



## Advisory Design Panel Report For the Meeting of March 27, 2024

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**To:** Advisory Design Panel **Date:** March 27, 2024  
**From:** Gerry Hamblin, Senior Planner  
**Subject:** **Rezoning Application No. 00844 and Development Permit with Variance(s) Application No. 00266 for 1035 Russell Street**

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### EXECUTIVE SUMMARY

The Advisory Design Panel (ADP) is requested to review a Rezoning and concurrent Development Permit with Variances Application for 1035 Russell Street and provide advice to Council.

The proposal is to rezone from the R-2 Zone, Two Family Dwelling District to a new zone based on the RT Zone, Traditional Residential Attached Dwelling District, to permit eight ground-oriented townhouse units in a single building.

The subject site is located within the Traditional Residential urban place designation in the *Official Community Plan, 2012* (OCP), which envisions residential uses in a wide range of primarily ground-oriented building forms. The proposal to permit the construction of eight ground-oriented townhouse units is consistent with OCP objectives to encourage and expand housing options and provide a wide range of housing choice. The rezoning application is also consistent with the *Victoria West Neighbourhood Plan* which identifies the property as Traditional Residential and further identifies this property in the Craigflower Village Adjacent Sub-Area. Within the Craigflower Village Adjacent Sub-Area, a range of attached housing including ground-oriented townhouses with density up to 1.5:1 floor space ratio (FSR) is supported. The proposal has attributes of a corner townhouse development supported in the Missing Middle Housing Initiative. However, the proposal exceeds the FSR for a corner townhouse in the Missing Middle regulations resulting in the need for the application to proceed through the rezoning process.

The proposal also requires a Development Permit with Variances Application and would require a number of variances, as follows:

- i. reduce the front yard (Raynor Street) setback from 6.00m to 2.23m;
- ii. reduce the side flanking (Russell Street) setback from 6.00m to 3.40m;
- iii. reduce the rear (south) setback from 4.0m to 1.52m;
- iv. reduce the side (east) setback from 4.0m to 3.01m;
- v. increase the site coverage from 50% to 53.3%;
- vi. decrease the number of required visitor parking stalls from 1 to 0; and
- vii. decrease the number of required van accessible parking stalls from 1 to 0.

While the proposal is generally consistent with the OCP and neighbourhood plan objectives, the subject site has inherent constraints being a corner lot that is slightly narrow in width and abutting residential uses that require additional setbacks and design considerations.

Staff are looking for commentary from the Advisory Design Panel with regard to:

- The reduced setbacks on the front street (Raynor Street) from 6.0m to 2.23m and the flanking street (Russell Street) from 6.0m to 3.4m and the relationship between the sidewalk/street and the building
- The variance on the side (east) setback to 3.01m. The guidelines in the neighbourhood plan recommend a 6.0m setback for a usable rear yard and separation from adjacent buildings and rear yards
- The variance to the south (rear) setback from 4.0m to 1.52m and the transition to adjacent residential use
- Any other aspects of the proposal on which the ADP chooses to comment.

The Options section of this report provides guidance on possible recommendations that the Panel may make, or use as a basis to modify, in providing advice on this application.

## **BACKGROUND**

<b>Applicant:</b>	Mr. Andrew Mills Hazlet Homes
<b>Architect:</b>	Victoria Design Group
<b>Development Permit Area:</b>	Development Permit Area 15F, Missing Middle Housing
<b>Heritage Status:</b>	N/A

## **Description of Proposal**

This proposal is to rezone from the R-2, Two Family Dwelling District to a new zone based on the RT, Traditional Residential Attached Dwelling District, to increase the density from 0.5:1 FSR to 1.23:1 FSR and allow eight ground-oriented townhouse units in a single row fronting onto Russell Street. Parking would be located underneath the building.

The associated Development Permit with Variances is to allow the construction of one building with eight townhouses, underground parking, and landscaping.



1035 Russell Street  
Rezoning No.00844



The following data table compares the proposal with the existing R-2 Zone, Two Family Dwelling District. An asterisk is used to identify where the proposal does not meet the requirements of the existing Zone.

Zoning Criteria	Proposal	RT Zone	Missing Middle – Corner Townhouse	Victoria West Neighbourhood Plan
Site area (m <sup>2</sup> ) – minimum	735.6	920	n/a	
Number of units – maximum	8	4	12	
Density (Floor Space Ratio) – maximum	1.23:1	1:1	1.1:1 (where an amenity is provided)	1.5:1
Total floor area (m <sup>2</sup> ) – maximum	906.54	735.56	1410	
Lot width (m) – minimum	18.29	20	18	
Height (m) – maximum	8.7	10.5	12	10.7
Storeys – maximum	3	3	n/a	3
Site coverage (%) – maximum	<b>53.27*</b>	40	50	
Open site space (%) – minimum	40.18	30	45	
Number of buildings on a lot	1	>1	1	Townhouse in a single row
<b>Setbacks</b> (m) – minimum				
Front - Raynor	<b>2.23*</b>	6.0	2.0	
Front yard projections (max)	1.55	n/a	2.0	
Rear – South	<b>1.52*</b>	4.0	5.0	
Side (east)	<b>3.01*</b>	4.0	5.0	
Side on flanking street – Russell	<b>3.4*</b>	6.0	2.0	

Zoning Criteria	Proposal	RT Zone	Missing Middle – Corner Townhouse	Victoria West Neighbourhood Plan
Parking – minimum	8	7	7	
Visitor parking included in the overall units – minimum	0*	1	1	
Van accessible stalls – minimum	0*	1	1	

**Sustainable Mobility**

The application proposes 12 long term bicycle parking spaces, and each residential unit will be provided with electric vehicle and e-bike charging capabilities which supports multimodal transportation.

**Consistency with Policies and Design Guidelines**

Official Community Plan

The proposal is located within the Traditional Residential urban place designation in the *Official Community Plan, 2012* (OCP), which envisions residential uses in a wide range of primarily ground-oriented building forms. The proposal to permit the construction of eight ground-oriented townhouse units is consistent with OCP objectives to encourage and expand housing options.

The OCP identifies this property within DPA 15F: Missing Middle Housing. This proposal is generally consistent with these guidelines that support multi-unit residential developments that provide a sensitive transition to and complement adjacent and nearby areas with built form that is three storeys, or lower.

Victoria West Neighbourhood Plan

The rezoning application is also consistent with the *Victoria West Neighbourhood Plan* which identifies the property as Traditional Residential and further identifies this property in the Craigflower Village Adjacent Sub-Area. Within the Craigflower Village Adjacent Sub-Area, a range of attached housing including ground-oriented townhouses with density up to 1.5:1 FSR is supported.

The proposal is generally consistent with Development Permit Area 15F: Missing Middle objectives and guidelines, and with the *Victoria West Neighbourhood Plan* design guidelines in terms of visual character and siting. The *Victoria West Neighbourhood Plan* urban design policies for this site support townhouses in a single row and encourage residential development which complements the adjacent Craigflower Village in form, scale and design, downslope from adjacent lower-density areas. There is support for townhouses oriented to the side or flanking street (longer frontage) of a corner lot with reduced setbacks up to 2.5m from the street. The *Victoria West Neighbourhood Plan* urban design policies also recommend a 6.0m rear yard setback to enable

a usable rear yard and separation from adjacent residential uses which this design doesn't comply with.

## **Regulatory Considerations**

Due to the size and configuration of the subject site, and the design and siting of the building, several variances would be needed to accommodate the proposed project. Reduced setbacks to both Raynor and Russell Streets are supported in policy, however the impact and design consideration of the interface between the building and the street and sidewalk should be considered. Reductions are also required to the side (east) and rear (south) setbacks, and both abut adjacent lower density residential. The reduction to the rear yard setback is inconsistent with policy. The impact and design considerations of higher density residential being proposed adjacent to existing low density residential should be considered.

## **ISSUES AND ANALYSIS**

### **OPTIONS**

The following are three potential options that the Panel may consider using or modifying in formulating a recommendation to Council:

#### **Option One**

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00266 for 1035 Russell Street be approved as presented.

#### **Option Two**

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00266 for 1035 Russell Street be approved with the following changes:

- as listed by the ADP.

#### **Option Three**

That the Advisory Design Panel recommend to Council that Development Permit Application No. 00266 for 1035 Russell Street does not sufficiently meet the applicable design guidelines and polices and should be declined (and that the key areas that should be revised include:)

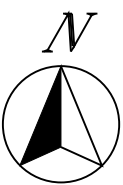
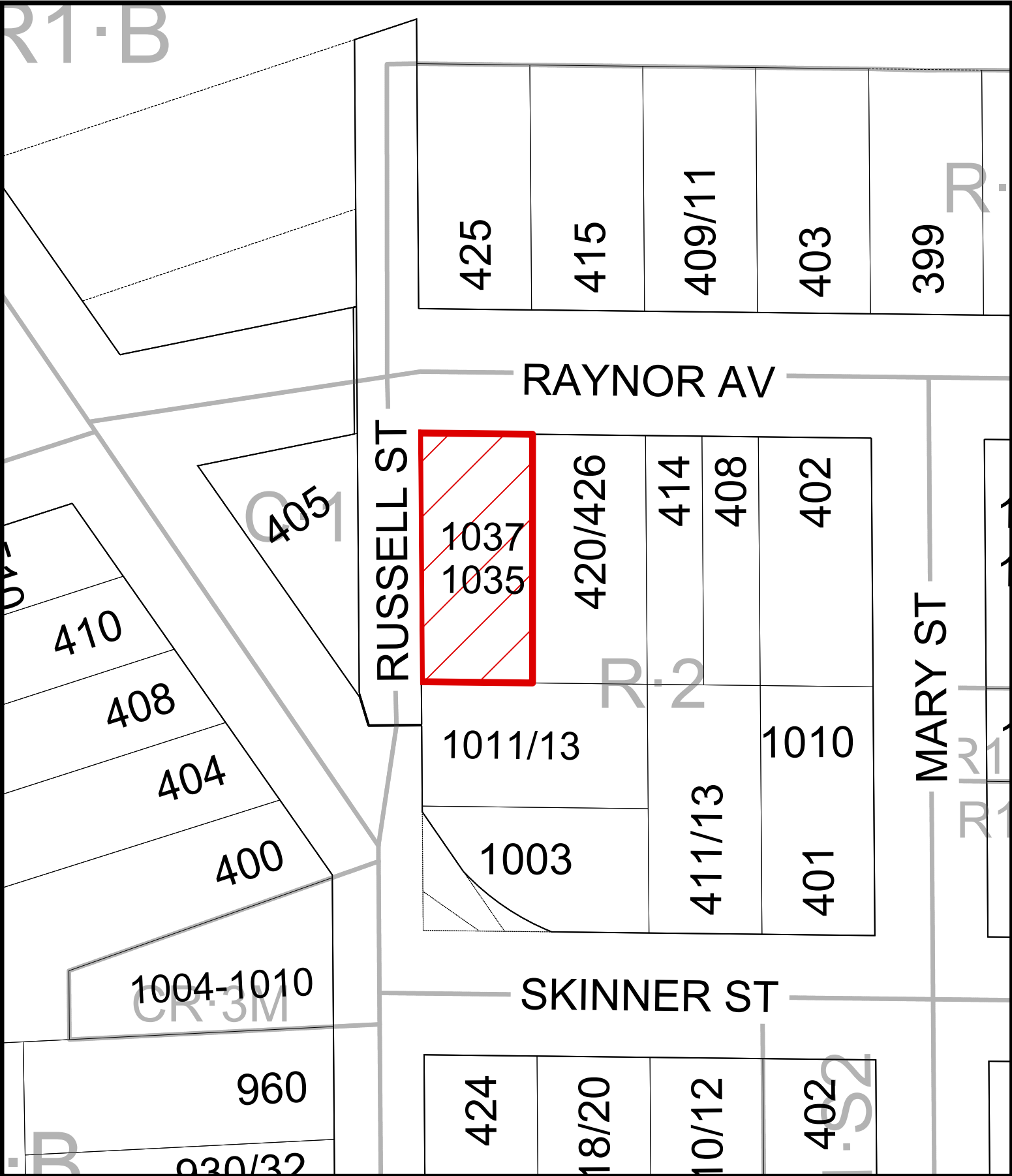
- as listed by the ADP, if there is further advice on how the application could be improved.

## **ATTACHMENTS**

- Subject Map
- Plans date stamped December 1, 2023
- Applicant's letter dated February 8, 2024

cc: Applicant: Andrew Mills, Hazlet Homes; Architect: Victoria Design Group

R1-B



1035 Russell Street  
Rezoning No.00844



**SKETCH PLAN OF:**

Lot 168, Block S, Section 31,  
Esquimalt District, Plan 549

Civic address: 1035 Russell, Victoria, BC  
Parcel Identifier Number 004-645-227 in the City of Victoria

**LEGEND**

Denotes spot elevation + 0.00  
Denotes tree, tag no. & species tag no. tree  
(trees not plotted to scale)  
Buildings are measured to the exterior of exterior walls unless indicated otherwise  
Fence, retaining walls & hedge locations are approximate only  
Elevations are derived from a Geodetic datum

Setbacks are derived from field survey.  
Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

**SURVEY INFORMATION PROVIDED BY**

Glen Mitchell  
Land Surveying Inc.  
1030 North Park Street  
Victoria, BC V8T 1C6  
(250) 385-1712

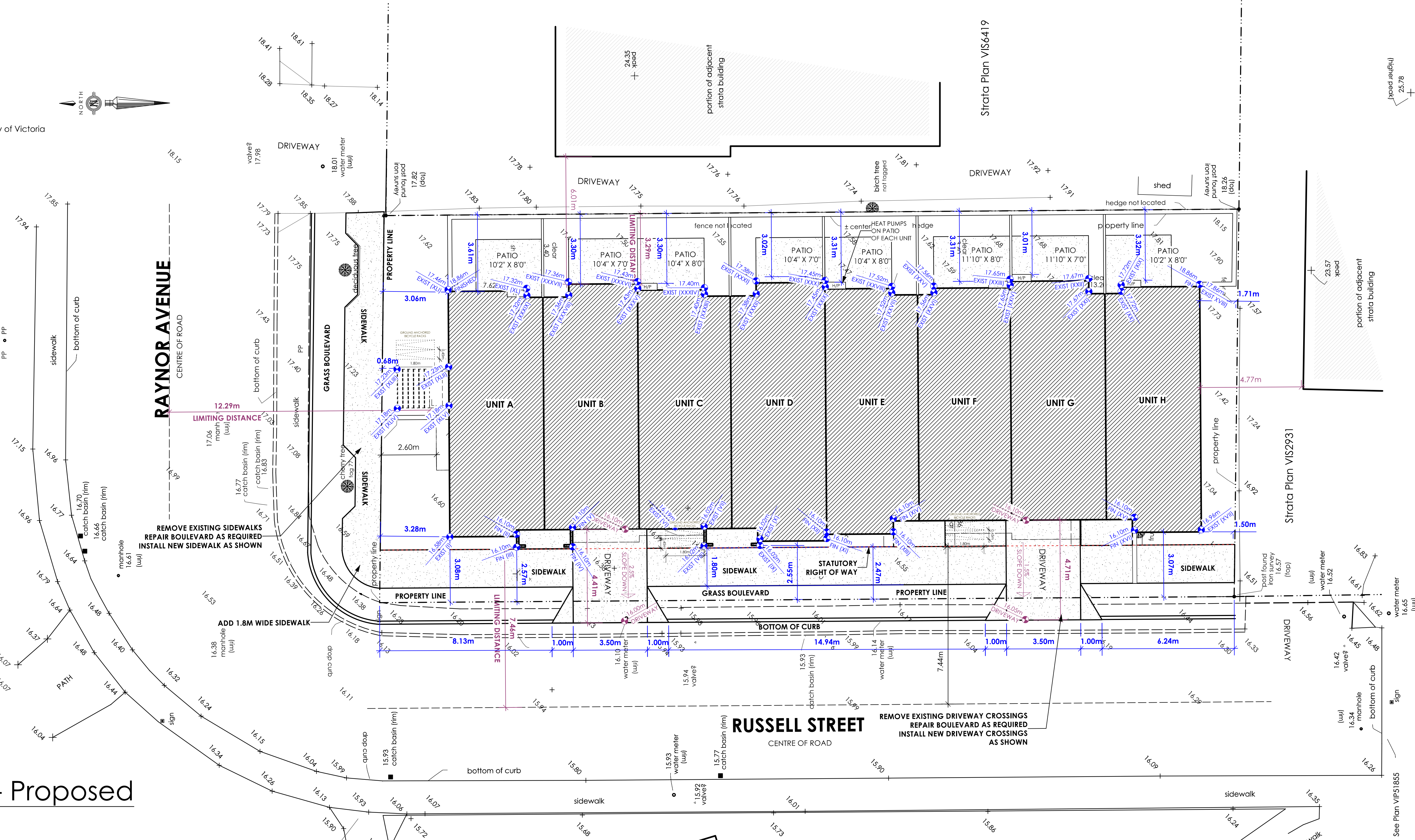
**1 Site Plan - Proposed**  
A2 Scale: 1:100

PROJECT INFORMATION TABLE	
Zone (existing)	R-2
Proposed zone	RT
Site area (m <sup>2</sup> )	735.56 sq.m. *
Total floor area (m <sup>2</sup> )	906.54 m. *
Commercial floor area (m <sup>2</sup> )	0.00 m. *
Floor space ratio	1.23:1.0 *
Site coverage (%)	53.27% *
Open site space (%)	40.18% *
Height of building (m)	9.84m
Number of storeys	3
Parking stalls (number) on site	8
Bicycle parking number (Class 1)	6
Bicycle parking number (Class 2)	12
<b>BUILDING SETBACKS (m)</b>	
Front yard	0.68 m *
Rear yard	1.50 m *
Side yard (East)	3.01 m *
Side yard (West)	2.57 m
Combined side yards (East + West)	5.58 m
<b>RESIDENTIAL USE DETAILS</b>	
Total number of units	8 *
Unit type, e.g., 1 bedroom	2 Bedroom & 3 Bedroom
Ground-orientated units	0
Minimum unit floor area (m <sup>2</sup> )	N/A
First storey area (m <sup>2</sup> )	114.47 sq.m.
Second storey area (m <sup>2</sup> )	395.83 sq.m.
Third storey area (m <sup>2</sup> )	396.24 sq.m.
Total building floor area (excl. req. parking)	906.54 sq.m.
* Variance Request	

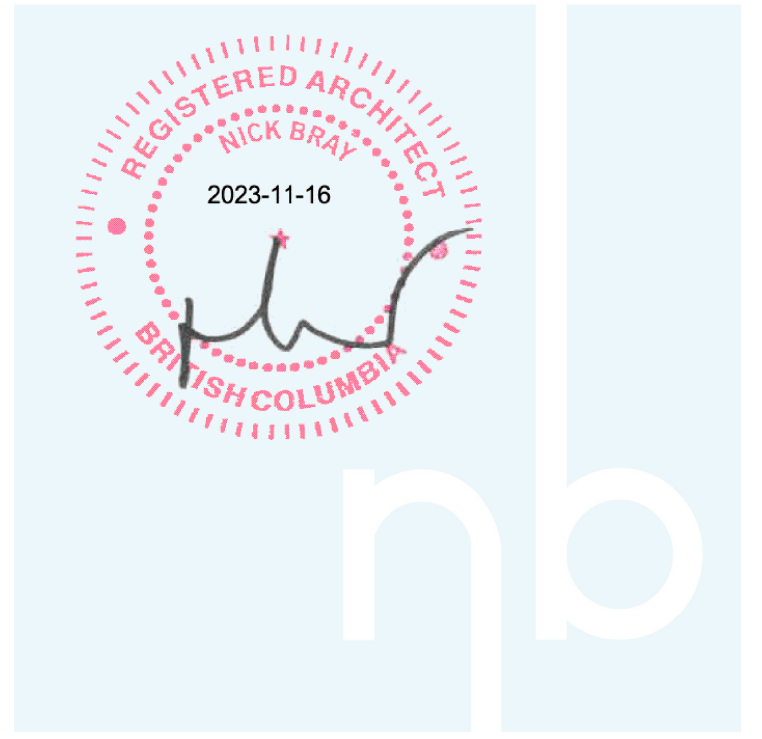
**AVERAGE GRADE CALCULATIONS**

	LENGTH	EQUAL		LENGTH	EQUAL
I TO II:	16.58 + 16.10 / 2 = 16.34 x 3.15	= 51.47	XXV TO XXVI:	17.56 + 17.56 / 2 = 17.56 x 0.31	= 5.44
II TO III:	16.10 + 16.10 / 2 = 16.10 x 0.61	= 9.82	XXVI TO XXVII:	17.56 + 17.52 / 2 = 17.54 x 1.98	= 34.73
III TO IV:	16.10 + 16.10 / 2 = 16.10 x 2.64	= 42.50	XXVII TO XXVIII:	17.52 + 17.52 / 2 = 17.52 x 0.31	= 5.43
IV TO V:	16.10 + 16.10 / 2 = 16.10 x 0.92	= 14.81	XXVIII TO XXIX:	17.52 + 17.45 / 2 = 17.49 x 3.16	= 55.25
V TO VI:	16.10 + 16.19 / 2 = 16.15 x 4.84	= 78.14	XXIX TO XXX:	17.45 + 17.45 / 2 = 17.45 x 0.30	= 5.24
VI TO VII:	16.19 + 16.02 / 2 = 16.11 x 1.36	= 21.90	XXX TO XXXI:	17.45 + 17.38 / 2 = 17.42 x 3.25	= 56.60
VII TO VIII:	16.02 + 16.02 / 2 = 16.02 x 0.91	= 14.58	XXXI TO XXXII:	17.38 + 17.38 / 2 = 17.38 x 0.61	= 10.60
VIII TO IX:	16.02 + 16.02 / 2 = 16.02 x 2.64	= 42.29	XXXII TO XXXIII:	17.38 + 17.40 / 2 = 17.39 x 2.44	= 42.43
IX TO X:	16.02 + 16.02 / 2 = 16.02 x 0.31	= 4.97	XXXIII TO XXXIV:	17.40 + 17.40 / 2 = 17.40 x 0.30	= 5.22
X TO XI:	16.02 + 16.10 / 2 = 16.06 x 3.16	= 50.75	XXXIV TO XXXV:	17.40 + 17.43 / 2 = 17.42 x 3.15	= 54.86
XI TO XII:	16.10 + 16.10 / 2 = 16.10 x 0.30	= 4.83	XXXV TO XXXVI:	17.43 + 17.43 / 2 = 17.43 x 0.31	= 5.40
XII TO XIII:	16.10 + 16.10 / 2 = 16.10 x 3.16	= 50.88	XXXVI TO XXXVII:	17.43 + 17.36 / 2 = 17.40 x 3.25	= 56.53
XIII TO XIV:	16.10 + 16.10 / 2 = 16.10 x 0.61	= 9.82	XXXVII TO XXXVIII:	17.36 + 17.36 / 2 = 17.36 x 0.61	= 10.59
XIV TO XV:	16.10 + 16.10 / 2 = 16.10 x 11.37	= 183.06	XXXVIII TO XXXIX:	17.36 + 17.32 / 2 = 17.34 x 1.98	= 34.33
XV TO XVI:	16.10 + 16.10 / 2 = 16.10 x 0.61	= 9.82	XXXIX TO XL:	17.32 + 17.32 / 2 = 17.32 x 0.30	= 5.20
XVI TO XVII:	16.10 + 16.96 / 2 = 16.53 x 3.27	= 54.05	XL TO XLI:	17.32 + 17.46 / 2 = 17.39 x 3.71	= 64.52
XVII TO XVIII:	16.96 + 17.86 / 2 = 17.41 x 11.58	= 201.61	XLI TO XLII:	17.46 + 17.23 / 2 = 17.35 x 3.66	= 63.48
XVIII TO XIX:	17.86 + 17.72 / 2 = 17.79 x 3.70	= 65.82	XLII TO XLIII:	17.23 + 17.23 / 2 = 17.23 x 2.44	= 42.04
XIX TO XX:	17.72 + 17.72 / 2 = 17.72 x 0.30	= 5.32	XLIII TO XLIV:	17.23 + 17.18 / 2 = 17.21 x 1.83	= 31.49
XX TO XXI:	17.72 + 17.67 / 2 = 17.70 x 1.53	= 27.07	XLIV TO XLV:	17.18 + 17.18 / 2 = 17.18 x 2.45	= 42.09
XXI TO XXII:	17.67 + 17.67 / 2 = 17.67 x 0.61	= 10.78	XLV TO I:	17.18 + 16.58 / 2 = 16.88 x 6.09	= 102.80
XXII TO XXIII:	17.67 + 17.65 / 2 = 17.66 x 3.72	= 65.70			
XXIII TO XXIV:	17.65 + 17.65 / 2 = 17.65 x 0.31	= 5.47			
XXIV TO XXV:	17.65 + 17.56 / 2 = 17.61 x 3.60	= 63.38			
			<b>TOTAL</b>		107.65 1,823.11

