

NOT FOR CONSTRUCTION

ISSUED/REVISED

NO	DATE	DESCRIPTION
1	Oct 24 2022	Client Communications
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16	Nov 9 2023	Reissued for Rezoning

SKETCH PLAN OF:

Lot 168, Block S, Section 31,

Esquimalt District, Plan 549

Civic address: 1035 Russell, Victoria, BC

Parcel Identifier Number 004-645-227 in the City of Victoria

LEGEND

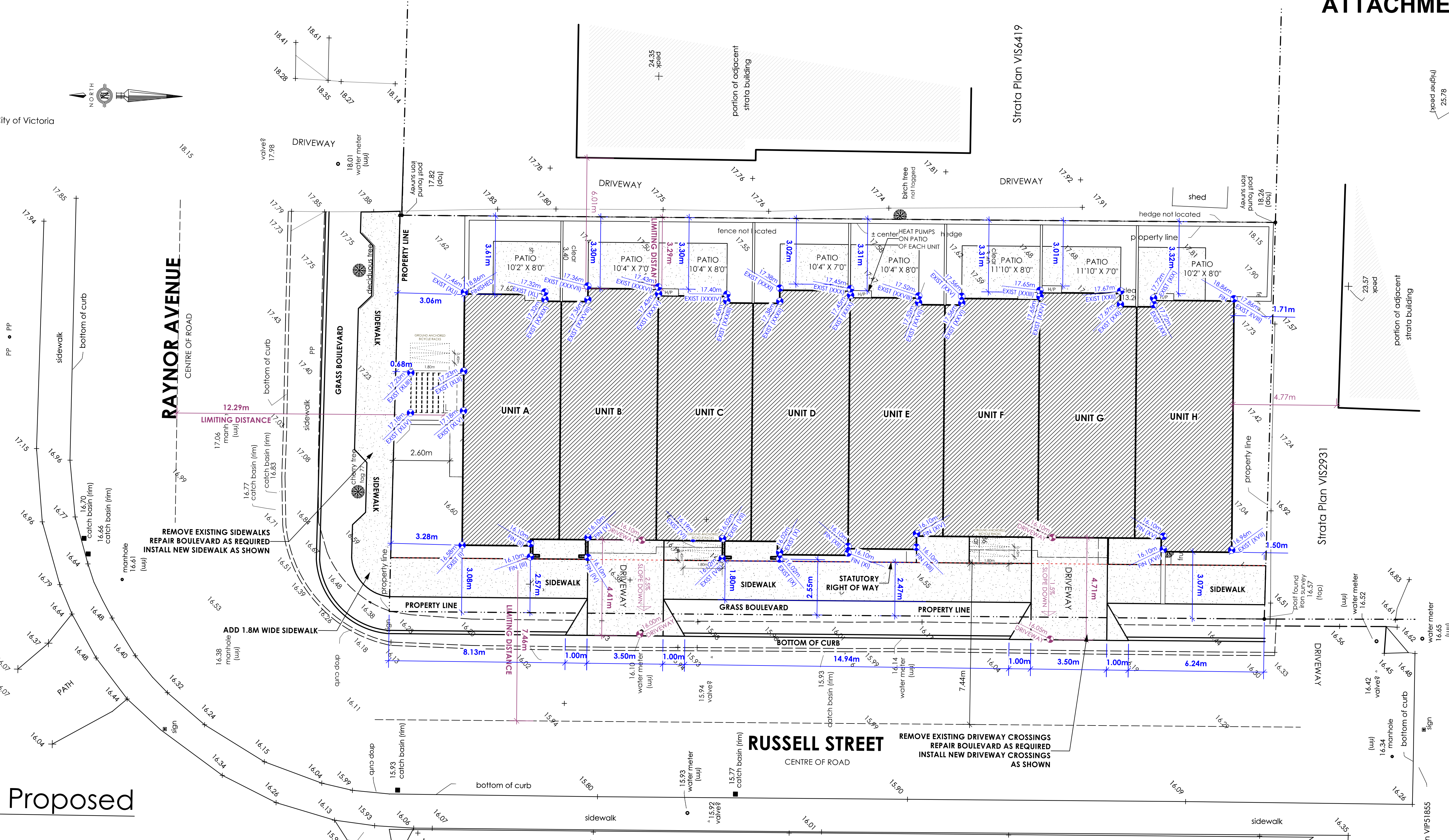
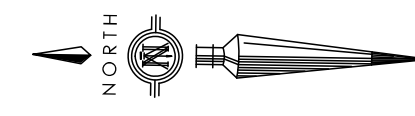
- Denotes spot elevation + 0.00
- Denotes tree, tag no. & species tag 000 tree
- (trees not plotted to scale)
- (not all trees indicated)
- Buildings are measured to the exterior of exterior walls unless indicated otherwise
- Fence, retaining walls & hedge locations are approximate only
- Elevations are derived from a Geodetic datum

Setbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

SURVEY INFORMATION PROVIDED BY

Glen Mitchell
Land Surveying Inc.
1030 North Park Street
Victoria, BC V8T 1C6
(250) 385-1712



1 Site Plan - Proposed
A2 Scale: 1:100

PROJECT INFORMATION TABLE	
Zone (existing)	R-2
Proposed zone	RT
Site area (m ²)	735.56 sq.m. *
Total floor area (m ²)	906.54 m. *
Commercial floor area (m ²)	0.00 m.
Floor space ratio	1.23:1.0 *
Site coverage (%)	53.27%
Open site space (%)	40.18%
Height of building (m)	9.86m
Number of storeys	3
Parking stalls (number) on site	8
Bicycle parking number (Class 1)	6
Bicycle parking number (Class 2)	12
BUILDING SETBACKS (m)	
Front yard	0.68 m *
Rear yard	1.50 m *
Side yard (East)	3.01 m *
Side yard (West)	2.57 m
Combined side yards (East + West)	5.58 m
RESIDENTIAL USE DETAILS	
Total number of units	8 *
Unit type, e.g., 1 Bedroom	2 Bedroom & 3 Bedroom
Ground-orientated units	0
Minimum unit floor area (m ²)	N/A
First storey area (m ²)	114.47 sq.m.
Second storey area (m ²)	395.83 sq.m.
Third storey area (m ²)	396.24 sq.m.
Total building floor area (excl. req. parking)	906.54 sq.m.

AVERAGE GRADE CALCULATIONS			
I TO II:	16.58 + 16.10 / 2 = 16.34	x 3.15	= 51.47
II TO III:	16.10 + 16.10 / 2 = 16.10	x 0.61	= 9.82
III TO IV:	16.10 + 16.10 / 2 = 16.10	x 2.64	= 42.50
IV TO V:	16.10 + 16.10 / 2 = 16.10	x 0.92	= 14.81
V TO VI:	16.10 + 16.19 / 2 = 16.15	x 4.84	= 78.14
VI TO VII:	16.19 + 16.02 / 2 = 16.11	x 1.36	= 21.90
VII TO VIII:	16.02 + 16.02 / 2 = 16.02	x 0.91	= 14.58
VIII TO IX:	16.02 + 16.02 / 2 = 16.02	x 2.64	= 42.29
IX TO X:	16.02 + 16.02 / 2 = 16.02	x 0.31	= 4.97
X TO XI:	16.02 + 16.10 / 2 = 16.06	x 3.16	= 50.75
XI TO XII:	16.10 + 16.10 / 2 = 16.10	x 0.30	= 4.83
XII TO XIII:	16.10 + 16.10 / 2 = 16.10	x 3.16	= 50.88
XIII TO XIV:	16.10 + 16.10 / 2 = 16.10	x 0.61	= 9.82
XIV TO XV:	16.10 + 16.10 / 2 = 16.10	x 11.37	= 183.06
XV TO XVI:	16.10 + 16.10 / 2 = 16.10	x 0.61	= 9.82
XVI TO XVII:	16.10 + 16.96 / 2 = 16.53	x 3.27	= 54.05
XVII TO XVIII:	16.96 + 17.86 / 2 = 17.41	x 11.58	= 201.61
XVIII TO XIX:	17.86 + 17.72 / 2 = 17.79	x 3.70	= 65.82
XIX TO XX:	17.72 + 17.72 / 2 = 17.72	x 0.30	= 5.32
XX TO XXI:	17.72 + 17.67 / 2 = 17.70	x 1.53	= 27.07
XXI TO XXII:	17.67 + 17.67 / 2 = 17.67	x 0.61	= 10.78
XXII TO XXIII:	17.67 + 17.65 / 2 = 17.66	x 3.72	= 65.70
XXIII TO XXIV:	17.65 + 17.65 / 2 = 17.65	x 0.31	= 5.47
XXIV TO XXV:	17.65 + 17.56 / 2 = 17.61	x 3.60	= 63.38
XXV TO XXVI:	17.56 + 17.56 / 2 = 17.56	x 0.31	= 5.44
XXVI TO XXVII:	17.56 + 17.52 / 2 = 17.54	x 1.98	= 34.73
XXVII TO XXVIII:	17.52 + 17.52 / 2 = 17.52	x 0.31	= 5.43
XXVIII TO XXIX:	17.52 + 17.45 / 2 = 17.49	x 3.16	= 55.25
XXIX TO XXX:	17.45 + 17.45 / 2 = 17.45	x 0.30	= 5.24
XXX TO XXXI:	17.45 + 17.38 / 2 = 17.42	x 3.25	= 56.60
XXXI TO XXXII:	17.38 + 17.38 / 2 = 17.38	x 0.61	= 10.60
XXXII TO XXXIII:	17.38 + 17.40 / 2 = 17.39	x 2.44	= 42.43
XXXIII TO XXXIV:	17.40 + 17.40 / 2 = 17.40	x 0.30	= 5.22
XXXIV TO XXXV:	17.40 + 17.43 / 2 = 17.42	x 3.15	= 54.86
XXXV TO XXXVI:	17.43 + 17.43 / 2 = 17.43	x 0.31	= 5.40
XXXVI TO XXXVII:	17.43 + 17.36 / 2 = 17.40	x 3.25	= 56.53
XXXVII TO XXXVIII:	17.36 + 17.36 / 2 = 17.36	x 0.61	= 10.59
XXXVIII TO XXXIX:	17.36 + 17.32 / 2 = 17.34	x 1.98	= 34.33
XXXIX TO XL:	17.32 + 17.32 / 2 = 17.32	x 0.30	= 5.20
XL TO XLI:	17.32 + 17.46 / 2 = 17.39	x 3.71	= 64.52
XLI TO XLII:	17.46 + 17.23 / 2 = 17.35	x 3.66	= 63.48
XLII TO XLIII:	17.23 + 17.23 / 2 = 17.23	x 2.44	= 42.04
XLIII TO XLIV:	17.23 + 17.18 / 2 = 17.21	x 1.83	= 31.49
XLIV TO XLV:	17.18 + 17.18 / 2 = 17.18	x 2.45	= 42.09
XLV TO I:	17.18 + 16.58 / 2 = 16.88	x 6.09	= 102.80
TOTAL		107.65	1,823.11

Average Grade: 1823.11/107.65 = 16.94m

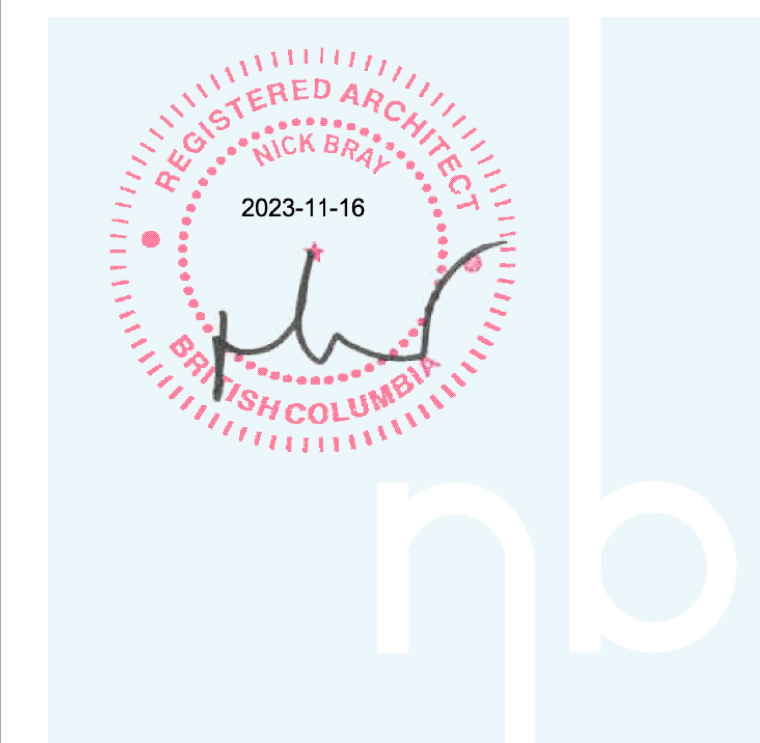
Revisions
Received Date:
December 1, 2023

vdg | victoria design group
103 - 891 Attree Avenue Victoria, BC V9B 0A6
P. 250.382.7374 F. 250.382.7364 www.victoriadesigngroup.ca

DATE	Nov 9 2023	DWG#	8521
DRAWN BY	MIS	REVIEWED BY	OW

Proposed Townhomes
1035 Russell Street
Victoria, BC

SHEET # **A102**



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Proposed Townhomes
1035 Russell Street
Victoria, BC

