

# 1276 GLADSTONE | 1276 GLADSTONE AVE.

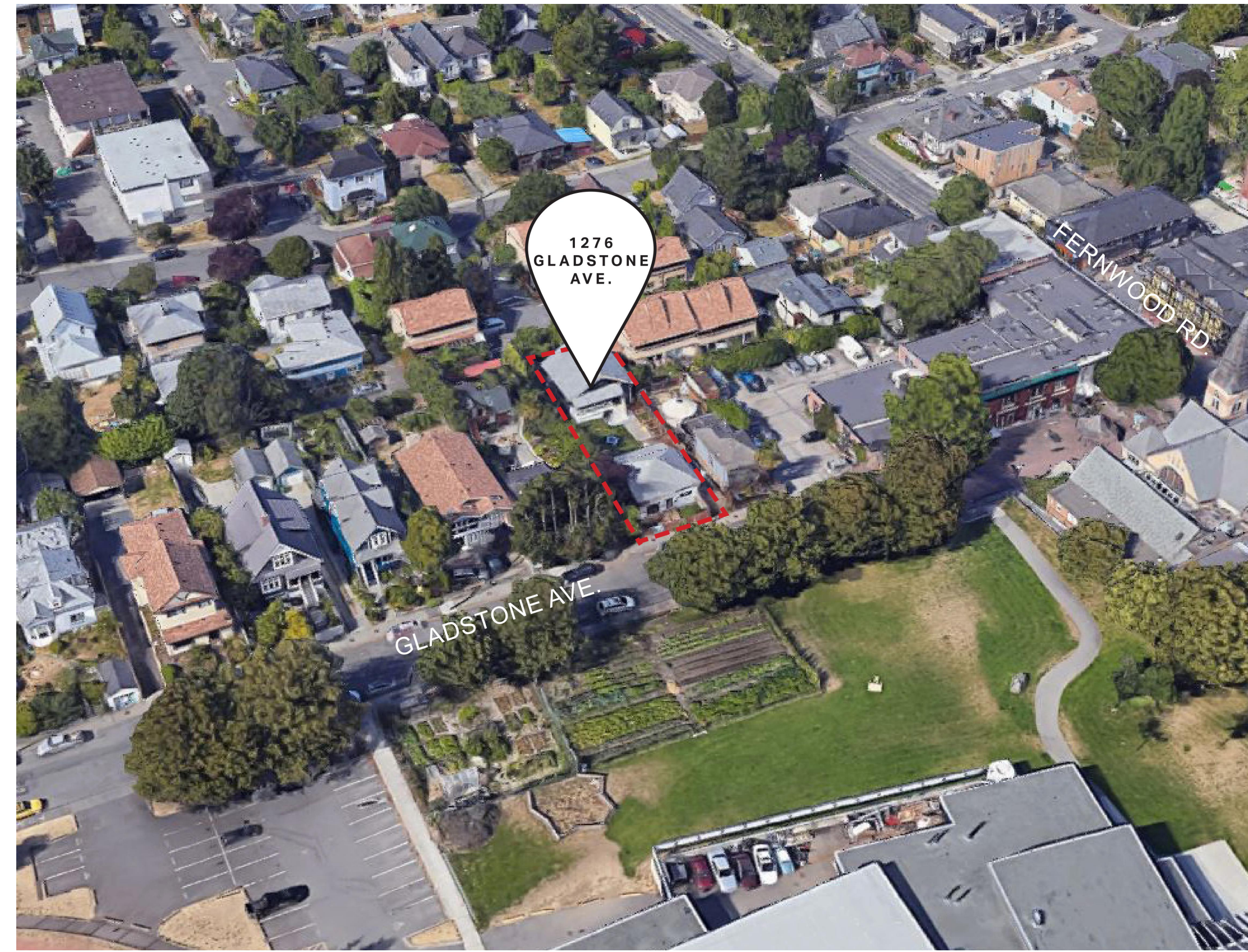
PROJECT NUMBER: 2303  
 REISSUED FOR REZONING AND DEVELOPMENT PERMIT - APRIL 26, 2024

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## DRAWING LIST

- ARCHITECTURAL**  
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 C2 CONCEPTUAL GRADING PLAN
- LANDSCAPE**  
 L1 LANDSCAPE CONCEPT PLAN  
 L2 LANDSCAPE CONCEPT PLAN  
 L3 TREE MANAGEMENT PLAN



**1 CONTEXT PLAN**  
 N/A



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2024-04-26

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| 01  | ISSUED FOR REZONING AND DEVELOPMENT PERMIT   | 09/15/2023 |

PROJECT NAME

**1276 GLADSTONE  
 VICTORIA, BC**

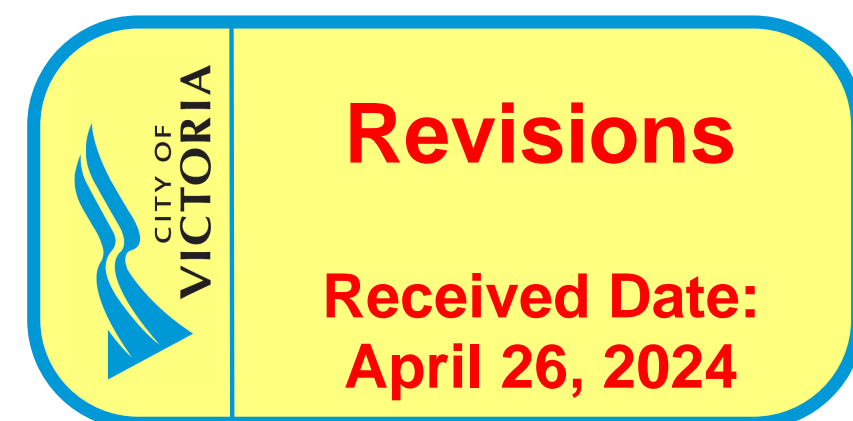
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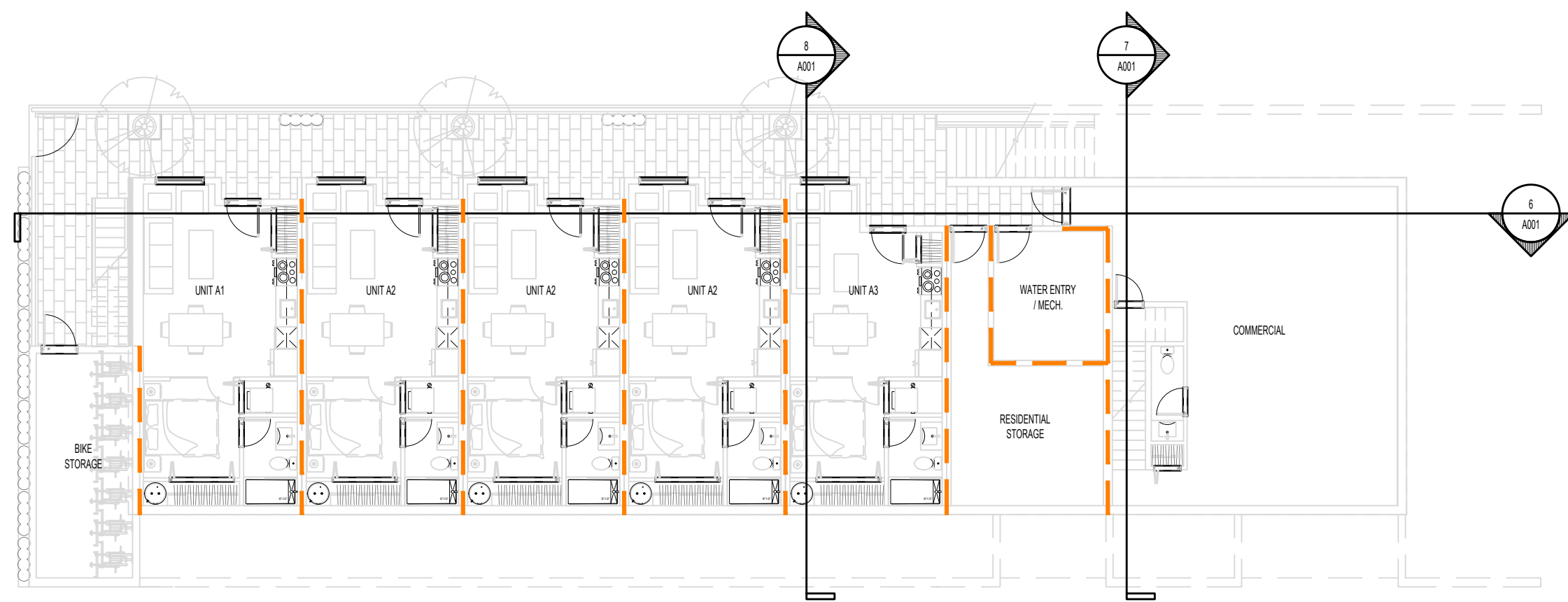
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DRAWING TITLE

**COVER PAGE**

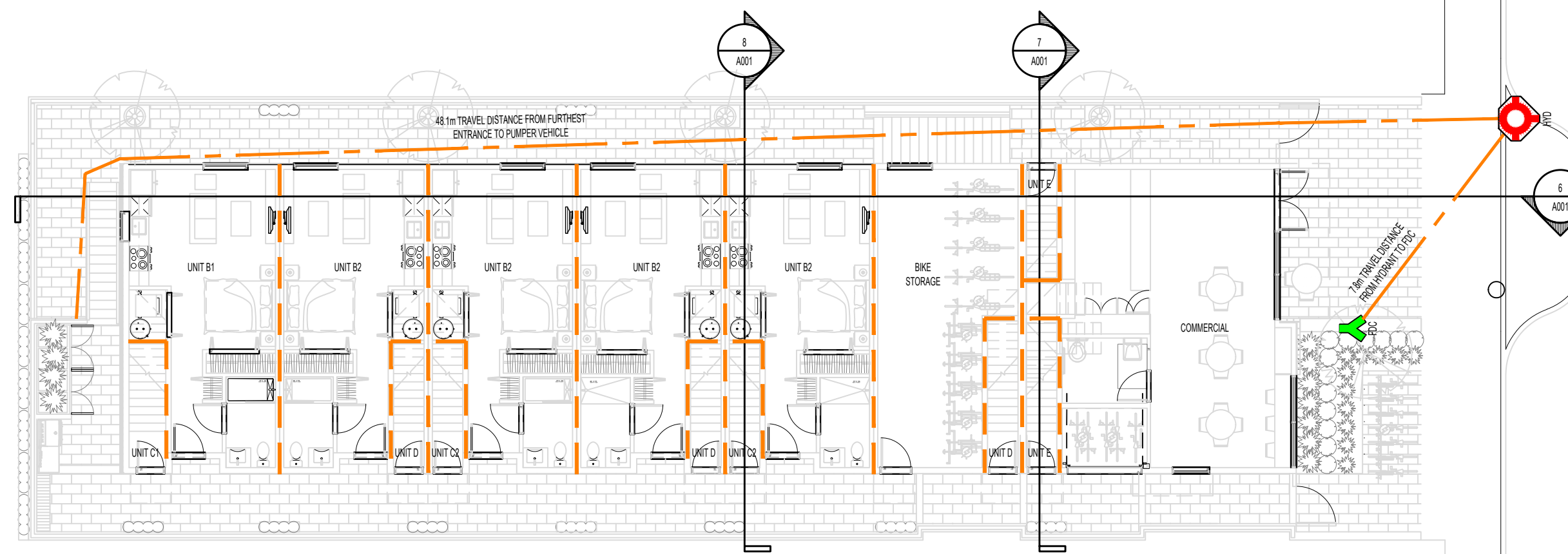
|             |      |            |    |
|-------------|------|------------|----|
| PROJECT NO: | 2303 | DRAWN BY:  | HG |
| SCALE:      | N/A  | REVIEW BY: | CH |
| DRAWING NO: |      | A000       |    |





**1 LEVEL 1 CODE PLAN**

1:150



**2 LEVEL 2 CODE PLAN**

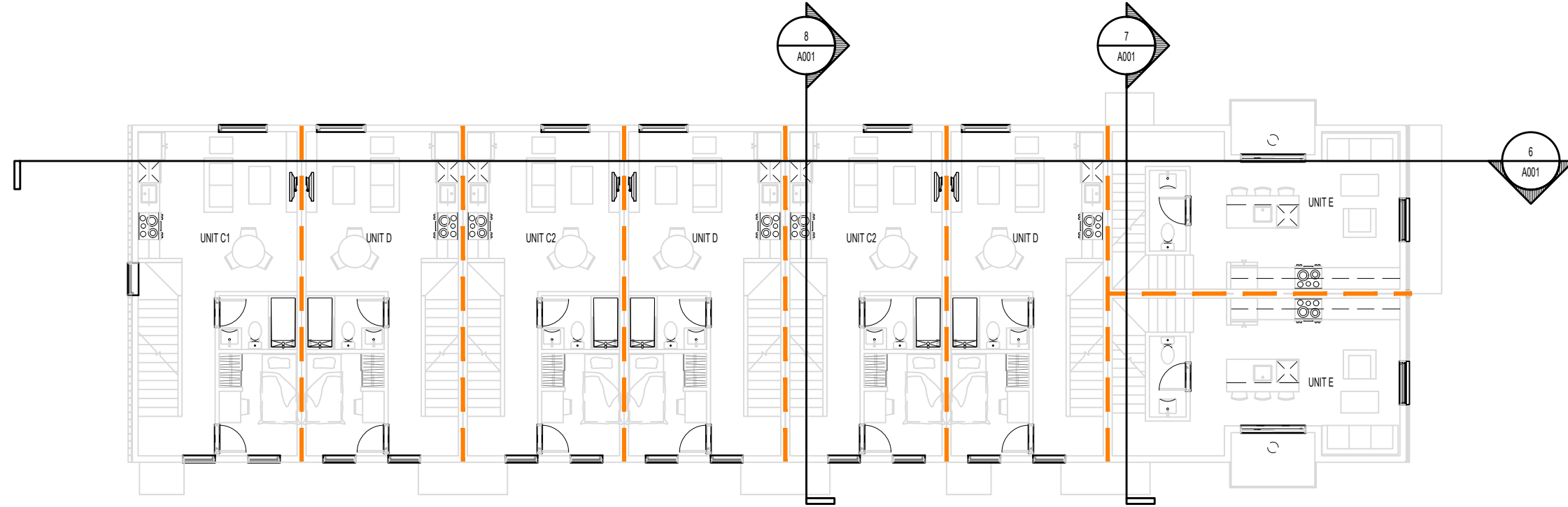
1:150

**FIRE SEPARATION LEGEND**

— 45 MIN FIRE SEPARATION  
 - - - 1 HR FIRE SEPARATION

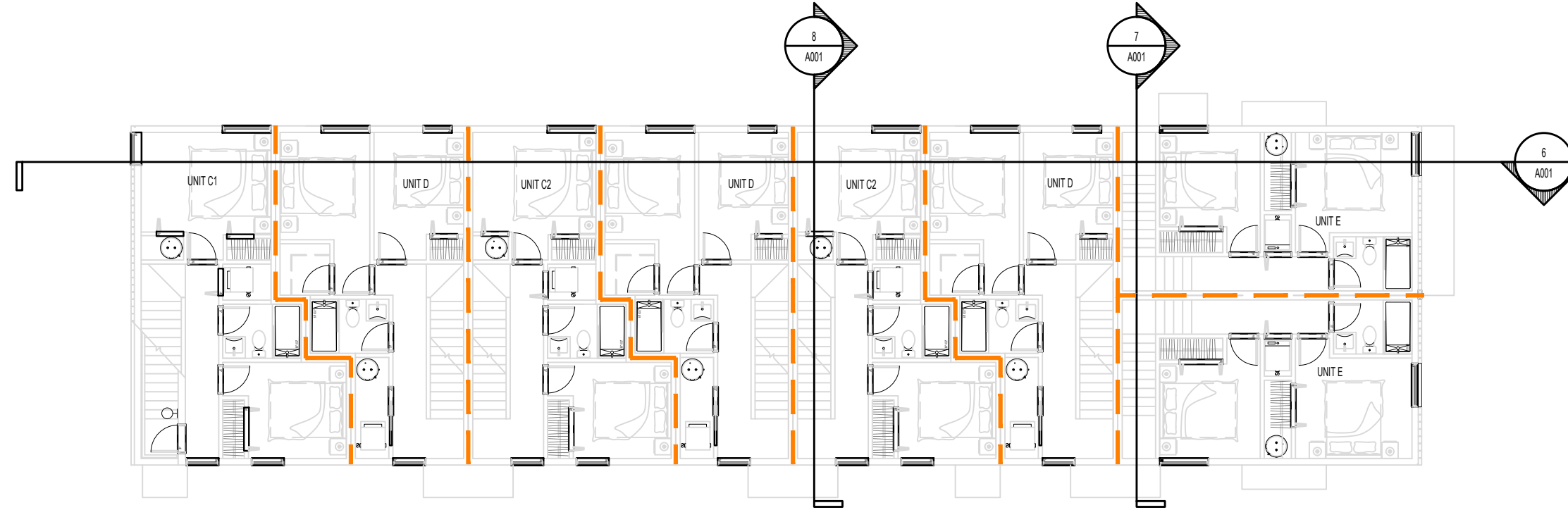
**TRAVEL DISTANCE LEGEND**

→ PATH OF TRAVEL



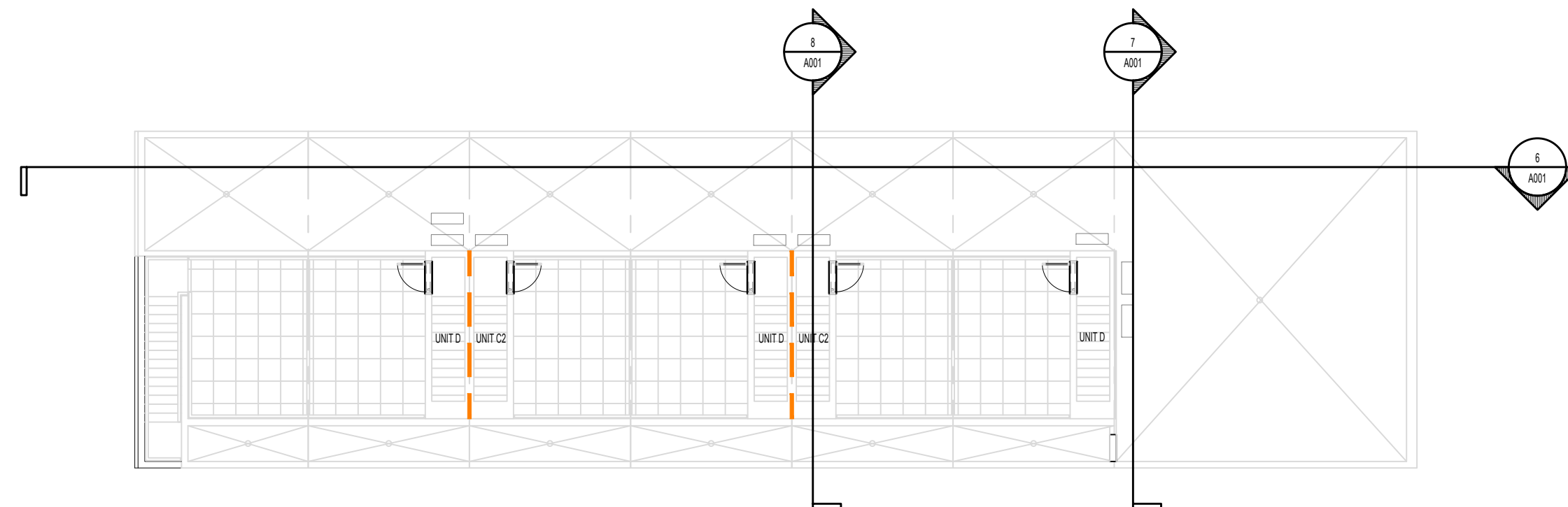
**3 LEVEL 3 CODE PLAN**

1:150



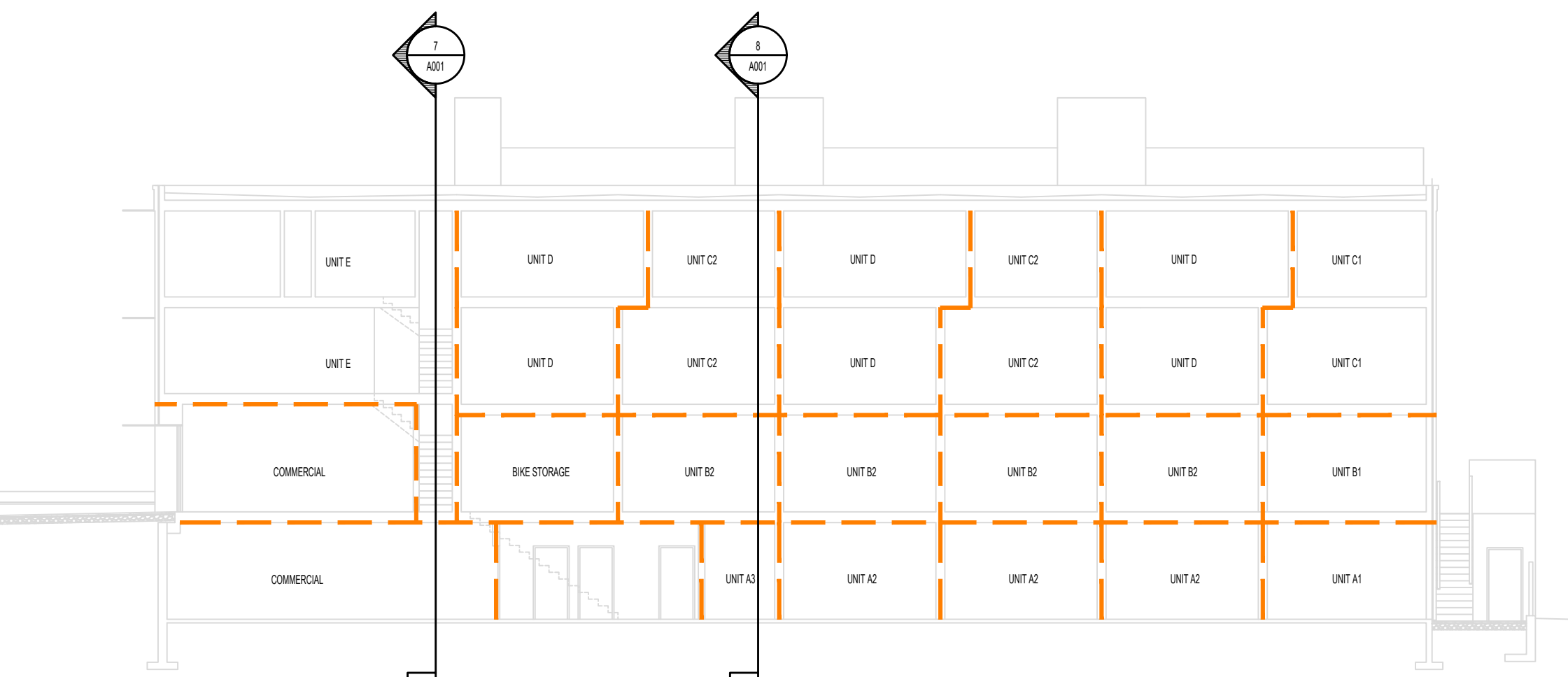
**4 LEVEL 4 CODE PLAN**

1:150



**5 ROOF LEVEL CODE PLAN**

1:150



**6 CODE SECTION A**

1:150



**7 CODE SECTION B**

1:150

**8 CODE SECTION C**

1:150

**CODE ANALYSIS BC BUILDING CODE 2018**

PR. #: 2303  
 DATE: 05-Feb-24

**PROJECT DESCRIPTION**

|   |                               |
|---|-------------------------------|
| 4-STORY BUILDING WITH WOOD FRAME COMBUSTIBLE CONSTRUCTION | NEW CONSTRUCTION              |
| TYPE OF WORK  | PART 3 PER 1.3.3.2.(1)(a)(ii) |
| BASIS FOR CODE ANALYSIS                                   |                               |

**BUILDING SIZE AND CONSTRUCTION**

|                                 |  |
|---------------------------------|--|
| GOVERNING ARTICLE               | 3.2.2.50 PER 3.2.2.50.(5)                        |
| MAJOR OCCUPANCIES               | GROUP C AND GROUP A2                             |
| OCCUPANT LOAD                   | 84 PER 3.1.17.1.(1)(b) AND 3.1.17.1.(1)(c)       |
| BUILDING AREA                   | 366.9 m <sup>2</sup>                             |
| BUILDING HEIGHT (STOREYS)       | 4  |
| SPRINKLERED                     | YES NFPA 13 - PER 3.2.2.50.(1)(a) & 3.2.5.12.(1) |
| FIRE ALARM AND DETECTION SYSTEM | YES PER 3.2.4.1.(1)                              |
| TYPE OF CONSTRUCTION PERMITTED  | COMBUSTIBLE OR NONCOMBUSTIBLE                    |

**OTHER SAFETY REQUIREMENTS**

|                                      |  |
|--------------------------------------|--|
| STANDPIPE & HOSE SYSTEM              | NO (REQUIRED PER 3.2.5.8.(1)(a). ALTERNATE SOLUTION PENDING) |
| LIMITING DISTANCE                    | UNPROTECTED OPENINGS ARE IN COMPLIANCE. SEE SHEET A002       |
| FIREFIGHTING ACCESS ROUTES           | 7.8m TRAVEL DISTANCE FROM HYDRANT TO FDC (45m ALLOWED)       |
| STORAGE ROOM SPRINKLERS              | YES PER 3.3.4.3.(1)  |
| LIGHTING AND EMERGENCY POWER SYSTEMS | YES PER 3.2.7.   |

**REQUIRED FIRE SEPARATION / FIRE-RESISTANCE RATINGS**

|   |                          |
|---|--------------------------|
| FRR OF FLOOR ASSEMBLIES   | 1 HR PER 3.2.2.50.(2)(a) |
| FRR OF ROOF ASSEMBLIES  | 1 HR PER 3.2.2.50.(2)(b) |
| FRR BETWEEN SUITES  | 1 HR PER 3.3.1.1.(1)     |
| FRR BETWEEN COMMERCIAL AND RESIDENTIAL  | 1 HR PER 3.1.3.1.(1)     |
| FRR BTW ELECTRICAL ROOM AND STORAGE ROOM / COMMERCIAL   | 1 HR PER 3.6.2.1.(6)     |
| FRR BTW BIKE ROOM AND RESIDENTIAL   | 1 HR PER 3.3.4.3.(2)     |
| FRR BTW STORAGE ROOM AND RESIDENTIAL  | 1 HR PER 3.3.4.3.(2)     |
| FIRE SEPARATION OF FLOOR ENTIRELY CONTAINED WITHIN DWELLING UNITS HAVING MORE THAN ONE STOREY | N/A PER 3.2.2.50.(3)     |

**ACCESSIBILITY REQUIREMENTS**

|                                       |                        |
|---------------------------------------|------------------------|
| APARTMENT DWELLING UNITS              | N/A PER 3.8.2.1.(1)(b) |
| COMMERCIAL ACCESSIBILITY REQUIREMENTS | PER 3.8.2.1.(1)        |

NOTE: ACCESSIBLE DESIGN REQS. PROVIDED FOR PATRONS ONLY. WORK FUNCTIONS CANNOT REASONABLY BE EXPECTED TO BE PERFORMED BY PERSONS WITH DISABILITIES.