Average Grade: 1823.11/107.65 = 16.94m



**Revisions**  
Received Date:  
**December 1, 2023**



**NOT FOR CONSTRUCTION**

**ISSUED/REVISED**

NO	DATE	DESCRIPTION
1	Oct 24 2022	Client Communications
2	Oct 31 2022	Client Communications
3	Nov 2 2022	Client Communications
4	Nov 9 2022	Pre-Submission For Review
5	Nov 17 2022	Streetscape For Pre-Submission
6	Dec 19 2022	Submission For Architect Review
7	Dec 22 2022	Resubmission For Architect Review
8	Jan 4 2023	Submission for Client Review
9	Jan 5 2023	Coloured Elevations for Review
10	Jan 16 2023	Coloured Elevations for Review
11	Jan 18 2023	Submission for Architect Review
12	Jan 23 2023	Issued for Rezoning
13	July 5 2023	Revised Site Plan - Landscape Design
14	July 12 2023	App. Review Summary Revisions
15	July 24 2023	Reissued for Rezoning
16	Nov 9 2023	Reissued for Rezoning

General Contractor and/or Owner to verify and thoroughly review all aspects of this and any required consultants' plan(s) prior to commencement and setting out of all work. Any discrepancies are to be reported to the Building Designer (VDG) immediately. VDG is not liable for plan modifications or discrepancies not reported. Refer to General notes.

BCLS and/or Contractor to verify placement and stiling of all structures on the lot. VDG is not responsible for encroachments of any kind with regard to stiling or placement of structures on lot(s).



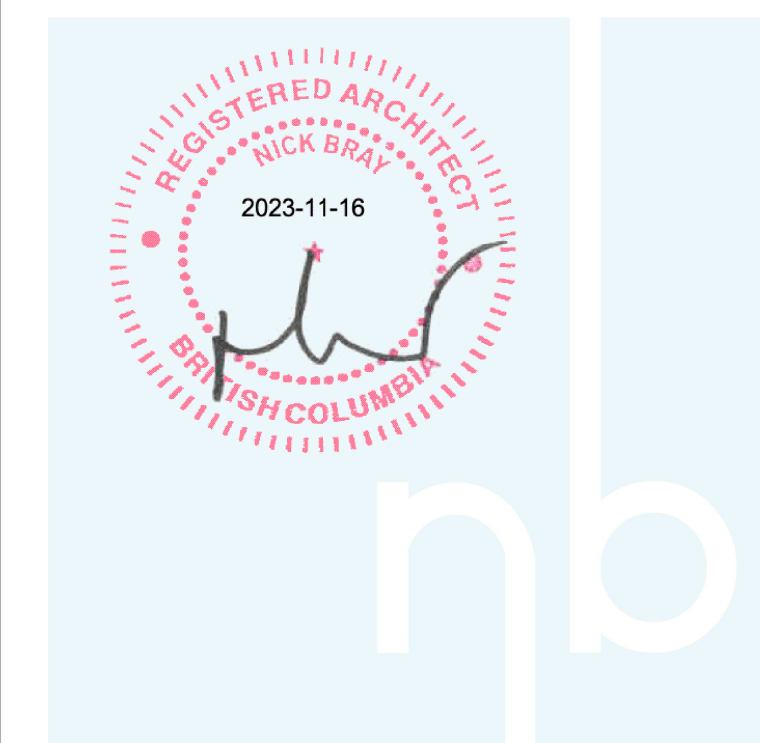
103 - 891 Athree Avenue  
Victoria, BC  
V9B 0A6  
P. 250.382.7374  
F. 250.382.7364  
www.victoriadesigngroup.ca

DATE	NO	DRWG #
Nov 9 2023	8521	
DRAWN BY	MIS	REVIEWED BY
		OW

Proposed Townhomes  
1035 Russell Street  
Victoria, BC

SHEET #  
**A102**





**NOT FOR CONSTRUCTION**

**ISSUED/REVISED**

NO	DATE	DESCRIPTION
1	Oct 24 2022	Client Communications
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Victoria, BC F. 250.382.7364  
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DATE	DRWG #
Nov 9 2023	8521
DRAWN BY	REVIEWED BY
MIS	OW

Proposed Townhomes  
1035 Russell Street  
Victoria, BC

SHEET #  
**A103**



**1**  
A103 **Russell Street - Proposed Streetscape**  
Scale: 3/16" = 1'-0"

\*CONCEPTUAL RENDERING  
DESIGN SUBJECT TO CHANGE

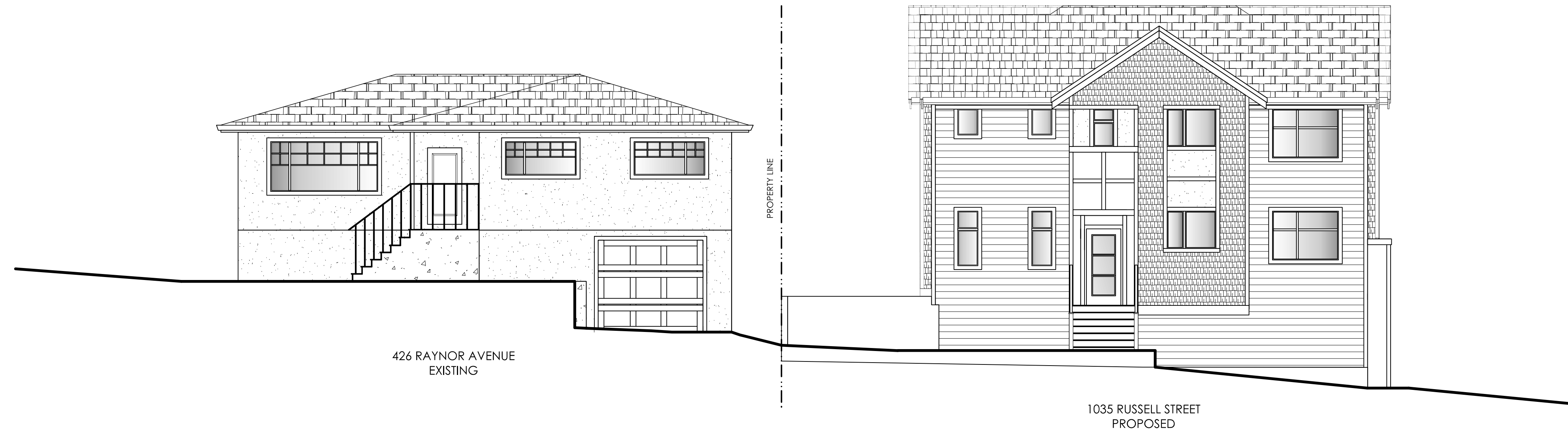


**2**  
A103 **Russell Street - Existing Streetscape**  
Scale: Not To Scale

**3**  
A103 **Context Plan**  
Scale: Not To Scale  
MAP IMAGE FOR CONTEXT  
TAKEN FROM GOOGLE MAPS



SUBJECT PROPERTY

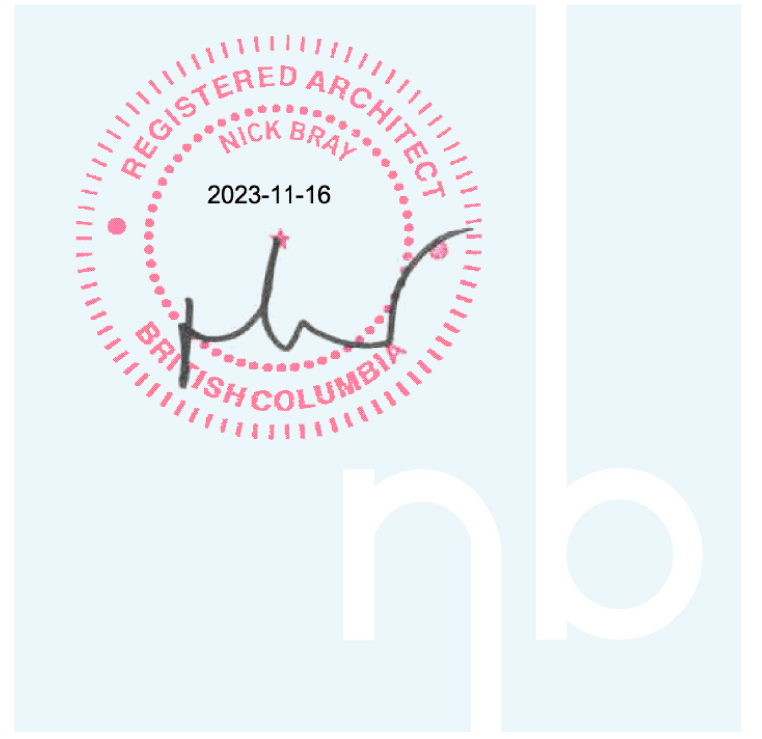


1  
A103 **Raynor Avenue - Proposed Streetscape**  
Scale: 3/16" = 1'-0"

\*CONCEPTUAL RENDERING  
DESIGN SUBJECT TO CHANGE



2  
A104 **Raynor Avenue - Existing Streetscape**  
Scale: Not To Scale



**NOT FOR CONSTRUCTION**

ISSUED/REVISED		
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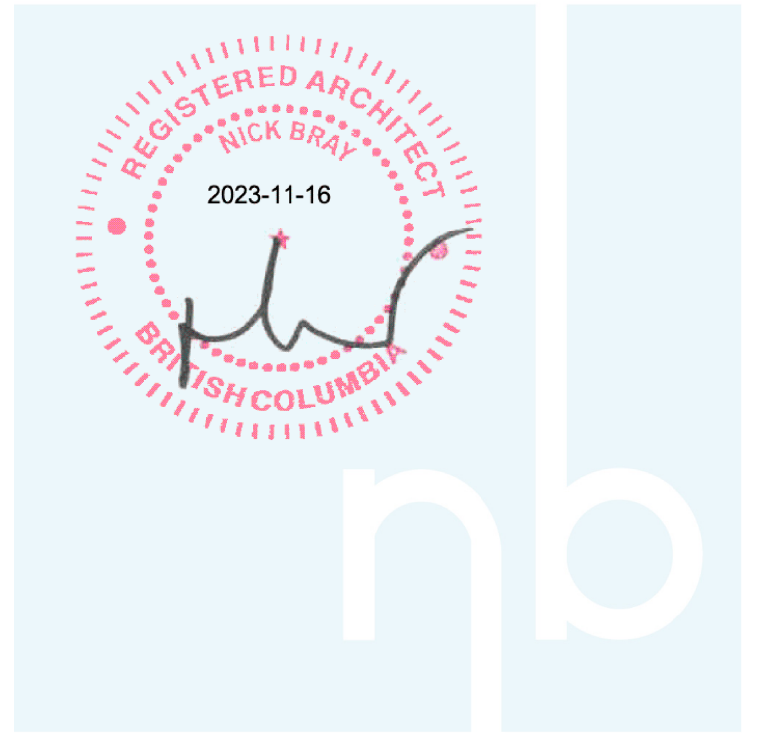


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Victoria, BC F. 250.382.7364  
V9B 0A6 www.victoriadesigngroup.ca

DATE	DRWG #
Nov 9 2023	8521
DRAWN BY	REVIEWED BY
MIS	OW

Proposed Townhomes  
1035 Russell Street  
Victoria, BC

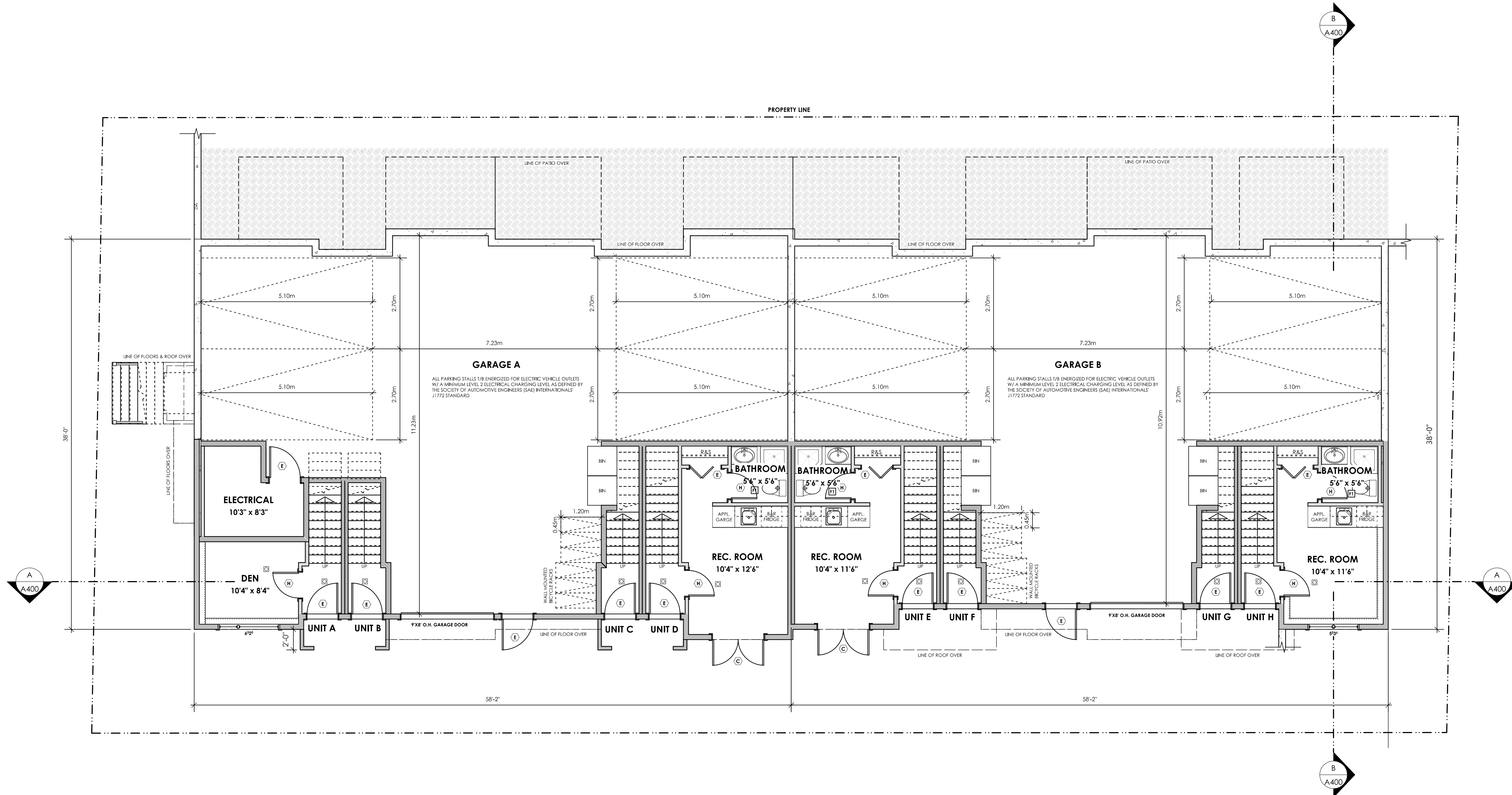
SHEET # **A104**



**NOT FOR CONSTRUCTION**

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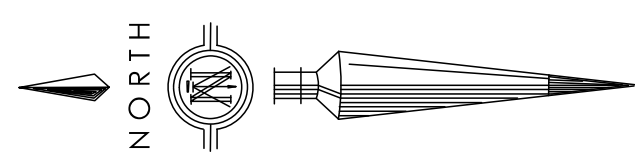


**1 First Storey Plan**  
A200 Scale: 3/16" = 1'-0"

UNIT A:	137.95 ft <sup>2</sup>	(12.82 m <sup>2</sup> )
UNIT B:	55.64 ft <sup>2</sup>	(5.17 m <sup>2</sup> )
UNIT C:	69.50 ft <sup>2</sup>	(6.46 m <sup>2</sup> )
UNIT D:	262.54 ft <sup>2</sup>	(24.39 m <sup>2</sup> )
UNIT E:	248.37 ft <sup>2</sup>	(23.07 m <sup>2</sup> )
UNIT F:	65.00 ft <sup>2</sup>	(6.04 m <sup>2</sup> )
UNIT G:	65.33 ft <sup>2</sup>	(6.07 m <sup>2</sup> )
UNIT H:	243.64 ft <sup>2</sup>	(22.64 m <sup>2</sup> )
ELECT:	84.06 ft <sup>2</sup>	(7.81 m <sup>2</sup> )
TOTAL:	1232.03 ft <sup>2</sup>	(114.47 m <sup>2</sup> )

DOOR SCHEDULE	
(A)	80 X 68 (94" X 80")
(B)	40 X 68 (72" X 80")
(C)	50 X 68 (60" X 80")
(D)	40 X 68 (48" X 80")
(E)	30 X 68 (36" X 80")
(F)	210 X 68 (34" X 80")
(G)	28 X 68 (32" X 80")
(H)	26 X 68 (30" X 80")
(J)	24 X 68 (28" X 80")
(K)	20 X 68 (24" X 80")
(L)	16 X 68 (18" X 80")

GARAGE A:	1484.23 ft <sup>2</sup>	(137.89 m <sup>2</sup> )
GARAGE B:	1418.81 ft <sup>2</sup>	(131.82 m <sup>2</sup> )
TOTAL:	2903.04 ft <sup>2</sup>	(269.41 m <sup>2</sup> )



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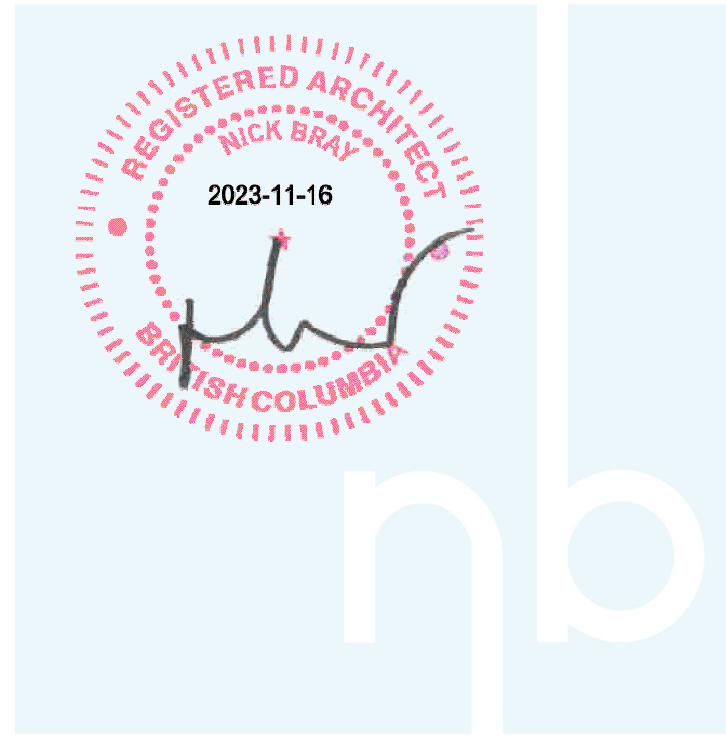