SHEET # **A103**



1
A103 **Russell Street - Proposed Streetscape**
Scale: 3/16" = 1'-0"

*CONCEPTUAL RENDERING
DESIGN SUBJECT TO CHANGE

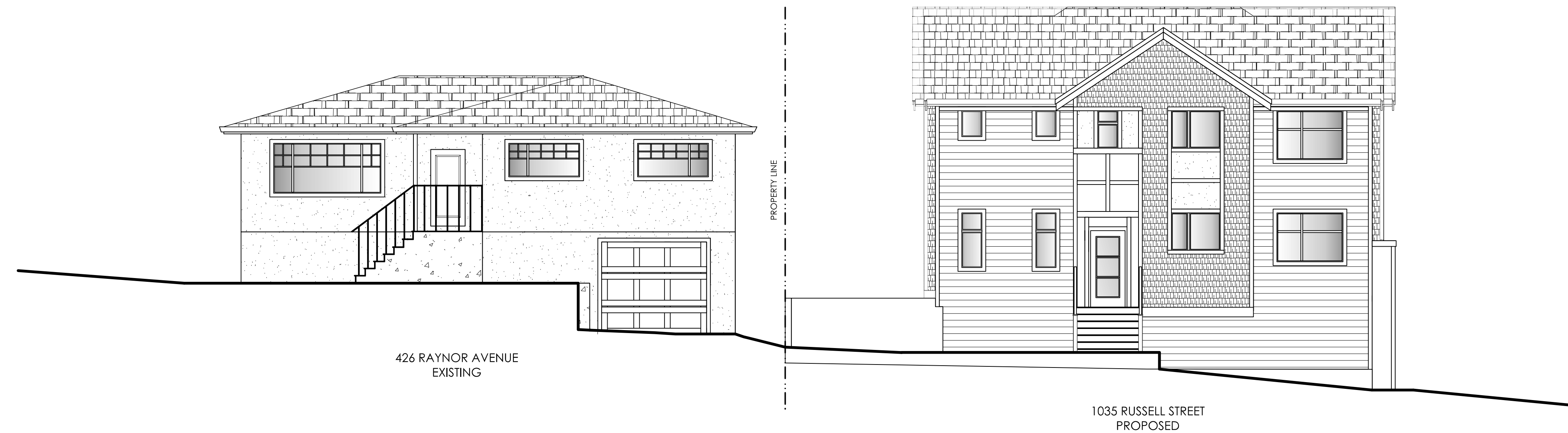


2
A103 **Russell Street - Existing Streetscape**
Scale: Not To Scale

3
A103 **Context Plan**
Scale: Not To Scale
MAP IMAGE FOR CONTEXT
TAKEN FROM GOOGLE MAPS

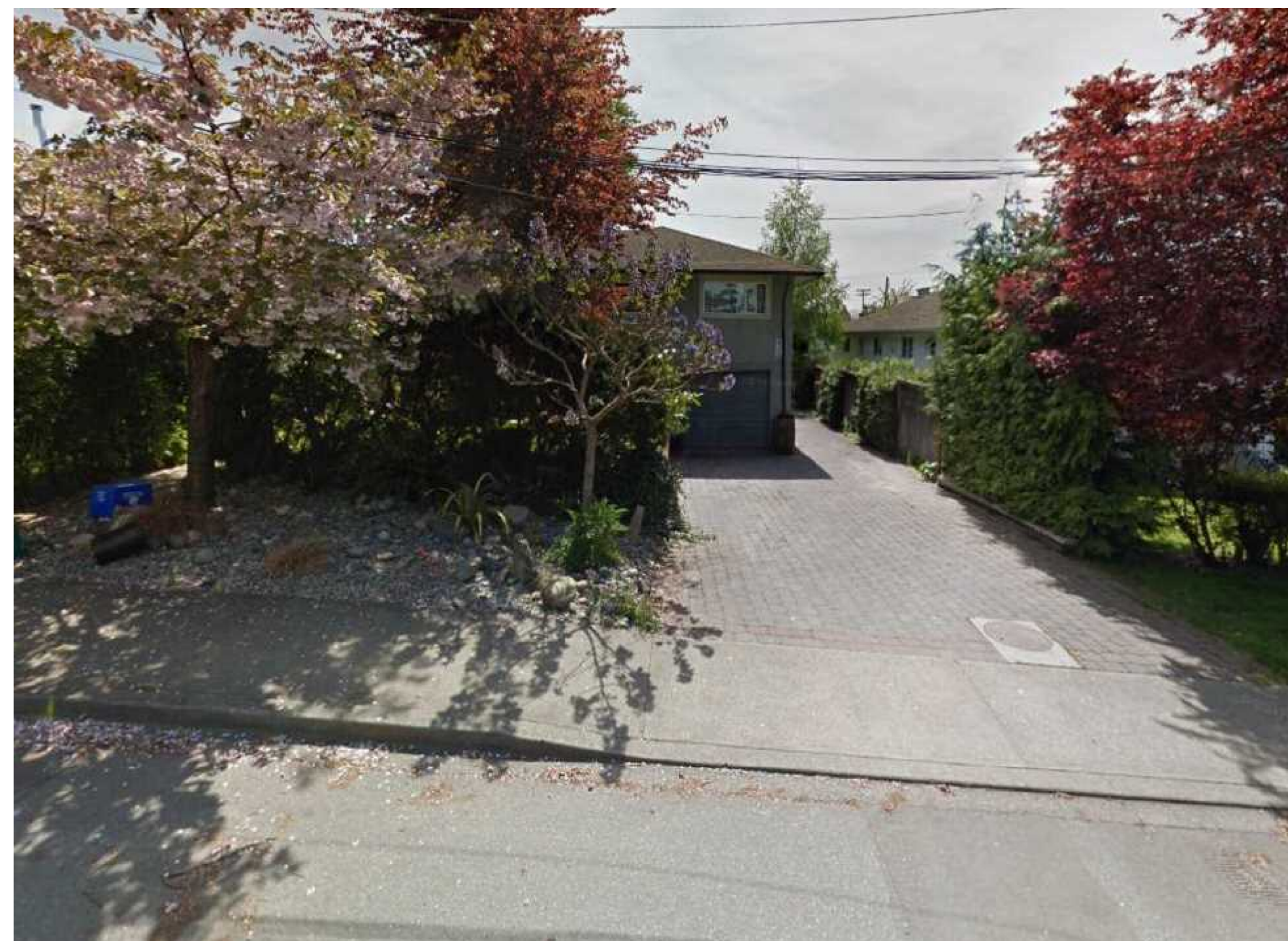


SUBJECT PROPERTY

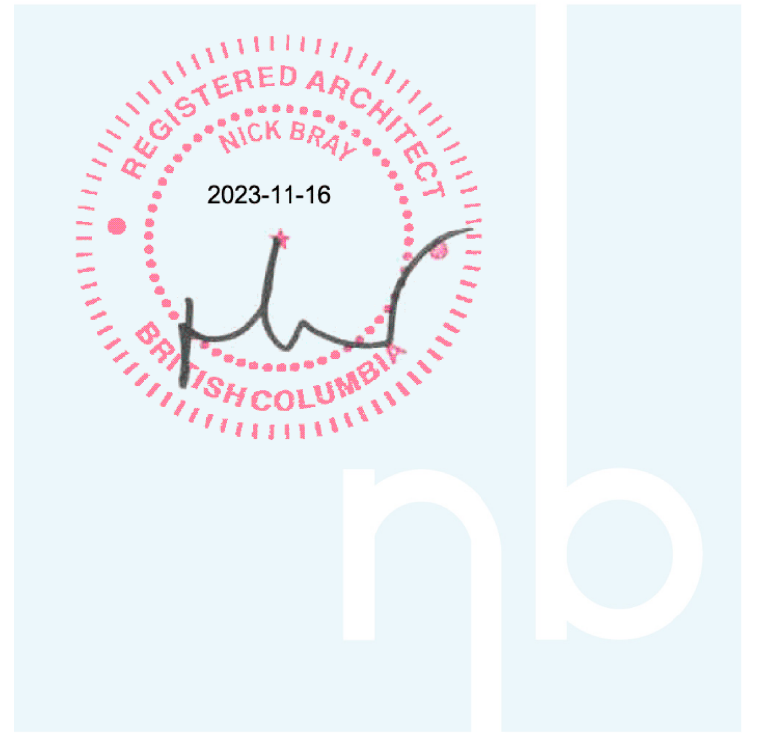


1
A103 **Raynor Avenue - Proposed Streetscape**
Scale: 3/16" = 1'-0"

*CONCEPTUAL RENDERING
DESIGN SUBJECT TO CHANGE



2
A104 **Raynor Avenue - Existing Streetscape**
Scale: Not To Scale



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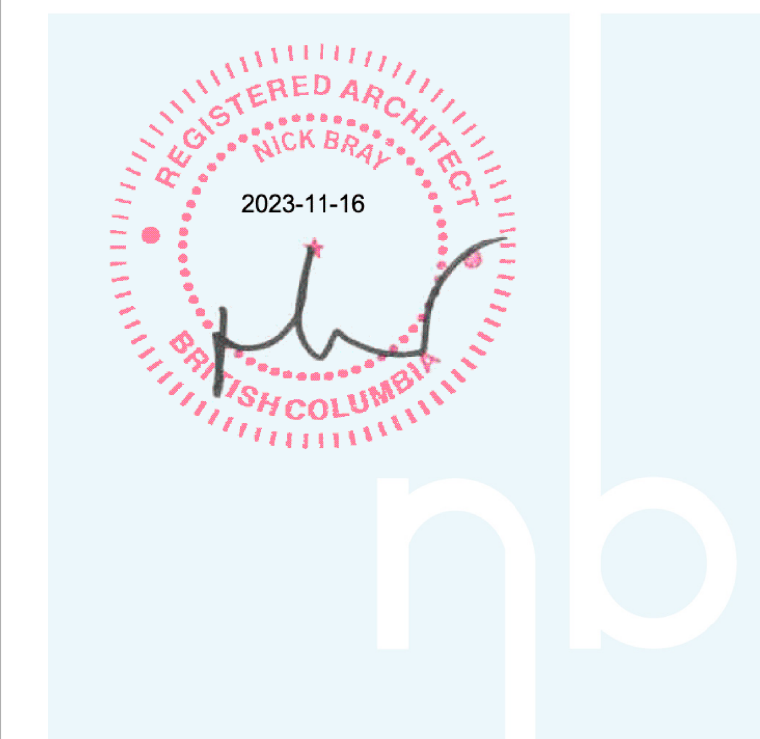


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DATE	DRWG #
Nov 9 2023	8521
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1035 Russell Street
Victoria, BC

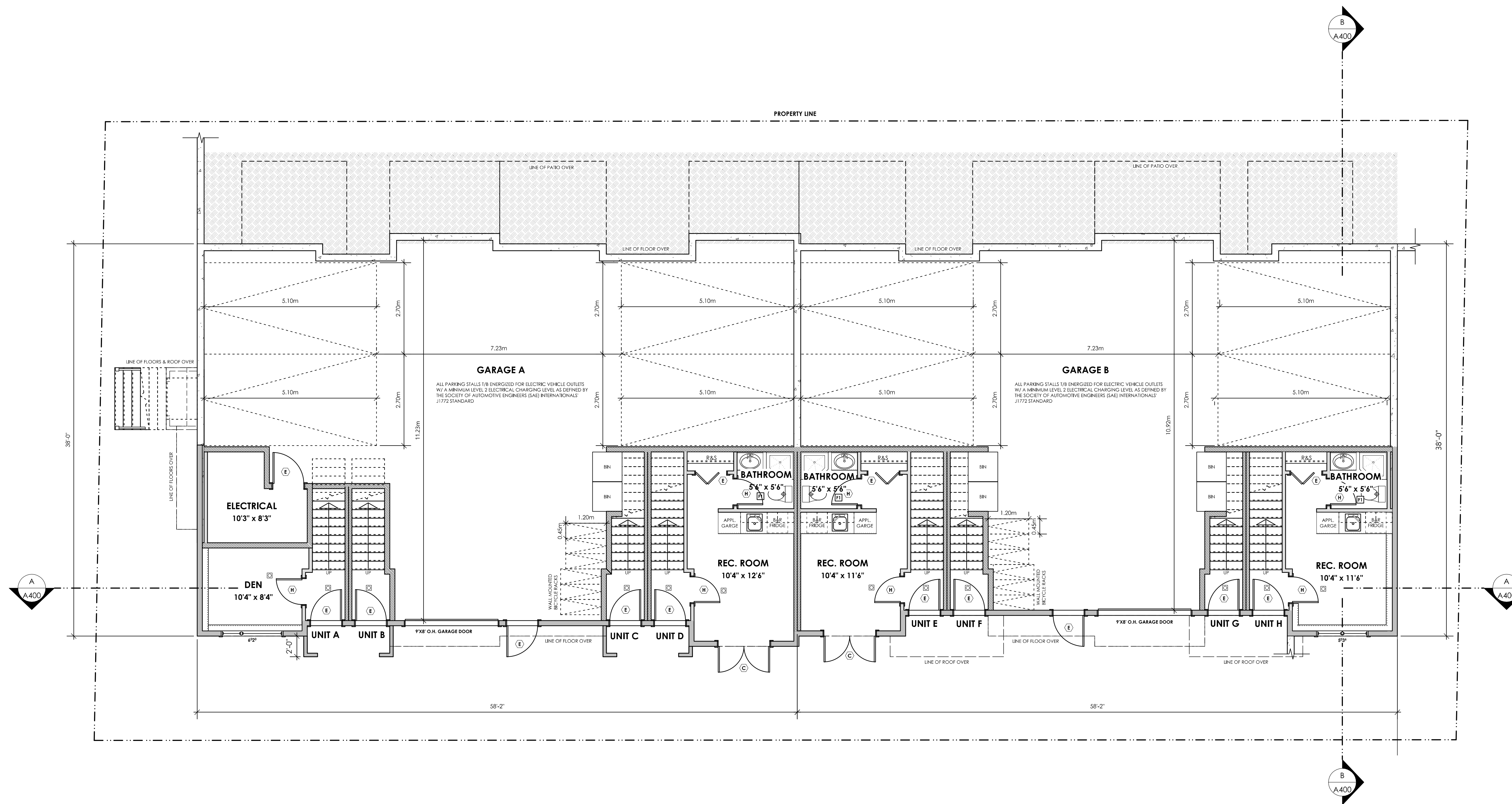
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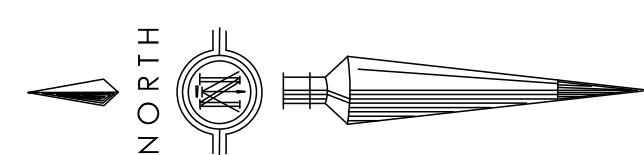


1 First Storey Plan
A200 Scale: 3/16" = 1'-0"

UNIT A:	137.95 ft ²	(12.82 m ²)
UNIT B:	55.64 ft ²	(5.17 m ²)
UNIT C:	69.50 ft ²	(6.46 m ²)
UNIT D:	262.54 ft ²	(24.39 m ²)
UNIT E:	248.37 ft ²	(23.07 m ²)
UNIT F:	65.00 ft ²	(6.04 m ²)
UNIT G:	65.33 ft ²	(6.07 m ²)
UNIT H:	243.64 ft ²	(22.64 m ²)
ELECT:	84.06 ft ²	(7.81 m ²)
TOTAL:	1232.03 ft ²	(114.47 m ²)

DOOR SCHEDULE	
(A)	80 X 68 (94" X 80")
(B)	40 X 68 (72" X 80")
(C)	50 X 68 (60" X 80")
(D)	40 X 68 (48" X 80")
(E)	30 X 68 (36" X 80")
(F)	210 X 68 (34" X 80")
(G)	28 X 68 (32" X 80")
(H)	26 X 68 (30" X 80")
(J)	24 X 68 (28" X 80")
(K)	20 X 68 (24" X 80")
(L)	16 X 68 (18" X 80")

GARAGE A:	1484.23 ft ²	(137.89 m ²)
GARAGE B:	1418.81 ft ²	(131.82 m ²)
TOTAL:	2903.04 ft ²	(269.41 m ²)



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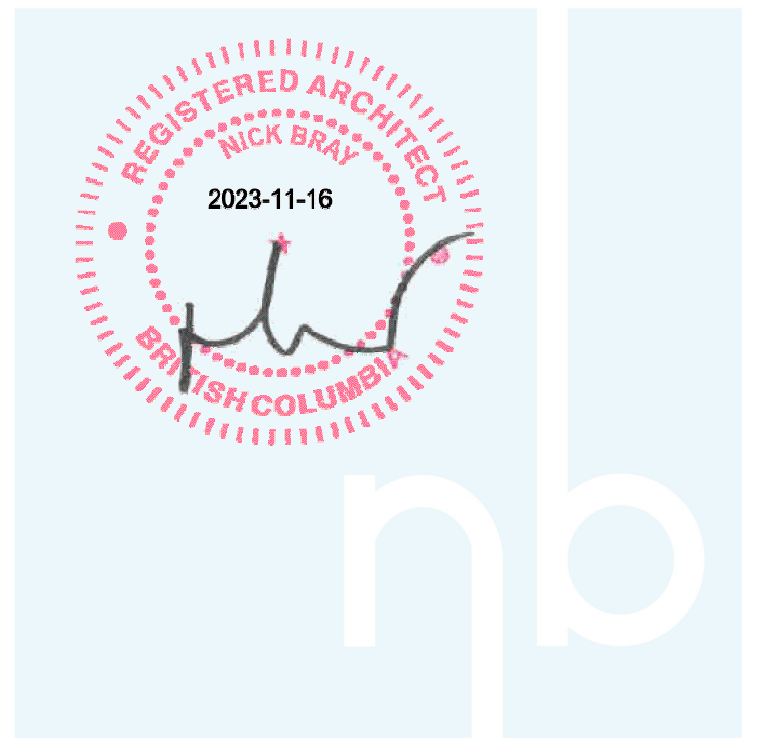
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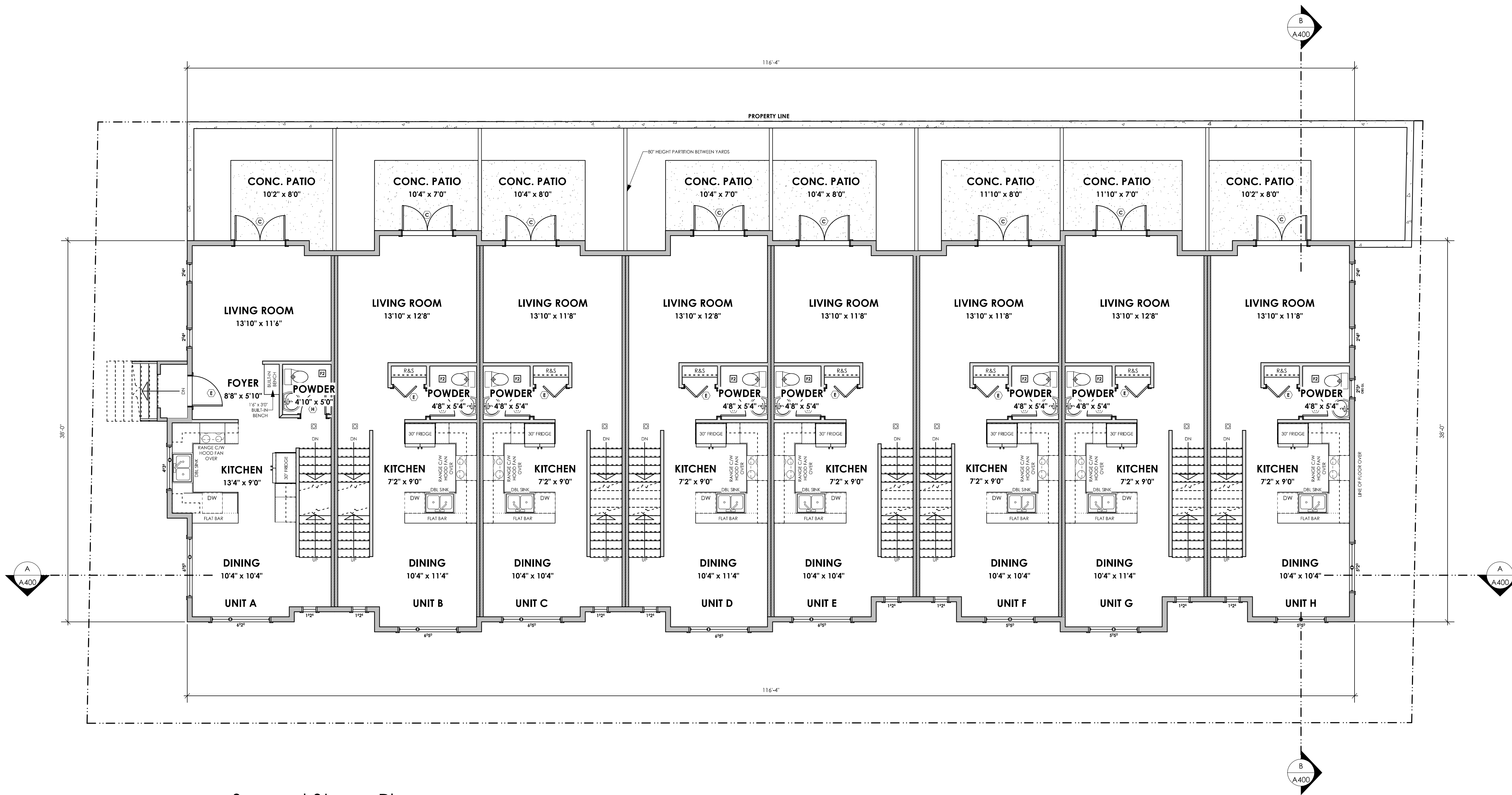
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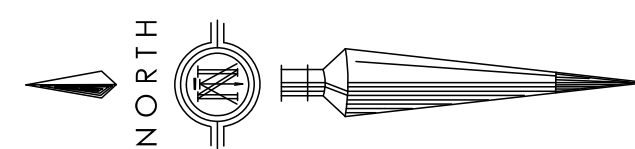
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1 Second Storey Plan
Scale: 3/16" = 1'-0"

UNIT A:	534.64 ff ²	(49.67 m ²)	DOOR SCHEDULE	F	2'10" X 6'8" (34" X 80")	
UNIT B:	546.83 ff ²	(50.80 m ²)	A	6'0" X 6'8" (96" X 80")	G	2'8" X 6'8" (32" X 80")
UNIT C:	527.50 ff ²	(49.00 m ²)	B	6'0" X 6'8" (72" X 80")	H	2'6" X 6'8" (30" X 80")
UNIT D:	546.85 ff ²	(50.80 m ²)	C	5'0" X 6'8" (60" X 80")	J	2'4" X 6'8" (28" X 80")
UNIT E:	523.00 ff ²	(48.59 m ²)	D	4'0" X 6'8" (48" X 80")	K	2'0" X 6'8" (24" X 80")
UNIT F:	524.50 ff ²	(48.73 m ²)	E	3'0" X 6'8" (36" X 80")	L	1'6" X 6'8" (18" X 80")
UNIT G:	545.33 ff ²	(50.66 m ²)				
UNIT H:	512.17 ff ²	(47.58 m ²)				
TOTAL:	4257.51 ff²	(395.83 m²)				



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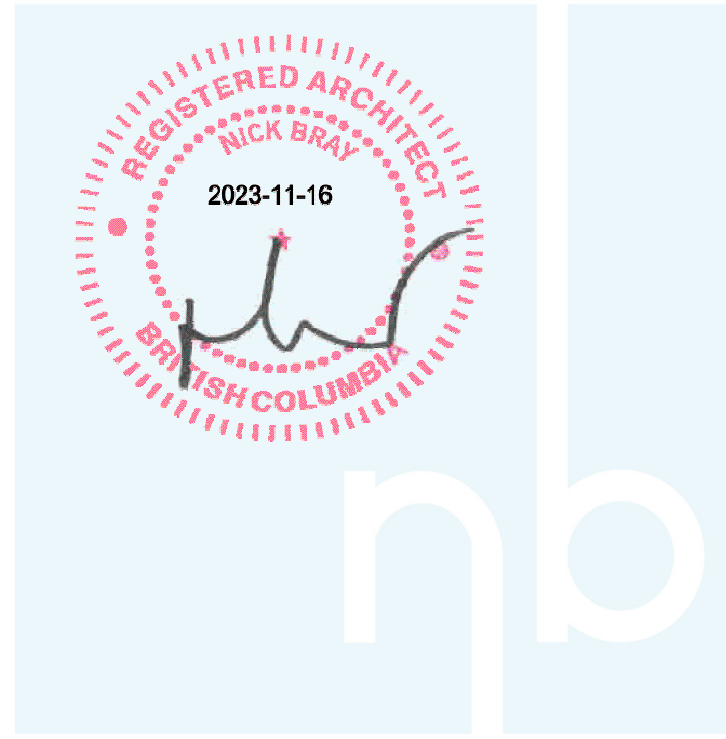


