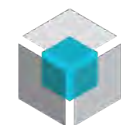


HERITAGE TAX INCENTIVE PROGRAM

NON-RESIDENTIAL USES

1314 + 1318 WHARF STREET, VICTORIA BC
JUNE 13, 2023



RELIANCE
PROPERTIES



Boniface
Oleksiuk
Politano
Architects



PAGE INTENTIONALLY LEFT BLANK

CONTENTS

1314+1318 WHARF STREET REDEVELOPMENT	
HERITAGE CONSERVATION RATIONALE PROPOSED DEVELOPMENT	4
EXTERIOR FACADES TO BE RETAINED	6
EXISTING CONDITION	7
SITE PHOTOGRAPHS	8
EXISTING SITE PLAN	9
ARCHITECTURAL DRAWINGS	
3D VISUAL	10
LEVEL 00 - FLOOR PLAN	11
LEVEL 01 - FLOOR PLAN	12
LEVEL 02 - FLOOR PLAN	13
EAST ELEVATION	14
WEST ELEVATION	14
NORTH ELEVATION	15
BUILDING SECTION A	16
BUILDING SECTION B	16
BUILDING SECTION C	17
BUILDING SECTION D	17
STRUCTURAL DRAWINGS	
SEISMIC REINFORCEMENT OF EXISTING BUILDINGS	18
UNDERPINNING AND SHORING DETAILS	19

PROJECT TEAM

OWNER

CROSTOWN PROPERTIES, MANAGED BY RELIANCE PROPERTIES
111 Water St #305, Vancouver, BC
(604) 683-2404

ARCHITECT

BONIFACE OLEKSIUK POLITANO ARCHITECTS
180-510 Nicola St, Vancouver, BC
(236) 521-6568

HERITAGE CONSULTANT

COMMUNITY DESIGN STRATEGIES INC.
625-12 AVENUE NE, CALGARY, AB
(403) 861-8040

STRUCTURAL ENGINEERS

READ JONES CHRISTOFFERSEN LTD.
645 Tyee Road, Suite 220, Victoria, BC
(250) 386-7794

1314+1318 WHARF STREET REDEVELOPMENT

HERITAGE CONSERVATION RATIONALE

The conservation of the Heritage Designated 1860 Caire & Grancini Warehouse and the 1864 Fraser Warehouse, known as Northern Junk, has been a 12 year effort to deliver a significant benefit with the future animation of these rehabilitated and restored heritage buildings. Not only is conserving these resources integral to their cultural and economic viability, and a vital component of urban revitalization efforts and the continuity of the David Foster Way, but their conservation avoids negative environmental impacts, reduces construction and demolition waste, and promotes adaptive re-use for reintegration into a vibrant urban environment. However, such conservation and redevelopment carries a great deal of unknown factors that lead to considerable uncertainty. Although the details of this project have been planned in minute detail, the ability to have certain financial incentives to help offset some of the actual costs of the heritage restoration work is paramount in such undertakings.

The City of Victoria's Heritage Tax Incentive Program is one of such tools that makes it feasible to convert underused or vacant structures, such as the Northern Junk warehouses, into fully functional properties and to ensure the protection and usefulness of priority heritage properties. The original use of both warehouses was industrial with no residential components. Although the new addition provides residential accommodation, it is understood that new additions are not factored in the tax exemption equation as the exemption is only applicable to the heritage portion that will be substantially rehabilitated for a new commercial use and not for living accommodation. It is important to note that the City's Zoning Bylaws exclude service areas and basements from "Residential Floor Area," and the CA-3C Zone – Old Town District restricts residential to the second and higher storeys of a building if the entire first storey is used for purposes other than residential. Thus, the "Non-Residential Uses" stream would logically apply to the Northern Junk warehouses.

The ability of the Tax Incentive Program under the "Non-Residential Uses" stream to offset construction costs for the purpose of "rehabilitation for uses other than residential" is vital to the success of Northern Junk's seismic upgrade, façade improvements and heritage restoration, building code improvements such as fire exits, and all work related to the envelope and interior rehabilitation of the buildings. The Land Lift analysis clearly outlines the imminent need of such incentives for project viability.

To date, the only activity on site has focused on extensive investigation work along with cleaning the buildings to evaluate their surfaces under what has been hidden under graffiti, stain, organic growth, and stucco for many years. To ensure complete transparency, a comprehensive package detailing results of the overall investigation of the heritage facades, mandatory pre-construction work to temporarily provide shoring and restraint to avoid further collapse and ensure safe access, a full seismic upgrade strategy, and numerous protocols and photographic records of all preliminary investigations were shared with Senior Heritage Planner Kristal Stevenot and the Victoria Civic Heritage Trust in October 2022.

Documentation shared included:

- Conservation Plans + Protocols
- Preliminary Site Work Photo Record
- Seismic Assessment Report
- Original Building Plans, Sections + Elevations
- Current Architectural Drawings
- Current Structural Drawings
- Construction Schedule
- Existing Building Retention Plan

The overall heritage conservation intent is to ensure the project follows Donald Luxton and Associates Inc. conservation plans for both buildings, as well as the recommendations and guidelines provided in the Standards and Guidelines for the Conservation of Historic Places in Canada (S&Gs). Luxton's conservation plans clearly articulate the historical context, the buildings' significance and character-defining elements, as well as conservation recommendations that were submitted as part of the Heritage Alteration Permit Application approved by Council on August 5, 2021. The conservation plans and the S&Gs have been the basis of all protocol documents to date.

Due to the nature of the addition approved by Council, the Fraser Warehouse gabled roofs and the Caire & Grancini flat deck roof will be dismantled, but will not alter the street-facing facades and will only require the rear parapet of the Caire & Grancini to be dismantled and then reassembled to match its existing appearance at a slightly lower level as detailed in the heritage consultant's protocol. In addition, and as noted by the then Senior Heritage Planner John O'Reilly during his presentation to CoTW, the north side floor of the Fraser Warehouse had collapsed and needed to be removed. Due to the overall structural integrity concerns of the floor systems, it was determined that the floors in both warehouses would be reconstructed, and the internal wood timbers reused within the interior, in part for seismic upgrading and other internal uses. Restoring the original appearance of the Fraser Warehouse street facing east facade and rehabilitating the Caire & Grancini east façade requires removal of the inappropriate stucco, brick infill, wood framing and panels, and windows and doors, all not original to the heritage buildings.

Following very extensive exploratory work to determine details barely visible in the only archival photograph available of the warehouses' east facades, the investigation successfully determined the original features of the Fraser Warehouse east façade. Unfortunately, nothing remains of the original Caire & Grancini east façade. The Senior Heritage Planner, John O'Reilly at the time, confirmed that a Delegated Heritage Alteration Permit application is to be submitted to alter the August 5, 2021, approved HAP to reflect the original physical appearance of the Fraser Warehouse east façade as it existed in 1864. This is truly an exciting find and one that has and will require additional financial investment not previously accounted for to realize its full restoration.

Further to what is detailed in the Fraser Warehouse Conservation Plan, and in addition to the approved August 5, 2021, HAP application, Council requested the inclusion of the random rubble stone masonry demising wall that equally divides the north and south portions of the warehouse on both levels in the Heritage Designation Bylaw. An application with a revised Statement of Significance (SoS) and a seismic upgrade strategy is ready to move forward once eligibility for the Heritage Tax Incentive – Non-Residential Uses is confirmed.

It is our position that the Northern Junk project meets the qualification requirements as detailed in the application and it has been our impression from previous conversations with City staff that this project would be eligible to apply. The warehouses are protected by a Heritage Designation Bylaw; the proposed work results in substantial rehabilitation or new use for a vacant or an underutilized space, or a new economic use of the building; and the warehouses are privately owned. Only pre-construction activities have been undertaken to help protect, maintain, and stabilize the existing form, material and integrity of the buildings, as well as strip-out and shoring of the interiors to ensure safe access. A Heritage Alteration Permit was approved on August 5, 2021, and conversations and correspondence with the Senior Heritage Planner, Kristal Stevenot, and the VCHT have been ongoing. We have made every effort to be transparent and forthcoming with all information requested to date.

We understand the decision for the TIP eligibility is not a simple one, but we firmly believe diagnoses are not always black-and-white and deserve further consideration of the gray area between these two extremes. In fact, the Tax Incentive Program Description on the City website clearly states that, **“Specifics will be subject to negotiation and approval by the Victoria City Council.”**; In the same way the application information package outlines, **“City Council is the final authority in granting eligibility to the program”**. It is in this light that we respectfully ask members of Council to consider the circumstances of Northern Junk’s eligibility to apply for the Heritage Tax Incentive – Non-Residential Uses, work together and enable the efforts of this project to proceed to ensure these two historic buildings do not fall to their demise from an unfortunate lack of support.



PROPOSED DEVELOPMENT

DESIGN RATIONALE

The Northern Junk site at the head of the Johnson Street Bridge presents unique set of opportunities and challenges. The site is in a prominent position in the City between Old-Town and Inner-harbour. Currently isolated between Reeson Park to the south and the as-yet undefined Bridgehead Green park to the North, the site offers the potential to complete a key piece of the public realm and neighbourhood revitalization through its design and development.

The proposed development responds to a number of planning and urban design objectives set forth in the OCP and Core Area Plans. In particular, it will provide housing diversity in the form of new rental apartments, an upgrade of two heritage buildings, improve public access to the waterfront and support economic and social vitality in the area, all within a built-form that is in keeping with the goals of area design guidelines.

The project consists of a multi-unit residential apartment building set atop the existing Northern Junk warehouse buildings (Caire & Grancini Warehouse and Fraser Warehouse) that are to be rehabilitated and incorporated into a mixed-use development. The project brings together active ground level uses, new housing options, and an integrated public access and extension of the public waterfront walkway.

