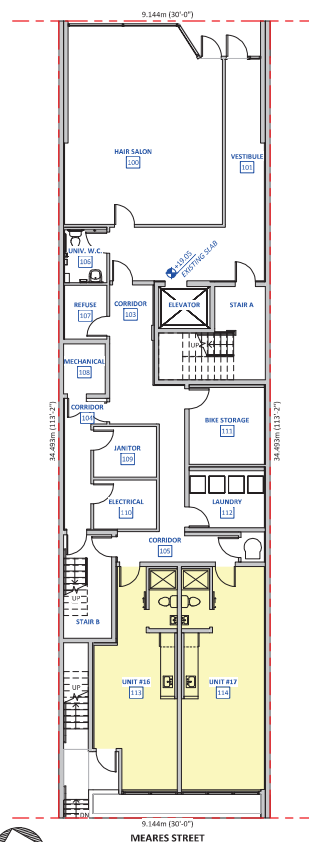
Building Code Analysis		DESCRIPTION	REFERENCE
1. GENERAL INFORMATION			
1.1	PROJECT TYPE	☒ NEW CONSTRUCTION ☒ ADDED FLOOR ☐ TENANT IMPROVEMENT	
1.2	GOVERNING BUILDING CODE	2018 INTERNATIONAL BUILDING CODE, INCLUDING ALL AMENDMENTS	
1.3	BUILDING CODE PARTS APPLICABLE	PART 1: 1 2 3 4 5 6 7 8 9 10 DIVISION:	ENR - 1.3.1
1.4	OCCUPANCY CLASSIFICATION	☒ A ☐ B ☐ F ☐ I ☐ M ☐ S	1.1.2
1.5	MULTIPLE MAJOR OCCUPANCIES	☐ YES ☒ NO	1.1.3
1.6	FINISHED FLOORS	☐ YES ☒ NO	1.1.6
1.7	OCCUPANT LOAD	☐ TOTAL (ALL FLOORS) USE AREA (SQ. FT.) OCCUPANCY OCCUPANCY FLOOR 1 SUBTOTAL 21 MAIN SALON (100) C 55.5 - 440 13 REAR OFFICE C 4.5 - 40 5 MAIN OFFICE (111) C 12.2 - 440 5 LOBBY (45) C 4.5 - 440 5 PARKING PL #1311 (FORMERLY OFFICE #2) C 35.5 1 BUILDING AT BEAM (FORMERLY OFFICE #2) C 35.5 1	1.1.7
1/4R-100 TO HAVE PERMANENT SIGNAGE INDICATING OCCUPANT LOAD POSTED IN A CONSPICUOUS LOCATION			
FLOOR 2 SUBTOTAL 10 CHANGELING UNITS C - - 5 - 10 DWELLING UNITS C - - 5 - 10 FLOOR 3 SUBTOTAL 10 CHANGELING UNITS C - - 5 - 10 DWELLING UNITS C - - 5 - 10			
1.8	BUILDING AREA (W)	295 BUILDING AREA	1.4.1.2
1.9	GRADE (ELEVATION IN FEET/FT)	118.00 GRADE EXISTING FIRST STORY FLOOR SLAB AT 115.00m	1.1.2
1.10	BUILDING HEIGHT (FT/CM)	4 JACOB GRADE 4 FELLOW GRADE 4 TOTAL	1.2.1.1
1.11	FIRE ALARM & DETECTION SYSTEM	☒ REQUIRED ☐ PROVIDED ☐ N/A	1.2.4.5
1.12	AUTOMATIC SPRINKLER SYSTEM	☒ REQUIRED ☐ PROVIDED ☐ N/A	1.2.5.3.2
1.13	METZANON	☒ REQUIRED ☐ PROVIDED ☐ N/A	1.2.6
1.14	INTERCONNECTED ROOF SPACE	☒ YES ☐ NO	1.2.8.2
1.15	NUMBER OF STREET FRACING	2 STREET FRACING	1.4.1.2
1.16	FIRE DEPARTMENT ACCESS ROUTE	☒ REQUIRED ☐ PROVIDED ☐ N/A	1.2.5.5
1.17	ROOF ACCESS	☒ REQUIRED ☐ PROVIDED ☐ N/A	1.2.5.6
1.18	LIGHTING AND EMERGENCY POWER	☒ REQUIRED ☐ PROVIDED ☐ N/A SEE ELEC. DRAWINGS	1.2.7.2
1.19	ACCESS (OR PERSONS) IN DISABILITY	WHEEL CHAIRING ACCESSIBLE OR HAND SPACES ARE PROVIDED, AT LEAST ONE FOR EVERY 4 OF PART THREE SHALL BE DESIGNED TO BE ACCESSIBLE	1.3.2
1.20	ALTERNATE SOLUTIONS REQUIRED	☐ YES ☒ NO	ENR A 1.2.1.1.10.10.2.2.3
CONSTRUCTION CLASSIFICATION			
1.21	CONSTRUCTION TYPE/1	GROUP C, UP TO 3 STORIES, SPAN/RAISED PERMITTED ☐ PROHIBITED ☐ N/A	1.2.2.3
1.22	ASSEMBLY/FIRE RESISTANCE RATING	MIN. 1.5 H. JOIST/SLAB ☐ PERMITTED ☐ PROHIBITED ☐ N/A	
1.23	BUILDING HEIGHT (FT/CM)	1 FLOOR 1 METZANON 1 ROOF	LOADBEARING ELEMENTS TO HAVE SAME F.R.S. AS SUPPORTED ASSEMBLY
1.24	BUILDING AREA (W)	1 FLOOR 1 METZANON 1 ROOF	
CONSTRUCTION CLASSIFICATION			
1.25	CONSTRUCTION TYPE/1	GROUP C, UP TO 10 STORIES, SPAN/RAISED PERMITTED ☐ PROHIBITED ☐ N/A	1.2.2.3.4
1.26	ASSEMBLY/FIRE RESISTANCE RATING	MIN. 1.5 H. JOIST/SLAB ☐ PERMITTED ☐ PROHIBITED ☐ N/A	
1.27	BUILDING HEIGHT (FT/CM)	1 FLOOR 1 METZANON 1 ROOF	LOADBEARING ELEMENTS TO HAVE SAME F.R.S. AS SUPPORTED ASSEMBLY
1.28	BUILDING AREA (W)	1 FLOOR 1 METZANON 1 ROOF	