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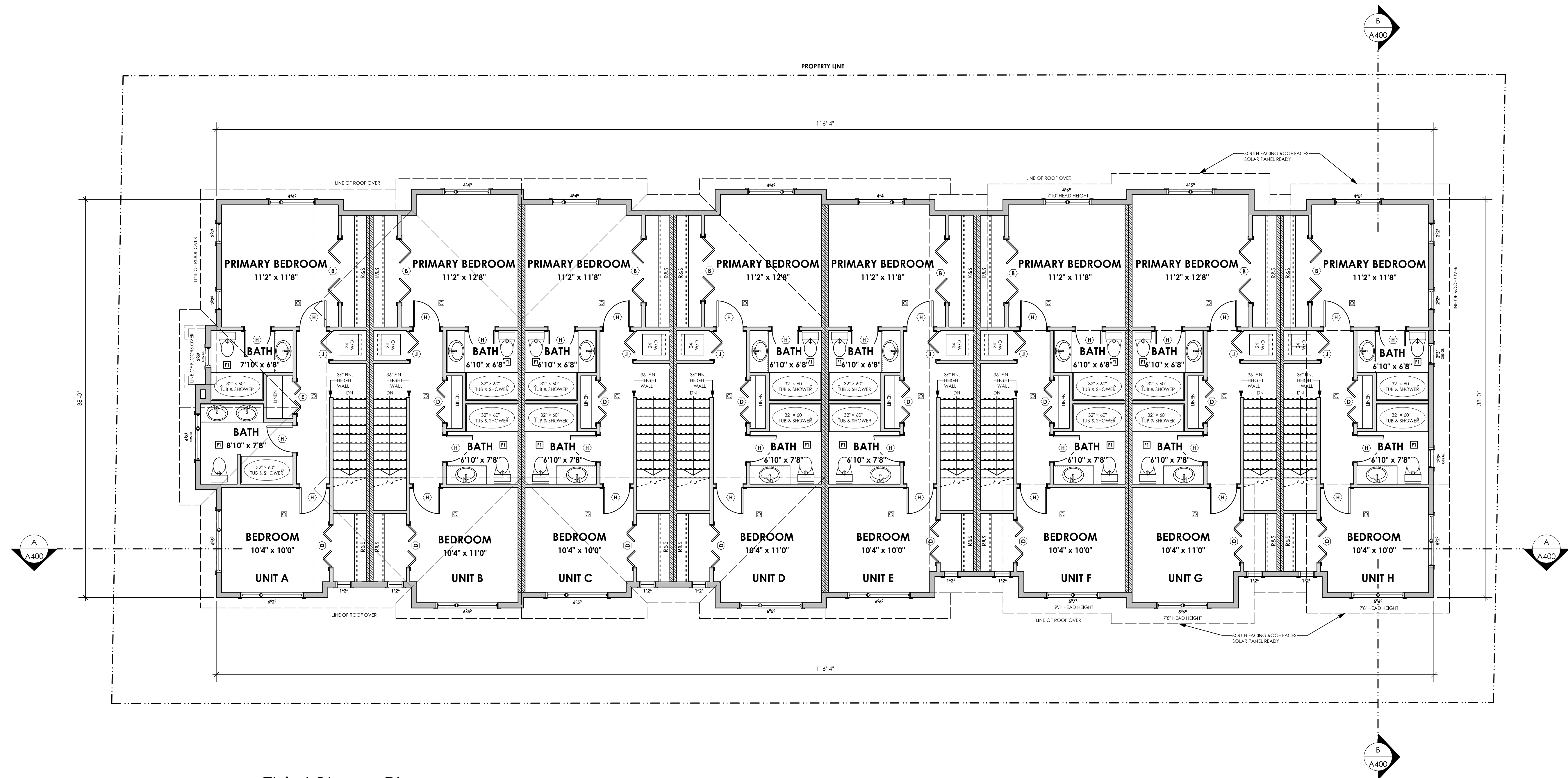
SHEET #
A201



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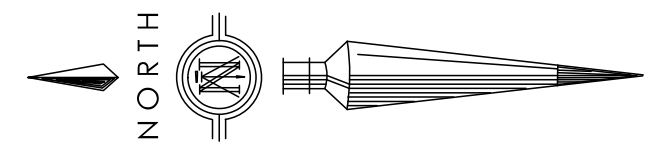
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1 Third Storey Plan
A202 Scale: 3/16" = 1'-0"

UNIT A:	539.00 HF [50.07 m ²]	DOOR SCHEDULE	(T)	2'10" X 6'8" (34" X 80")	
UNIT B:	546.83 HF [50.80 m ²]	(A)	8'0" X 6'8" (96" X 80")	(G)	2'8" X 6'8" (32" X 80")
UNIT C:	527.50 HF [49.00 m ²]	(B)	6'0" X 6'8" (72" X 80")	(H)	2'6" X 6'8" (30" X 80")
UNIT D:	546.83 HF [50.80 m ²]	(C)	5'0" X 6'8" (60" X 80")	(J)	2'4" X 6'8" (28" X 80")
UNIT E:	523.00 HF [48.59 m ²]	(D)	4'0" X 6'8" (48" X 80")	(K)	2'0" X 6'8" (24" X 80")
UNIT F:	524.50 HF [48.73 m ²]	(E)	3'0" X 6'8" (36" X 80")	(L)	1'6" X 6'8" (18" X 80")
UNIT G:	545.33 HF [50.66 m ²]				
UNIT H:	512.17 HF [47.88 m ²]				
TOTAL:	4265.22 HF [396.24 m ²]				



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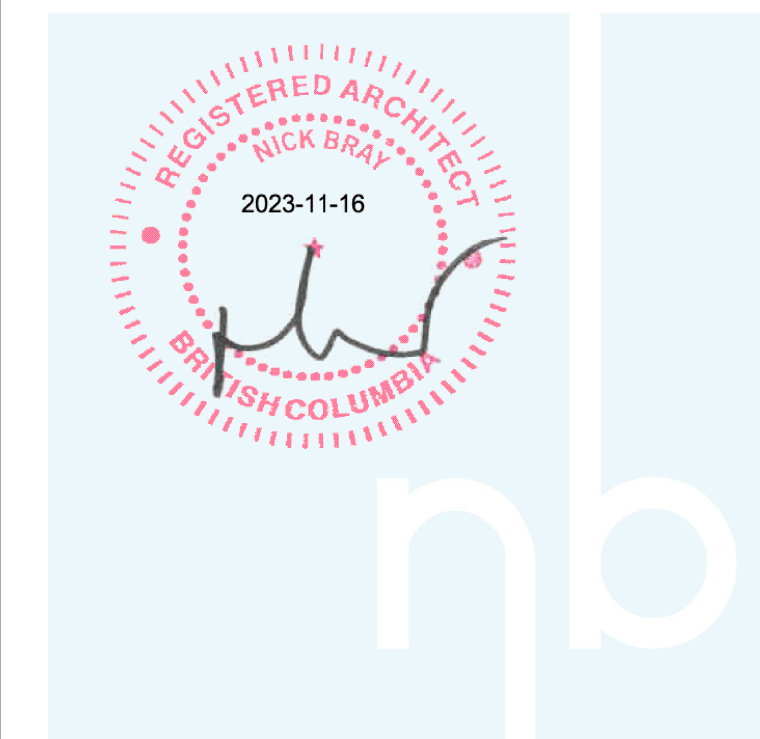
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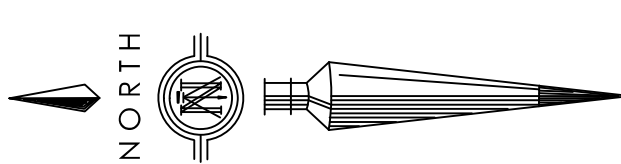
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1 West (Right) Elevation
Scale: 3/16" = 1'-0"

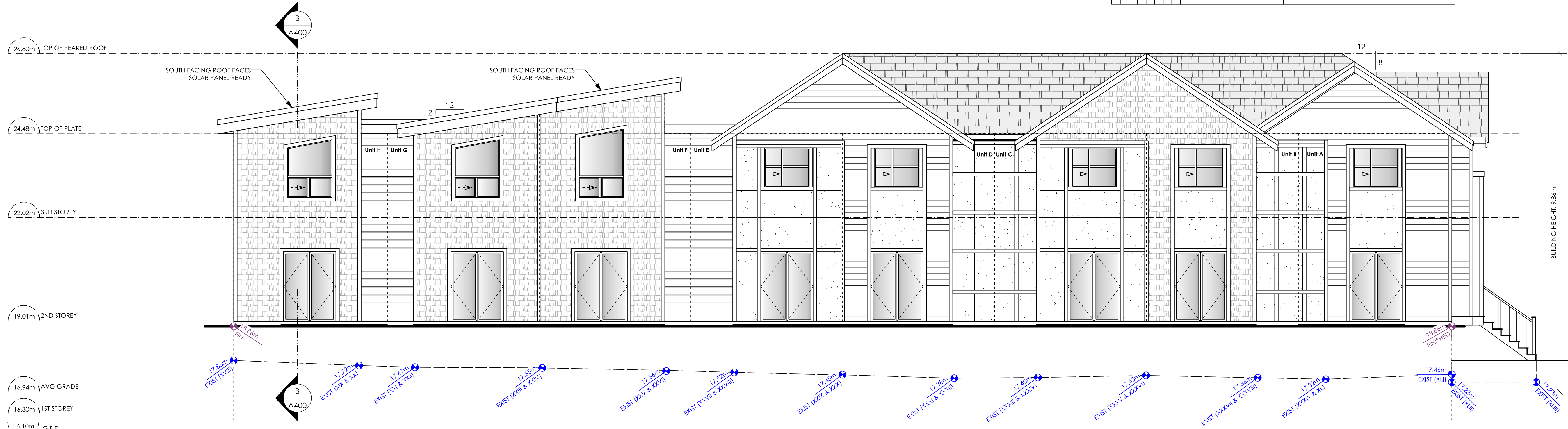
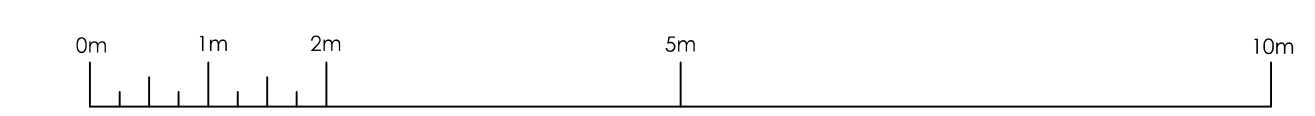


1	LAMINATED ASPHALT SHINGLES	7	FIBRE CEMENT 7" LAP SIDING (JAMESHARDIE OR EQ.)	13	CORRUGATED METAL SIDING
2	PRE-FAB. ALUMINIUM GUTTER	8	1X6 TRIM	14	FINISHED GRADE
3	METAL FLASHING ON 2X6 TRIM ON 2X12 FASCIA	9	FIBRE CEMENT PANEL (JAMESHARDIE OR EQ.)	15	EXISTING GRADE
4	SOFFIT	10	FIBRE CEMENT SHINGLE SIDING (JAMESHARDIE OR EQ.)		
5	2X6 TRIM ON 2X10 BARGE BOARD	11	FIBRE CEMENT 10 3/4" LAP SIDING (JAMESHARDIE OR EQ.)		
6	1X4 TRIM	12	BRUSHED METAL SIDING		

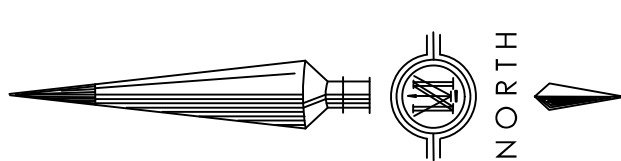
Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	FRR	Type of Construction ¹	Type of Cladding ¹
West (Right)							
Unit A	39.33 sq.m.	2.57 m.	100.00 %	14.98 %	45 min.	A/B	A/B
Unit B	36.16 sq.m.	2.57 m.	100.00 %	22.51 %	45 min.	A/B	A/B
Unit C	36.16 sq.m.	2.57 m.	100.00 %	27.65 %	45 min.	A/B	A/B
Unit D	36.16 sq.m.	2.57 m.	100.00 %	30.22 %	45 min.	A/B	A/B
Unit E	36.16 sq.m.	2.57 m.	100.00 %	30.22 %	45 min.	A/B	A/B
Unit F	38.72 sq.m.	2.57 m.	100.00 %	25.80 %	45 min.	A/B	A/B
Unit G	38.97 sq.m.	2.57 m.	100.00 %	20.94 %	45 min.	A/B	A/B
Unit H	36.77 sq.m.	2.57 m.	100.00 %	27.17 %	45 min.	A/B	A/B

¹ Type of Construction Used:
A = Combustible
B = Non Combustible

*TABLE COMPLIES WITH BCBC 9.10.14.4.(1)(a), 9.10.14.4.(7), and Table 9.10.14.5-A



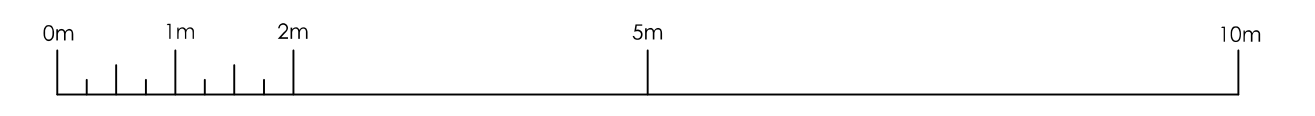
2 East (Left) Elevation
Scale: 3/16" = 1'-0"



Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	FRR	Type of Construction ¹	Type of Cladding ¹
East (Left)							
Unit A	27.76 sq.m.	3.29 m.	25.50 %	12.90 %	45 min.	A/B	B
Unit B	24.18 sq.m.	3.29 m.	25.50 %	14.81 %	45 min.	A/B	B
Unit C	24.18 sq.m.	3.29 m.	25.50 %	14.81 %	45 min.	A/B	B
Unit D	24.18 sq.m.	3.29 m.	25.50 %	14.81 %	5 min. hour	A/B	B
Unit E	24.18 sq.m.	3.29 m.	25.50 %	14.81 %	45 min.	A/B	B
Unit F	27.34 sq.m.	3.29 m.	25.50 %	15.91 %	45 min.	A/B	B
Unit G	25.07 sq.m.	3.29 m.	25.50 %	15.80 %	45 min.	A/B	B
Unit H	25.88 sq.m.	3.29 m.	25.50 %	15.30 %	45 min.	A/B	B

¹ Type of Construction Used:
A = Combustible
B = Non Combustible

*TABLE COMPLIES WITH BCBC 9.10.14.4.(1)(a), 9.10.14.4.(7), and Table 9.10.14.5-A



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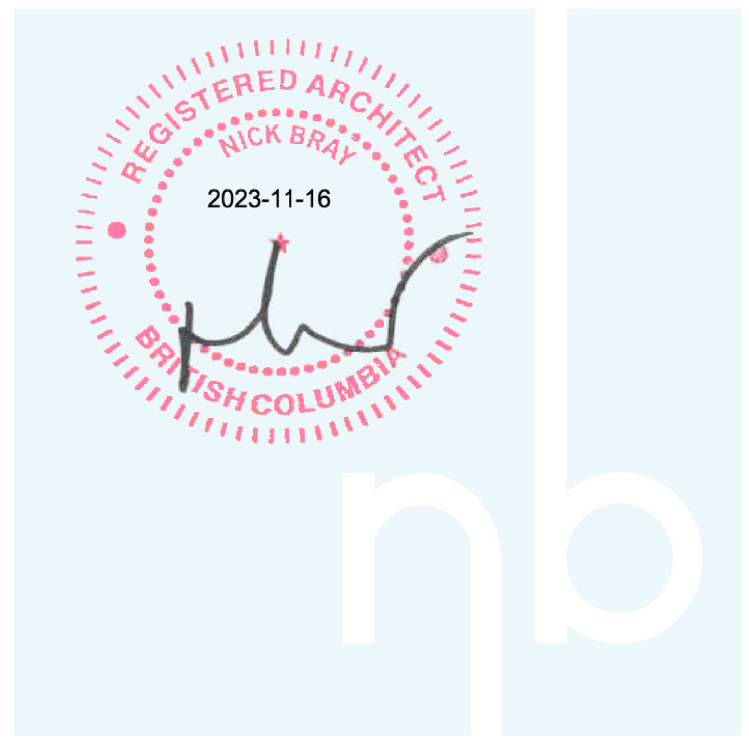
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Victoria, BC

SHEET # **A300**

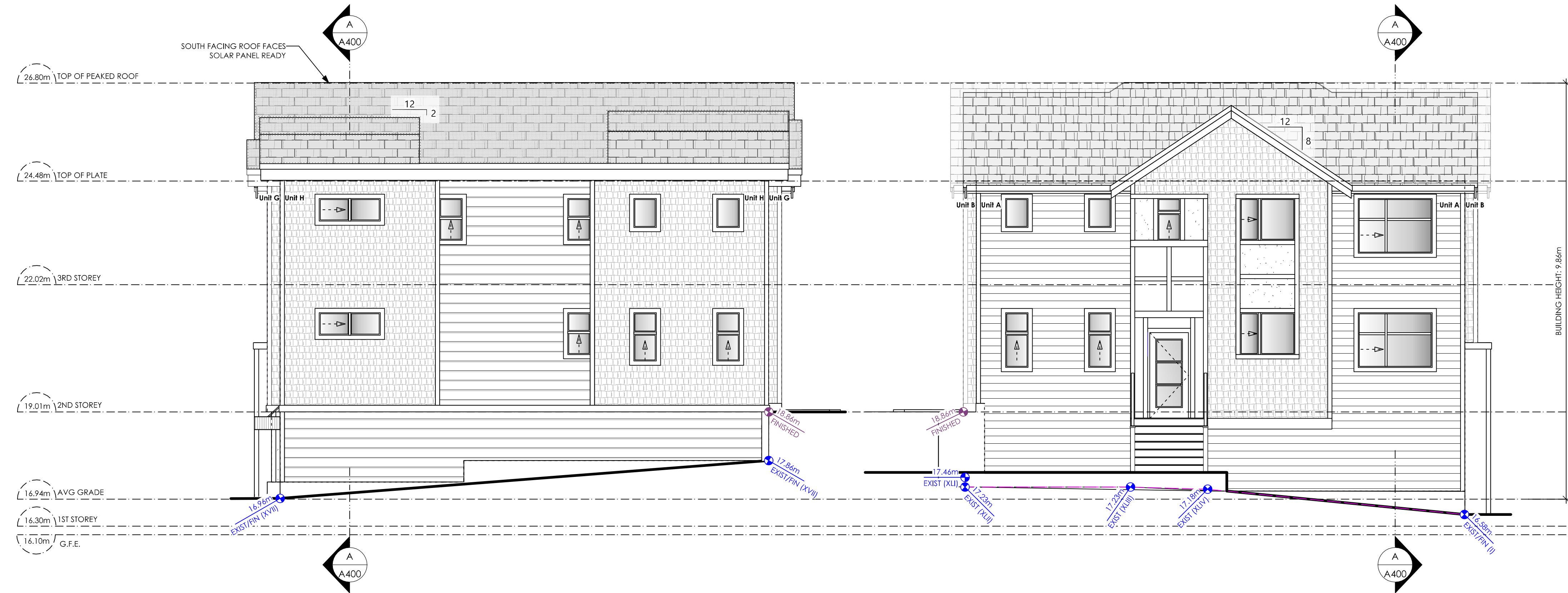


NOT FOR CONSTRUCTION

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NO	DATE	DESCRIPTION
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1	LAMINATED ASPHALT SHINGLES
2	PRE-FAB. ALUMINUM GUTTER
3	METAL FLASHING ON 2X6 TRIM ON 2X12 FASCIA
4	SOFFIT
5	2X6 TRIM ON 2X10 BARGE BOARD
6	1X4 TRIM
7	FIBRE CEMENT 7" LAP SIDING (JAMESHARDIE OR EQ.)
8	1X6 TRIM
9	FIBRE CEMENT PANEL (JAMESHARDIE OR EQ.)
10	FIBRE CEMENT SHINGLE SIDING (JAMESHARDIE OR EQ.)
11	FIBRE CEMENT 10 3/4" LAP SIDING (JAMESHARDIE OR EQ.)
12	BRUSHED METAL SIDING
13	CORRUGATED METAL SIDING
14	FINISHED GRADE
15	EXISTING GRADE