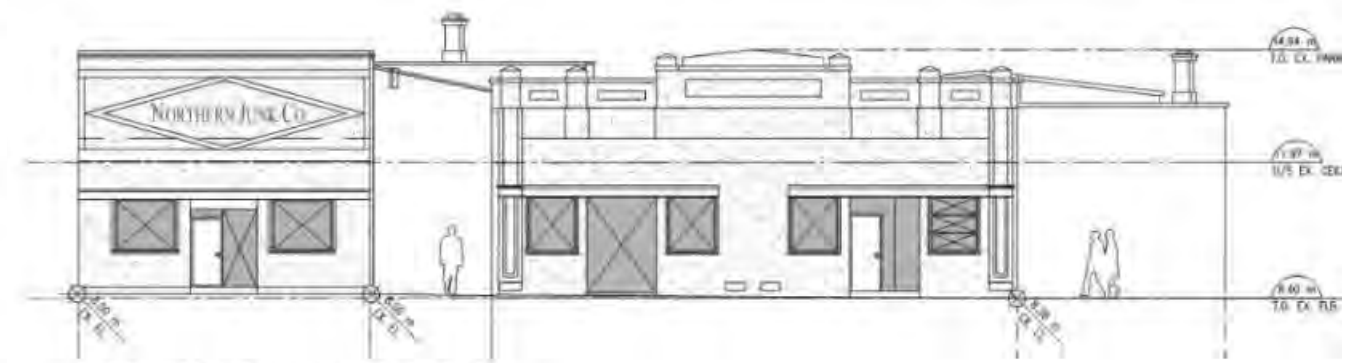
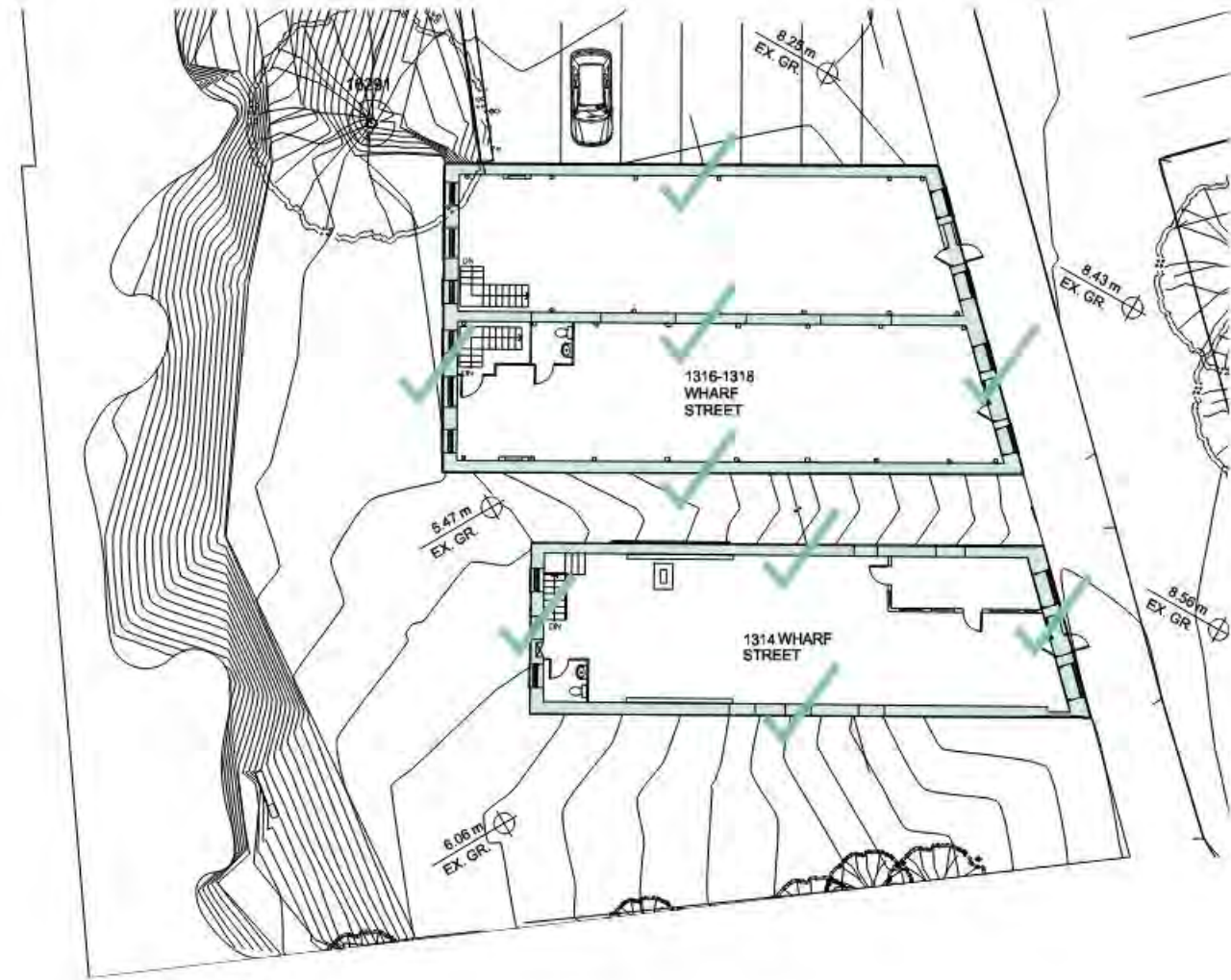
HERITAGE RESPONSE

The existing architecture of the two Northern Junk warehouse buildings is to be rehabilitated by carefully revealing original facade elements obscured by previous alterations and additions and rehabilitating the exterior masonry facade. Alterations, including new openings, will be undertaken to improve the functionality of the buildings. The key goal is to maintain as many elements of the existing buildings as possible while giving them a new life as active commercial spaces accessible to the public. The new elements of the project have been devised to maximize visibility and retention of the existing buildings and bring new value to them for present and future generations. The new structure and spaces embrace the heritage elements allowing users to come in contact with and be able to appreciate the heritage elements in new ways. All principal facades, interior masonry walls and openings are retained in the proposed design.

Whereas, a typical addition to a heritage building might be smaller in scale, the context of the buildings within the generally 5-storey Old-town fabric suggests that a one or two-storey addition would seem out of scale with the surroundings. The increased height of the additions delivers an integrated streetscape using the heritage buildings as its foundation. The resulting tripartite composition of each facade reinforces the classical pattern of base (heritage buildings), middle (new residential building), and top (contemporary cornice elements).

The patterns of glazing and masonry piers of the new elements above the two heritage buildings are guided by the existing proportions and details of their facades, rendered in a simpler more contemporary articulation so as to not compete with the existing facades, but be sympathetic and complementary.

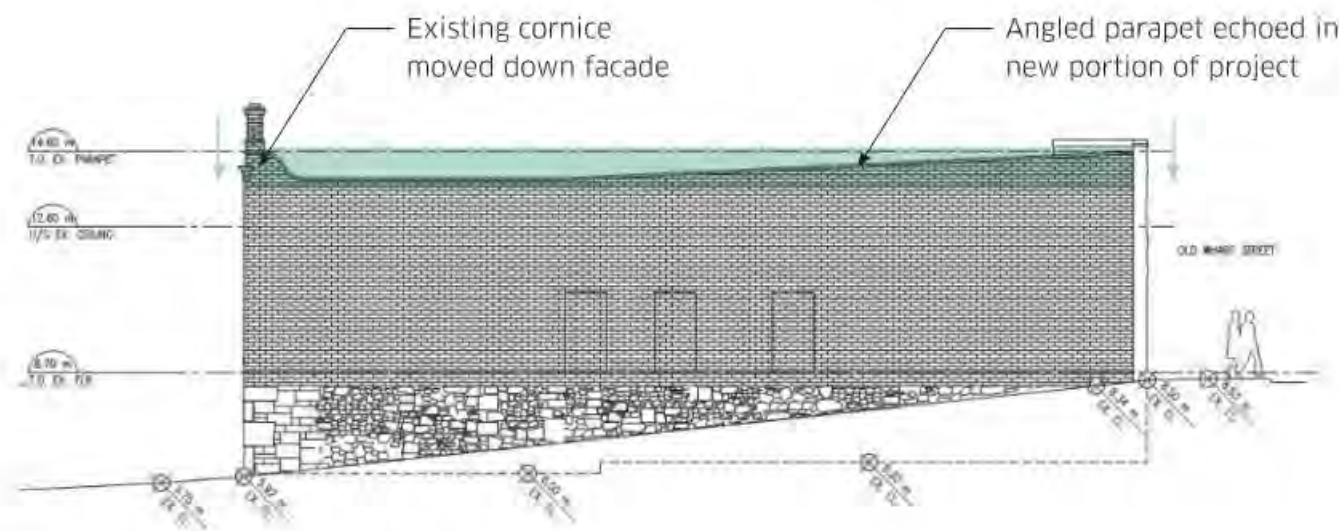
EXTERIOR FACADES TO BE RETAINED



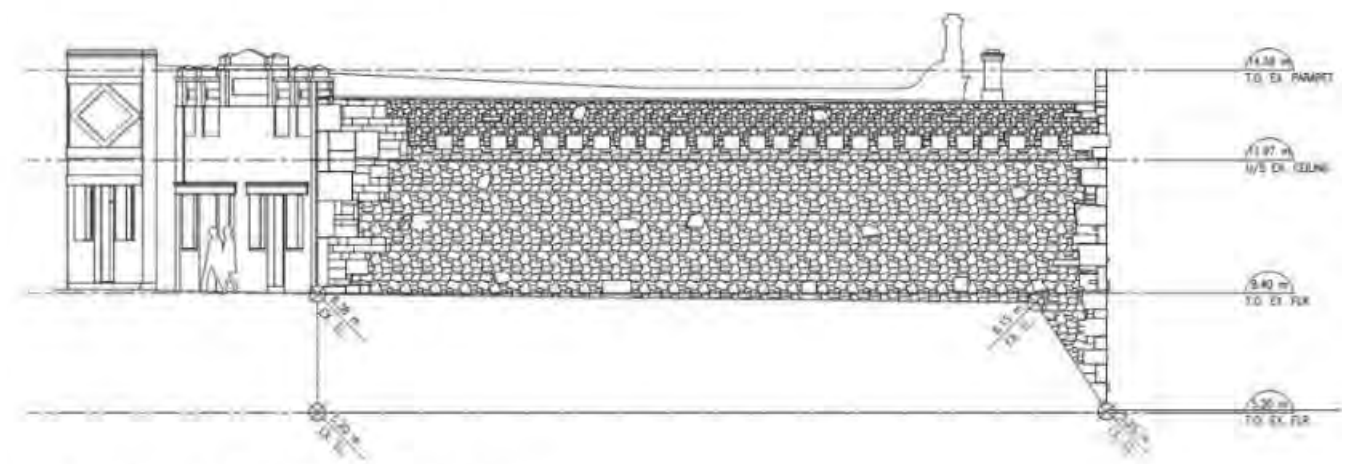
EXISTING EAST ELEVATION



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION

EXISTING CONDITION

SITE PHOTOGRAPHS



EXISTING INTERIOR CONDITION



EXISTING INTERIOR CONDITION



FRASER WAREHOUSE EAST FACADE



EXISTING WINDOW CONDITION TYP.