**ENERGY EFFICIENCY**

|             |                                   |
|-------------|-----------------------------------|
| STEP CODE 3 | PER CITY OF VICTORIA REQUIREMENTS |
|-------------|-----------------------------------|

**REQUIRED ALTERNATE SOLUTIONS**

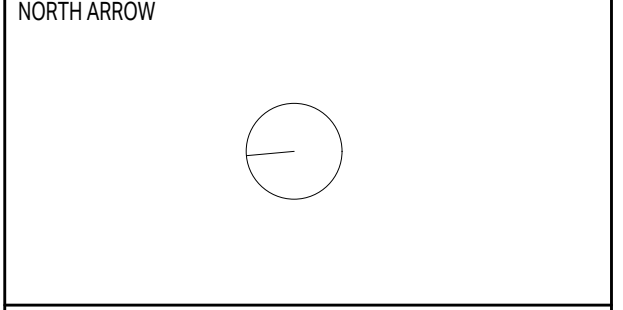
|  |  |
|--|--|
| <b>ARTICLE</b>                               | <b>MITIGATING FEATURE</b>  |
| EGRESS FROM DWELLING UNITS - PER 3.3.4.4.(3) | INCREASED SPRINKLER DENSITY AND WATER CURTAIN AT KITCHEN, TBC            |
| EXIT EXPOSURE - PER 3.2.3.13.                | WATER CURTAINS ABOVE ALL UNPROTECTED OPENINGS WITHIN 5m OF THE EXIT PATH |
| STANDPIPE SYSTEM - PER 3.2.5.8.              | 64mm HOSE CONNECTION(S) AT ENTRIES                                       |

\*ALTERNATE SOLUTION REPORT TO BE PROVIDED BY BUILDING CODE CONSULTANTS AT BUILDING PERMIT

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PROJECT NAME

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 VICTORIA, BC**

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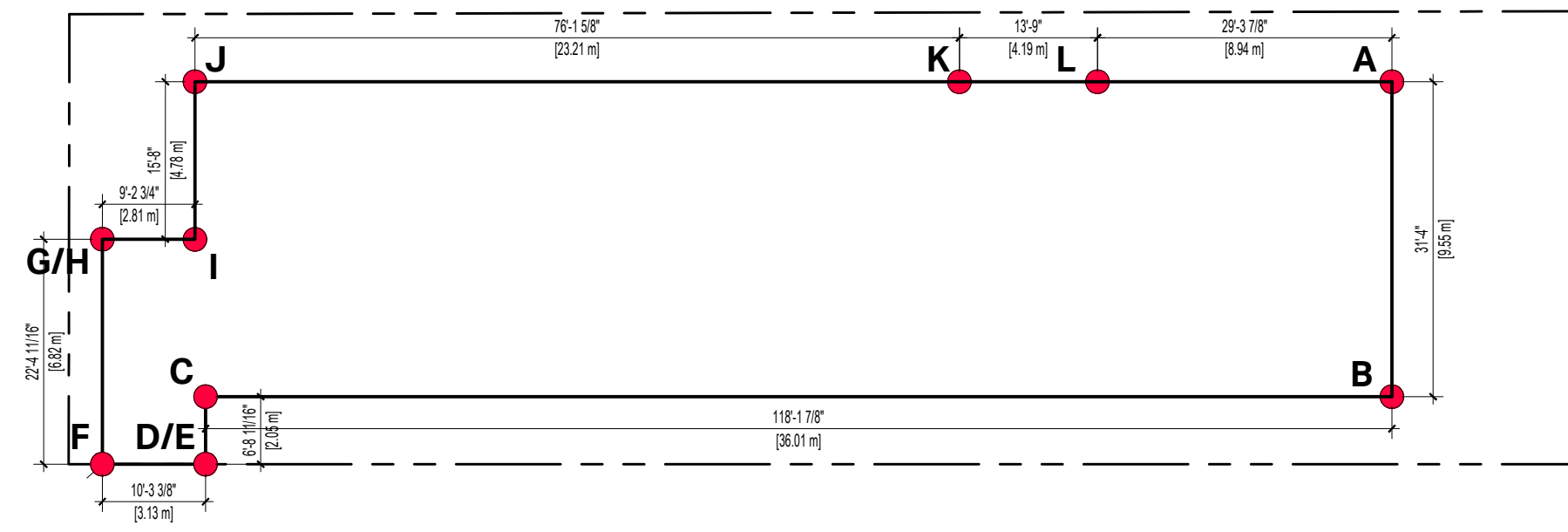
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DRAWING TITLE:

**CODE REVIEW**

|             |       |            |    |
|-------------|-------|------------|----|
| PROJECT NO: | 2303  | DRAWN BY:  | HG |
| SCALE:      | 1:100 | REVIEW BY: | CH |

DRAWING NO: **A001**



### 1 AVERAGE GRADE CALCULATION

1:200

#### ZONING GRADE CALCULATION

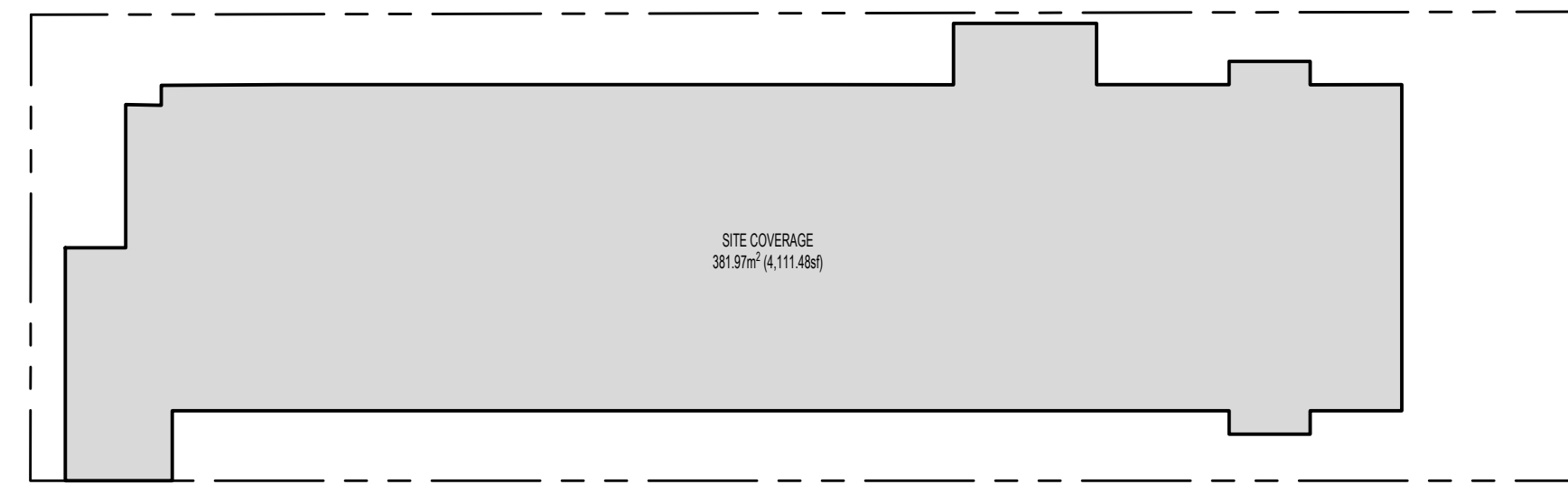
| GRADE POINTS (m)     | LENGTH (m) | GRADE CALCS                              |              |
|----------------------|------------|--|--------------|
| A 31.03 B 31.50      | 9.55       | $(31.03 + 31.5) \div 2 \times 9.55m =$   | 298.58       |
| B 31.50 C 29.29      | 36.01      | $(31.5 + 29.29) \div 2 \times 36.01m =$  | 1094.52      |
| C 29.29 D 29.78      | 2.05       | $(29.29 + 29.78) \div 2 \times 2.05m =$  | 60.55        |
| E 29.78 F 29.59      | 3.13       | $(29.78 + 29.59) \div 2 \times 3.13m =$  | 92.91        |
| F 29.59 G 26.77      | 6.82       | $(29.59 + 26.77) \div 2 \times 6.82m =$  | 199.01       |
| H 26.77 I 28.65      | 2.81       | $(26.77 + 28.65) \div 2 \times 2.81m =$  | 80.68        |
| I 28.65 J 28.65      | 4.78       | $(28.65 + 28.65) \div 2 \times 4.78m =$  | 136.95       |
| J 28.65 K 28.65      | 23.21      | $(28.65 + 28.65) \div 2 \times 23.21m =$ | 664.97       |
| K 28.65 L 30.44      | 4.19       | $(28.65 + 30.44) \div 2 \times 4.19m =$  | 123.79       |
| L 30.44 A 31.03      | 8.94       | $(30.44 + 31.03) \div 2 \times 8.94m =$  | 274.77       |
| TOTALS               | 101.49     |  | 3026.73      |
| <b>AVERAGE GRADE</b> |            |  | <b>29.82</b> |

#### GRADES

| Grade Points | Existing | Proposed | Grade |
|--------------|----------|----------|-------|
| Point A      | 31.03    | 31.65    | 31.03 |
| Point B      | 31.50    | 31.78    | 31.50 |
| Point C      | 29.29    | 31.70    | 29.29 |
| Point D      | 29.78    | 31.70    | 29.78 |
| Point E      | 29.78    | 29.78    | 29.78 |
| Point F      | 29.59    | 29.59    | 29.59 |
| Point G      | 26.77    | 28.77    | 26.77 |
| Point H      | 26.77    | 31.65    | 26.77 |
| Point I      | 29.12    | 28.65    | 28.65 |
| Point J      | 28.99    | 28.65    | 28.65 |
| Point K      | 30.02    | 28.65    | 28.65 |
| Point L      | 30.44    | 31.70    | 30.44 |

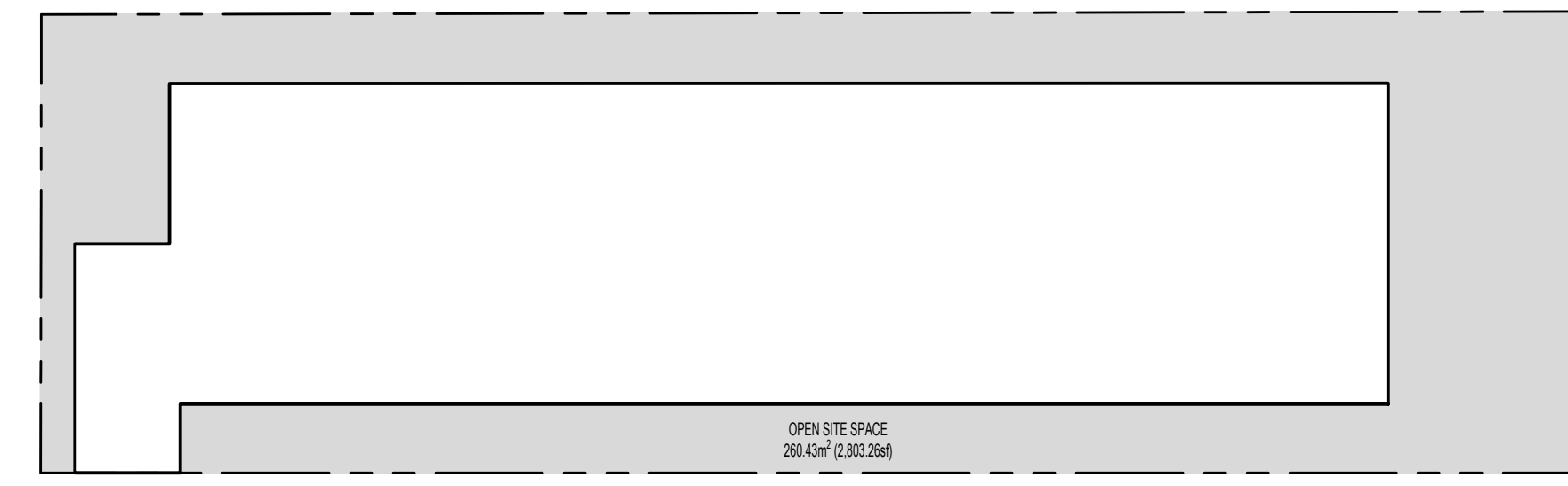
### 2 SITE COVERAGE

1:200



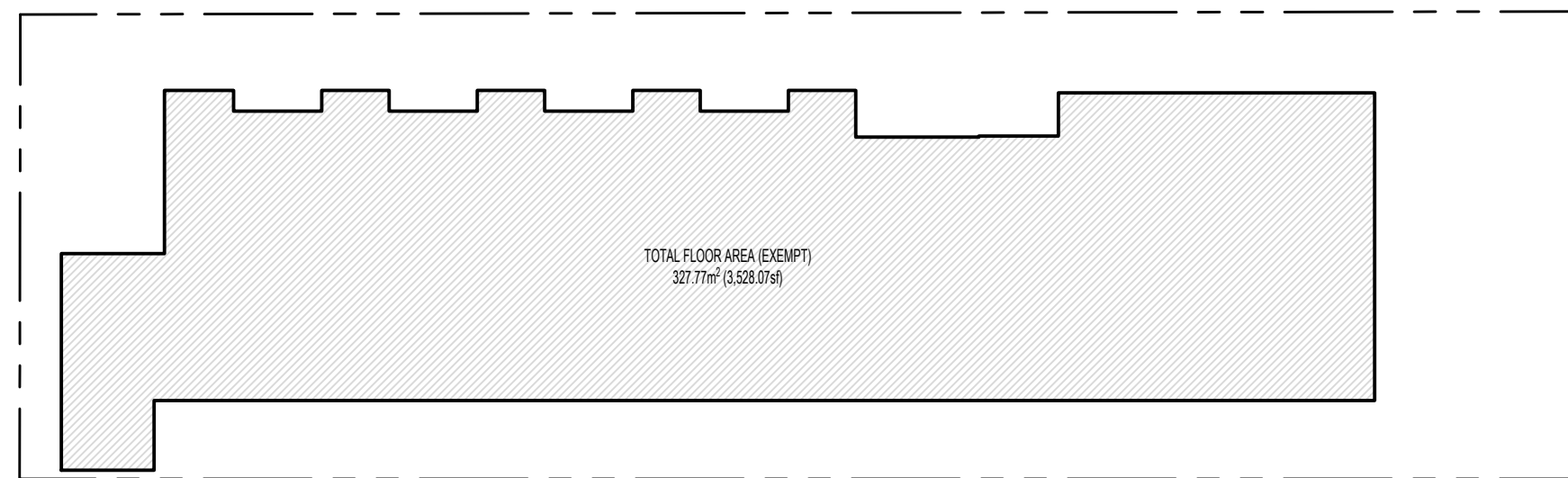
### 3 OPEN SITE SPACE

1:200



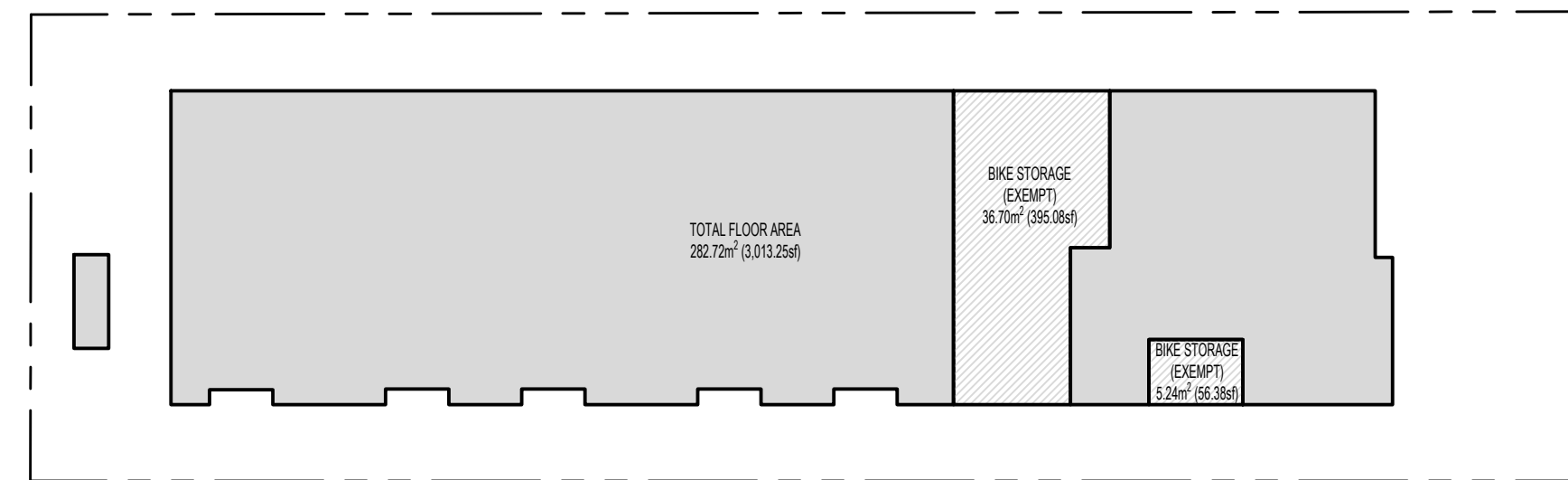
### 4 LEVEL 1 FLOOR AREA CALC

1:200



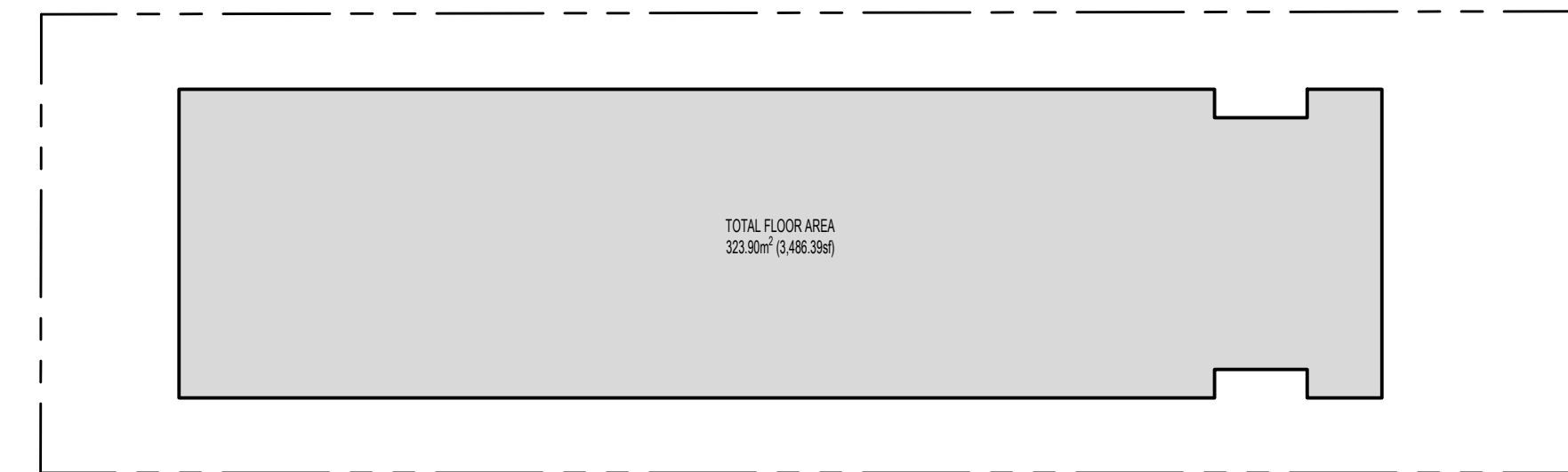
### 5 LEVEL 2 FLOOR AREA CALC

1:200



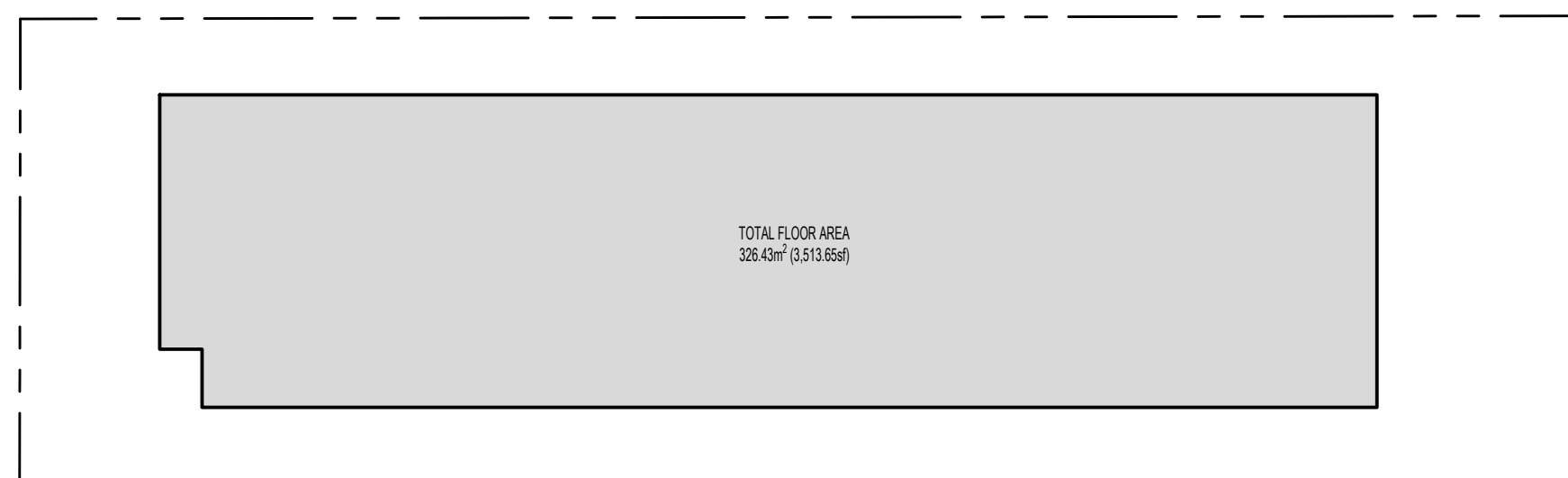
### 6 LEVEL 3 FLOOR AREA CALC

1:200



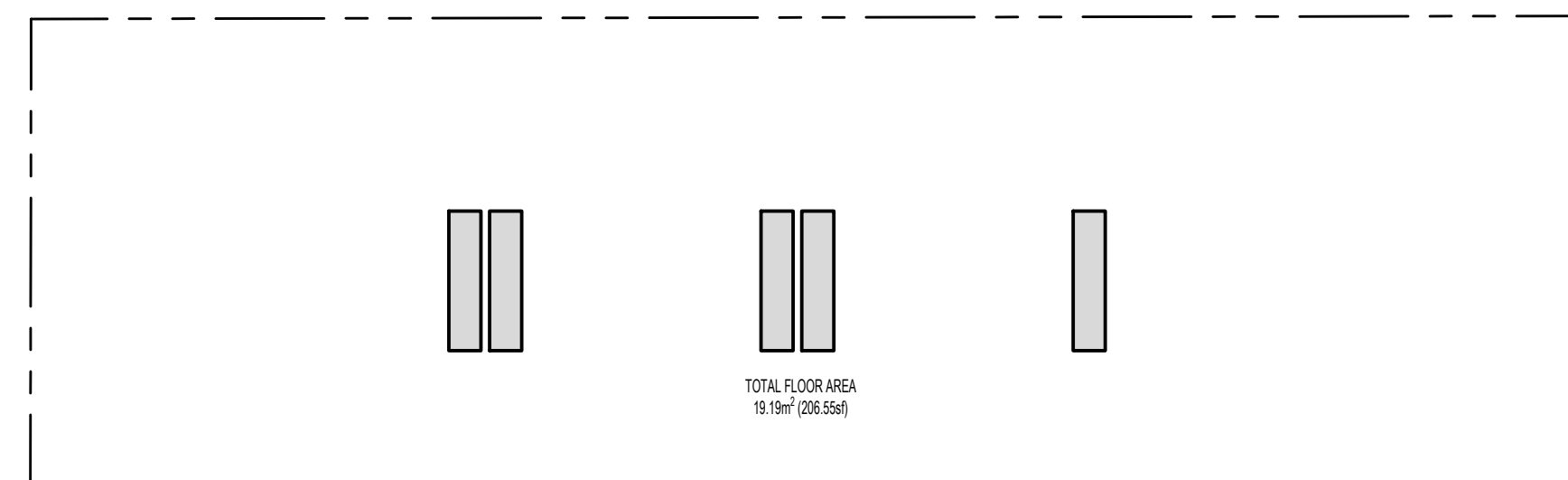
### 7 LEVEL 4 FLOOR AREA CALC

1:200



### 8 ROOF LEVEL FLOOR AREA CALC

1:200



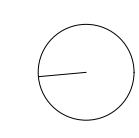
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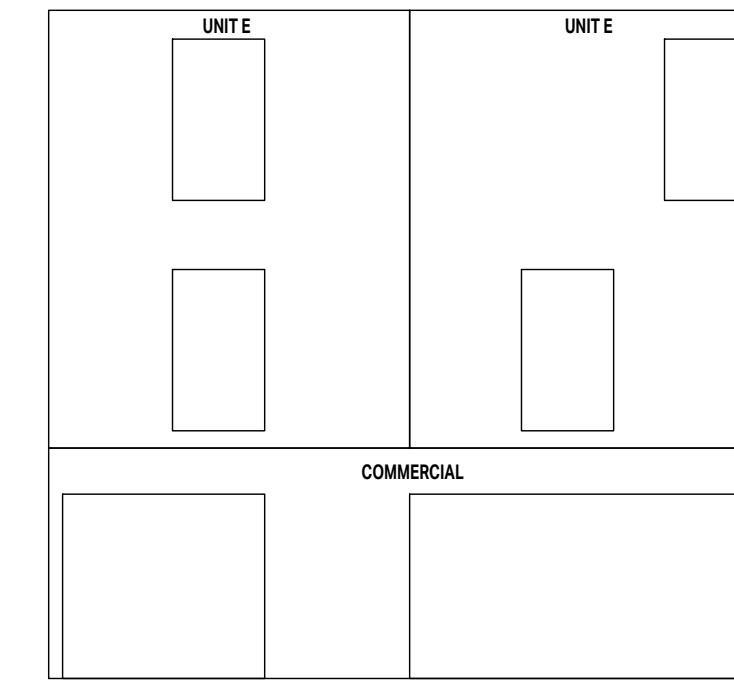
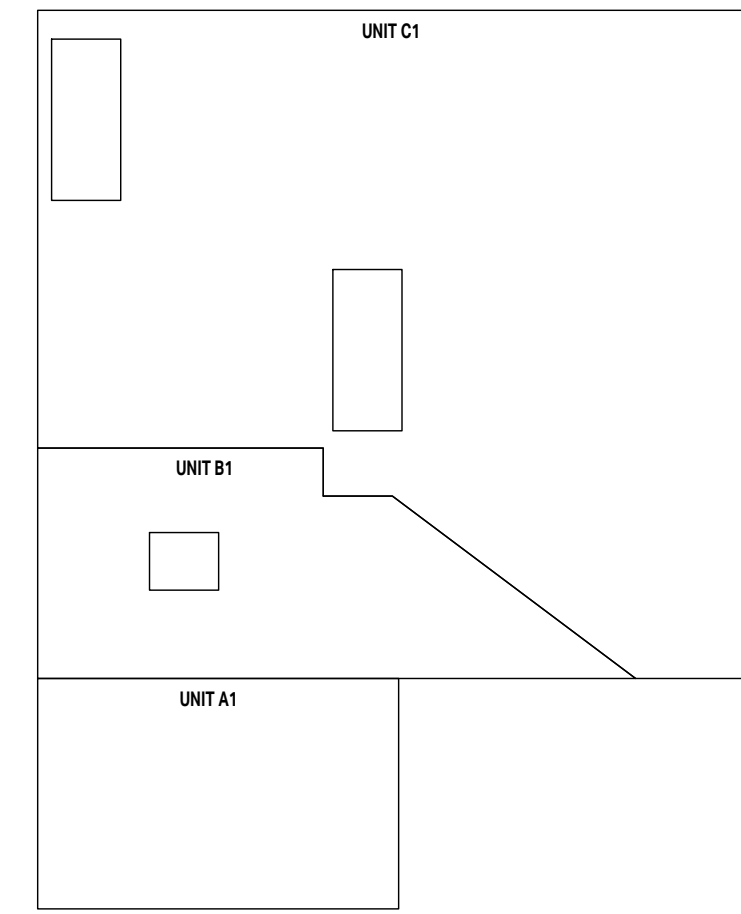
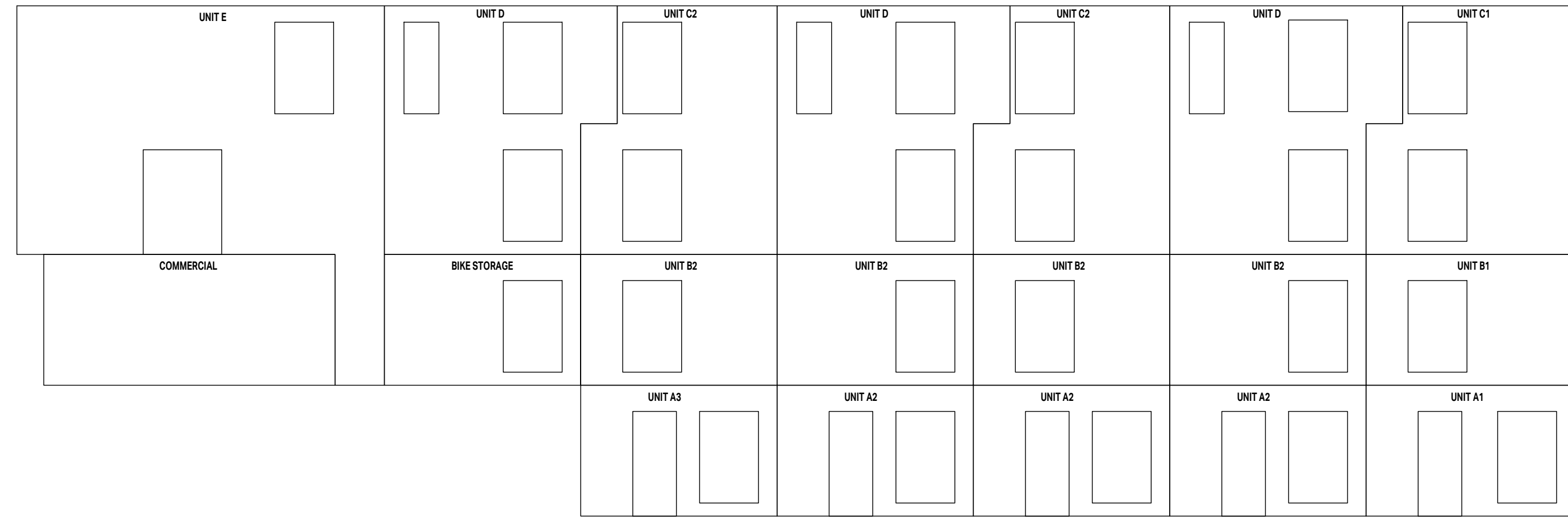