1 South (Rear) Elevation
A301 Scale: 3/16" = 1'-0"

2 North (Front) Elevation
A301 Scale: 3/16" = 1'-0"

Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	FRR	Type of Construction	Type of Cladding
South (Rear)							
Unit H	78.96 sq.m.	1.50 m.	8.00 %	8.00 %	1 hr.	B	B
Unit G	3.78 sq.m.	1.50 m.	8.00 %	0.00 %	1 hr.	B	B
Front							
Unit A	85.20 sq.m.	12.9 m.	100.00 %	15.97 %	.45 min.	A/B	A/B
Unit B	1.80 sq.m.	12.9 m.	100.00 %	0.00 %	.45 min.	A/B	A/B

¹ Type of Construction Used: A = Combustible, B = Non Combustible. *TABLE COMPLIES WITH BCBC 9.10.14.4.(1)(a), 9.10.14.4.(7), and Table 9.10.14.5-A



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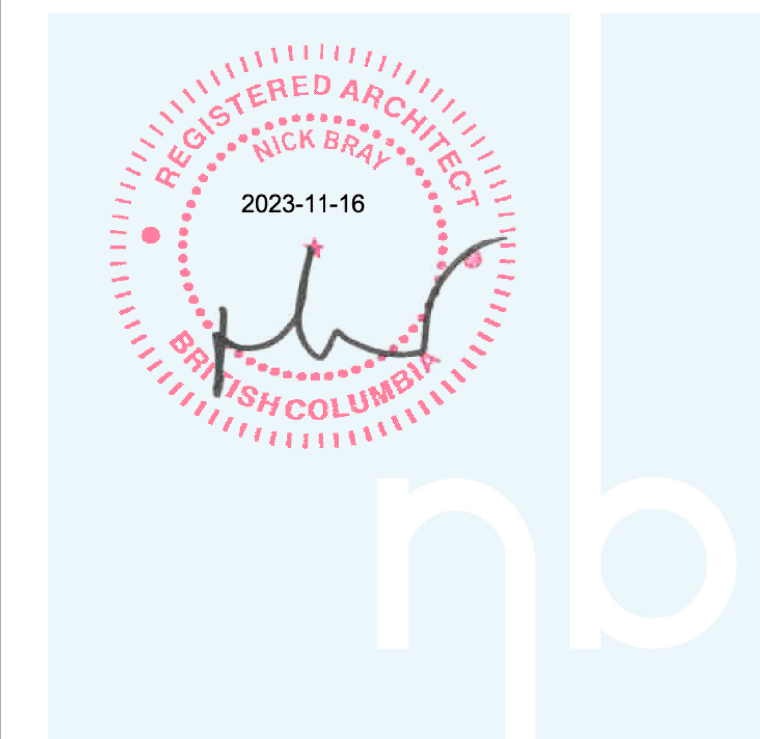


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Victoria, BC

SHEET # **A301**



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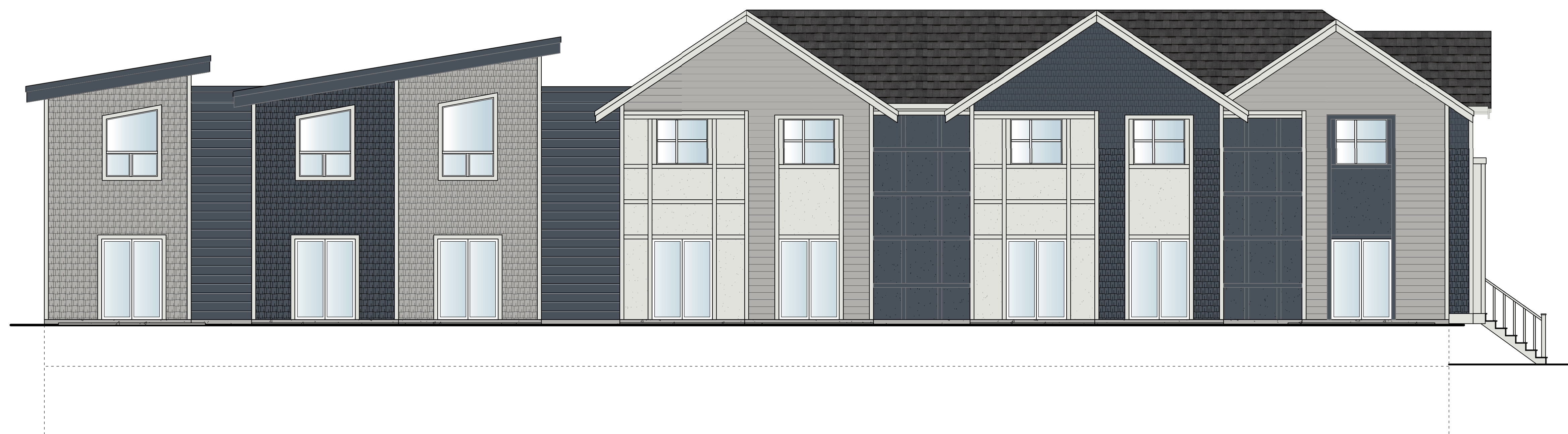
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1
A302 **West (Right) Elevation**
Scale: 3/16" = 1'-0"

ROOF	BLACK SHINGLE
SOFFIT	HARDIE SOFFIT PANELS VENTED CEDARMILL - ARCTIC WHITE
DOWNSPOUTS	GENTEK - ICE WHITE 429
GUTTER	GENTEK - ICE WHITE 429
CONCRETE	GREY
TRIM	JAMESHARDIE - ARCTIC WHITE
TRIM	JAMESHARDIE - OCEAN BLUE
SHINGLE SIDING	HARDIE SHINGLE SIDING STRAIGHT EDGE - OCEAN BLUE
PANEL SIDING	HARDIE PANEL VERTICAL SIDING - ARCTIC WHITE
PANEL SIDING	HARDIE PANEL VERTICAL SIDING - OCEAN BLUE
LAP SIDING	HARDIE PLANK LAP SIDING CEDARMILL - PEARL GREY
ENTRY & GARAGE DOORS	JAMESHARDIE - OCEAN BLUE
ENTRY OVERHANG	BLACK BRUSHED METAL
ENTRY ENCLOSURE	JAMESHARDIE - ARCTIC WHITE

ROOF	BLACK SHINGLE
SOFFIT	HARDIESOFFIT PANELS VENTED CEDARMILL - OCEAN BLUE
DOWNSPOUTS	GENTEK - ICE WHITE 429
GUTTER	GENTEK - ICE WHITE 429
CONCRETE	GREY
TRIM	JAMESHARDIE - ARCTIC WHITE
TRIM	JAMESHARDIE - OCEAN BLUE
SHINGLE SIDING	HARDIESHINGLE SIDING STRAIGHT EDGE - OCEAN BLUE
SHINGLE SIDING	HARDIESHINGLE SIDING STRAIGHT EDGE - PEARL GREY
LAP SIDING	HARDIE PLANK LAP SIDING CEDARMILL - OCEAN BLUE
ENTRY & GARAGE DOORS	JAMESHARDIE - ARCTIC WHITE
ENTRY OVERHANG	CORRIGATED METAL



2
A302 **East (Left) Elevation**
Scale: 3/16" = 1'-0"

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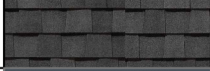

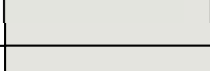
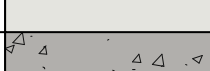
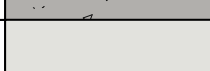



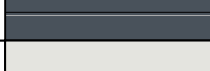





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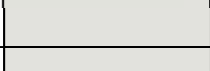
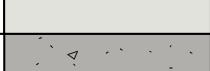
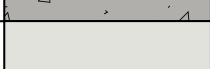



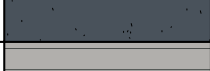
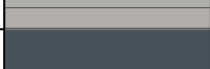




Proposed Townhomes
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SHEET # **A302**

ROOF		BLACK SHINGLE
SOFFIT		HARDIE SOFFIT PANELS VENTED CEDAR MILL - OCEAN BLUE
DOWNSPOUTS		GENTEK - ICE WHITE 429
GUTTER		GENTEK - ICE WHITE 429
CONCRETE		GREY
TRIM		JAMES HARDIE - ARCTIC WHITE
TRIM		JAMES HARDIE - OCEAN BLUE
SHINGLE SIDING		HARDIE SHINGLE SIDING STRAIGHT EDGE - OCEAN BLUE
SHINGLE SIDING		HARDIE SHINGLE SIDING STRAIGHT EDGE - PEARL GREY
LAP SIDING		HARDIE PLANK LAP SIDING CEDAR MILL - OCEAN BLUE
ENTRY & GARAGE DOORS		JAMES HARDIE - ARCTIC WHITE
ENTRY OVERHANG		CORRIGATED METAL

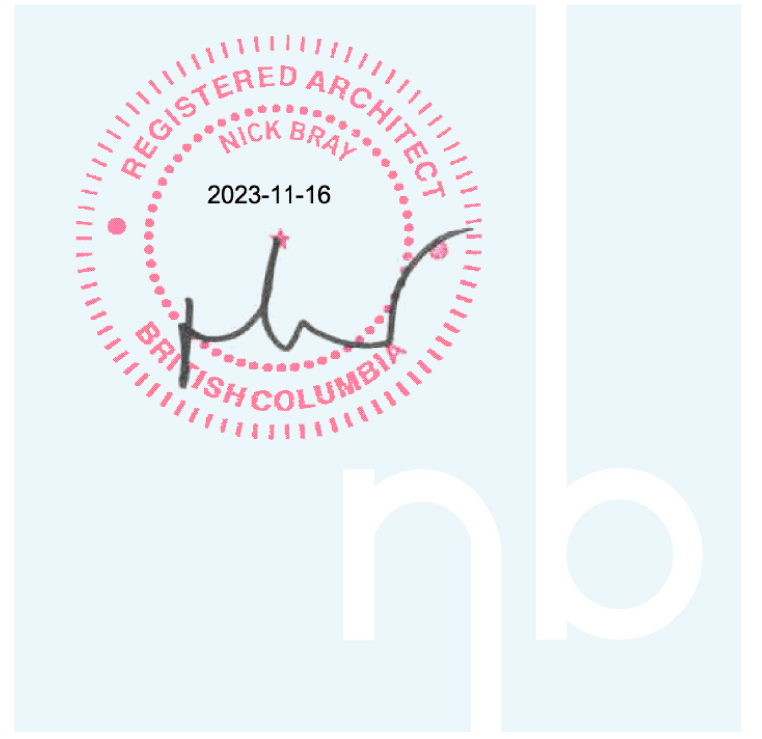


1 South (Rear) Elevation
A303 Scale: 3/16" = 1'-0"

ROOF		BLACK SHINGLE
SOFFIT		HARDIE SOFFIT PANELS VENTED CEDAR MILL - ARCTIC WHITE
DOWNSPOUTS		GENTEK - ICE WHITE 429
GUTTER		GENTEK - ICE WHITE 429
CONCRETE		GREY
TRIM		JAMES HARDIE - ARCTIC WHITE
TRIM		JAMES HARDIE - OCEAN BLUE
SHINGLE SIDING		HARDIE SHINGLE SIDING STRAIGHT EDGE - OCEAN BLUE
PANEL SIDING		HARDIE PANEL VERTICAL SIDING - ARCTIC WHITE
PANEL SIDING		HARDIE PANEL VERTICAL SIDING - OCEAN BLUE
LAP SIDING		HARDIE PLANK LAP SIDING CEDAR MILL - PEARL GREY
ENTRY & GARAGE DOORS		JAMES HARDIE - OCEAN BLUE
ENTRY OVERHANG		BLACK BRUSHED METAL
ENTRY ENCLOSURE		JAMES HARDIE - ARCTIC WHITE



2 North (Front) Elevation
A303 Scale: 3/16" = 1'-0"



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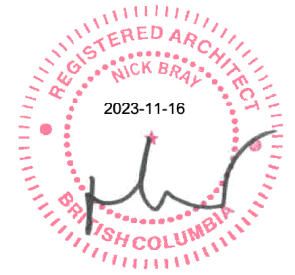


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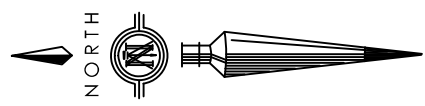
DATE	Nov 9 2023	DRWG #	8521
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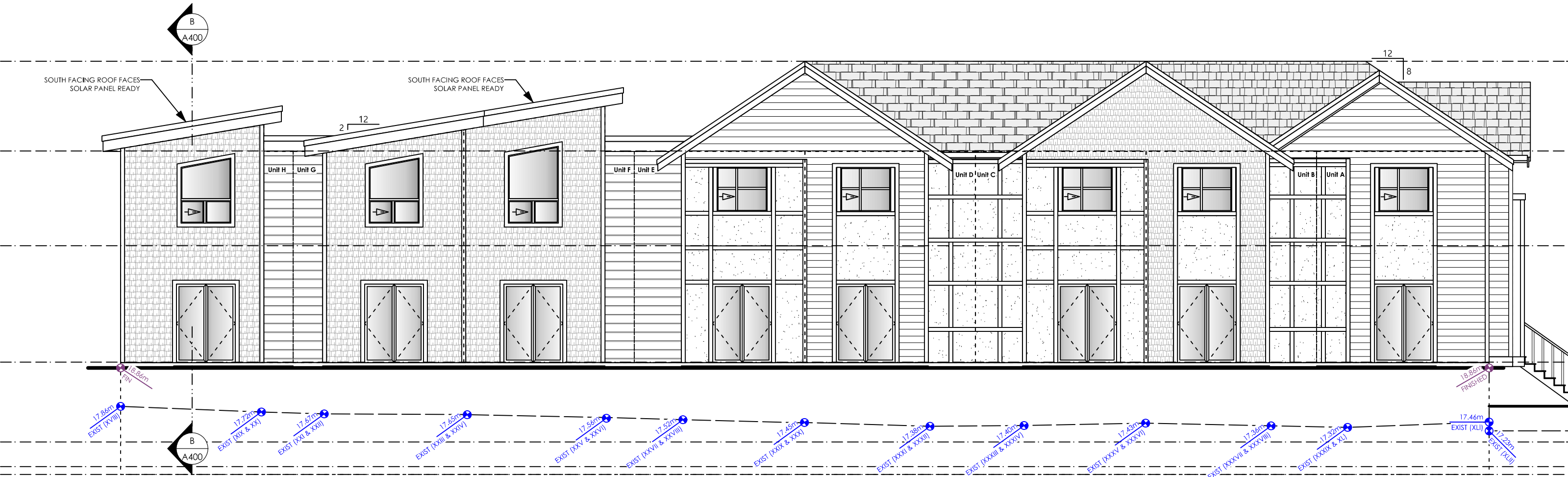
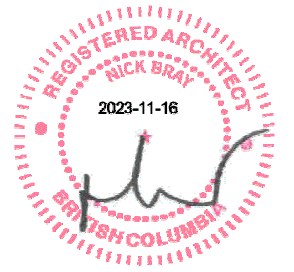
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SHEET # **A303**

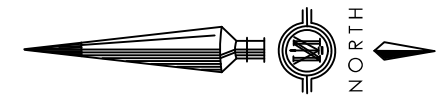


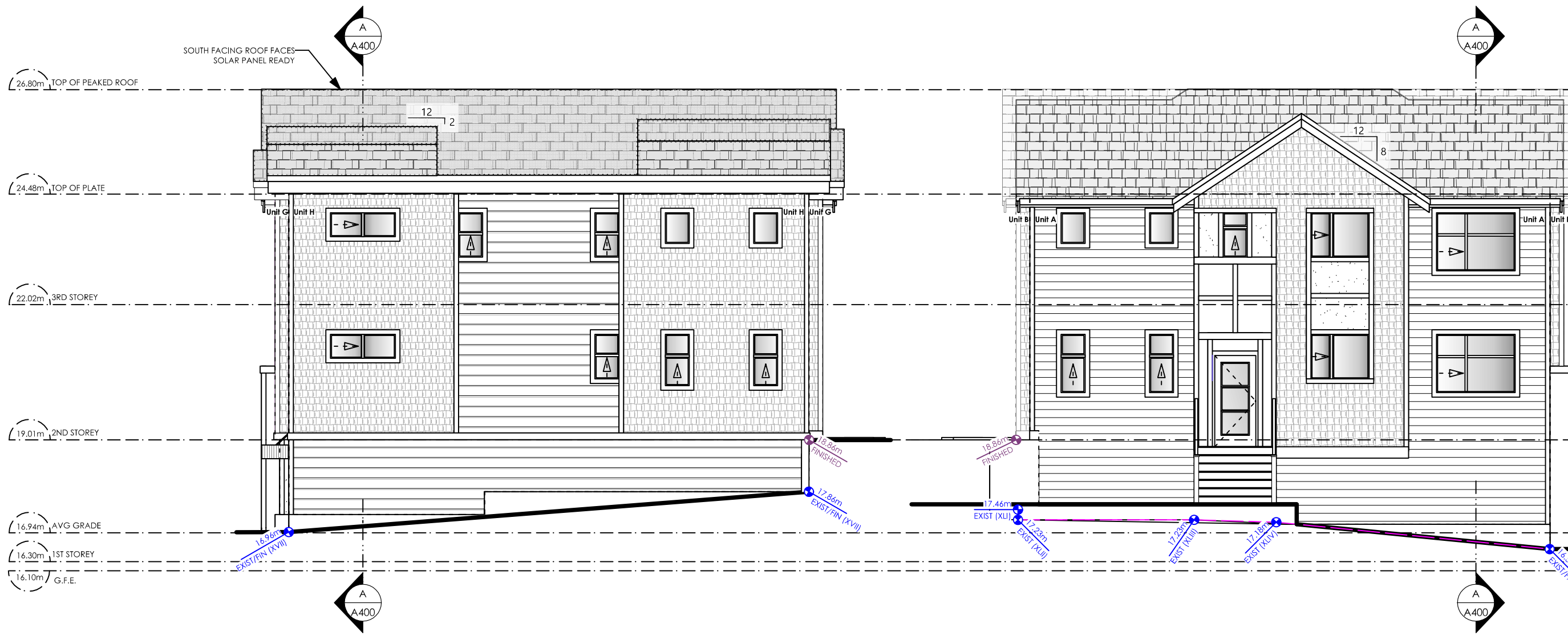
1
A300 West (Right) Elevation
Scale: 3/16" = 1'-0"





