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Architectural

- A0.0 Cover
- A0.1 Context Views
- A0.2 Context Views
- A0.3 Context Views
- A0.4 Height & Massing Analysis
- A0.6 Context Elevations
- A0.7 Skyline Analysis
- A0.8 Sun and Shade Study
- A1.0 Existing Site Survey
- A1.1 Site Plan
- A1.2 Average Grade Calculations
- A1.3 Level 1 Phasing Plan
- A1.4 P1 Phasing Plan
- A2.0 P2 Parking Plan
- A2.1 P1 Parking Plan
- A2.2 Level 1 Plan
- A2.3 Level 2 Plan
- A2.4 Level 3 Plan
- A2.5 Level 4 Plan
- A2.6 Level 5-13 Plan
- A2.7 Penthouse + Roof Plan
- A3.0 North Elevation
- A3.1 East Elevation
- A3.2 South Elevation
- A3.3 West Elevation
- A4.0 Building Sections
- A4.1 Building Sections
- A4.2 Building Section / Elevations

Landscape

- L0.00 Cover
- L0.01 General Information Sheet
- L0.02 Tree Survey Plan
- L0.03 Tree Management Plan
- L1.01 Landscape Materials - Ground
- L1.02 Landscape Materials - Roof
- L1.03 Stormwater Management & Grading
- L1.04 Landscape Precedents
- L1.05 Landscape Materials - Sections
- L1.06 Landscape Materials - Sections
- L1.07 Soil Volumes
- L3.01 Planting Plan
- L3.02 Planting Plan
- L4.01 Landscape Details

Civil

- C1.0 Conceptual Site Demolition
- C2.0 Conceptual Site Servicing Plant
- C3.0 Conceptual Site Surface Works

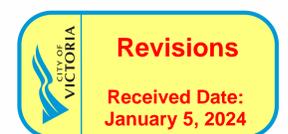
Electrical

- E100 Off-site Lighting Design & Details
- E101 Off-site Lighting Design & Details



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#21-18
Montreal and Quebec
205 Quebec Street
Victoria, BC

Rezoning/DP Resubmission

23.12.22



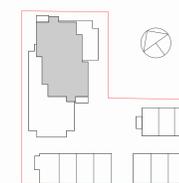
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1 Rendered Context View
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2 Rendered Context View
NTS



1

2

6	Rezoning/DP Resubmission	23.12.22
5	Rezoning/DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19
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project name Montreal and Quebec 205 Quebec Street Victoria, BC		
sheet title Context Views		
project no. #21-18		scale As indicated
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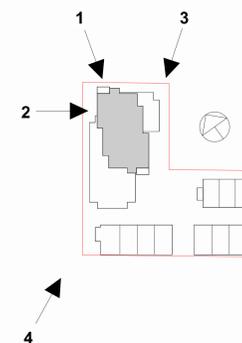
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1 Rendered Context View
NTS



2 Montreal Entry Render
NTS



3 Rendered Context View
1:1



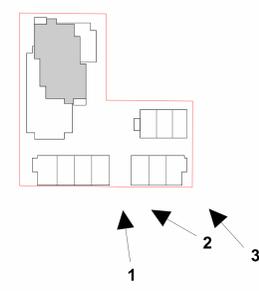
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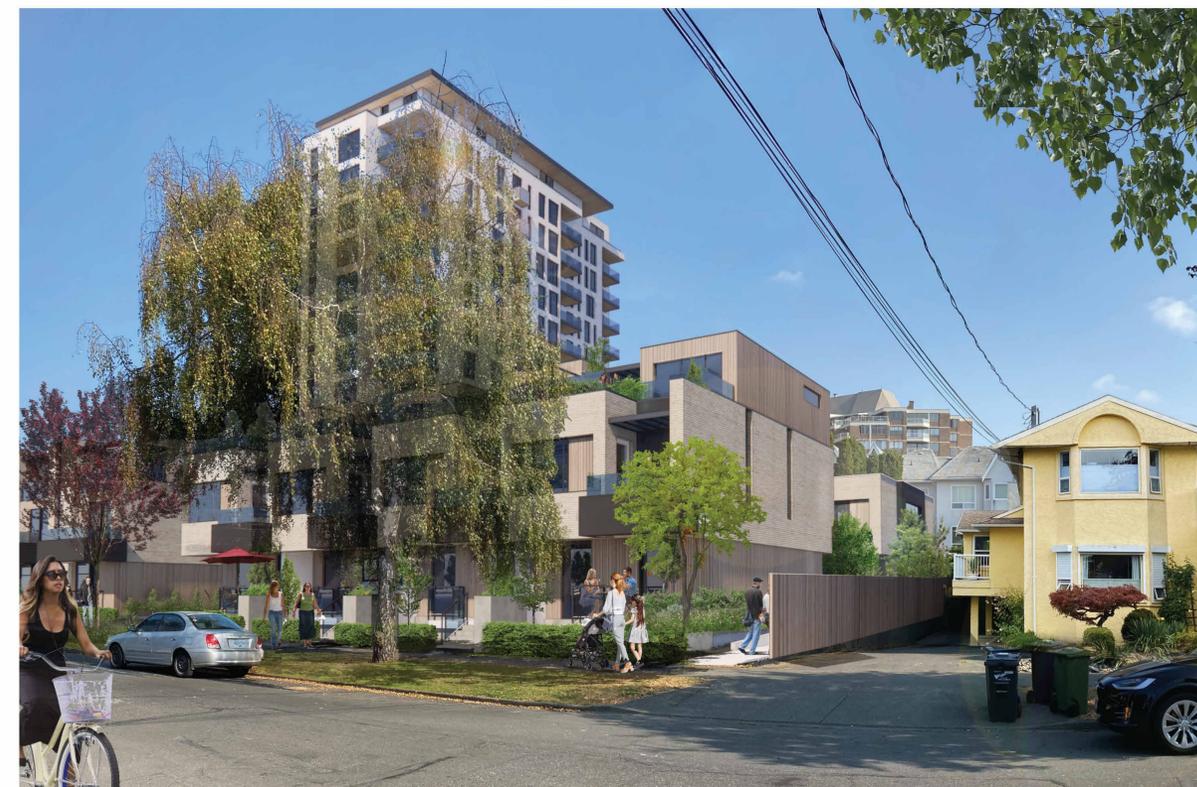
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1 Rended Context View
NTS



2 Rended Context View
NTS



3 Rended Context View
1:1

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6	Rezoning DP Resubmission	23.12.22
5	Rezoning DP Resubmission	22.12.06
4	Issued for ADP	22.08.02

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Context Views

project no.	#21-18
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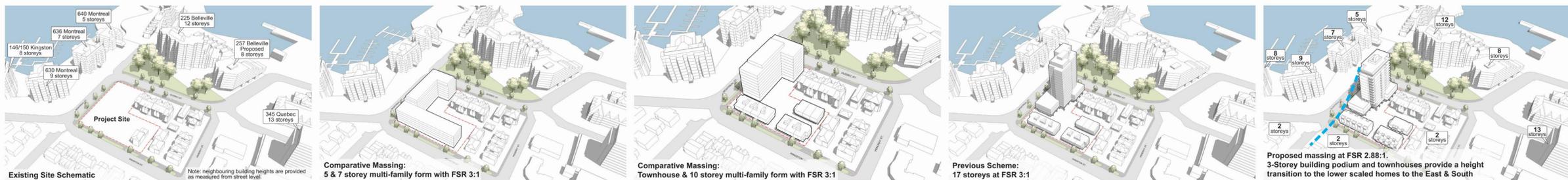


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URBAN HEIGHT DIAGRAM: Taller building forms wrap around the Downtown Core Area and bracket the marine entrance to the Inner Harbour.

- 10–18+ storeys
- 6–9 storeys

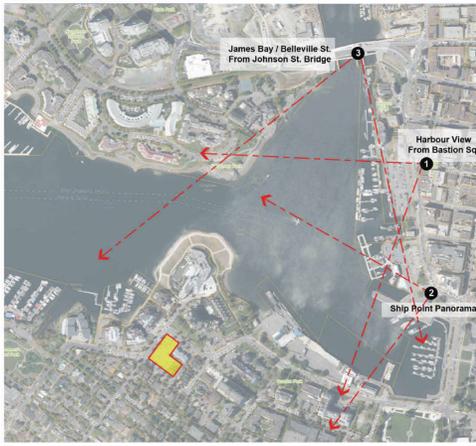


MASSING/HEIGHT RATIONALE

6	Rezoning/DP Resubmission 23.12.22	
5	Rezoning/DP Resubmission 22.12.08	
2	Issued for Rezoning / DP	21.12.15
rev no	description	date
project name		
Montreal and Quebec		
205 Quebec Street		
Victoria, BC		
sheet title		
Height & Massing Analysis		
project no.	#21-18	
scale	NTS	
drawn by	DZ	
date issued	12/06/22	sheet no.
		A0.4



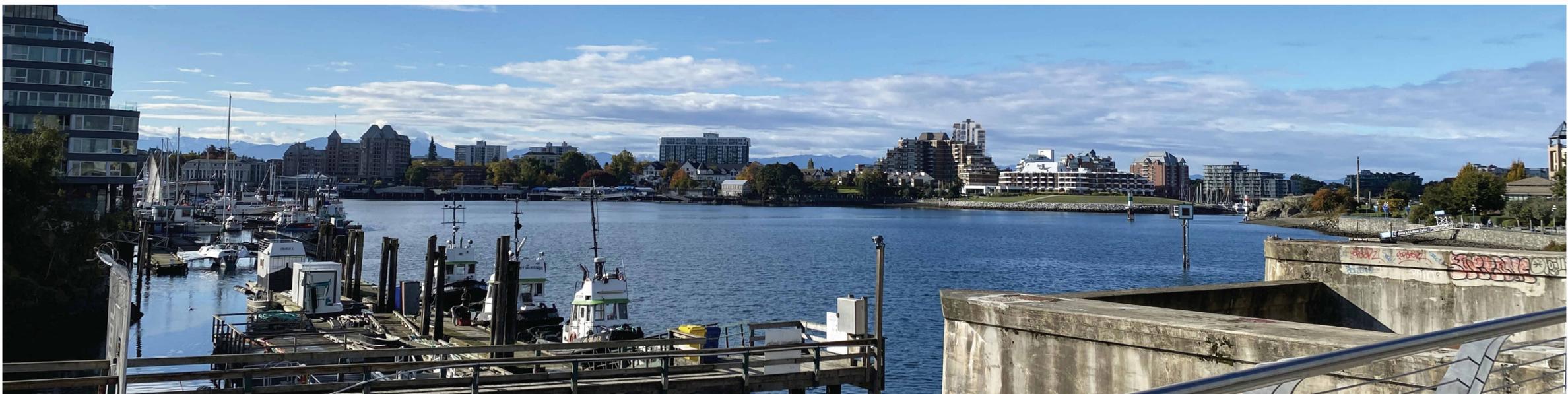
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1. Harbour View from Bastion Square



2. Ship Point Panorama



3. James Bay / Belleville Street from Johnson Street Bridge

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4	Issued for ADP	22.08.02
2	Issued for Rezoning / DP	21.12.15
rev no	description	date

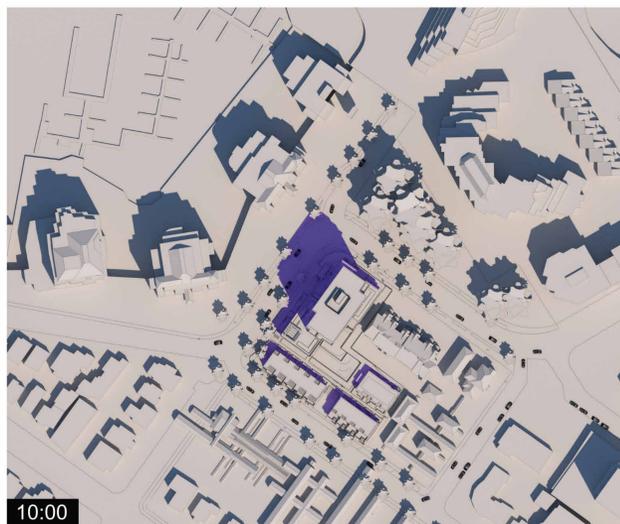
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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Skyline Analysis

project no.	#21-18
scale	NTS
drawn by	CF
date issued	12/06/22
sheet no.	A0.7

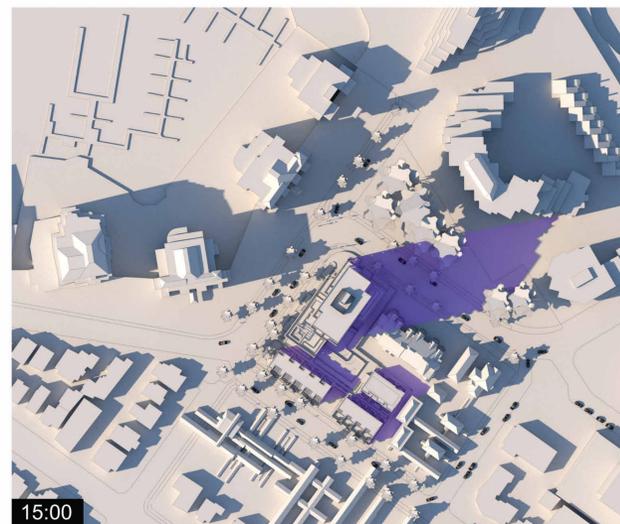
Spring / Fall Equinox



10:00

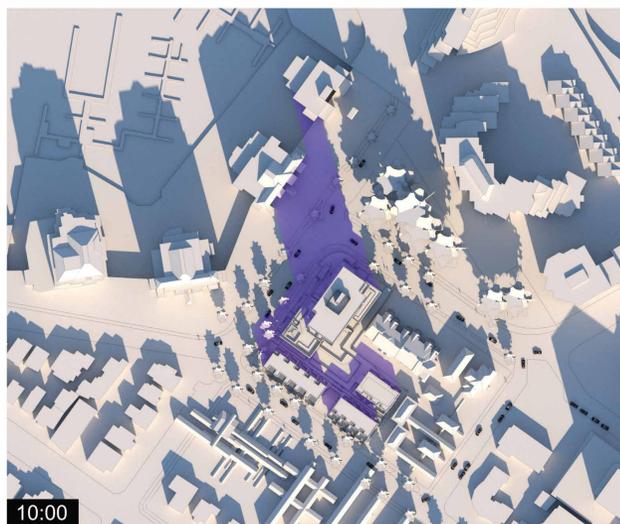


12:00

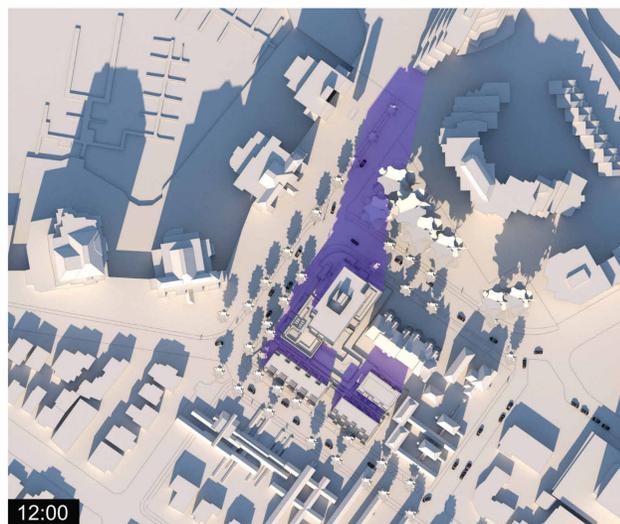


15:00

Winter Solstice



10:00

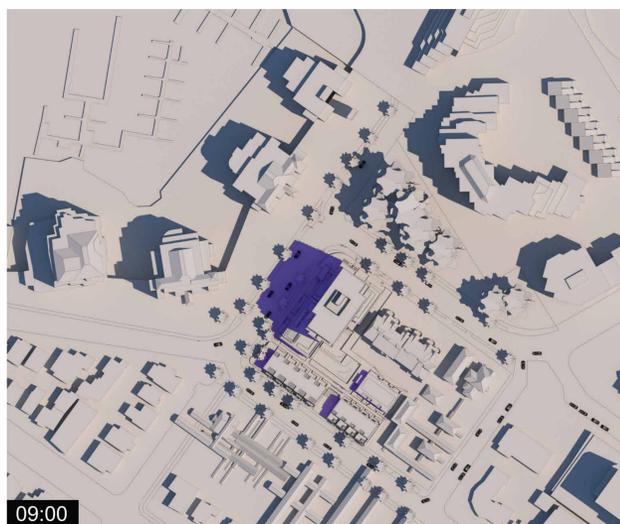


12:00



15:00

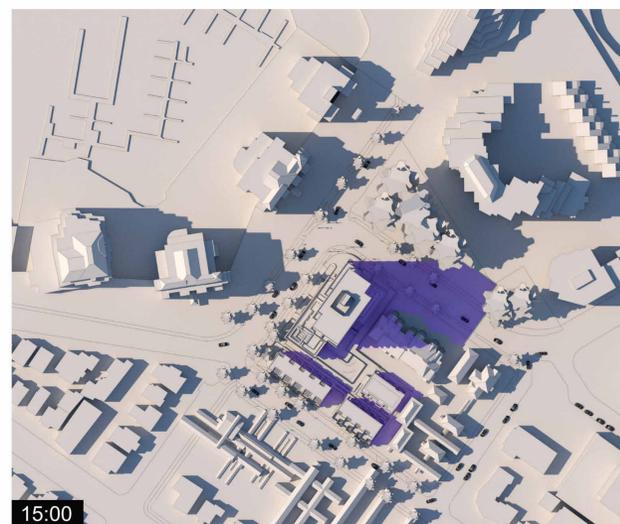
Summer Solstice



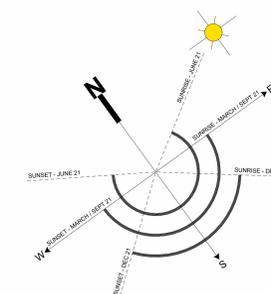
09:00



12:00



15:00



- Legend
- Shadows from Proposed Building
 - Shadows from Existing Buildings



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2023-12-22

6	Rezoning / DP Resubmission	23.12.22
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205 Quebec Street		
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sheet title		
Sun and Shade Study		
project no.		#21-18
scale		
drawn by		DZ, GK
date issued		12/06/22
sheet no.		A0.8