EXISTING CAIRE & GRANCINI WEST FACADE

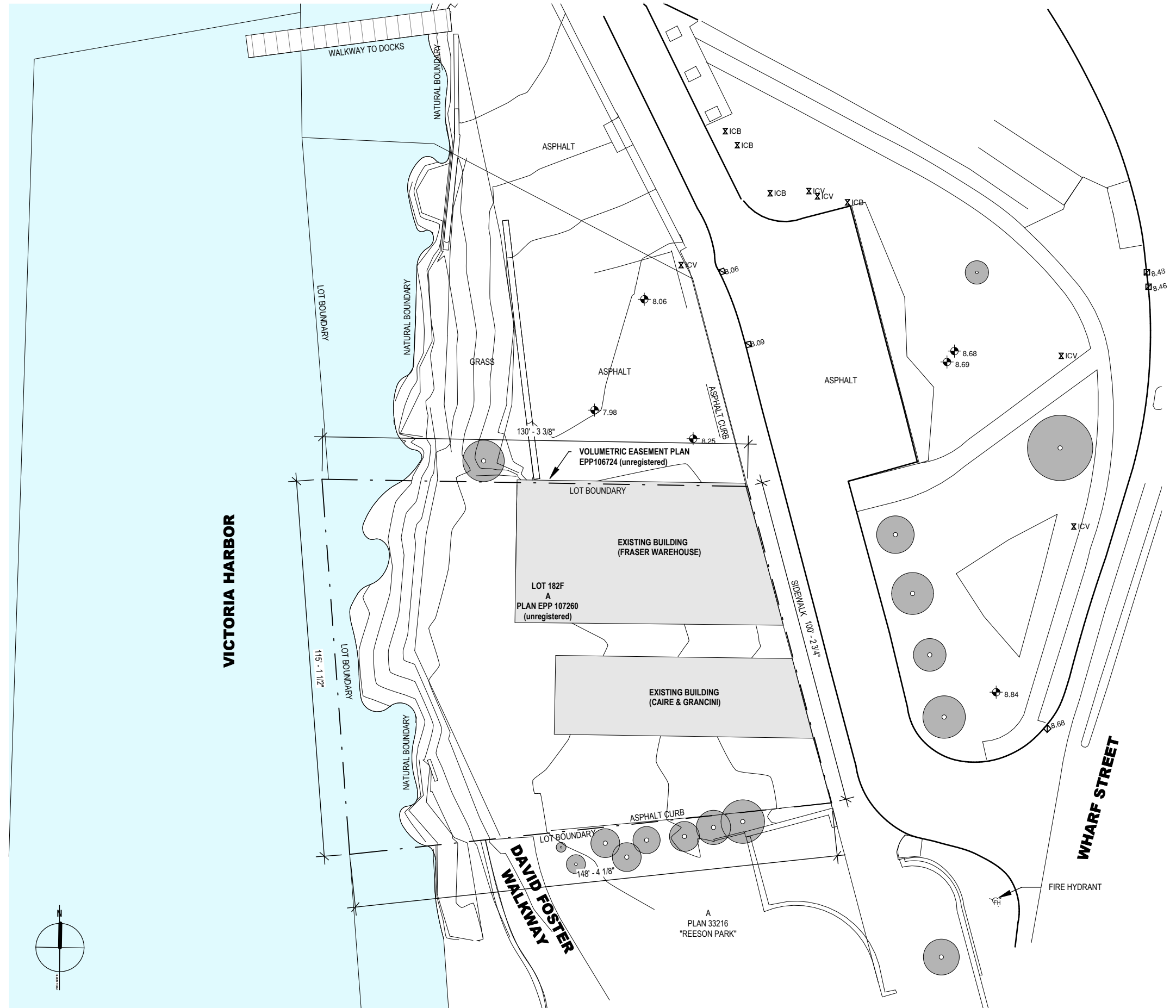


EXISTING ALLEYWAY BETWEEN BUILDINGS



EXISTING EAST FACADES

EXISTING SITE PLAN



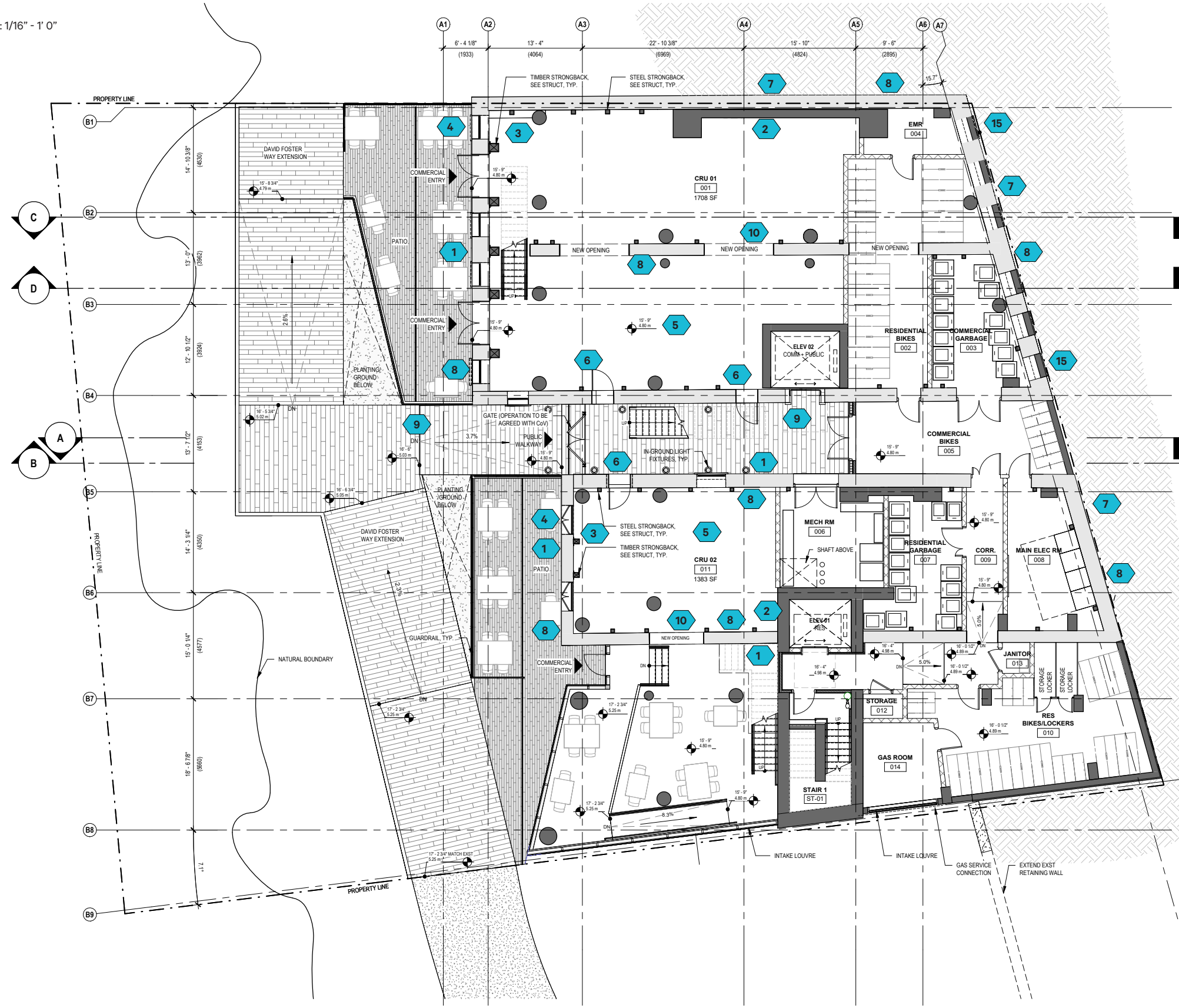
ARCHITECTURAL DRAWINGS

3D VISUAL



LEVEL 00 - FLOOR PLAN

SCALE: 1/16" = 1' 0"

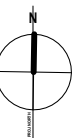


GENERAL DEVELOPMENT ITEMS:

1. Masonry restorations and re-pointing where required
2. Seismic upgrade strategy - Shear Wall (Refer to Structural drawings Page 18)
3. Seismic upgrade strategy - Reclaimed timber and steel strongbacks (Refer to Structural drawings Page 18)
4. Replacement of existing windows and doors with wood replicas
5. Floor grade lowered to provide level access and improved head height at Level 00
6. New openings created to improve access, life safety and quality of interior environment
7. Additional insulation and waterproofing to exterior face of existing below grade walls
8. Structural underpinning of all existing masonry walls to improve structural stability
9. Sloped/Level access and new public elevator to make accessible route from Wharf street to David Foster Way
10. New openings in Existing walls to connect CRU Spaces
11. New openings to provide adequate access exits
12. Restoration of Fraser Warehouse east facade, removing stucco and reinstating original building features. Repairs to existing parapets and cornices
13. Rebuilding of Caire & Grancini east facade to reinstate facade to original, using recycled brick salvaged from other areas of the building
14. Caire & Grancini existing parapet removed and reinstated at a lower elevation to enable level floors in new portion of building whilst retaining an original feature
15. Retention and treatment of old coal gates along East basement facade
16. Removal of brick infill to expose existing arched openings
17. Restoration and recreation of existing parapets and cornices.

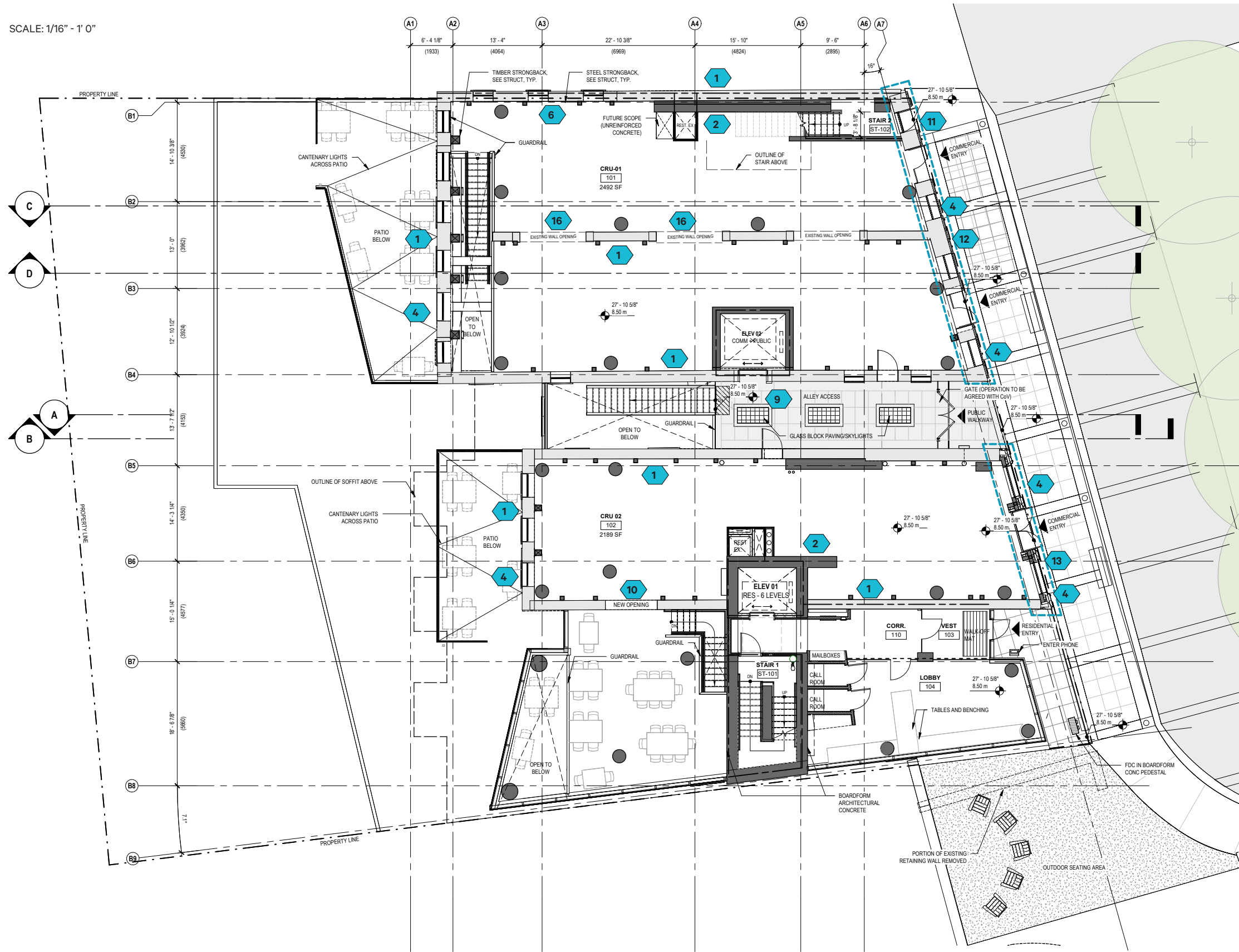
DRAWING LEGEND:

- EXISTING WALLS
- PROPOSED WALLS & STRUCTURAL ELEMENTS



LEVEL 01 - FLOOR PLAN

SCALE: 1/16" = 1' 0"



GENERAL DEVELOPMENT ITEMS:

1. Masonry restorations and re-pointing where required
2. Seismic upgrade strategy - Shear Wall (Refer to Structural drawings Page 18)
3. Seismic upgrade strategy - Reclaimed timber and steel strongbacks (Refer to Structural drawings Page 18)
4. Replacement of existing windows and doors with wood replicas
5. Floor grade lowered to provide level access and improved head height at Level 00
6. New openings created to improve access, life safety and quality of interior environment
7. Additional insulation and waterproofing to exterior face of existing below grade walls
8. Structural underpinning of all existing masonry walls to improve structural stability
9. Sloped/Level access and new public elevator to make accessible route from Wharf street to David Foster Way
10. New openings in Existing walls to connect CRU Spaces
11. New openings to provide adequate access exits
12. Restoration of Fraser Warehouse east facade, removing stucco and reinstating original building features. Repairs to existing parapets and cornices
13. Rebuilding of Caire & Grancini east facade to reinstate facade to original, using recycled brick salvaged from other areas of the building
14. Caire & Grancini existing parapet removed and reinstated at a lower elevation to enable level floors in new portion of building whilst retaining an original feature
15. Retention and treatment of old coal gates along East basement facade
16. Removal of brick infill to expose existing arched openings
17. Restoration and recreation of existing parapets and cornices.