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DRAWING TITLE:  
**AREA CALCULATIONS**

| PROJECT NO: | 2303  | DRAWN BY:  | HG |
|-------------|-------|------------|----|
| SCALE:      | 1:200 | REVIEW BY: | CH |

DRAWING NO: **A002**



**UNIT E - EAST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |                                      |
|--------------------------------|--------------------------------------|
| AREA OF EXPOSED BUILDING FACE: | 53.0m <sup>2</sup> (571.1sq ft)      |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                        |
| ALLOWABLE OPENINGS:            | 21.3% (11.3m <sup>2</sup> /100sq ft) |
| PROPOSED OPENINGS:             | 13.9% (7.4m <sup>2</sup> /79.5sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT A1, A2 & A3 - EAST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |                                      |
|--------------------------------|--------------------------------------|
| AREA OF EXPOSED BUILDING FACE: | 13.94m <sup>2</sup> (150.0sq ft)     |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                        |
| ALLOWABLE OPENINGS:            | 38.9% (5.4m <sup>2</sup> /58.2sq ft) |
| PROPOSED OPENINGS:             | 38.9% (5.4m <sup>2</sup> /58.2sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT B1 & B2 & BIKE STORAGE - EAST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |  |
|--------------------------------|--|
| AREA OF EXPOSED BUILDING FACE: | 13.94m <sup>2</sup> (150.0sq ft)       |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                          |
| ALLOWABLE OPENINGS:            | 38.9% (5.4m <sup>2</sup> /58.2sq ft)   |
| PROPOSED OPENINGS:             | 21.0% (12.0m <sup>2</sup> /131.5sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT C1 & C2 - EAST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |                                       |
|--------------------------------|---------------------------------------|
| AREA OF EXPOSED BUILDING FACE: | 24.15m <sup>2</sup> (259.9sq ft)      |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                         |
| ALLOWABLE OPENINGS:            | 28.9% (10.0m <sup>2</sup> /76.1sq ft) |
| PROPOSED OPENINGS:             | 24.2% (10.8m <sup>2</sup> /83.0sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT D - EAST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |  |
|--------------------------------|--|
| AREA OF EXPOSED BUILDING FACE: | 28.81m <sup>2</sup> (310.13sq ft)        |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                            |
| ALLOWABLE OPENINGS:            | 26.4% (17.6m <sup>2</sup> /171.1sq ft)   |
| PROPOSED OPENINGS:             | 26.3% (17.59m <sup>2</sup> /181.67sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT B1 - NORTH ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |  |
|--------------------------------|--|
| AREA OF EXPOSED BUILDING FACE: | 17.6m <sup>2</sup> (189.5sq ft)        |
| LIMITING DISTANCE:             | 3.95m (12.99ft)                        |
| ALLOWABLE OPENINGS:            | 88.7% (17.4m <sup>2</sup> /196.1sq ft) |
| PROPOSED OPENINGS:             | 4.0% (0.7m <sup>2</sup> /7.5sq ft)     |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT C1 - NORTH ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |  |
|--------------------------------|--|
| AREA OF EXPOSED BUILDING FACE: | 66.8m <sup>2</sup> (719.2sq ft)        |
| LIMITING DISTANCE:             | 3.95m (12.99ft)                        |
| ALLOWABLE OPENINGS:            | 48.6% (11.1m <sup>2</sup> /120.7sq ft) |
| PROPOSED OPENINGS:             | 5.8% (1.0m <sup>2</sup> /10.8sq ft)    |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT E - SOUTH ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |                                       |
|--------------------------------|---------------------------------------|
| AREA OF EXPOSED BUILDING FACE: | 27.7m <sup>2</sup> (297.7sq ft)       |
| LIMITING DISTANCE:             | 11.09m (36.39ft)                      |
| ALLOWABLE OPENINGS:            | 100% (27.7m <sup>2</sup> /297.7sq ft) |
| PROPOSED OPENINGS:             | 18.8% (5.2m <sup>2</sup> /56.0sq ft)  |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**COMMERCIAL - SOUTH ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |  |
|--------------------------------|--|
| AREA OF EXPOSED BUILDING FACE: | 21.1m <sup>2</sup> (226.3sq ft)        |
| LIMITING DISTANCE:             | 9.86m (32.35ft)                        |
| ALLOWABLE OPENINGS:            | 100% (21.1m <sup>2</sup> /226.3sq ft)  |
| PROPOSED OPENINGS:             | 60.9% (12.8m <sup>2</sup> /138.1sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

# 1 EAST ELEVATION

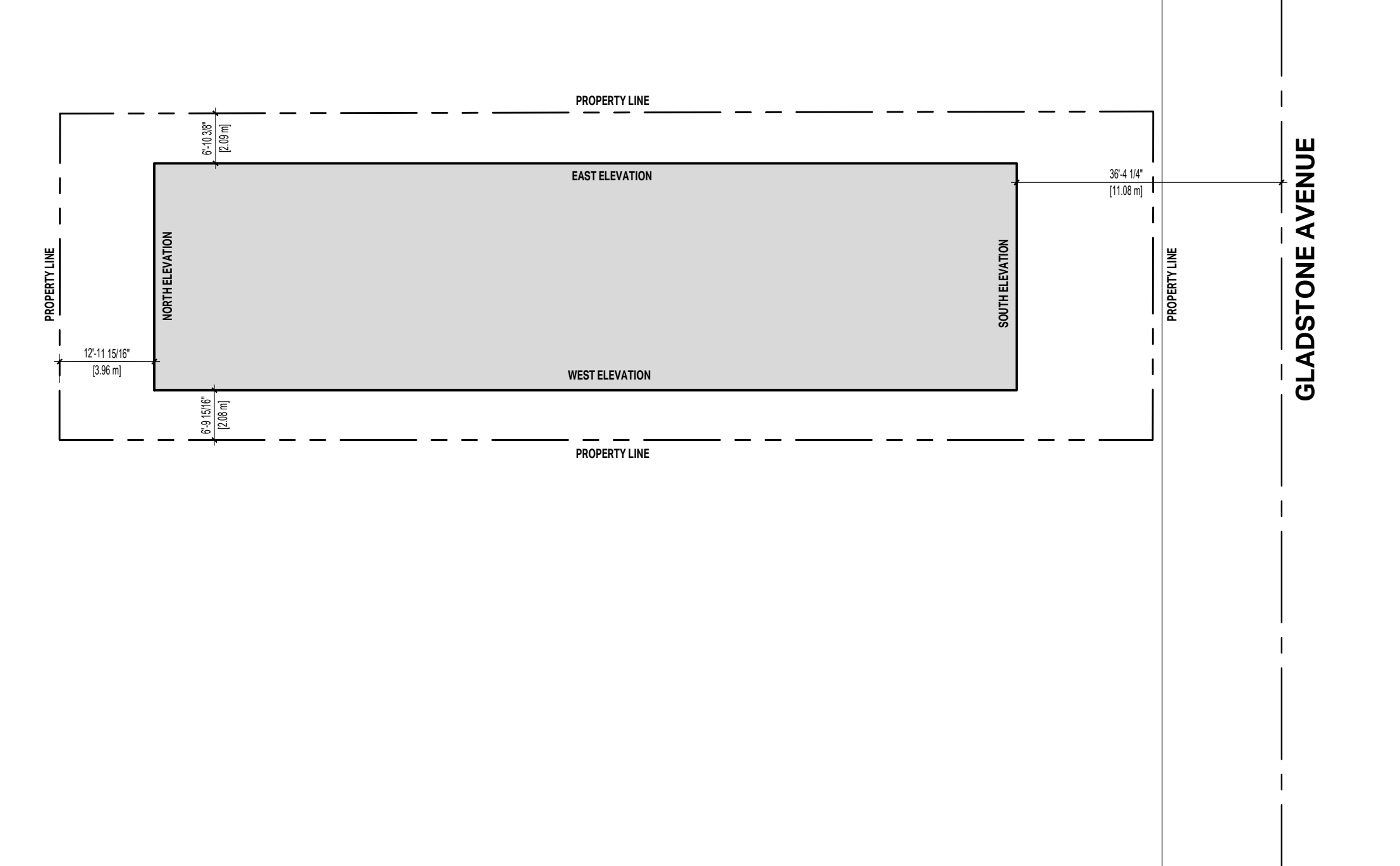
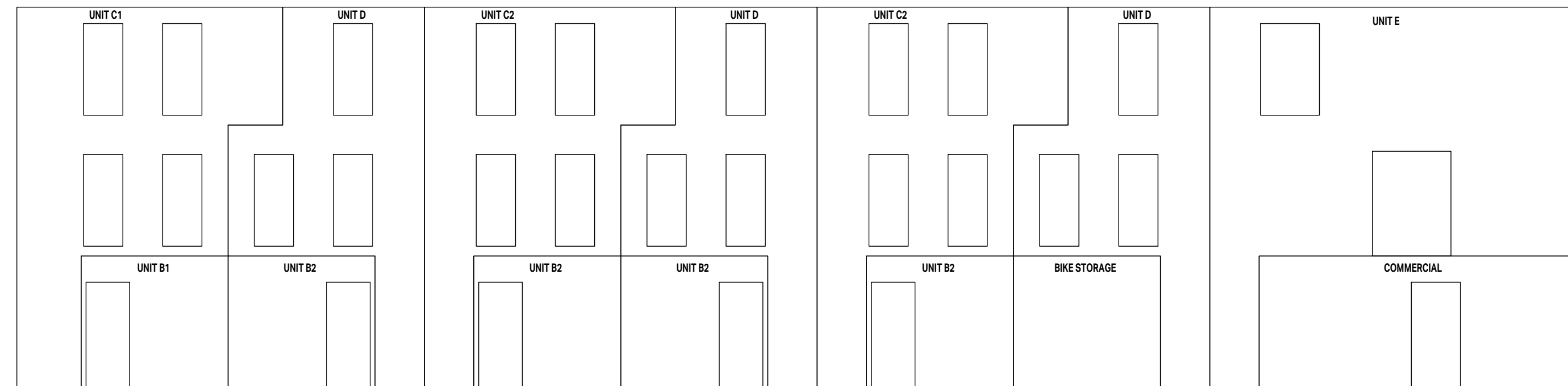
1:100

# 2 NORTH ELEVATION

1:100

# 3 SOUTH ELEVATION

1:100



**UNIT B1 & B2 - WEST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |                                       |
|--------------------------------|---------------------------------------|
| AREA OF EXPOSED BUILDING FACE: | 10.43m <sup>2</sup> (112.3sq ft)      |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                         |
| ALLOWABLE OPENINGS:            | 45.0% (4.7m <sup>2</sup> /100sq ft)   |
| PROPOSED OPENINGS:             | 23.8% (2.48m <sup>2</sup> /26.7sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT C1 & C2 - WEST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |   |
|--------------------------------|---|
| AREA OF EXPOSED BUILDING FACE: | 33.48m <sup>2</sup> (360.2sq ft)        |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                           |
| ALLOWABLE OPENINGS:            | 24.9% (8.3m <sup>2</sup> /89.3sq ft)    |
| PROPOSED OPENINGS:             | 23.9% (17.80m <sup>2</sup> /194.0sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT D - WEST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |  |
|--------------------------------|--|
| AREA OF EXPOSED BUILDING FACE: | 26.50m <sup>2</sup> (285.2sq ft)       |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                          |
| ALLOWABLE OPENINGS:            | 27.2% (17.2m <sup>2</sup> /177.7sq ft) |
| PROPOSED OPENINGS:             | 22.1% (10.8m <sup>2</sup> /116.0sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**UNIT E - WEST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |  |
|--------------------------------|--|
| AREA OF EXPOSED BUILDING FACE: | 53.0m <sup>2</sup> (571.1sq ft)        |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                          |
| ALLOWABLE OPENINGS:            | 21.2% (11.3m <sup>2</sup> /121.1sq ft) |
| PROPOSED OPENINGS:             | 13.9% (7.4m <sup>2</sup> /79.5sq ft)   |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

**COMMERCIAL - WEST ELEVATION**  
SPATIAL SEPARATION CALCULATION  
BCC 2018 PART 3 TABLE 3.2.3.1.0

|                                |                                      |
|--------------------------------|--------------------------------------|
| AREA OF EXPOSED BUILDING FACE: | 22.6m <sup>2</sup> (243.0sq ft)      |
| LIMITING DISTANCE:             | 2.09m (6.8ft)                        |
| ALLOWABLE OPENINGS:            | 29.8% (6.7m <sup>2</sup> /72.4sq ft) |
| PROPOSED OPENINGS:             | 12.9% (2.8m <sup>2</sup> /30.0sq ft) |

FIRE RESISTANCE RATING PER 3.2.3.7. CLADDING PER 3.2.3.7. CONSTRUCTION PER 3.2.3.7.

# 4 WEST ELEVATION

1:100

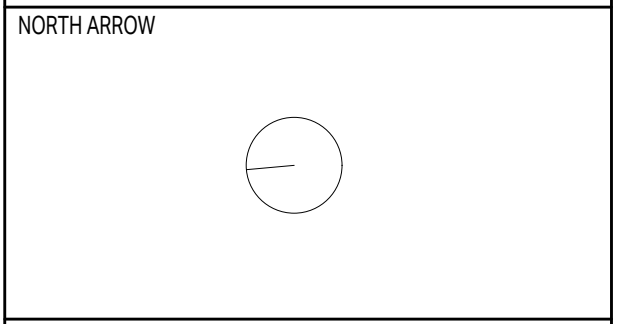
# 5 LIMITING DISTANCE KEY PLAN

1:200

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2024-04-26



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| 03  | RESUBMITTED FOR REZONING AND DEVELOPMENT PERMIT | 12/11/2023 |
| 02  | ISSUED FOR REVIEW                               | 11/03/2023 |
| 01  | ISSUED FOR REZONING AND DEVELOPMENT PERMIT      | 09/15/2023 |
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PROJECT NAME

## 1276 GLADSTONE VICTORIA, BC

PROJECT ADDRESS:  
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DRAWING TITLE:  

## LIMITING DISTANCE

|             |       |            |    |
|-------------|-------|------------|----|
| PROJECT NO: | 2303  | DRAWN BY:  | IG |
| SCALE:      | 1:100 | REVIEW BY: | CH |

DRAWING NO: **A003**



JUNE 21 - 8:00AM



JUNE 21 - 12:00PM



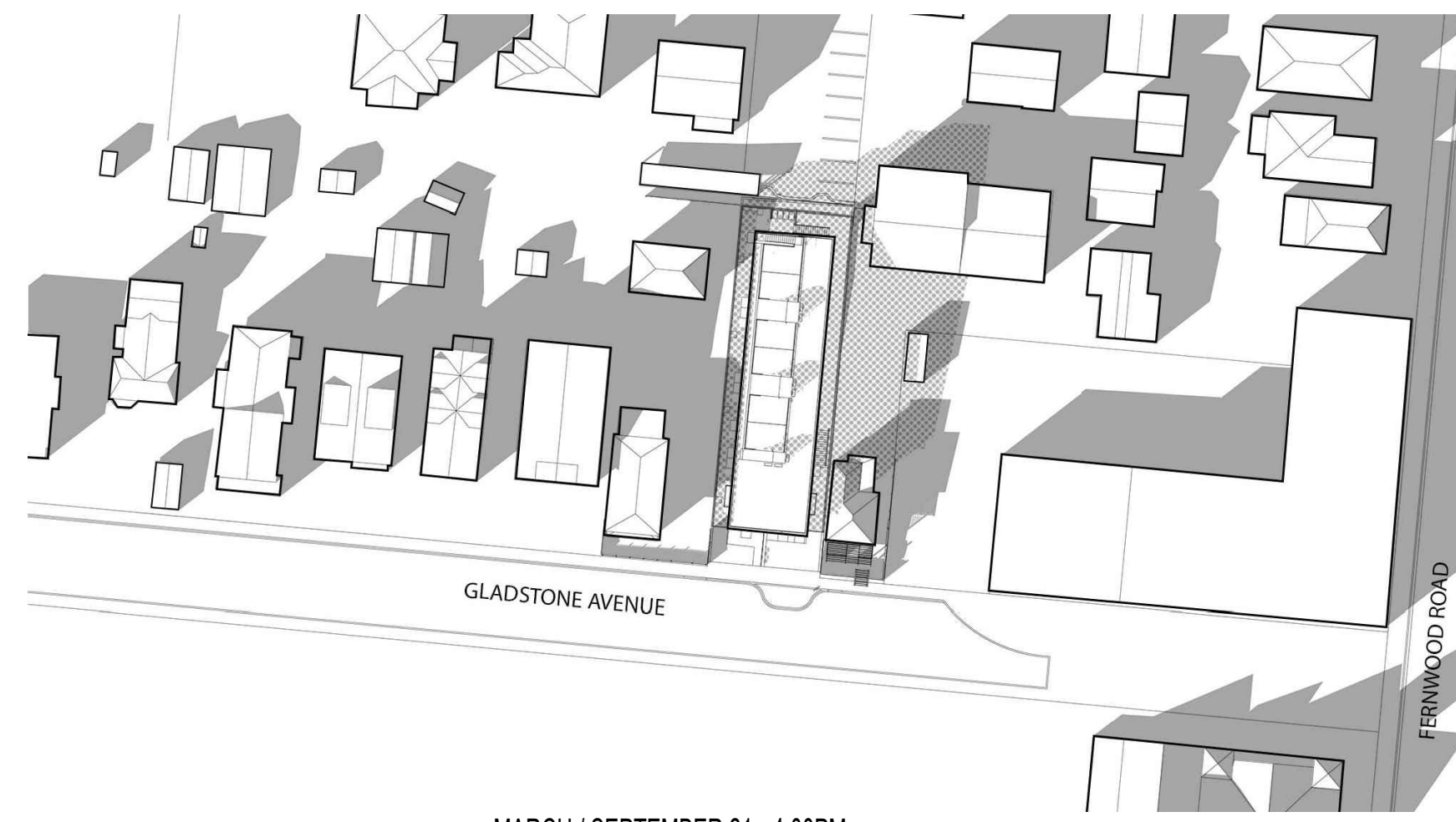
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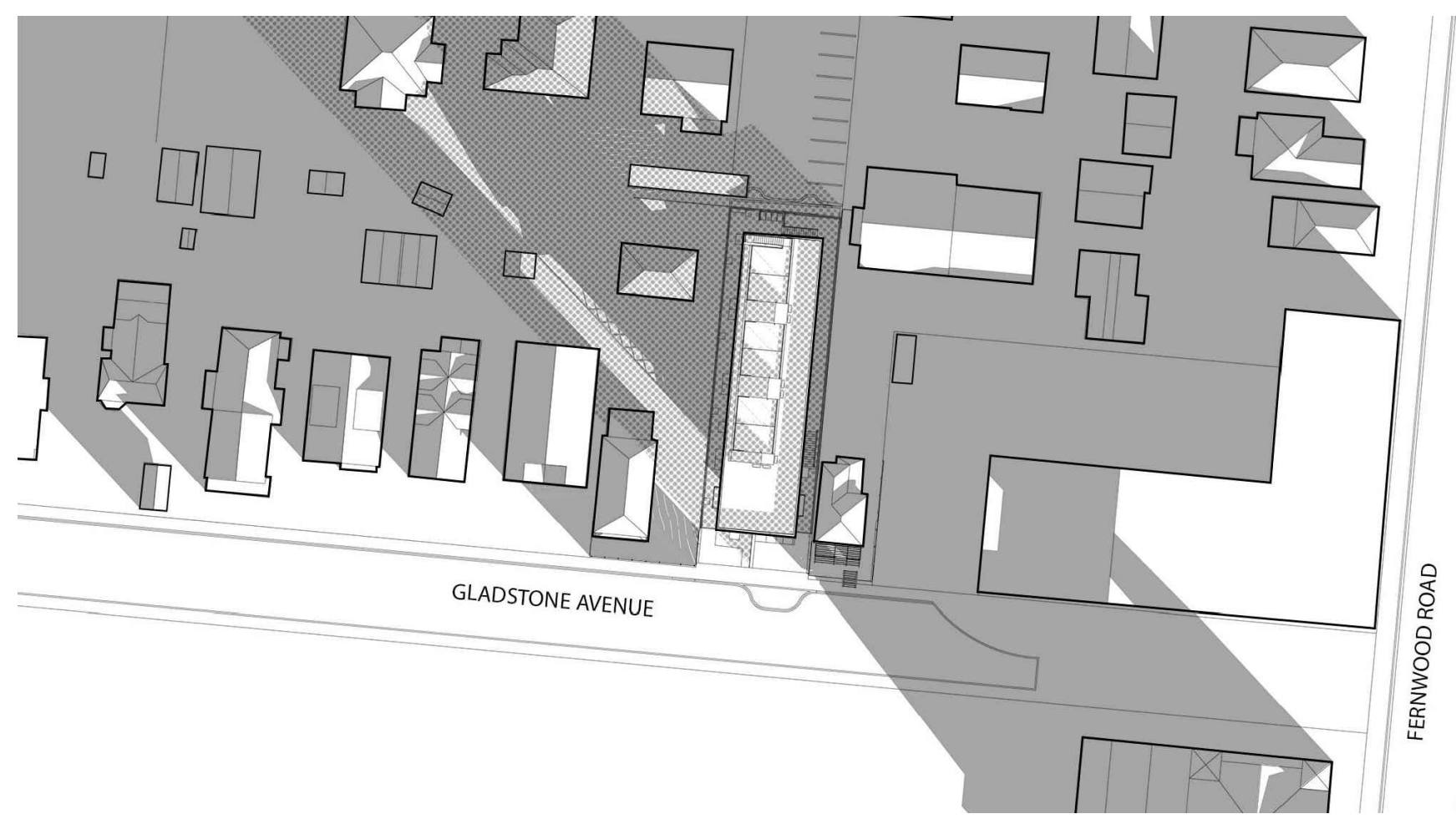
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MARCH / SEPTEMBER 21 - 12:00PM



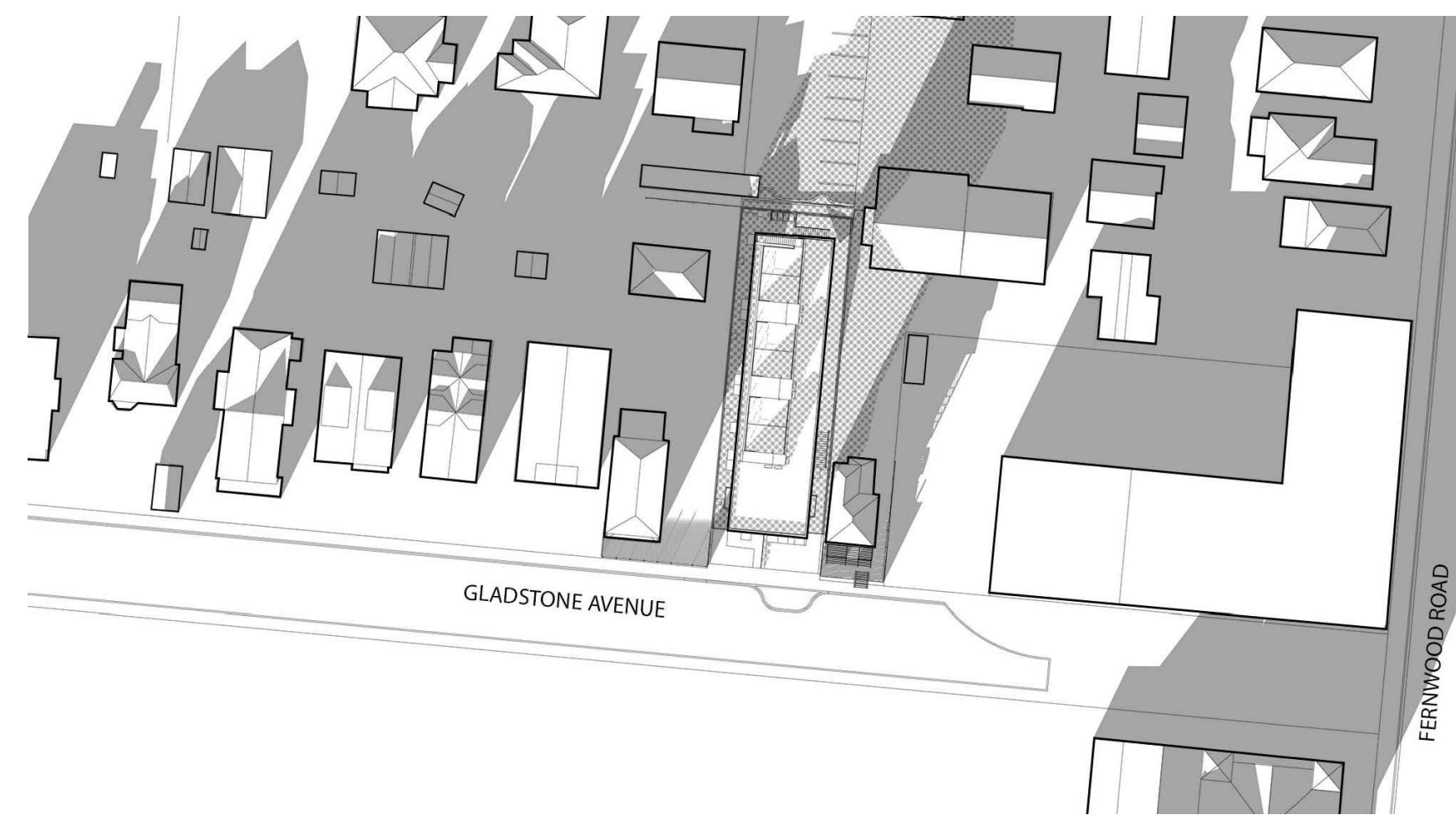
MARCH / SEPTEMBER 21 - 4:00PM



DECEMBER 21 - 10:00AM






DECEMBER 21 - 12:00PM



DECEMBER 21 - 3:00PM

**1 SHADOW STUDY**

N/A

-  SHADOWS FROM EXISTING BUILDINGS
-  SHADOWS FROM PROPOSED BUILDING
-  SHADOW OVERLAY OF PROPOSED & EXISTING BUILDINGS

**2 LEGEND**

N/A

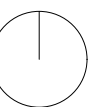
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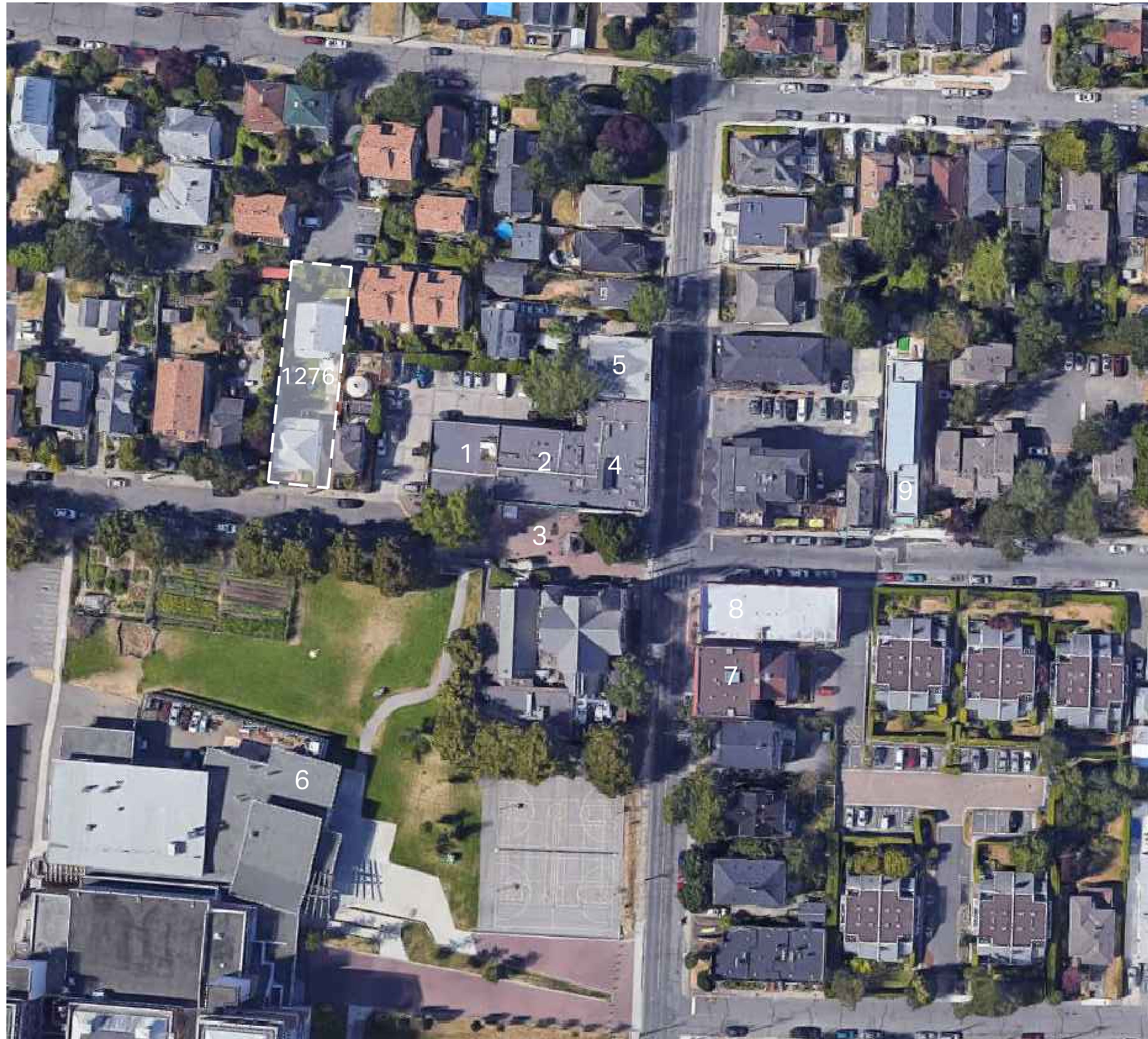