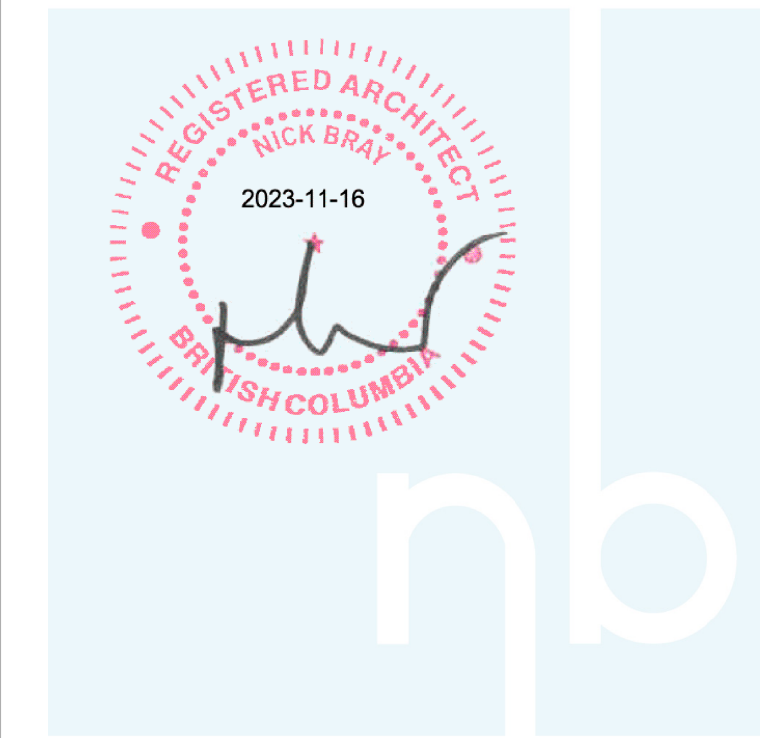
2 East (Left) Elevation
A300 Scale: 3/16" = 1'-0"





1 South (Rear) Elevation
A301 Scale: 3/16" = 1'-0"

2 North (Front) Elevation
A301 Scale: 3/16" = 1'-0"



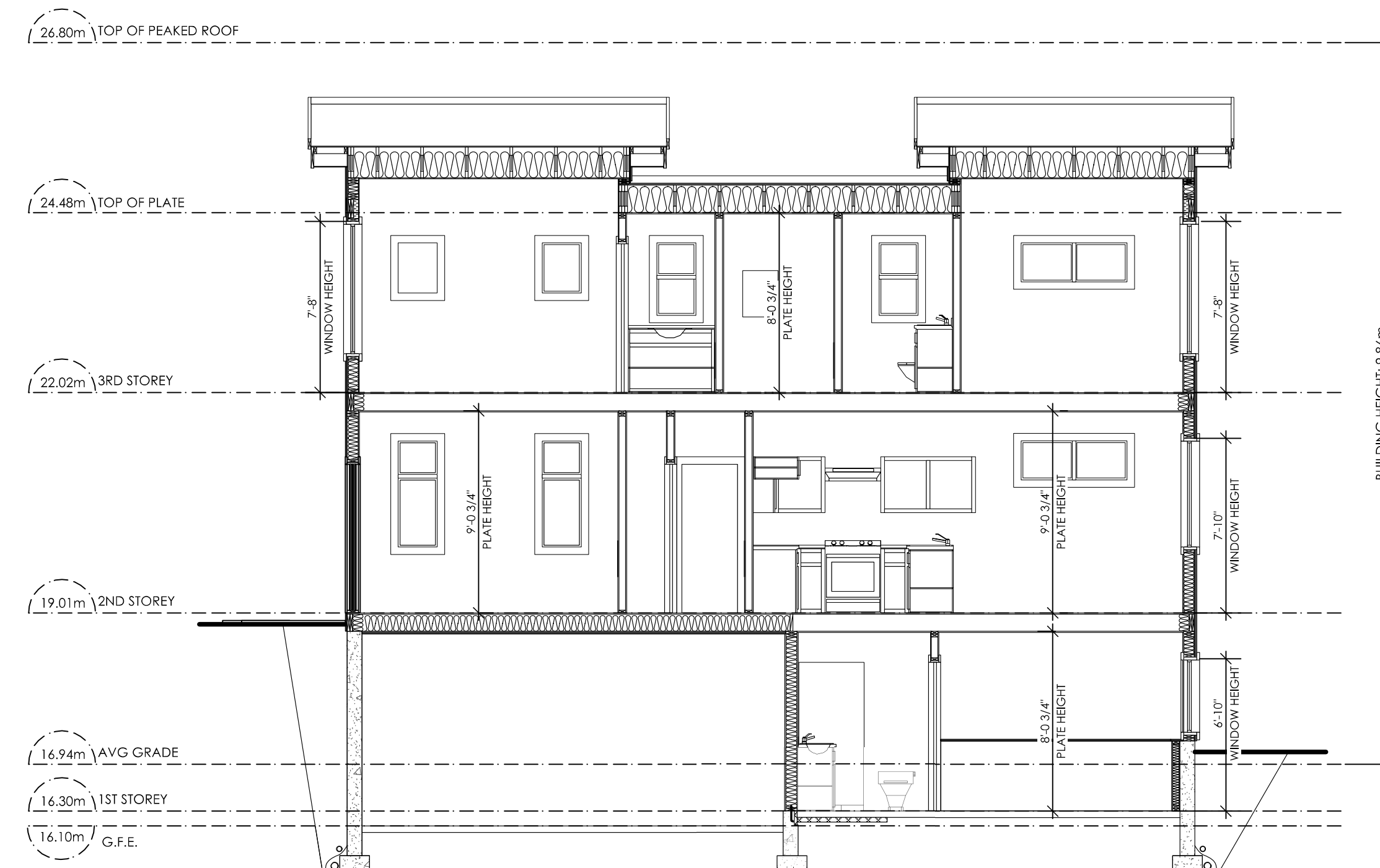
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1 Section A
A400 Scale: 3/16" = 1'-0"



2 Section B
A400 Scale: 3/16" = 1'-0"

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SHEET # **A400**

1035 RUSSELL STREET SITE PLAN, TREE REMOVAL AND REPLACEMENT PLAN



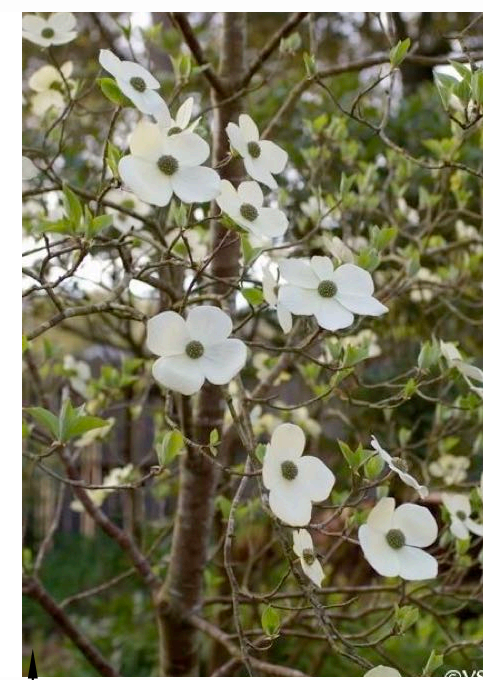
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CARPINUS BETULUS 'FRANS FONTAINE'



ACER CIRCINATUM



CORNUS NUTTALLII



AMELANCHIER ALNIFOLIA



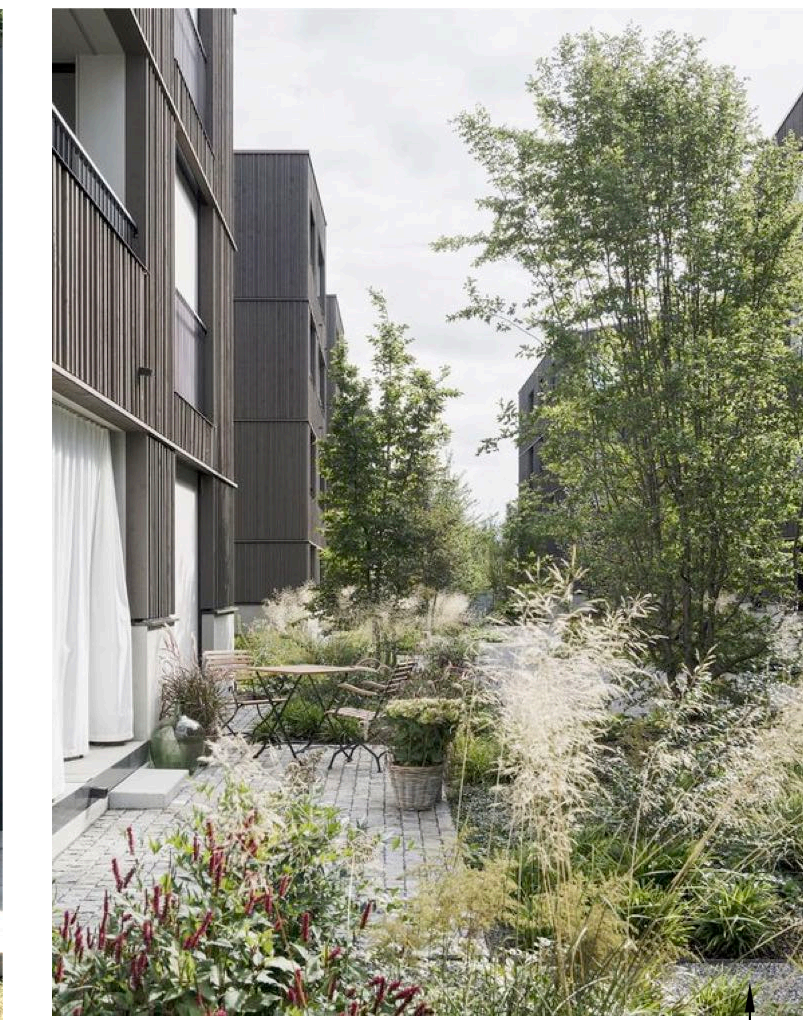
BETULA NIGRA 'DURA HEAT'



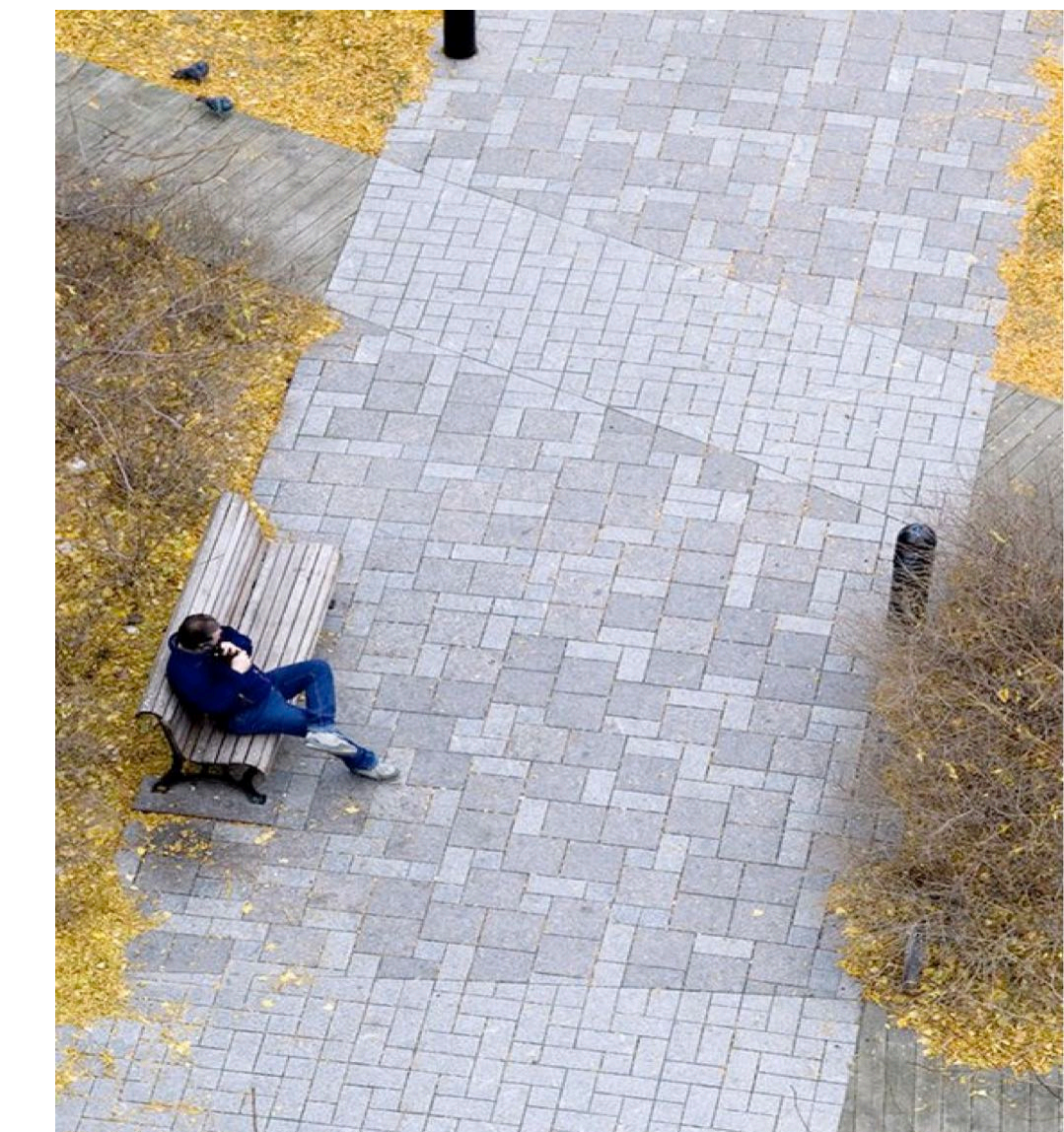
PLANTING AREA ID	AREA (m ²)	SOIL VOLUME MULTIPLIER	REPLACEMENT TREES PROPOSED				SOIL VOLUME REQUIRED (m ³)		TOTAL
			A. ESTIMATED SOIL VOLUME	B. #SMALL	C. #MEDIUM	E. #SMALL	C. #MEDIUM		
PLANTING AREA #1	25.0	1	25.0		1		20.0	25.0	
PLANTING AREA #2	24.0	1	24.0		1		20.0	24.0	
PLANTING AREA #3	24.0	1	24.0		1		20.0	24.0	



1.8 m VERTICAL PRIVACY SCREENING BETWEEN UNITS



BACK YARD GARDENS WITH GRASSES AND PERENNIALS



PAVERS WITH PATTERNS IN FRONT YARDS



Greenspace Designs
Sustainable Landscape Design

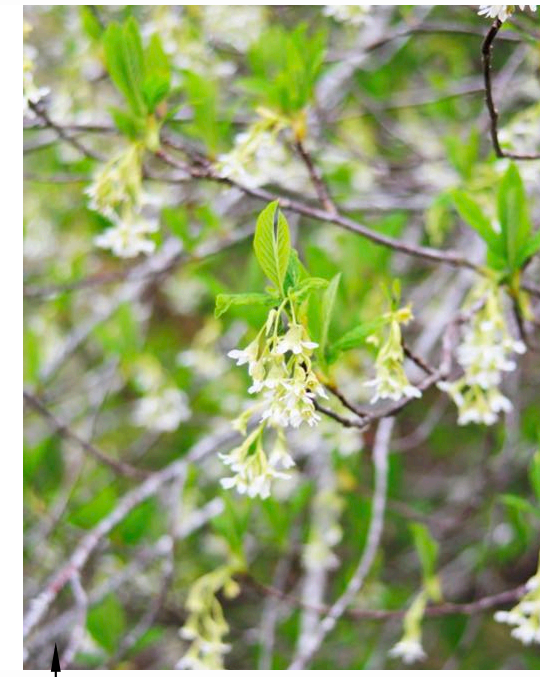
PROJECT TITLE ::
PROPOSED LANDSCAPE CONCEPT for ANDREW MILLS
1035 RUSSELL STREET, VICTORIA, BC

PAGE TITLE ::
SITE PLAN, TREE REMOVAL AND REPLACEMENT PLAN
PAGE ONE OF FIVE

DATE :: NOVEMBER 16, 2022
Revised Feb 17, 2023
Revised DECEMBER 1, 2023

SCALE :: 1:100

1035 RUSSELL STREET LANDSCAPE PLAN — BUBBLED CHANGES



OEMLERIA CERASIFORMIS



POPULUS TREMULOIDES



CARPINUS BETULUS 'FRANS FONTAINE'



ACER CIRCINATUM



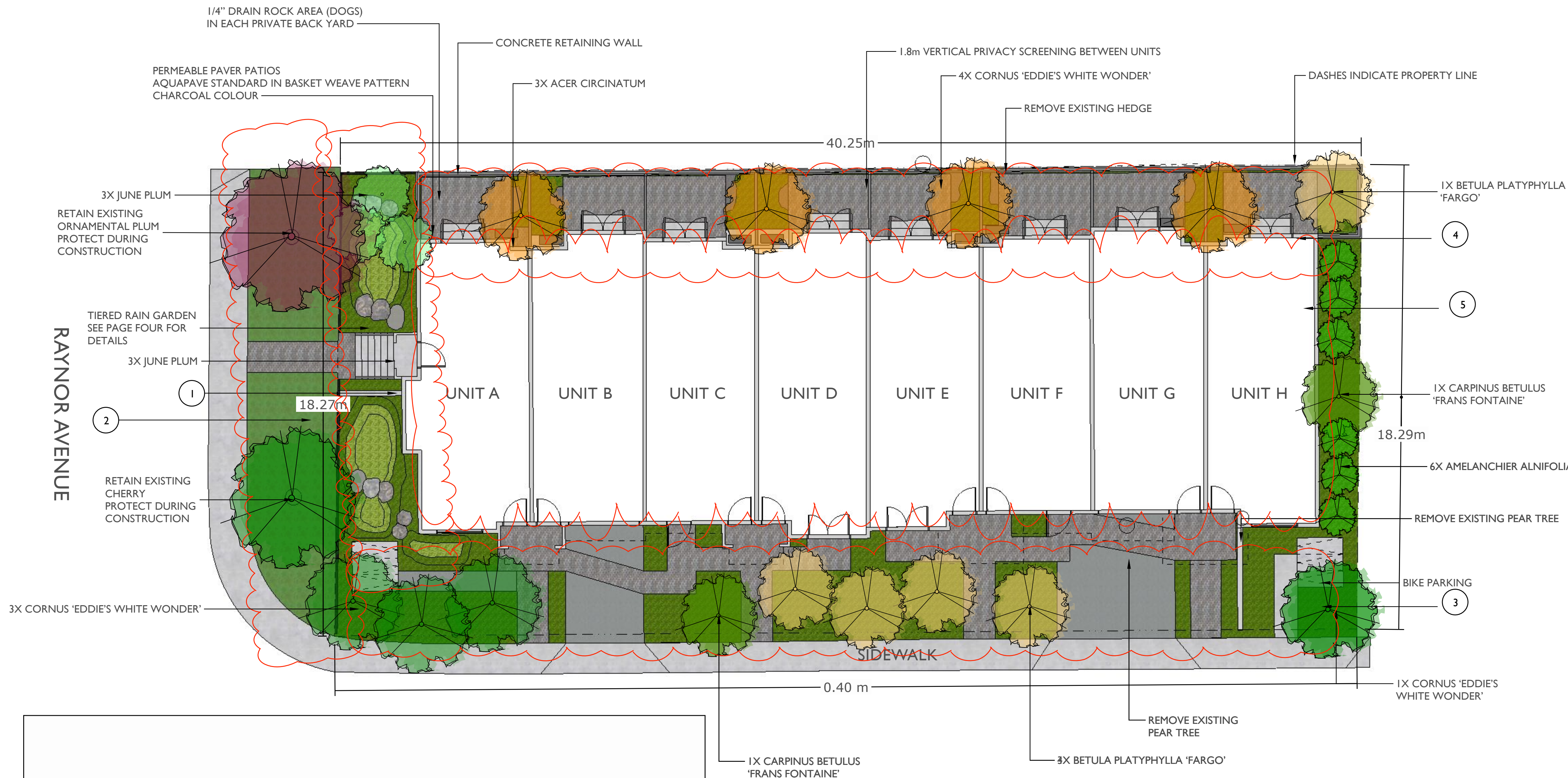
CORNUS 'EDDIE'S WHITE WONDER'