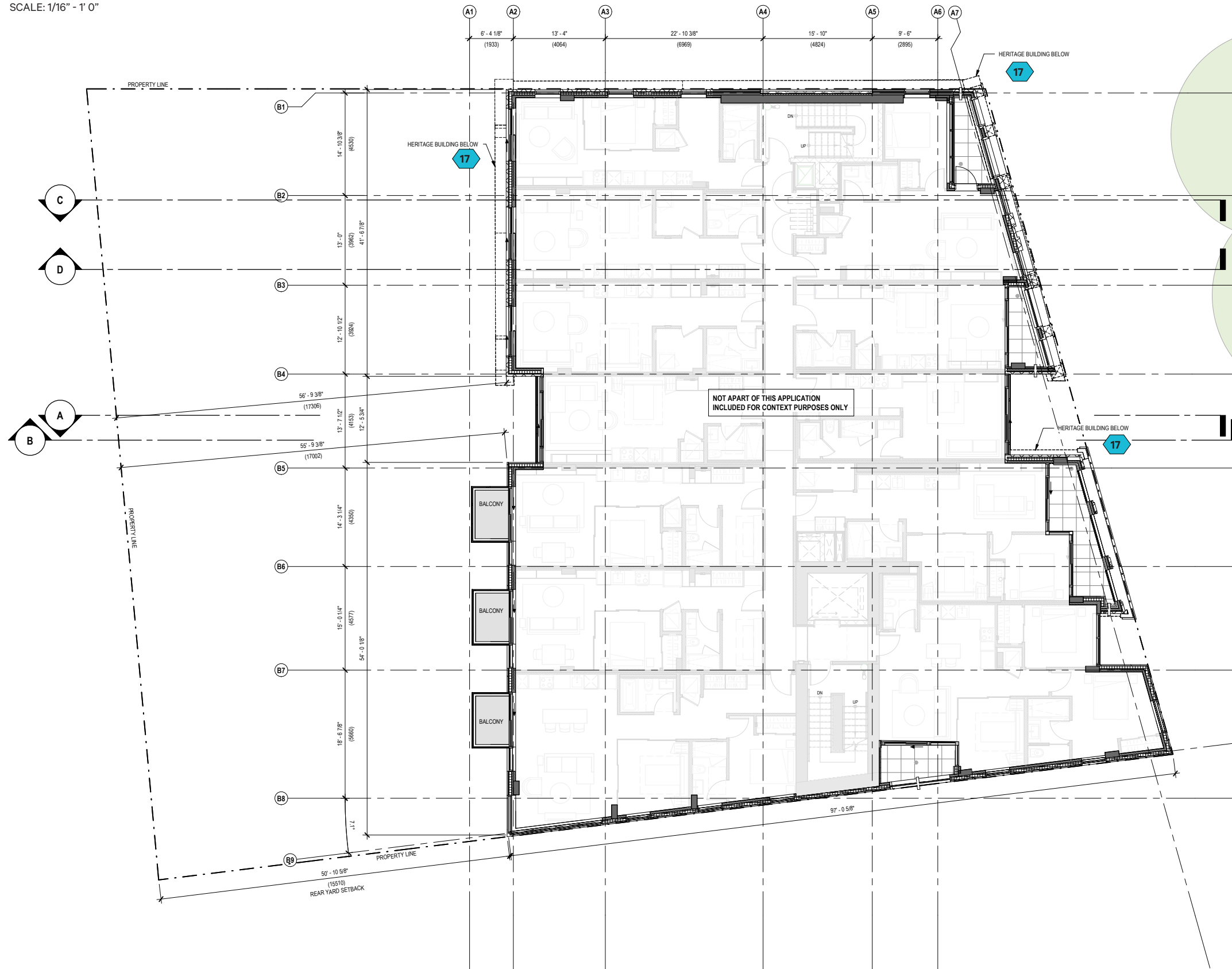
DRAWING LEGEND:

- EXISTING WALLS
- PROPOSED WALLS & STRUCTURAL ELEMENTS



LEVEL 02 - FLOOR PLAN

SCALE: 1/16" = 1' 0"

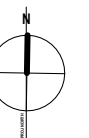


GENERAL DEVELOPMENT ITEMS:

1. Masonry restorations and re-pointing where required
2. Seismic upgrade strategy - Shear Wall (Refer to Structural drawings Page 18)
3. Seismic upgrade strategy - Reclaimed timber and steel strongbacks (Refer to Structural drawings Page 18)
4. Replacement of existing windows and doors with wood replicas
5. Floor grade lowered to provide level access and improved head height at Level 00
6. New openings created to improve access, life safety and quality of interior environment
7. Additional insulation and waterproofing to exterior face of existing below grade walls
8. Structural underpinning of all existing masonry walls to improve structural stability
9. Sloped/Level access and new public elevator to make accessible route from Wharf street to David Foster Way
10. New openings in Existing walls to connect CRU Spaces
11. New openings to provide adequate access exits
12. Restoration of Fraser Warehouse east facade, removing stucco and reinstating original building features. Repairs to existing parapets and cornices
13. Rebuilding of Caire & Grancini east facade to reinstate facade to original, using recycled brick salvaged from other areas of the building
14. Caire & Grancini existing parapet removed and reinstated at a lower elevation to enable level floors in new portion of building whilst retaining an original feature
15. Retention and treatment of old coal gates along East basement facade
16. Removal of brick infill to expose existing arched openings
17. Restoration and recreation of existing parapets and cornices.

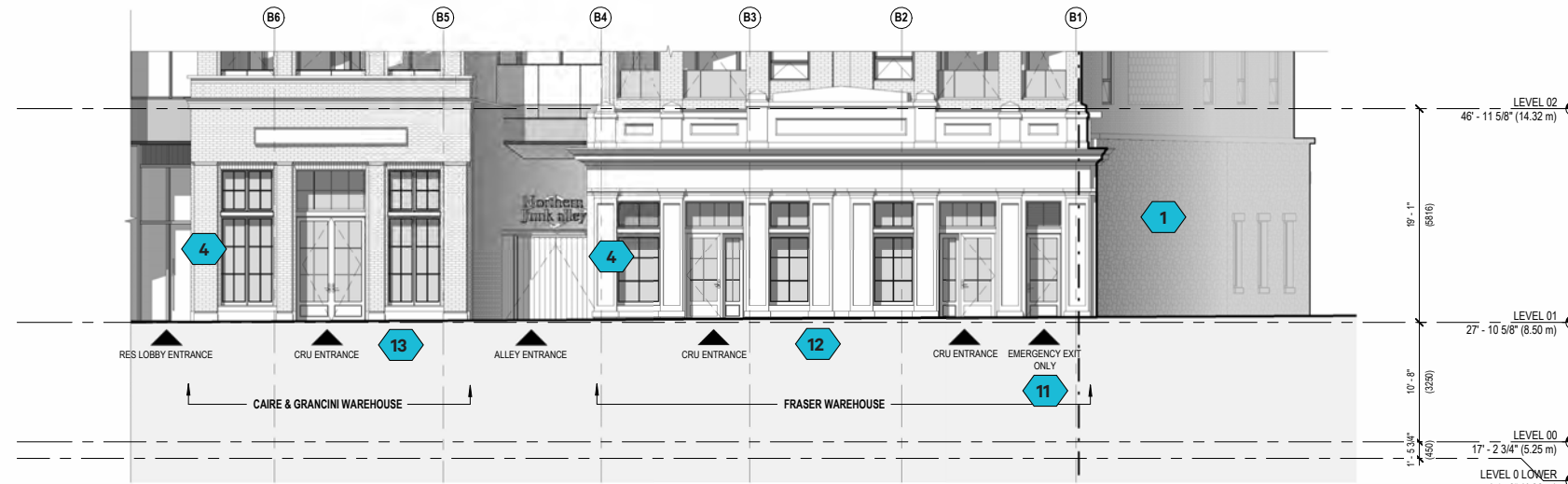
DRAWING LEGEND:

- EXISTING WALLS
- PROPOSED WALLS & STRUCTURAL ELEMENTS



EAST ELEVATION

SCALE: 1/16" = 1' 0"



GENERAL DEVELOPMENT ITEMS:

1. Masonry restorations and re-pointing where required
2. Seismic upgrade strategy - Shear Wall (Refer to Structural drawings Page 18)
3. Seismic upgrade strategy - Reclaimed timber and steel strongbacks (Refer to Structural drawings Page 18)
4. Replacement of existing windows and doors with wood replicas
5. Floor grade lowered to provide level access and improved head height at Level 00
6. New openings created to improve access, life safety and quality of interior environment
7. Additional insulation and waterproofing to exterior face of existing below grade walls
8. Structural underpinning of all existing masonry walls to improve structural stability
9. Sloped/Level access and new public elevator to make accessible route from Wharf street to David Foster Way
10. New openings in Existing walls to connect CRU Spaces
11. New openings to provide adequate access exits
12. Restoration of Fraser Warehouse east facade, removing stucco and reinstating original building features. Repairs to existing parapets and cornices
13. Rebuilding of Caire & Grancini east facade to reinstate facade to original, using recycled brick salvaged from other areas of the building
14. Caire & Grancini existing parapet removed and reinstated at a lower elevation to enable level floors in new portion of building whilst retaining an original feature
15. Retention and treatment of old coal gates along East basement facade
16. Removal of brick infill to expose existing arched openings
17. Restoration and recreation of existing parapets and cornices.