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BC LAND SURVEYORS SITE PLAN OF:

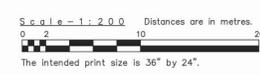
Civic: 205 Quebec Street
Legal - Lot 940 and 941, Victoria City
Parcel Identifiers: 009-387-137 & 009-387-153

Civic: 507 Montreal Street
Legal - Lot 1 of Lots 950 and 951, Victoria City, Plan 9158
Parcel Identifier: 005-556-392

Civic: 210 Kingston Street
Legal - Parcel A (DD 43159) of Lots 950 and 951, Victoria City, Except Part in Plan 9158
Parcel Identifier: 009-387-595

Civic: 214 Kingston Street
Legal - Lot 2 of Lot 950, Victoria City, Plan 9158
Parcel Identifier: 005-556-431

Civic: 224 Kingston Street
Legal - Lot 948, Victoria City
Parcel Identifier: 009-387-498



LEGEND
Elevations are geodetic and referenced to the CHD288C datum.
x - denotes - existing elevation
Tree diameters are in centimetres.
Total Site Area = 4009 m2

revised September 13, 2021
June 22, 2021
File: 13,506 - 8
POWELL & ASSOCIATES
B C Land Surveyors
250-255 Douglas Street
Victoria, BC V8T 4H4
phone (250) 382-8855

Setbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

6	Rezonning/DP Resubmission/23.12.22	
5	Rezonning/DP Resubmission/22.12.06	
2	Issued for Rezonning / DP / 21.12.15	
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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Existing Site Survey

project no. #21-18
scale
drawn by Author

date issued 12/06/22
sheet no. **A1.0**

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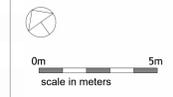
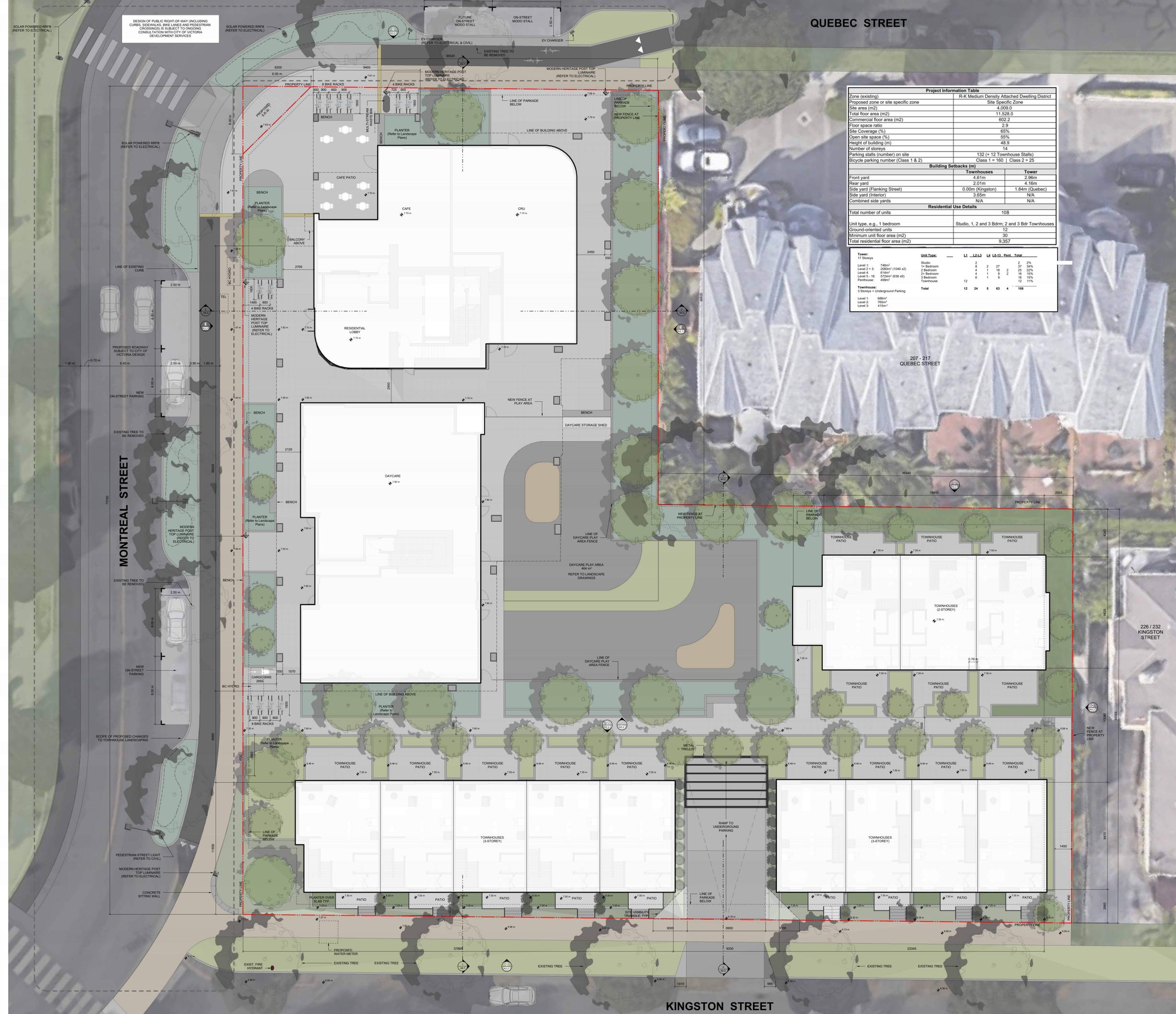


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NOTES:
REFER TO LANDSCAPE PLANS FOR INFORMATION ON PAVING ON PAVING, FENCING, PLANTING AND TREES.

QUEBEC STREET

Project Information Table					
Zone (existing)	R-K Medium Density Attached Dwelling District				
Proposed zone or site specific zone	Site Specific Zone				
Site area (m ²)	4,009.0				
Total floor area (m ²)	11,528.0				
Commercial floor area (m ²)	602.2				
Floor space ratio	2.9				
Site Coverage (%)	65%				
Open site space (%)	55%				
Height of building (m)	48.9				
Number of storeys	14				
Parking stalls (number) on site	132 (+ 12 Townhouse Stalls)				
Bicycle parking number (Class 1 & 2)	Class 1 = 160 Class 2 = 25				
Building Setbacks (m)					
Townhouses	Tower				
Front yard	4.61m	2.96m			
Rear yard	2.07m	4.16m			
Side yard (Flanking Street)	0.00m (Kingston)	1.84m (Quebec)			
Side yard (Interior)	3.65m	N/A			
Combined side yards	N/A	N/A			
Residential Use Details					
Total number of units	108				
Unit type, e.g. 1 bedroom	Studio, 1, 2 and 3 Bdrm; 2 and 3 Bdr Townhouses				
Ground-oriented units	12				
Minimum unit floor area (m ²)	30				
Total residential floor area (m ²)	9,357				
Tower					
Level 1	746m ²	17 Storeys			
Level 2-3	258m ² (1040 x2)	1+ Bedroom			
Level 4-6	616m ²	2 Bedroom			
Level 7-10	324m ² (836 x3)	3 Bedroom			
Penthouse	499m ²	Townhouse			
Townhouse	3 Storeys + Underground Parking				
Level 1	486m ²				
Level 2	785m ²				
Level 3	419m ²				
Unit Types					
L1	L2-L3	L4	L4-L10	Pent	Total
2	2	2	27	2	35
4	1	1	16	2	24
4	1	1	9	2	17
6	1	1	9	4	16
12	6	1	9	4	32
12	24	5	63	4	108



rev no	description	date
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3	Issued for Rezonning DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Site Plan

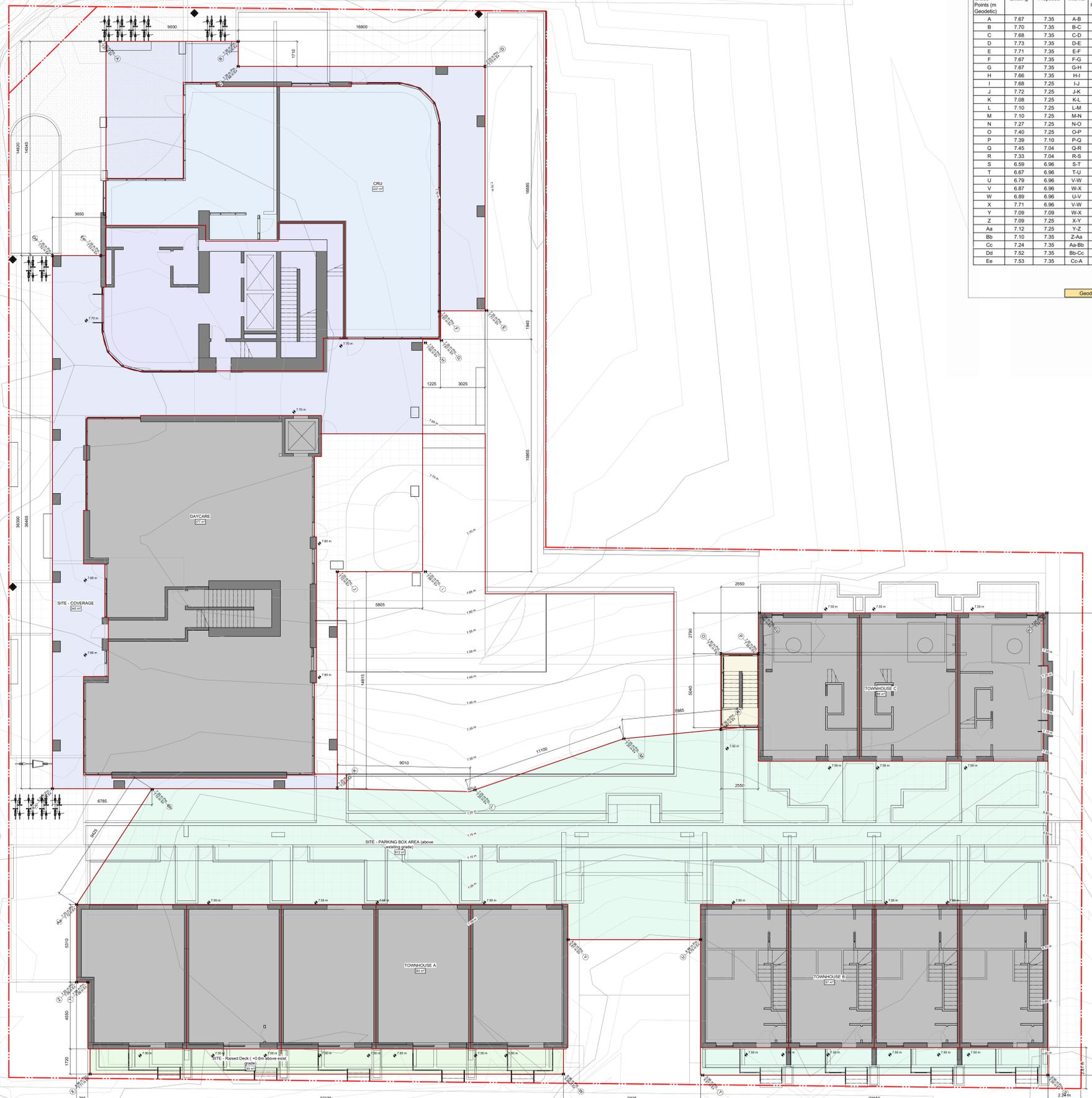
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date issued	12/06/22
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Grade Points (m Geodesic)	Existing	Proposed	Interval	Average Grade (m)	Distance (m)	Subtotal
A	7.67	7.35	A-B	7.35	9.41	69.13
B	7.70	7.35	B-C	7.35	1.71	12.57
C	7.68	7.35	C-D	7.35	16.80	123.48
D	7.73	7.35	D-E	7.35	16.69	122.83
E	7.71	7.35	E-F	7.35	3.08	22.60
F	7.67	7.35	F-G	7.35	2.34	17.16
G	7.67	7.35	G-H	7.35	1.33	9.74
H	7.66	7.35	H-I	7.30	15.47	112.93
I	7.68	7.25	I-J	7.25	5.66	41.00
J	7.72	7.25	J-K	7.17	14.82	106.15
K	7.08	7.25	K-L	7.09	9.01	63.88
L	7.10	7.25	L-M	7.10	11.10	78.81
M	7.10	7.25	M-N	7.18	6.64	47.61
N	7.27	7.25	N-O	7.25	5.16	37.41
O	7.40	7.25	O-P	7.18	2.72	19.52
P	7.39	7.10	P-Q	7.07	3.34	23.61
Q	7.45	7.04	Q-R	7.04	19.71	138.76
R	7.33	7.04	R-S	6.82	31.57	215.15
S	6.99	6.96	S-T	6.83	23.50	159.81
T	6.97	6.96	T-U	6.78	9.48	64.24
U	6.79	6.96	V-W	6.83	1.62	11.03
V	6.87	6.96	W-X	6.88	1.30	8.94
W	6.89	6.96	U-V	6.93	30.98	214.54
X	7.71	6.96	V-W	7.03	1.62	11.35
Y	7.09	7.09	W-X	7.09	1.30	9.22
Z	7.09	7.25	X-Y	7.11	5.87	41.67
Aa	7.12	7.25	Y-Z	7.11	9.08	64.52
Bb	7.10	7.35	Z-Aa	7.17	6.79	48.65
Cc	7.24	7.35	Aa-Bb	7.30	36.39	265.47
Dd	7.52	7.35	Bb-Cc	7.35	3.25	23.85
Ee	7.53	7.35	Cc-A	7.35	14.62	107.46
Total						322.29 2288.87
Geodetic Average Grade (m)						7.10

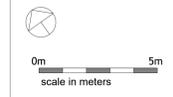
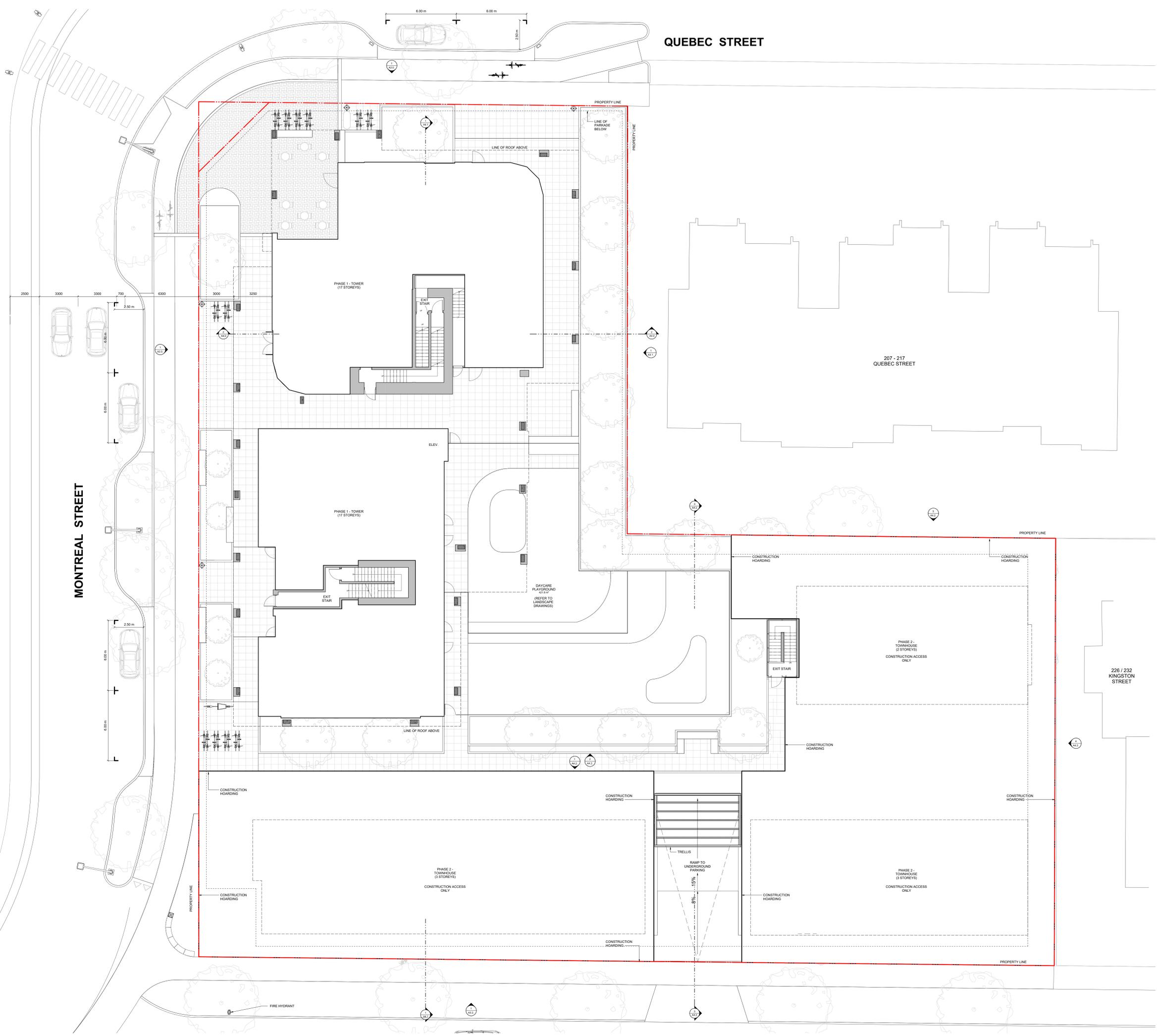