AMELANCHIER ALNIFOLIA

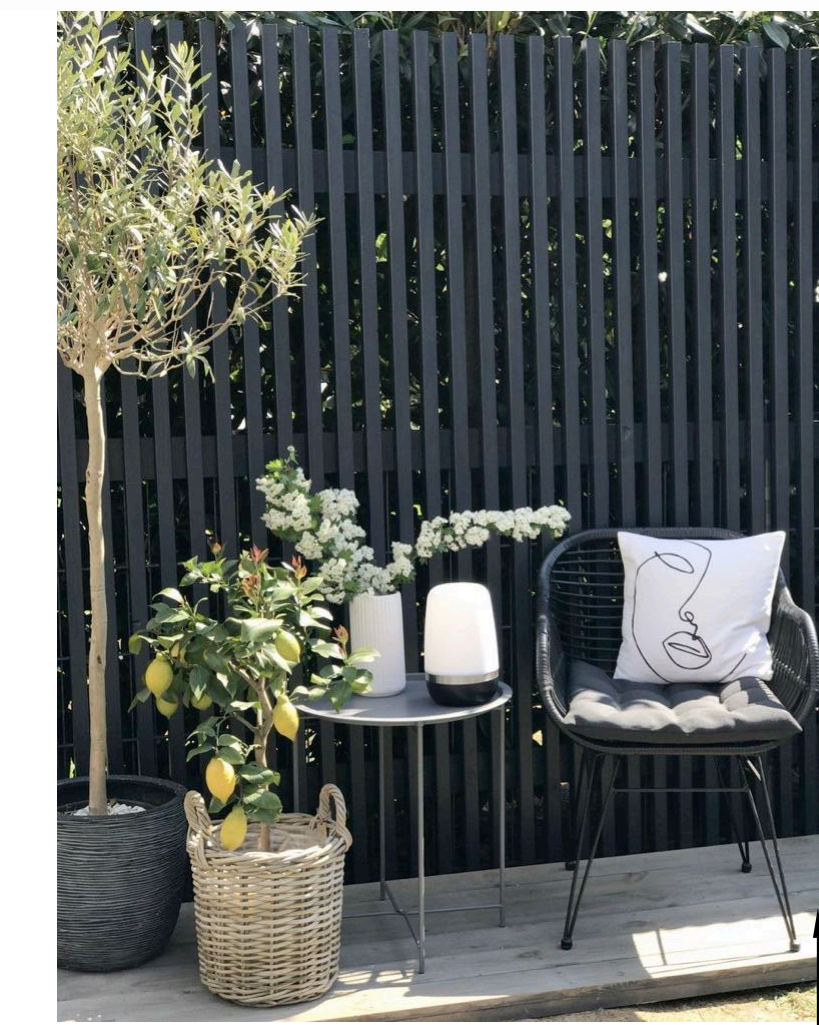


BETULA PLATYPHYLLA 'FARGO'

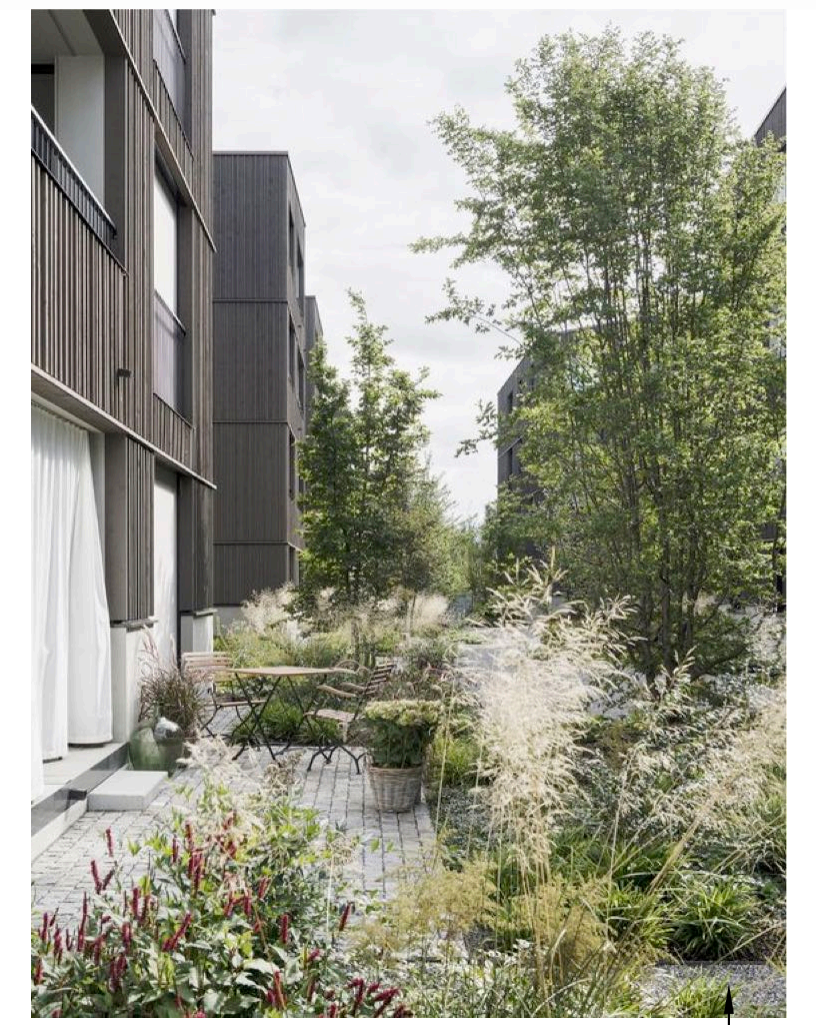


CHANGES

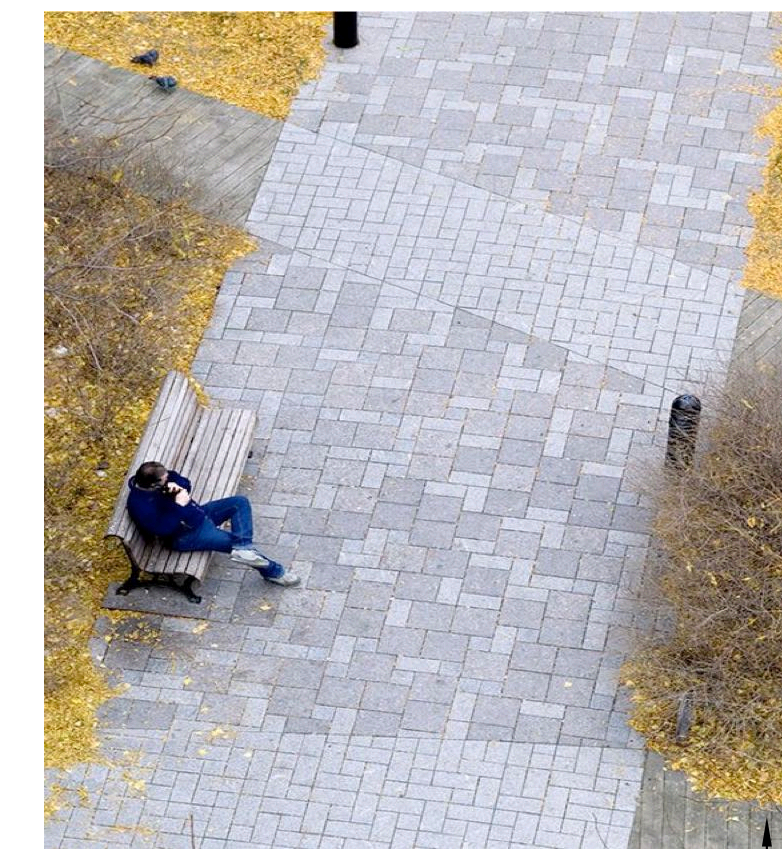
1. REMOVE 3X JUNE PLUM EAST, REMOVE RAIN GARDEN, SHIFT LOCATION OF BIKE PARKING, AND ADDITION OF 1X CORNUS NUTTALLII
2. NEW SIDEWALK AND ADDITION OF LAWN
3. SHIFT THE LOCATION OF BIKE PARKING, REARRANGE OF FRONT DRIVEWAYS AND SIDEWALKS, ADDITION OF BOULEVARD LAWN, REMOVE 4X CORNUS EDDIE'S WHITE WONDER, REMOVE BETUAL PLATYPHYLLA 'FARGO', AND CARPINUS BETULUS 'FRANS FONTAINE, AND ADD 1X CARPINUS 'FASTIGIATA', 3X BETULA NIGRA 'DURA HEAT', ADD 1X BETULA NIGRA 'DURA HEAT', AND ADDITION OF 4X BOULEVARD TREES
4. CHANGES TO BACK PATIOS TO ACCOUNT FOR CHANGES IN REAR OF BUILDING; RETAIN HEDGE ALONG EAST PROPERTY LINE, CONCRETE RETAINING WALL TO ABUT THE PATIOS; REMOVAL OF DOG AREAS
5. BUILDING SHIFTED WEST TOWARDS RUSSELL STREET



1.8 m VERTICAL PRIVACY SCREENING BETWEEN UNITS



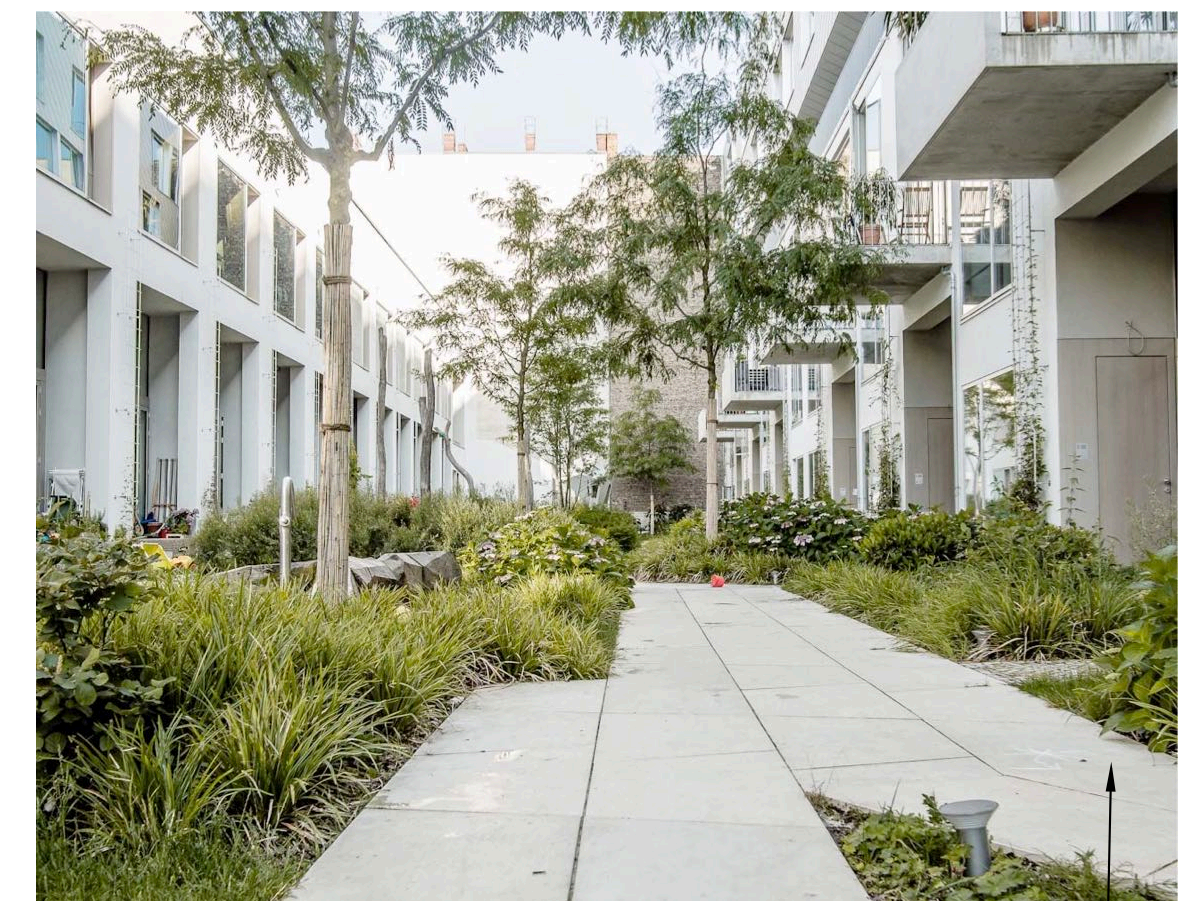
BACK YARD GARDENS WITH GRASSES AND PERENNIALS



PAVERS WITH PATTERNS IN FRONT YARDS



1.2m AIRY VERTICAL SCREENING ALONG NORTH PROPERTY LINE



CONCRETE PAVING FOR FRONT YARD ENTRIES / DRIVEWAYS AND NATIVE PLANTINGS



Greenspace Designs
Sustainable Landscape Design

PROJECT TITLE

PROPOSED LANDSCAPE CONCEPT for ANDREW MILLS
1035 RUSSELL STREET, VICTORIA, BC

PAGE TITLE

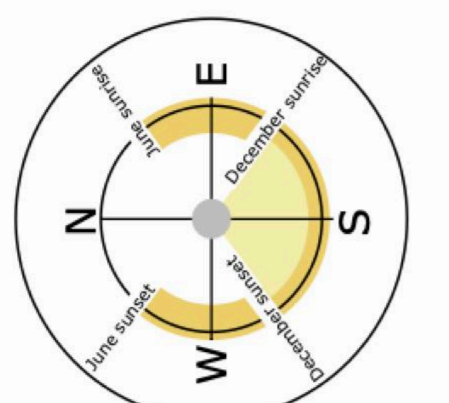
LANDSCAPE PAN WITH BUBBLED CHANGES, PAGETWO of FIVE

DATE

NOVEMBER 16, 2022
Revised Feb 17, 2023
Revised DECEMBER 1, 2023

SCALE

1:100



1035 RUSSELL STREET PLANTING PLAN



ARMERIA MARITIMA



CARPINUS BETULUS 'FRANS FONTAINE'



ACER CIRCINATUM



CORNUS NUTTALLII



AMELANCHIER ALNIFOLIA



BETULA NIGRA 'DURA HEAT'



TAXUS BACCATA 'FASTIGIATA'



RHODODENDRON 'CHIONOIDES'

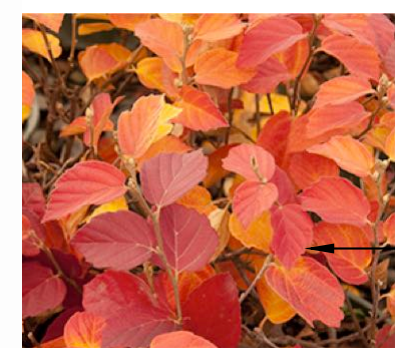
RAYNOR AVENUE

RETAIN EXISTING M1 CHERRY PROTECT DURING CONSTRUCTION

RETAIN EXISTING M1 CHERRY PROTECT DURING CONSTRUCTION



RUSSELL STREET



FOTHERGILLA GARDENII 'BLUE MIST'



SMILACINA RACEMOSA



POLYSTICHUM MUNITUM



BERBERIS NERVOSA



ALLIUM CERNUUM



DESCHAMPSIA CESPIIOSA



FESTUCA ROMERI



PANICUM VIRGATUM 'SHENANDOAH'



CORNUS STOLONIFERA 'ARCTIC FIRE'

PLANTING SCHEDULE

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
TREES				
ACR	4	6cm.	ACER CIRCINATUM	VINE MAPLE
AA	6	#15	AMELANCHIER ALNIFOLIA	SERVICE BERRY
CB	1	6cm.	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAM
BD	2	6cm.	BETULA NIGRA 'DURA-HEAT'	DURA-HEAT RIVER BIRCH
CN	1	6cm.	CORNUS NUTTALLII	PACIFIC DOGWOOD

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
SHRUBS				
CS	18	#1	CORNUS STOLONIFERA 'ARCTIC FIRE'	ARTIC FIRE RED TWIG DOGWOOD
FG	16	#1	FOTHERGILLA GARDENII 'BLUE MIST'	BLUE MIST DWARF FOTHERGILLA
TB	11	#1	TAXUS BACCATA 'FASTIATA'	IRISH YEW
VO	8	#5	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
PERENNIALS, BULBS, FERNS AND GRASSES				
AC	15	4"	ALLIUM CERNUUM	NODDING ONION
AR	14	#1	ARMERIA MARITIMA	SEA THRIFT
BS	16	#1	BLECHNUM SPICANT	DEER FERN
DC	16	#1	DESCHAMPSIA CESPIIOSA	TUFTED HAIR GRASS
FR	23	#1	FESTUCA ROMERI	ROEMER'S FESCUE
HM	12	#1	HAKONECHLOA MACRA	JAPANESE FOREST GRASS
PV	12	#1	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS
PM	41	#1	POLYSTICHUM MUNITUM	SWORD FERN
SM	5	#1	SMILACINA RACEMOSA	FALSE SOLOMON'S SEAL

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
GROUNDCOVERS AND ANNUALS				
BN	21	#1	BERBERIS NERVOSA	CREeping OREGON GRAPE
GS	44	#1	GAULTHERIA SHALLON	SALAL
HE	11	4"	HEUCHERA MACRANTHA	SMALL-FLOWERED ALUMROOT