WEST ELEVATION

SCALE: 1/16" = 1' 0"

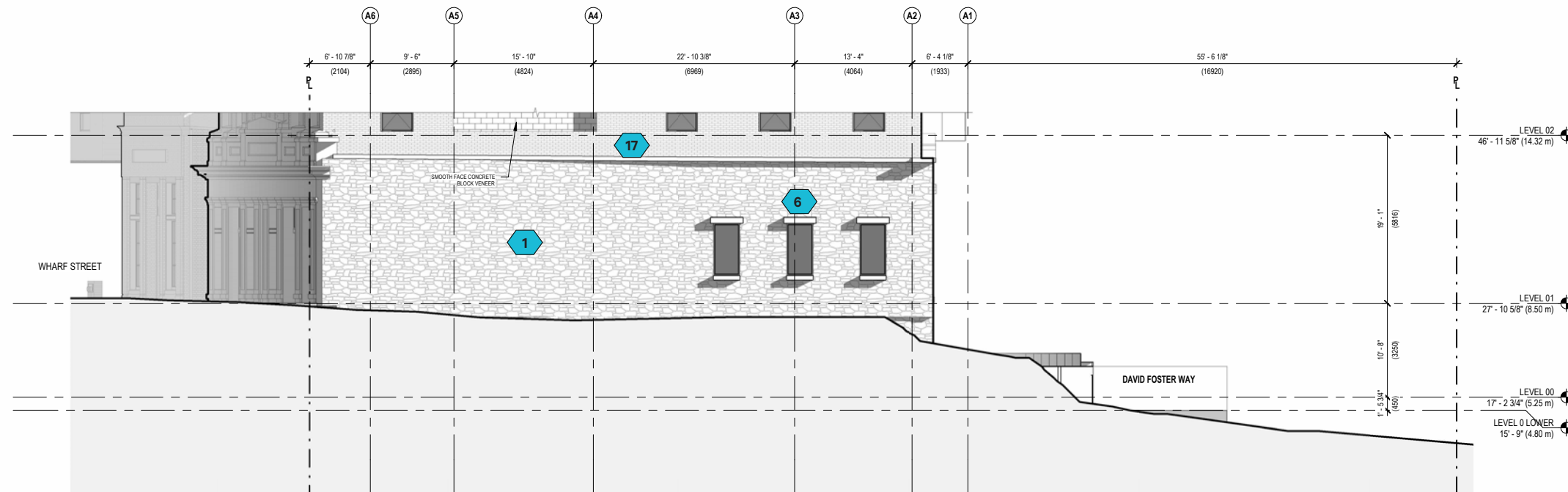


DRAWING LEGEND:

- EXISTING WALLS
- PROPOSED WALLS & STRUCTURAL ELEMENTS

NORTH ELEVATION

SCALE: 1/16" = 1' 0"



GENERAL DEVELOPMENT ITEMS:

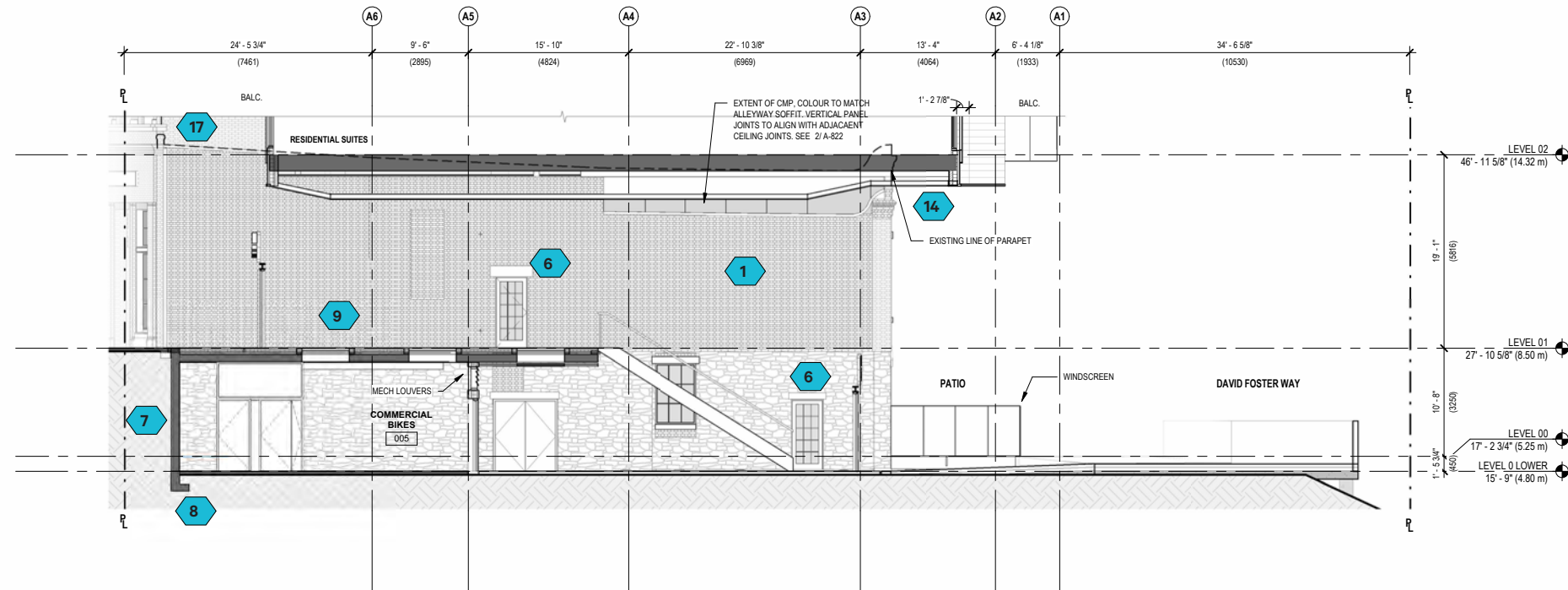
1. Masonry restorations and re-pointing where required
2. Seismic upgrade strategy - Shear Wall (Refer to Structural drawings Page 18)
3. Seismic upgrade strategy - Reclaimed timber and steel strongbacks (Refer to Structural drawings Page 18)
4. Replacement of existing windows and doors with wood replicas
5. Floor grade lowered to provide level access and improved head height at Level 00
6. New openings created to improve access, life safety and quality of interior environment
7. Additional insulation and waterproofing to exterior face of existing below grade walls
8. Structural underpinning of all existing masonry walls to improve structural stability
9. Sloped/Level access and new public elevator to make accessible route from Wharf street to David Foster Way
10. New openings in Existing walls to connect CRU Spaces
11. New openings to provide adequate access exits
12. Restoration of Fraser Warehouse east facade, removing stucco and reinstating original building features. Repairs to existing parapets and cornices
13. Rebuilding of Caire & Grancini east facade to reinstate facade to original, using recycled brick salvaged from other areas of the building
14. Caire & Grancini existing parapet removed and reinstated at a lower elevation to enable level floors in new portion of building whilst retaining an original feature
15. Retention and treatment of old coal gates along East basement facade
16. Removal of brick infill to expose existing arched openings
17. Restoration and recreation of existing parapets and cornices.

DRAWING LEGEND:

- EXISTING WALLS
- PROPOSED WALLS & STRUCTURAL ELEMENTS

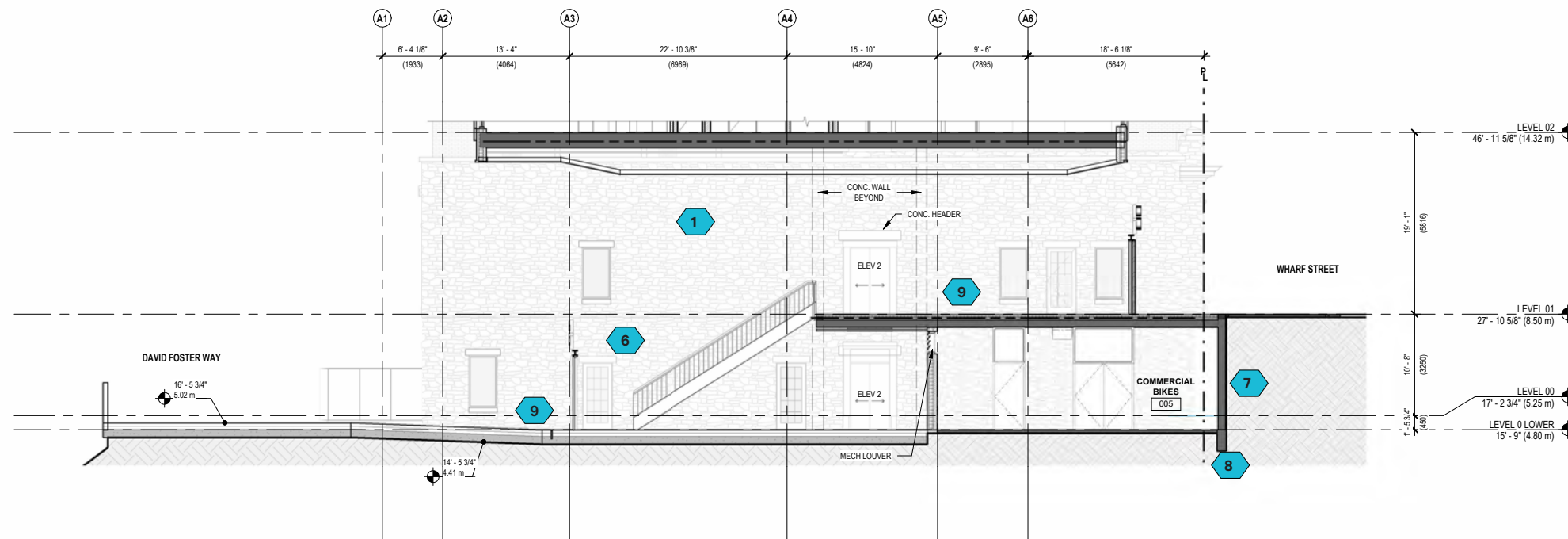
BUILDING SECTION A

SCALE: 1/16" = 1' 0"



BUILDING SECTION B

SCALE: 1/16" = 1' 0"



GENERAL DEVELOPMENT ITEMS:

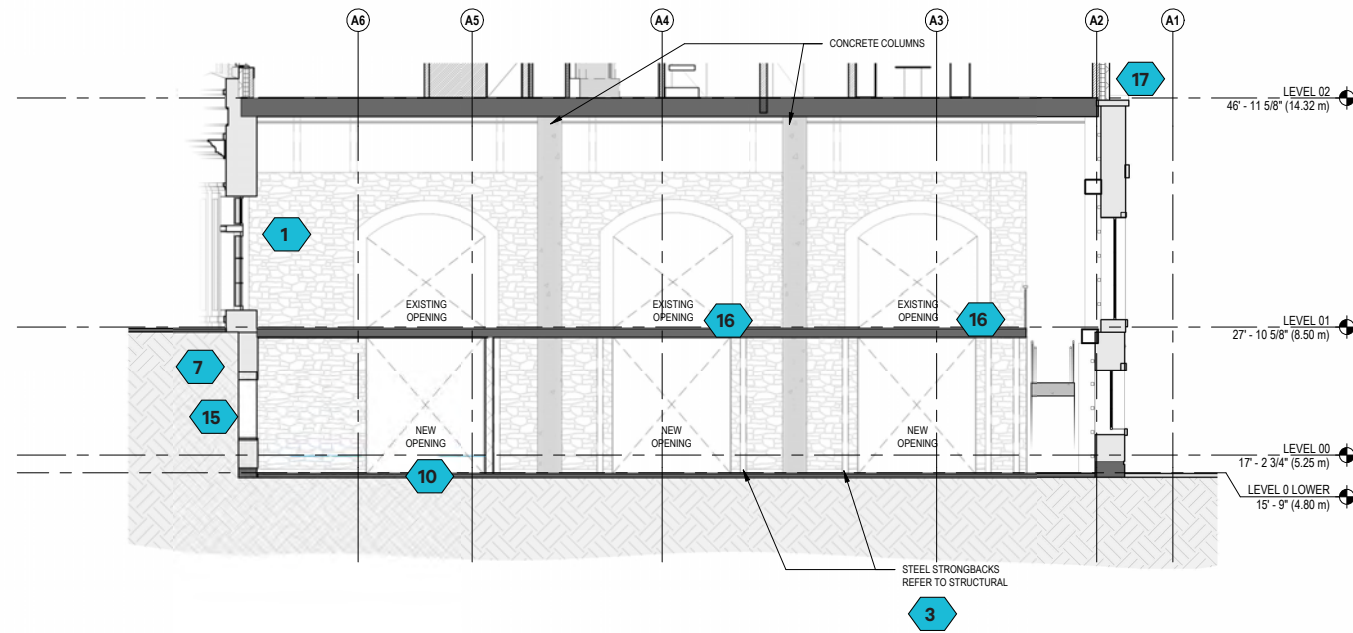
1. Masonry restorations and re-pointing where required
2. Seismic upgrade strategy - Shear Wall (Refer to Structural drawings Page 18)
3. Seismic upgrade strategy - Reclaimed timber and steel strongbacks (Refer to Structural drawings Page 18)
4. Replacement of existing windows and doors with wood replicas
5. Floor grade lowered to provide level access and improved head height at Level 00
6. New openings created to improve access, life safety and quality of interior environment
7. Additional insulation and waterproofing to exterior face of existing below grade walls
8. Structural underpinning of all existing masonry walls to improve structural stability
9. Sloped/Level access and new public elevator to make accessible route from Wharf street to David Foster Way
10. New openings in Existing walls to connect CRU Spaces
11. New openings to provide adequate access exits
12. Restoration of Fraser Warehouse east facade, removing stucco and reinstating original building features. Repairs to existing parapets and cornices
13. Rebuilding of Caire & Grancini east facade to reinstate facade to original, using recycled brick salvaged from other areas of the building
14. Caire & Grancini existing parapet removed and reinstated at a lower elevation to enable level floors in new portion of building whilst retaining an original feature
15. Retention and treatment of old coal gates along East basement facade
16. Removal of brick infill to expose existing arched openings
17. Restoration and recreation of existing parapets and cornices.