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Victoria, BC		
sheet title		
Average Grade Calculations		
project no. #21-18		
scale 1 : 100		
drawn by RP, GK, GB		
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6	Rezoning DP Resubmission	23.12.22
5	Rezoning DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
2	Issued for Rezoning DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

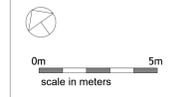
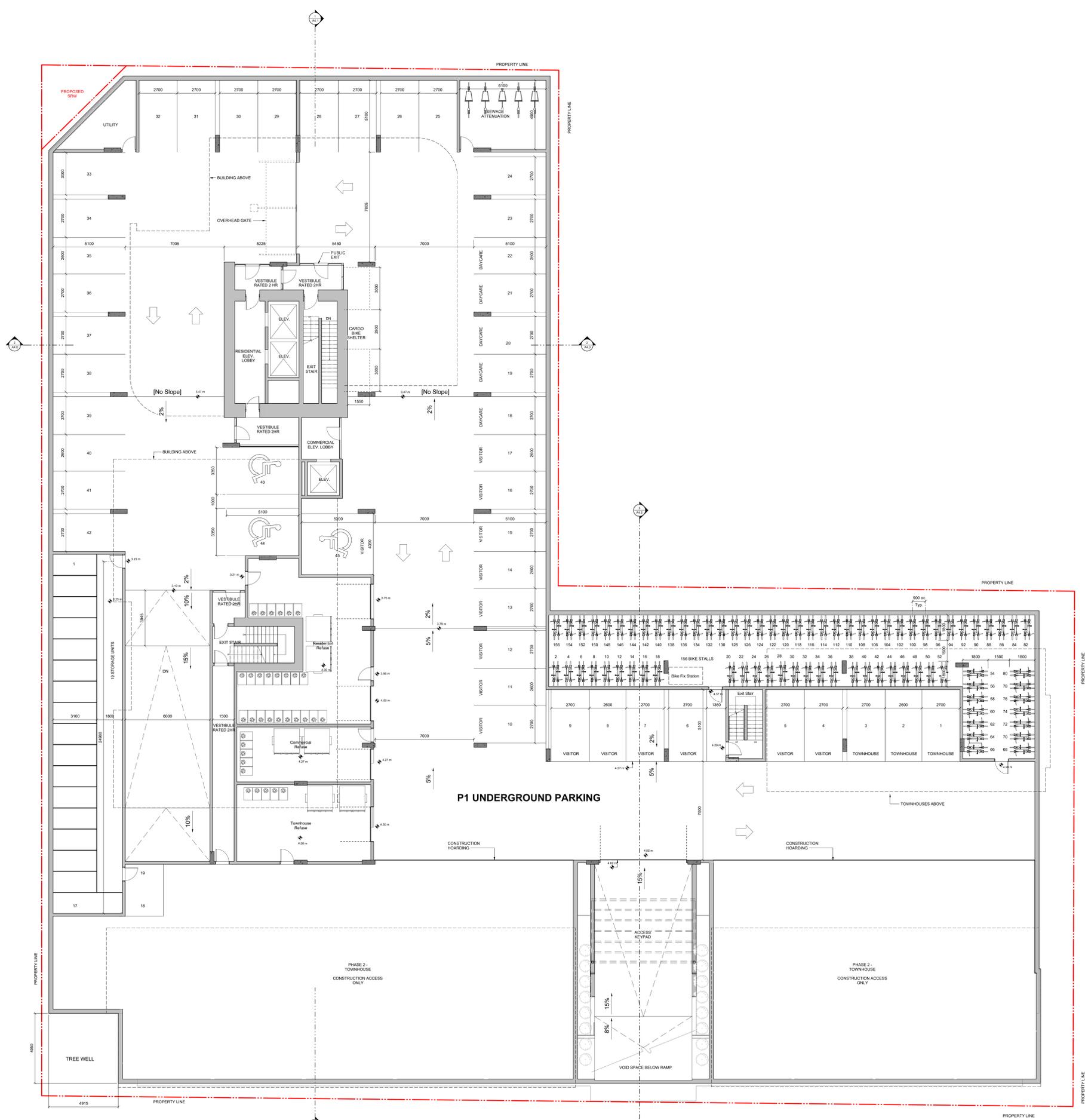
sheet title
Level 1 Phasing Plan

project no.	#21-18
scale	1 : 100
drawn by	Author
date issued	12/06/22
sheet no.	A1.3

2023-12-22 10:34:42 AM



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rev no	description	date
6	Resubmission DP Resubmission	23.12.22
5	Resubmission DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
3	Issued for Resubmission DP	21.12.15
2	Issued for Dev. Tracker	21.10.19
1	Issued for Dev. Tracker	21.10.19

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

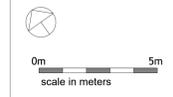
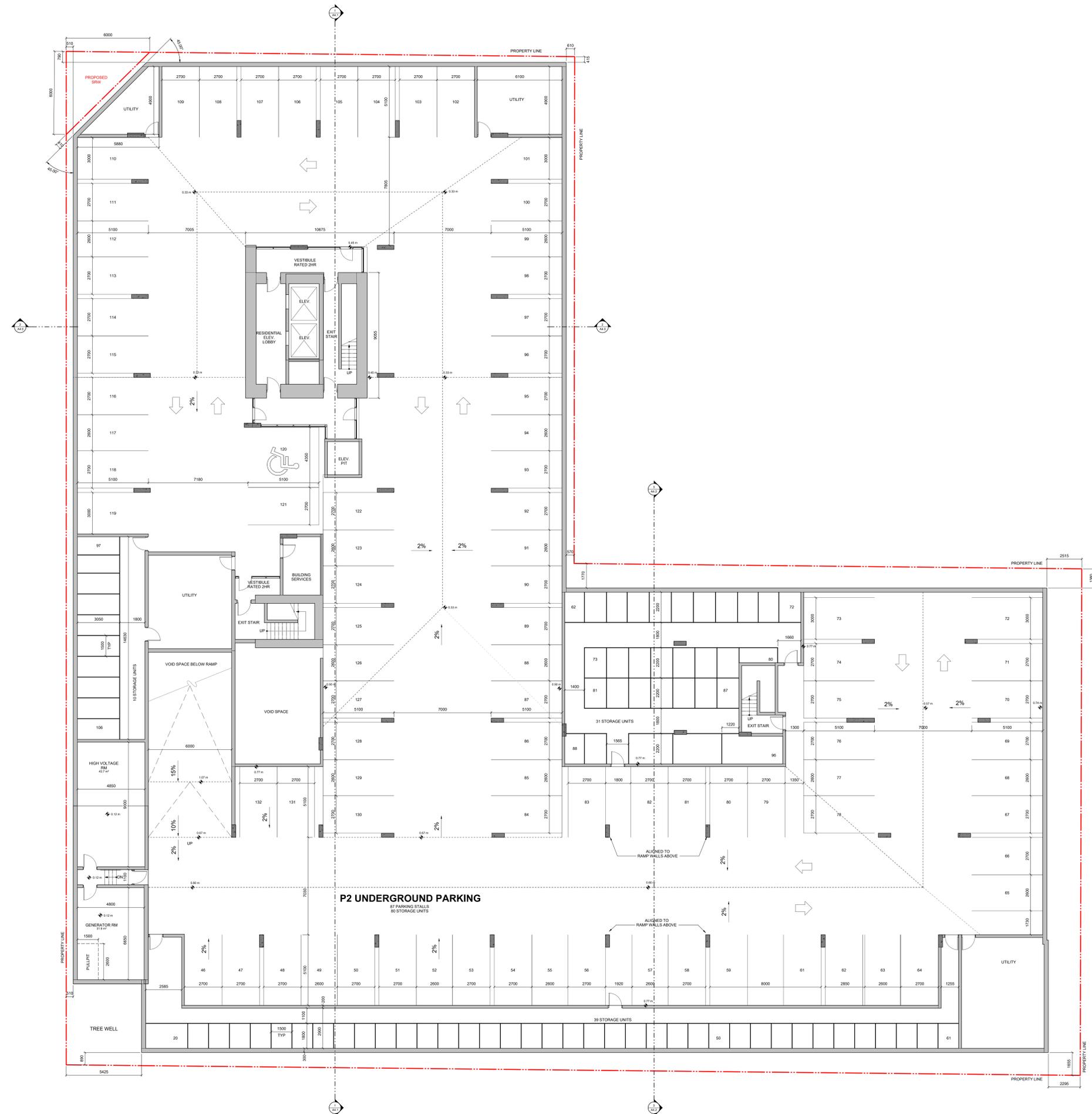
sheet title
P1 Phasing Plan

project no.	#21-18
scale	1 : 100
drawn by	Author
date issued	12/06/22
sheet no.	A1.4

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rev no	description	date
6	Rezoning DP Resubmission	23.12.22
5	Rezoning DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
3	Issued for Rezoning / DP	21.12.15
2	Issued for Dev. Tracker	21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

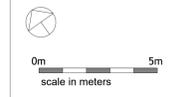
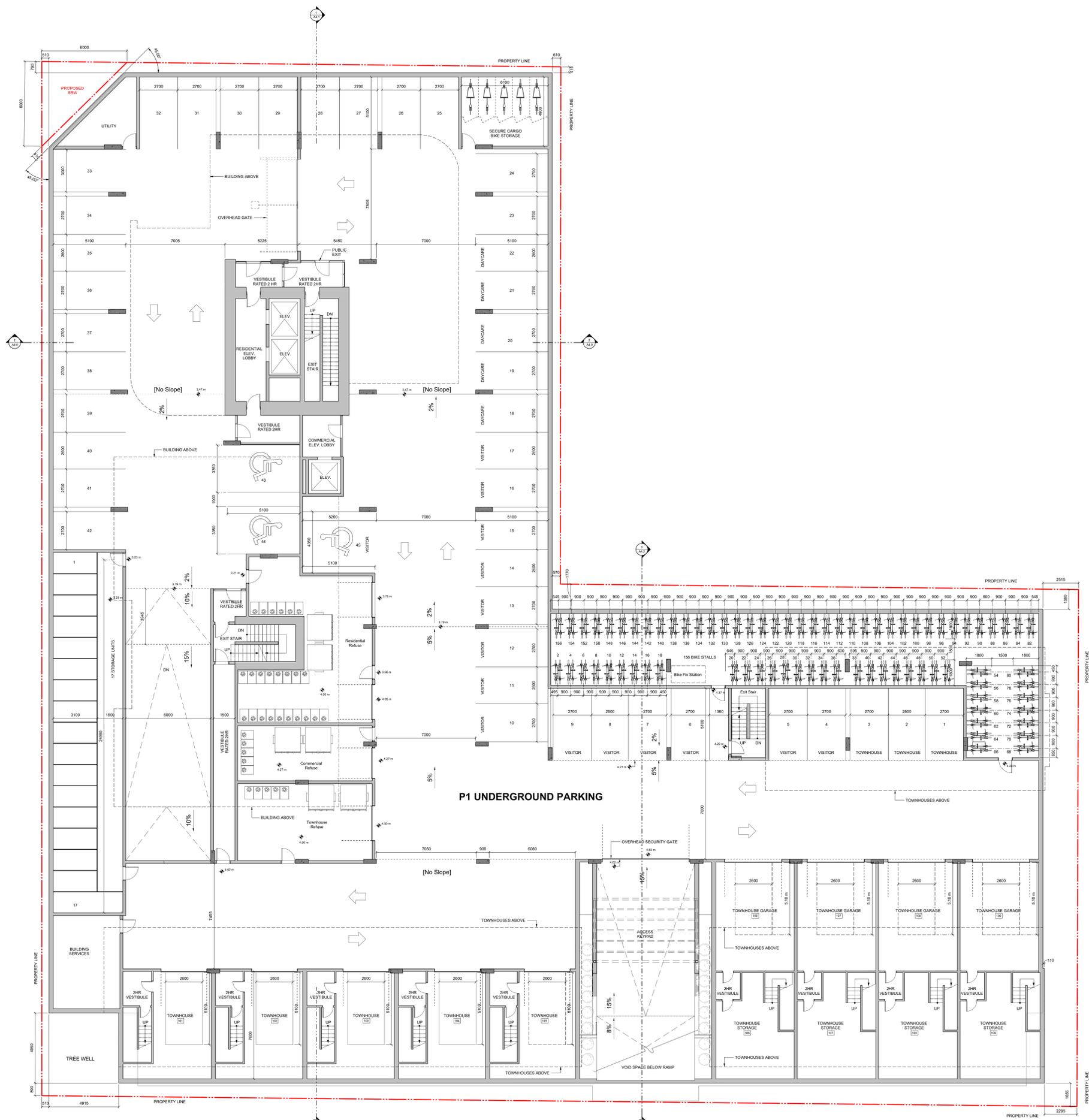
sheet title
P2 Parking Plan

project no.	#21-18
scale	1 : 100
drawn by	RP / GK
date issued	12/06/22
sheet no.	A2.0

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rev no	description	date
6	Resubmission DP	23.12.22
5	Resubmission DP	22.12.06
4	Issued for ADP	22.08.02
3	Issued for Resubmission DP	21.12.15
2	Issued for Dev. Tracker	21.10.19
1	Issued for Dev. Tracker	21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
P1 Parking Plan

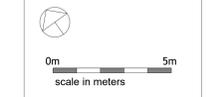
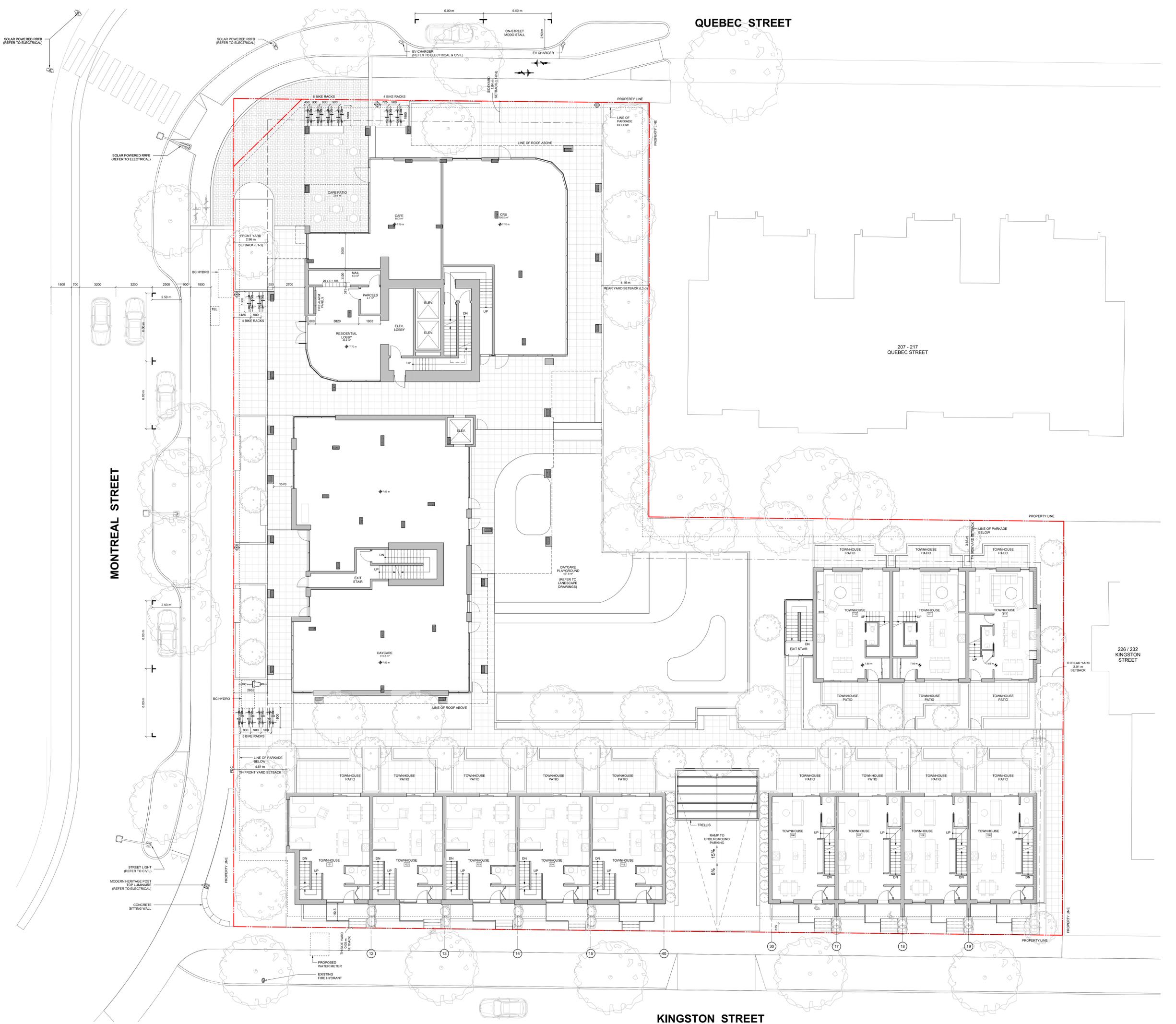
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scale	1 : 100
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date issued	12/06/22
sheet no.	A2.1