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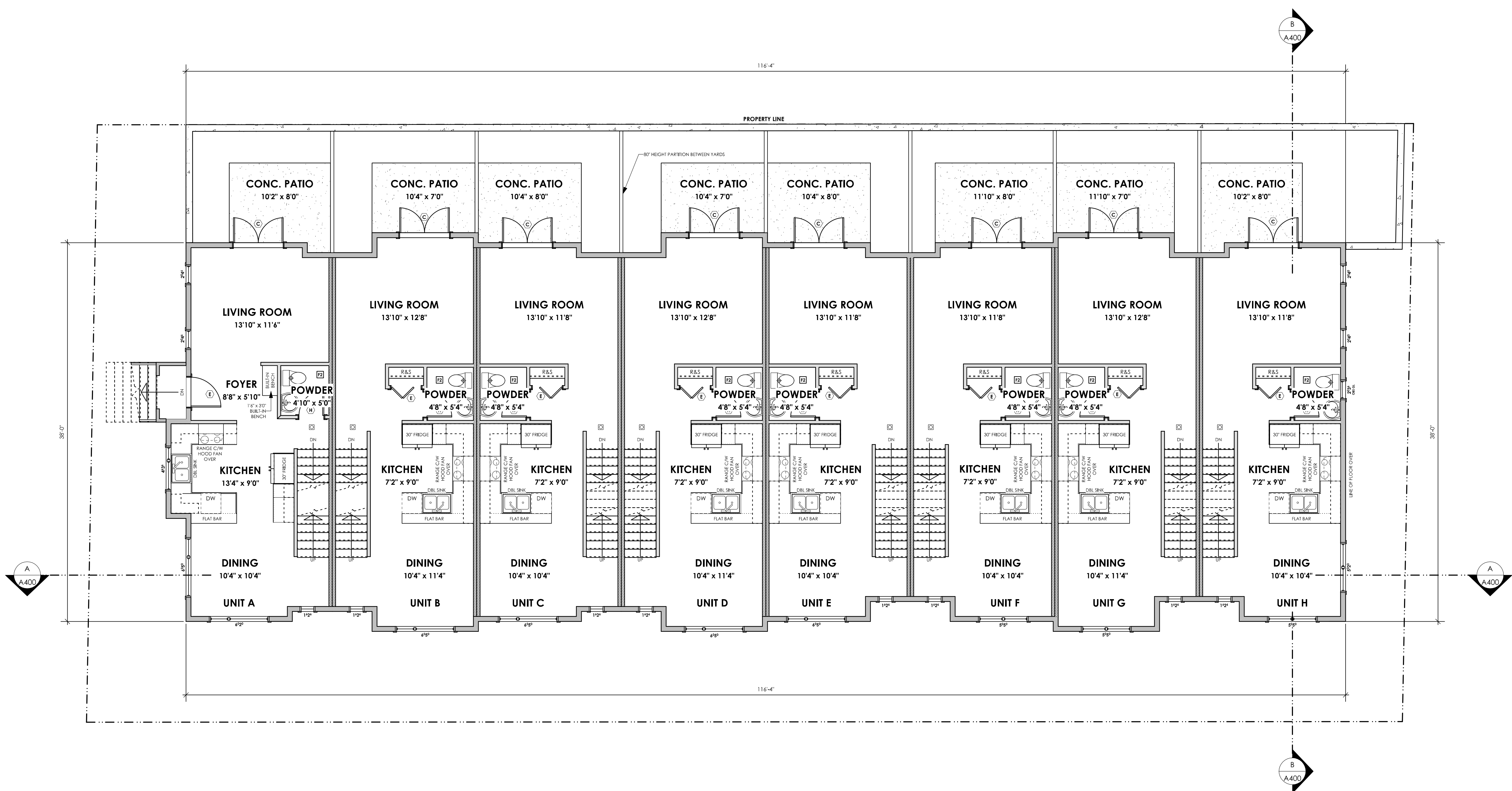
Proposed Townhomes  
1035 Russell Street  
Victoria, BC



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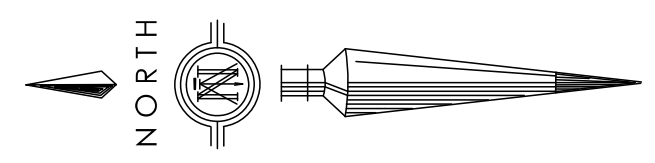


**1** Second Storey Plan  
Scale: 3/16" = 1'-0"

UNIT	AREA (sq ft)	AREA (sq m)
UNIT A:	534.64	49.67
UNIT B:	546.83	50.80
UNIT C:	527.50	49.00
UNIT D:	546.85	50.80
UNIT E:	523.00	48.59
UNIT F:	524.50	48.73
UNIT G:	545.33	50.66
UNIT H:	512.17	47.58
<b>TOTAL:</b>	<b>4257.51</b>	<b>395.83</b>

**DOOR SCHEDULE**

(A)	80 X 68 (96" X 80")
(B)	60 X 68 (72" X 80")
(C)	50 X 68 (60" X 80")
(D)	40 X 68 (48" X 80")
(E)	30 X 68 (36" X 80")
(F)	210 X 68 (34" X 80")
(G)	28 X 68 (32" X 80")
(H)	26 X 68 (30" X 80")
(J)	24 X 68 (28" X 80")
(K)	20 X 68 (24" X 80")
(L)	16 X 68 (18" X 80")



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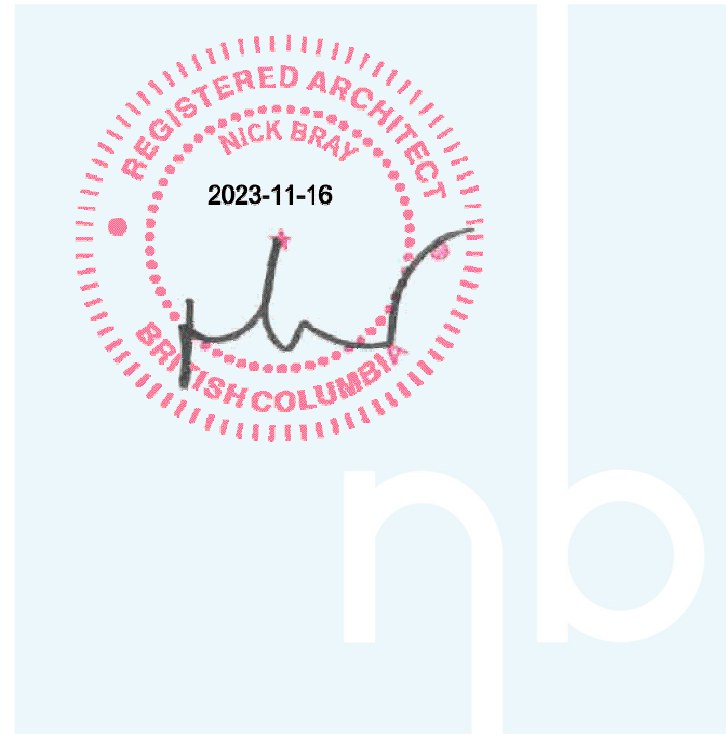
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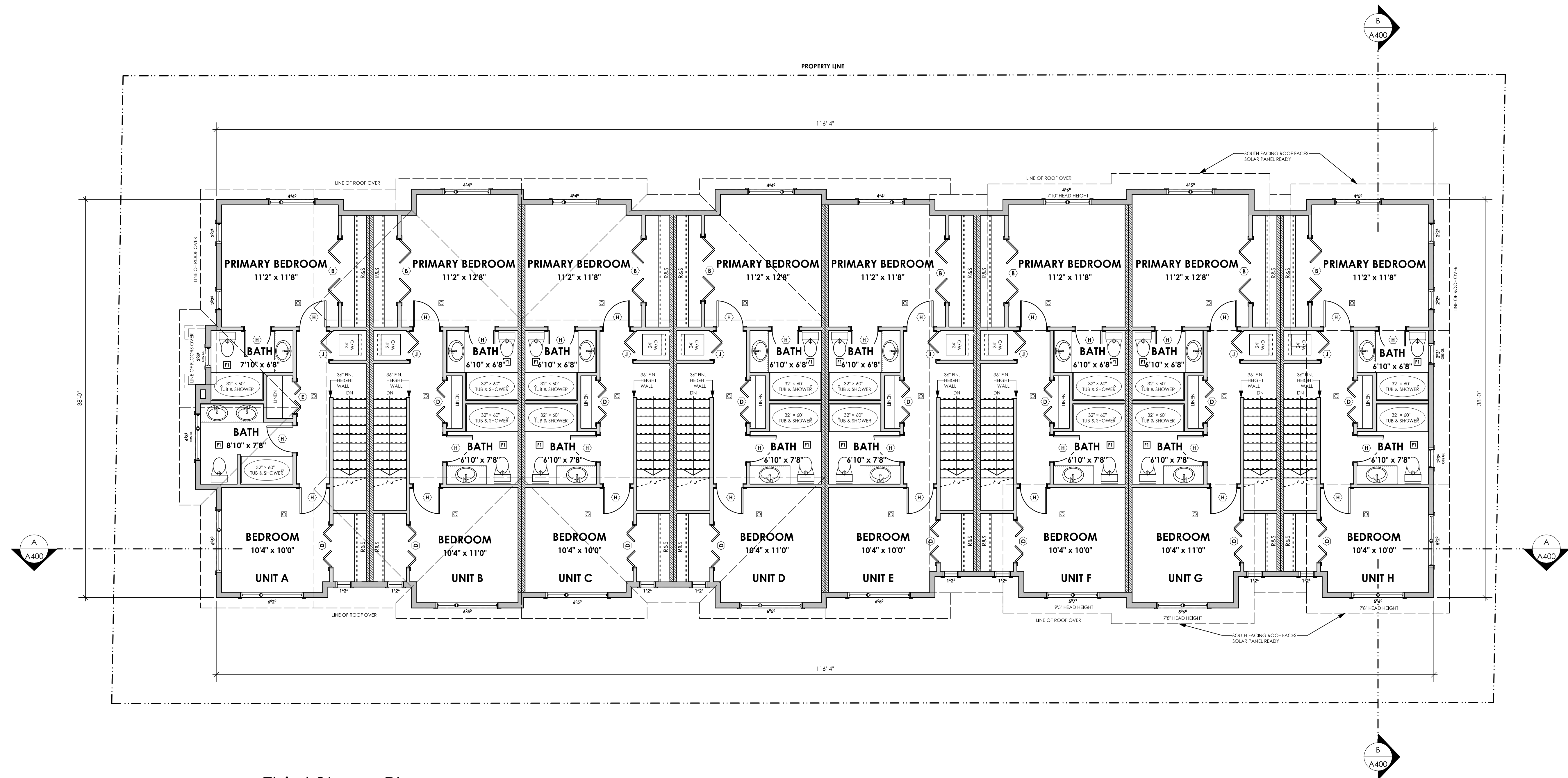
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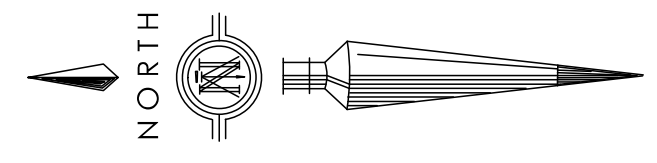
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**1** Third Storey Plan  
A202 Scale: 3/16" = 1'-0"

UNIT A:	539.00 HF [50.07 m <sup>2</sup> ]	<b>DOOR SCHEDULE</b>	(T)	2'10" X 6'8" (34" X 80")	
UNIT B:	546.83 HF [50.80 m <sup>2</sup> ]	(A)	8'0" X 6'8" (96" X 80")	(G)	2'8" X 6'8" (32" X 80")
UNIT C:	527.50 HF [49.00 m <sup>2</sup> ]	(B)	6'0" X 6'8" (72" X 80")	(H)	2'6" X 6'8" (30" X 80")
UNIT D:	546.83 HF [50.80 m <sup>2</sup> ]	(C)	5'0" X 6'8" (60" X 80")	(J)	2'4" X 6'8" (28" X 80")
UNIT E:	523.00 HF [48.59 m <sup>2</sup> ]	(D)	4'0" X 6'8" (48" X 80")	(K)	2'0" X 6'8" (24" X 80")
UNIT F:	524.50 HF [48.73 m <sup>2</sup> ]	(E)	3'0" X 6'8" (36" X 80")	(L)	1'6" X 6'8" (18" X 80")
UNIT G:	545.33 HF [50.66 m <sup>2</sup> ]				
UNIT H:	512.17 HF [47.88 m <sup>2</sup> ]				
TOTAL:	4265.22 HF [396.24 m <sup>2</sup> ]				



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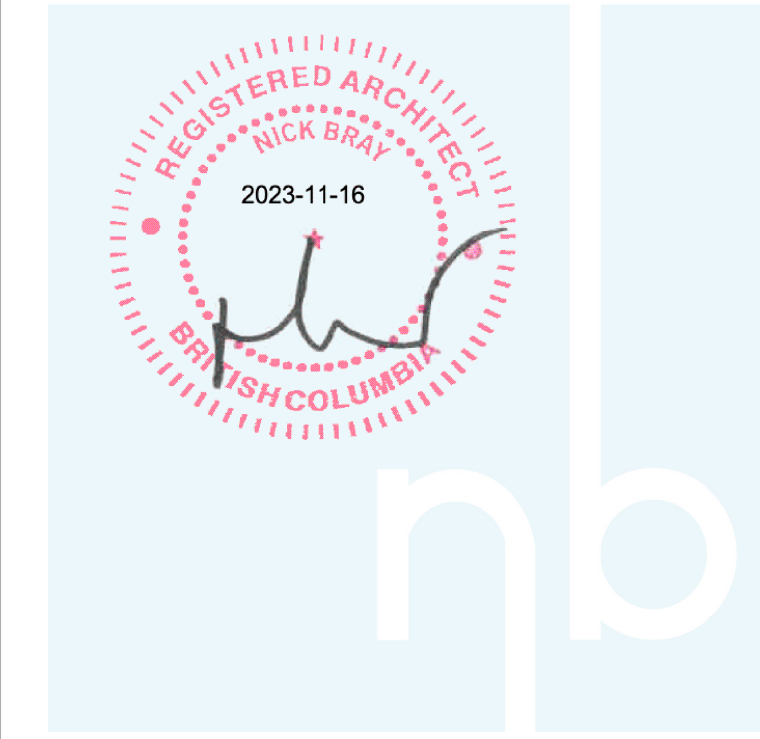
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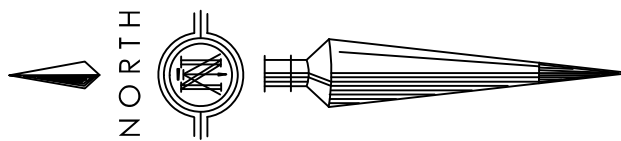
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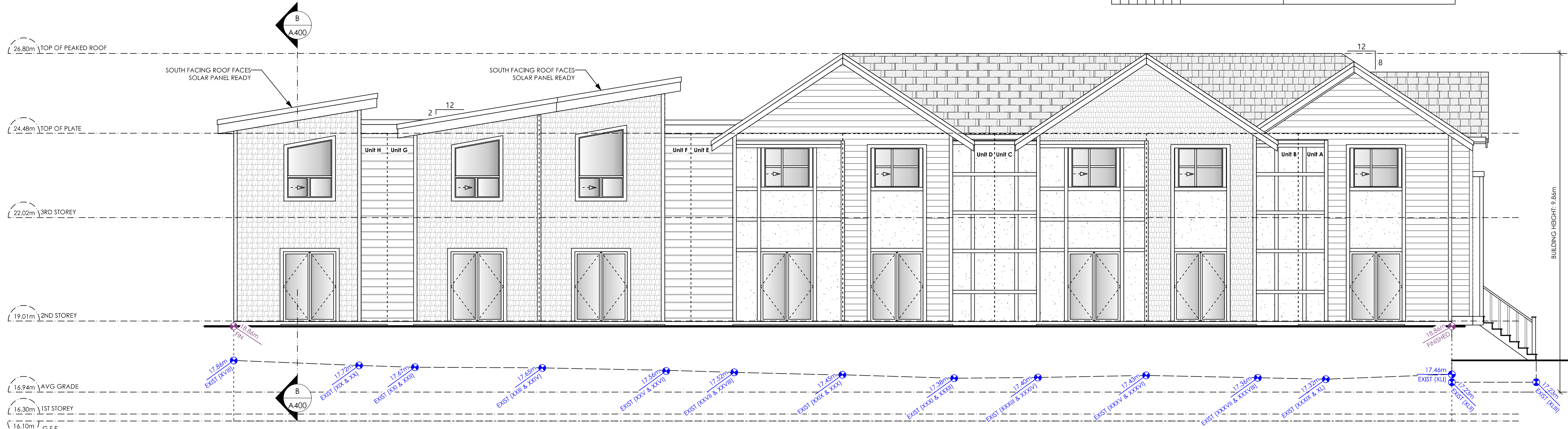
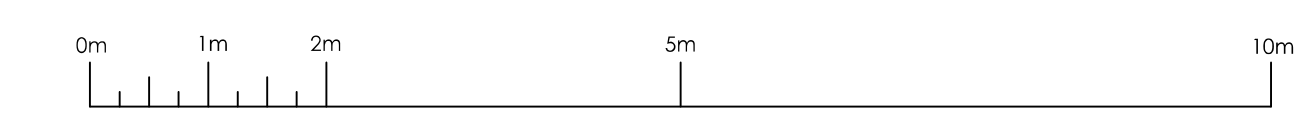
**1 West (Right) Elevation**  
Scale: 3/16" = 1'-0"



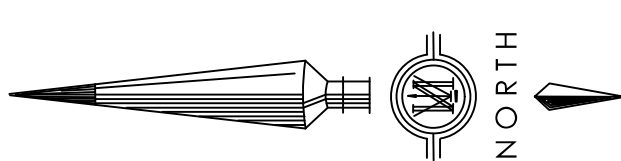
1	LAMINATED ASPHALT SHINGLES	7	FIBRE CEMENT 7" LAP SIDING (JAMESHARDIE OR EQ.)	13	CORRUGATED METAL SIDING
2	PRE-FAB. ALUMINIUM GUTTER	8	1X6 TRIM	14	FINISHED GRADE
3	METAL FLASHING ON 2X6 TRIM ON 2X12 FASCIA	9	FIBRE CEMENT PANEL (JAMESHARDIE OR EQ.)	15	EXISTING GRADE
4	SOFFIT	10	FIBRE CEMENT SHINGLE SIDING (JAMESHARDIE OR EQ.)		
5	2X6 TRIM ON 2X10 BARGE BOARD	11	FIBRE CEMENT 10 3/4" LAP SIDING (JAMESHARDIE OR EQ.)		
6	1X4 TRIM	12	BRUSHED METAL SIDING		

Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	FRR	Type of Construction <sup>1</sup>	Type of Cladding <sup>1</sup>
West (Right)							
Unit A	39.33 sq.m.	2.57 m.	100.00 %	14.98 %	45 min.	A/B	A/B
Unit B	36.16 sq.m.	2.57 m.	100.00 %	22.51 %	45 min.	A/B	A/B
Unit C	36.16 sq.m.	2.57 m.	100.00 %	27.65 %	45 min.	A/B	A/B
Unit D	36.16 sq.m.	2.57 m.	100.00 %	30.22 %	45 min.	A/B	A/B
Unit E	36.16 sq.m.	2.57 m.	100.00 %	30.22 %	45 min.	A/B	A/B
Unit F	38.72 sq.m.	2.57 m.	100.00 %	25.80 %	45 min.	A/B	A/B
Unit G	38.97 sq.m.	2.57 m.	100.00 %	20.94 %	45 min.	A/B	A/B
Unit H	36.77 sq.m.	2.57 m.	100.00 %	27.17 %	45 min.	A/B	A/B

<sup>1</sup> Type of Construction Used:  
A = Combustible  
B = Non Combustible  
\*TABLE COMPLIES WITH BCBC 9.10.14.4.(1)(a), 9.10.14.4.(7), and Table 9.10.14.5-A



**2 East (Left) Elevation**  
Scale: 3/16" = 1'-0"



Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	FRR	Type of Construction <sup>1</sup>	Type of Cladding <sup>1</sup>
East (Left)							
Unit A	27.76 sq.m.	3.29 m.	25.50 %	12.90 %	45 min.	A/B	B
Unit B	24.18 sq.m.	3.29 m.	25.50 %	14.81 %	45 min.	A/B	B
Unit C	24.18 sq.m.	3.29 m.	25.50 %	14.81 %	45 min.	A/B	B
Unit D	24.18 sq.m.	3.29 m.	25.50 %	14.81 %	hour	A/B	B
Unit E	24.18 sq.m.	3.29 m.	25.50 %	14.81 %	45 min.	A/B	B
Unit F	27.34 sq.m.	3.29 m.	25.50 %	15.91 %	45 min.	A/B	B
Unit G	25.07 sq.m.	3.29 m.	25.50 %	15.80 %	45 min.	A/B	B
Unit H	25.88 sq.m.	3.29 m.	25.50 %	15.30 %	45 min.	A/B	B

<sup>1</sup> Type of Construction Used:  
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\*TABLE COMPLIES WITH BCBC 9.10.14.4.(1)(a), 9.10.14.4.(7), and Table 9.10.14.5-A



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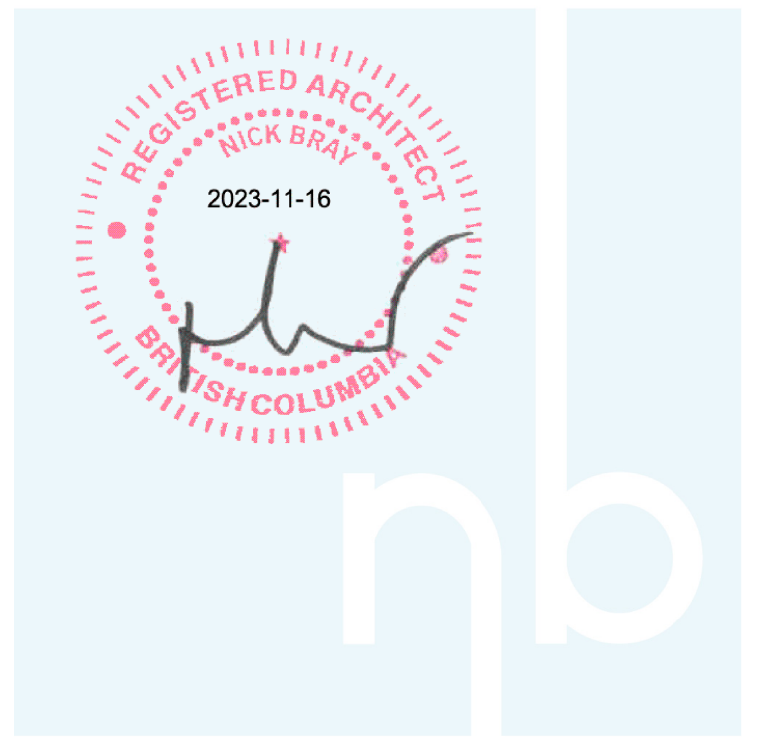