HAKONECHLOA MACRA



VACCINIUM OVATUM



BLECHNUM SPICANT



POPULUS TREMULOIDES



HEUCHERA MACRANTHA



GAULTHERIA SHALLON

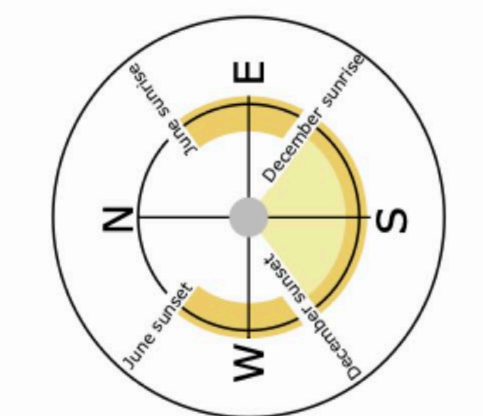
Greenspace Designs
Sustainable Landscape Design

PROJECT TITLE :
PROPOSED LANDSCAPE CONCEPT for
ANDREW MILLS
1035 RUSSELL STREET, VICTORIA, BC

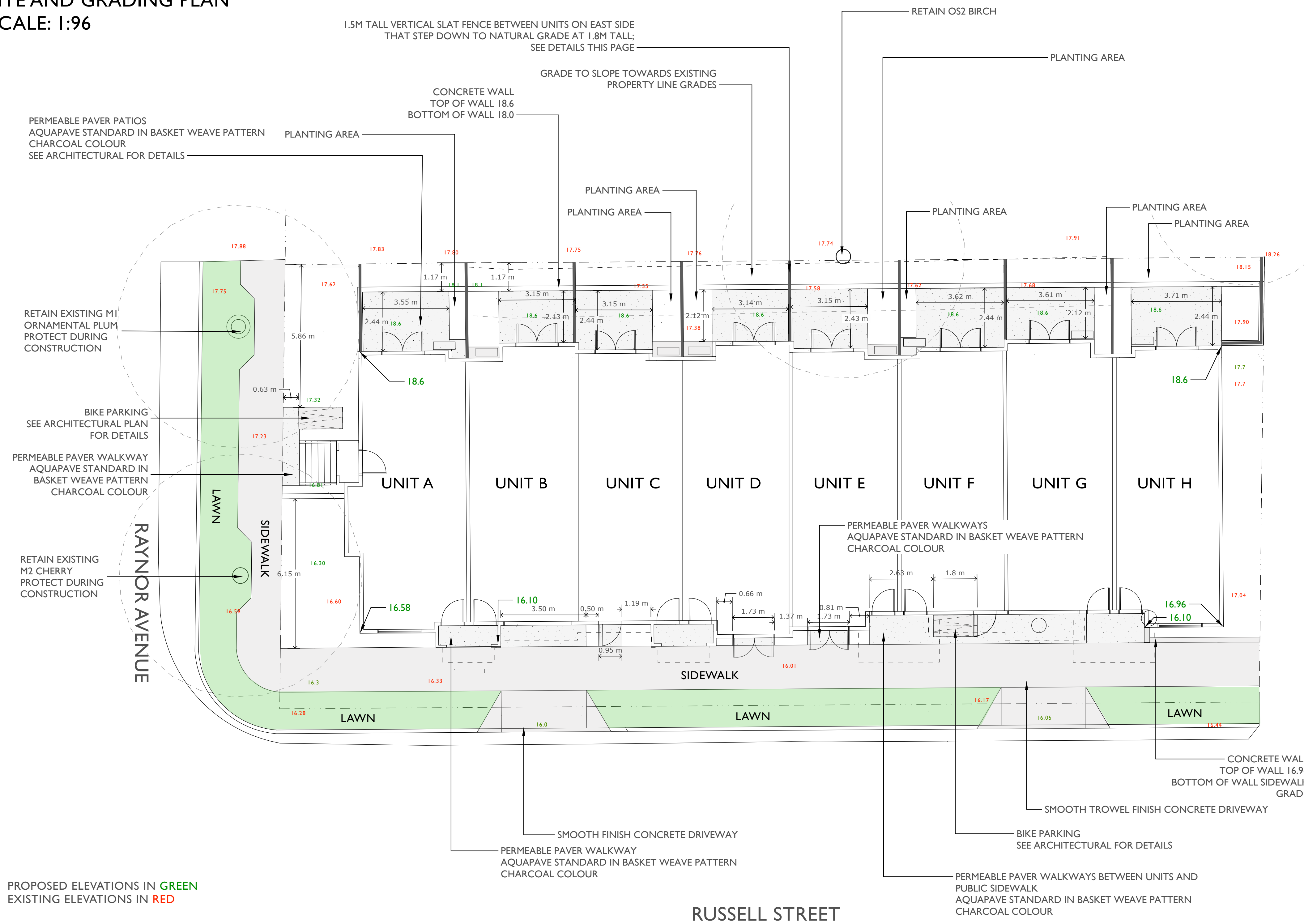
PAGE TITLE :
PLANTING PLAN, PAGE THREE of FIVE

DATE : NOVEMBER 16, 2022
Revised Feb 17, 2023
Revised DECEMBER 1, 2023

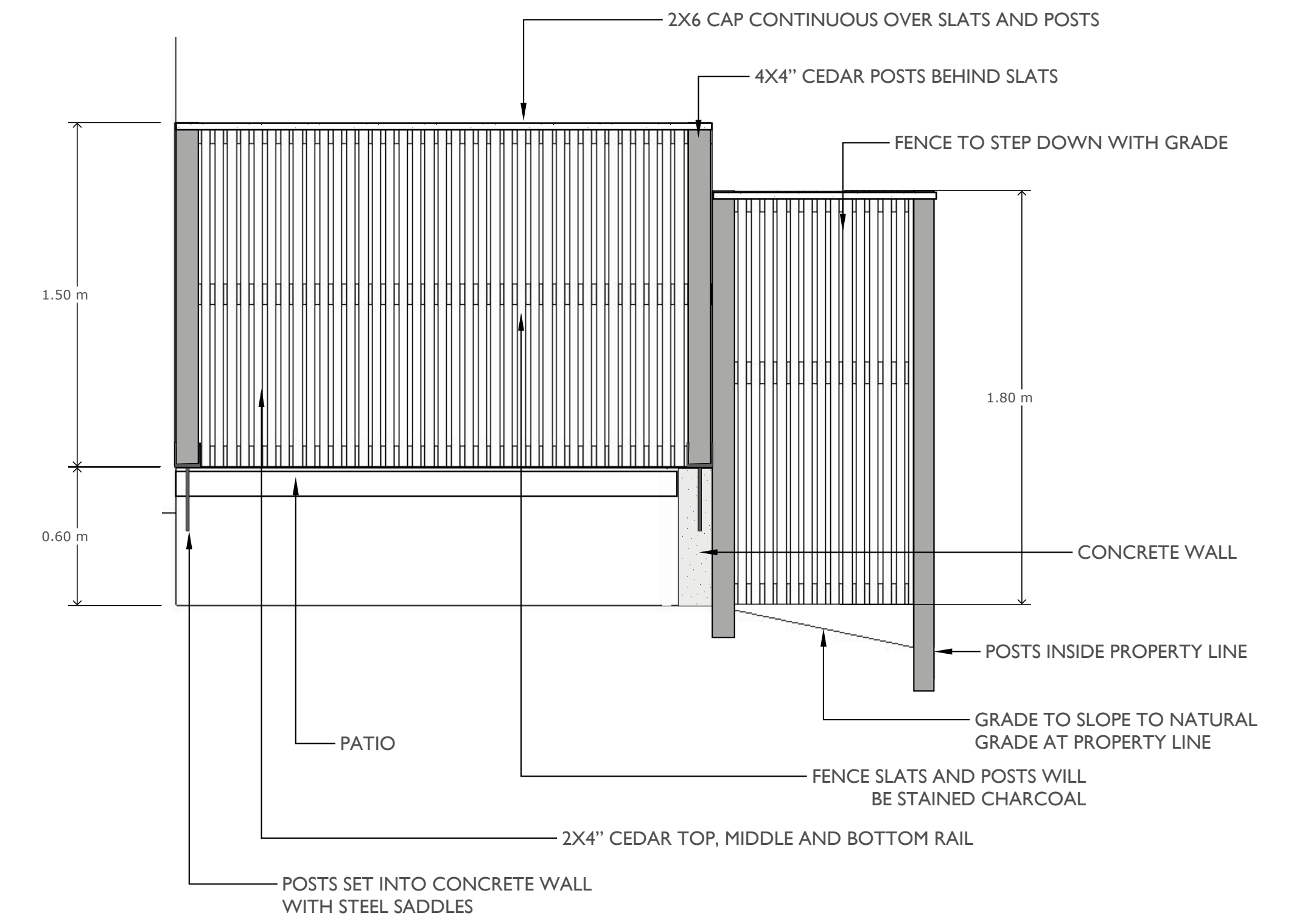
SCALE : 1:100



SITE AND GRADING PLAN
SCALE: 1:96



VERTICAL SLAT FENCE DETAIL
Scale: 1:20

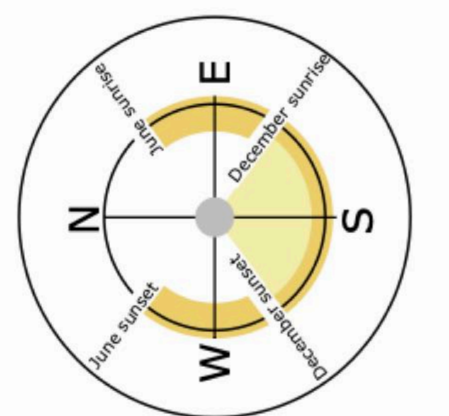


PROJECT TITLE ::
PROPOSED LANDSCAPE CONCEPT for
ANDREW MILLS
1035 RUSSELL STREET, VICTORIA, BC

PAGE TITLE ::
SITE, GRADING, AND DETAIL PLAN, PAGE FOUR of FIVE

DATE :: NOVEMBER 16, 2022
Revised Feb 17, 2023
Revised DECEMBER 1, 2023

SCALE ::
AS SHOWN



OVERALL NOTES

1. Plantings, landscape installation, and irrigations should all be installed in accordance with the BCLNA/BCSLA standard (2020)
2. Any plant substitutions shall be made in consultation with the landscape architect.
3. The Landscape and Irrigation Contractor shall determine the location of all underground services prior to the commencement of landscape work and shall be responsible for the repair of all damage caused by landscape work to the Owner's satisfaction.
4. All topsoil and plants shall conform to BCNTA / BCSLA specifications.
5. BCLNA/BCSLA standard (2020) is the guiding resource for all notes on this page

MATERIALS

CAST-IN-PLACE CONCRETE

1. Cast-in-place concrete may have a finish of trowel finish, broom finish, exposed aggregate, or parging. To be finished as specified on landscape plans.
2. Concrete should be reinforced with rebar.

PERMEABLE PAVERS

Permeable pavers should be installed according to figures 12.2, 12.3, or 12.4.

STOCKPILES

1. Site materials should be stockpiled separately from the growing medium to avoid contaminating the growing medium.
2. Ideally, the growing medium is delivered on the day of installation.
3. Soils, fill, sand, gravel, or any construction materials should not be stockpiled within the t critical protection zones.
4. Soil or subsoil should not be stockpiled in low areas to avoid erosion or water pooling.

TOPSOIL

1. On-site topsoil should be used if it meets the standards for a growing medium.
2. Topsoil should have a pH range of pH 5.5-7.5 and contain not less than 2 % Organic Matter [OM] by weight and a salt conductivity of less than 2.5 dS/m.
3. Both imported and on-site topsoil should be tested and amended before landscape work commences on-site by the contractor or soil supplier. Modification costs should be included in the overall budget.
4. Topsoil depths shall be as follows:
 - Trees 2m x 2m x 2m soil per tree
 - shrubs 600 mm depth
 - ground covers 150 mm depth

MULCH

1. All planted beds shall be covered with a 55 mm layer of high organic low-wood content mulch.
2. Mulch should be a minimum of 10cm (4in.) from the crown of any plant. It is never to be mounded up around the stem of the plant.
3. Mulch depths should be at most 10cm (4in.) around larger plants and 5cm (2in.) for smaller plants such as groundcovers.
4. Trees installed in lawns should have a mulch ring of 1m diameter that will be maintained for a minimum of 8 years.
5. Mulch is to be of a type suitable for the material planted.

PLANTING

1. All trees shall be secured with two 75 mm diameter x 1.8 m long round poles set 1m into the ground.
2. Plants determined to be dead or dying at the end of one year from the installation date shall be replaced by the Contractor at the Contractor's expense.
3. Growing media settlement should be corrected prior to mulching.
4. Immediately after planting, trees shall be stabilized, ensuring that the tree's crown has free movement, but wind, snow loading, or human force will not disturb the buttress root system or cause the rootball to shift in the ground.
5. Trees may not need stabilization if the subsoil and growing medium are stable and can hold the rootball in place, and the rootball is solid and contained and shaped where it can resist shifting.
6. Planting debris and materials shall be removed promptly from the site.
7. Plants must be watered immediately after planting to the depth of their root systems.
8. The contractor is responsible for scheduling the delivery of plants to the site in conformance with the contract documents.
9. Plants should spend a minimal amount of time in the storage on site.

SEED

1. All grass areas shall be seed.
2. The finished grade should be smooth, firm against footprints, loose textured, and free of all stones, roots, and branches.
3. Areas with heavy compaction should have their surfaces loosened employing thorough scarification, discing, or harrowing to a minimum of 150mm (6in.) depth.
4. Slope soil away from house and level soil by dragging a 6'x6" board over area, rake the soil even, then roll over the soil three times in opposite directions until soil is firm.
5. Add a light dressing of peat moss, just as a measure to retain moisture.
6. A mix of 3 grass species is better than one species. The following grasses are known for their hardiness and have been tested for turf quality and resistance to many diseases and insects. A good basic mix would be 30% Kentucky blue, 30% perennial rye and 40% tall fescue. These do well in cool-season climates such as ours.
7. Seed should be applied at a rate of one pound per 200 square feet and spread in opposite directions.
8. After application seed should be lightly and gently raked.
9. After seeding the newly seeded area must be watered evenly, and kept moist until lawn is established.

IRRIGATION

1. All planting beds shall be irrigated with an automatic underground system with automatic rain shut-off.
2. Irrigation sleeving is to be 150mm in diameter. Schedule 40 or SDR 28.
3. Must be installed 12" below finished grade for all lateral lines and 18" below finished grade for irrigation main lines.
4. All irrigation materials and installation methods shall conform to IABC standards.
5. Irrigation within municipal rights of way shall conform to the City of Oak Bay requirements.
6. Backflow preventer requirements for irrigation lines shall conform to Oak Bay municipality requirements.
8. The Irrigation Contractor shall test the irrigation system and ensure that it is fully operational prior to acceptance by the owner.

WATERING

1. Plants shall be monitored for moisture at delivery and watered as necessary until planting with on-site irrigation during storage.
2. Plants and soil moisture should be monitored during the first and second growing seasons for a sufficient irrigation schedule and to ensure that the plants are healthy with the irrigation setup. If the plants are wilting or showing stress due to water, there shall be an increase in watering frequency.
3. Watering should reach the depth of the root zone.
4. Irrigation schedules may be skipped if rainfall has penetrated the full depth of the root zone.
5. Soil moisture should be maintained at 50 to 100 percent field capacity.

LANDSCAPE LIGHTING

1. Landscape lighting must adhere to the Canadian Electrical Code, British Columbia electrical and building codes, and Municipal by-laws regarding electrical, lighting, and light pollution.