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NOTES:
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6	Resoning DP Resubmission	23.12.22
5	Resoning DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
3	Issued for Resoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19
rev no	description	date

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

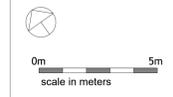
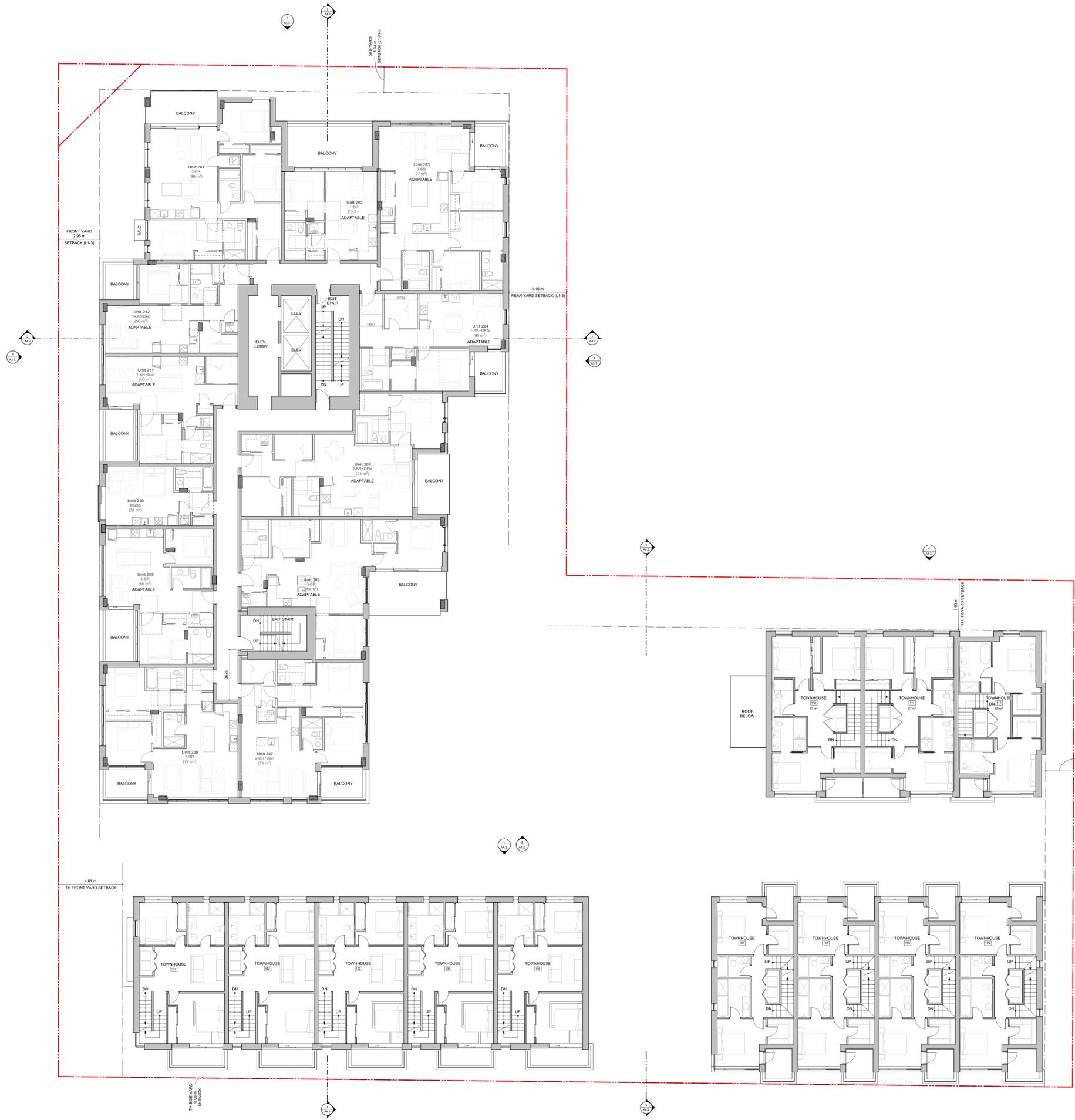
sheet title
Level 1 Plan

project no.	#21-18
scale	1 : 100
drawn by	RP / GK / GB
date issued	12/06/22
sheet no.	A2.2

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rev no	description	date
6	Rezoning DP Resubmission	23.12.22
5	Rezoning DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
3	Issued for Rezoning / DP	21.12.15
2	Issued for Dev. Tracker	21.10.19
1	Issued for Dev. Tracker	21.10.19

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project name
Montreal and Quebec
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Victoria, BC

sheet title
Level 2 Plan

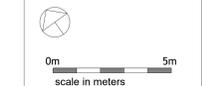
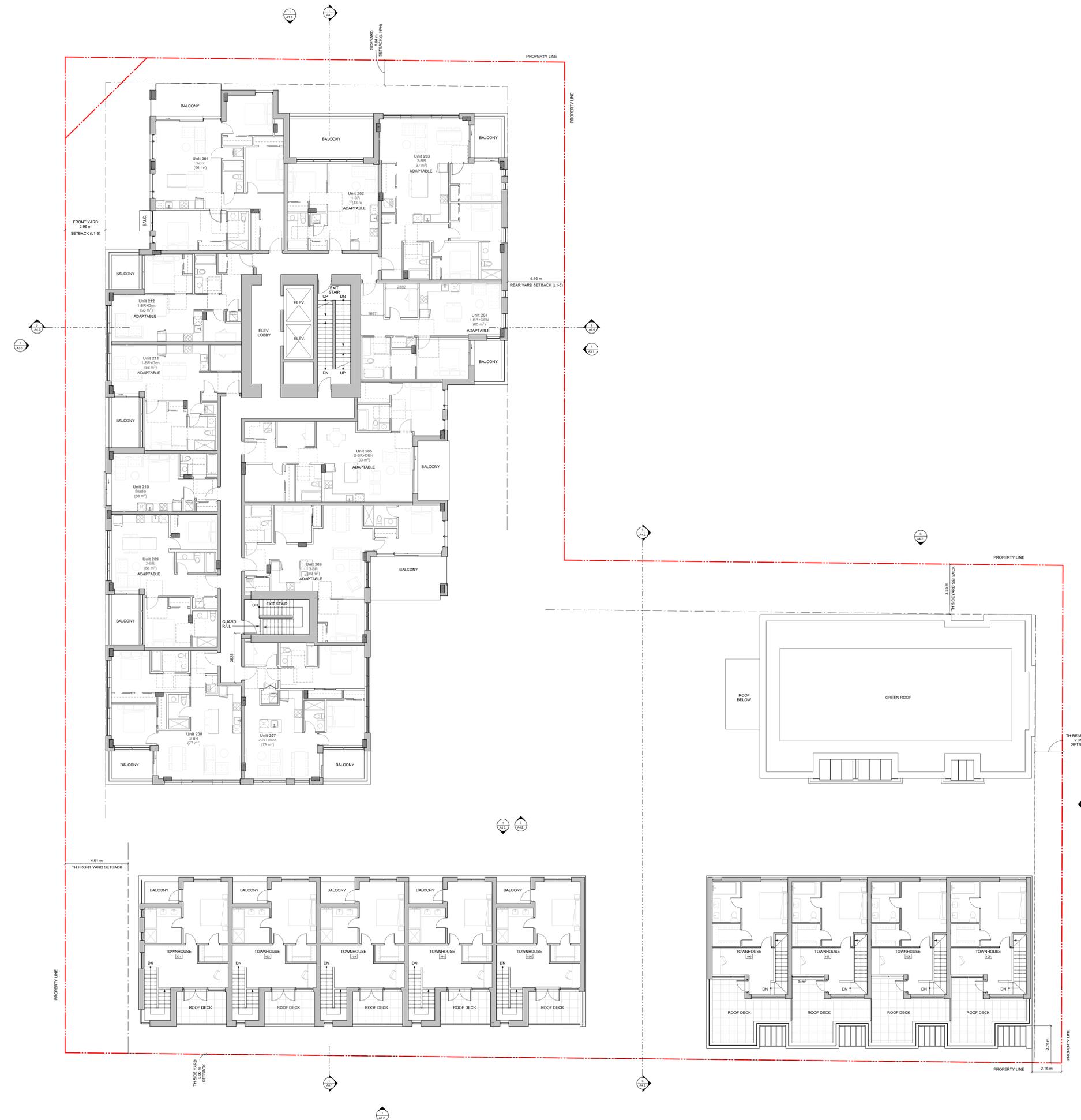
project no.	#21-18
scale	1 : 100
drawn by	RP / GK / GB
date issued	12/06/22
sheet no.	A2.3

2023-12-22 10:35:15 AM



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rev no	description	date
6	Rezoning DP Resubmission	23.12.22
5	Rezoning DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
3	Issued for Rezoning / DP	21.12.15
2	Issued for Dev. Tracker	21.10.19
1	Issued for Dev. Tracker	21.10.19

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project name
Montreal and Quebec
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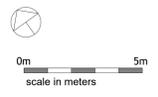
sheet title
Level 3 Plan

project no.	#21-18
scale	1 : 100
drawn by	RP / GK / GB
date issued	12/06/22
sheet no.	A2.4



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rev no	description	date
6	Rezoning DP Resubmission	23.12.22
5	Rezoning DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
3	Issued for Rezoning / DP	21.12.15
2	Issued for Dev. Tracker	21.10.19

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

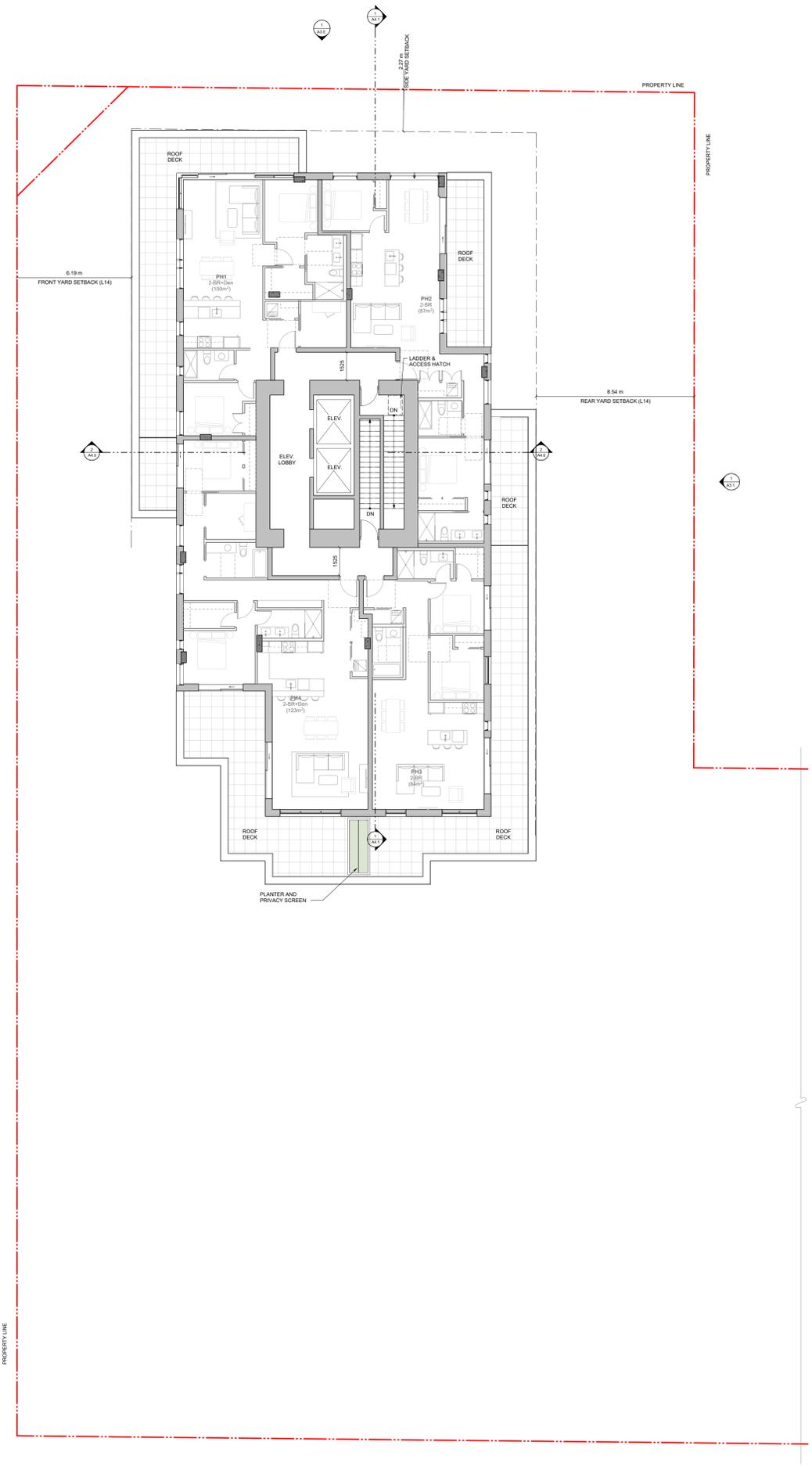
sheet title
Level 4 Plan

project no. #21-18
scale 1 : 100
drawn by RP / GK / GB
date issued 12/06/22
sheet no. **A2.5**

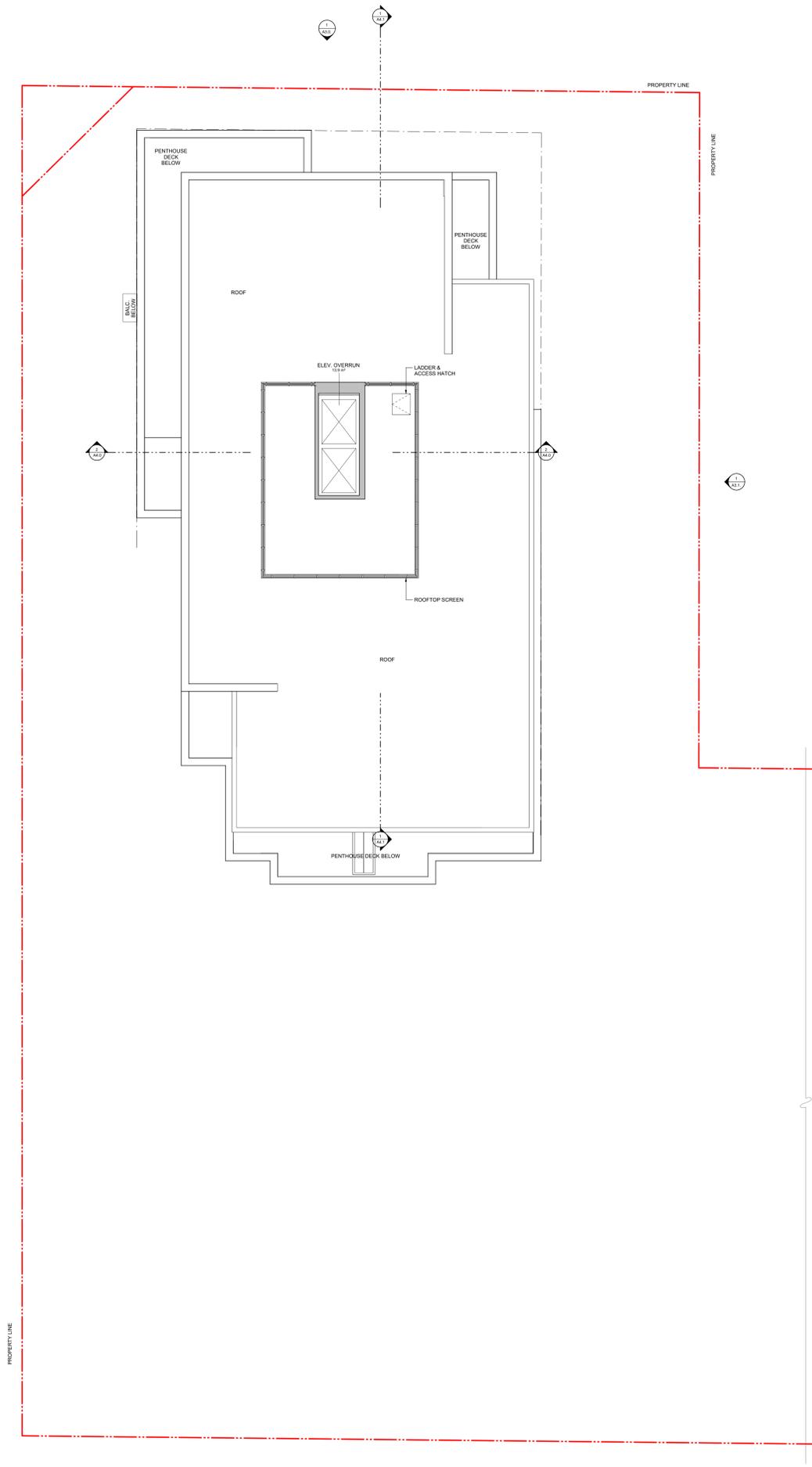
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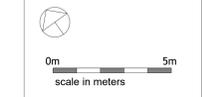
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1 PENTHOUSE PLAN
1:100