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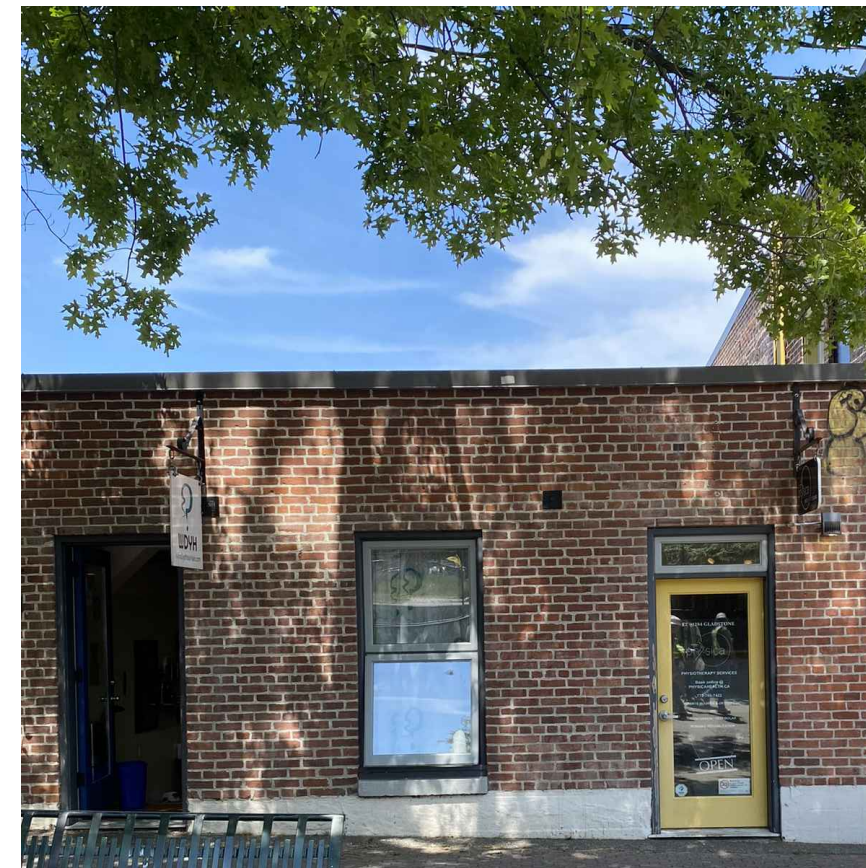
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| SCALE:      | N/A  | REVIEW BY: | CH |

DRAWING NO: A005



**1 CONTEXT PLAN**

N/A



1



2



3



4



5



6



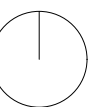
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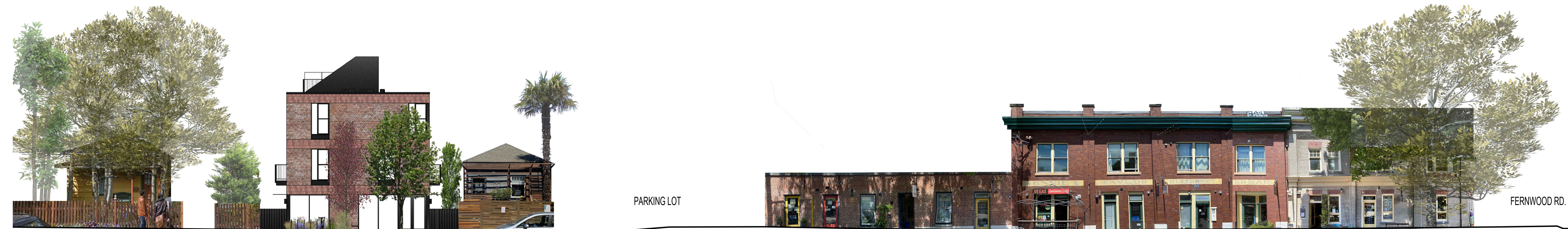
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**CONTEXT PLAN  
& STREETScape**

|             |      |            |    |
|-------------|------|------------|----|
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| SCALE:      | N/A  | REVIEW BY: | CH |

DRAWING NO. **A006**



1270 GLADSTONE AVE.

1276 GLADSTONE AVE.

1280 GLADSTONE AVE.

PARKING LOT

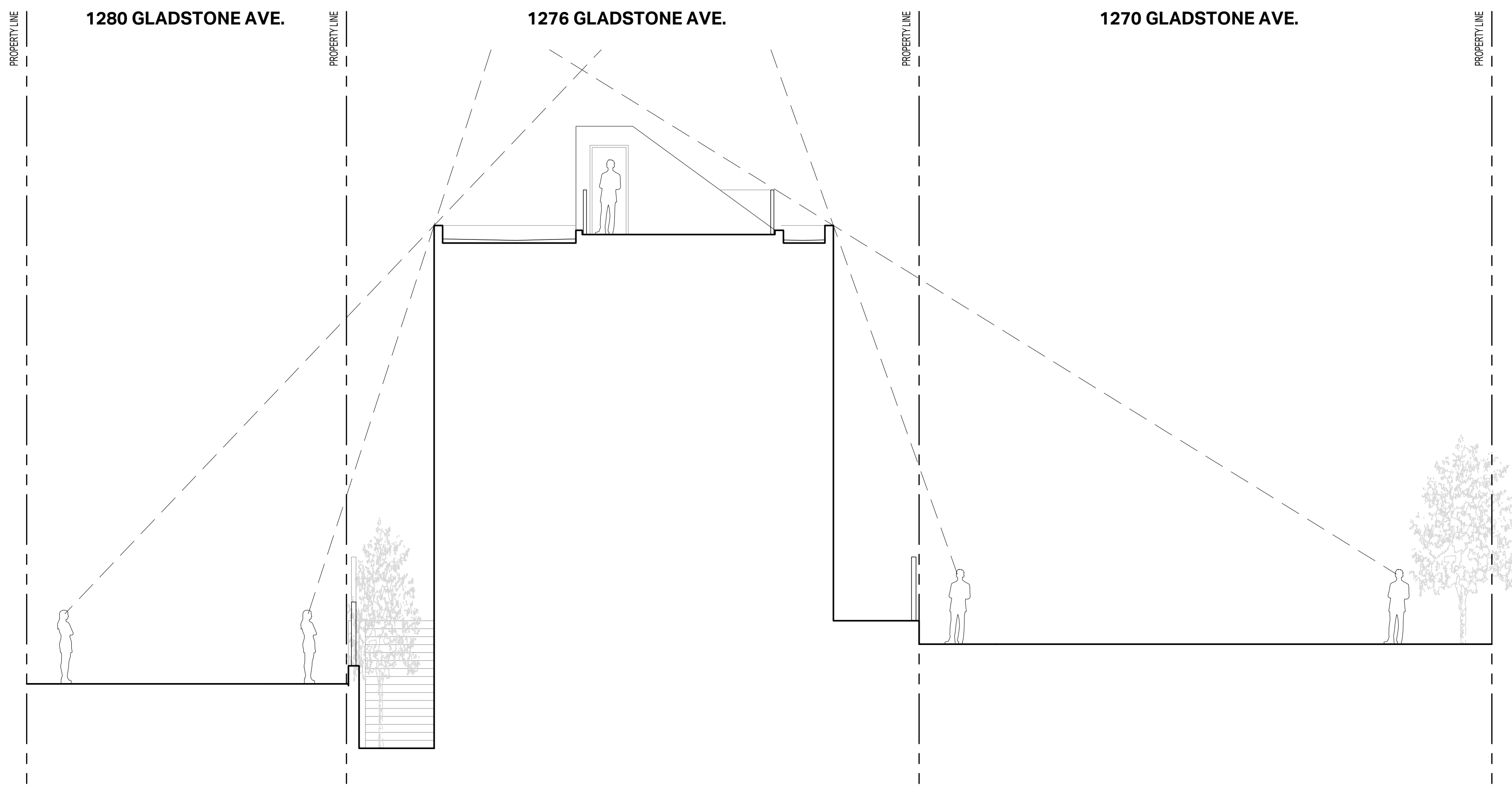
1298 GLADSTONE AVE.

1292 GLADSTONE AVE.

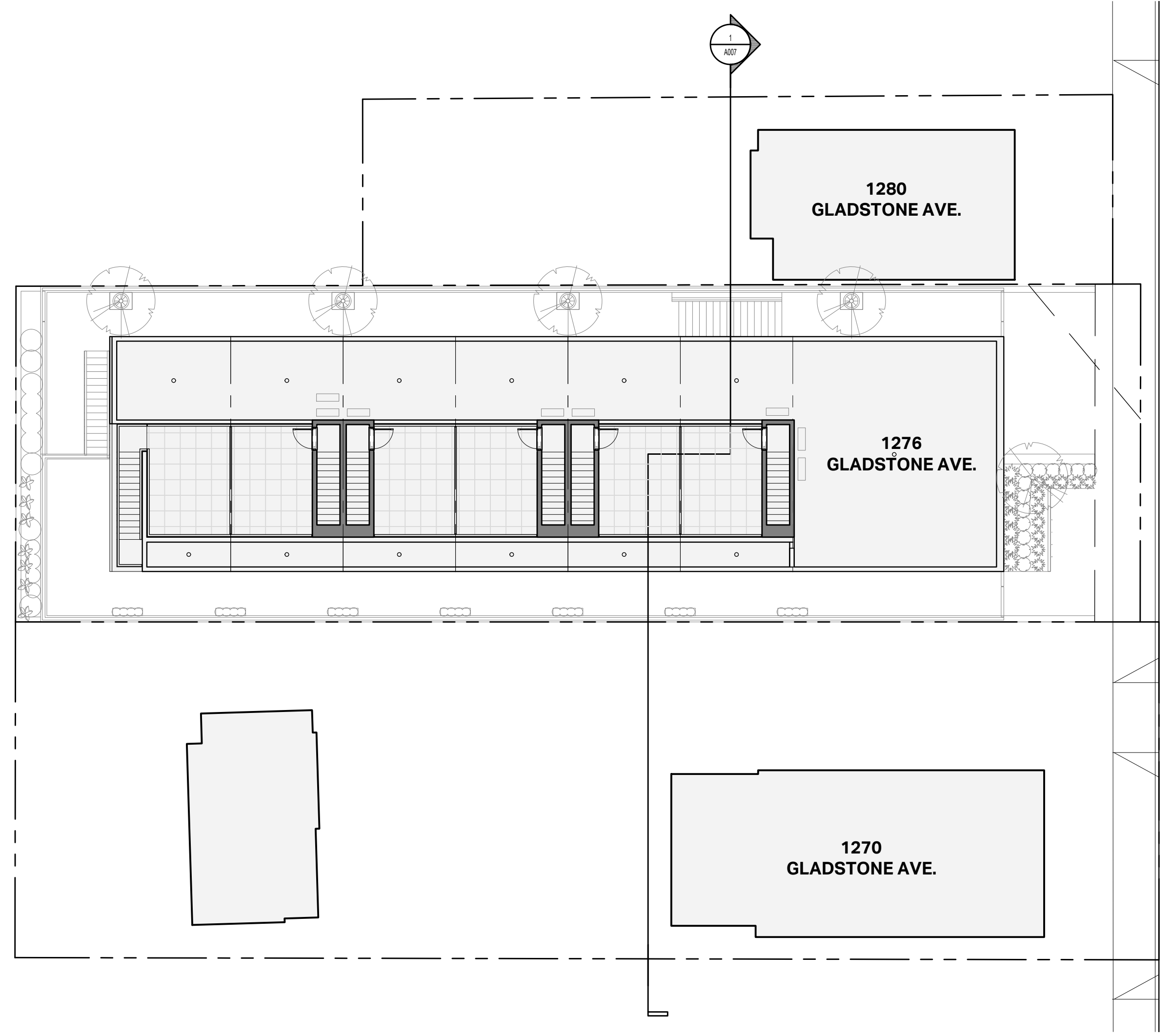
2000 FERNWOOD RD.

**2 STREETScape**

N/A



**1 SIGHTLINE DIAGRAM**  
2/A007 1:75



**2 SIGHTLINE DIAGRAM KEYPLAN**  
1:150



**3 VIEW FROM STREET AT SOUTHWEST**  
N/A



**4 VIEW FROM STREET AT SOUTHEAST**  
N/A



**5 VIEW FROM REAR YARD**  
N/A

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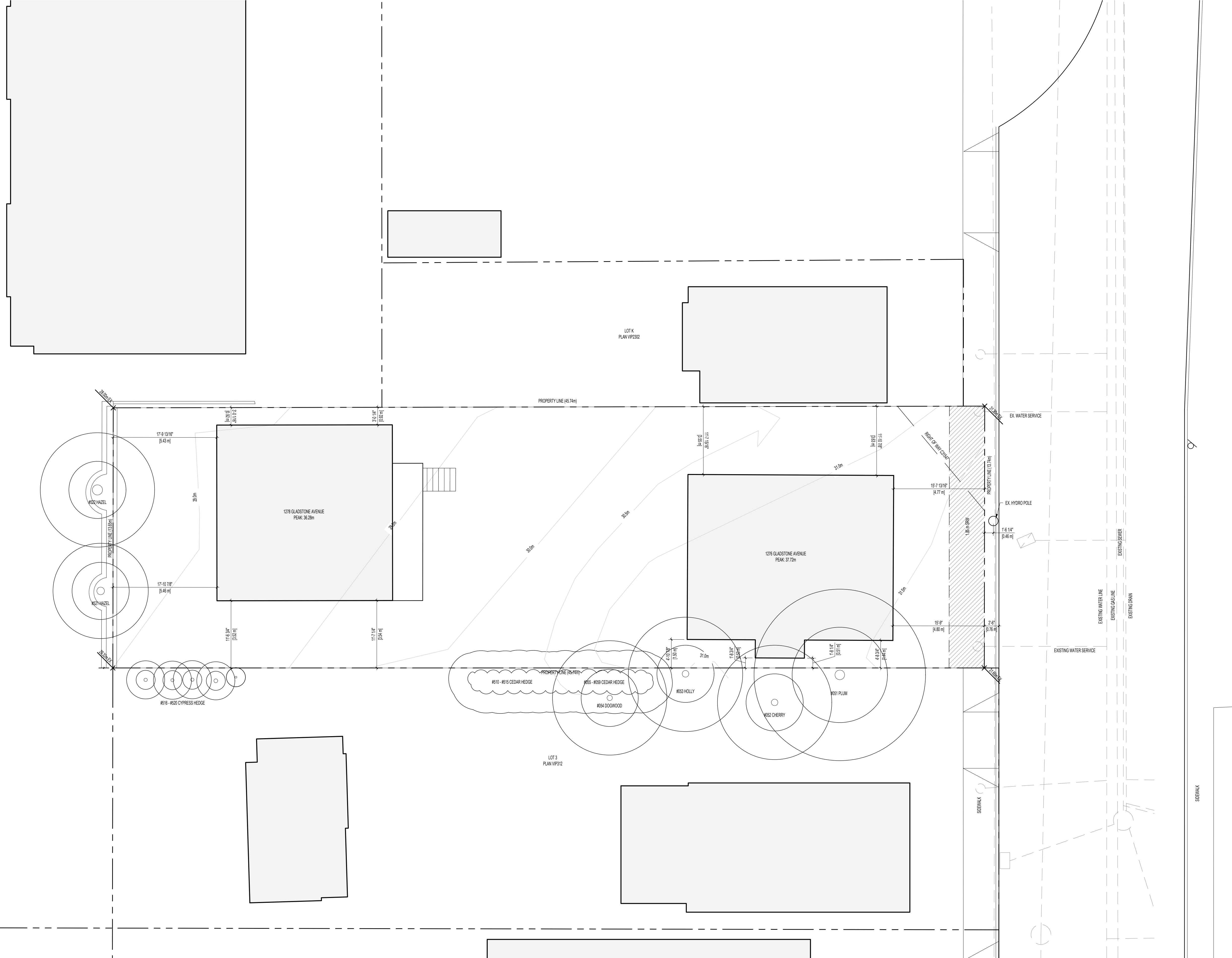
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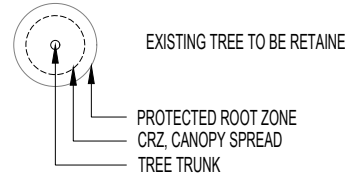
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**SIGHTLINE DIAGRAM**

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| DRAWING NO: |      | <b>A007</b> |    |



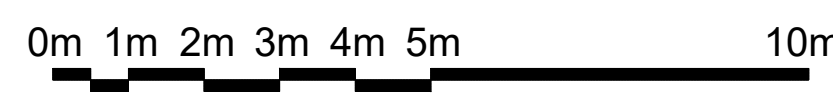
**TREE LEGEND**



NOTE: SEE ARBORIST REPORT AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION ON CRZ AND RETENTION MEASURES.

**1 EXISTING SITE PLAN**

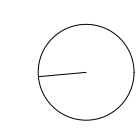
1:100



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PROJECT NAME  
**1276 GLADSTONE  
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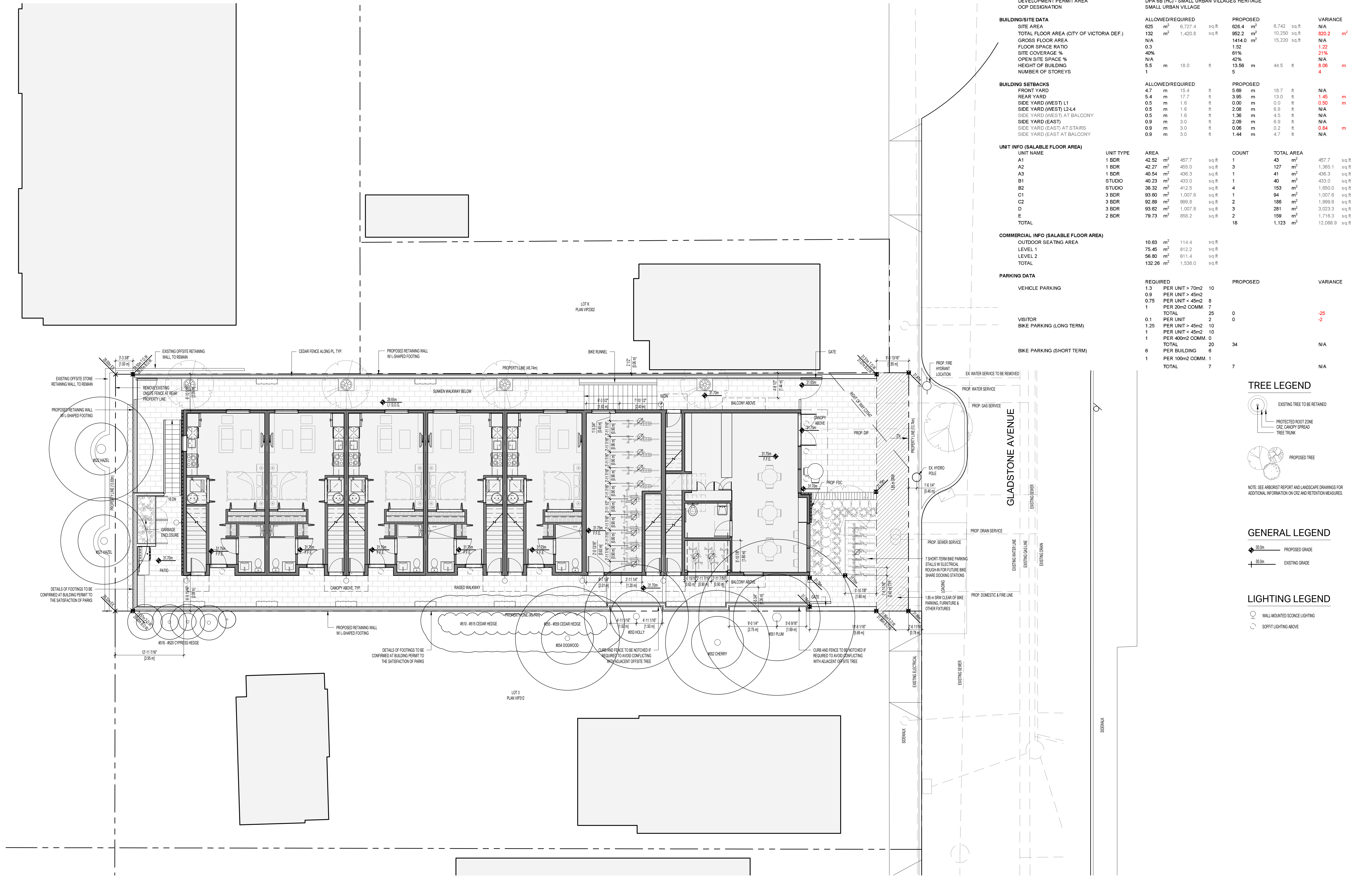
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**EXISTING SITE PLAN**

|             |       |            |    |
|-------------|-------|------------|----|
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| SCALE:      | 1:100 | REVIEW BY: | CH |

DRAWING NO: **A101**





**PROJECT INFORMATION TABLE - 1276 GLADSTONE**

PR. # 2303  
DATE: 13-Feb-24

**PROPERTY INFORMATION**  
PROJECT ADDRESS: 1276 GLADSTONE AVE, VICTORIA BC  
LEGAL DESCRIPTION: LOT 2 PLAN VP312  
CURRENT ZONING: R-2-T TWO SINGLE FAMILY DWELLINGS DISTRICT  
DEVELOPMENT PERMIT AREA: DPA 6B (H) - SMALL URBAN VILLAGES HERITAGE  
OCP DESIGNATION: SMALL URBAN VILLAGE

| BUILDING/SITE DATA                       |                    | ALLOWED                | REQUIRED | PROPOSED              | VARIANCE     |                      |
|--|--------------------|------------------------|----------|-----------------------|--------------|----------------------|
| SITE AREA                                | 625 m <sup>2</sup> | 6,727.4 m <sup>2</sup> | sq.ft    | 826.4 m <sup>2</sup>  | 6,742 sq.ft  | N/A                  |
| TOTAL FLOOR AREA (CITY OF VICTORIA DEF.) | 132 m <sup>2</sup> | 1,420.8 m <sup>2</sup> | sq.ft    | 952.2 m <sup>2</sup>  | 10,250 sq.ft | 820.2 m <sup>2</sup> |
| GROSS FLOOR AREA                         | N/A                | 1414.0 m <sup>2</sup>  |          | 15,220 m <sup>2</sup> |              | N/A                  |
| FLOOR SPACE RATIO                        | 0.3                | 1.52                   |          |                       |              | 1.22                 |
| SITE COVERAGE %                          | 40%                | 81%                    |          |                       |              | 21%                  |
| OPEN SITE SPACE %                        | N/A                | 42%                    |          |                       |              | N/A                  |
| HEIGHT OF BUILDING                       | 5.5 m              | 18.0 ft                |          | 13.56 m               | 44.5 ft      | 8.06 m               |
| NUMBER OF STOREYS                        | 1                  |                        |          | 5                     |              | 4                    |

| BUILDING SETBACKS           |       | ALLOWED | REQUIRED | PROPOSED | VARIANCE |        |
|-----------------------------|-------|---------|----------|----------|----------|--------|
| FRONT YARD                  | 4.7 m | 15.4 ft |          | 5.69 m   | 18.7 ft  | N/A    |
| REAR YARD                   | 5.4 m | 17.7 ft |          | 3.95 m   | 13.0 ft  | 1.45 m |
| SIDE YARD (WEST) L1         | 0.5 m | 1.6 ft  |          | 0.00 m   | 0.0 ft   | 0.50 m |
| SIDE YARD (WEST) L2-L4      | 0.5 m | 1.6 ft  |          | 2.08 m   | 6.8 ft   | N/A    |
| SIDE YARD (WEST) AT BALCONY | 0.5 m | 1.6 ft  |          | 1.36 m   | 4.5 ft   | N/A    |
| SIDE YARD (EAST)            | 0.9 m | 3.0 ft  |          | 2.09 m   | 6.9 ft   | N/A    |
| SIDE YARD (EAST) AT STAIRS  | 0.9 m | 3.0 ft  |          | 0.06 m   | 0.2 ft   | 0.84 m |
| SIDE YARD (EAST) AT BALCONY | 0.9 m | 3.0 ft  |          | 1.44 m   | 4.7 ft   | N/A    |

| UNIT INFO (SALABLE FLOOR AREA) |        | UNIT NAME | UNIT TYPE | AREA                 | COUNT         | TOTAL AREA           |
|--------------------------------|--------|-----------|-----------|----------------------|---------------|----------------------|
| A1                             | 1 BDR  | A1        | 1 BDR     | 42.52 m <sup>2</sup> | 457.7 sq.ft   | 43 m <sup>2</sup>    |
| A2                             | 1 BDR  | A2        | 1 BDR     | 42.27 m <sup>2</sup> | 455.0 sq.ft   | 127 m <sup>2</sup>   |
| A3                             | 1 BDR  | A3        | 1 BDR     | 40.54 m <sup>2</sup> | 436.3 sq.ft   | 41 m <sup>2</sup>    |
| B1                             | STUDIO | B1        | STUDIO    | 40.23 m <sup>2</sup> | 433.0 sq.ft   | 40 m <sup>2</sup>    |
| B2                             | STUDIO | B2        | STUDIO    | 38.32 m <sup>2</sup> | 412.5 sq.ft   | 153 m <sup>2</sup>   |
| C1                             | 3 BDR  | C1        | 3 BDR     | 93.60 m <sup>2</sup> | 1,007.6 sq.ft | 94 m <sup>2</sup>    |
| C2                             | 3 BDR  | C2        | 3 BDR     | 92.89 m <sup>2</sup> | 999.8 sq.ft   | 186 m <sup>2</sup>   |
| D                              | 3 BDR  | D         | 3 BDR     | 93.62 m <sup>2</sup> | 1,007.8 sq.ft | 281 m <sup>2</sup>   |
| E                              | 2 BDR  | E         | 2 BDR     | 78.73 m <sup>2</sup> | 858.2 sq.ft   | 159 m <sup>2</sup>   |
| TOTAL                          |        |           |           |                      |               | 1,123 m <sup>2</sup> |