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SHEET #  
**A300**

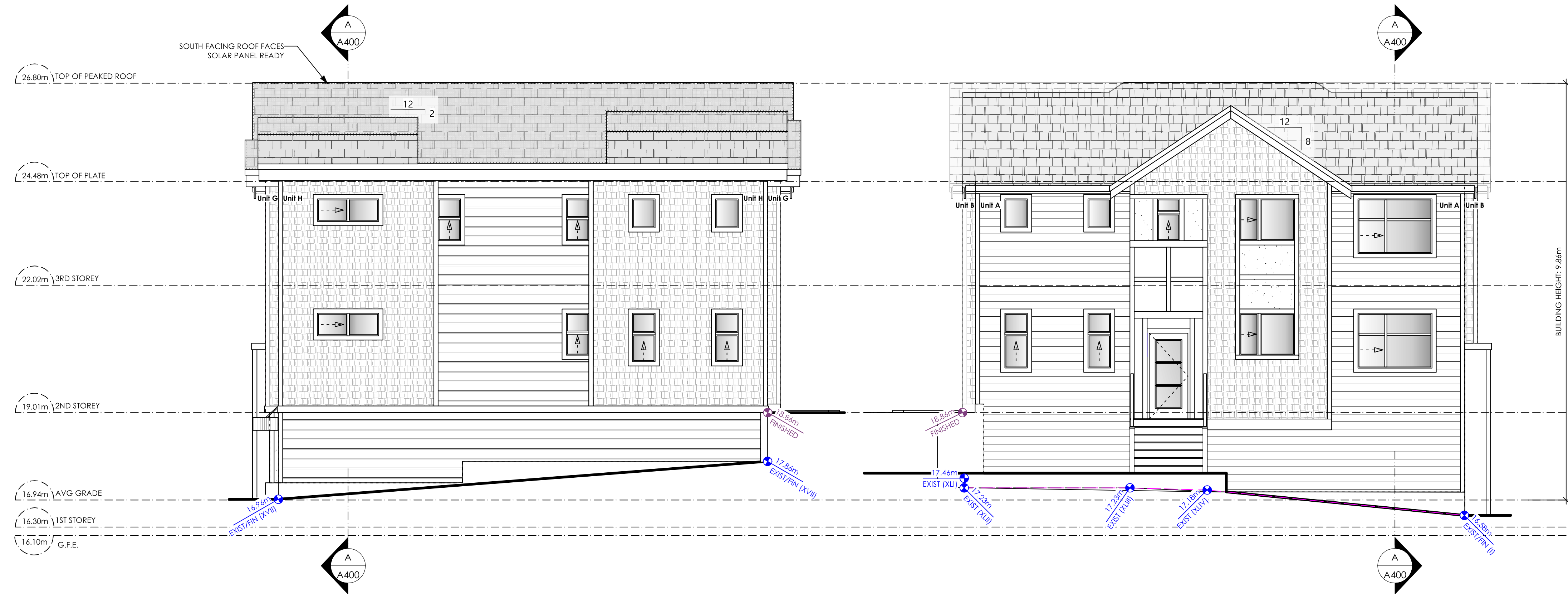


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4	SOFFIT
5	2X6 TRIM ON 2X10 BARGE BOARD
6	1X4 TRIM
7	FIBRE CEMENT 7" LAP SIDING (JAMESHARDIE OR EQ.)
8	1X6 TRIM
9	FIBRE CEMENT PANEL (JAMESHARDIE OR EQ.)
10	FIBRE CEMENT SHINGLE SIDING (JAMESHARDIE OR EQ.)
11	FIBRE CEMENT 10 3/4" LAP SIDING (JAMESHARDIE OR EQ.)
12	BRUSHED METAL SIDING
13	CORRUGATED METAL SIDING
14	FINISHED GRADE
15	EXISTING GRADE



1 South (Rear) Elevation  
A301 Scale: 3/16" = 1'-0"

2 North (Front) Elevation  
A301 Scale: 3/16" = 1'-0"

Elevation	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	FRR	Type of Construction	Type of Cladding
South (Rear)							
Unit H	78.96 sq.m.	1.50 m.	8.00 %	8.00 %	1 hr.	B	B
Unit G	3.78 sq.m.	1.50 m.	8.00 %	0.00 %	1 hr.	B	B
Front							
Unit A	85.20 sq.m.	12.9 m.	100.00 %	15.97 %	.45 min.	A/B	A/B
Unit B	1.80 sq.m.	12.9 m.	100.00 %	0.00 %	.45 min.	A/B	A/B

<sup>1</sup> Type of Construction Used:  
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\*TABLE COMPLIES WITH BCBC 9.10.14.4.(1)(a), 9.10.14.4.(7), and Table 9.10.14.5-A



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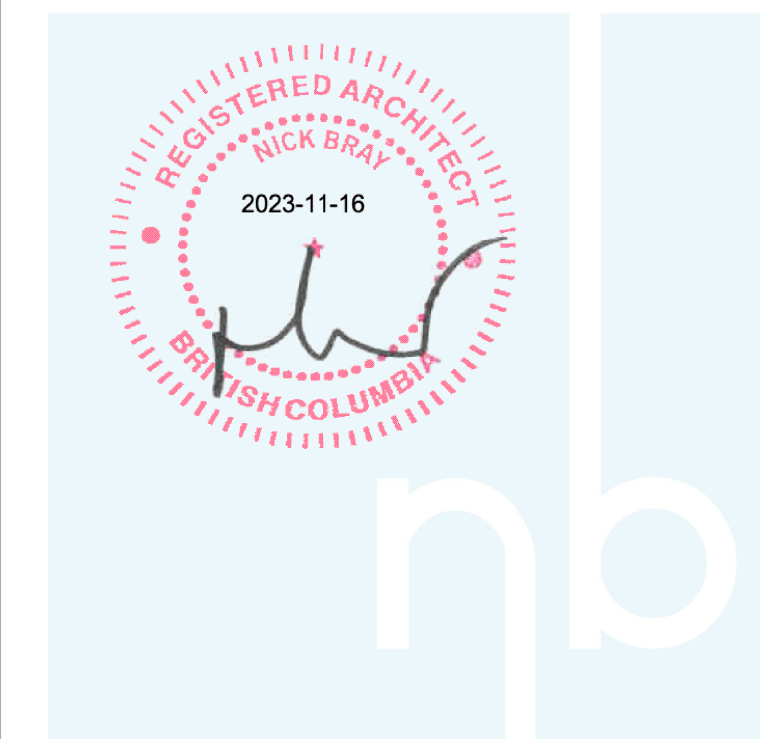


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SHEET #  
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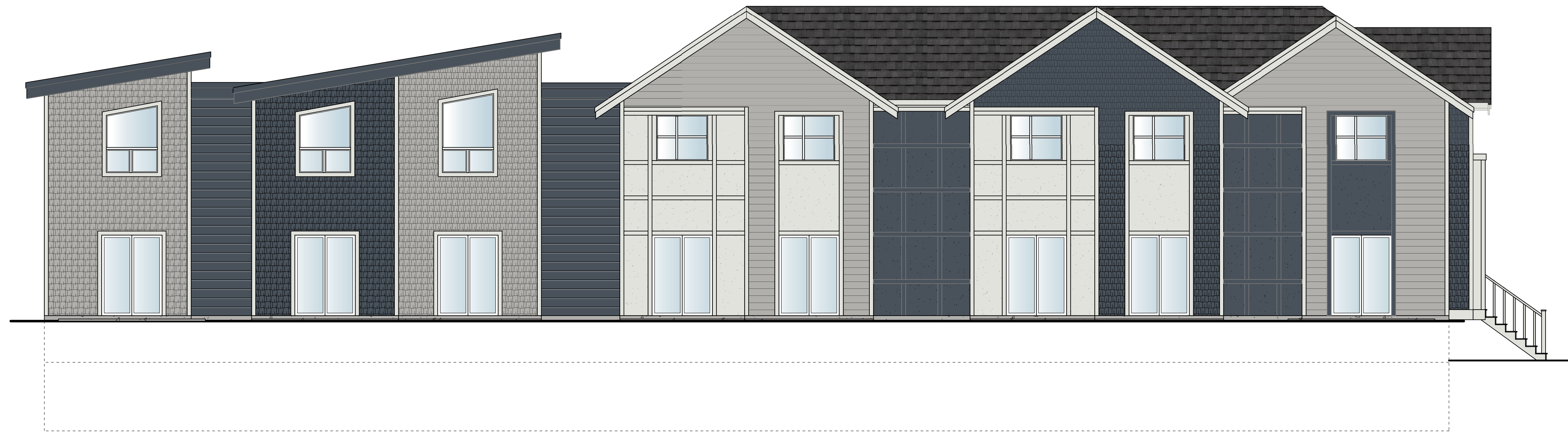
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**1**  
A302 **West (Right) Elevation**  
Scale: 3/16" = 1'-0"

ROOF	BLACK SHINGLE
SOFFIT	HARDIE SOFFIT PANELS VENTED CEDARMILL - ARCTIC WHITE
DOWNSPOUTS	GENTEK - ICE WHITE 429
GUTTER	GENTEK - ICE WHITE 429
CONCRETE	GREY
TRIM	JAMESHARDIE - ARCTIC WHITE
TRIM	JAMESHARDIE - OCEAN BLUE
SHINGLE SIDING	HARDIE SHINGLE SIDING STRAIGHT EDGE - OCEAN BLUE
PANEL SIDING	HARDIE PANEL VERTICAL SIDING - ARCTIC WHITE
PANEL SIDING	HARDIE PANEL VERTICAL SIDING - OCEAN BLUE
LAP SIDING	HARDIE PLANK LAP SIDING CEDARMILL - PEARL GREY
ENTRY & GARAGE DOORS	JAMESHARDIE - OCEAN BLUE
ENTRY OVERHANG	BLACK BRUSHED METAL
ENTRY ENCLOSURE	JAMESHARDIE - ARCTIC WHITE

ROOF	BLACK SHINGLE
SOFFIT	HARDIESOFFIT PANELS VENTED CEDARMILL - OCEAN BLUE
DOWNSPOUTS	GENTEK - ICE WHITE 429
GUTTER	GENTEK - ICE WHITE 429
CONCRETE	GREY
TRIM	JAMESHARDIE - ARCTIC WHITE
TRIM	JAMESHARDIE - OCEAN BLUE
SHINGLE SIDING	HARDIESHINGLE SIDING STRAIGHT EDGE - OCEAN BLUE
SHINGLE SIDING	HARDIESHINGLE SIDING STRAIGHT EDGE - PEARL GREY
LAP SIDING	HARDIE PLANK LAP SIDING CEDARMILL - OCEAN BLUE
ENTRY & GARAGE DOORS	JAMESHARDIE - ARCTIC WHITE
ENTRY OVERHANG	CORRIGATED METAL



**2**  
A302 **East (Left) Elevation**  
Scale: 3/16" = 1'-0"

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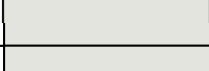
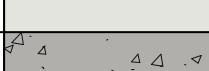
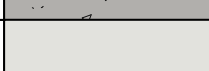



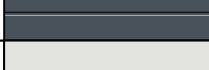



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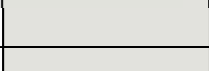
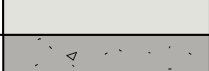
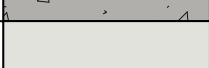




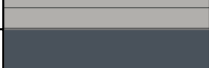




SHEET # **A302**



ROOF		BLACK SHINGLE
SOFFIT		HARDIE SOFFIT PANELS VENTED CEDARMILL - OCEAN BLUE
DOWNSPOUTS		GENTEK - ICE WHITE 429
GUTTER		GENTEK - ICE WHITE 429
CONCRETE		GREY
TRIM		JAMESHARDIE - ARCTIC WHITE
TRIM		JAMESHARDIE - OCEAN BLUE
SHINGLE SIDING		HARDIESHINGLE SIDING STRAIGHT EDGE - OCEAN BLUE
SHINGLE SIDING		HARDIESHINGLE SIDING STRAIGHT EDGE - PEARL GREY
LAP SIDING		HARDIE PLANK LAP SIDING CEDARMILL - OCEAN BLUE
ENTRY & GARAGE DOORS		JAMESHARDIE - ARCTIC WHITE
ENTRY OVERHANG		CORRIGATED METAL

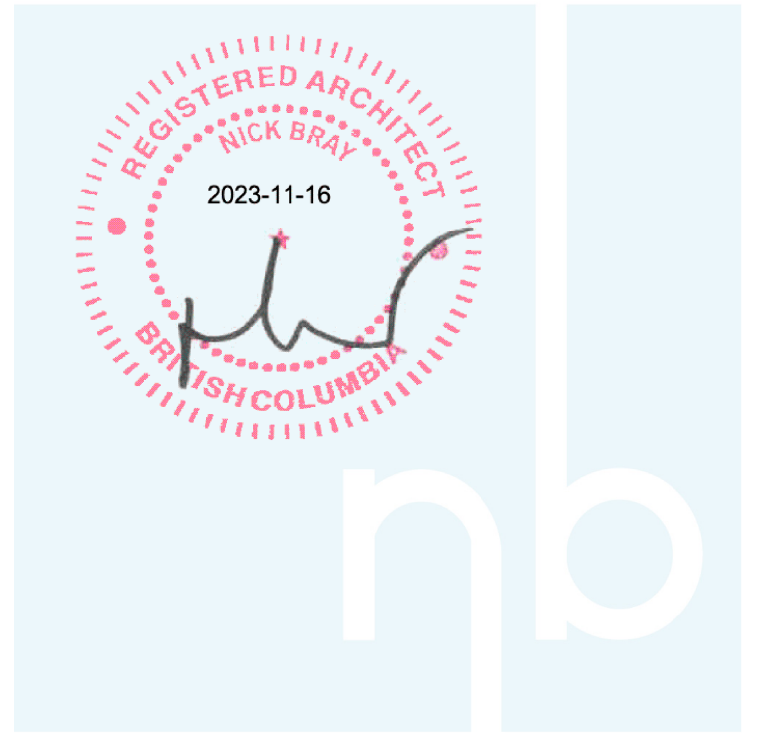


1 South (Rear) Elevation  
A303 Scale: 3/16" = 1'-0"

ROOF		BLACK SHINGLE
SOFFIT		HARDIE SOFFIT PANELS VENTED CEDARMILL - ARCTIC WHITE
DOWNSPOUTS		GENTEK - ICE WHITE 429
GUTTER		GENTEK - ICE WHITE 429
CONCRETE		GREY
TRIM		JAMESHARDIE - ARCTIC WHITE
TRIM		JAMESHARDIE - OCEAN BLUE
SHINGLE SIDING		HARDIE SHINGLE SIDING STRAIGHT EDGE - OCEAN BLUE
PANEL SIDING		HARDIE PANEL VERTICAL SIDING - ARCTIC WHITE
PANEL SIDING		HARDIE PANEL VERTICAL SIDING - OCEAN BLUE
LAP SIDING		HARDIE PLANK LAP SIDING CEDARMILL - PEARL GREY
ENTRY & GARAGE DOORS		JAMESHARDIE - OCEAN BLUE
ENTRY OVERHANG		BLACK BRUSHED METAL
ENTRY ENCLOSURE		JAMESHARDIE - ARCTIC WHITE



2 North (Front) Elevation  
A303 Scale: 3/16" = 1'-0"



**NOT FOR CONSTRUCTION**

ISSUED/REVISED

NO	DATE	DESCRIPTION
1	Oct 24 2022	Client Communications
2	Oct 31 2022	Client Communications
3	Nov 2 2022	Client Communications
4	Nov 9 2022	Pre-Submission For Review
5	Nov 17 2022	Streetscape For Pre-Submission
6	Dec 19 2022	Submission For Architect Review
7	Dec 22 2022	Resubmission For Architect Review
8	Jan 4 2023	Submission for Client Review
9	Jan 5 2023	Coloured Elevations for Review
10	Jan 16 2023	Coloured Elevations for Review
11	Jan 18 2023	Submission for Architect Review
12	Jan 23 2023	Issued for Rezoning
13	July 5 2023	Revised Site Plan - Landscape Design
14	July 12 2023	App. Review Summary Revisions
15	July 24 2023	Reissued for Rezoning
16	Nov 9 2023	Reissued for Rezoning

General Contractor and/or Owner to verify and thoroughly review all aspects of this and any required consultants' plan(s) prior to commencement and setting out of all work. Any discrepancies are to be reported to the Building Designer (VDG) immediately. VDG is not liable for plan modifications or discrepancies not reported. Refer to General notes.

BCLs and/or Contractor to verify placement and siting of all structures on the lot. VDG is not responsible for encroachments of any kind with regard to siting or placement of structures on lot(s).

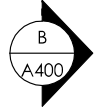
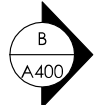
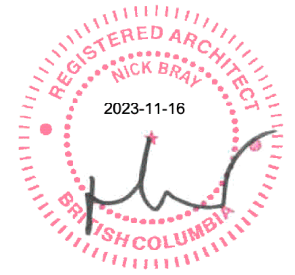


103 - 891 Athlone Avenue P. 250.382.7374  
Victoria, BC F. 250.382.7364  
V9B 0A6 www.victoriadesigngroup.ca

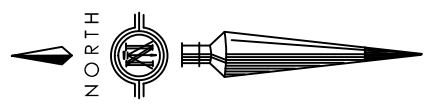
DATE	Nov 9 2023	DRWG #	8521
DRAWN BY	MIS	REVIEWED BY	OW

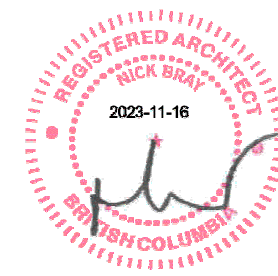
Proposed Townhomes  
1035 Russell Street  
Victoria, BC

SHEET #  
**A303**

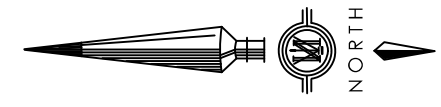


1  
A300 West (Right) Elevation  
Scale: 3/16" = 1'-0"





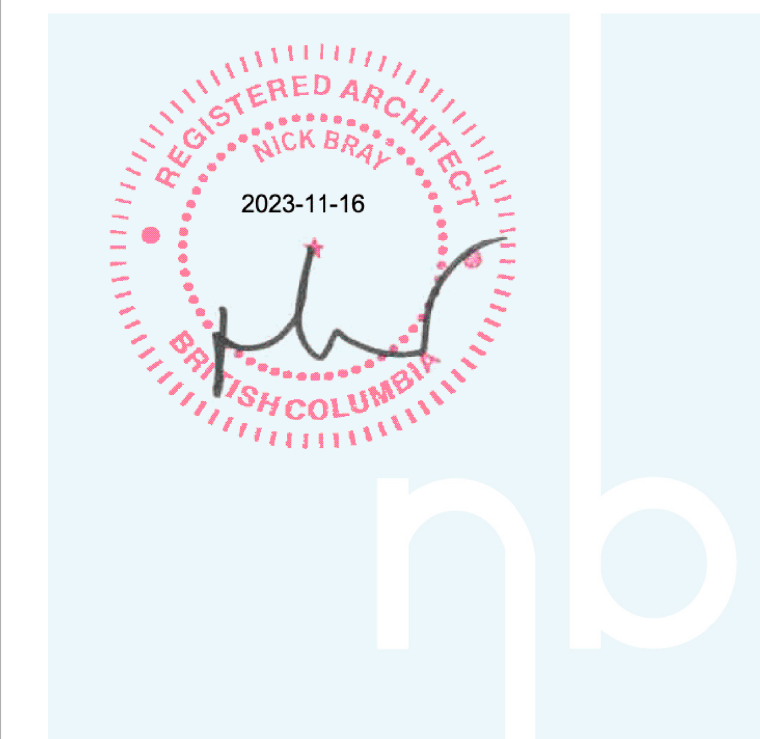
2 East (Left) Elevation  
A300 Scale: 3/16" = 1'-0"





1 South (Rear) Elevation  
 A301 Scale: 3/16" = 1'-0"

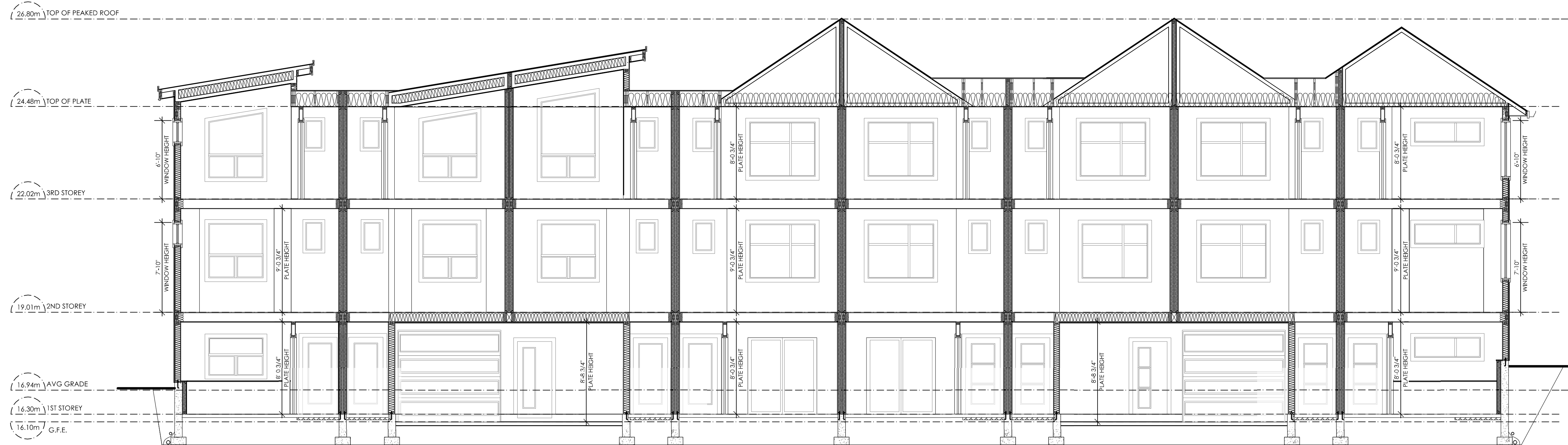
2 North (Front) Elevation  
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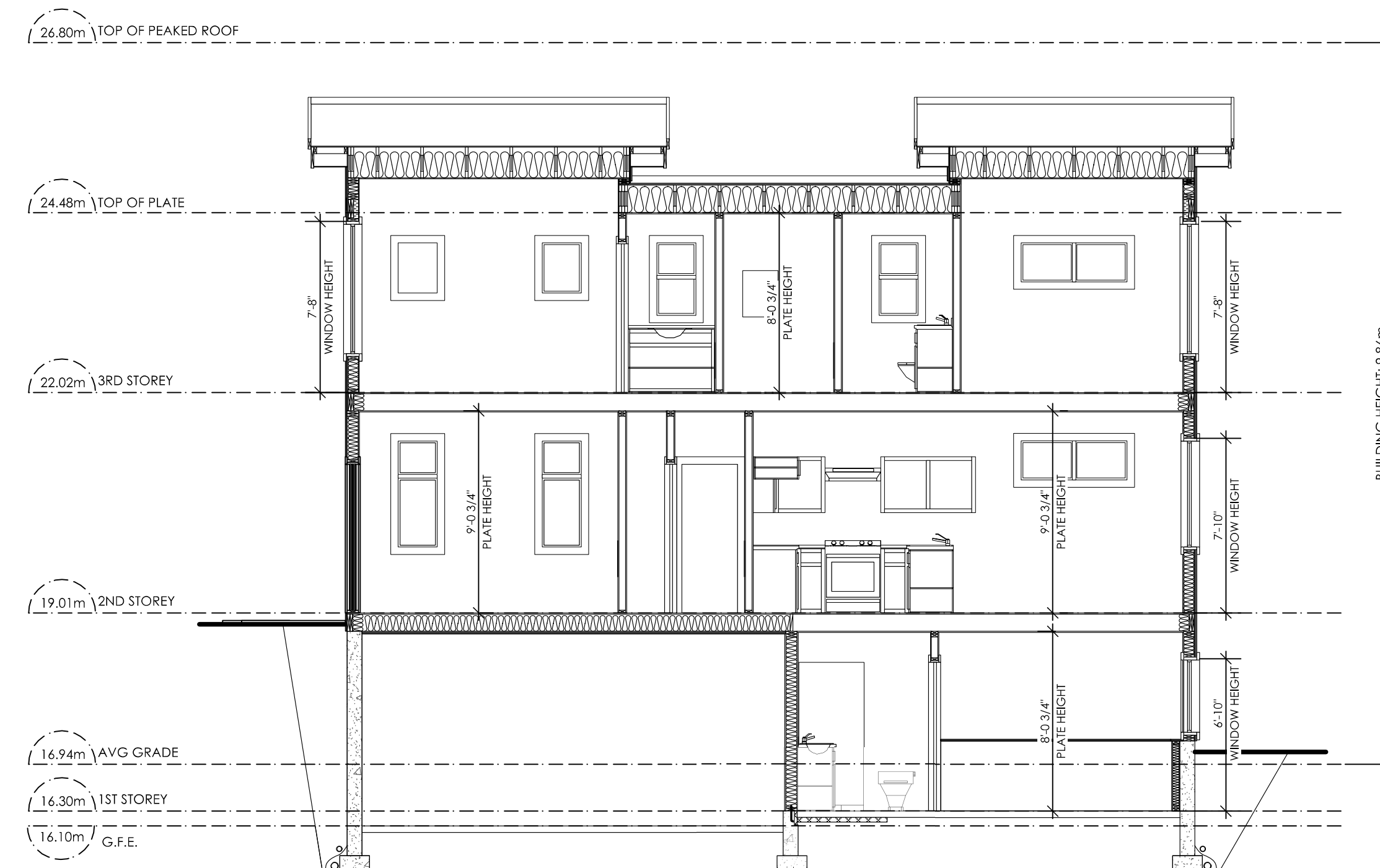
**NOT FOR CONSTRUCTION**