2 ROOF PLAN
1:100



rev no	description	date
6	Rezoning DP Resubmission	23.12.22
5	Rezoning DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
3	Issued for Rezoning / DP	21.12.15
2	Issued for Dev. Tracker	21.10.19

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Penthouse + Roof Plan

project no.	#21-18
scale	1:100
drawn by	RP / GK / GB
date issued	12/06/22
sheet no.	A2.7



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- ELEVATION MATERIALS KEY:**
- 1 Cement Panel System
Colour: Sandstone
 - 2 Raining Canal Brick
Colour: Castneal
 - 3 Fine Cement Panel
Colour: Dark Grey
 - 4 Pre-finished Vertical Wood Siding
 - 5 Soffit: T&G Wood
 - 6 Glass Guards in Pre-finished Aluminum Frames
 - 7 Glazed Canopies: Laminated Glazing on Painted Steel Structure
Colour: Iron / One
 - 8 Prefinished Metal Parapet Flashing
Colour: Iron / One
 - 9 Prefinished Metal Fascia
Colour: Iron / One
 - 10 Perforated Metal Balcony Guard
Colour: Iron / One
 - 11 Painted Metal Pergolas and Gates
Colour: Iron / One
 - 12 Window and Doors: Clear Glazing in Dark Anodized Aluminum Frames
Colour: Iron / One
 - 13 Glass Walls and Guards w/ Aluminum Frame
Colour: Iron / One
 - 14 Exposed Architectural Concrete
 - 15 Prefinished Metal Louvers
Colour: Iron / One
 - 16 Prefinished Metal Panel
Colour: Iron / One



rev no	description	date
6	Rezoncing/DP Resubmission	23.12.22
5	Rezoncing/DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
2	Issued for Rezoncing / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
North Elevation

project no. #21-18
scale 1 : 100
drawn by CF / RP / GB
date issued 12/08/22
sheet no. **A3.0**

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- ELEVATION MATERIALS KEY:**
- ① Cement Panel System
Colour: Sandstone
 - ② Tumbling Brick Brick
Colour: Oatmeal
 - ③ Flute Cement Panel
Colour: Dark Grey
 - ④ Pre-finished Vertical Wood Siding
 - ⑤ Suffix: T&G Wood
 - ⑥ Glass Guards in Pre-finished Aluminum Frames
 - ⑦ Glazed Concrete Laminated Cladding on Panel Steel Structure
Colour: Iron / One
 - ⑧ Prefinished Metal Parapet Flashing
Colour: Iron / One
 - ⑨ Prefinished Metal Fascia
Colour: Iron / One
 - ⑩ Perforated Metal Balcony Guard
Colour: Iron / One
 - ⑪ Painted Metal Pergolas and Gates
Colour: Iron / One
 - ⑫ Anodized Aluminum Frames
Colour: Iron / One
 - ⑬ Glass Walls and Guards w/ Aluminum Frame
Colour: Iron / One
 - ⑭ Exposed Architectural Concrete
 - ⑮ Prefinished Metal Louvers
Colour: Iron / One
 - ⑯ Prefinished Metal Panel
Colour: Iron / One



rev no	description	date
6	Rezoning/DP Resubmission	23.12.22
5	Rezoning/DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
East Elevation

project no. #21-18
scale 1 : 100
drawn by CF / RP / GB
date issued 12/08/22
sheet no. **A3.1**

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- ELEVATION MATERIALS KEY:**
- 1 Cement Panel System
Colour: Sandstone
 - 2 Tumbling Stone Brick
Colour: Oatmeal
 - 3 Fine Cement Panel
Colour: Dark Grey
 - 4 Pre-finished Vertical Wood Siding
 - 5 Soffits: T&G Wood
 - 6 Glass Guards in Pre-finished Aluminum Frames
 - 7 Glazed Canopies: Laminated Glazing on Painted Steel Structure
Colour: Iron / One
 - 8 Pre-finished Metal Parapet Flashing
Colour: Iron / One
 - 9 Pre-finished Metal Fascia
Colour: Iron / One
 - 10 Perforated Metal Balcony Guard
Colour: Iron / One
 - 11 Painted Metal Pergolas and Gates
Colour: Iron / One
 - 12 Window and Doors: Clear Glazing in Dark Anodized Aluminum Frames
Colour: Iron / One
 - 13 Glass Walls and Guards w/ Aluminum Frame
Colour: Iron / One
 - 14 Exposed Architectural Concrete
 - 15 Pre-finished Metal Louvers
Colour: Iron / One
 - 16 Pre-finished Metal Panel
Colour: Iron / One



TH.T.O. PARAPET	55440
ROOF - TH.	53900
TH.T.O. PARAPET	14185
LEVEL 3 - TH.	13540
LEVEL 2 - TH.	10520
LEVEL 1 - TH.	7350
AVERAGE GRADE	7100

6	Rezoning/DP Resubmission	23.12.22
5	Rezoning/DP Resubmission	22.12.06
4	Issued for ADP	22.09.02
2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

rev no description date

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project name
Montreal and Quebec
205 Quebec Street
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sheet title
South Elevation

project no. #21-18
scale 1 : 100
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- ELEVATION MATERIALS KEY:**
- ① Cement Panel System
Colour: Sandstone
 - ② Flaming Stone Brick
Colour: Oatmeal
 - ③ Fine Cement Panel
Colour: Dark Grey
 - ④ Pre-finished Vertical Wood Siding
 - ⑤ Soffits: T&G Wood
 - ⑥ Glass Guards in Pre-finished Aluminum Frames
 - ⑦ Glazed Canopies: Laminated Glazing on Painted Steel Structure
Colour: Iron / One
 - ⑧ Prefinished Metal Parapet Flashing
Colour: Iron / One
 - ⑨ Prefinished Metal Fascia
Colour: Iron / One
 - ⑩ Perforated Metal Balcony Guard
Colour: Iron / One
 - ⑪ Painted Metal Pergolas and Gates
Colour: Iron / One
 - ⑫ Window and Doors: Clear Glazing in Dark Anodized Aluminum Frames
Colour: Iron / One
 - ⑬ Glass Walls and Guards w/ Aluminum Frame
Colour: Iron / One
 - ⑭ Exposed Architectural Concrete
 - ⑮ Prefinished Metal Louvers
Colour: Iron / One
 - ⑯ Prefinished Metal Panel
Colour: Iron / One



rev no	description	date
6	Rezoning/DP Resubmission	23.12.22
5	Rezoning/DP Resubmission	22.12.06
4	Issued for ADP	22.09.02
2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
West Elevation

project no. #21-18
scale 1 : 100
drawn by CF / RP / GB
date issued 12/06/22 sheet no. **A3.3**



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6	Rezoning/DP Resubmission	23.12.22
5	Rezoning/DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
3	Rezoning/DP Resubmission	22.04.14
2	Issued for Rezoning / DP	21.12.15

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project name
Montreal and Quebec
 205 Quebec Street
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sheet title
Building Sections

project no. #21-18
 scale 1 : 100
 drawn by RP
 date issued 12/06/22

sheet no. **A4.0**

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6	Resoning/DP Resubmission/23.12.22	
5	Issued for ADP / 22.12.06	
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3	Resoning/DP Resubmission/20.04.14	
2	Issued for Resoning / DP / 21.12.15	
rev no	description	date

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Building Sections

project no. #21-18
scale 1 : 100
drawn by RP
date issued 12/06/22

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- ELEVATION MATERIALS KEY:**
- 1 Cement Panel System
Colour: Sandstone
 - 2 Running Bond Brick
Colour: Cream
 - 3 Fibre Cement Panel
Colour: Dark Grey
 - 4 Pre-finished Vertical Wood Siding
 - 5 Soffit: T&G Wood
 - 6 Glass Guards in Pre-finished Aluminum Frames
 - 7 Glazed Canopies, Laminated Glazing on Powder Coated Structure
Colour: Iron / Ole
 - 8 Pre-finished Metal Parapet Flashing
Colour: Iron / Ole
 - 9 Pre-finished Metal Fascia
Colour: Iron / Ole
 - 10 Perforated Metal Balcony Guard
Colour: Iron / Ole
 - 11 Painted Metal Pergolas and Gates
Colour: Iron / Ole
 - 12 Window and Doors: Clear Glazing in Dark Anodized Aluminum Frames
Colour: Iron / Ole
 - 13 Glass Walls and Guards w/ Aluminum Frame
Colour: Iron / Ole
 - 14 Exposed Architectural Concrete
 - 15 Pre-finished Metal Louvers
Colour: Iron / Ole
 - 16 Pre-finished Metal Panel
Colour: Iron / Ole



1 North Elevation - Townhouse
1:100



2 South Elevation - Townhouse
1:100



3 P1 Ramp @ Kingston St
1:100



4 East Elevation - Townhouse
1:100



5 North Elevation - Townhouse
1:100

rev no	description	date
6	Re zoning / DP Resubmission	23.12.22
5	Re zoning / DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
3	Issued for Rezoning / DP	21.12.15

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project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Building Section / Elevations

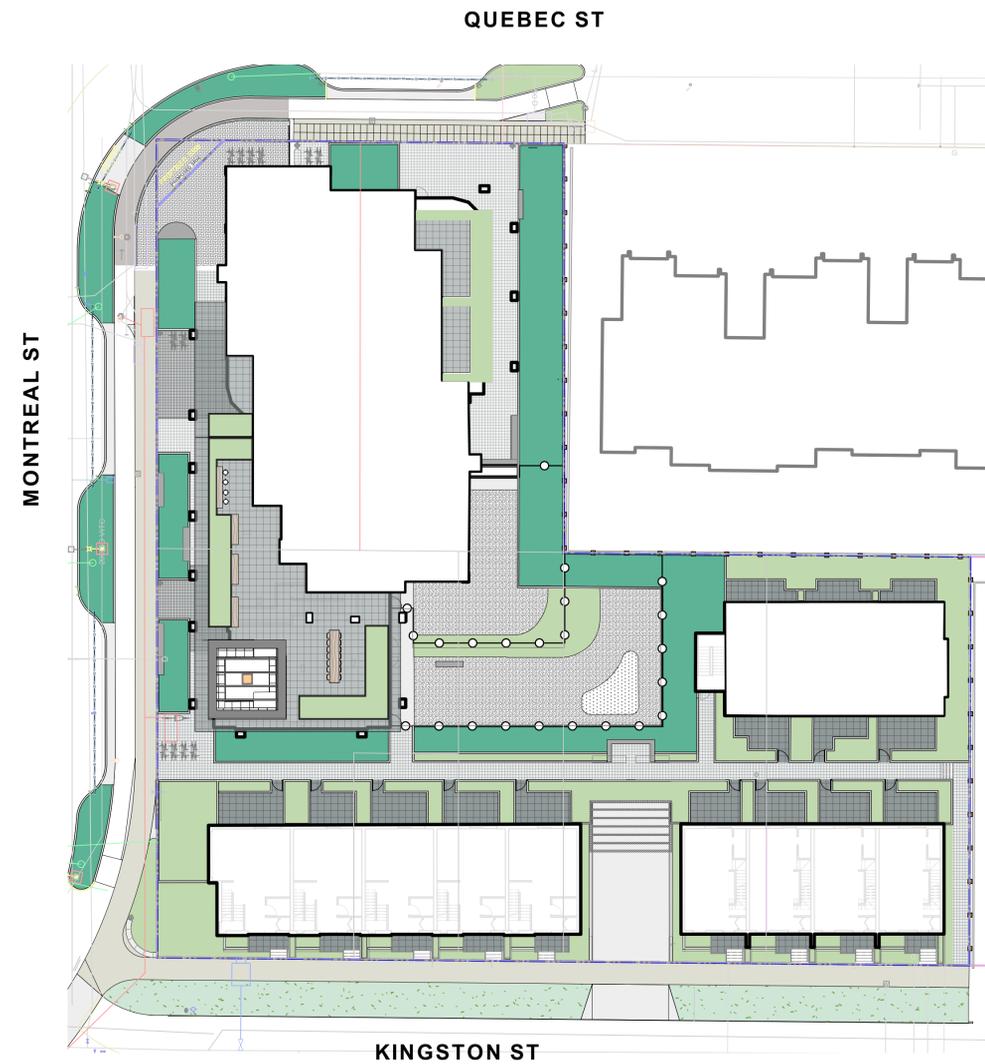
project no. #21-18
scale 1:100
drawn by CF / RP / GK
date issued 12/06/22
sheet no. **A4.2**

Mike Geric Construction

Quebec & Montreal

Victoria, BC

KEY PLAN



Landscape Sheets	
Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L0.02	Tree Survey Plan
L0.03	Tree Management Plan
L1.01	Landscape Materials - Ground Level
L1.02	Landscape Materials - Level 4
L1.03	Stormwater Management & Grading
L1.04	Landscape Precedents
L1.05	Landscape Materials - Sections
L1.06	Landscape Materials - Sections
L1.07	Replacement Tree Plan
L3.01	Planting Plan - Ground Level
L3.02	Planting Plan - Level 4
L4.01	Landscape Details

rev no	description	date
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
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3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19



2023-12-22

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Cover

project no. 121.23
scale 1:### @ 24"x36"
drawn by MDI
checked by SM

revision no. sheet no.
8 **L0.00**

GENERAL NOTES

- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
- Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

- All elevations are in meters.
- Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
- All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
- Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
- All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

- Contractor to provide irrigation system for all planters to current IAABC Standards and Contract Specifications.
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IAABC standards.
- Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to electrical drawings for electrical service.
- Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- Trees within shrub or rain garden areas to be irrigated with spray heads.
- Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system
- Irrigation design shall be submitted for review and approval to City of Victoria Parks no less than 30 days prior to scheduled installation.
- Irrigation Inspections: required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report). Call CoV Parks 250-361-0600 min. 2 days in advance to arrange for irrigation inspections.

GROWING MEDIUM NOTES

- Refer to Landscape Specifications for growing medium properties by soil type.
- Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
- Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
- Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
- Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyageur Way, Richmond, BC, V6X 3G9, p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
- Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

- Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
- Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- Written dimensions take precedence over scale. Do not scale drawings.
- All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

- Plant quantities on Plans shall take precedence over plant list quantities.
- Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- Landscape installation to carry a 1 year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance. The Contractor will not be responsible for plant loss due to extreme climatic conditions such as abnormal freezing temperatures or hail which occur after Acceptance. The Contractor shall be responsible for plant loss due to inadequate acclimatization of plants for their planted location.

ON-SLAB TREE PLANTING NOTES

- For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
- Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
- A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

BOULEVARD PLANTING NOTES

- Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
- Boulevard trees will be place a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
- Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
- Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
- Design/build drawings for boulevard irrigation to be submitted to Contract Administrator in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
- Refer to Civil drawings for location of boulevard irrigation point of connection. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- Soil volume for boulevard trees to be as follows: 8 cu. m. for small trees, 12 cu. m. for medium trees, and 16 cu. m. for large trees.

OFF-SITE IRRIGATION

- Irrigation drawings must be submitted to Parks Division for review and approval 30 days prior to installation work.
- Irrigation Systems on City Property shall comply to City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw.
- The following irrigation and sleeving inspections by Parks Staff are required by Schedule C. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
 - Irrigation sleeving prior to backfilling
 - Open trench main line and pressure test
 - Open trench lateral line
 - irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly is to have an inspection tag completed and attached.

OFF-SITE HORTICULTURE INSPECTIONS REQUIRED

- The following inspections are required for all off-site horticulture areas:
 - Excavated and scarified subgrade prior to placement of growing media.
 - Installed and prepared growing media prior to planting.
 - Plant material on-site prior to planting.
 - Planted landscape prior to much installation.
 - At time that planted and mulched landscape meets the conditions for Total Performance as required by MMCD.