DRAWING LEGEND:

- EXISTING WALLS
- PROPOSED WALLS & STRUCTURAL ELEMENTS

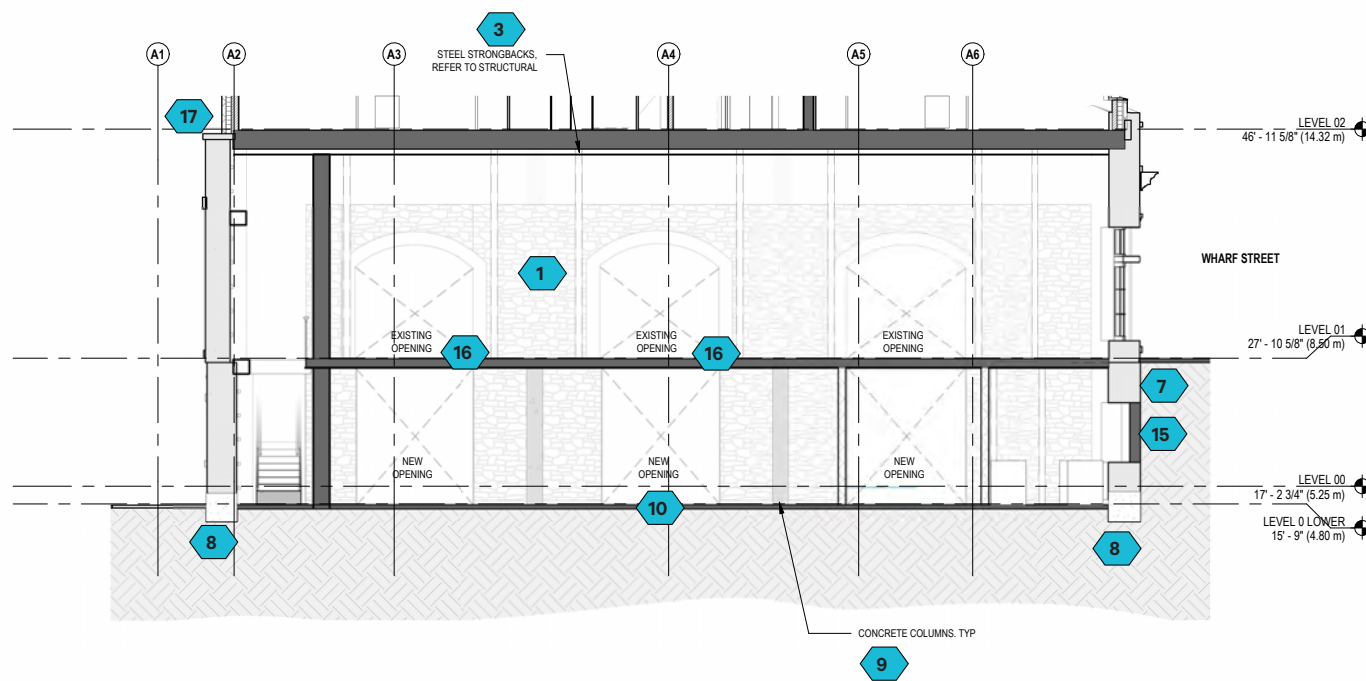
BUILDING SECTION C

SCALE: 1/16" - 1' 0"



BUILDING SECTION D



SCALE: 1/16" - 1' 0"



GENERAL DEVELOPMENT ITEMS:

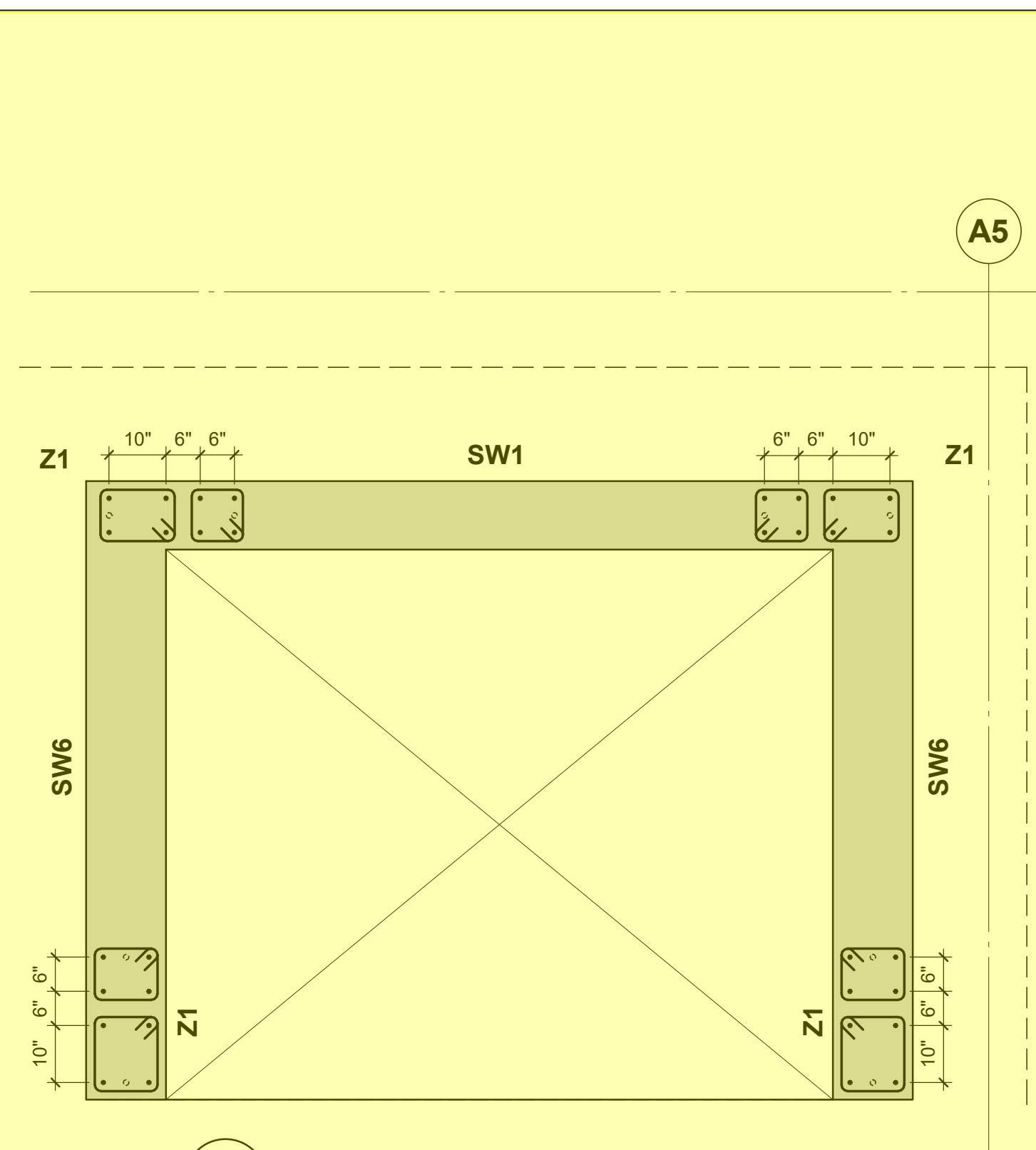
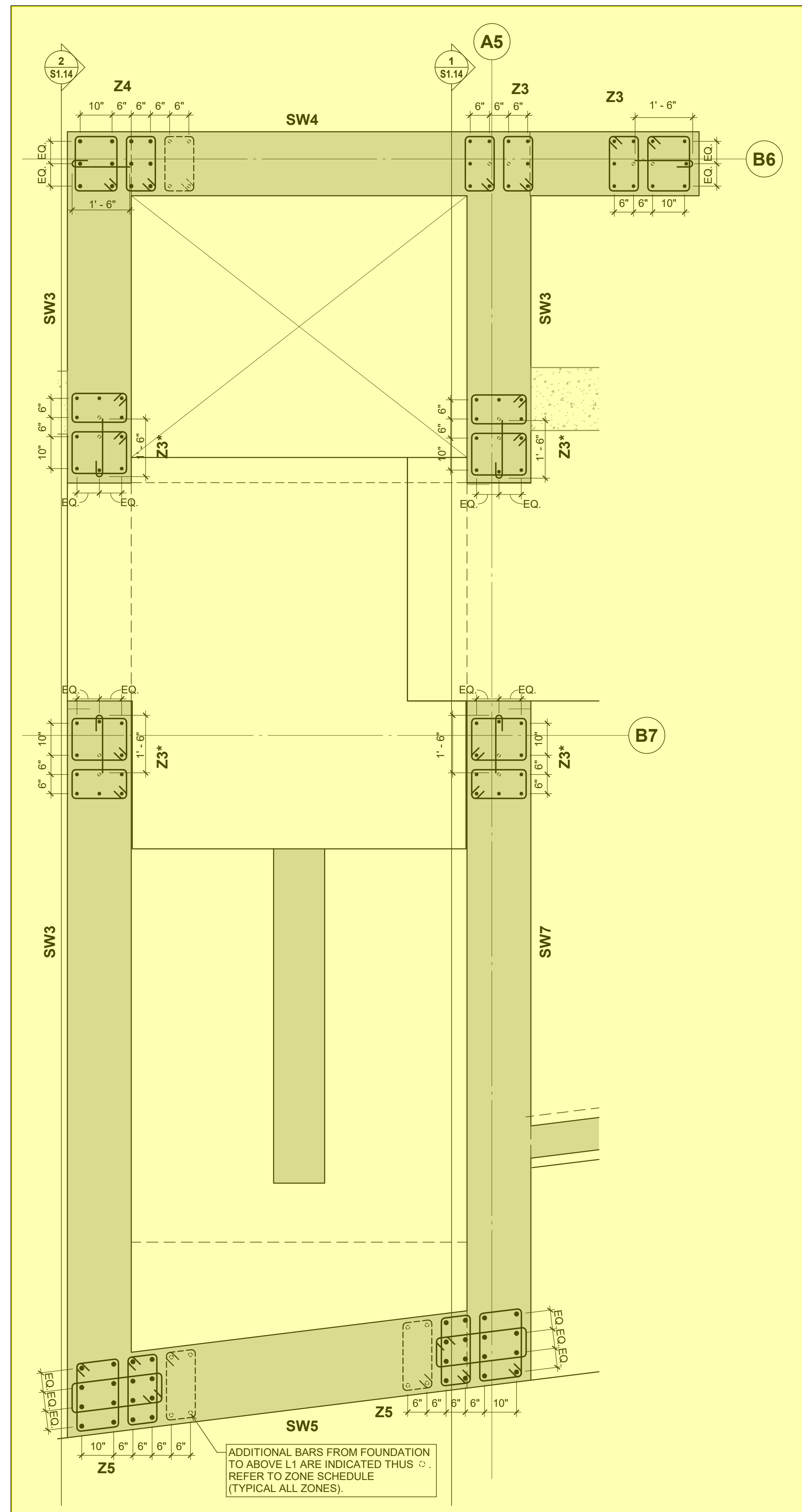
1. Masonry restorations and re-pointing where required
2. Seismic upgrade strategy - Shear Wall (Refer to Structural drawings Page 18)
3. Seismic upgrade strategy - Reclaimed timber and steel strongbacks (Refer to Structural drawings Page 18)
4. Replacement of existing windows and doors with wood replicas
5. Floor grade lowered to provide level access and improved head height at Level 00
6. New openings created to improve access, life safety and quality of interior environment
7. Additional insulation and waterproofing to exterior face of existing below grade walls
8. Structural underpinning of all existing masonry walls to improve structural stability
9. Sloped/Level access and new public elevator to make accessible route from Wharf street to David Foster Way
10. New openings in Existing walls to connect CRU Spaces
11. New openings to provide adequate access exits
12. Restoration of Fraser Warehouse east facade, removing stucco and reinstating original building features. Repairs to existing parapets and cornices
13. Rebuilding of Caire & Grancini east facade to reinstate facade to original, using recycled brick salvaged from other areas of the building
14. Caire & Grancini existing parapet removed and reinstated at a lower elevation to enable level floors in new portion of building whilst retaining an original feature
15. Retention and treatment of old coal gates along East basement facade
16. Removal of brick infill to expose existing arched openings
17. Restoration and recreation of existing parapets and cornices.