**ISSUED/REVISED**

NO	DATE	DESCRIPTION
1	Oct 24 2022	Client Communications
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4	Nov 9 2022	Pre-Submission For Review
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1 Section A  
A400 Scale: 3/16" = 1'-0"



2 Section B  
A400 Scale: 3/16" = 1'-0"

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DATE	DRWG #
Nov 9 2023	A7 8521
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Proposed Townhomes  
1035 Russell Street  
Victoria, BC

SHEET # **A400**

1035 RUSSELL STREET SITE PLAN, TREE REMOVAL AND REPLACEMENT PLAN



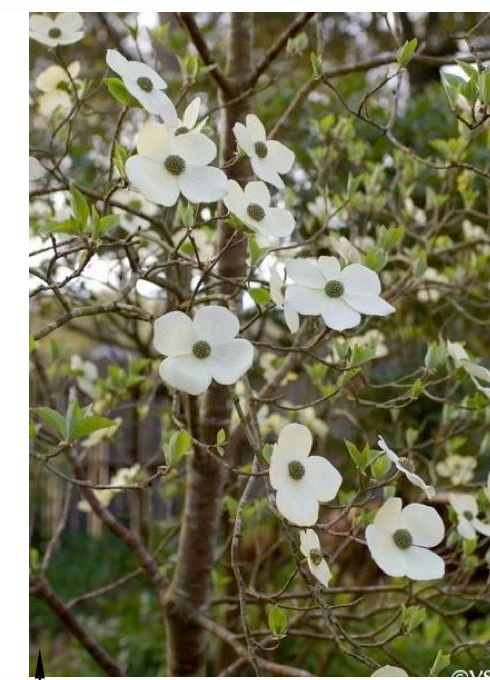
POPULUS TREMULOIDES



CARPINUS BETULUS 'FRANS FONTAINE'



ACER CIRCINATUM



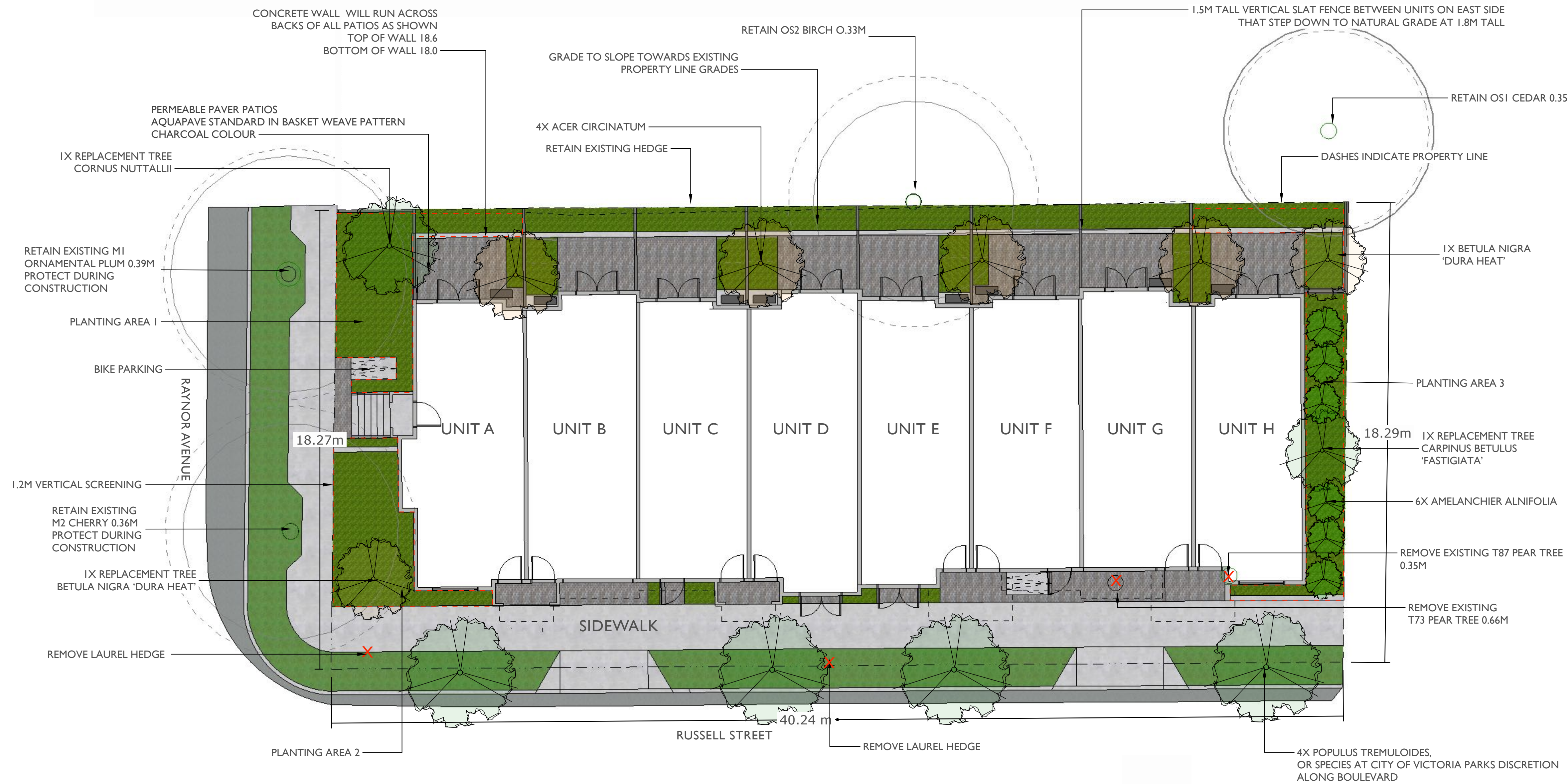
CORNUS NUTTALLII



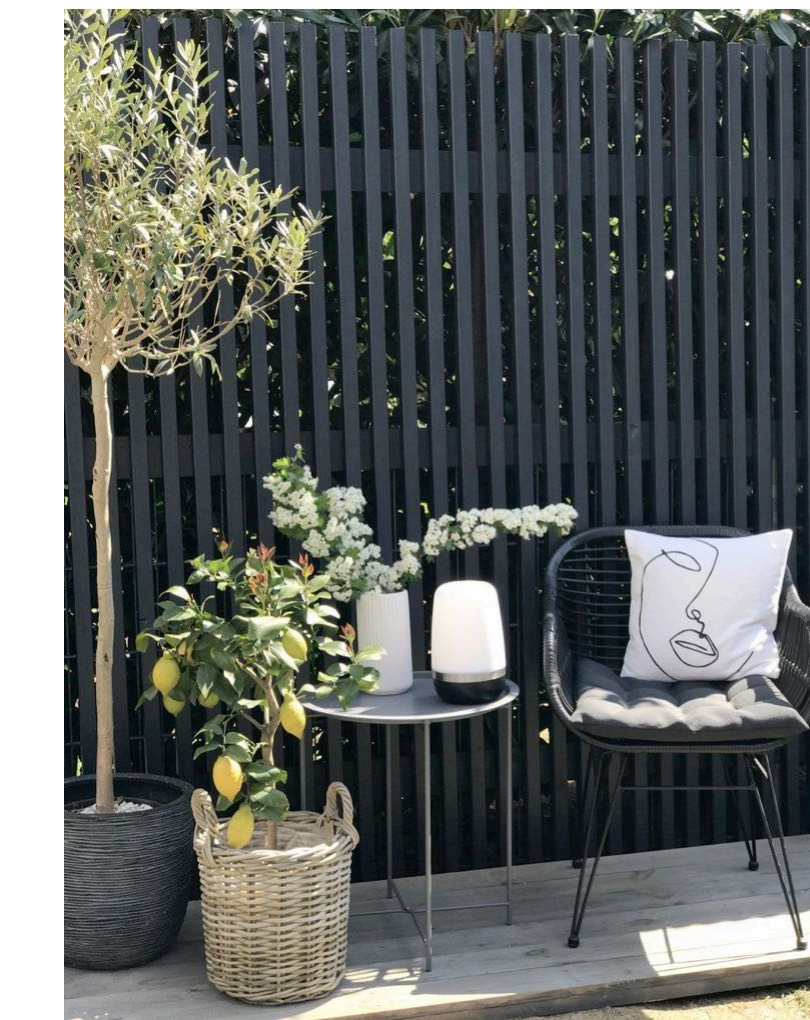
AMELANCHIER ALNIFOLIA



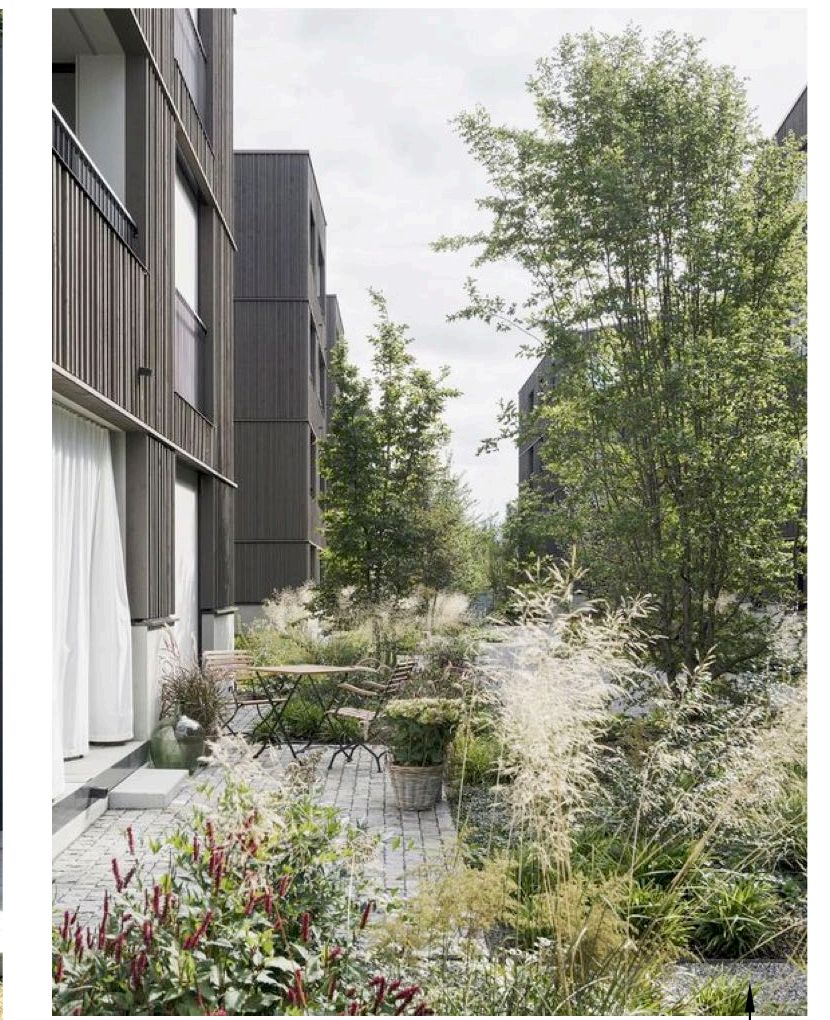
BETULA NIGRA 'DURA HEAT'



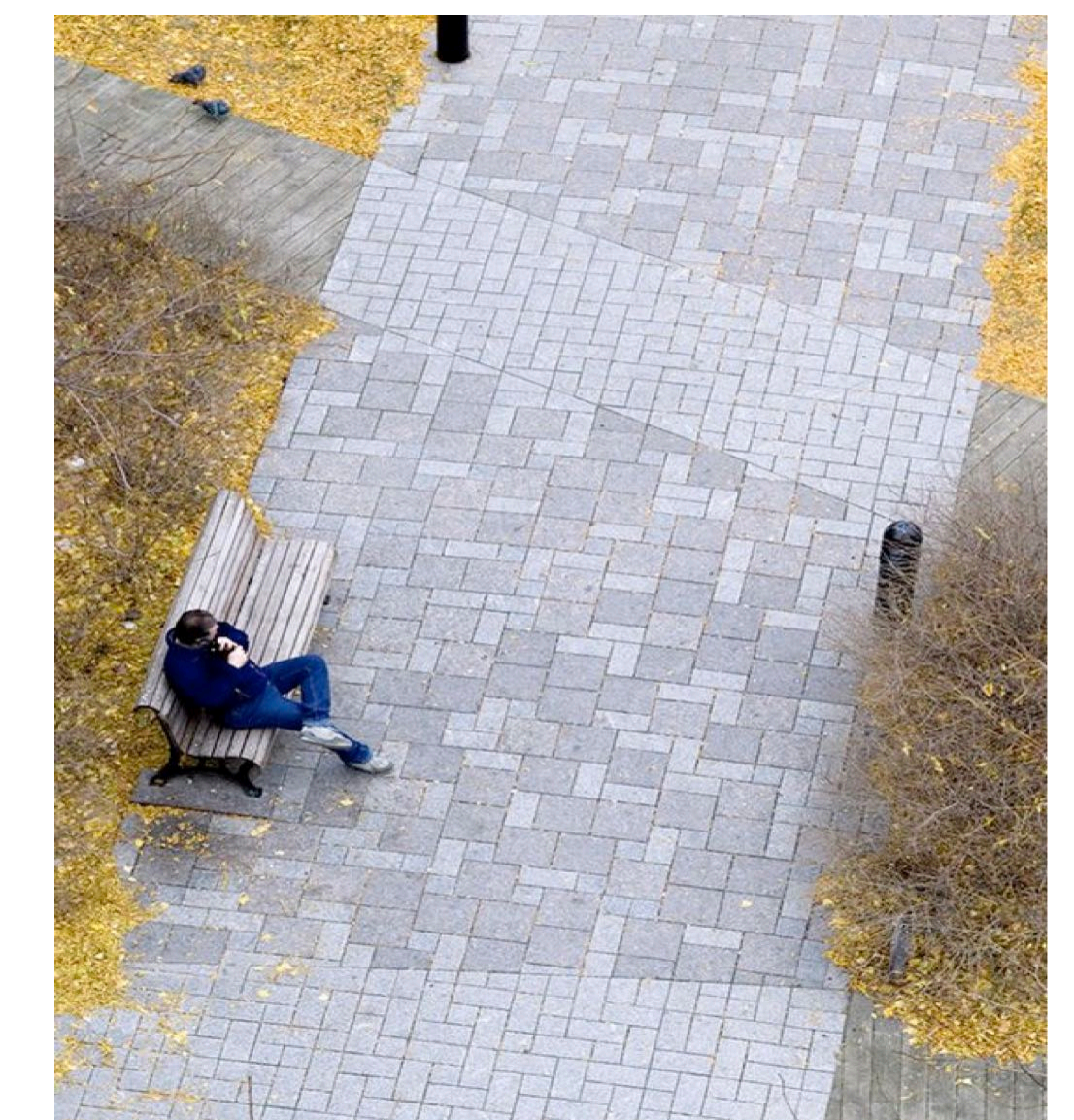
PLANTING AREA ID	AREA (m <sup>2</sup> )	SOIL VOLUME MULTIPLIER	REPLACEMENT TREES PROPOSED				SOIL VOLUME REQUIRED (m <sup>3</sup> )		TOTAL
			A. ESTIMATED SOIL VOLUME	B. #SMALL	C. #MEDIUM	E. #SMALL	C. #MEDIUM		
PLANTING AREA #1	25.0	1	25.0		1		20.0	25.0	
PLANTING AREA #2	24.0	1	24.0		1		20.0	24.0	
PLANTING AREA #3	24.0	1	24.0		1		20.0	24.0	



1.8 m VERTICAL PRIVACY SCREENING BETWEEN UNITS



BACK YARD GARDENS WITH GRASSES AND PERENNIALS



PAVERS WITH PATTERNS IN FRONT YARDS



**Greenspace Designs**  
Sustainable Landscape Design

**PROJECT TITLE**

PROPOSED LANDSCAPE CONCEPT for  
ANDREW MILLS  
1035 RUSSELL STREET, VICTORIA, BC

**PAGE TITLE**

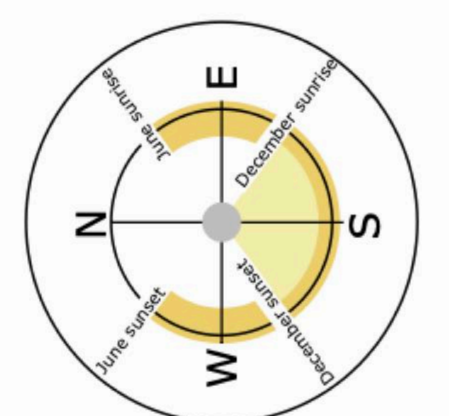
SITE PLAN, TREE REMOVAL AND REPLACEMENT PLAN  
PAGE ONE OF FIVE

**DATE**

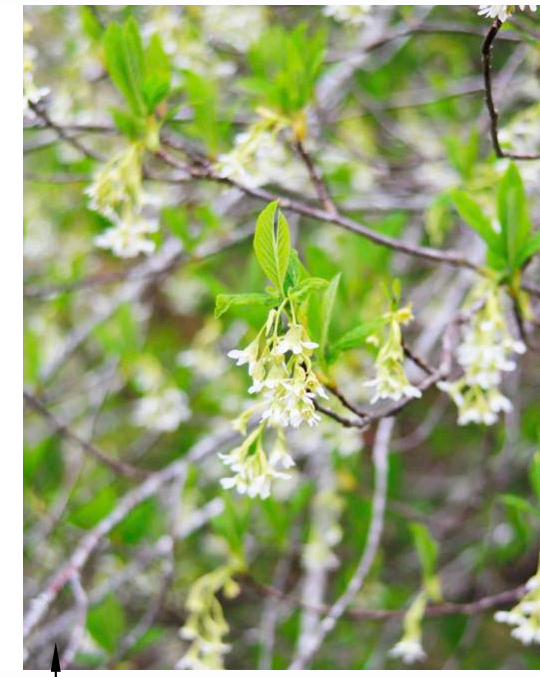
NOVEMBER 16, 2022  
Revised Feb 17, 2023  
Revised DECEMBER 1, 2023

**SCALE**

1:100



1035 RUSSELL STREET LANDSCAPE PLAN — BUBBLED CHANGES



OEMLERIA CERASIFORMIS



POPULUS TREMULOIDES



CARPINUS BETULUS 'FRANS FONTAINE'



ACER CIRCINATUM



CORNUS 'EDDIE'S WHITE WONDER'



AMELANCHIER ALNIFOLIA

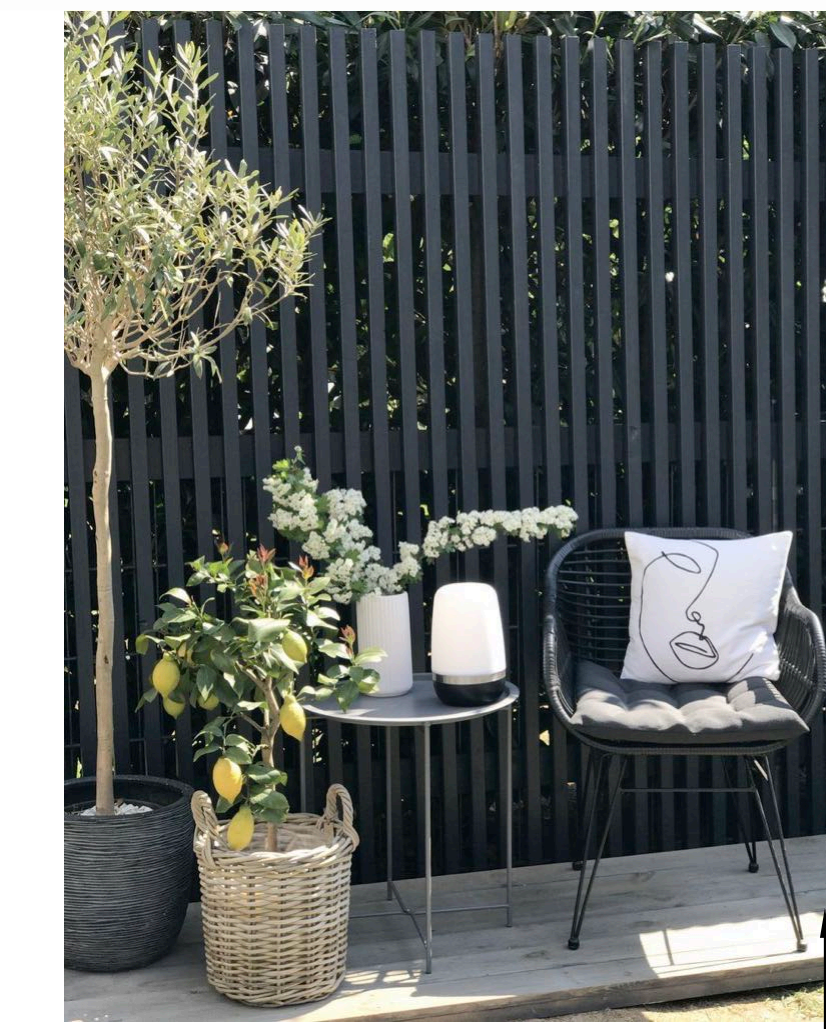


BETULA PLATYPHYLLA 'FARGO'