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MH	MANHOLE
B&B	BALLED AND BURLAPPED	MIN	MINIMUM
BC	BOTTOM OF CURB	MISC	MISCELLANEOUS
BLDG	BUILDING	MM	MILLIMETRE
BM	BENCHMARK	N	NORTH
BC	BOTTOM OF CURB	NIC	NOT IN CONTRACT
BR	BOTTOM OF RAMP	NO	NUMBER
BS	BOTTOM OF STEP	NOM	NOMINAL
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
CAL	CALIPER	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CF	CUBIC FEET	PC	POINT OF CURVATURE
CIP	CAST IN PLACE	PE	POLYURETHANE
CL	CENTER LINE	PI	POINT OF INTERSECTION
CLR	CLEARANCE	PL	PROPERTY LINE
CM	CENTIMETER	PT	POINT, POINT OF TANGENCY
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CONT	CONTINUOUS	QTY	QUANTITY
CU M	CUBIC METRE	R	RADIUS
DEG	DEGREE	REF	REFERENCE
DEMO	DEMOLISH, DEMOLITION	REINF	REINFORCE(D)
DIA	DIAMETER	REQ'D	REQUIRE(D)
DIM	DIMENSION	REV	REVISION
DTL	DETAIL	ROW	RIGHT OF WAY
DWG	DRAWING	S	SOUTH
E	EAST	SAN	SANITARY
EA	EACH	SD	STORM DRAIN
EL	ELEVATION	SF	SQUARE FOOT (FEET)
ENG	ENGINEER	SHT	SHEET
EQ	EQUAL	SIM	SIMILAR
EST	ESTIMATE	SPECS	SPECIFICATIONS
E.W.	EACH WAY	SQ M	SQUARE METRE
EXIST	EXISTING	ST	STORM SEWER
EXP	EXPANSION, EXPOSED	STA	STATION
FFE	FINISHED FLOOR ELEVATION	STD	STANDARD
FG	FINISHED GRADE	SYM	SYMMETRICAL
FL	FLOW LINE	T&B	TOP AND BOTTOM
FOC	FACE OF CURB	TC	TOP OF CURB
FT	FOOT (FEET)	TF	TOP OF FOOTING
FTG	FOOTING	TH	THICK
GA	GAUGE	TOPO	TOPOGRAPHY
GEN	GENERAL	TR	TOP OF RAMP
GR	GRADE ELEVATION	TS	TOP OF STEP
HORIZ	HORIZONTAL	TW	TOP OF WALL
HP	HIGH POINT	TYP	TYPICAL
HT	HEIGHT	VAR	VARIABLES
ID	INSIDE DIAMETER	VOL	VOLUME
INV	INVERT ELEVATION	W	WITH
IN	INCH(ES)	W/O	WITHOUT
INCL	INCLUDE(D)	WT	WEIGHT
JT	JOINT	WL	WATER LEVEL
LF	LINEAR FEET	WWF	WELDED WIRE FRAME
LP	LOW POINT	YD	YARD
		@	AT

MATERIALS LEGEND

- 1.0 **HARDSCAPE**
- 1.1 Asphalt. See Civil
 - 1.2 CIP Concrete
Light Broom Finish with Tooled Control Joints. Colour: Natural.
 - 1.3 CIP Concrete
Light Broom Finish with Radial Control Joints. Colour: Natural
 - 1.4 Standard Paver
8x8 tile pattern, colour Natural
 - 1.5 Standard Paver
8x8 tile pattern, colour Charcoal
 - 1.6 Patio
'Texada' Hydrapressed Slabs. 457 mm x 457 mm x40 mm. Charcoal colour. Square Grid. Supplier: Abbotsford Concrete. Nonpermeable.

1.0 **HARDSCAPE: CITY STANDARDS**

See 'Downtown Public Realm Plan & StreetScape Standards', Section 5.1.1 Inner Harbour, for details.

- 1.7 Trowel Joint Concrete.
See L4.01 For Pattern Details
- 1.8 Granite Pavers
@ 300mm x 100mm x 80mm. Mortar set. Paving field. Grey granite. Flamed Finish. Nonpermeable.
- 1.9 Grey Basalt Entry Band
Sandblasted Street name insert, 450mm width, Font Tisa Bro Bold - All caps, Finish Flamed

- 1.10 Granite Pavers
Solider Course Border 200mm Granite Pavers

2.0 **DAYCARE**

Design TBD by input from Daycare provider

- 2.1 Sand
- 2.2 Safety Surfacing

3.0 **WALLS**

- 3.1 Concrete Retaining Wall
- 3.2 Concrete Bench
- 3.3 Concrete Curb - See Civil.

4.0 **FURNISHINGS**

- 4.1 'Downtown Bicycle Rack' As specified in Victoria Downtown Public Plan & Streetscape Standard. No offsite Bike Racks.
- 4.2 Fire pit
- 4.3 Trash Bin
- 4.4 Trellis
- 4.5 Benches
- 4.6 Tables
- 4.7 Shed. See Architecture.

5.0 **FENCES AND BARRIERS**

- 5.1 1800mm Wood Fence
- 5.2 Picket Fence

6.0 **LIGHTING** See Arch and Electrical

7.0 **PLANTING AREAS**

- 7.1 Shrub Area
- 7.4 Rain Garden (See Dwg 1 L1.03 & 4.01)

LINE TYPE LEGEND

- Property line
- Extent of Parkade, below
- Pedestrian Sightline

UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings).

- Civil Typical Inlet Drain

GRADING LEGEND

- Existing Landscape Grade
- Civil Grade, provided for reference only
- Architectural grade, provided for reference only
- Proposed Landscape Grade
 - TOW Top of Wall
 - BW Bottom of Wall
 - TOC Top of Curb
 - BC Bottom of Curb
 - TP Top of Pool
 - BP Bottom of Pool
 - TS Top of Stairs
 - BS Bottom of Stairs
 - HP High Point
 - LP Low Point

IRRIGATION LEGEND

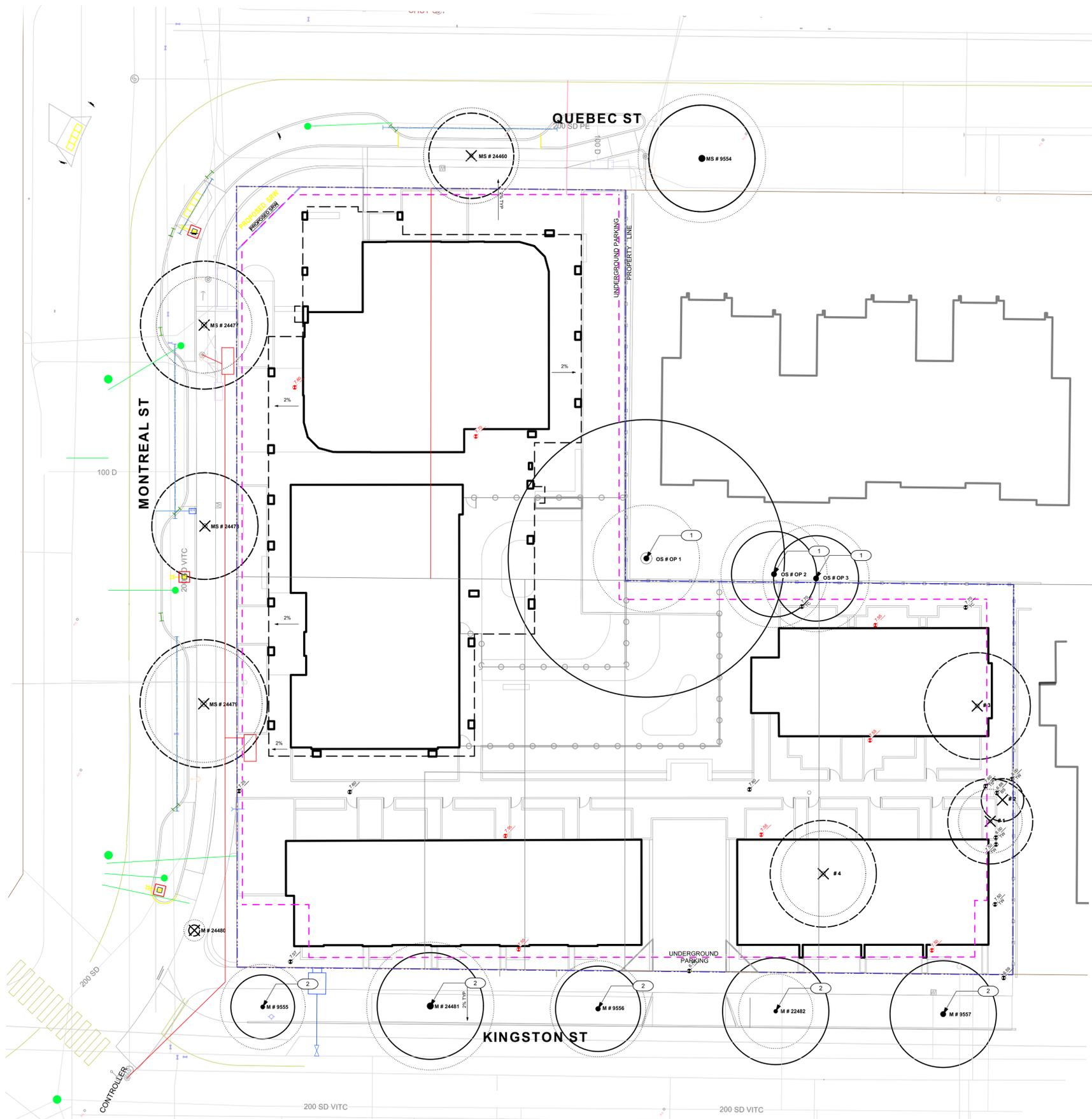
- Irrigation Point of Connection
Proposed Irrigation Point of Connection. Provide water service and electrical service from irrigation controller to valves.
- Irrigation Sleeve
Schedule 40 PVC, dia. shall be min 3x main line diameter, or 2x lateral line diameter. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.

LANDSCAPE DRAINAGE LEGEND

- Perforated Underdrain
- Sched 40 PVC
- Clean out
- Rain Garden Overflow Drain
- 8" Square drain with ductile iron grate.
- Trench Drain
Aco K100 Trench Drain, Load Class 'A'.
- DRAINS BY OTHERS
 - SD BL Mechanical Drains
 - AD (For reference only)



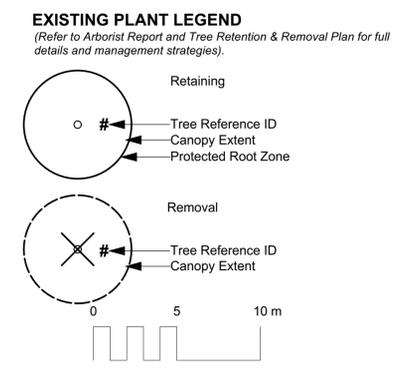
8	REV RZ/DP	2023-12-22
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1	Issued for Dev. Tracker	2021-10-19
rev no	description	date
2023-12-22		
<div style="text-align: right;">  </div>		
client Mike Geric Construction 4520 West Saanich Rd Saanich, BC		
project QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC		
sheet title		
General Information Sheet		
project no. 121.23		
scale NA @ 24"x36"		
drawn by MDI		
checked by SM		
revision no.	sheet no.	
	L0.01	



- LINE TYPE LEGEND**
- — — Property line
 - — — Right of Way
 - - - Extent of Roof, above
 - - - Extent of Parkade, below
 - - - Rain garden - TOP OF POOL
 - - - Rain garden - BOTTOM OF POOL

- GRADING LEGEND**
- Existing Landscape Grade

- UNDERGROUND UTILITIES**
(Shown for reference only - refer to Civil Engineer's drawings).
- | EXISTING | PROPOSED |
|--|--|
| — Storm drain | - - - Storm drain |
| — Sewer | - - - Sewer |
| — Water | - - - Water |
| — Electrical | - - - Electrical |
| — Gas | - - - Gas |
| — Hydro Tel | - - - Hydro Tel |



EXISTING TREE INVENTORY*

RETAINED TREES

TREE TAG #	DBH (cm)	CRZ	Species	Crown Spread (m)	Height (m)
9555	27	3	Betula papyrifera	8	9
24481	39	5	Prunus cerasifera	12	9
24482	38	5	Prunus cerasifera	7	9
9557	39	4	Betula pendula	10	11
9554	42	5	Aesculus carnea	12	9
Op1	105	12	Thuja plicata	10	14
Op2	35	4	Cedrus deodar	9	18
Op3	35	4	Sequoiadendron giganteum	9	10
2556	34	4	Betula papyrifera	9	10

TOTAL TREES TO BE RETAINED: 9

REMOVED TREES

TREE TAG #	DBH (cm)	Species	Crown Spread (m)	Height (m)
24460	35	Sorbus intermedia	9	0
24480	3	Prunus sargentii	1	3
24479	53	Prunus cerasifera	11	8
24478	44	Prunus cerasifera	10	8
24477	50	Prunus cerasifera	9	8
1	35	Thuja plicata smaragd	3	6
2	14	Thuja plicata smaragd	2	6
3	39	Pyrus sp.	5	4
4	44	Ilex aquifolium	4	6

TOTAL TREES TO BE REMOVED: 9

* Based on Arborist's Report received from Arborist, 09/28/2021. Refer to Arborist report for details on tree conditions and Arborist recommendations.

- REFERENCE NOTES**
- 1 Requires onsite supervision of trees during excavation
 - 2 Potentially impacted by site serving and grading

D. Clark Arboriculture
2741 The Rise Victoria B.C. V8T-3T4
(250)474-1552 (250)208-1568
clarkarbor@gmail.com
www.dclarkarboriculture.com
Certified Arborist PN-6523A

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3388A Terryson Ave. Phone: 250.412.2891
Victoria, BC V8C 2P6 Fax: 250.412.2892

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Tree Management Plan

project no. 121.23
scale 1:200 @ 24"x36"
drawn by MDI
checked by SM
revision no. sheet no.
L0.03



- 5.0 FENCES AND BARRIERS**
 - 5.1 1800mm Wood Fence
 - 5.2 Picket Fence
- 6.0 LIGHTING** See Arch and Electrical
- 7.0 PLANTING AREAS**
 - 7.1 Shrub Area
 - 7.4 Rain Garden (See Dwg 1 L1.03 & 4.01)

- MATERIALS LEGEND**
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 - 4.2 Fire pit
 - 4.3 Trash Bin
 - 4.4 Trellis
 - 4.5 Benches
 - 4.6 Tables
 - 4.7 Shed. See Architecture.

- REFERENCE NOTES**
- 1 Plaza with built-in concrete benches with built in tables, covered patio seating and bike parking. Inner harbour paving materials.
 - 2 Pedestrian walkway through site.
 - 3 Day care spaces. Design to be confirmed / modified to meeting Island Health ECE Standards and input from daycare provider.
 - 4 Residential streetscape with walk-up patios. Retained street trees.
 - 5 Runoff from the condo and day care rooftops managed in rain gardens.
 - 6 Rain gardens integrated into streetscape to manage street runoff.

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project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Landscape Materials - Ground Level

project no.	121.23
scale	1:200 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L1.01



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- 5.1 1800mm Wood Fence
 - 5.2 Picket Fence
- 6.0 LIGHTING** See Arch and Electrical
- 7.0 PLANTING AREAS**
- 7.1 Shrub Area
 - 7.4 Rain Garden (See Dwg 1 L1.03 & 4.01)

- REFERENCE NOTES**
- 1 Fire pit nook with seating.
 - 2 Dining area. with long harvest-style picnic tables.
 - 3 Pergola.
 - 4 High table with bar stools
 - 5 Private patio spaces.

- MATERIALS LEGEND**
- 1.0 HARDSCAPE**
- 1.1 Asphalt. See Civil
 - 1.2 CIP Concrete
Light Broom Finish with Tooled Control Joints. Colour: Natural.
 - 1.3 CIP Concrete
Light Broom Finish with Radial Control Joints. Colour: Natural
 - 1.4 Standard Paver
8x8 tile pattern, colour Natural
 - 1.5 Standard Paver
8x8 tile pattern, colour Charcoal
 - 1.6 Patio
'Texada' Hydrapressed Slabs. 457 mm x 457 mm x40 mm. Charcoal colour. Square Grid. Supplier: Abbotsford Concrete. Nonpermeable.
- 1.0 HARDSCAPE: CITY STANDARDS**
- See 'Downtown Public Realm Plan & StreetScape Standards', Section 5.1.1 Inner Harbour, for details.
- 1.7 Trowel Joint Concrete.
See L4.01 For Pattern Details
 - 1.8 Granite Pavers
@ 300mm x 100mm x 80mm. Mortar set. Paving field. Grey granite. Flamed Finish. Nonpermeable.
 - 1.9 Grey Basalt Entry Band
Sandblasted Street name insert, 450mm width, Font Tisa Bro Bold - All caps, Finish Flamed
 - 1.10 Granite Pavers
Solider Course Border 200mm Granite Pavers
- 2.0 DAYCARE**
- Design TBD by input from Daycare provider
- 2.1 Sand
 - 2.2 Safety Surfacing
- 3.0 WALLS**
- 3.1 Concrete Retaining Wall
 - 3.2 Concrete Bench
 - 3.3 Concrete Curb - See Civil.
- 4.0 FURNISHINGS**
- 4.1 'Downtown Bicycle Rack' As specified in Victoria Downtown Public Plan & Streetscape Standard. No offsite Bike Racks.
 - 4.2 Fire pit
 - 4.3 Trash Bin
 - 4.4 Trellis
 - 4.5 Benches
 - 4.6 Tables
 - 4.7 Shed. See Architecture.

rev no	description	date
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19

3388A Terryson Ave. Phone: 250-412-2891
Victoria, BC V8C 3P6 Fax: 250-412-2892

2023-12-22

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Landscape Materials - Level 4

project no.	121.23
scale	1:150 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.