DRAWING LEGEND:

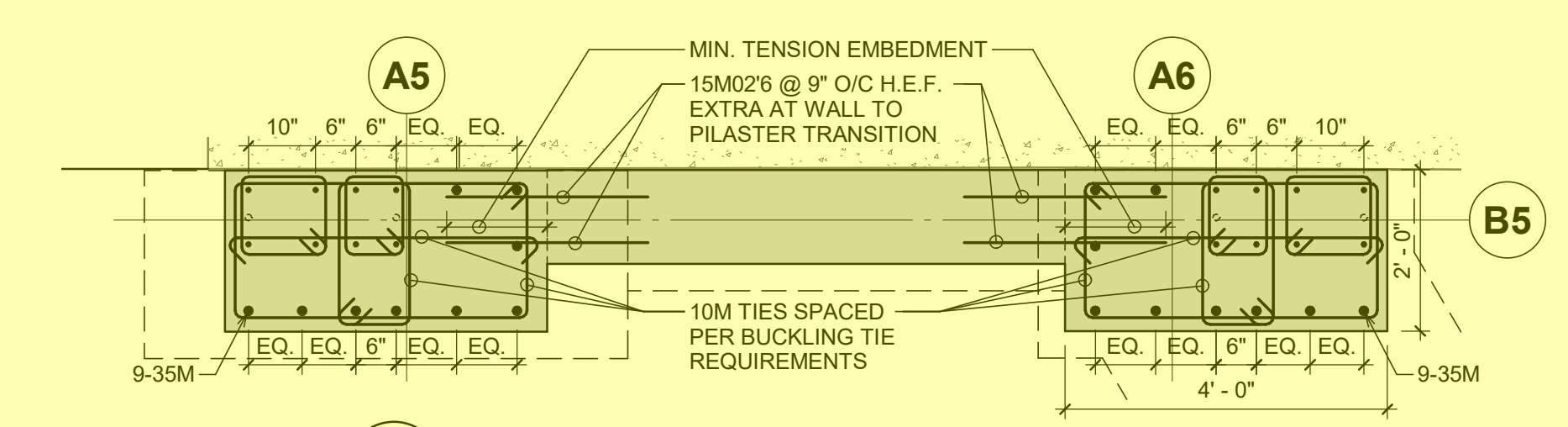
-  EXISTING WALLS
-  PROPOSED WALLS & STRUCTURAL ELEMENTS

STRUCTURAL DRAWINGS

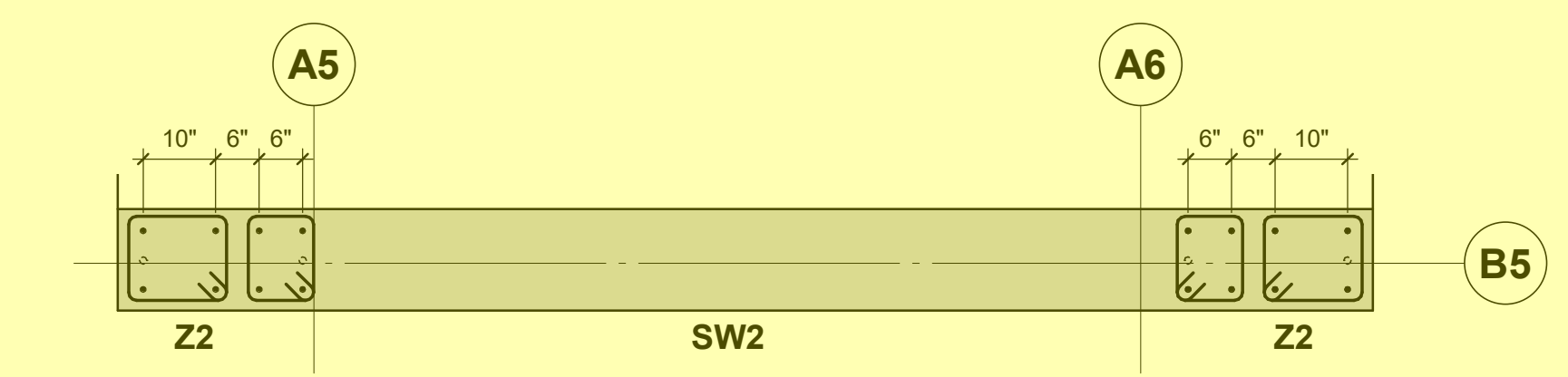
SEISMIC REINFORCEMENT OF EXISTING BUILDINGS



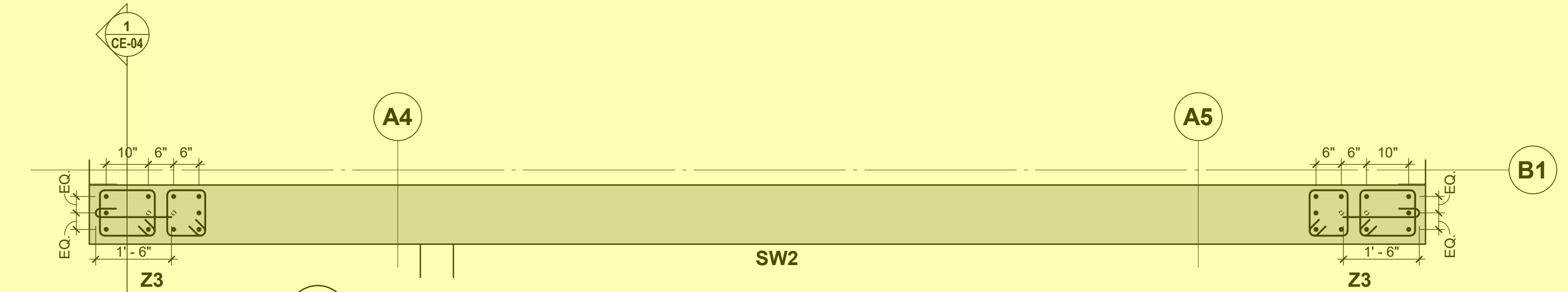
5 NORTH CORE PLAN
S1.13 1/2" = 1'-0"



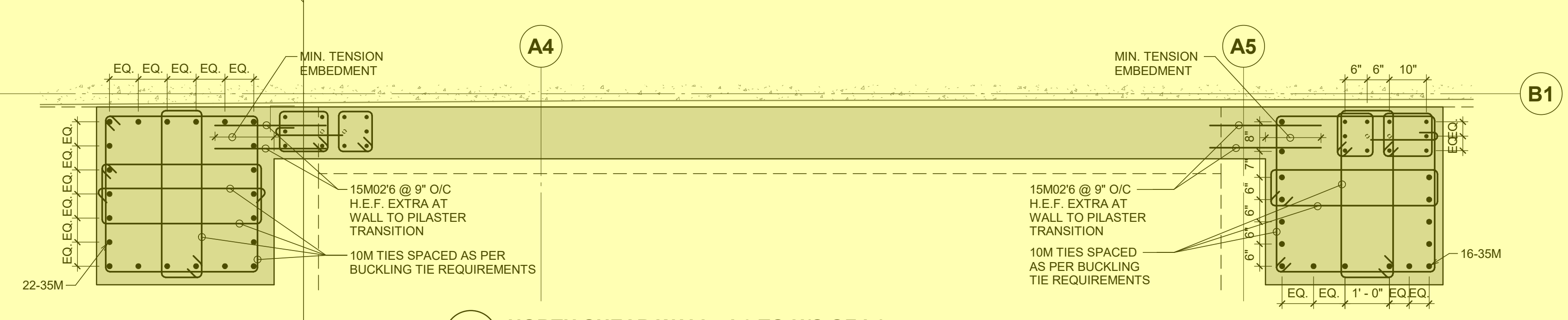
1 SHEAR WALL AT GL-B5 - L0 TO U/S OF L1
S1.13 1/2" = 1'-0"



2 SHEAR WALL AT GL-B5 - L1 TO ROOF
S1.13 1/2" = 1'-0"



3 NORTH SHEAR WALL - L1 TO ROOF
S1.13 1/2" = 1'-0"



4 NORTH SHEAR WALL - L0 TO U/S OF L1
S1.13 1/2" = 1'-0"

6 SOUTH CORE PLAN
S1.13 1/2" = 1'-0"

ADDITIONAL BARS FROM FOUNDATION TO ABOVE L1 ARE INDICATED THUS ○. REFER TO ZONE SCHEDULE (TYPICAL ALL ZONES).

ITEMS HIGHLIGHTED IN YELLOW ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS AND SUPPORT OF THE ADDITIONAL FLOORS ABOVE.
FOR COSTING PURPOSES 14.6% OF THE MATERIAL COST OF THE HIGHLIGHTED ITEMS ARE FOR SUPPORT OF THE HISTORIC ELEMENTS

No.	Revision	Date	By
5	Issued for Tender	2022-09-30	AP
4	Issued for Building Permit	2022-06-24	AP
3	90% Progress Set	2022-06-02	PM
2	Issued for 60% Review	2022-03-31	PM
1	Issued for 60% Review	2022-01-13	CP

- Drawing Notes**
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing" or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
Northern Junk

1314-1318 Wharf Street, Victoria B.C.

Sheet Title
SEISMIC KEY PLANS AND SCHEDULES

Drawn By **MC** Scale **As indicated**
Designed By **PM** Date **30/09/2022**
RJC Project Number **VIC.100479.0006**
Sheet Number **S1.13** Revision **5**

SEISMIC KEY PLAN NOTES

1. * - INDICATES THAT BUCKLING PREVENTION TIES SHALL BE USED THE FULL HEIGHT OF ZONE.