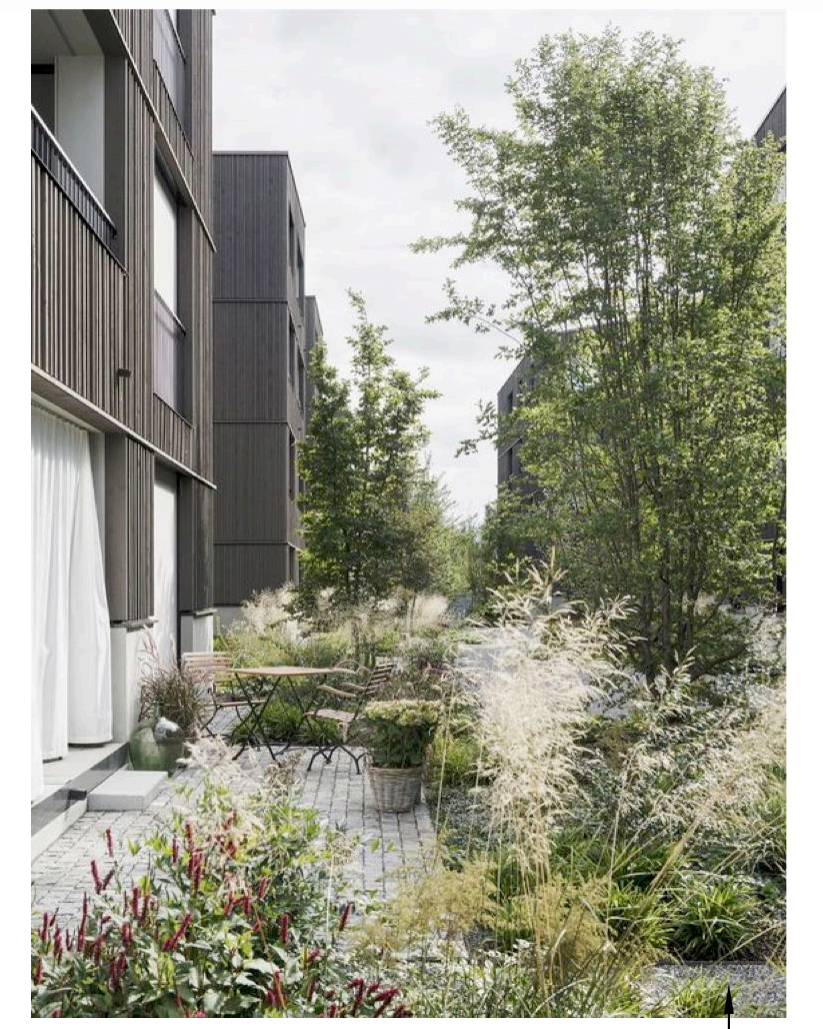


CHANGES

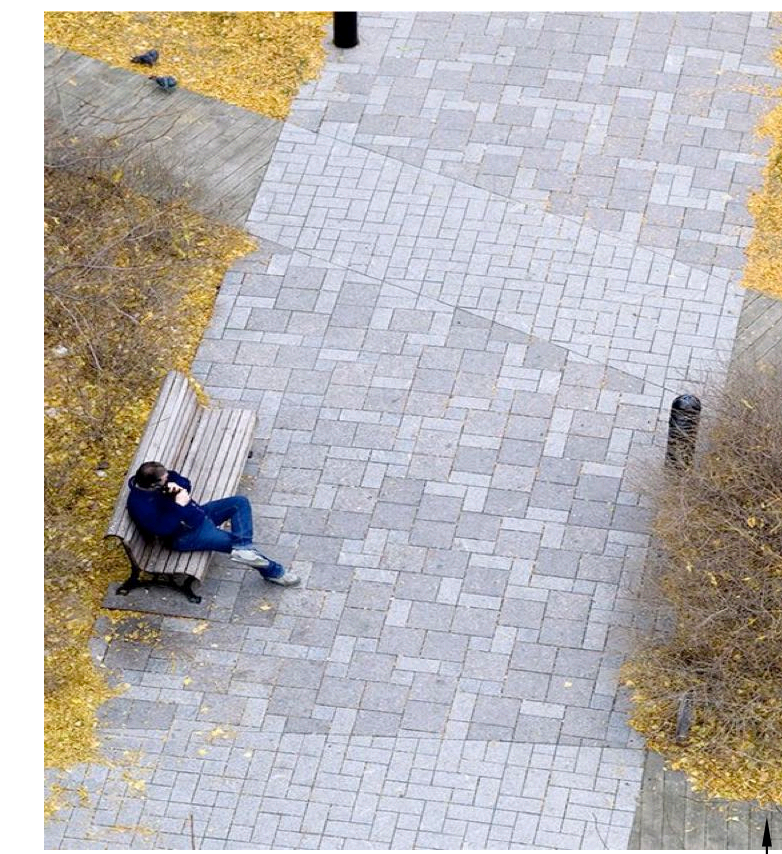
1. REMOVE 3X JUNE PLUM EAST, REMOVE RAIN GARDEN, SHIFT LOCATION OF BIKE PARKING, AND ADDITION OF 1X CORNUS NUTTALLII
2. NEW SIDEWALK AND ADDITION OF LAWN
3. SHIFT THE LOCATION OF BIKE PARKING, REARRANGE OF FRONT DRIVEWAYS AND SIDEWALKS, ADDITION OF BOULEVARD LAWN, REMOVE 4X CORNUS EDDIE'S WHITE WONDER, REMOVE BETUAL PLATYPHYLLA 'FARGO', AND CARPINUS BETULUS 'FRANS FONTAINE, AND ADD 1X CARPINUS 'FASTIGIATA', 3X BETULA NIGRA 'DURA HEAT', ADD 1X BETULA NIGRA 'DURA HEAT', AND ADDITION OF 4X BOULEVARD TREES
4. CHANGES TO BACK PATIOS TO ACCOUNT FOR CHANGES IN REAR OF BUILDING; RETAIN HEDGE ALONG EAST PROPERTY LINE, CONCRETE RETAINING WALL TO ABUT THE PATIOS; REMOVAL OF DOG AREAS
5. BUILDING SHIFTED WEST TOWARDS RUSSELL STREET



1.8 m VERTICAL PRIVACY SCREENING BETWEEN UNITS



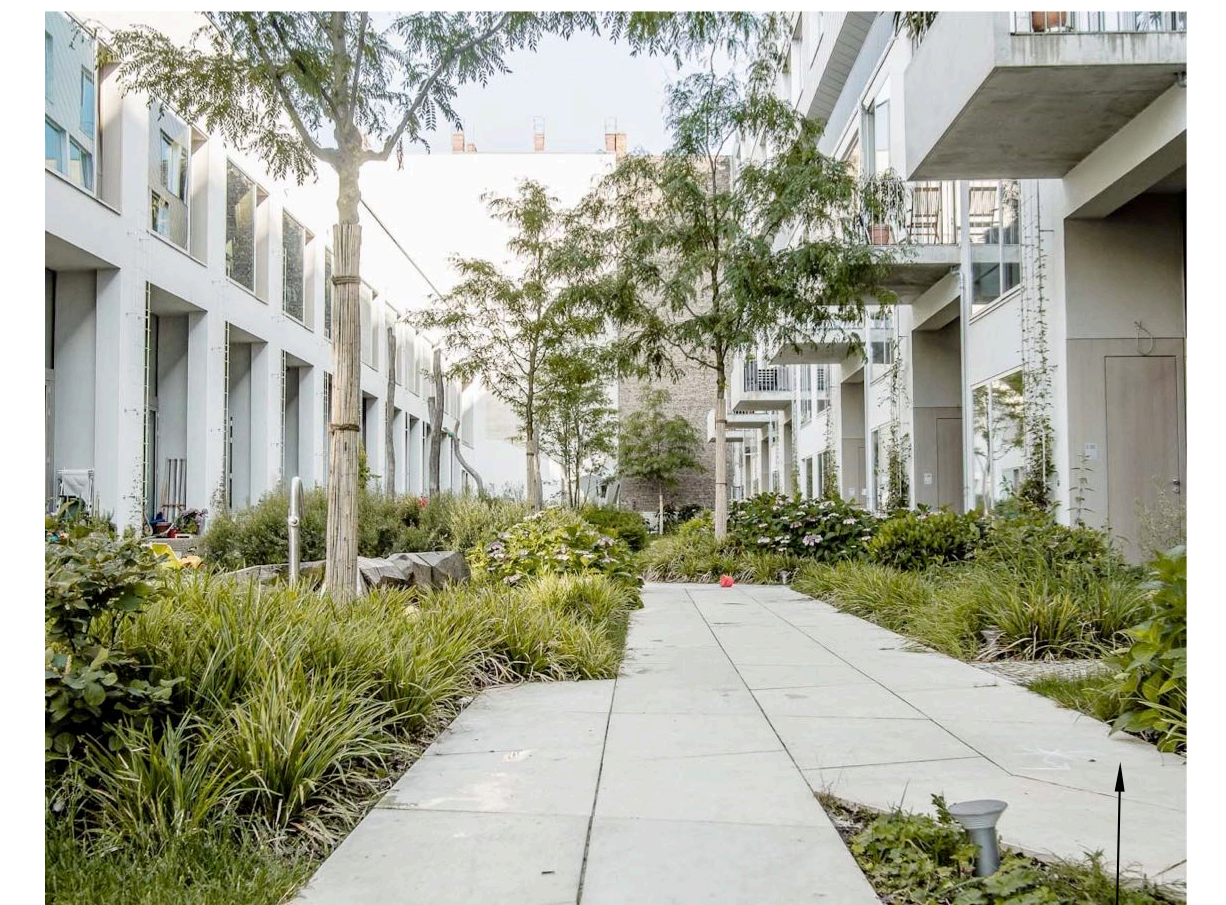
BACK YARD GARDENS WITH GRASSES AND PERENNIALS



PAVERS WITH PATTERNS IN FRONT YARDS



1.2m AIRY VERTICAL SCREENING ALONG NORTH PROPERTY LINE



CONCRETE PAVING FOR FRONT YARD ENTRIES / DRIVEWAYS AND NATIVE PLANTINGS



**Greenspace Designs**  
Sustainable Landscape Design

PROJECT TITLE

PROPOSED LANDSCAPE CONCEPT for ANDREW MILLS 1035 RUSSELL STREET, VICTORIA, BC

PAGE TITLE

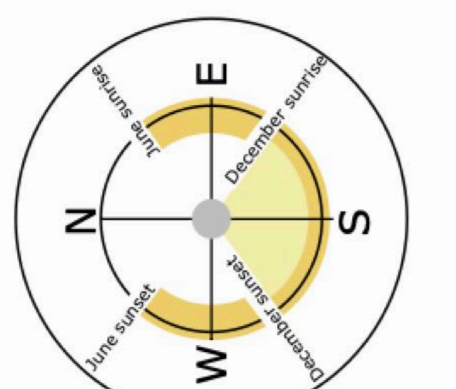
LANDSCAPE PAN WITH BUBBLED CHANGES, PAGETWO of FIVE

DATE

NOVEMBER 16, 2022  
Revised Feb 17, 2023  
Revised DECEMBER 1, 2023

SCALE

1:100



# 1035 RUSSELL STREET PLANTING PLAN



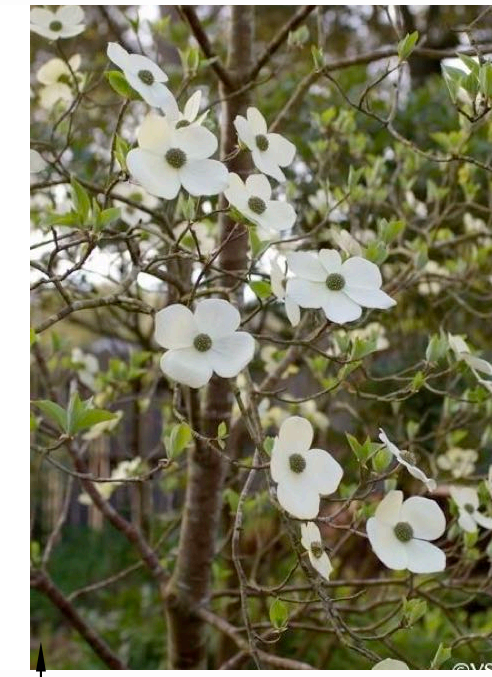
ARMERIA MARITIMA



CARPINUS BETULUS 'FRANS FONTAINE'



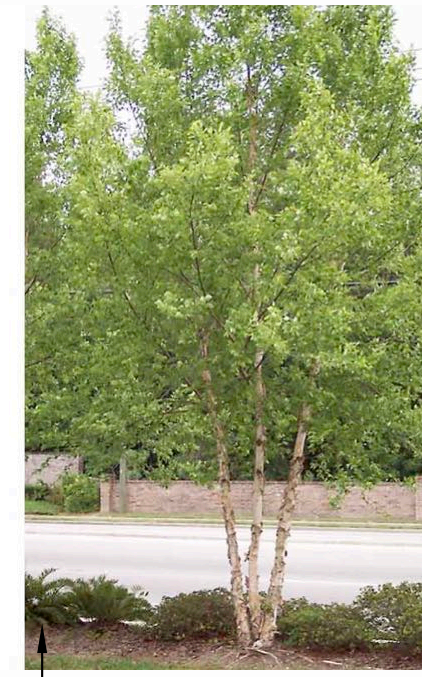
ACER CIRCINATUM



CORNUS NUTTALLII



AMELANCHIER ALNIFOLIA



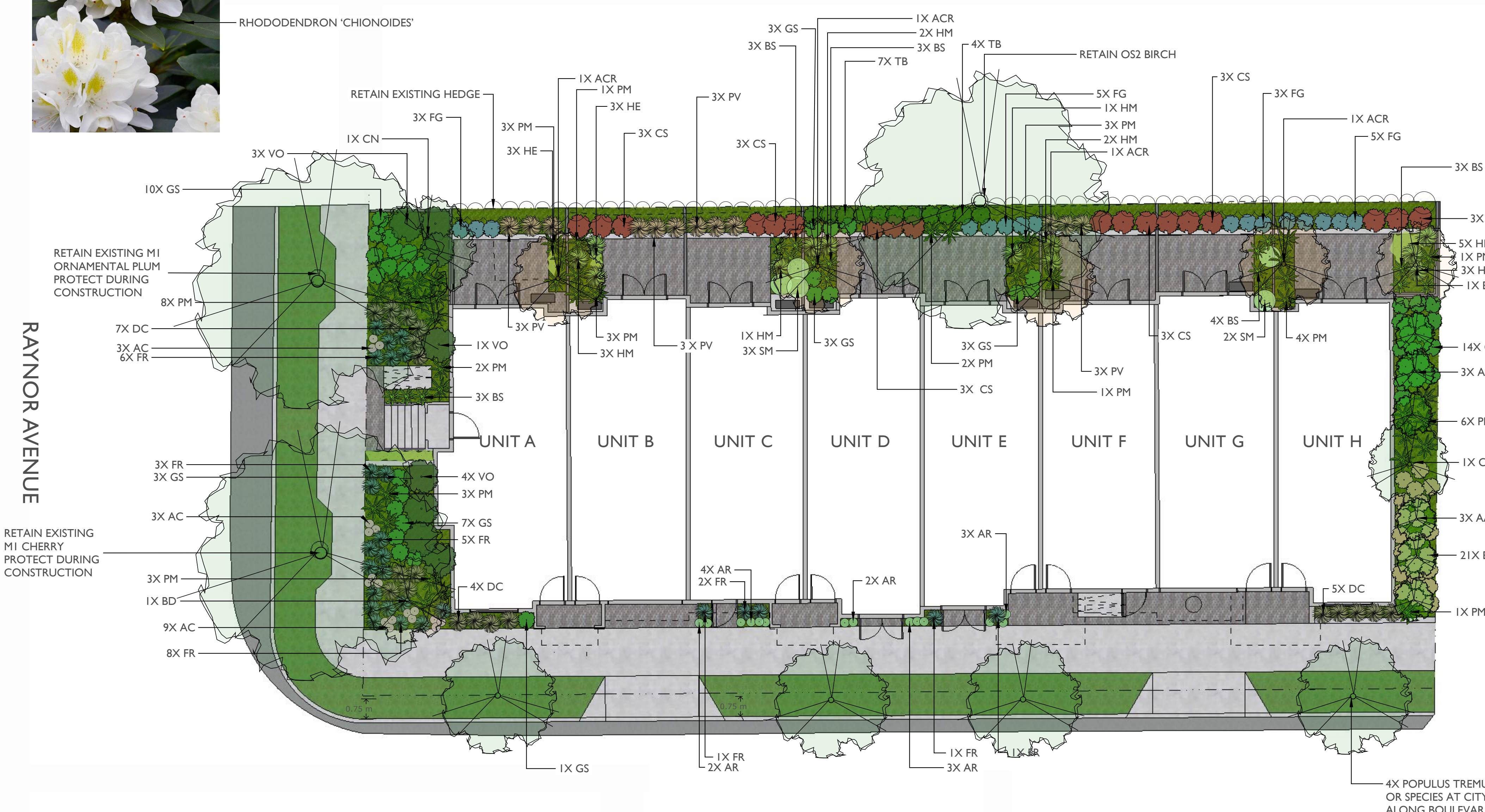
BETULA NIGRA 'DURA HEAT'



TAXUS BACCATA 'FASTIGIATA'



RHODODENDRON 'CHIONOIDES'



## PLANTING SCHEDULE

ABB.	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
<b>TREES</b>				
ACR	4	6cm.	ACER CIRCINATUM	VINE MAPLE
AA	6	#15	AMELANCHIER ALNIFOLIA	SERVICE BERRY
CB	1	6cm.	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAM
BD	2	6cm.	BETULA NIGRA 'DURA-HEAT'	DURA-HEAT RIVER BIRCH
CN	1	6cm.	CORNUS NUTTALLII	PACIFIC DOGWOOD

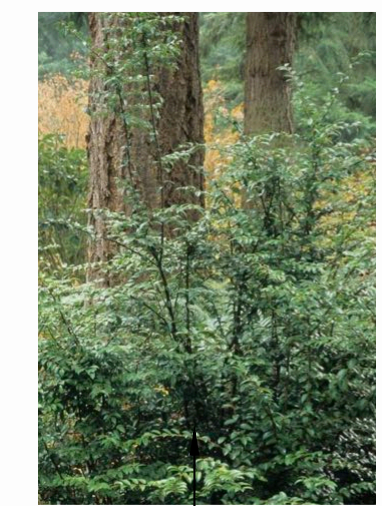
<b>SHRUBS</b>				
CS	18	#1	CORNUS STOLONIFERA 'ARCTIC FIRE'	ARTIC FIRE RED TWIG DOGWOOD
FG	16	#1	FOTHERGILLA GARDENII 'BLUE MIST'	BLUE MIST DWARF FOTHERGILLA
TB	11	#1	TAXUS BACCATA 'FASTIATA'	IRISH YEW
VO	8	#5	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY

<b>PERENNIALS, BULBS, FERNS AND GRASSES</b>				
AC	15	4"	ALLIUM CERNUUM	NODDING ONION
AR	14	#1	ARMERIA MARITIMA	SEA THRIFT
BS	16	#1	BLECHNUM SPICANT	DEER FERN
DC	16	#1	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS
FR	23	#1	FESTUCA ROMERI	ROEMER'S FESCUE
HM	12	#1	HAKONECHLOA MACRA	JAPANESE FOREST GRASS
PV	12	#1	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS
PM	41	#1	POLYSTICHUM MUNITUM	SWORD FERN
SM	5	#1	SMILACINA RACEMOSA	FALSE SOLOMON'S SEAL

<b>GROUNDCOVERS AND ANNUALS</b>				
BN	21	#1	BERBERIS NERVOSA	CREeping OREGON GRAPE
GS	44	#1	GAULTHERIA SHALLON	SALAL
HE	11	4"	HEUCHERA MACRANTHA	SMALL-FLOWERED ALUMROOT



HAKONECHLOA MACRA



VACCINIUM OVATUM



BLECHNUM SPICANT



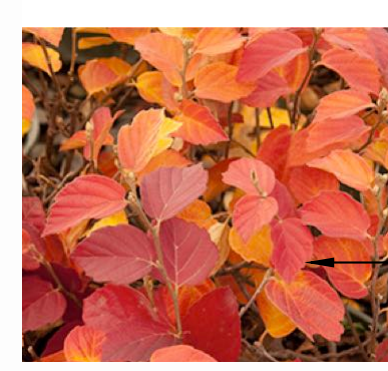
POPULUS TREMULOIDES



HEUCHERA MACRANTHA



GAULTHERIA SHALLON



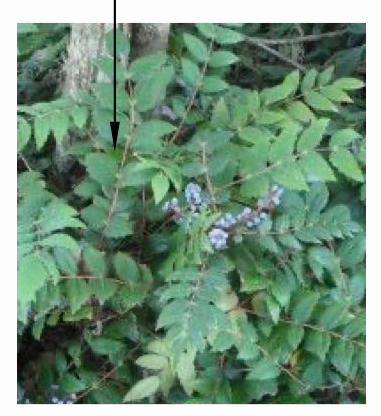
FOTHERGILLA GARDENII 'BLUE MIST'



SMILACINA RACEMOSA



POLYSTICHUM MUNITUM



BERBERIS NERVOSA



ALLIUM CERNUUM



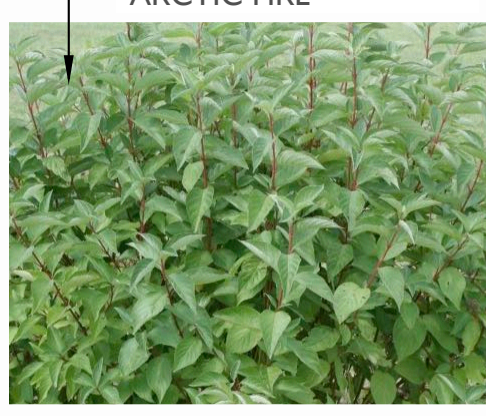
DESCHAMPSIA CESPITOSA



FESTUCA ROMERI



PANICUM VIRGATUM 'SHENANDOAH'



CORNUS STOLONIFERA 'ARCTIC FIRE'