8
L1.02



LEGEND

- PROPERTY LINE
- - - - - EXTENT OF UNDERGROUND PARKING (INDICATIVE)
- EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- - - - - RAIN GARDEN - TOP OF POOL
- - - - - RAIN GARDEN - BOTTOM OF POOL
- 16.50 EXISTING GRADE (APPROXIMATE)
- 16.45 PROPOSED ARCH GRADE
- 16.35 PROPOSED LANDSCAPE GRADE
- TP TOP OF POOL
- BP BOTTOM OF POOL
- DIRECTION OF FLOW
- RAIN GARDEN ON GRADE
- IMPERVIOUS AREAS
- ROOF DRAINS TO RAIN GARDEN
- ROAD / HARDSCAPE DRAINS TO RAIN GARDEN

RAIN WATER MANAGEMENT NOTES

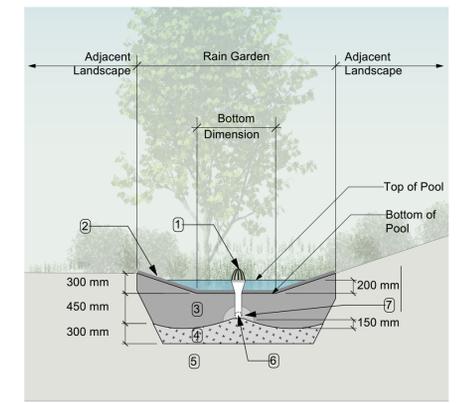
Water collected from road areas, building roofs, flow to the rain gardens located throughout the site.

Rain gardens are integrated building landscapes and landscape bulges within streetscape areas and are designed to capture, slow flows, and treat runoff from roadways.

Rain gardens will be designed with underdrains and a high-capacity overflow drain that will be connected to the onsite piped drainage system.

The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area to meet or exceed City of Victoria Green Stormwater Infrastructure Guidelines.

Boulevard rain gardens to be designed to City of Victoria Standards

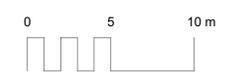


- RAIN GARDEN MATERIALS**
1. Overflow drain, 200 mm domed grate + adapter
 2. Composted mulch, 50 -70 mm depth
 3. Bio-retention growing medium, 450 mm depth
 4. Scarified/tilled subgrade, 300 mm depth
 5. Existing subgrade/native material
 6. 100 mm diameter (min) perforated pipe
 7. 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden
Scale: 1:50

GRADING NOTES

1. All grades slope 2% from the building to back of curb.
2. Slab grade varies
3. All landscape walls are an average of 500mm height.
4. Kingston St Townhouses require 3-4 risers to meet grade.
5. Proposed curb grades to be determined by Civil (proposed grades will be similar to existing grades. See Civil for details)
6. All sidewalk slope 2% to back of curb.



rev no	description	date
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
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4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19

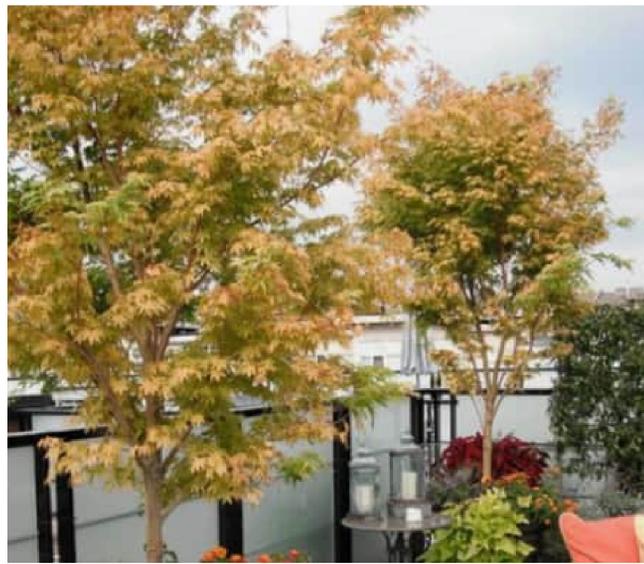


client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Stormwater Management & Grading

project no.	121.23
scale	1:### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.



ROOFTOP COMMON SPACE

DAYCARE - PLAY



STREETSCAPE MONTREAL & QUEBEC

STREETSCAPE KINGSTON



rev no	description	date
8	REV RZ/DP	2023-12-22
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6	REV RZ/DP	2022-12-06
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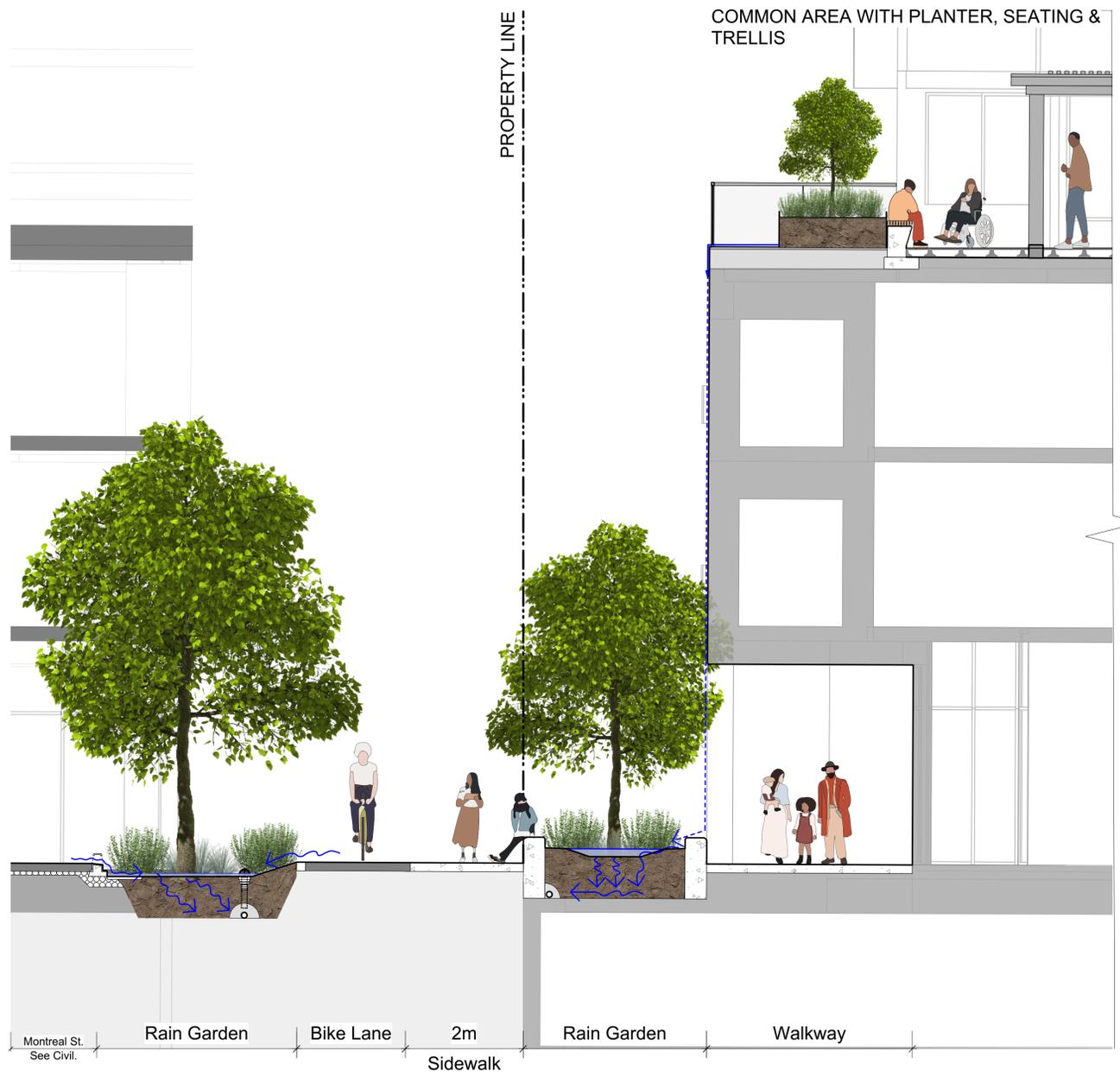
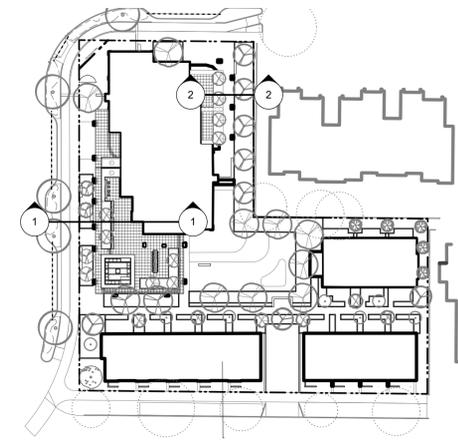
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Phone: 250-412-2891
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2023-12-22
client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
**Landscape
Precedents**

project no.	121.23
scale	N/A @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.



1 Montreal Street Section



2 Section w. Neighbouring Townhomes

rev no	description	date
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
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2023-12-22

client
Mike Geric Construction
4520 West Saanich Rd
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QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

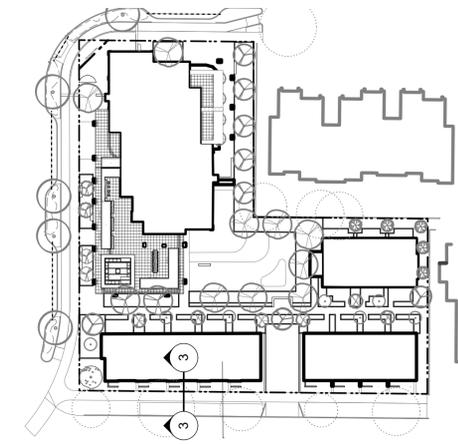
sheet title
Landscape Materials - Sections

project no.	121.23
scale	1:50 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.

8 **L1.05**

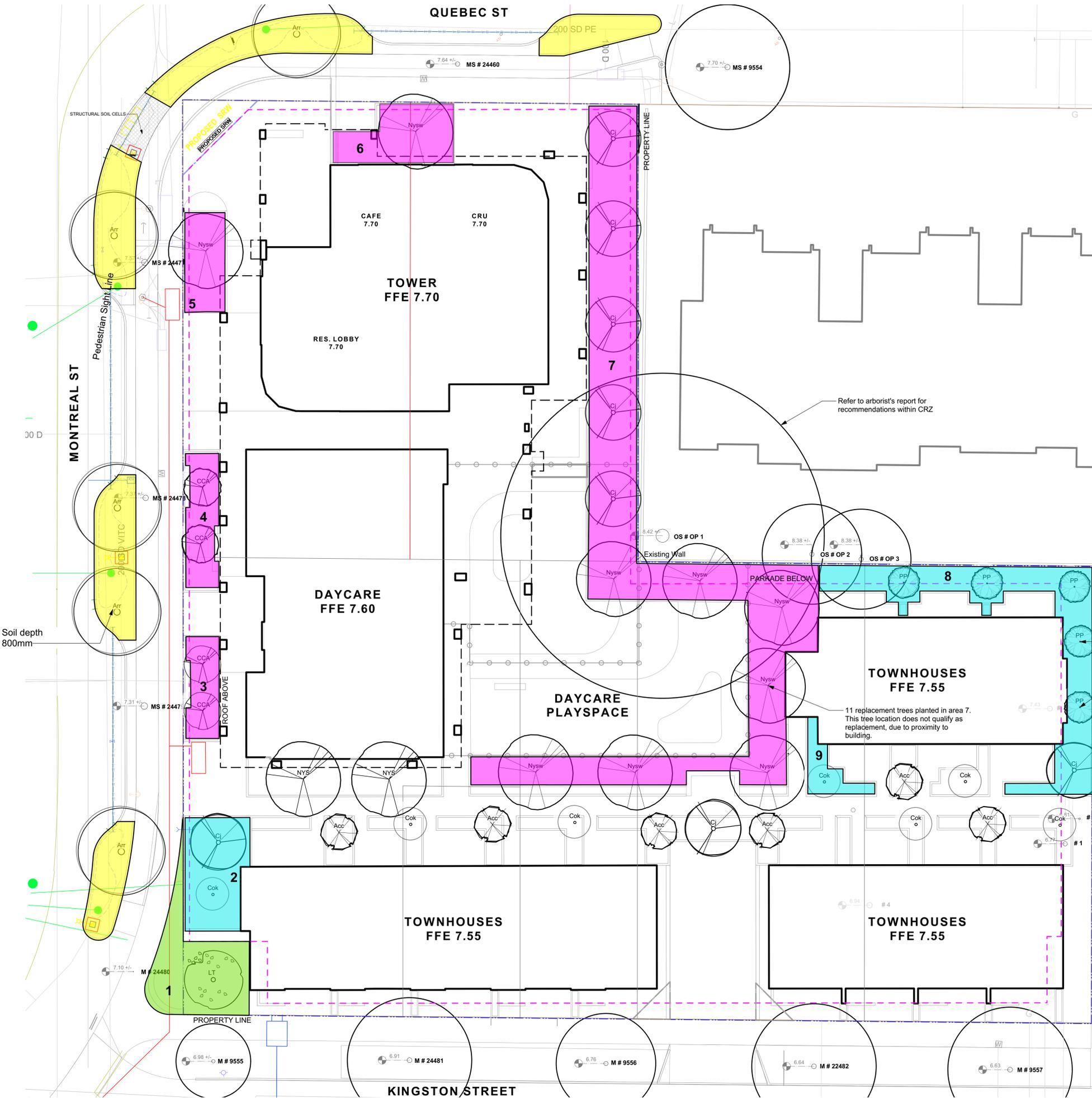


1 Typical Kingston Street Section



rev no	description	date
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
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4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19

 <small>3388A Terryson Ave. Victoria, BC V8C 3P6</small> <small>Phone: 250-412-2891 Fax: 250-412-2892</small>		
2023-12-22		
client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC	
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC	
sheet title	Landscape Materials - Sections	
project no.	121.23	
scale	1:50 @ 24"x36"	
drawn by	MDI	
checked by	SM	
revision no.	sheet no.	
8	L1.06	



REPLACEMENT TREE SOIL VOLUME TABLE

Planting Area (* on slab)	Area (m2)	Soil Volume Multiplier	A. Estimated Soil Volume (m3)	TREES PROPOSED			SOIL VOLUME REQUIRED (m3)				
				B. Small	C. Medium	D. Large	E. Small	F. Medium	G. Large	Total	
ONSITE											
1	53.5	1	53.5			1	0	0	30	30	
2*	43.4	0.6	26.0	1	1		6	15	0	21	
3*	20.3	0.6	12.2	2			12	0	0	12	
4*	26.4	0.6	15.8	2			12	0	0	12	
5*	25.7	0.6	15.4		1		0	15	0	15	
6*	37.1	0.6	22.3		1		0	15	0	15	
7*	300.0	0.6	180.0		12		0	180	0	180	
8*	93.8	0.6	56.3	5	1		30	15	0	45	
9*	13.3	0.6	8.0	1	1		6	15	0	21	
Total				11	17	1					
Calculation Instructions							E	F	G	Total	
							If B=1, Bx8, If B>1, Bx6	If C=1, Cx20, If C>1, Cx15	If D=1, Dx35, If D>1, Bx30		E+F+G

PROPOSED TREE LIST

Sym	Qty	Botanical Name	Schd. Size	Common Name
Acc	6	Acer circinatum	2.4 m ht, 1.5 width	Vine Maple
Arr	15	Acer rubrum 'Red Sunset'	6.0cm cal, b&b	Red Sunset Red Maple
Cj	9	Cercidiphyllum japonicum	6.0cm cal, b&b	Katsura Tree
CCA	4	Cercis canadensis	5.0cm cal, b&b	Eastern Redbud
Cok	7	Cornus kousa 'Milky Way'	5.0cm cal, b&b	Milky Way Kousa Dogwood
LT	2	Liriodendron tulipifera	6.0cm cal, b&b	Tuliptree
NYS	2	Nyssa sylvatica 'Tupelo Tower'	6.0cm cal, b&b	Tupelo
Nysw	9	Nyssa sylvatica 'Wildfire'	6.0cm cal, b&b	Tupelo
PP	5	Parrotia persica	2.4 m ht, 1.5 width	Persian Ironwood

LEGEND

- Rain Garden over Slab 600mm
- Rain Garden on Grade w. Boulevard 600mm avg (or as specified on plan)
- Planter over Slab or Raised Planter - 600mm
- Tree soil on Grade - 600mm