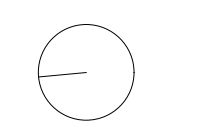
| COMMERCIAL INFO (SALABLE FLOOR AREA) |         | AREA                 | PER UNIT    |
|--------------------------------------|---------|----------------------|-------------|
| OUTDOOR SEATING AREA                 | LEVEL 1 | 10.63 m <sup>2</sup> | 114.4 sq.ft |
|                                      | LEVEL 2 | 75.46 m <sup>2</sup> | 812.2 sq.ft |
| TOTAL                                |         | 86.09 m <sup>2</sup> | 926.6 sq.ft |

| PARKING DATA              |                             | REQUIRED | PROPOSED | VARIANCE |
|---------------------------|-----------------------------|----------|----------|----------|
| VEHICLE PARKING           | PER UNIT > 70m <sup>2</sup> | 1.3      | 10       |          |
|                           | PER UNIT > 45m <sup>2</sup> | 0.9      | 8        |          |
|                           | PER UNIT < 45m <sup>2</sup> | 0.75     | 7        |          |
|                           | PER 200m <sup>2</sup> COMM. | 1        | 7        |          |
|                           | TOTAL                       | 25       | 0        | -25      |
| VISITOR                   | PER UNIT                    | 0.1      | 2        | -2       |
|                           | PER UNIT > 45m <sup>2</sup> | 1.25     | 10       |          |
| BIKE PARKING (LONG TERM)  | PER UNIT < 45m <sup>2</sup> | 1        | 10       |          |
|                           | PER 400m <sup>2</sup> COMM. | 1        | 0        |          |
| BIKE PARKING (SHORT TERM) | TOTAL                       | 20       | 34       | N/A      |
|                           | PER BUILDING                | 6        | 6        |          |
|                           | PER 100m <sup>2</sup> COMM. | 1        | 7        | N/A      |
| TOTAL                     |                             | 7        | 7        |          |

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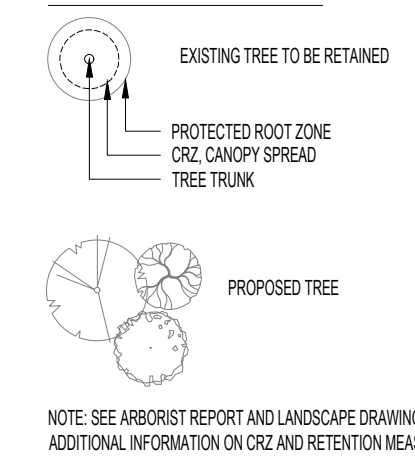


**NOTES**

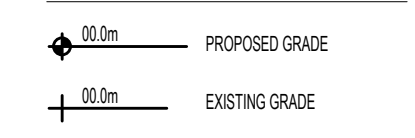
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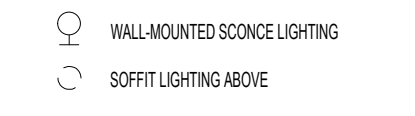
**TREE LEGEND**



**GENERAL LEGEND**

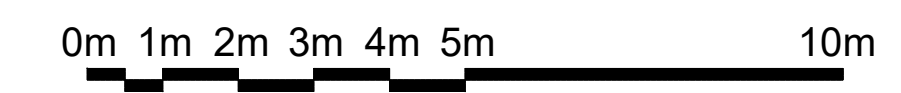


**LIGHTING LEGEND**



**1 PROPOSED SITE PLAN**

1:100



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**PROPOSED SITE PLAN**

|                  |               |
|------------------|---------------|
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| SCALE: 1:100     | REVIEW BY: CH |

DRAWING NO: A102

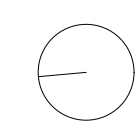
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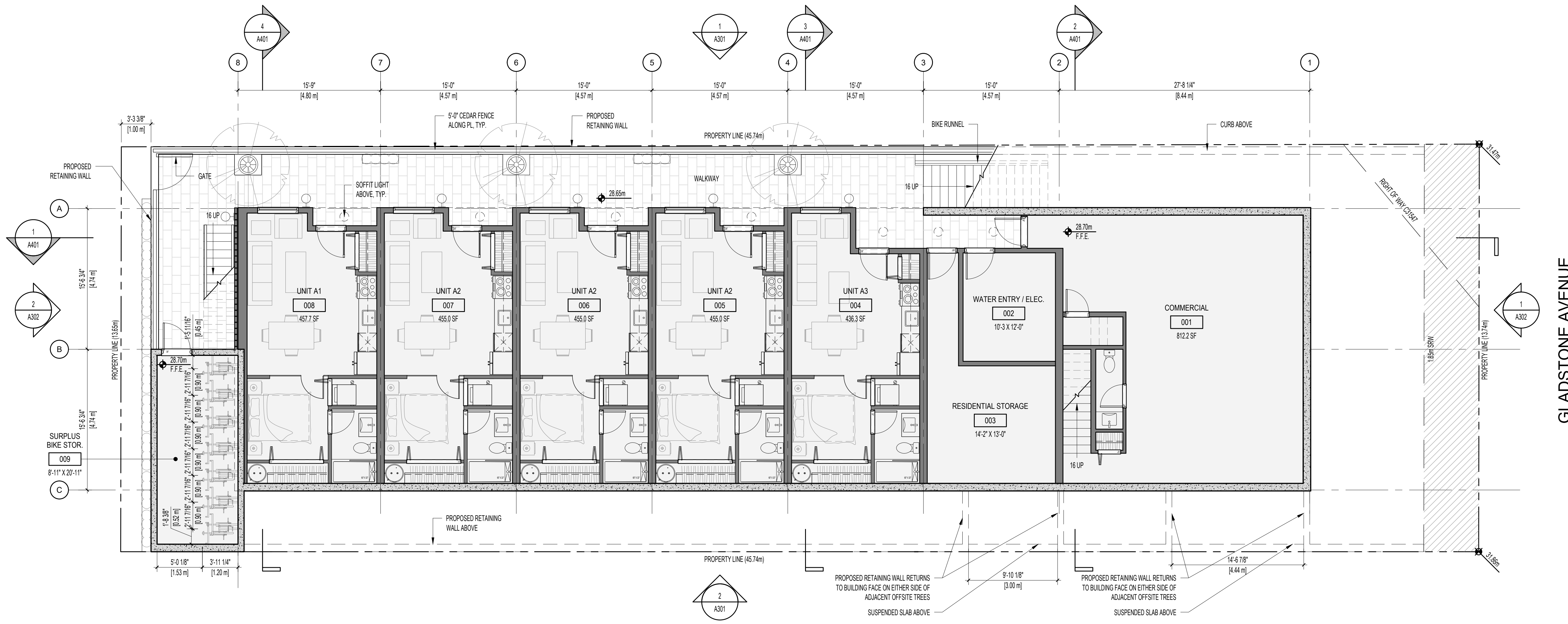
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DRAWING TITLE:

**LEVEL 1**

|             |      |            |    |
|-------------|------|------------|----|
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| SCALE:      | 1/75 | REVIEW BY: | CH |

DRAWING NO: **A202**



LIGHTING LEGEND

- WALL-MOUNTED SCONCE LIGHTING
- SOFFIT LIGHTING ABOVE

**1 LEVEL 1 PLAN**

150

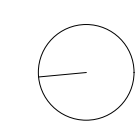
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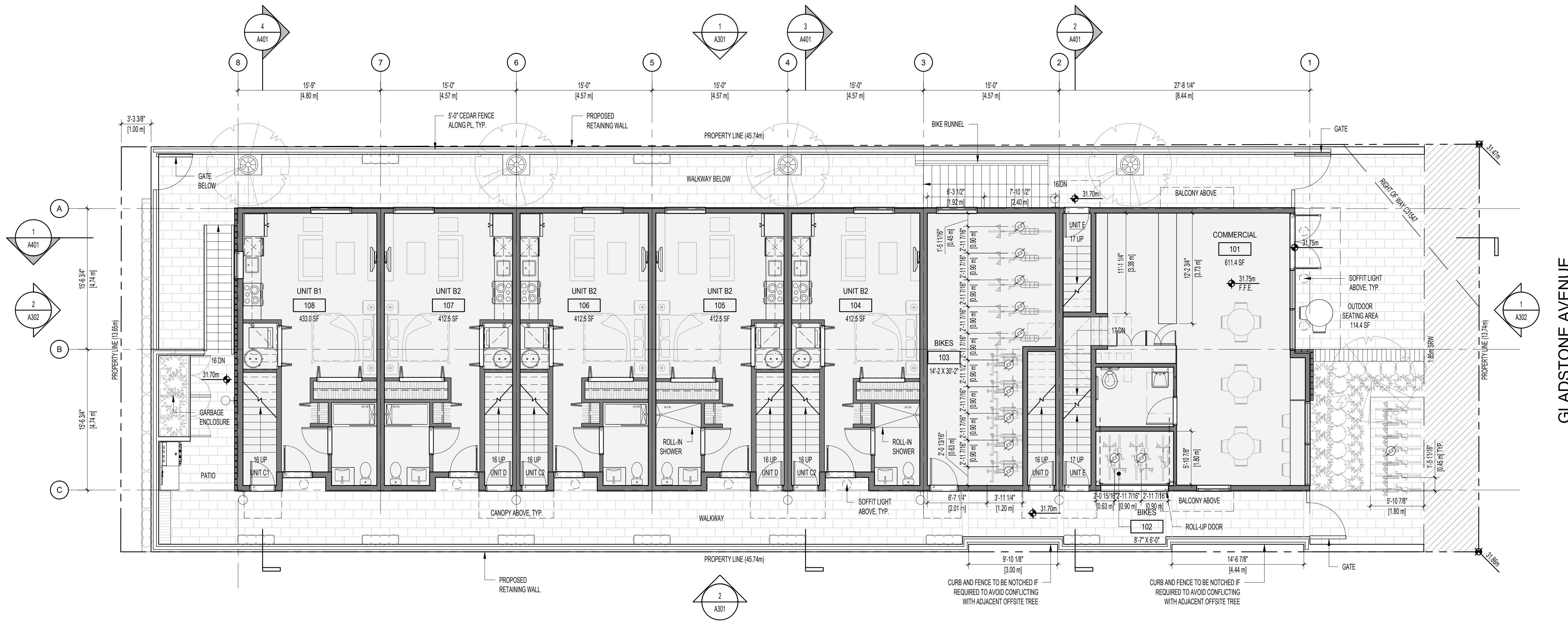
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DRAWING TITLE:

**LEVEL 2**

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|-------------|------|------------|----|
| PROJECT NO: | 2303 | DRAWN BY:  | HG |
| SCALE:      | 1/75 | REVIEW BY: | CH |

DRAWING NO: **A203**



GLADSTONE AVENUE

LIGHTING LEGEND

- WALL-MOUNTED SCONCE LIGHTING
- SOFFIT LIGHTING ABOVE

**1 LEVEL 2 PLAN**

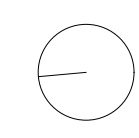
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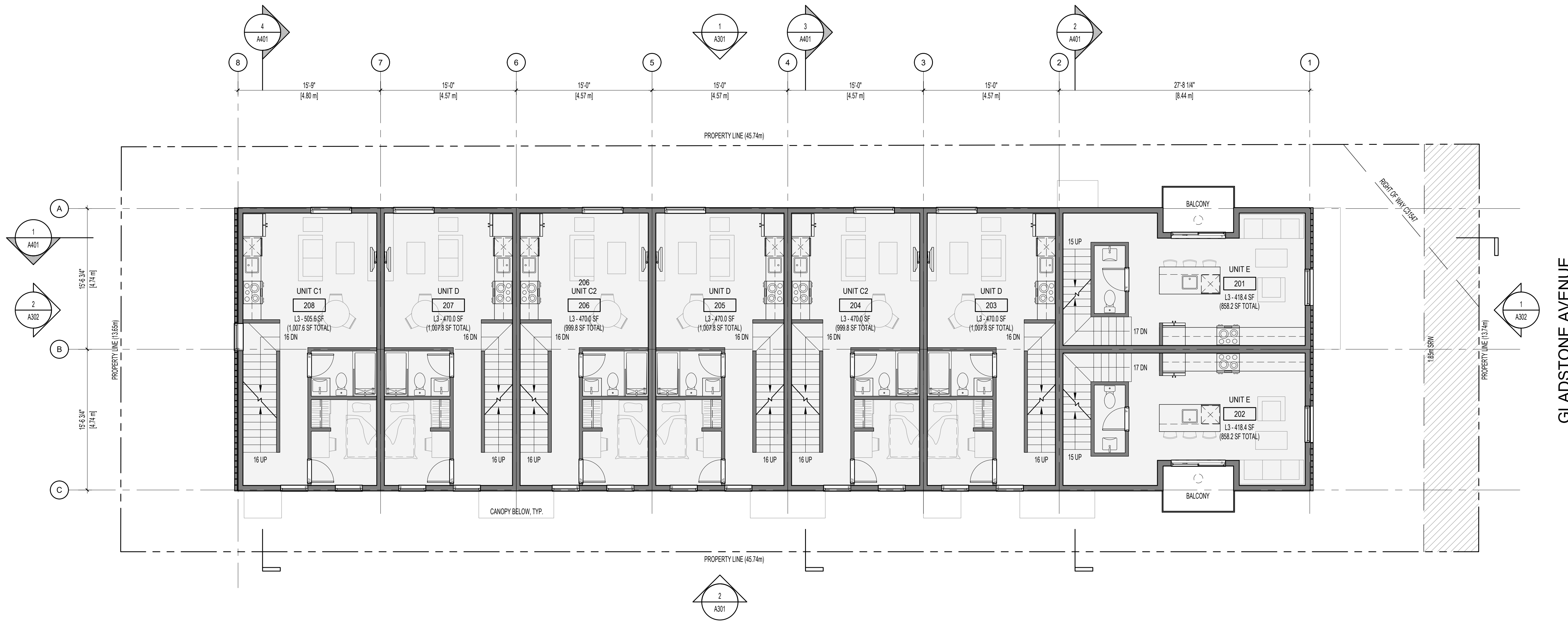
DRAWING TITLE:

**LEVEL 3**

PROJECT NO: 2303 DRAWN BY: HG

SCALE: 1/75 REVIEW BY: CH

DRAWING NO: **A204**



LIGHTING LEGEND

- WALL-MOUNTED SCONCE LIGHTING
- SOFFIT LIGHTING ABOVE

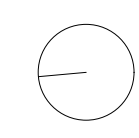
**1 LEVEL 3 PLAN**

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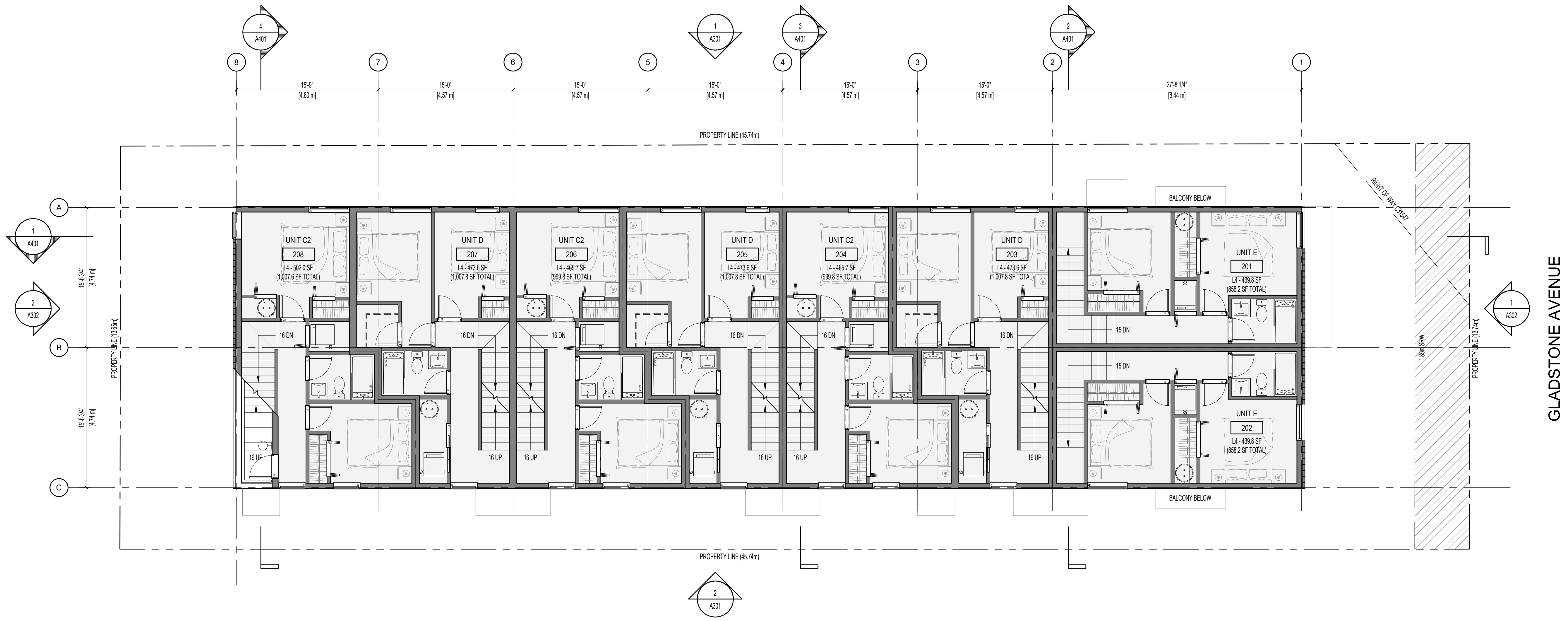
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DRAWING TITLE:

**LEVEL 4**

|             |      |            |    |
|-------------|------|------------|----|
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| SCALE:      | 1/75 | REVIEW BY: | CH |

DRAWING NO: **A205**

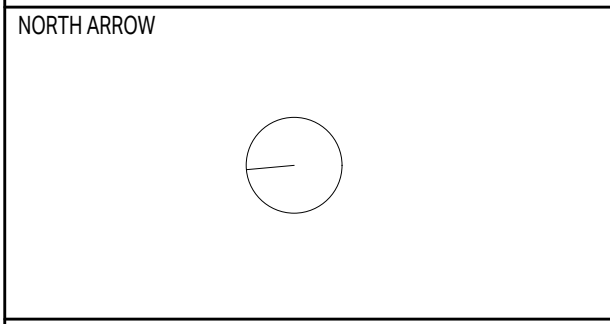
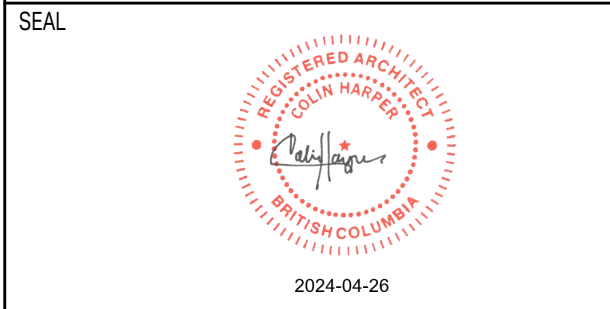


LIGHTING LEGEND

- WALL-MOUNTED SCONCE LIGHTING
- SOFFIT LIGHTING ABOVE

**1 LEVEL 4 PLAN**

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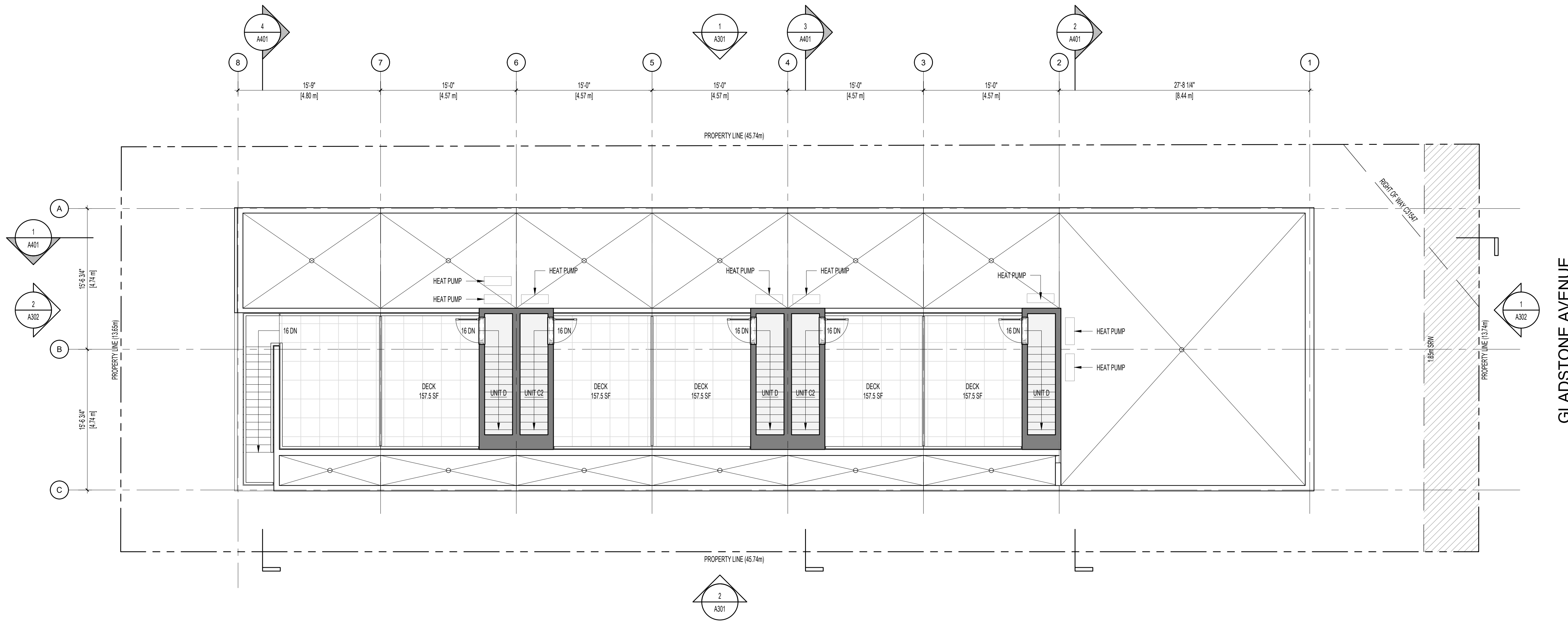
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DRAWING TITLE:

**ROOF PLAN**

|             |      |             |    |
|-------------|------|-------------|----|
| PROJECT NO: | 2303 | DRAWN BY:   | HG |
| SCALE:      | 1/75 | REVIEW BY:  | CH |
| DRAWING NO: |      | <b>A206</b> |    |



**LIGHTING LEGEND**

○ WALL-MOUNTED SCONCE LIGHTING

○ SOFFIT LIGHTING ABOVE

**1 ROOF PLAN**



**1 EAST ELEVATION**

1/75



**2 WEST ELEVATION**

1/75

**LEGEND**

| MATERIAL                               | FINISH               |
|--|----------------------|
| 1. RECLAIMED BRICK                     | NA                   |
| 2. VERTICAL STACK BOND BRICK           | NA                   |
| 3. ARCHITECTURAL CONCRETE              | CLEAR SEAL           |
| 4. FIBRE CEMENT SIDING & BATTEN SIDING | BLACK FACTORY FINISH |
| 5. BRONZE METAL FLASHING               | BLACK FACTORY FINISH |
| 6. STOREFRONT GLAZING                  | BLACK FACTORY FINISH |
| 7. ALUMINUM FLANGE WINDOW              | BLACK FACTORY FINISH |
| 8. WALL MOUNTED SCONCE LIGHTING        | BLACK FACTORY FINISH |
| 9. WOOD DOOR                           | BLACK FACTORY FINISH |
| 10. YELLOW CEDAR TAG SIDING            | CLEAR STAIN          |
| 11. PRINCEY SCREEN                     | NA                   |
| 12. METAL POCKET GUARDRAIL             | BLACK POWDER COAT    |
| 13. STEEL PLATE CANOPY                 | BLACK POWDER COAT    |
| 14. METAL SIDING                       | BLACK POWDER COAT    |
| 15. FABRICATED METAL STAR              | BLACK POWDER COAT    |
| 16. STEEL URNACK                       | BLACK POWDER COAT    |
| 17. WOOD FENCE                         | BLACK PAINT          |
| 18. PAVERS                             | GREY                 |
| 19. LANDSCAPING                        | PER LANDSCAPE        |
| 20. YELLOW CEDAR TAG SOFFIT BOARD      | CLEAR STAIN          |

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- ELEVATIONS SHOWN AT BUILDING FACE.

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DRAWING TITLE:

**ELEVATIONS**

|             |      |            |    |
|-------------|------|------------|----|
| PROJECT NO: | 2303 | DRAWN BY:  | HG |
| SCALE:      | 1/75 | REVIEW BY: | CH |

DRAWING NO: **A301**



**1 NORTH ELEVATION**  
1/75



**2 SOUTH ELEVATION**  
1/75

**LEGEND**

| MATERIAL                               | FINISH               |
|--|----------------------|
| 1. RECLAIMED BRICK                     | NA                   |
| 2. VERTICAL STACK BOND BRICK           | NA                   |
| 3. ARCHITECTURAL CONCRETE              | CLEAR SEAL           |
| 4. FIBRE CEMENT BOARDS & BATTEN SIDING | BLACK FACTORY FINISH |
| 5. BRONZE METAL FLASHING               | BLACK FACTORY FINISH |
| 6. STOREFRONT GLAZING                  | BLACK FACTORY FINISH |
| 7. ALUMINUM FLANGE WINDOW              | BLACK FACTORY FINISH |
| 8. WALL MOUNTED SCENE LIGHTING         | BLACK FACTORY FINISH |
| 9. WOOD DOOR                           | BLACK FACTORY FINISH |
| 10. YELLOW CEDAR TAG SIDING            | CLEAR STAIN          |
| 11. PRIVACY SCREEN                     | NA                   |
| 12. METAL POCKET GUARDRAIL             | BLACK POWDER COAT    |
| 13. STEEL PLATE CANOPY                 | BLACK POWDER COAT    |
| 14. METAL SIGNAGE                      | BLACK POWDER COAT    |
| 15. FABRICATED METAL STAR              | BLACK POWDER COAT    |
| 16. STEEL URNACK                       | BLACK POWDER COAT    |
| 17. WOOD FENCE                         | BLACK PAINT          |
| 18. PAVERS                             | GREY                 |
| 19. LANDSCAPING                        | PER LANDSCAPE        |
| 20. YELLOW CEDAR TAG SOFFIT BOARD      | CLEAR STAIN          |

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2024-04-26

NORTH ARROW

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- ELEVATIONS SHOWN AT BUILDING FACE.