## RUSSELL STREET

**Greenspace Designs**  
Sustainable Landscape Design

**PROJECT TITLE :**  
PROPOSED LANDSCAPE CONCEPT for ANDREW MILLS  
1035 RUSSELL STREET, VICTORIA, BC

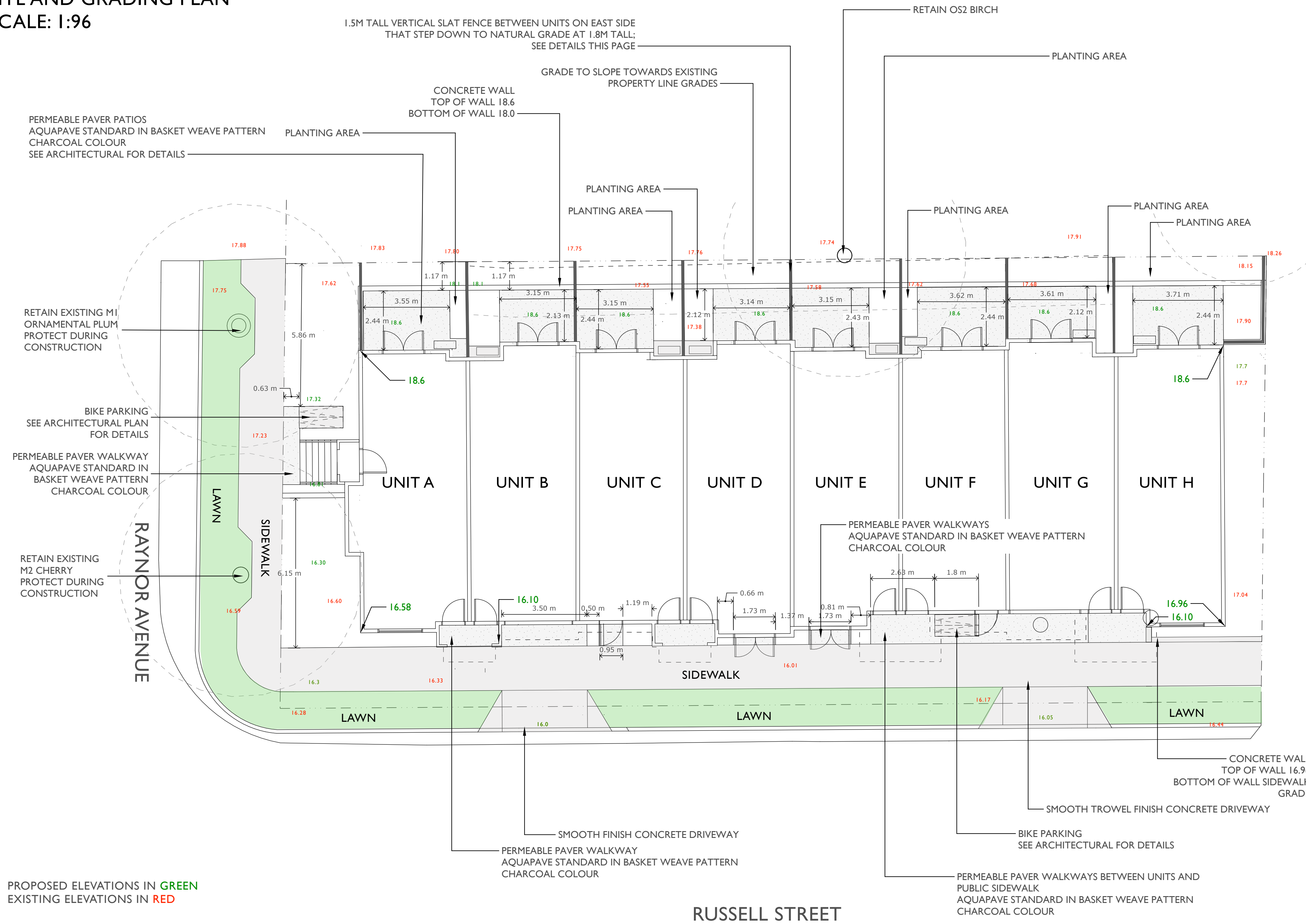
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PLANTING PLAN, PAGE THREE of FIVE

**DATE :** NOVEMBER 16, 2022  
Revised Feb 17, 2023  
Revised DECEMBER 1, 2023

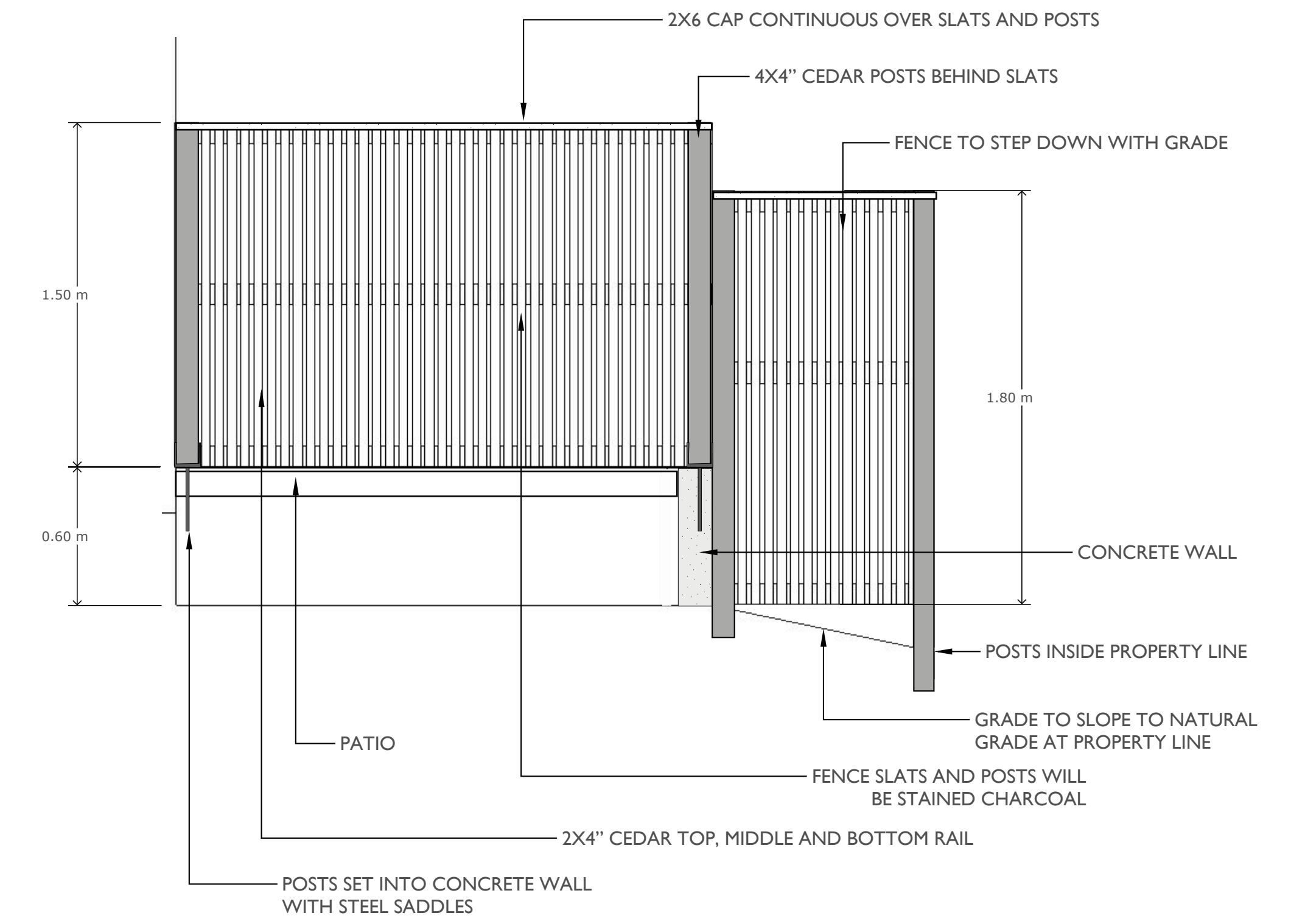
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**SITE AND GRADING PLAN**  
SCALE: 1:96



**VERTICAL SLAT FENCE DETAIL**  
Scale: 1:20

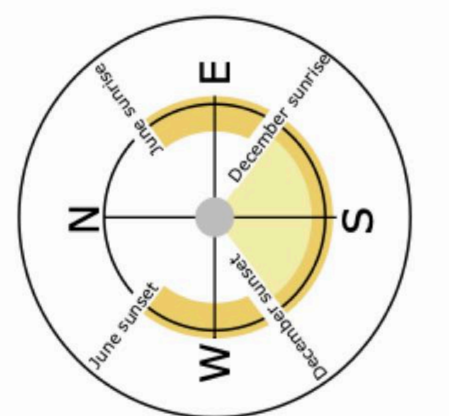


**PROJECT TITLE** ::  
PROPOSED LANDSCAPE CONCEPT for  
ANDREW MILLS  
1035 RUSSELL STREET, VICTORIA, BC

**PAGE TITLE** ::  
SITE, GRADING, AND DETAIL PLAN, PAGE FOUR of FIVE

**DATE** :: NOVEMBER 16, 2022  
Revised Feb 17, 2023  
Revised DECEMBER 1, 2023

**SCALE** ::  
AS SHOWN



**OVERALL NOTES**

1. Plantings, landscape installation, and irrigations should all be installed in accordance with the BCLNA/BCSLA standard (2020)
2. Any plant substitutions shall be made in consultation with the landscape architect.
3. The Landscape and Irrigation Contractor shall determine the location of all underground services prior to the commencement of landscape work and shall be responsible for the repair of all damage caused by landscape work to the Owner's satisfaction.
4. All topsoil and plants shall conform to BCNTA / BCSLA specifications.
5. BCLNA/BCSLA standard (2020) is the guiding resource for all notes on this page

**MATERIALS**

**CAST-IN-PLACE CONCRETE**

1. Cast-in-place concrete may have a finish of trowel finish, broom finish, exposed aggregate, or parging. To be finished as specified on landscape plans.
2. Concrete should be reinforced with rebar.

**PERMEABLE PAVERS**

Permeable pavers should be installed according to figures 12.2, 12.3, or 12.4.

**STOCKPILES**

1. Site materials should be stockpiled separately from the growing medium to avoid contaminating the growing medium.
2. Ideally, the growing medium is delivered on the day of installation.
3. Soils, fill, sand, gravel, or any construction materials should not be stockpiled within the t critical protection zones.
4. Soil or subsoil should not be stockpiled in low areas to avoid erosion or water pooling.

**TOPSOIL**

1. On-site topsoil should be used if it meets the standards for a growing medium.
2. Topsoil should have a pH range of pH 5.5-7.5 and contain not less than 2 % Organic Matter [OM] by weight and a salt conductivity of less than 2.5 dS/m.
3. Both imported and on-site topsoil should be tested and amended before landscape work commences on-site by the contractor or soil supplier. Modification costs should be included in the overall budget.
4. Topsoil depths shall be as follows:
  - Trees 2m x 2m x 2m soil per tree
  - shrubs 600 mm depth
  - ground covers 150 mm depth

**MULCH**

1. All planted beds shall be covered with a 55 mm layer of high organic low-wood content mulch.
2. Mulch should be a minimum of 10cm (4in.) from the crown of any plant. It is never to be mounded up around the stem of the plant.
3. Mulch depths should be at most 10cm (4in.) around larger plants and 5cm (2in.) for smaller plants such as groundcovers.
4. Trees installed in lawns should have a mulch ring of 1m diameter that will be maintained for a minimum of 8 years.
5. Mulch is to be of a type suitable for the material planted.

**PLANTING**

1. All trees shall be secured with two 75 mm diameter x 1.8 m long round poles set 1m into the ground.
2. Plants determined to be dead or dying at the end of one year from the installation date shall be replaced by the Contractor at the Contractor's expense.
3. Growing media settlement should be corrected prior to mulching.
4. Immediately after planting, trees shall be stabilized, ensuring that the tree's crown has free movement, but wind, snow loading, or human force will not disturb the buttress root system or cause the rootball to shift in the ground.
5. Trees may not need stabilization if the subsoil and growing medium are stable and can hold the rootball in place, and the rootball is solid and contained and shaped where it can resist shifting.
6. Planting debris and materials shall be removed promptly from the site.
7. Plants must be watered immediately after planting to the depth of their root systems.
8. The contractor is responsible for scheduling the delivery of plants to the site in conformance with the contract documents.
9. Plants should spend a minimal amount of time in the storage on site.

**SEED**

1. All grass areas shall be seed.
2. The finished grade should be smooth, firm against footprints, loose textured, and free of all stones, roots, and branches.
3. Areas with heavy compaction should have their surfaces loosened employing thorough scarification, discing, or harrowing to a minimum of 150mm (6in.) depth.
4. Slope soil away from house and level soil by dragging a 6'x6" board over area, rake the soil even, then roll over the soil three times in opposite directions until soil is firm.
5. Add a light dressing of peat moss, just as a measure to retain moisture.
6. A mix of 3 grass species is better than one species. The following grasses are known for their hardiness and have been tested for turf quality and resistance to many diseases and insects. A good basic mix would be 30% Kentucky blue, 30% perennial rye and 40% tall fescue. These do well in cool-season climates such as ours.
7. Seed should be applied at a rate of one pound per 200 square feet and spread in opposite directions.
8. After application seed should be lightly and gently raked.
9. After seeding the newly seeded area must be watered evenly, and kept moist until lawn is established.

**IRRIGATION**

1. All planting beds shall be irrigated with an automatic underground system with automatic rain shut-off.
2. Irrigation sleeving is to be 150mm in diameter. Schedule 40 or SDR 28.
3. Must be installed 12" below finished grade for all lateral lines and 18" below finished grade for irrigation main lines.
4. All irrigation materials and installation methods shall conform to IABC standards.
5. Irrigation within municipal rights of way shall conform to the City of Oak Bay requirements.
6. Backflow preventer requirements for irrigation lines shall conform to Oak Bay municipality requirements.
8. The Irrigation Contractor shall test the irrigation system and ensure that it is fully operational prior to acceptance by the owner.

**WATERING**

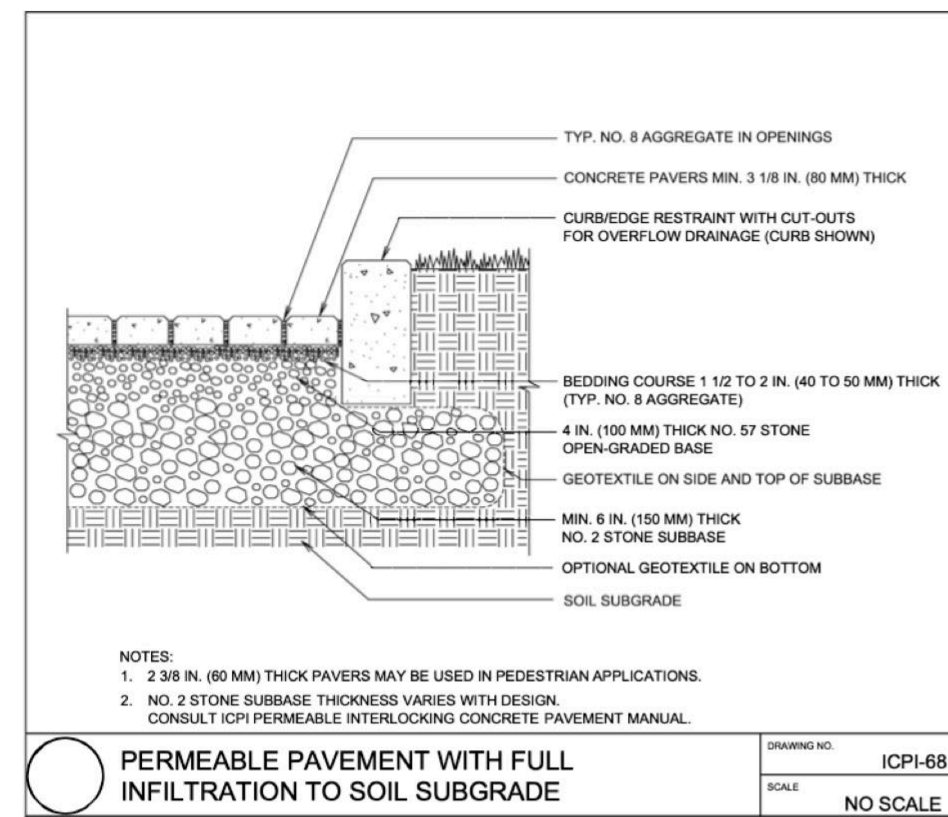
1. Plants shall be monitored for moisture at delivery and watered as necessary until planting with on-site irrigation during storage.
2. Plants and soil moisture should be monitored during the first and second growing seasons for a sufficient irrigation schedule and to ensure that the plants are healthy with the irrigation setup. If the plants are wilting or showing stress due to water, there shall be an increase in watering frequency.
3. Watering should reach the depth of the root zone.
4. Irrigation schedules may be skipped if rainfall has penetrated the full depth of the root zone.
5. Soil moisture should be maintained at 50 to 100 percent field capacity.

**LANDSCAPE LIGHTING**

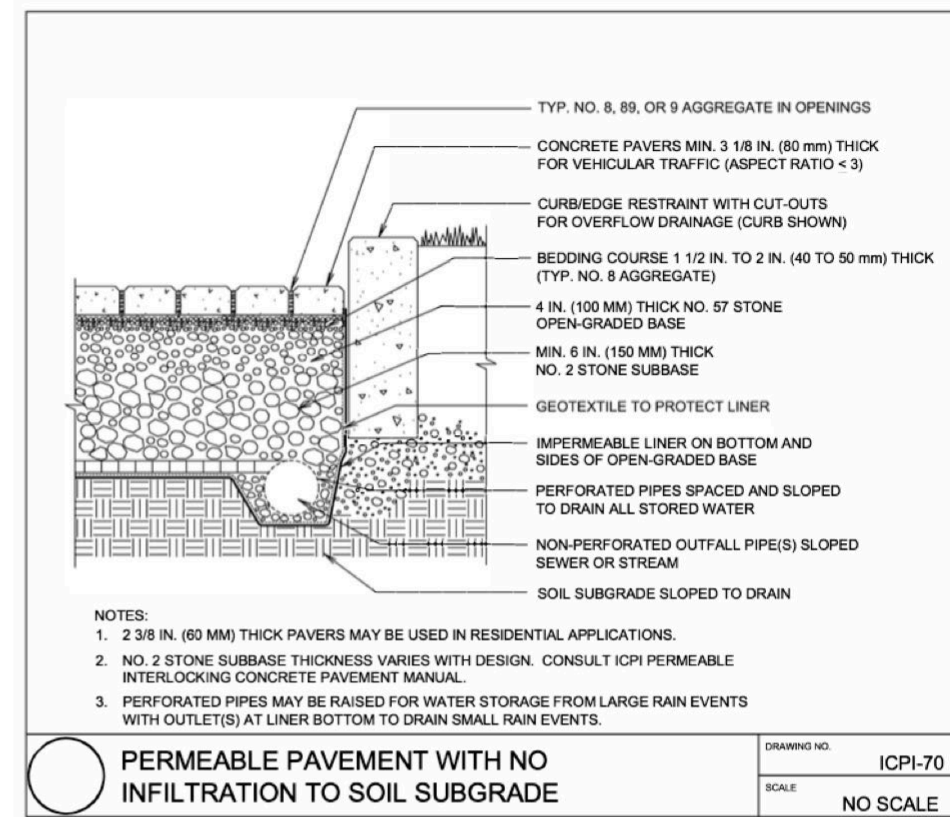
1. Landscape lighting must adhere to the Canadian Electrical Code, British Columbia electrical and building codes, and Municipal by-laws regarding electrical, lighting, and light pollution.