NOTES

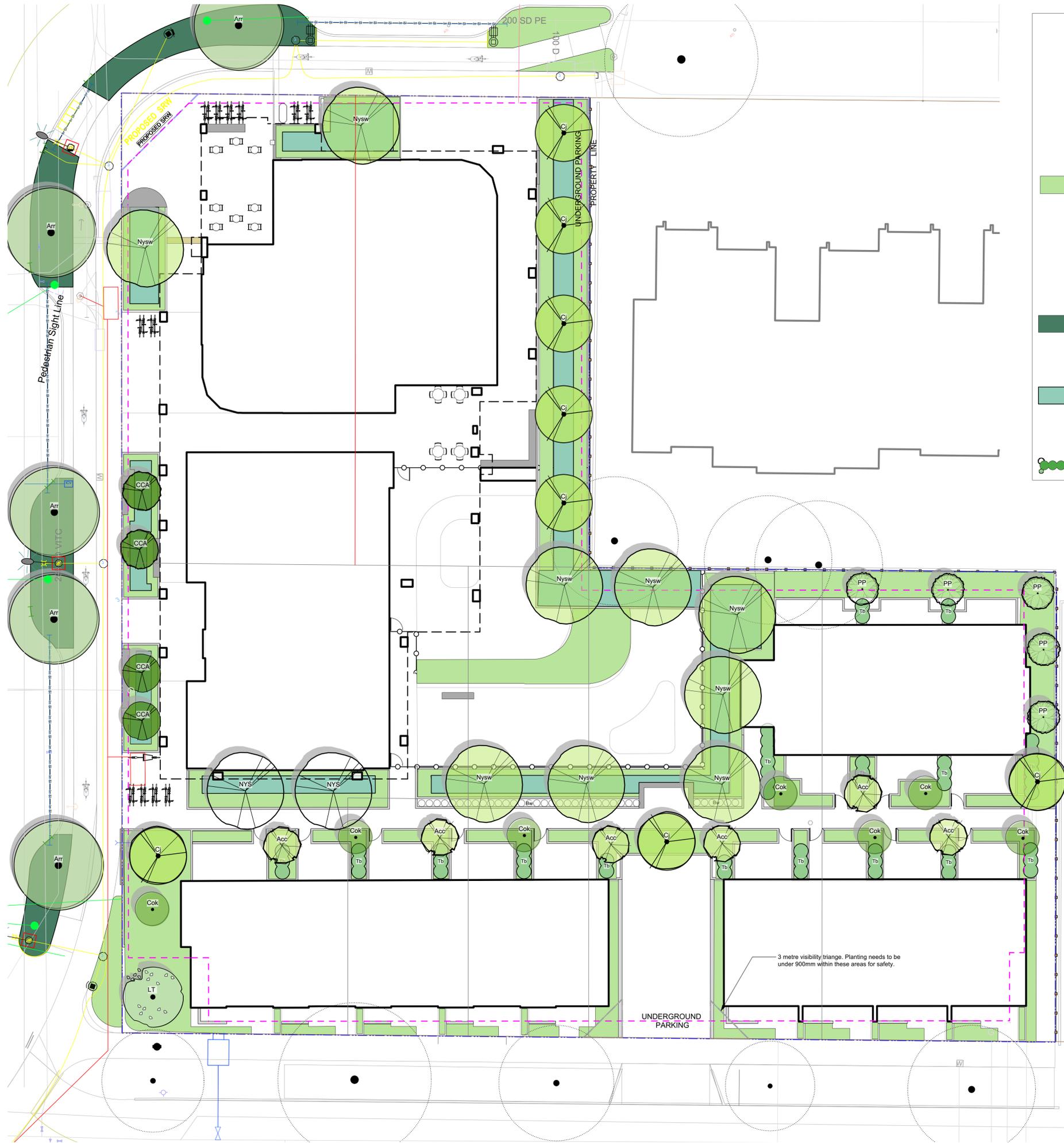
- Small Tree: min 6-8 cubic metres of soil
- Medium Tree: min 15-20 cubic metres of soil
- Large Tree: 30-35 cubic metres of soil

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Phone: 250.412.2891 Fax: 250.412.2892

2023-12-22

client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	Replacement Tree Plan
project no.	121.23
scale	1:150 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L1.07



PLANT LIST

Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
Acc	6	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width
Arr	15	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	6.0cm cal, b&b
Cj	9	Cercidiphyllum japonicum	Katsura Tree	6.0cm cal, b&b
CCA	4	Cercis canadensis	Eastern Redbud	5.0cm cal, b&b
Cok	7	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	5.0cm cal, b&b
LT	2	Liriodendron tulipifera	Tuliptree	6.0cm cal, b&b
NYS	2	Nyssa sylvatica 'Tupelo Tower'	Tupelo	6.0cm cal, b&b
Nysw	9	Nyssa sylvatica 'Wildfire'	Tupelo	6.0cm cal, b&b
PP	5	Parrotia persica	Persian Ironwood	2.4 m ht, 1.5 width
SHRUBS:				
178		Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
85		Chamaecyparis pisifera 'Sungold'	False Cypress 'Sungold'	#2 pot
43		Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot
70		Eupatorium cannabinum	Hemp Agrimony	Sp3
419		Gaultheria shallon	Salal	#1 pot
503		Liriope muscari	Lily turf	#1 pot
262		Lonicera pileata	Privet Honeysuckle	#1 pot
70		Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
57		Polystichum munitum	Sword Fern	#1 pot
178		Taxus baccata 'Repandens'	English Weeping Yew	#1 pot
130		Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
70		Verben bonariensis	Purpletop Vervain	#1 pot
RAIN GARDEN PLANTERS STREET:				
356		Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
356		Carex obnupta	Slough Sedge	#1 pot
71		Gaultheria shallon	Salal	Sp3
71		Mahonia nervosa	Oregon Grape Holly	#1 pot
43		Spiraea japonica 'Gold Mound'	Gold Mound Spiraea	#1 pot
RAIN GARDEN SITE:				
431		Carex obnupta	Slough Sedge	Sp3
34		Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot
453		Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
431		Liriope muscari	Lily turf	#1 pot
87		Schizostylis coccinea 'Oregon Sunset'	Crimson Flag	#1 pot
HEDGING/SCREENING:				
35		Buxus microphylla 'Winter Gem'	Littleleaf Boxwood	5
51		Taxus baccata	English Yew	#10 pot

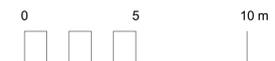
REFERENCE NOTES

30%+ of planting scheme has been dedicated ecosystem services. Plants for pollinators are included, via the Pollinator and Allergy-Aware Gardening Guide. This site features native plants that are unique to the Southern Vancouver Island Bioregional zone. Food bearing plants are also added in addition to the guidelines. Additionally, rain garden plants provide stormwater management opportunities.

8	REV RZ/DP	2023-12-22					
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4	For Information	2022-06-27					
3	REV RZ/DP	2022-04-14					
2	DP	2021-12-16					
1	Issued for Dev. Tracker	2021-10-19					
rev no	description	date					

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client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	Planting Plan - Ground Level
project no.	121.23
scale	1:### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L3.01



3 metre visibility triangle. Planting needs to be under 900mm within these areas for safety.



PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
Acc	4	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width
Ajr	5	Acer japonicum 'Vitifolium'	Japanese Maple	1.8 m height, specimen quality
Mr	2	Magnolia stellata 'Royal Star'	Royal Star Magnolia	1.2m b&b
SHRUBS & PERENNIALS				
■	24	Abelia x grandiflora 'Prostrata'	Prostrate White Abelia	#2 pot
■	32	Cistus x corbariensis	Rock Rose	#1 pot
■	35	Eriophyllum lanatum	Woolly Sunflower	#1 pot
■	107	Hebe topiaria	Topiari's hebe	#1 pot
■	63	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	#1 pot
■	107	Mahonia repens	Prostrate Oregon Grape	#1 pot
■	16	Nepeta x faassenii	Catmint	Sp3
■	16	Rosmarinus officinalis	Rosemary	#2 pot
■	16	Salvia officinalis	Culinary Sage	#1 pot
■	24	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
■	0			
EVERGREEN HEDGE:				
●	6	Taxus baccata 'Repandens'	English Weeping Yew	#3 pot

REFERENCE NOTES

30%+ of planting scheme has been dedicated ecosystem services. Plants for pollinators are included, via the Pollinator and Allergy-Aware Gardening Guide. This site features native plants that are unique to the Southern Vancouver Island Bioregional zone. Food bearing plants are also added in addition to the guidelines. Additionally, rain garden plants provide stormwater management opportunities.

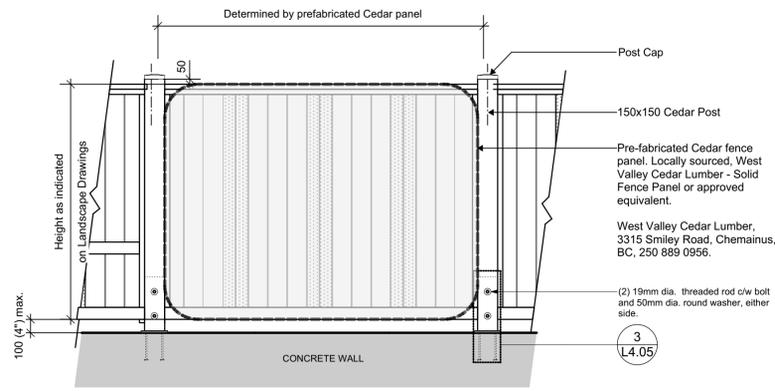


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2	DP	2021-12-16
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rev no	description	date



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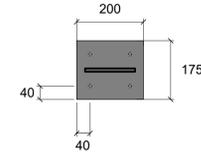
client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	Planting Plan - Level 4
project no.	121.23
scale	1:### @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L3.02



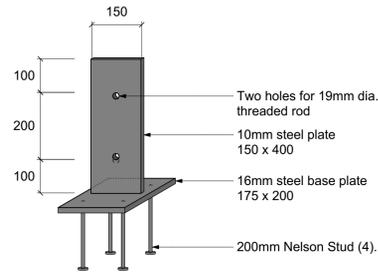
GENERAL NOTES:

1. All fasteners to be galvanized only.
2. All lumber to be locally sourced Western Red Cedar (except Posts).
3. Coating system to be Sikkens - SRD. Colour to complement Architectural palette. Final selection to be confirmed by LA prior to application.

PLAN VIEW

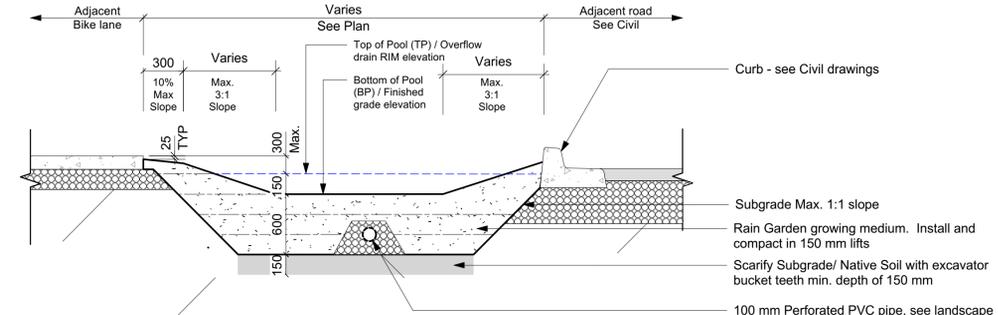


AXO VIEW



GENERAL NOTES:

1. All steel to be galvanized only.



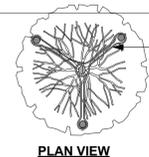
GENERAL NOTES:

1. Subgrade shall be sloped to drain with perforated pipe. Min. 0.5%.
2. Planting areas shall be mulched 50 mm depth.
3. Finish grade of mulch to be 25 mm below sidewalk.

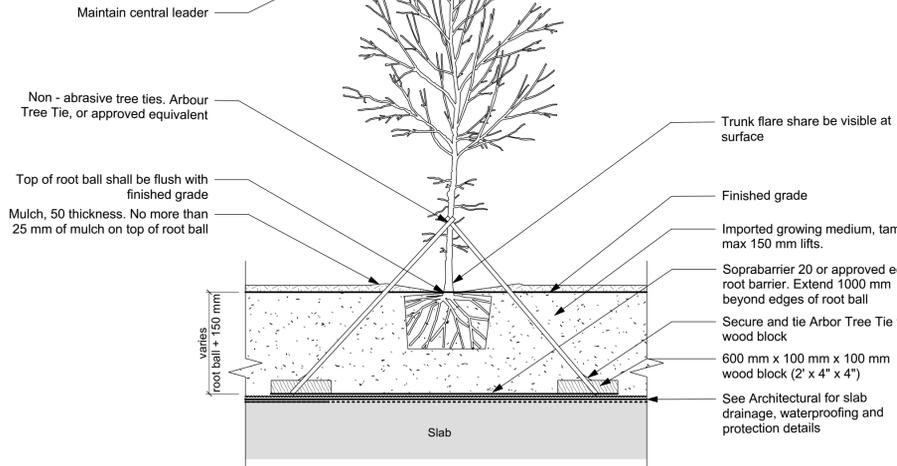
1 Typical 6' Wood Fence On Concrete Wall
Scale: 1:25

2 Fence Post Knife Plate
Scale: 1:10

3 Boulevard Rain Garden - section
Scale: 1:25

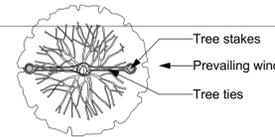


PLAN VIEW

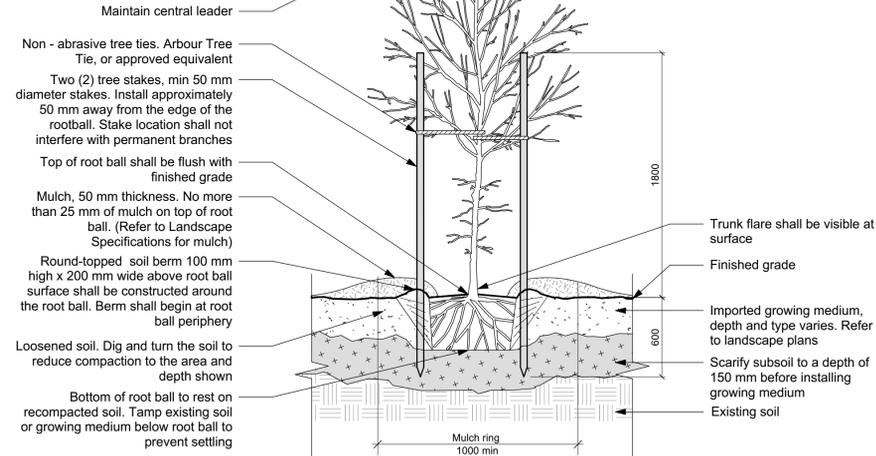


Notes:

1. Trees shall be of quality prescribed.
2. Trunk caliper shall meet Canadian Landscape Standard Current Edition for root ball size.
3. Max. depth of planting pit = rootball depth + 150 mm.
4. Place guy wires parallel to prevailing wind direction.
5. Follow supply nursery's instructions on removal of rope, burlap and wire baskets.



PLAN VIEW

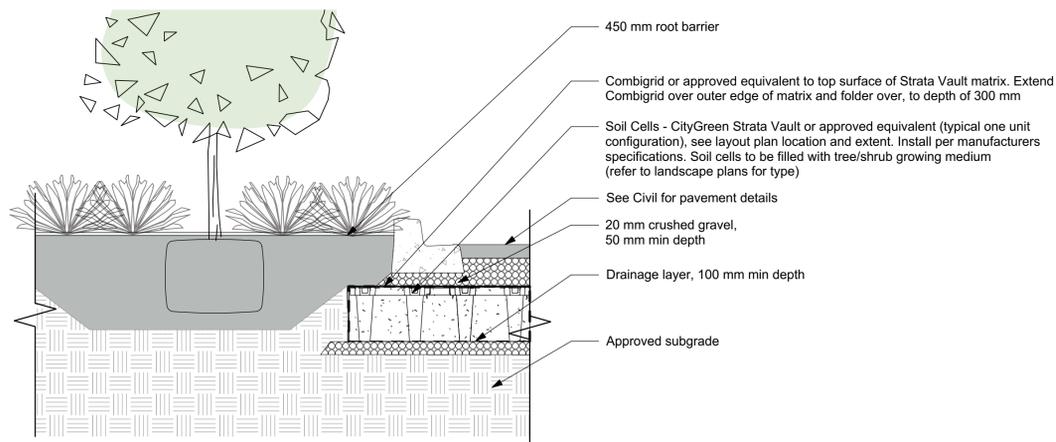


Notes:

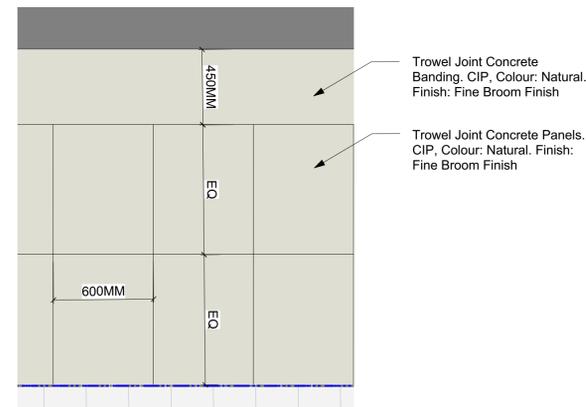
1. Trees shall be of quality prescribed.
2. Trunk caliper shall meet Canadian Landscape Standard Current Edition for root ball size.
3. Max. depth of planting pit = rootball depth + 150 mm.
4. Place stakes parallel to prevailing wind direction.
5. Follow supply nursery's instructions on removal of rope, burlap, and wire baskets.

4 Tree Planting Detail on Slab
Scale: 1:25

5 Tree Planting Detail on Grade
Scale: 1:25



6 Structural Soil Cells
Scale: 1:25



7 City of Victoria Paving Detail
Scale: 1:20

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.

rev no	description	date
8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19

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client	Mike Geric Construction 4520 West Saanich Rd Saanich, BC
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	Landscape Details
project no.	121.23
scale	AS SHOWN @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L4.01