OWNER	ARCHITECTURAL
Habitat Projects Cowichan Valley Vancouver Island 250-516-3229 Contact: Chris Tucker	Christine Lintott Architects Inc. Suite 1 - 864 Queens Avenue Victoria, B.C. V8T 1M5 250 384-1969 Contact: Tim Kindrat



9.144m (30'-0")
MEARES STREET
1 SITE & FLOOR PLAN - LEVEL 1
A3.01 1 : 100

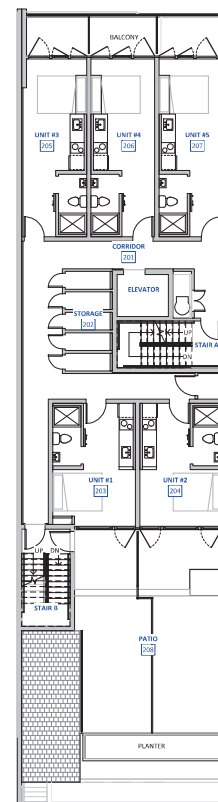
FORT STREET



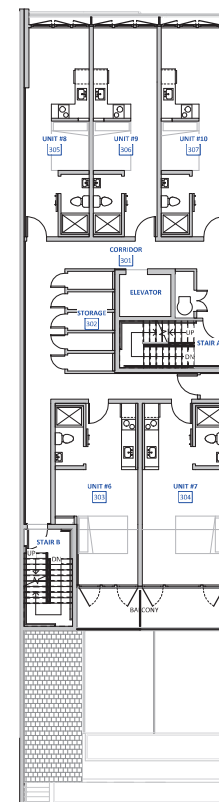
1 SITE & FLOOR PLAN - LEVEL 1
A3.01 1 : 100

Sheet List

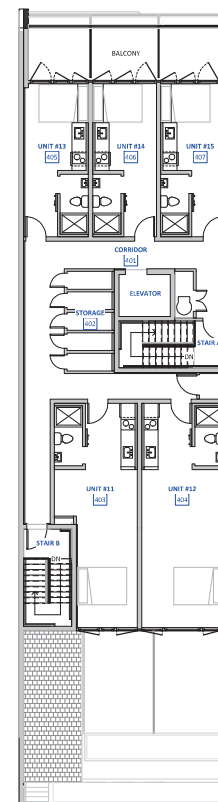
No.	Name
A-01	COVER & PROJECT INFORMATION
A-02	ELEVATIONS & 3D VIEWS



2 FLOOR PLAN - LEVEL 2
A3.01 1 : 100



3 FLOOR PLAN - LEVEL 3
A3.01 1 : 100



4 FLOOR PLAN - LEVEL 4
A3.01 1:100

Revision

No.	Description	Date
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Consultant



1011 Fort Street -
Communal Living

1011 Fort St Victoria BC

COVER & PROJECT
INFORMATION

Date 2023-10-06 1:02:59 PM

Drawn by	TK
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Checked by	CLA
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A-01

Scale	As indicated
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Revision		
No.	Description	Date

1011 Fort St Victoria BC

Scale	As indicated
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6 3D VIEW - SOUTH ELEVATION - MEARES STREET

5 3D VIEW - NORTH ELEVATION - FORT STREET