**PERMEABLE PAVER DETAILS**

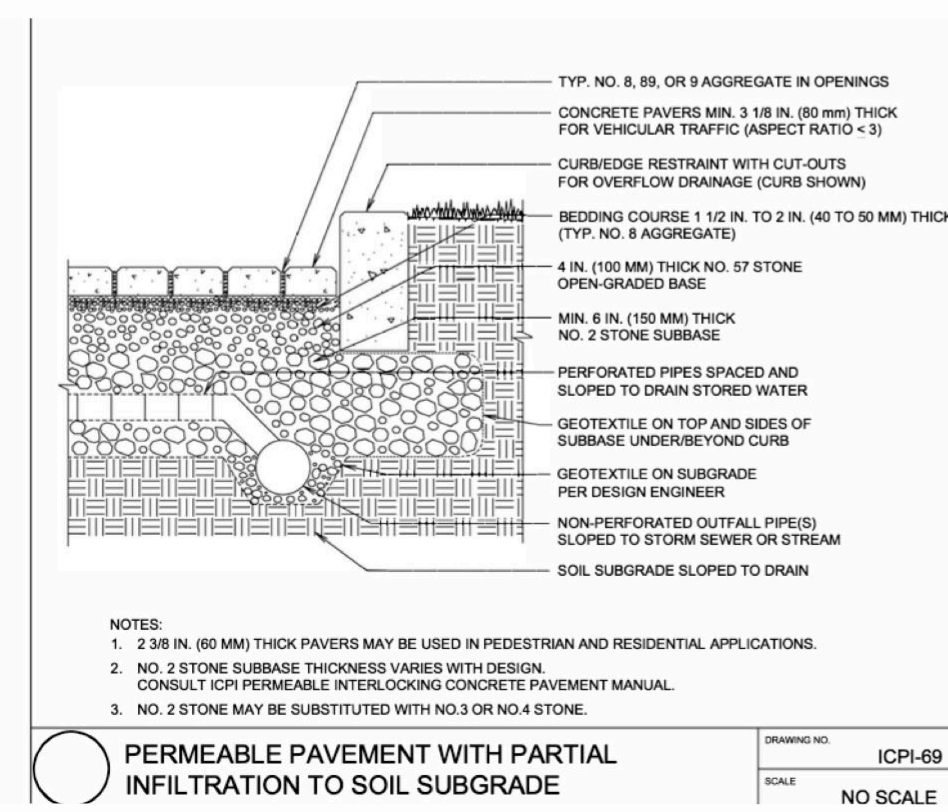
**FIGURE 12.2. PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE**



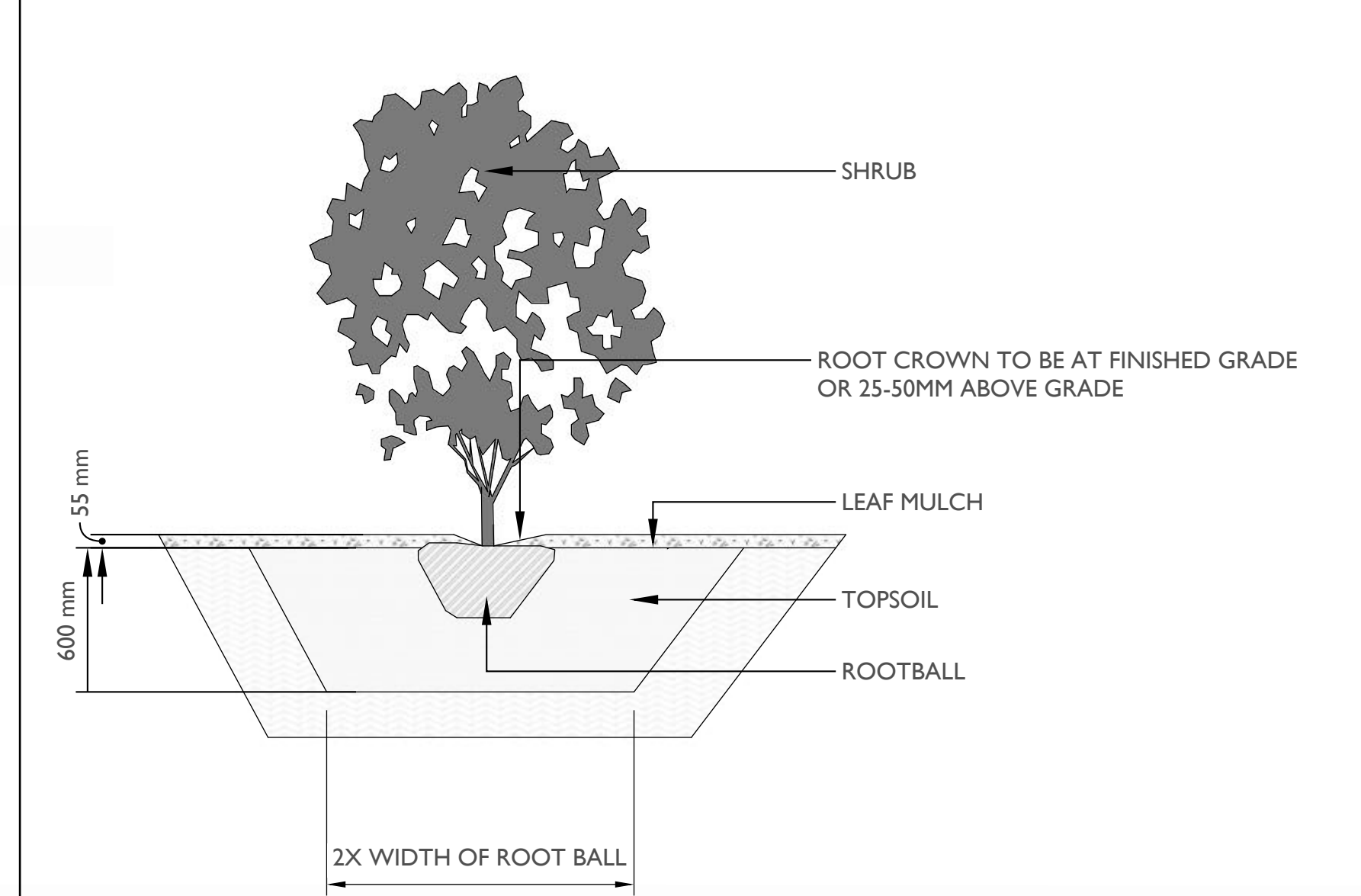
**FIGURE 12.4. PERMEABLE PAVEMENT WITH NO INFILTRATION TO SOIL SUBGRADE**



**FIGURE 12.3. PERMEABLE PAVEMENT WITH PARTIAL INFILTRATION TO SOIL SUBGRADE**



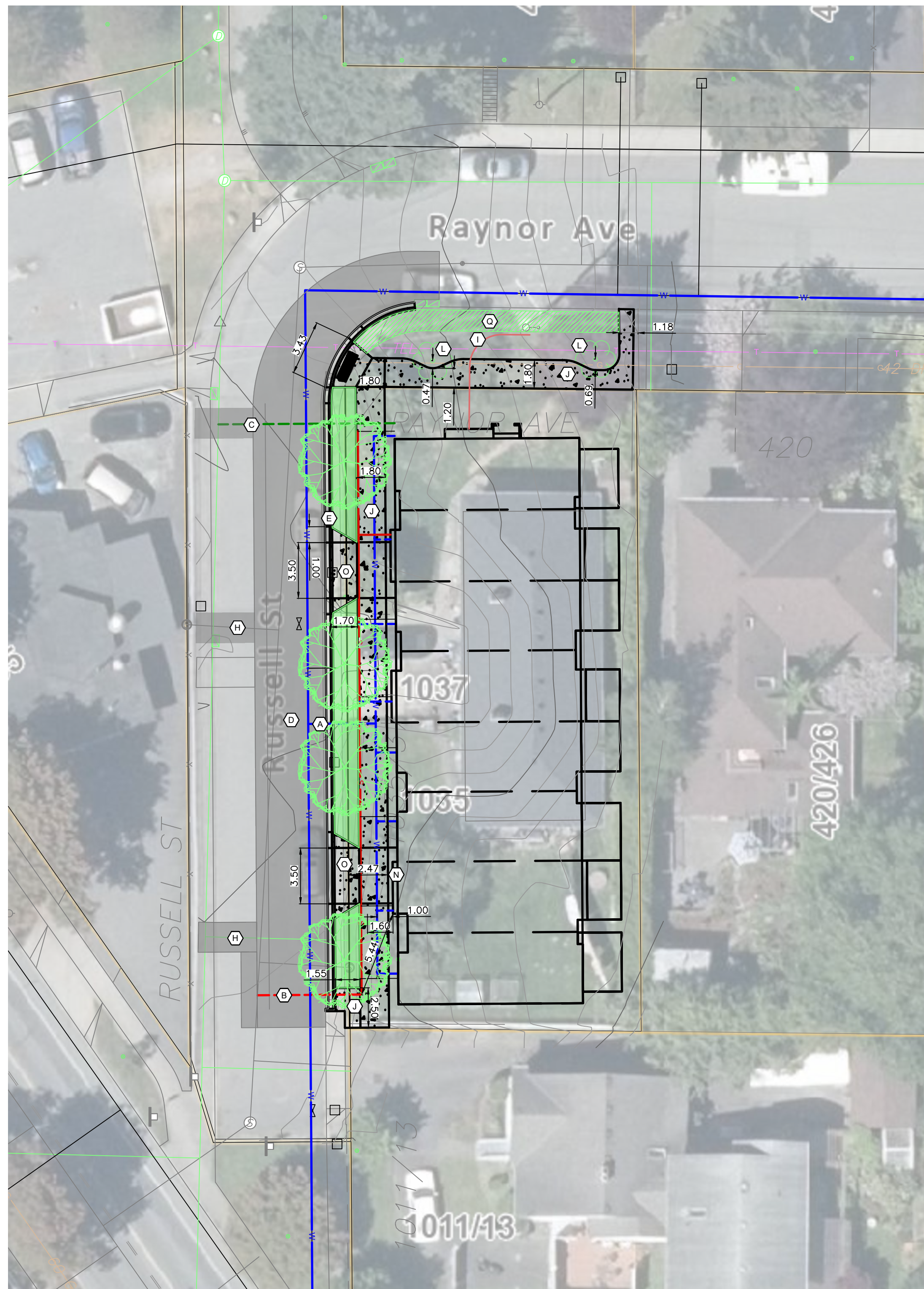
**PLANTING DETAILS**



**PROJECT TITLE :**  
 PROPOSED LANDSCAPE CONCEPT for  
 ANDREW MILLS  
 1035 RUSSELL STREET, VICTORIA, BC

**PAGE TITLE :**  
 LANDSCAPE NOTES, PAGE FIVE of FIVE

**DATE :**  
 NOVEMBER 16, 2022  
 Revised Feb 17, 2023  
 Revised DECEMBER 1, 2023



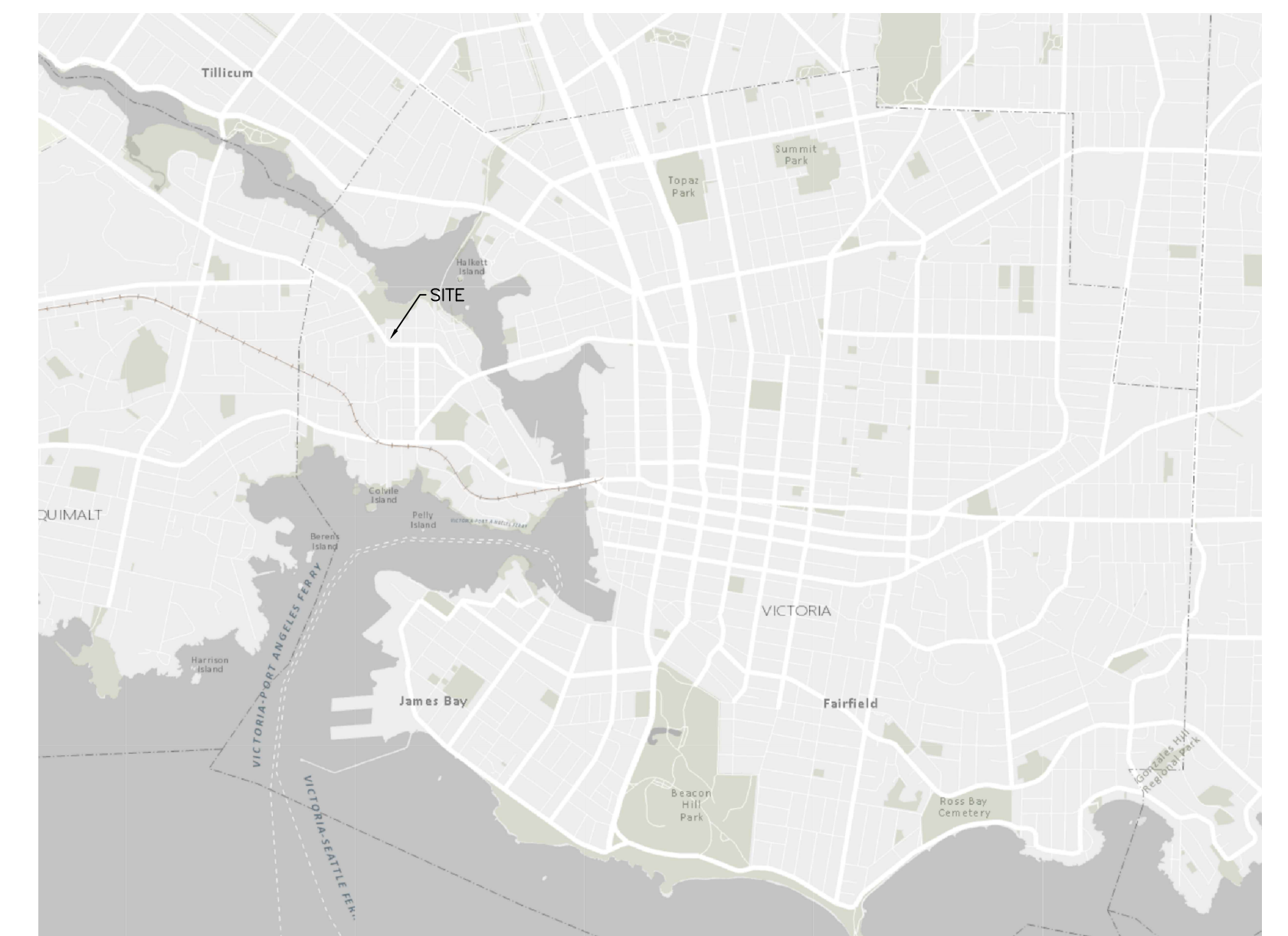
SITE PLAN  
1:200

DETAILED CONSTRUCTION NOTES:

- A NEW 50mm WATER SERVICE BY CITY OF VICTORIA FORCES
- B NEW 5.8m 150mm SANITARY SEWER CONNECTION @ 2.00% FROM MAIN TO PROPERTY LINE BY CITY OF VICTORIA FORCES
- C NEW 8.0m 150mm STORM DRAIN CONNECTION @ 2.00% FROM MAIN TO PROPERTY LINE BY CITY OF VICTORIA FORCES
- D 253 m<sup>2</sup> ASPHALT RESTORATION BY OWNER.
- E 47m CONCRETE NMC AND GUTTER REPLACEMENT.
- F 45m<sup>2</sup> GRASS BOULEVARD - TOP SOIL AND SEED BY OWNER
- G EXISTING WATER SERVICE CONNECTION TO BE ABANDONED BY CITY OF VICTORIA FORCES. DISCONNECT FROM MAIN AND REMOVE EXISTING METER.
- H EXISTING SEWER AND DRAIN CONNECTIONS TO BE ABANDONED BY CoV. DISCONNECT AT MAIN AND REMOVE EXISTING INSPECTION CHAMBER IF PRESENT
- I BC HYDRO / TEL / CABLE VIA POLE PILASTER UNDERGROUND
- J 111m<sup>2</sup> OF NEW 1.80m WIDE BROOM FINISH CONCRETE SIDEWALK. INCLUDES JOGGED CONNECTIONS TO EXISTING SIDEWALKS.
- K NEW LETDOWN c/w TRUNCATED DOME TREATMENT FOR VISUALLY IMPAIRED
- L EXISTING STREET TREES TO BE RETAINED
- M ONSITE SEWER AND WATER HEADER PIPES ON SITE UNDER CoV SIDEWALK WITHIN SRW
- N 2.47m WIDE SRW IN FAVOR OF CoV FOR SIDEWALK AND FRONTAGE IMPROVEMENTS. BACK OF SRW IN LINE WITH BACK OF SIDEWALK.
- O 3.5m WIDE BROOM FINISH CONCRETE DRIVEWAY ACCESS X2
- P 4 x STREET TREES PER CoV SPECIFICATION AND SELECTION
- Q 22m<sup>2</sup> EXISTING SIDEWALK TO BE REMOVED, CURB AND GUTTER TO BE RETAINED. AREA TO BE REINSTATED AS GRASS BOULEVARD.

UNDERGROUND SERVICE INFORMATION

INFORMATION IS AT PROPERTY LINE	STORM DRAIN	SANITARY SEWER
PROPOSED COVER (m)	3.26m	1.47m
PROPOSED INVERT ELEVATION (m)	13.49	14.90
MAXIMUM DEPTH REQUESTED	YES	YES
MAIN INVERT AT CONNECTION	13.13	14.77



KEY PLAN  
NTS

LEGAL DESCRIPTION: Lot 168, Block S, Section 31, Esquimalt District, Plan 549  
PID 004-645-227  
SURVEY PROVIDED BY GLEN MITCHELL LAND SURVEYING INC.: FILE 21-23-9322

NOV 13 2023  
DRAFT



BC  
**1**  
CALL  
1-800-474-6886

THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING UG SERVICES STAKED PRIOR TO ANY CONSTRUCTION

November 13, 2023 / K:\Dropbox\BFE\Eng\Projects\2053 - 1035 Russell\07 - Engineering\02 - Drawings & Sketches (Eng)\2053 Base.dwg

NO.	DESCRIPTION	YYYYMMDD	DE	DA	CK	NO.	DESCRIPTION	YYYYMMDD	DE	DA
1	CONCEPTUAL DEVELOPMENT PLAN	20231113	CBW	CBW						

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ANDREW MILLS

1065 RUSSELL STREET  
CIVIL CONCEPTUAL DEVELOPMENT PLAN

2053 - C01

City of Victoria MUN. FILE SHEET 1 OF 1



H A Z L E T T H O M E S

City of Victoria  
1 Centennial Square  
Victoria, BC V8W 1P6

Andrew Mills  
Hazlett Homes  
[andrew@hazletthomes.ca](mailto:andrew@hazletthomes.ca)

February 8, 2024

**Re 1035 Russell Street: Development Permit Application with Variances**

Dear Mayor Alto and Council,

Hazlett Homes thanks you for receiving this development permit application for 1035 Russell Street.

This proposal would see a current R2 designated lot rezoned to a site-specific zone to facilitate construction of 8 ground-oriented townhouses. Units have been carefully designed to create family friendly layouts of 2 and 3 bedrooms; each unit would be strata-titled; have enclosed bike and car parking; storage. Each unit would also have its own private fenced rear yard.

The proposed homes would contribute to the already vibrant Vic West neighborhood. Proximity to Banfield park, Craigflower and Westside Villages, and downtown coupled with its ideal location between cycling networks will promote active forms of transportation. This will reduce the need for cars and long commutes. Further, these factors will enhance the opportunity for local living in which residents can live, work, and play within a short walk or ride from their home. Local living as opposed to living in urban sprawl, is financially advantageous; healthier physically and mentally; impacts



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the environment less; and fosters a healthy and vibrant community. This is the line with the mission of Hazlett Homes. Namely, to create family homes through infill development which are by virtue of their location, size, and design; liveable, sustainable and fairly-priced.

It is our position that liveability, sustainability, and affordable pricing are interconnected. A liveable home is located close to amenities and opportunities for socializing, recreating and performing errands. This careful locating of development allows for smaller footprint living without any sacrifice to lifestyle. Smaller footprint creates more affordable ownership as less building means lower construction costs and a resultant market-driven reduction in cost of ownership.<sup>1</sup> Location and density also allow for environmental cost of infrastructure to be shared by more residents. Lower impact per resident; and as already indicated central location reduces carbon footprint by reducing reliance on cars.

This development will thus strive to be aware of affordability, sustainability, and liveability for residents.

Design will be sensitive to adaptable housing needs both for persons with a disability and to facilitate ageing in place. It will include allowance for grab bars, framing to allow lifts on stairwells, and outlets and switches in accessible places.

The proposal conforms to the official community plan and specifically the Vic West neighbourhood plan. It does not conform to the missing middle regulations. The main reason for this is that we are unable to meet the 1.1:1.0 FSR criteria required of the

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<sup>1</sup> Sale price is largely driven by square footage. A recent review of sale prices indicated average cost of \$600/square foot. If a home is 1500 square feet this would sell for \$900,000. Our residences are 1200 square feet which according to this model would sell for \$720,000.



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missing middle regulation. However, following conversations with staff, we have attempted to incorporate the spirit of the missing middle into our design even if it does not meet the letter of it. We have added secondary suites to units to allow flexibility for different sizes and makeups of families as well as allowed for the possibility of 'mortgage helpers'. Secondary suites are ground level and one floor to aid with accessibility.

Within the Vic West neighbourhood plan, the site is located within the Craigflower Village adjacent area. This area, among other things, calls for townhouses in a single row up to three stories (10.7 metres) with FSR of 1.5:1. This proposal would see a single row of townhouses with FSR of 1.2:1 and building height of 10.02 metres. Topography in this location is favorable as the effect of height on adjacent traditional residential to the east and the south will be mitigated higher grades in these directions. Innovative design includes a mix of traditional peaked roofs to reflect the existing neighbourhood conjoined with a contemporary roofline to blend into a new, modern Vic West. This also mitigates the effect of 8 conjoined units.

There are setback variances to:

1. Reduce front yard (Raynor Street) setback from 6.00m to 2.23m;
2. Reduce the side yard (Russell Street) setback from 6.00m to 3.40m
3. Reduce the rear (south) setback from 4.0m to 1.52m
4. Reduce the side (east) setback from 4.0m to 3.01m

The proposal meets schedule C for resident parking. This is enclosed to minimize visual impact of cars and impact to liveable outdoor spaces (Built for people, not cars).

A variance is requested to reduce visitor parking from a requested 1 space to 0 spaces. The street is a dead-end street with only one other residence it. During the time as owners of this property there has rarely been any cars at all using street parking spaces.



## H A Z L E T T H O M E S

A variance is requested to decrease the number of onsite van accessible parking spaces from 1 to 0. This development is a small building with 8 total spaces divided over two garages. There simply is not space for larger, accessible spaces on site. And, even if van parking was included, there is no guarantee it would be in the correct garage for which it was required. Further, accessible ground floor suites are not anticipated to include a designated space. For all of these reasons it seems that designating a street space as a disabled parking space or simply allowing van parking on the street would be the most useful and appropriate way to facilitate accessible parking for the site.

Environmental sustainability is a core belief at Hazlett Homes. This proposal will be sensitive to:

- Energy efficiency
- Water conservation
- Reduction of storm and sewer infiltration
- Air quality optimization
- Reuse and recycling of materials and resources as possible
- Promoting sustainable transportation modes.

Specifically, the proposed development will meet or exceed BC energy step code 3 including less than 2.5 air changes per hour and less than 30kWh/m<sup>2</sup>/year energy usage. The site will be low carbon by utilizing 100% electric for space and water heating and encouraging low emission cars with rough in for EV chargers at each parking space. Roofs will be solar panel ready meaning conduits for energy integration will be included in electrical rough in. Natural heat management will be augmented by planting

of trees as natural sunblock at south facing exposures. A complete list of green building features is attached as Appendix A



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Thank you in advance for your consideration,

Andrew Mills, Hazlett Homes





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### **Appendix A: Green Building Features:**

Building will be constructed to meet BC Energy Step Code 3 including maximum 2.5 air changes per hour and maximum 30kWh/m<sup>2</sup>/year energy use per year

### **Operational Systems:**

- All windows to be Energy Star labelled
- All appliances to be Energy Star labelled
- Home is built 'Solar Ready' providing for a rough-in of 3" (75mm) thermal run from mechanical room to attic and space allocated on roof tops.
- Energy efficient light bulbs
- **Electric multizone heat pumps**

### **Building Materials:**

- Use of finger-jointed non structural framing material
- Use of advanced sealing non HCFC expanding foam around window and door openings
- High performance building envelope materials

### **Interior and Exterior Finishes:**

- Entry doors manufactured from natural materials (wood, metal and glass)
- Natural cementitious exterior siding
- Minimum 30 year manufacturer warranty of roofing material
- MDF casing and baseboard trim (reducing reliance on old growth forest products)
- Highest quality interior and exterior materials, as can be budgeted, for durability



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### **Indoor Air Quality:**

- Installation of hardwired carbon monoxide detector
- All insulation in home to be third party certified with low formaldehyde
- Low formaldehyde subfloor sheathing, exterior sheathing, insulation, carpet underlayment and cabinetry (less than 0.18 ppm)
- All wood or laminate flooring to be factory finished
- Interior paints to have low VOC (Volatile Organic Compounds) content (less than 250 grams/ litre)

### **Ventilation:**

- Programmable Energy Star thermostat
- Ventilation fans to meet or exceed Energy Star Requirements
- HVAC system including electric powered ducted heat pump
- Maximum ACH of 2.5 with goal of 2 to be strived for

### **Waste Management:**

- Trees and natural features to be protected during construction
- Install into new duplex a built-in recycling centre with two or more bins
- Provide composter to both units
- Existing home to be deconstructed and recycled as much as possible

### **Water Conservation:**



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- CSA approved single flush toilet averaging 1.6 GPF (gallons per flush) or less installed in all bathroom locations
- Insulate hot water lines with pipe insulation on all hot water lines
- Install hot water recirculation line
- Install low flow faucets in kitchen, on lavatories and shower valves
- Plant drought tolerant vegetation
- Utilize swales and permeable paving for storm water management



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