PERMEABLE PAVER DETAILS

FIGURE 12.2. PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE

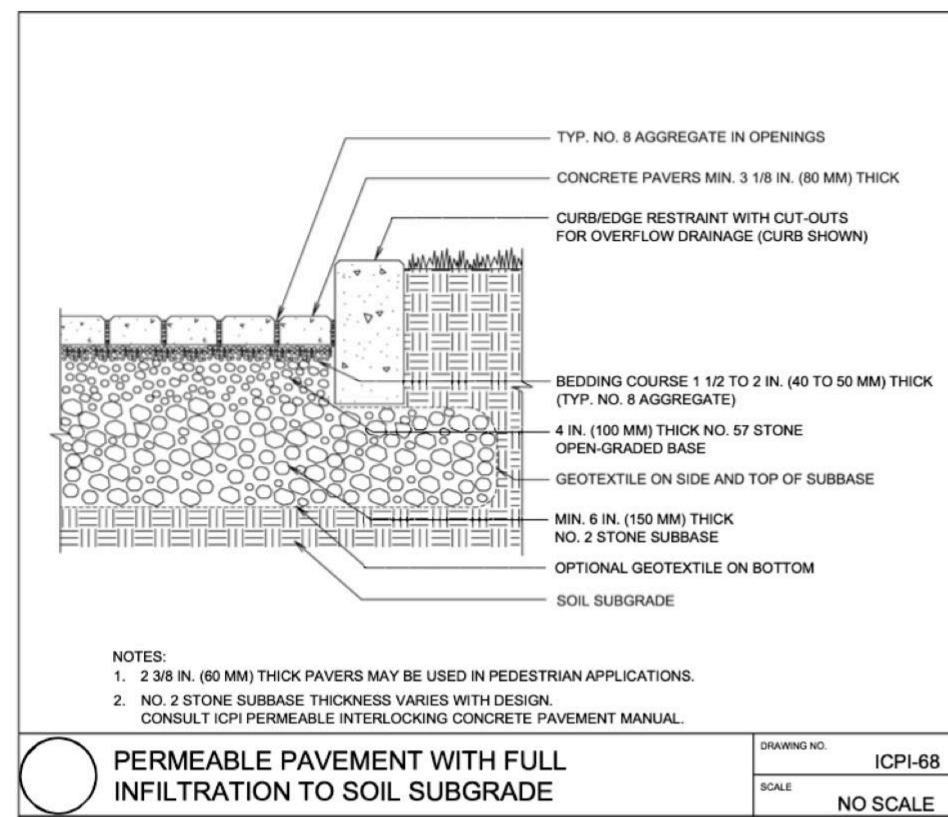


FIGURE 12.4. PERMEABLE PAVEMENT WITH NO INFILTRATION TO SOIL SUBGRADE

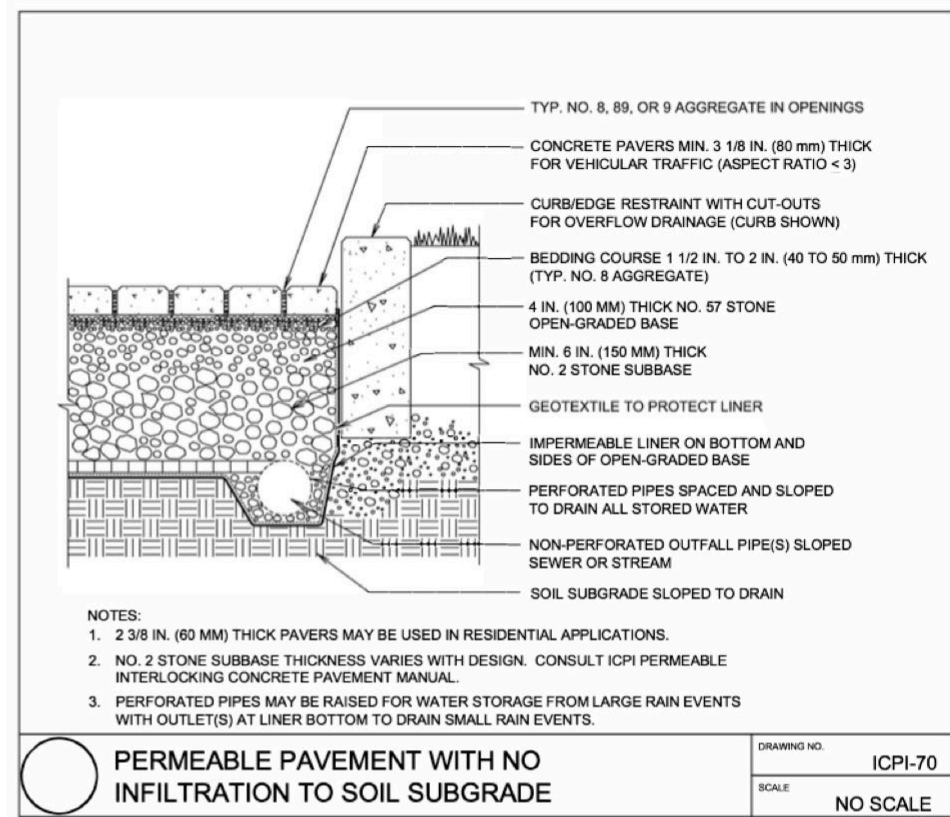
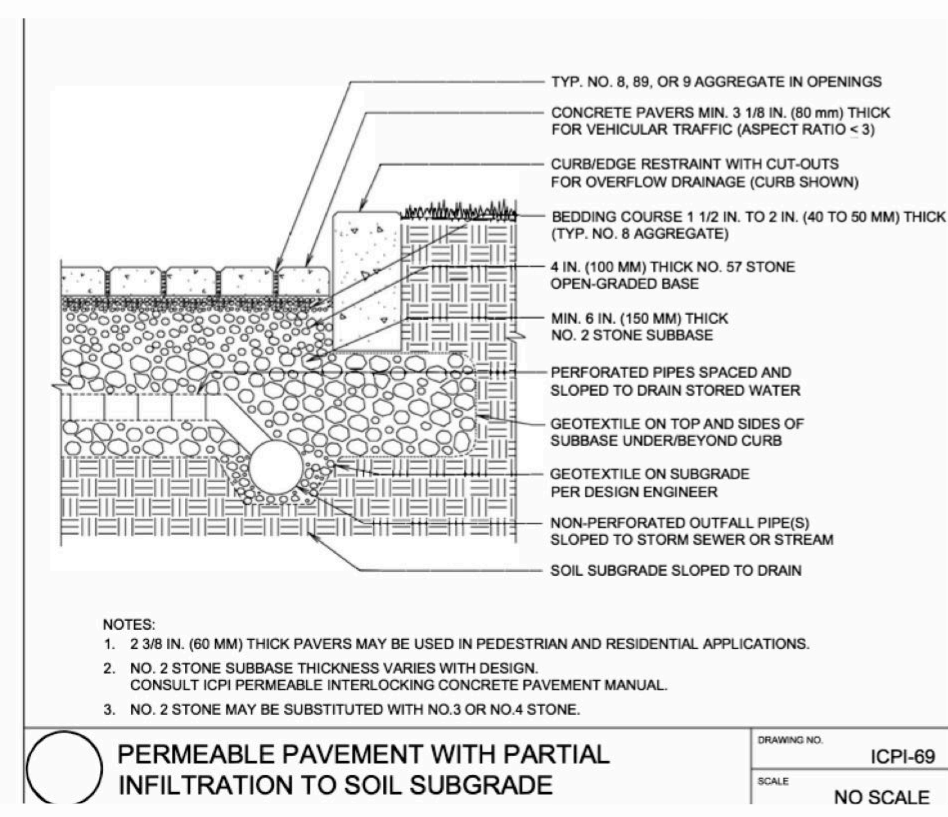
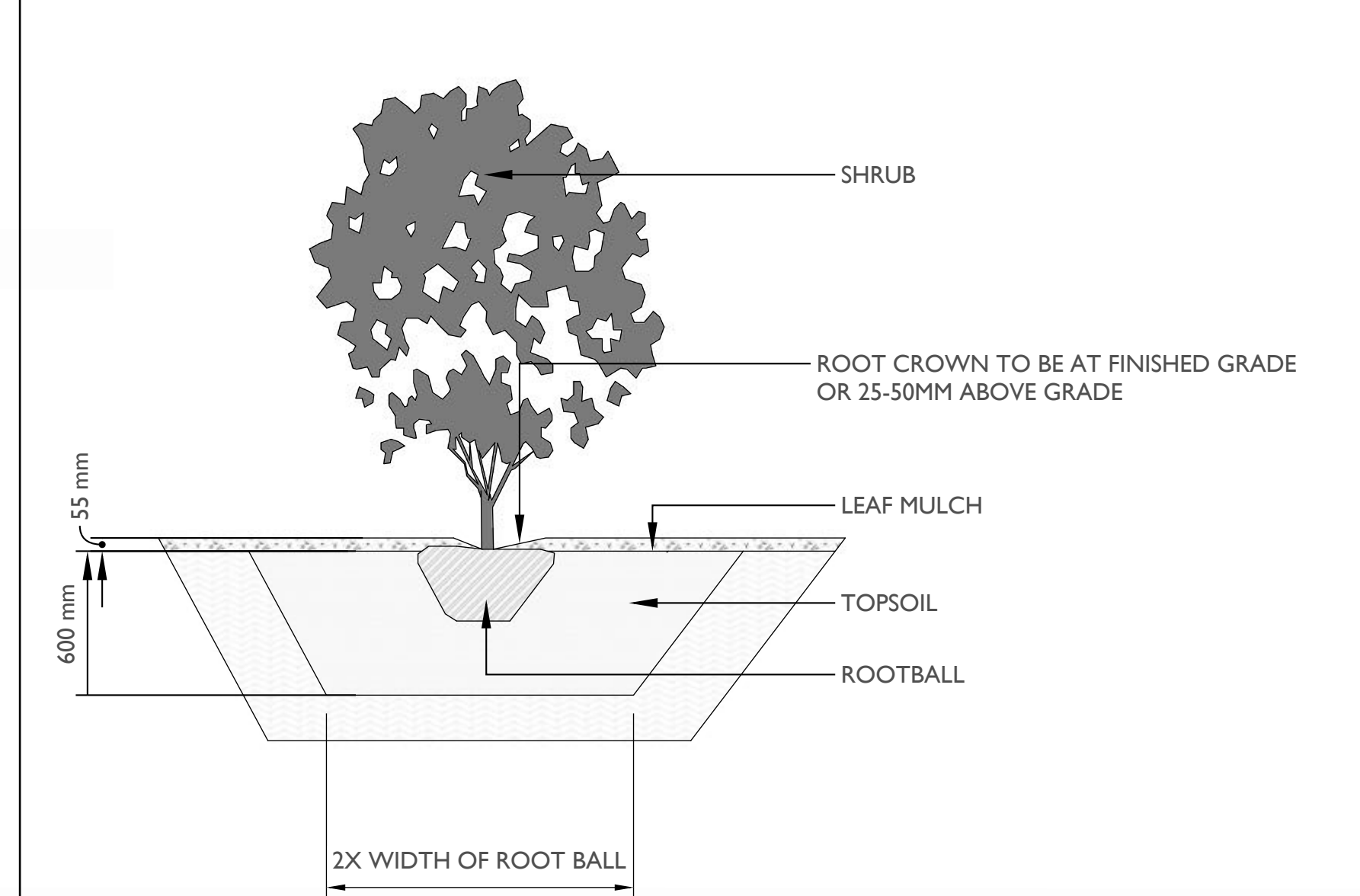


FIGURE 12.3. PERMEABLE PAVEMENT WITH PARTIAL INFILTRATION TO SOIL SUBGRADE



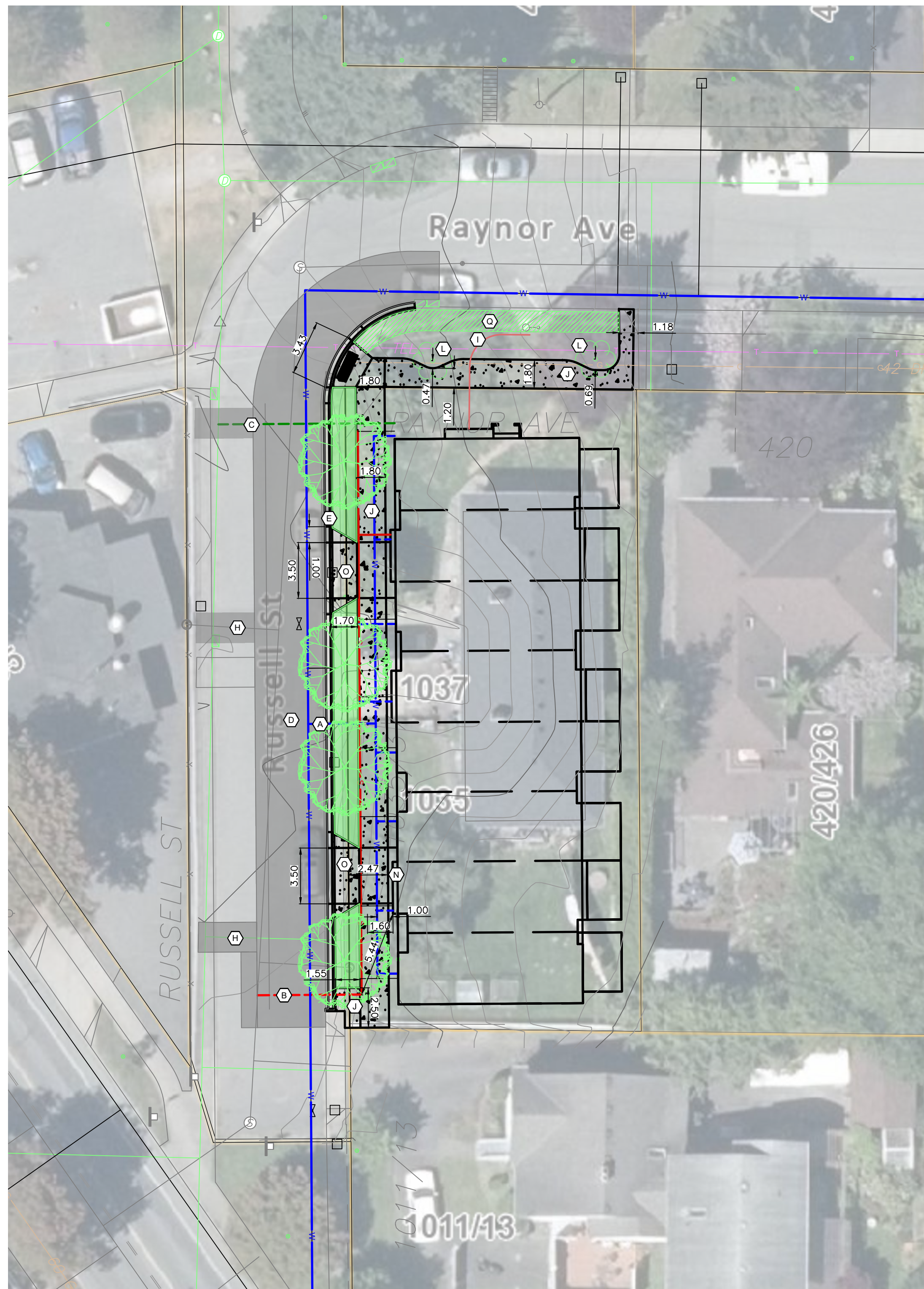
PLANTING DETAILS



PROJECT TITLE :
 PROPOSED LANDSCAPE CONCEPT for
 ANDREW MILLS
 1035 RUSSELL STREET, VICTORIA, BC

PAGE TITLE :
 LANDSCAPE NOTES, PAGE FIVE of FIVE

DATE :
 NOVEMBER 16, 2022
 Revised Feb 17, 2023
 Revised DECEMBER 1, 2023



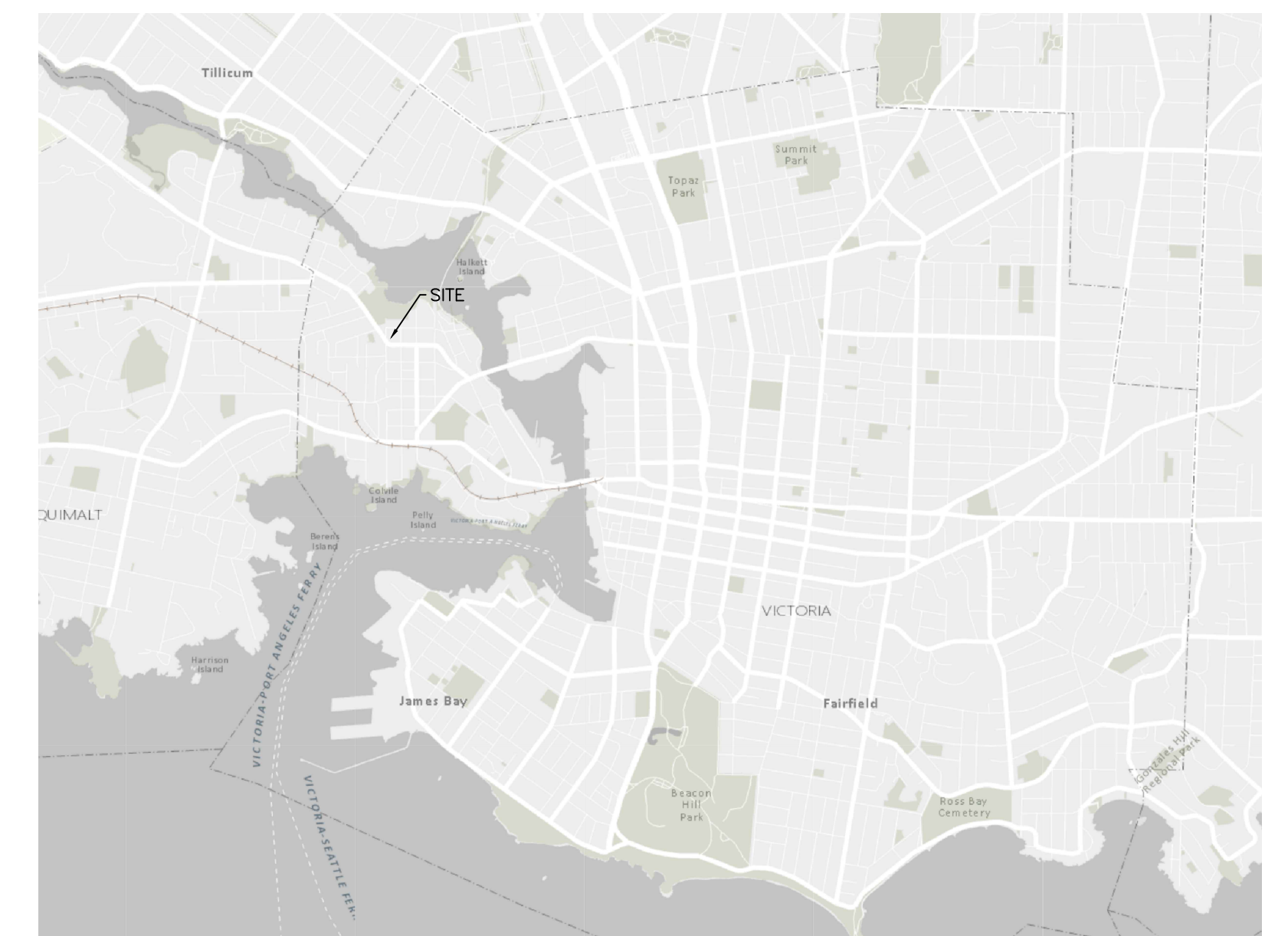
SITE PLAN
1:200

DETAILED CONSTRUCTION NOTES:

- (A) NEW 50mm WATER SERVICE BY CITY OF VICTORIA FORCES
- (B) NEW 5.8m 150mm SANITARY SEWER CONNECTION @ 2.00% FROM MAIN TO PROPERTY LINE BY CITY OF VICTORIA FORCES
- (C) NEW 8.0m 150mm STORM DRAIN CONNECTION @ 2.00% FROM MAIN TO PROPERTY LINE BY CITY OF VICTORIA FORCES
- (D) 253 m² ASPHALT RESTORATION BY OWNER.
- (E) 47m CONCRETE NMC AND GUTTER REPLACEMENT.
- (F) 45m² GRASS BOULEVARD - TOP SOIL AND SEED BY OWNER
- (G) EXISTING WATER SERVICE CONNECTION TO BE ABANDONED BY CITY OF VICTORIA FORCES. DISCONNECT FROM MAIN AND REMOVE EXISTING METER.
- (H) EXISTING SEWER AND DRAIN CONNECTIONS TO BE ABANDONED BY CoV. DISCONNECT AT MAIN AND REMOVE EXISTING INSPECTION CHAMBER IF PRESENT
- (I) BC HYDRO / TEL / CABLE VIA POLE PILASTER UNDERGROUND
- (J) 111m² OF NEW 1.80m WIDE BROOM FINISH CONCRETE SIDEWALK. INCLUDES JOGGED CONNECTIONS TO EXISTING SIDEWALKS.
- (K) NEW LETDOWN c/w TRUNCATED DOME TREATMENT FOR VISUALLY IMPAIRED
- (L) EXISTING STREET TREES TO BE RETAINED
- (M) ONSITE SEWER AND WATER HEADER PIPES ON SITE UNDER CoV SIDEWALK WITHIN SRW
- (N) 2.47m WIDE SRW IN FAVOR OF CoV FOR SIDEWALK AND FRONTAGE IMPROVEMENTS. BACK OF SRW IN LINE WITH BACK OF SIDEWALK.
- (O) 3.5m WIDE BROOM FINISH CONCRETE DRIVEWAY ACCESS X2
- (P) 4 x STREET TREES PER CoV SPECIFICATION AND SELECTION
- (Q) 22m² EXISTING SIDEWALK TO BE REMOVED, CURB AND GUTTER TO BE RETAINED. AREA TO BE REINSTATED AS GRASS BOULEVARD.

UNDERGROUND SERVICE INFORMATION

INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY SEWER
PROPOSED COVER (m)	3.26m	1.47m
PROPOSED INVERT ELEVATION (m)	13.49	14.90
MAXIMUM DEPTH REQUESTED	YES	YES
MAIN INVERT AT CONNECTION	13.13	14.77



KEY PLAN
NTS

LEGAL DESCRIPTION: Lot 168, Block S, Section 31, Esquimalt District, Plan 549
PID 004-645-227
SURVEY PROVIDED BY GLEN MITCHELL LAND SURVEYING INC.: FILE 21-23-9322

NOV 13 2023

DRAFT



BC
1
CALL
1-800-474-6886

THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING UG SERVICES STAKED PRIOR TO ANY CONSTRUCTION

November 13, 2023 / K:\Dropbox\BFE\Eng\Projects\2053 - 1035 Russell\07 - Engineering\02 - Drawings & Sketches (Eng)\2053 Base.dwg

NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK	NO.	DESCRIPTION	YYYYMMDD	DE	DA
1	CONCEPTUAL DEVELOPMENT PLAN	20231113	CBW	CBW						

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ANDREW MILLS

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City of Victoria MUN. FILE SHEET 1 OF 1