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| 04  | RESUBMITTED FOR REZONING AND DEVELOPMENT PERMIT | 02/08/2024 |
| 03  | RESUBMITTED FOR REZONING AND DEVELOPMENT PERMIT | 12/11/2023 |
| 02  | ISSUED FOR REVIEW                               | 11/03/2023 |
| 01  | ISSUED FOR REZONING AND DEVELOPMENT PERMIT      | 09/15/2023 |

PROJECT NAME  
**1276 GLADSTONE  
VICTORIA, BC**

PROJECT ADDRESS:  
**1276 GLADSTONE AVE.  
VICTORIA, BC, V8T 1G6**

**CHA**  
302-666 Cook Street, Victoria, BC, V8V 3Y7  
778-584-0582 | info@charch.ca | charch.ca

DRAWING TITLE:  
**ELEVATIONS**

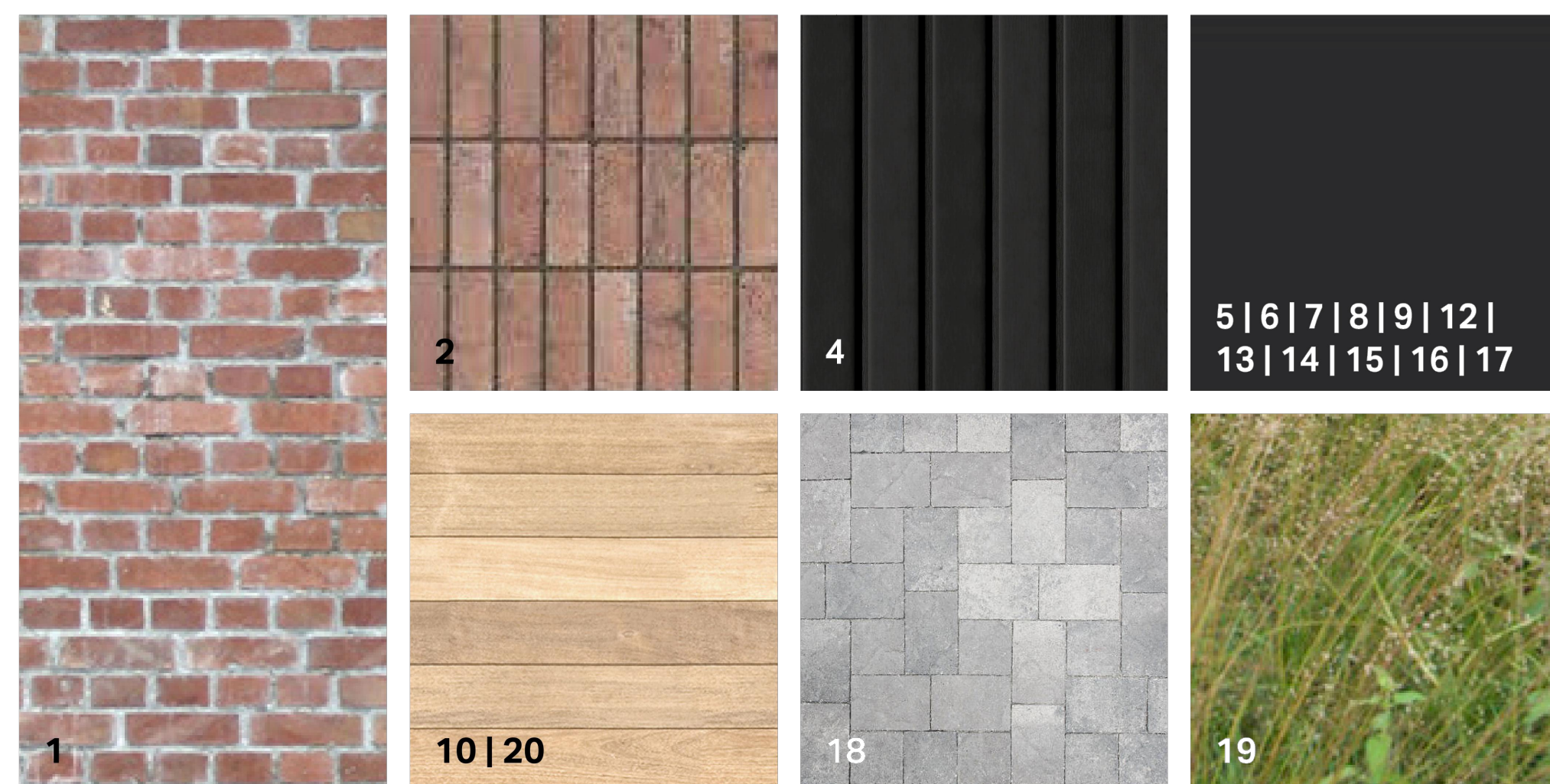
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|-------------|------|-------------|----|
| PROJECT NO: | 2303 | DRAWN BY:   | HG |
| SCALE:      | 1/75 | REVIEW BY:  | CH |
| DRAWING NO: |      | <b>A302</b> |    |





# 1 MATERIAL KEY

N/A



**LEGEND**

| MATERIAL                              | FINISH               |
|---------------------------------------|----------------------|
| 1. RECLAIMED BRICK                    | N/A                  |
| 2. VERTICAL STACK BOND BRICK          | N/A                  |
| 3. ARCHITECTURAL CONCRETE             | CLEAR SEAL           |
| 4. FIBRE CEMENT BOARD & BATTEN SIDING | BLACK FACTORY FINISH |
| 5. BRAKE METAL FLASHING               | BLACK FACTORY FINISH |
| 6. STOREFRONT GLAZING                 | BLACK FACTORY FINISH |
| 7. ALUMINUM FLANGE WINDOW             | BLACK FACTORY FINISH |
| 8. WALL MOUNTED SCONCE LIGHTING       | BLACK FACTORY FINISH |
| 9. WOOD DOOR                          | BLACK FACTORY FINISH |
| 10. YELLOW CEDAR T&G SIDING           | CLEAR STAIN          |
| 11. PRIVACY SCREEN                    | N/A                  |
| 12. METAL PICKET GUARDRAIL            | BLACK POWDER COAT    |
| 13. STEEL PLATE CANOPY                | BLACK POWDER COAT    |
| 14. METAL SIGNAGE                     | BLACK POWDER COAT    |
| 15. FABRICATED METAL STAR             | BLACK POWDER COAT    |
| 16. STEEL LARK                        | BLACK POWDER COAT    |
| 17. WOOD FENCE                        | BLACK PAINT          |
| 18. PAVERS                            | GREY                 |
| 19. LANDSCAPING                       | PER LANDSCAPE        |
| 20. YELLOW CEDAR T&G SOFFIT BOARD     | CLEAR STAIN          |

# 2 MATERIAL BOARD

N/A

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SEAL

2024-04-26

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DRAWING TITLE:

**MATERIAL BOARD**

|             |      |            |    |
|-------------|------|------------|----|
| PROJECT NO: | 2303 | DRAWN BY:  | HG |
| SCALE:      | N/A  | REVIEW BY: | CH |

DRAWING NO: **A303**



**1** SOUTHWEST CORNER

N/A



**2** FRONT ELEVATION

N/A



**3** SOUTHEAST CORNER

N/A



**4** REAR YARD ELEVATION

N/A

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PROJECT NAME

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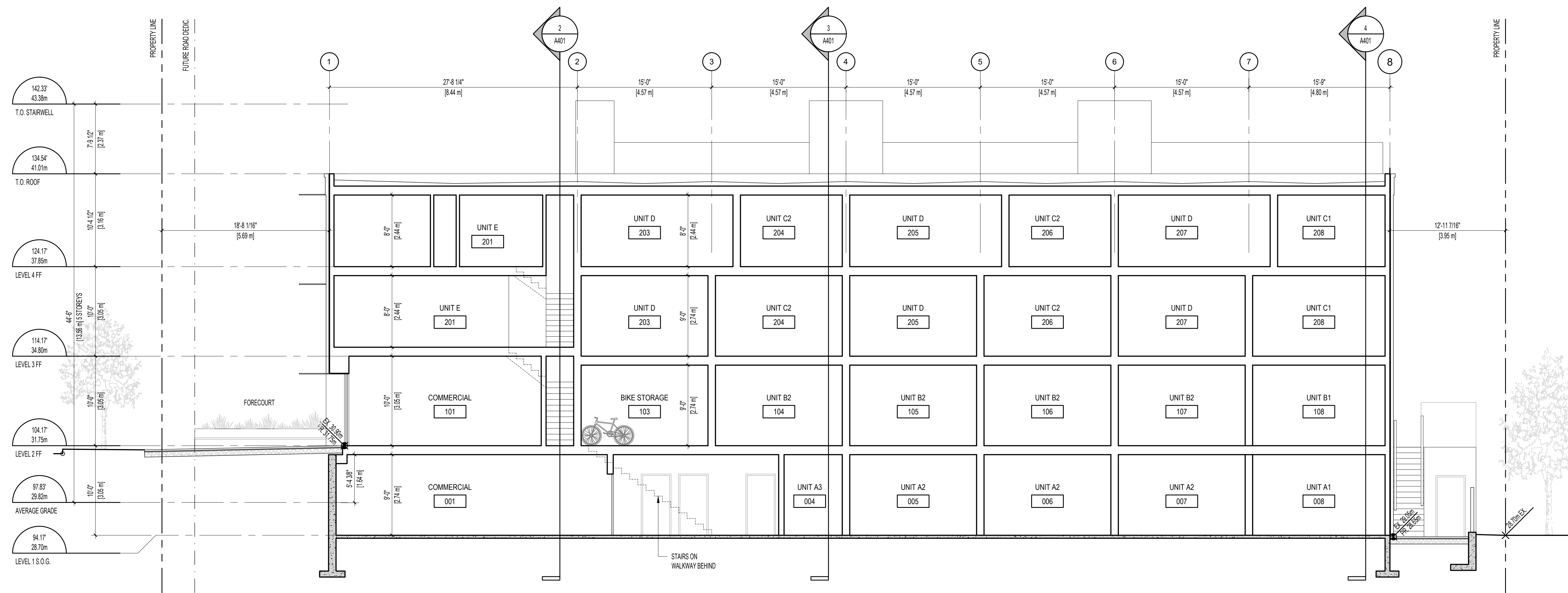
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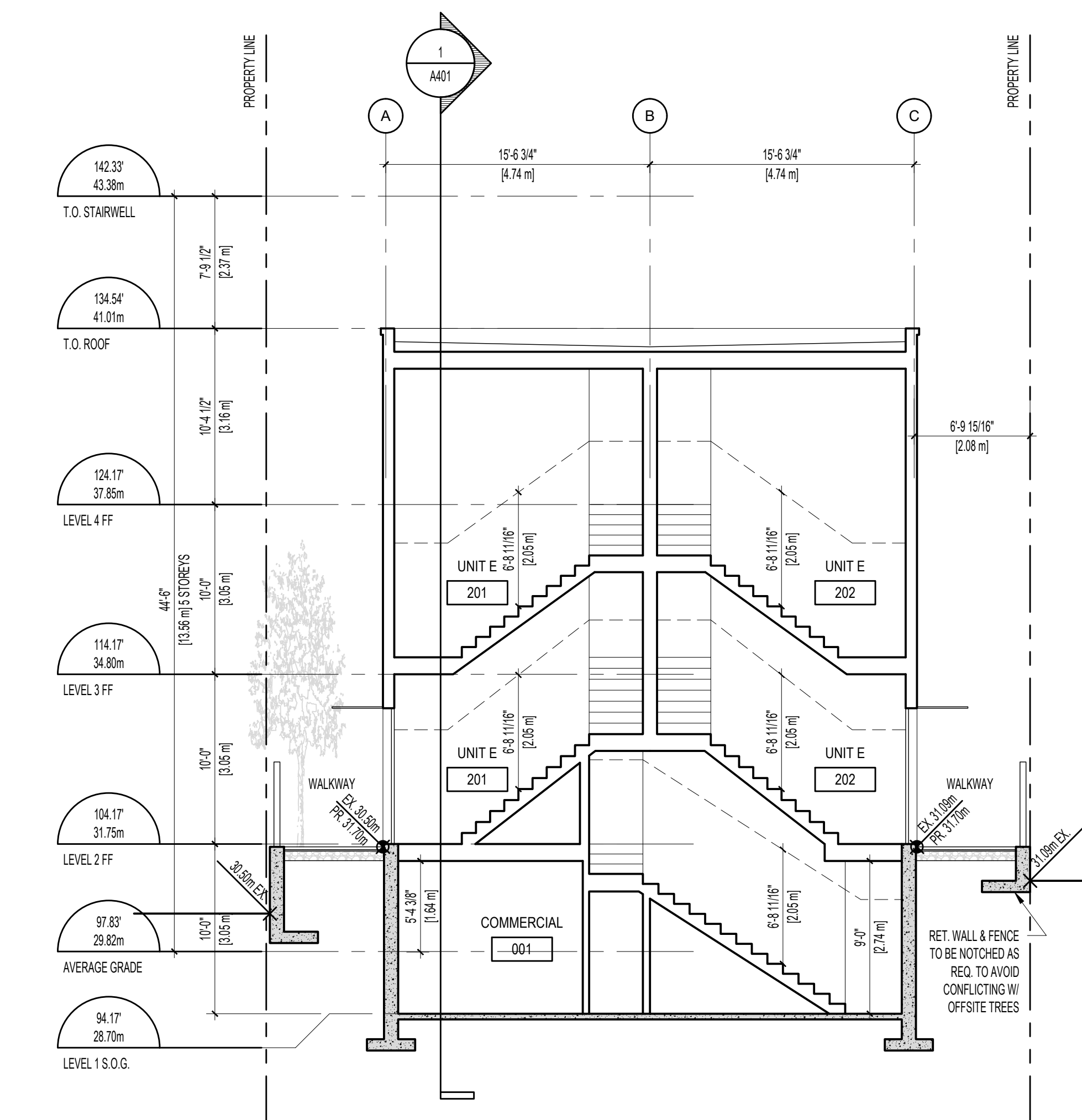
**RENDERINGS**

|             |      |            |    |
|-------------|------|------------|----|
| PROJECT NO: | 2303 | DRAWN BY:  | HG |
| SCALE:      | N/A  | REVIEW BY: | CH |

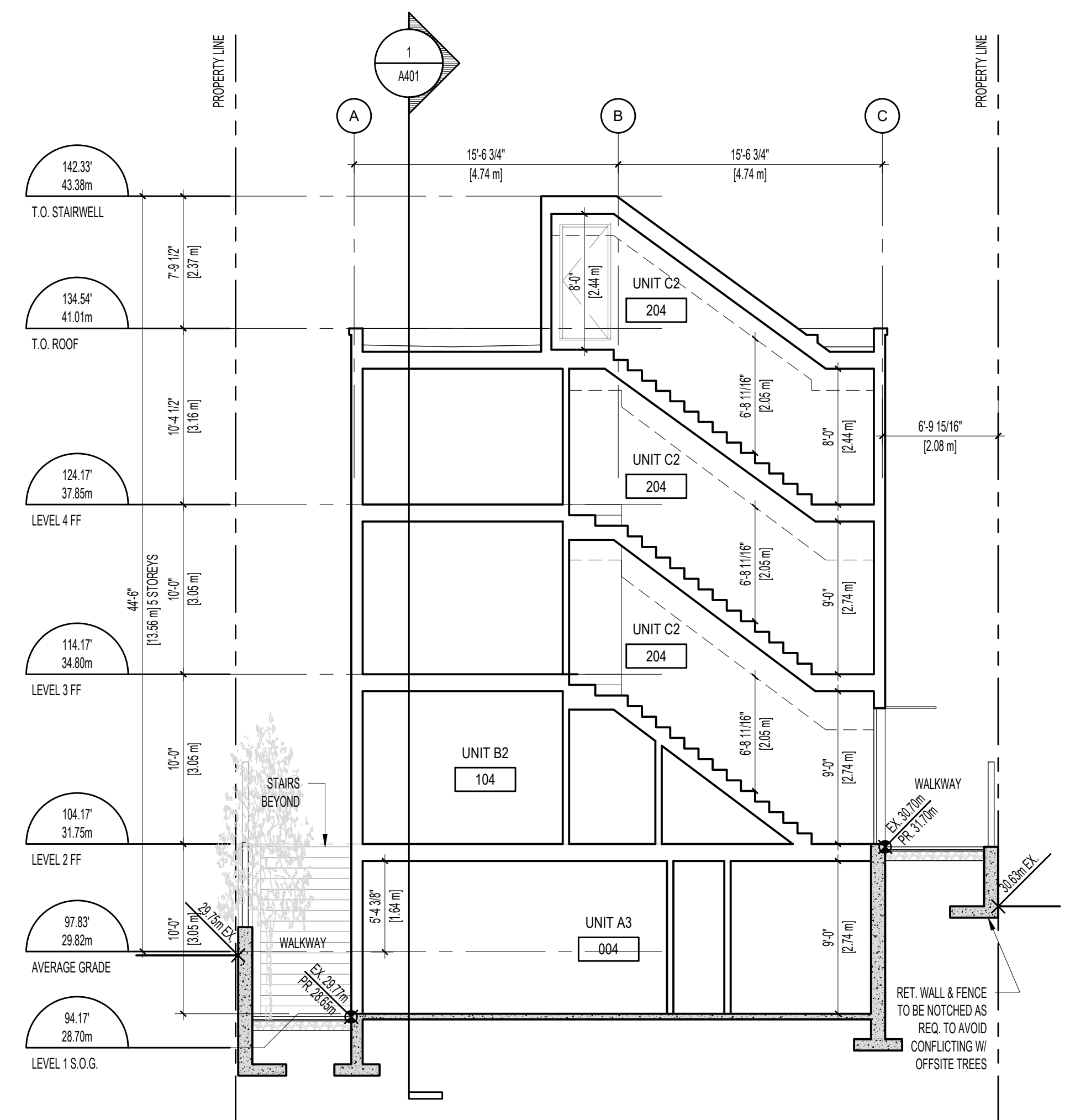
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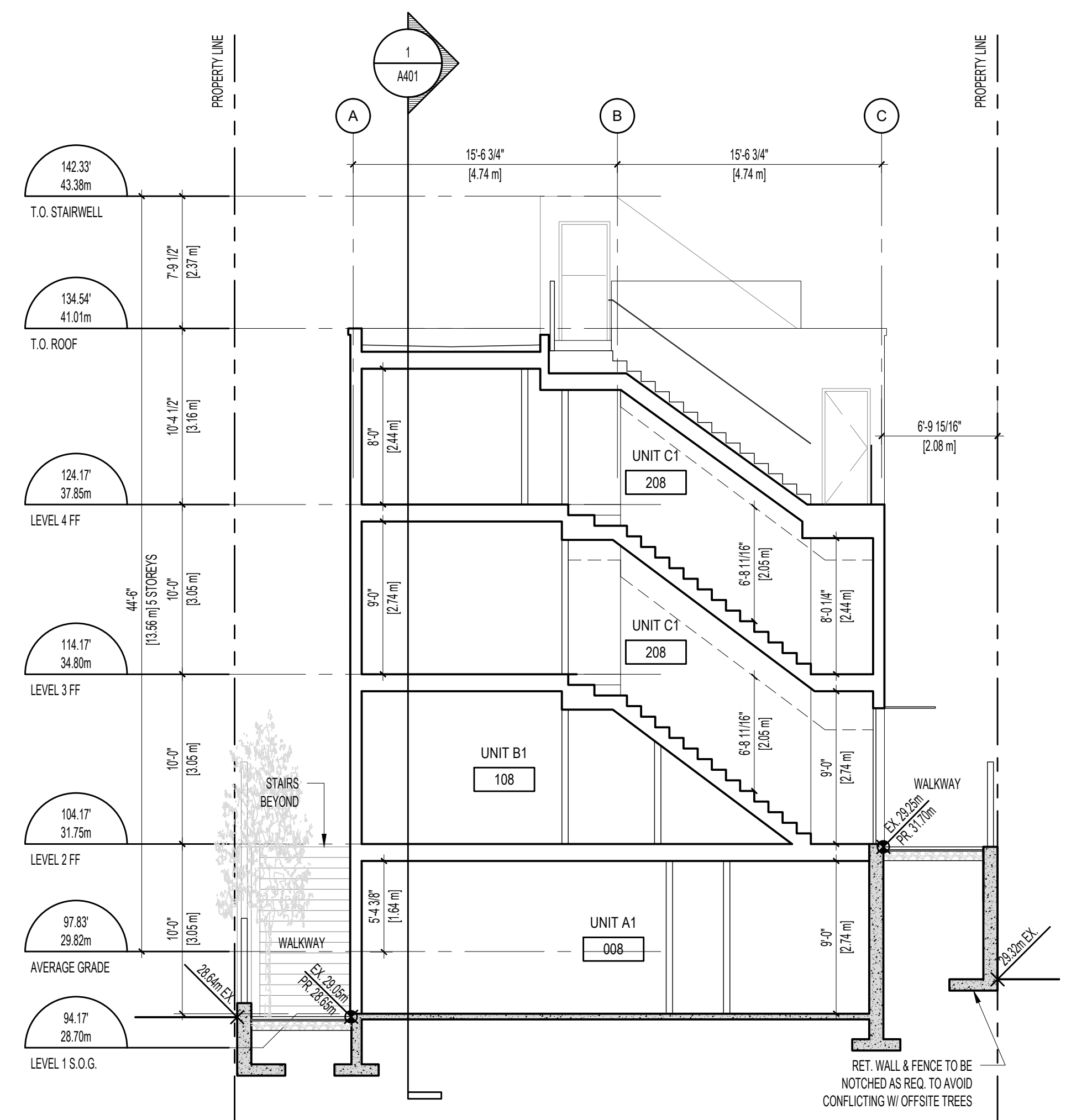
**1 SECTION A**



**2 SECTION B**



**3 SECTION C**



**4 SECTION D**

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| 02  | ISSUED FOR REVIEW                               | 11/03/2023 |
| 01  | ISSUED FOR REZONING AND DEVELOPMENT PERMIT      | 09/15/2023 |

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**CHA**

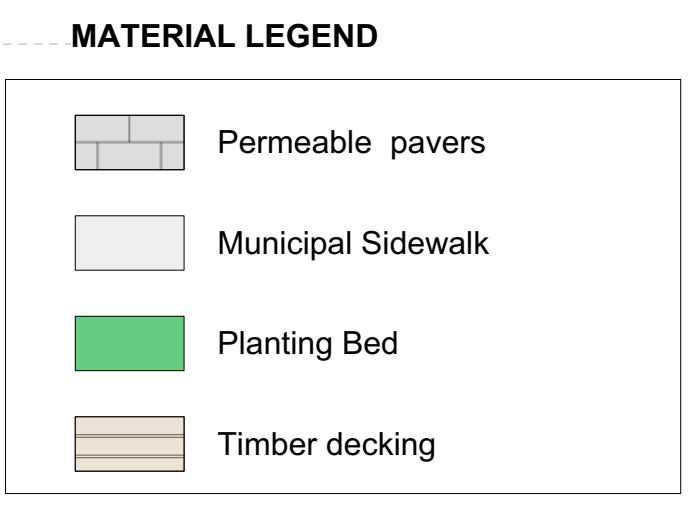
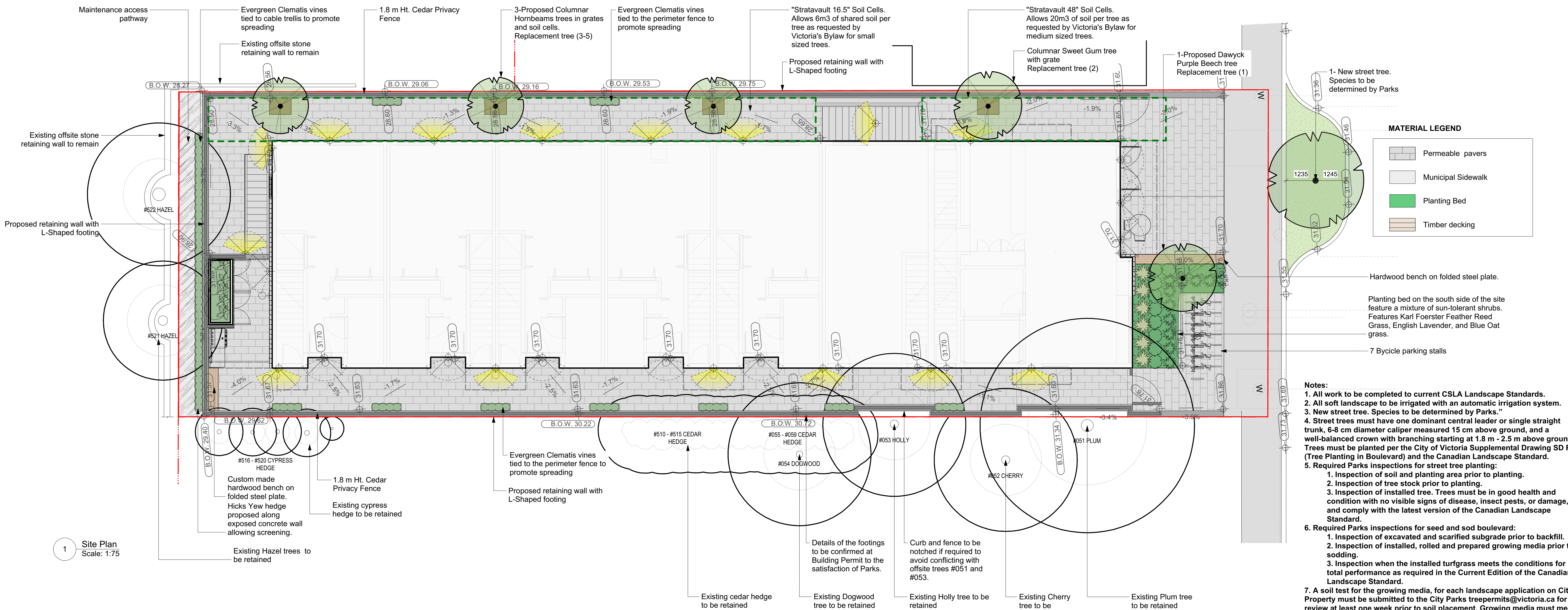
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DRAWING TITLE:

**SECTIONS**

|             |      |            |    |
|-------------|------|------------|----|
| PROJECT NO: | 2303 | DRAWN BY:  | HG |
| SCALE:      | 1/75 | REVIEW BY: | CH |

DRAWING NO: **A401**



Hardwood bench on folded steel plate.  
 Planting bed on the south side of the site feature a mixture of sun-tolerant shrubs. Features Karl Foerster Feather Reed Grass, English Lavender, and Blue Oat grass.  
 7 Bicycle parking stalls

- Notes:**
- All work to be completed to current CSLA Landscape Standards.
  - All soft landscape to be irrigated with an automatic irrigation system.
  - New street tree. Species to be determined by Parks.
  - Street trees must have one dominant central leader or single straight trunk, 6-8 cm diameter caliper measured 15 cm above ground, and a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground. Trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) and the Canadian Landscape Standard.
  - Required Parks inspections for street tree planting:
    - Inspection of soil and planting area prior to planting.
    - Inspection of tree stock prior to planting.
    - Inspection of installed tree. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.
  - Required Parks inspections for seed and sod boulevard:
    - Inspection of excavated and scarified subgrade prior to backfill.
    - Inspection of installed, rolled and prepared growing media prior to sodding.
    - Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard.
  - A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
  - The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.
  - An arborist supervision required during excavation and construction within the critical root zones of Trees #051 Plum, #053 Holly, #521 Hazel and #522 Hazel

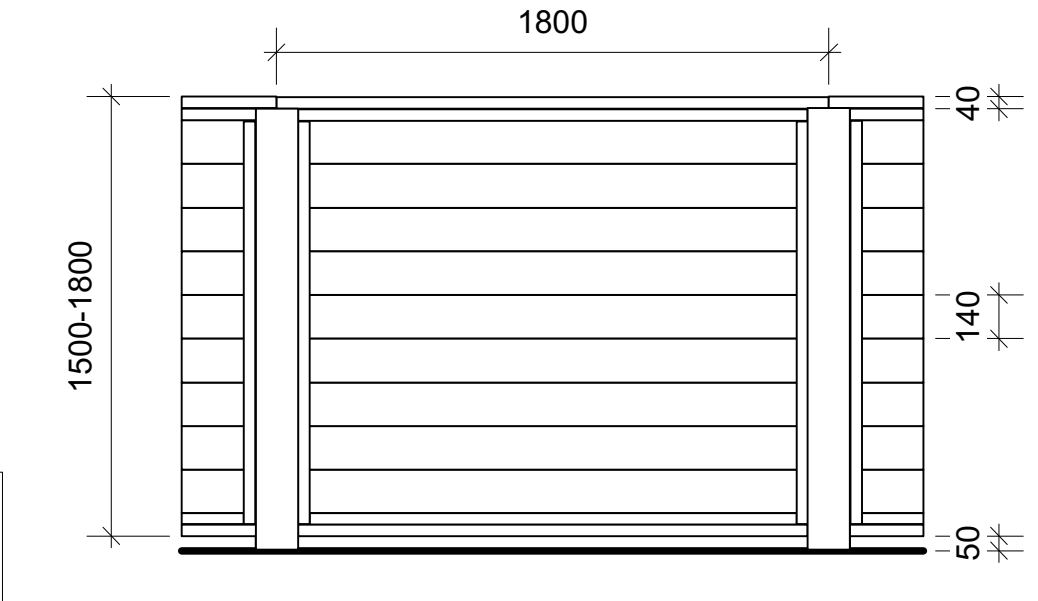
1 Site Plan Scale: 1:75

**Recommended Nursery Stock**

| Category  | Botanical Name                                    | Common Name                       | Size      |
|---|---|-----------------------------------|-----------|
| <b>Trees</b><br>Total: 6                          | Carpinus betulus 'Frans Fontaine'                 | Columnar Hornbeam                 | 6cm cal.  |
|   | Fagus sylvatica 'Dawycck Purple'                  | Dawycck Purple Beech              | 6cm cal.  |
|   | Liquidambar styraciflua 'Slender New Street Tree' | Columnar Sweet Gum                | 6cm cal.  |
|   |   | Species to be determined by Parks | 6 cm cal. |
| <b>Large Shrubs</b><br>Total: 12                  |   |                                   |           |
|   |   |                                   |           |
|   |   |                                   |           |
| <b>Small Shrubs</b><br>Total: 20                  | Azalea japonica 'Herbert'                         | Herbert Evergreen Azalea          | #5 pot    |
|   | Lavandula officinalis                             | English Lavender                  | #1 pot    |
|   |   |                                   |           |
| <b>Perennials, Annuals and Ferns</b><br>Total: 29 | Blechnum spicant                                  | Deer Fern                         | #1 pot    |
|   | Calamagrostis x acutiflora 'Karl Foerster'        | Karl Foerster Feather Reed Grass  | #1 pot    |
|   | Helictotrichon sempervirens                       | Blue Oat Grass                    | #1 pot    |
|   |   |                                   |           |
| <b>Vines</b><br>Total: 75                         | Clematis armandii                                 | Evergreen Clematis                | 6cm cal.  |



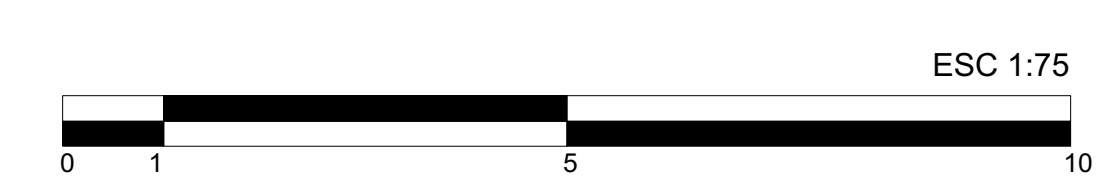
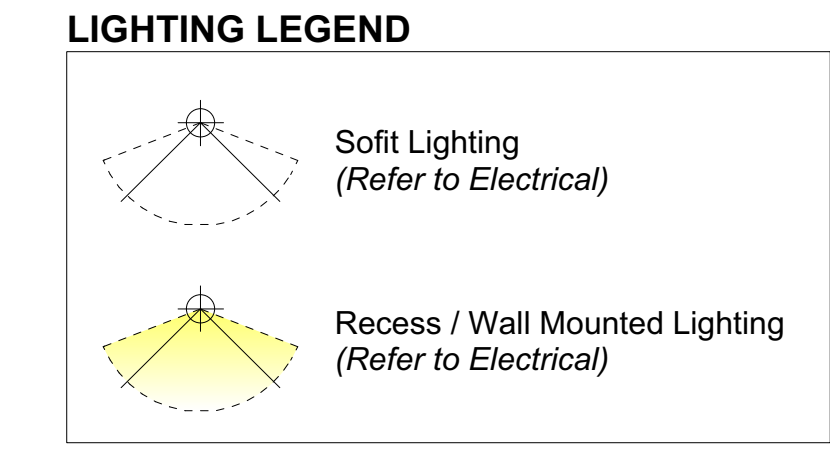
**Notes:**  
 1. All cedar to be S4S Cedar, #2 or better, stained black, two coats.  
 2. All footings and connection hardware to be reviewed by structural engineer prior to installation.



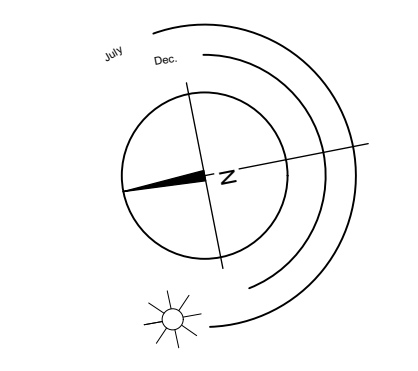
2 1.8M Ht. Wood Privacy Fence-Typical Elevation Scale: 1:25



Hardwood bench on folded steel plate.

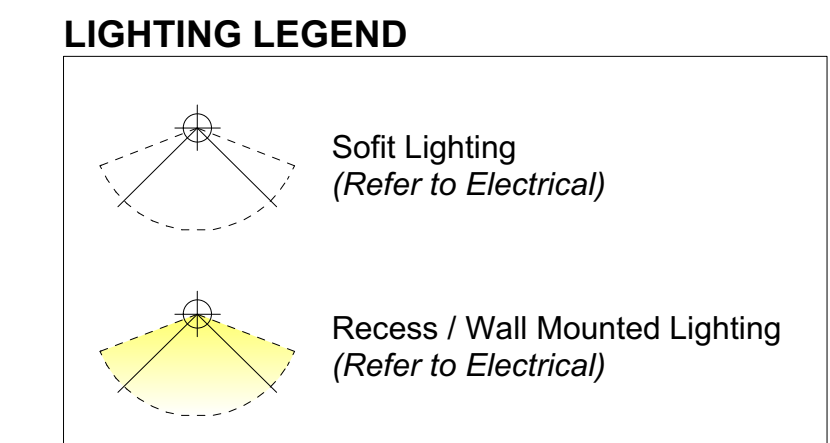
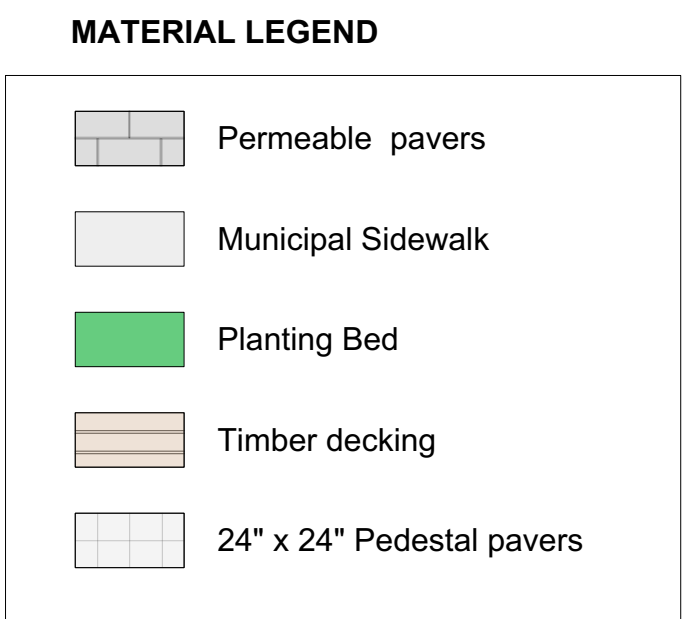
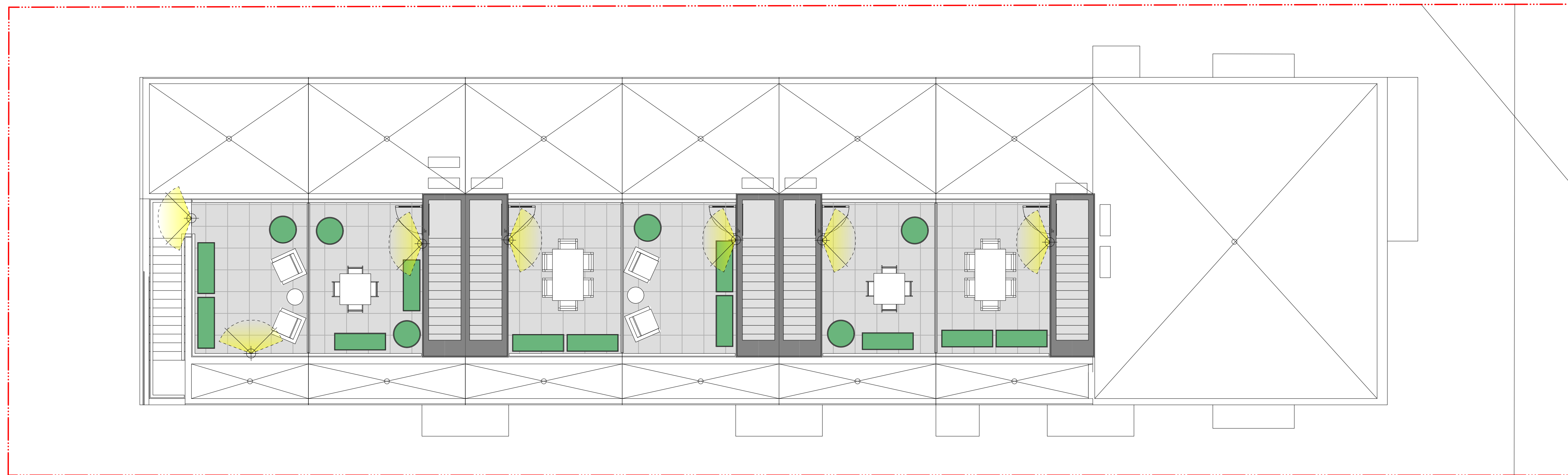


# 1276 Gladstone | Landscape Concept Plan



Project No: 2316 JAN-22-24 #3-864 Queens Ave. Victoria B.C. V8T 1M5 Phone: (250) 598-0105

Revision C: Apr. 24/24  
 Revision B: Mar. 28/24  
 Revision A: Feb. 7/24



2 Rooftop  
Scale: 1:75

NOTES:  
-ROOFTOP LAYOUT FOR CONCEPTUAL PURPOSES.  
-OWNERS TO SUPPLY FURNITURE, FENCES AND PLANTERS

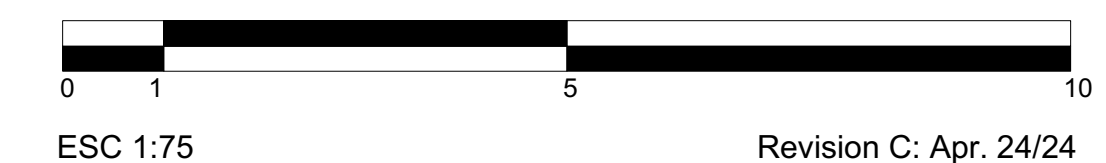
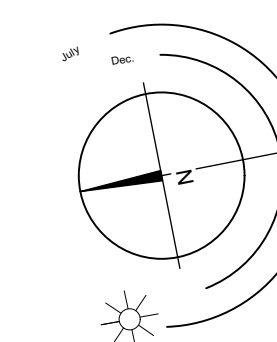
**Appendix A - Plant Guideline Compliance**

**1726 Gladstone**

February 6th, 2024

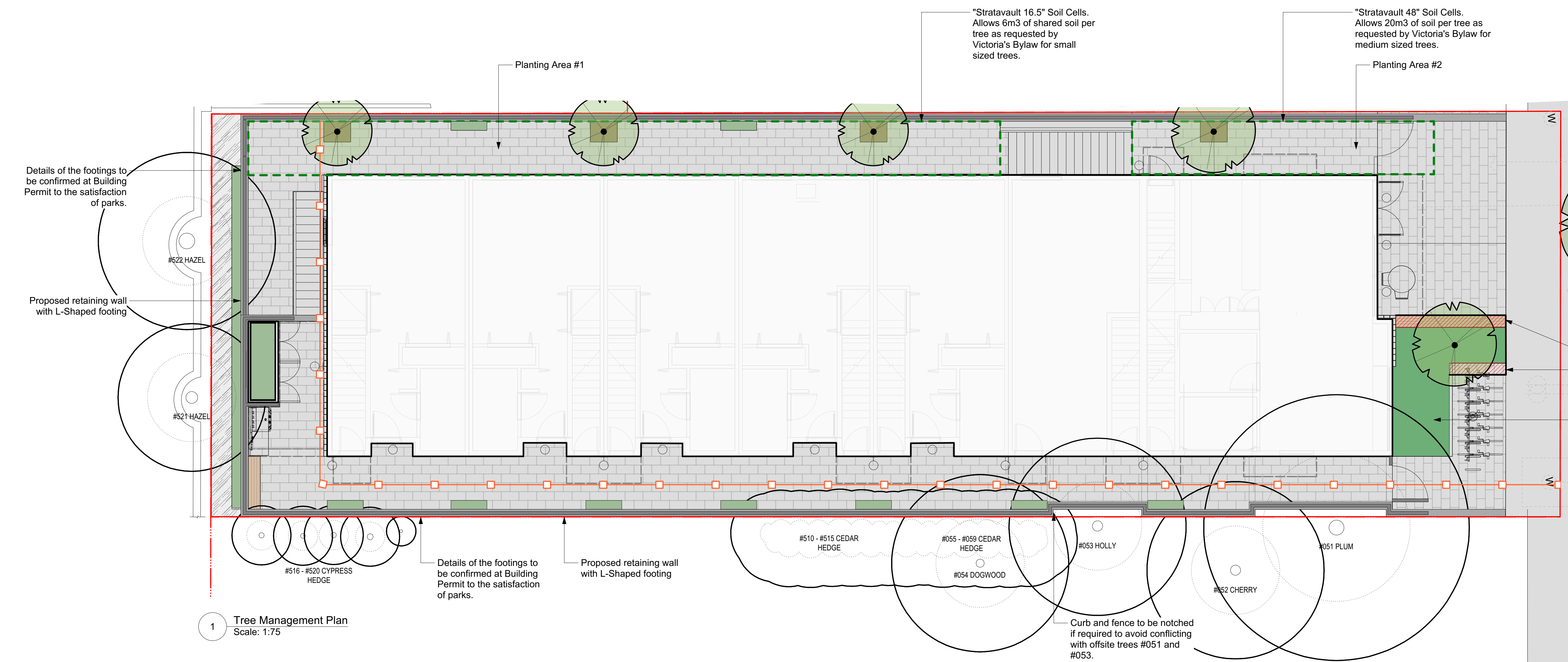
| Species                                    | Native | Food-Bearing | Pollinator Habitat | # of plants | Area of plant (m2) | Compliant<br>Total area of species (m2) | Non-Compliant<br>Total area of species (m2) |
|--|--------|--------------|--------------------|-------------|--------------------|---|---|
| <b>Trees</b>                               |        |              |                    |             |                    |   |   |
| Carpinus betulus 'Fans Fontaine'           |        | x            |                    | 3           | 4.2                | 12.6                                    |   |
| Fagus sylvatica 'Dawyck Purple'            |        | x            |                    | 1           | 6.8                | 6.8                                     |   |
| Liquidambar styraciflua 'Slender'          |        | x            |                    | 1           | 6.8                | 6.8                                     |   |
| <b>Large Shrubs</b>                        |        |              |                    |             |                    |   |   |
| Mahonia aquifolium                         | x      | x            |                    | 5           | 1.1                | 5.4                                     |   |
| Taxus x media 'Hicksii'                    |        | x            |                    | 7           | 0.2                | 1.4                                     |   |
| <b>Small Shrubs</b>                        |        |              |                    |             |                    |   |   |
| Azalea japonica 'Herbert'                  |        |              | x                  | 7           | 1.9                | 13.3                                    |   |
| Lavandula officinalis                      |        |              | x                  | 13          | 6.8                | 88.1                                    |   |
| <b>Perennials, Annuals and Ferns</b>       |        |              |                    |             |                    |   |   |
| Calamagrostis x acutiflora 'Karl Foerster' |        |              |                    | 6           | 0.2                |   | 1.2   |
| Blechnum spicant                           | x      |              |                    | 12          | 0.1                | 1.2                                     |   |
| Helictotrichon sempervirens                |        |              | x                  | 11          | 0.1                | 1.1                                     |   |
| <b>Vines</b>                               |        |              |                    |             |                    |   |   |
| Clematis armandii                          |        |              | x                  | 28          | 0.2                | 5.6                                     |   |
| <b>Total area of non compliant plants</b>  |        |              |                    |             |                    | 1.2                                     | 0.2%  |
| <b>Total area of compliant plants</b>      |        |              |                    |             |                    | 499.2                                   | 99.8%                                       |

# 1276 Gladstone | Landscape Concept Plan



ESC 1:75  
Revision C: Apr. 24/24  
Revision B: Mar. 28/24  
Revision A: Feb. 7/24  
**LADR LANDSCAPE ARCHITECTS**

Project No: 2316 DEC-08-23 #3-864 Queens Ave. Victoria B.C. V8T 1M5  
Phone: (250) 598-0105



1 Tree Management Plan  
Scale: 1:75

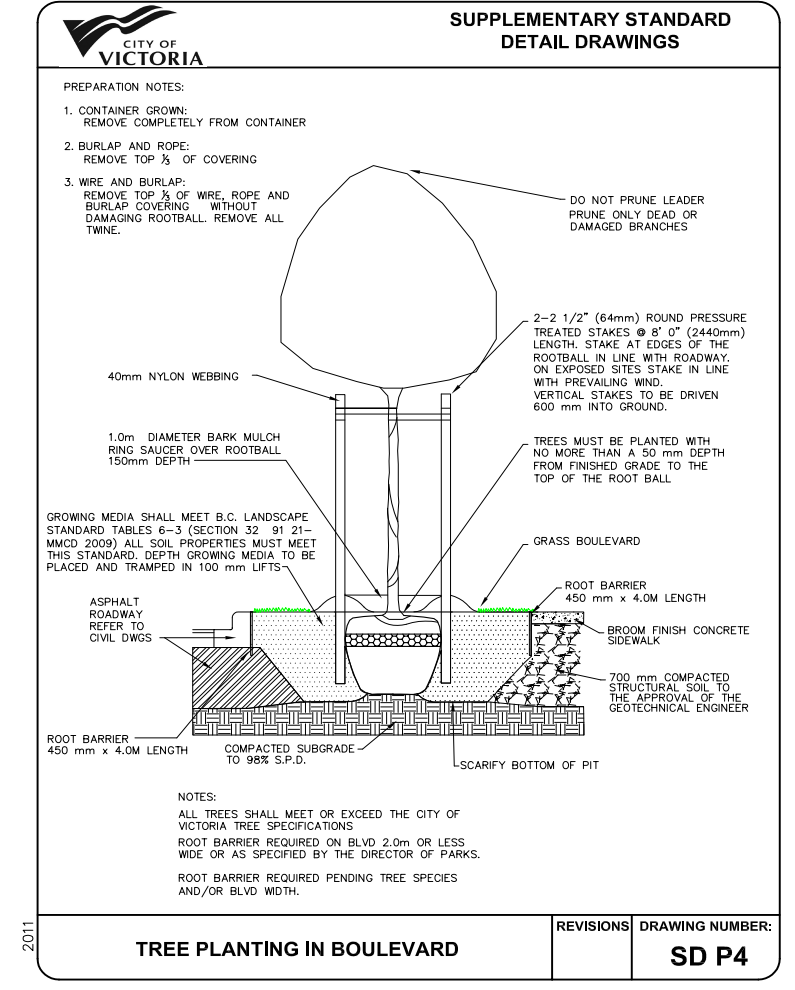
Figure #5 Tree Replacement - Schedule E - Requirements

| Tree Status     | A<br>Total # Protected Trees | B<br># Of Trees to be Removed | C<br># Of New or Replacement Trees to be Planted | D<br># Of Existing Non-Protected Trees Counted as Replacements | Net Change (A-B+C+D) |
|-----------------|------------------------------|-------------------------------|--|--|----------------------|
| Onsite trees    | 0                            | 0                             | 5  | 0  | 5                    |
| Offsite trees   | 5                            | 0                             | 0  | 0  | 5                    |
| Municipal trees | 0                            | 0                             | 1  | 0  | 1                    |
| <b>Total</b>    | <b>5</b>                     | <b>0</b>                      | <b>6</b>   | <b>0</b>   | <b>+11</b>           |

\* Cash-in-lieu for 2 replacement trees (\$2,000 per tree).

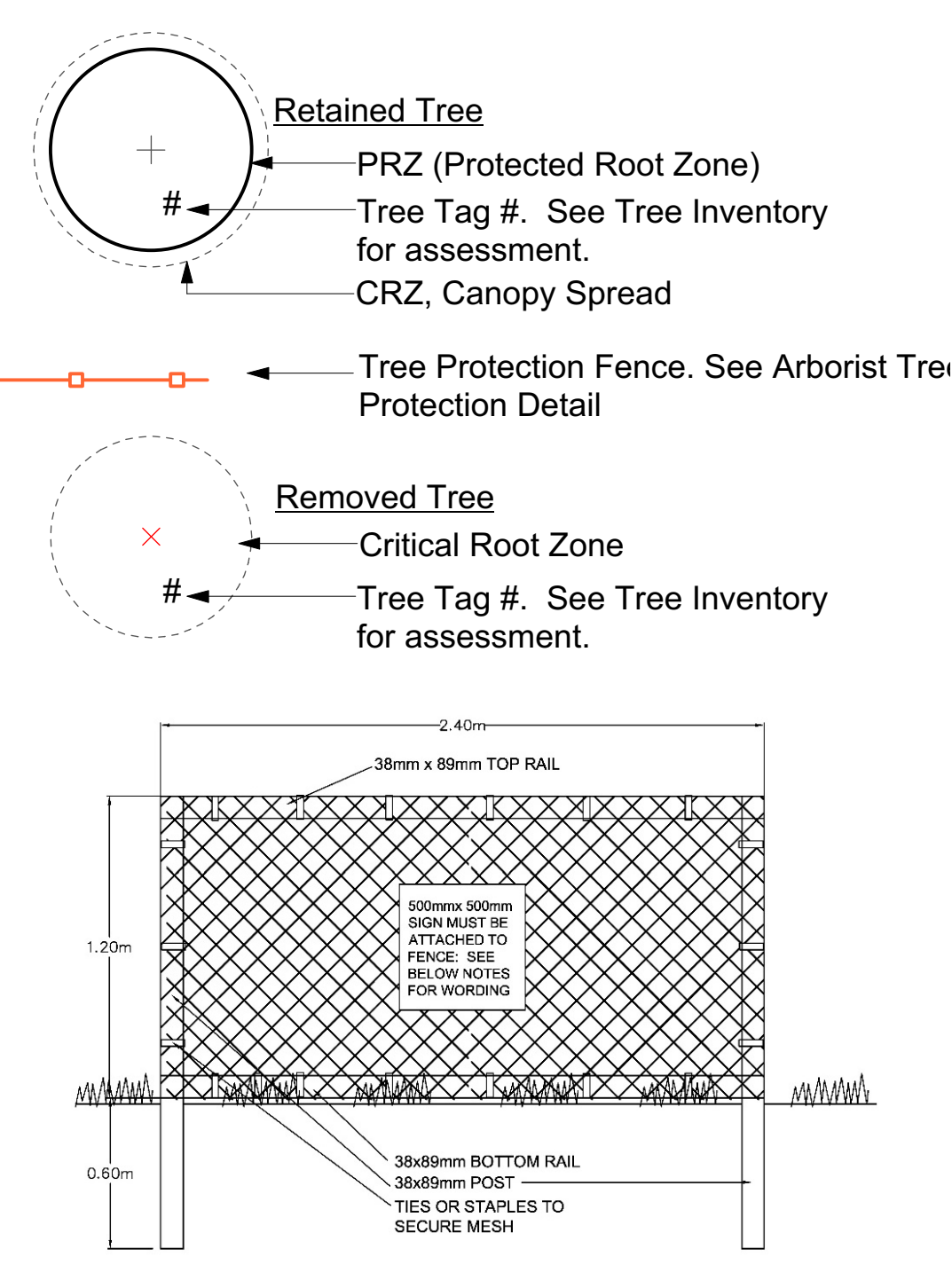
**TREE PROTECTION NOTES**

- INSTALL A 1.2m (4') METAL CONSTRUCTION FENCE FOR THE DURATION OF THE CONSTRUCTION PERIOD. THE CITY REPRESENTATIVE SHALL APPROVE THE PLACEMENT OF THE PROTECTION FENCE ON-SITE PRIOR TO START OF CONSTRUCTION.
- THE TEMPORARY FENCE MUST REMAIN IN PLACE AND IN THE CONDITION AS WAS APPROVED BY THE CITY REPRESENTATIVE FOR THE DURATION OF THE CONSTRUCTION PERIOD.
- THE FENCE SHOULD PROTECT THE TREE'S ROOT AREA TO THE EDGE OF THE DRIP LINE. IN CASES WHERE EXISTING SITE FEATURES DO NOT PERMIT THIS, THE FENCE SHALL PROTECT AS MUCH OF THE ROOT AREA AS POSSIBLE.
- ALTERNATE METHODS OF TREE PROTECTION WILL BE CONSIDERED. A WRITTEN REQUEST SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION. ALTERNATE TREE PROTECTION METHODS TO APPROVED BY CITY PRIOR TO INSTALLATION.
- COMPLIANCE WITH ALL MUNICIPAL REGULATIONS WILL BE REQUIRED.



2 SD P4 - Tree Planting in Boulevard  
Scale: 1:75

**EXISTING TREE LEGEND:**



3 Tree Protection Fence (CoV STD Detail)  
Scale: 1:75

Figure #1 - Tree Inventory - Proposed Impact Area

| Tag # | Spec      | DBH (cm) | H (M) | PRZ (M) | CRZ (M) | Health P/F/G | Structure P/E/G | Impact L/M/H | Tolerance L/M/H | Bylaw Prot. | Retain | Position | Comments  |
|-------|-----------|----------|-------|---------|---------|--------------|-----------------|--------------|-----------------|-------------|--------|----------|---|
| 051   | Pl Plum   | 50       | 7     | 9       | 5       | F            | P               | L/M          | M               | Bylaw       | X      | Off site | Positioned approximately 2.5m off building setback  |
| 052   | Cherry    | 34       | 8     | 6       | 3       | F            | P               | L            | M               | Bylaw       | X      | Off Site | Positioned approximately 3.25m off building setback |
| 053   | Holly     | 35       | 7     | 6       | 3       | F            | F               | L            | M               | Bylaw       | X      | Off site | Positioned approximately 3.0 m off building setback |
| 054   | K Dogwood | 28       | 8     | 6       | 3       | F            | F               | L            | M               | Non-Bylaw   | X      | Off site | Positioned approximately 3.0 m off building setback |
| 055   | E cedar   | 8        | 6     | 1       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off site | Hedge at P/L - 2m off building setback              |
| 056   | E cedar   | 14       | 6     | 2       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off Site | Hedge at P/L - 2m off building setback              |
| 057   | E cedar   | 10       | 6     | 1       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off Site | Hedge at P/L - 2m off building setback              |
| 058   | E cedar   | 7        | 6     | 1       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off Site | Hedge at P/L - 2m off building setback              |
| 059   | E cedar   | 15       | 6     | 2       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off Site | Hedge at P/L - 2m off building setback              |
| 0510  | E cedar   | 10       | 6     | 1       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off site | Hedge at P/L - 2m off building setback              |
| 0511  | E cedar   | 10       | 4     | 1       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off site | Hedge at P/L - 2m off building setback              |
| 0512  | E cedar   | 12       | 6     | 1       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off site | Hedge at P/L - 2m off building setback              |
| 0513  | E cedar   | 20       | 6     | 2       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off site | Hedge at P/L - 2m off building setback              |
| 0514  | E cedar   | 10       | 5     | 1       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off site | Hedge at P/L - 2m off building setback              |
| 0515  | E cedar   | 10       | 6     | 1       | 1       | F            | F               | L/M          | L               | Non-Bylaw   | X      | Off site | Hedge at P/L - 2m off building setback              |
| 0516  | cypress   | 10       | 7     | 1       | 1       | F            | P               | L/M          | M               | Non-Bylaw   | X      | Off site | Hedge formation                                     |
| 0517  | cypress   | 20       | 7     | 2       | 1       | F            | P               | L/M          | M               | Non-Bylaw   | X      | Off site | Hedge formation                                     |
| 0518  | cypress   | 18       | 7     | 2       | 1       | F            | P               | L/M          | M               | Non-Bylaw   | X      | Off site | Hedge formation                                     |
| 0519  | cypress   | 16       | 7     | 2       | 1       | F            | P               | L/M          | M               | Non-Bylaw   | X      | Off site | Hedge formation                                     |
| 0520  | cypress   | 19       | 7     | 2       | 1       | F            | P               | L/M          | M               | Non-Bylaw   | X      | Off site | Hedge formation                                     |
| 0521  | Hazel     | 40       | 6     | 5       | 3       | F            | P               | L/M          | M               | Bylaw       | X      | Off site | 5 x stem, 13,15,13,12 & 12cm                        |
| 0522  | Hazel     | 53       | 6     | 6       | 3       | F            | P               | L/M          | M               | Bylaw       | X      | Off site | 4 x stem, 20,14,17 & 10cm                           |

"Stratavault 16.5" Soil Cells. Allows 6m3 of shared soil per tree as requested by Victoria's Bylaw for small sized trees.

"Stratavault 48" Soil Cells. Allows 20m3 of soil per tree as requested by Victoria's Bylaw for medium sized trees.

Structural soil under the paving to increase soil volume/rooting area around the replacement tree along with root barriers

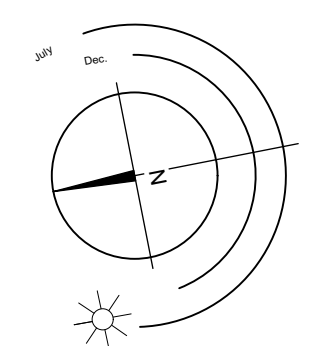
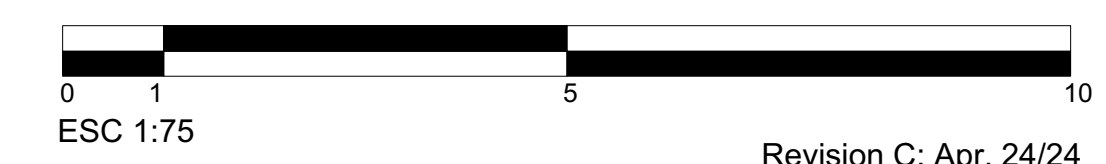
Curb and fence to be notched if required to avoid conflicting with offsite trees #051 and #053.

Figure #7 Summary Table - Tree Replacement Counts & Calculations

| ONSITE Minimum Replacement Tree Requirement  |               |       |      |
|--|---------------|-------|------|
| A. Protected trees removed   | 0             | X 1   | A.   |
| B. Replacement proposed per schedule "E", Part 1                                     | 6             | X 1   | B. 6 |
| C. Replacement trees proposed from Schedule "E", Part 2                              | 0             | X 0.5 | C. 0 |
| D. Replacement trees proposed per Schedule "E", Part 3                               | 0             | X 1   | D. 0 |
| E. Total replacement trees proposed (B+C+D) Rounded down - nearest whole #           | 6             |       | E. 6 |
| F. Onsite replacement tree deficit (A-E) Record 0 if negative number                 |               |       | F. 0 |
| ONSITE Minimum trees per lot requirement (onsite trees)                              |               |       |      |
| G. Tree Minimum on Lot*  | 4             |       | G. 4 |
| H. Protected trees retained (other than specimen tree)                               | 0             | X 1   | H. 0 |
| I. Specimen tree retained  | 0             | X 3   | I. 0 |
| J. Trees per lot deficit (G-(B+C+H+I) record 0 if negative #                         | (6-(3+0+0+0)) |       | J. 4 |
| OFFSITE Minimum replacement tree requirements (offsite trees)                        |               |       |      |
| K. Protected Trees Removed   | 0             | X 1   | K. 0 |
| L. Replacement Trees removed per Schedule "E" - Part 1 or Part 3                     | 0             | X 1   | L. 0 |
| M. Replacement tree proposed from Schedule "E", Part 2                               | 1             | X 0.5 | M. 1 |
| N. Total replacement trees proposed (L+M) Round down to nearest whole #              | 1             |       | N. 1 |
| O. Offsite replacement tree deficit (K-N) Record 0 if negative #                     | 0             |       | O. 0 |
| Cash-in-Lieu Requirement   |               |       |      |
| P. Onsite trees proposed for Cash-in-lieu Enter F, or J, whichever is the greatest # | 0             |       | P. 0 |
| Q. Offsite Trees proposed for cash-in-lieu. Enter Q                                  | 0             |       | Q. 0 |
| R. Cash-in-lieu proposed ((P+Q) x \$2,000.00)  | 0             |       | R. 0 |

Figure #6 - Tree Planting Area Soil Volume Chart

| Planting Area         | Area (m2)    | Soil Volume Multiplier | A. Est. Soil Volume | Replacement Trees Proposed |            |            | Soil Volume Required |           |          | Total   |
|-----------------------|--------------|------------------------|---------------------|----------------------------|------------|------------|----------------------|-----------|----------|---------|
|                       |              |                        |                     | B. # Small                 | C. #Medium | D. # Large | E. small             | F. Medium | G. Large |         |
| <b>ONSITE</b>         |              |                        |                     |                            |            |            |                      |           |          |         |
| Planting Area 1       | 46m2x0.45m   | 0.91                   | 45.9m3              | 3                          |            |            | 18m3                 |           |          | 45.9m3  |
| Planting Area 2       | 18.4m2x1.23m | 0.91                   | 20.6m3              |                            | 1          |            |                      | 20m3      |          | 20.6m3  |
| Planting Area 3       | 10.6m2       | 1.02                   | 10.6m3              | 1                          |            |            | 8m3                  |           |          | 10.65m3 |
| <b>OFFSITE</b>        |              |                        |                     |                            |            |            |                      |           |          |         |
| Planting Area 4 BVLVD | 14m2         | 0.6                    | 8.4m3               | 1                          |            |            | 8m3                  |           |          | 8.4m3   |
| <b>Calculations</b>   |              |                        |                     |                            |            |            |                      |           |          |         |
|                       |              |                        |                     |                            |            |            |                      |           |          | E+F+G   |



Revision C: Apr. 24/24  
Revision B: Mar. 28/24  
Revision A: Feb. 7/24

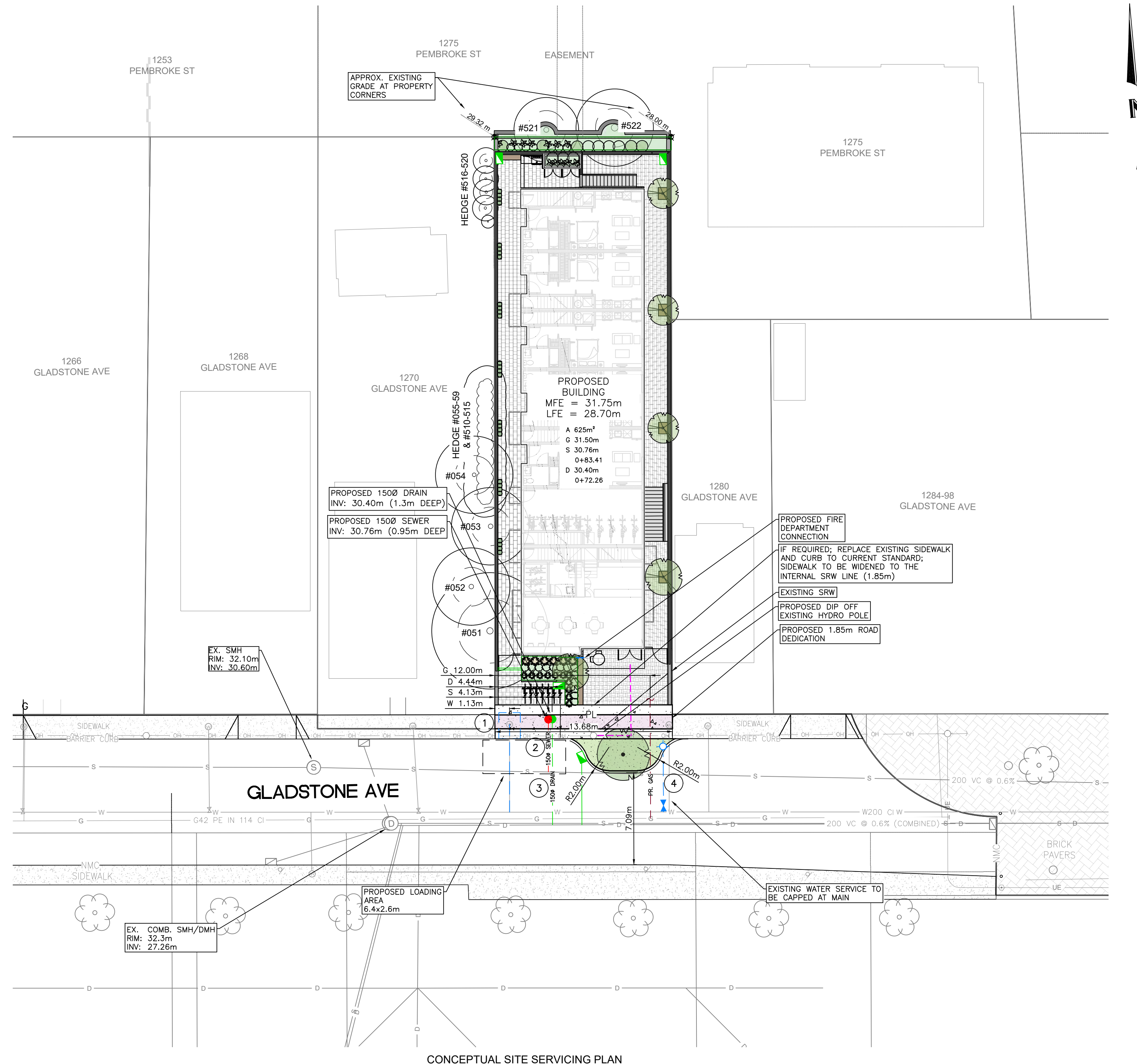


Project No: 2316 DEC-08-23 #3-864 Queens Ave. Victoria B.C. V8T 1M5  
Phone: (250) 598-0105

# 1276 Gladstone | Tree Management Plan

**Revisions**  
 Received Date: June 03, 2024  
 Deemed Date: April 26, 2024

# 1276 GLADSTONE MULTI FAMILY DEVELOPMENT

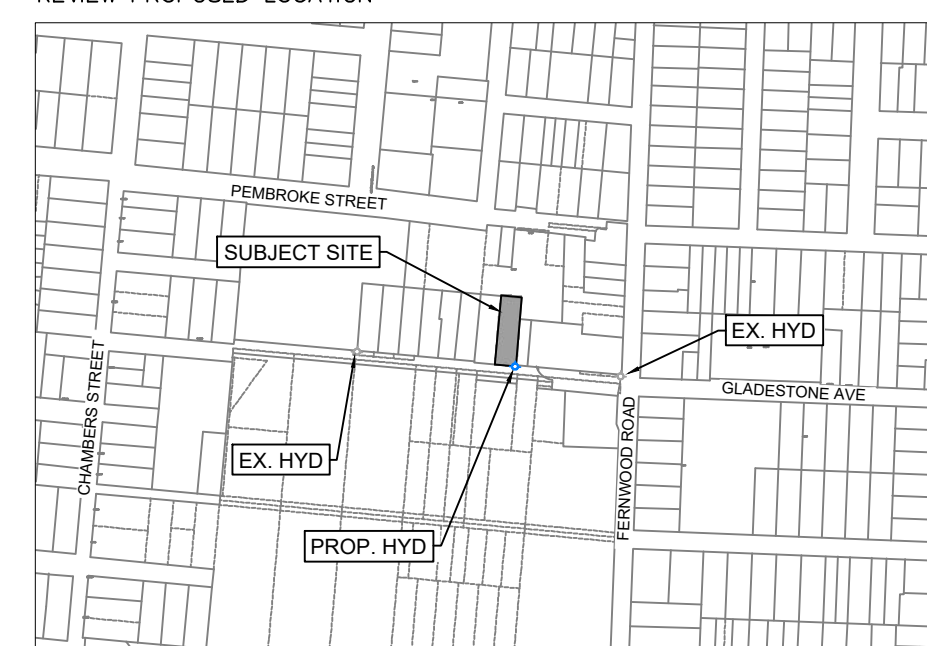


### SERVICE SIZING SUMMARY

| 1276 GLADSTONE AVENUE<br>SITE AREA = 625m <sup>2</sup><br>IMPERVIOUS AREA = 610.7m <sup>2</sup> |  |  |
|---|--|--|
| SANITARY  | PROPOSED LOAD  | SERVICE SIZE   |
| SERVICE   | 280FU<br>150mm SERVICE                               | 840FU MAXIMUM LOAD FOR 150mm<br>@ 2.0% (PLUMBING CODE)     |
| DRAIN   |  |  |
| SERVICE   | AREA X 15min RAINFALL<br>(PLUMBING CODE)<br>8.34 L/s | 19.56 L/s MAXIMUM LOAD FOR<br>150mm @ 2.0% (PLUMBING CODE) |
| WATER   |  |  |
| AWWA  | 542 FIXTURE VALUE<br>50mm METER                      | 50mm METER NORMAL OPERATING<br>RANGE 0.5 GPM TO 200 GPM    |

NOTE: ALL FIXTURE VALUES TO BE CONFIRMED BY THE PROJECT MECHANICAL ENGINEER AT THE BUILDING PERMIT STAGE

NOTE: NEW FIRE HYDRANT REQUIRED, CITY OF VICTORIA TO REVIEW PROPOSED LOCATION



LEGAL: LOT 2, SECTION 61, SPRING RIDGE, VICTORIA CITY PLAN 312  
 CIVIC: 1276 GLADSTONE AVENUE

### SERVICING NOTES

- PROPOSED 50mm DOMESTIC WATER LINE AND 100mm FIRE LINE TO BE INSTALLED GENERALLY CONFIGURED AS PER CITY OF VICTORIA (CoV) STD DRAWING SD W21 BY CITY FORCES AT DEVELOPER'S EXPENSE
- CoV FORCES TO INSTALL NEW 150Ø PVC SEWER SERVICE AT MIN. 2.0% TO PL c/w INSPECTION CHAMBER INSIDE APPROVED CONC. BOX AT DEVELOPER'S EXPENSE
- CoV FORCES TO INSTALL NEW 150Ø PVC DRAIN SERVICE AT MIN. 2.0% TO PL c/w INSPECTION CHAMBER INSIDE APPROVED CONC. BOX AT DEVELOPER'S EXPENSE
- CoV FORCES TO INSTALL NEW HYDRANT ASSEMBLY

### LEGEND

- A XXX.Xm<sup>2</sup> - LOT AREA
- G XXX.Xm - APPROX. GROUND ELEVATION OF SERVICES AT PL
- S XXX.XXX - SEWER SERVICE INVERT AT R
- X+XXX.X - DISTANCE FROM DOWNSTREAM SEWER MANHOLE
- D XXX.XXX - DRAIN SERVICE INVERT AT R
- X+XXX.X - DISTANCE FROM DOWNSTREAM DRAIN MANHOLE

CONCRETE SURFACE

**BC 1 CALL**  
 1-800-474-6886  
 THE CONTRACTOR IS TO CALL B.C. ONE CALL AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION.

CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES

THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.

| LEGEND                            |                   | REVISIONS      |              | REVISIONS APPROVED |                         |      | DESIGN APPROVED |                         |      |        |
|-----------------------------------|-------------------|----------------|--------------|--------------------|-------------------------|------|-----------------|-------------------------|------|--------|
| Existing Municipal Infrastructure | Drain             | Curb           | Concrete Box | 6                  | REVISION # 1            |      |                 | DESIGN APPROVED         |      |        |
| Proposed Municipal Infrastructure | Ditch             | Sidewalk       | Wood Box     | 5                  | Approved                | Date | Signed          | Approved                | Date | Signed |
| Existing External U/G Utilities   | Sewer             | Manhole        | Catch Basin  | 4                  | Design Engineer         |      |                 | Design Engineer         |      |        |
| Proposed External U/G Utilities   | Water             | Cleanout       | Reducer      | 3                  | Manager of Development  |      |                 | Manager of Development  |      |        |
| Street Lighting                   | Pole Mount        | Silt Trap      | Cap / Plug   | 2                  | Development Coordinator |      |                 | Development Coordinator |      |        |
| Post Top                          | Pedestrian Signal | Traffic Signal | Air Valve    | 1                  |                         |      |                 |                         |      |        |

FEBRUARY 7, 2024  
 SUBMITTED FOR REZONING /  
 DEVELOPMENT PERMIT  
 APPLICATION

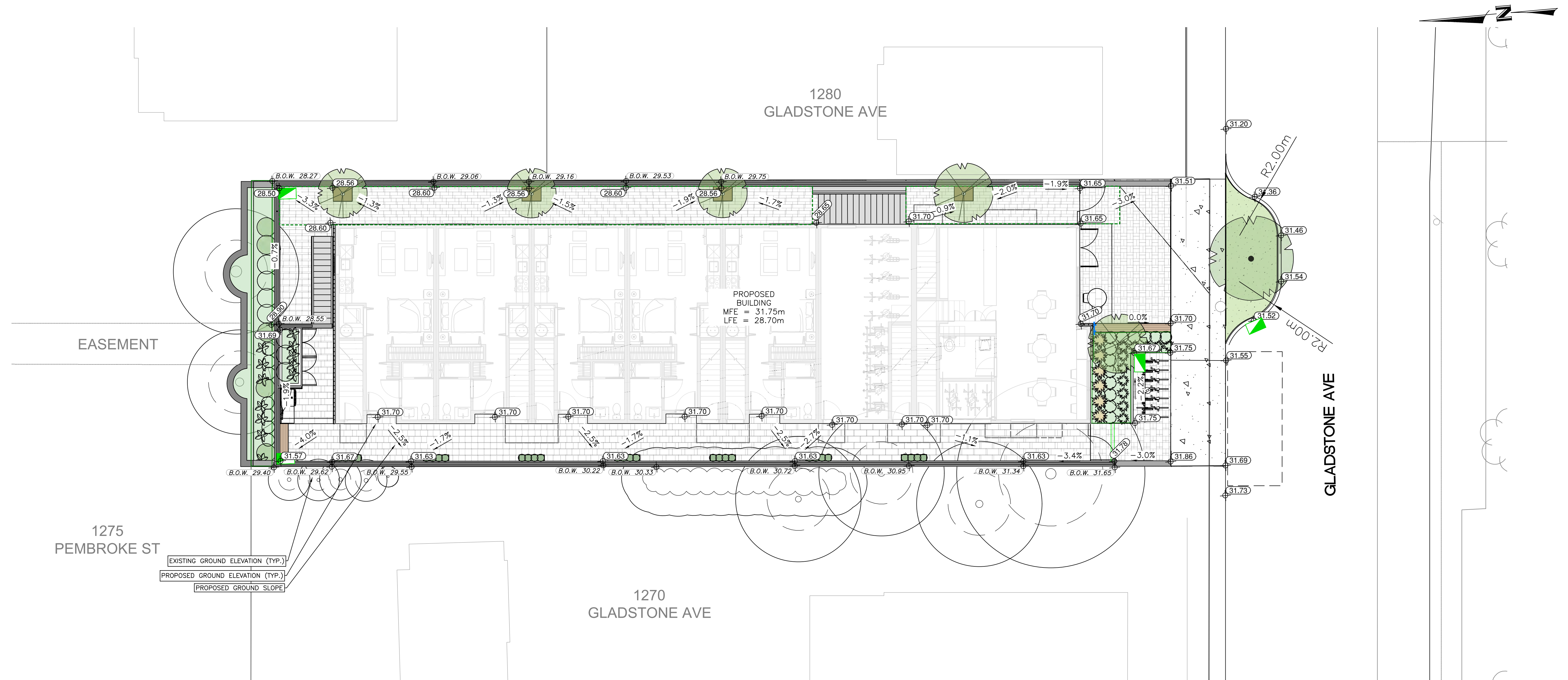
**ISLANDER ENGINEERING**  
 623 DISCOVERY STREET  
 VICTORIA, B.C. V8T5G4  
 PHONE 250.590.1200  
 www.islandereengineering.com

| CITY OF VICTORIA               |           |               | ISLANDER FILE #    | 2842      |        |
|--------------------------------|-----------|---------------|--------------------|-----------|--------|
| 1276 GLADSTONE AVENUE          |           |               | MUNICIPAL DESIGN # | -         |        |
| CONCEPTUAL SITE SERVICING PLAN |           |               | REV. #             | -         |        |
| B.M.:                          | -         | Elev.:        | -                  | DRAWING # | C01    |
| Design: AF                     | Drawn: AF | Checked: JRCE | Date: 2024-02-07   | SHEET #   | 1 OF 2 |



ISLANDER ENGINEERING: February 7, 2024 / G:\shortcut-targets-by-lst\0891dfrw\SunT\Wkshz5b5G\Ume\Civil\Projects\2842 - 1276 Gladstone Ave\3 Drawings\2024-02-06 - 2842 - Gladstone\_Ave\_Design\_Base.dwg

# 1276 GLADESTONE MULTI FAMILY DEVELOPMENT

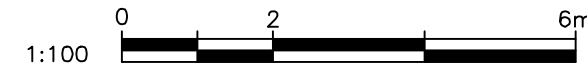


CONCEPTUAL GRADING PLAN  
SCALE 1:100

ISLANDER ENGINEERING: February 7, 2024 / G:\shortcut-targets-by-lt\0891dfrw\SunTm\Wkshz5b5G\Ume\Civil\Projects\2842 - 1276 Gladstone Ave\3 Drawings\2024-02-06 - 2842 - Gladstone\_Ave\_Design\_Base.dwg

**BC**  
**1**  
**CALL**  
1-800-474-6886

THE CONTRACTOR IS TO CALL B.C. ONE CALL AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION.



FEBRUARY 7, 2024  
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DEVELOPMENT PERMIT  
APPLICATION**

**ISLANDER ENGINEERING**  
623 DISCOVERY STREET  
VICTORIA, B.C. V8T5G4  
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| <p><b>CONFIRM UNDERGROUND LOCATIONS WITH UTILITY COMPANIES</b></p> <p>THE LOCATION AND ELEVATION OF THE EXISTING UNDERGROUND INFRASTRUCTURE SHOWN ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED PRIOR TO THE START OF ANY EXCAVATION.</p> | <p><b>LEGEND</b></p> <table border="1"> <tr> <td>Existing Municipal Infrastructure</td> <td>Drain</td> <td>Curb</td> <td>Concrete Box</td> <td>Valve</td> <td>6</td> </tr> <tr> <td>Proposed Municipal Infrastructure</td> <td>Ditch</td> <td>Sidewalk</td> <td>Wood Box</td> <td>Flush Valve</td> <td>5</td> </tr> <tr> <td>Existing External U/G Utilities</td> <td>Sewer</td> <td>Manhole</td> <td>Catch Basin</td> <td>Hydrant</td> <td>4</td> </tr> <tr> <td>Proposed External U/G Utilities</td> <td>Water</td> <td>Cleanout</td> <td>Culvert</td> <td>Reducer</td> <td>3</td> </tr> <tr> <td>Street Lighting Pole Mount</td> <td>Standard Mount</td> <td>Traffic Sign</td> <td>Silt Trap</td> <td>Cap / Plug</td> <td>2</td> </tr> <tr> <td>Post Top</td> <td>Pedestrian Signal</td> <td>Traffic Signal</td> <td>Ctrl Monument</td> <td>Traverse Hub</td> <td>1</td> </tr> </table> | Existing Municipal Infrastructure | Drain                   | Curb         | Concrete Box | Valve                   | 6    | Proposed Municipal Infrastructure | Ditch | Sidewalk | Wood Box | Flush Valve | 5 | Existing External U/G Utilities | Sewer | Manhole | Catch Basin | Hydrant | 4 | Proposed External U/G Utilities | Water | Cleanout | Culvert | Reducer | 3 | Street Lighting Pole Mount | Standard Mount | Traffic Sign | Silt Trap | Cap / Plug | 2 | Post Top | Pedestrian Signal | Traffic Signal | Ctrl Monument | Traverse Hub | 1 | <p><b>REVISIONS</b></p> <table border="1"> <tr> <td>6</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>1</td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </table> | 6 |  |  |  |  |  | 5 |  |  |  |  |  | 4 |  |  |  |  |  | 3 |  |  |  |  |  | 2 |  |  |  |  |  | 1 |  |  |  |  |  | <p><b>REVISIONS APPROVED</b></p> <table border="1"> <tr> <th colspan="3">REVISION # 1</th> <th colspan="3">REVISION # 2</th> <th colspan="3">REVISION # 3</th> </tr> <tr> <td>Approved</td> <td>Date</td> <td>Signed</td> <td>Approved</td> <td>Date</td> <td>Signed</td> <td>Approved</td> <td>Date</td> <td>Signed</td> </tr> <tr> <td>Design Engineer</td> <td></td> <td></td> <td>Design Engineer</td> <td></td> <td></td> <td>Design Engineer</td> <td></td> <td></td> </tr> <tr> <td>Manager of Development</td> <td></td> <td></td> <td>Manager of Development</td> <td></td> <td></td> <td>Manager of Development</td> <td></td> <td></td> </tr> <tr> <td>Development Coordinator</td> <td></td> <td></td> <td>Development Coordinator</td> <td></td> <td></td> <td>Development Coordinator</td> <td></td> <td></td> </tr> </table> | REVISION # 1 |  |  | REVISION # 2 |  |  | REVISION # 3 |  |  | Approved | Date | Signed | Approved | Date | Signed | Approved | Date | Signed | Design Engineer |  |  | Design Engineer |  |  | Design Engineer |  |  | Manager of Development |  |  | Manager of Development |  |  | Manager of Development |  |  | Development Coordinator |  |  | Development Coordinator |  |  | Development Coordinator |  |  | <p><b>DESIGN APPROVED</b></p> <table border="1"> <tr> <td>Approved By</td> <td>Date</td> <td>Signed</td> </tr> <tr> <td>Design Engineer</td> <td></td> <td></td> </tr> <tr> <td>Manager of Development</td> <td></td> <td></td> </tr> <tr> <td>Development Coordinator</td> <td></td> <td></td> </tr> </table> | Approved By | Date | Signed | Design Engineer |  |  | Manager of Development |  |  | Development Coordinator |  |  | <p><b>CITY OF VICTORIA</b></p> <p>1276 GLADSTONE AVENUE</p> <p>CONCEPTUAL GRADING PLAN</p> <table border="1"> <tr> <td>B.M.:</td> <td>-</td> <td>Elev.:</td> <td>-</td> </tr> <tr> <td>Design: AF</td> <td>Drawn: AF</td> <td>Checked: JRCE</td> <td>Date: 2024-02-07</td> </tr> <tr> <td>Scale: Hor: 1:200</td> <td>Vertical: -</td> <td></td> <td></td> </tr> </table> | B.M.: | - | Elev.: | - | Design: AF | Drawn: AF | Checked: JRCE | Date: 2024-02-07 | Scale: Hor: 1:200 | Vertical: - |  |  | <p><b>ISLANDER ENGINEERING</b></p> <p>FILE # 2842</p> <p>MUNICIPAL DESIGN # -</p> <p>REV. # -</p> <p>DRAWING # C02</p> <p>SHEET # 2 OF 2</p> |
|---|--|-----------------------------------|-------------------------|--------------|--------------|-------------------------|------|-----------------------------------|-------|----------|----------|-------------|---|---------------------------------|-------|---------|-------------|---------|---|---------------------------------|-------|----------|---------|---------|---|----------------------------|----------------|--------------|-----------|------------|---|----------|-------------------|----------------|---------------|--------------|---|---|---|--|--|--|--|--|---|--|--|--|--|--|---|--|--|--|--|--|---|--|--|--|--|--|---|--|--|--|--|--|---|--|--|--|--|--|---|--------------|--|--|--------------|--|--|--------------|--|--|----------|------|--------|----------|------|--------|----------|------|--------|-----------------|--|--|-----------------|--|--|-----------------|--|--|------------------------|--|--|------------------------|--|--|------------------------|--|--|-------------------------|--|--|-------------------------|--|--|-------------------------|--|--|--|-------------|------|--------|-----------------|--|--|------------------------|--|--|-------------------------|--|--|--|-------|---|--------|---|------------|-----------|---------------|------------------|-------------------|-------------|--|--|--|
|   |  | Existing Municipal Infrastructure | Drain                   | Curb         | Concrete Box | Valve                   | 6    |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Proposed Municipal Infrastructure   | Ditch  | Sidewalk                          | Wood Box                | Flush Valve  | 5            |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Existing External U/G Utilities   | Sewer  | Manhole                           | Catch Basin             | Hydrant      | 4            |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Proposed External U/G Utilities   | Water  | Cleanout                          | Culvert                 | Reducer      | 3            |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Street Lighting Pole Mount  | Standard Mount   | Traffic Sign                      | Silt Trap               | Cap / Plug   | 2            |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Post Top  | Pedestrian Signal  | Traffic Signal                    | Ctrl Monument           | Traverse Hub | 1            |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| 6   |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| 5   |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| 4   |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| 3   |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| 2   |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| 1   |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| REVISION # 1  |  |                                   | REVISION # 2            |              |              | REVISION # 3            |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Approved  | Date   | Signed                            | Approved                | Date         | Signed       | Approved                | Date | Signed                            |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Design Engineer   |  |                                   | Design Engineer         |              |              | Design Engineer         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Manager of Development  |  |                                   | Manager of Development  |              |              | Manager of Development  |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Development Coordinator   |  |                                   | Development Coordinator |              |              | Development Coordinator |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Approved By   | Date   | Signed                            |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Design Engineer   |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Manager of Development  |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Development Coordinator   |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| B.M.:   | -  | Elev.:                            | -                       |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Design: AF  | Drawn: AF  | Checked: JRCE                     | Date: 2024-02-07        |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| Scale: Hor: 1:200   | Vertical: -  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |
| <p>THE CONTRACTOR IS TO CALL B.C. ONE CALL AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION.</p>   |  |                                   |                         |              |              |                         |      |                                   |       |          |          |             |   |                                 |       |         |             |         |   |                                 |       |          |         |         |   |                            |                |              |           |            |   |          |                   |                |               |              |   |   |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |  |  |  |  |  |   |              |  |  |              |  |  |              |  |  |          |      |        |          |      |        |          |      |        |                 |  |  |                 |  |  |                 |  |  |                        |  |  |                        |  |  |                        |  |  |                         |  |  |                         |  |  |                         |  |  |  |             |      |        |                 |  |  |                        |  |  |                         |  |  |  |       |   |        |   |            |           |               |                  |                   |             |  |  |  |