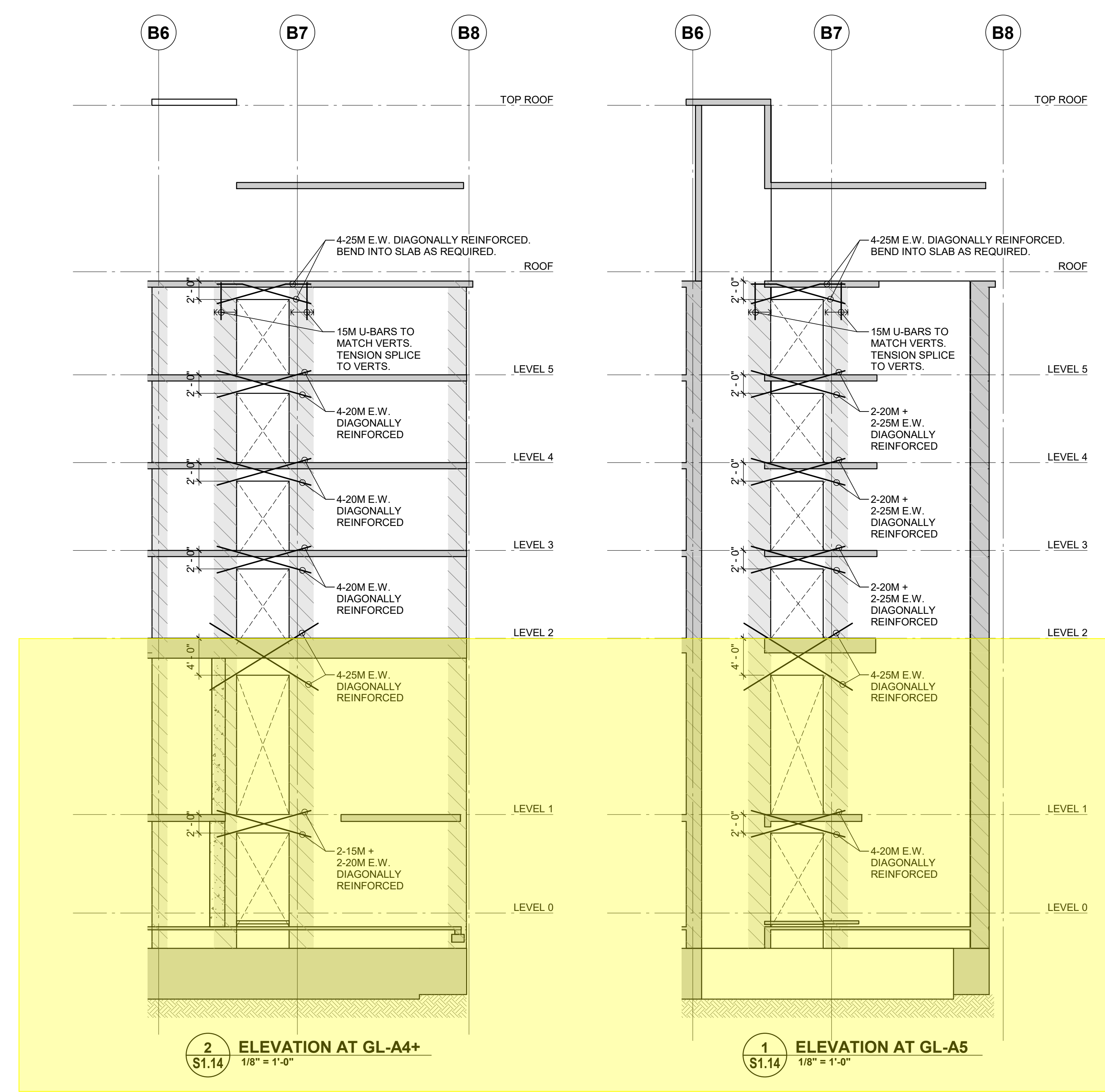
Read Jones Christoffersen Ltd.
Engineers
rjc.ca
645 Tye Road, Suite 220
Victoria, BC V9A 6X5 Canada
tel 250-386-7794
fax 250-381-7900

ITEMS HIGHLIGHTED IN YELLOW ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS AND SUPPORT OF THE ADDITIONAL FLOORS ABOVE.
FOR COSTING PURPOSES 14.6% OF THE MATERIAL COST OF THE HIGHLIGHTED ITEMS ARE FOR SUPPORT OF THE HISTORIC ELEMENTS

3	Issued for Tender	2022-09-30	AP
2	Issued for Building Permit	2022-06-24	AP
1	90% Progress Set	2022-06-02	PM
No.	Revision	Date	By

- Drawing Notes**
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



CONCRETE SHEAR WALL SCHEDULE										
SW9	SW8	SW7	SW6	SW5	SW4	SW3	SW2	SW1	CONCRETE STRENGTH	ELEMENT LEVEL
										ROOF
										LEVEL 5
										LEVEL 4
										LEVEL 3
				24" WALL 15M @ 10" V.E.F. 20M @ 6" H.E.F.	20" WALL 15M @ 12" V.E.F. 15M @ 10" H.E.F.		14" WALL 10M @ 8" V.E.F. 15M @ 12" H.E.F.		45 MPa U.I.O.	LEVEL 2
				ADD 15M@510 DOWELS @ 10" O.C				ADD 15M@36 DOWELS @ 12" O.C		LEVEL 1
				24" WALL 15M @ 10" V.E.F. 20M @ 6" HORIZ. (3-LAYERS)	20" WALL 15M @ 12" V.E.F. 20M @ 7" H.E.F.	20" WALL 15M @ 12" V.E.F. 15M @ 8" H.E.F.	14" WALL 10M @ 8" V.E.F. 15M @ 7" H.E.F.	12" WALL 10M @ 12" V.E.F. 20M @ 8" H.E.F.		LEVEL 0
10" WALL 15M @ 9" V.I.F. 15M @ 16" H.I.F.	10" WALL 15M @ 9" V.I.F. 10M @ 18" V.O.F. 10M @ 10" H.E.F.	20" WALL 20M @ 10" V.E.F. 15M @ 8" H.E.F.	14" WALL 10M @ 8" V.E.F. 15M @ 9" H.E.F.							PLASTIC HINGE ZONE

NOTE: - REFER TO ELEVATIONS FOR ADDITIONAL DOWEL REQUIREMENTS.

ZONE SCHEDULE						
Z6	Z5	Z4	Z3	Z2	Z1	ELEMENT LEVEL
						ROOF
	16-35M	12-30M	10-25M	8-20M		LEVEL 5
	16-35M	12-30M	10-25M	8-20M		LEVEL 4
	16-35M	12-30M	10-25M	8-20M		LEVEL 3
	16-35M	12-30M		8-20M		LEVEL 2
	8-35M	6-30M	5-25M	4-20M		LEVEL 1
8-20M	8-35M	4-30M*	6-30M	4-25M*	4-20M	LEVEL 0

NOTE: * - DENOTES ADDITIONAL VERTS FROM FOUNDATION TO SPLICE LENGTH ABOVE LEVEL 1. SEE KEY PLANS FOR LOCATIONS.

Project Name
Northern Junk
1314-1318 Wharf Street, Victoria B.C.
Sheet Title
SHEAR WALL ELEVATIONS

Drawn By **MC** Scale **As indicated**
Designed By **PM** Date **30/09/2022**
RJC Project Number **VIC.100479.0006**

Sheet Number **S1.14** Revision **3**

- ITEMS HIGHLIGHTED IN RED ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS
- ITEMS HIGHLIGHTED IN YELLOW ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS AND SUPPORT OF THE ADDITIONAL FLOORS ABOVE.
- ITEMS HIGHLIGHTED IN GREEN ARE REPURPOSED WOOD ELEMENTS FROM THE EXISTING FLOOR AND ROOF STRUCTURE
- THESE ITEMS ARE REQUIRED FOR RESTRAINT OF THE HERITAGE BUILDING

STRONG BACK SCHEDULE		
MARK	SIZE	COMMENTS
SB1	10" x 8" D.FIR No.1	RE-USE (E) TIMBER, IF AVAILABLE
SB2	12" x 10" D.FIR No.1	RE-USE (E) TIMBER, IF AVAILABLE
SB3	16" x 14" D.FIR No.1	RE-USE (E) TIMBER
SB4	HSS 6" x 6" x 0.250	
SB5	HSS 7" x 7" x 0.5	
SB6	HSS 8" x 8" x 0.5	

NOTE:
1. REUSED TIMBER SHALL BE GRADED PRIOR TO INSTALLATION.
2. SEE DETAILS 6/S4.02 AND 7/S4.02 FOR ADDITIONAL DETAILS.

ROCK ANCHOR SCHEDULE		
MARK	SIZE	COMMENTS
RA1	#18 DYWIDAG ROCK ANCHOR	HOT-ROLLED THREAD BAR
RA2	#20 DYWIDAG ROCK ANCHOR	HOT-ROLLED THREAD BAR
RA3	#24 DYWIDAG ROCK ANCHOR	COLD-ROLLED THREAD BAR
RA4	#28 DYWIDAG ROCK ANCHOR	COLD-ROLLED THREAD BAR

NOTE:
1. fy = 550 MPa PER CSA G30.18
2. SEE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS

GRADE BEAM SCHEDULE		
MARK	SIZE	REINFORCING
GB1	4'-0" x 5'-0" DEEP	12-30M H.2.E. TOP; 10-25M H.2.E. BOT. 15M (8-LEGS) STIRRUPS @ 16"
GB2	4'-0" x 5'-6" DEEP	10-25M H.2.E. TOP; 12-35M H.2.E. BOT. 10M (8-LEGS) STIRRUPS @ 16"
GB3	5'-0" x 5'-6" DEEP	14-35M TOP; 20-35M BOT. 15M (10-LEGS) STIRRUPS @ 8"

NOTE: fc = 45MPa U.N.O.

CONCRETE COLUMN SCHEDULE		
MARK	SIZE	REINFORCING
CC1	24" Ø	8-25M VERT. 10M @ 6" TIES
CC2	30" Ø	12-25M VERT. 10M @ 6" TIES
CC3	16" x 28"	12-20M VERT. 10M @ 4 1/2" TIES
CC4	16" Ø	6-20M VERT. 10M @ 4 1/2" TIES
CC5	10" x 24"	10-25M VERT. 10M @ 5" TIES

NOTE: 1. (TR) DENOTES TRANSFER COLUMN

PAD FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
PF1	2'-6" x 3'-6" x 16" DEEP	4-20M H.2.E. L.W. BOT. 7-20M H.2.E. S.W. BOT.
PF2	3'-6" x 3'-6" x 16" DEEP	5-20M H.2.E. E.W. BOT.
PF3	2'-6" x 6'-6" x 30" DEEP	6-25M H.2.E. L.W. BOT. 10-20M H.2.E. S.W. BOT.
PF4	2'-6" x 3'-0" x 16" DEEP	4-20M H.2.E. E.W. BOT.
PF5	4'-4" x 8'-5" x 32" DEEP	10-35M H.2.E. L.W. BOT. 12-20M H.2.E. S.W. BOT.
PF6	2'-4" x 6'-0" x 36" DEEP	5-20M H.2.E. L.W. BOT. 6-20M H.2.E. S.W. BOT.
PF7	4'-4" x 14'-0" x 48" DEEP	20-35M H.2.E. (2 LAYERS) L.W. BOT. 10-20M H.2.E. L.W. TOP 16-20M H.2.E. S.W. TOP AND BOT.

STRIP FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
SF1	1-4" x 10" DEEP x CONT.	2-15M CONT. BOT.
SF2	1-6" x 12" DEEP x CONT.	2-15M CONT. BOT.
SF3	2-8" x 1'-8" DEEP x CONT.	4-25M H.2.E. TOP AND BOT. 10M (4 LEG) STIRRUPS @ 8" O.C.

No.	Revision	Date	By
5	Issued for Tender	2022-09-30	AP
4	Issued for Building Permit	2022-06-24	AP
3	90% Progress Set	2022-06-02	PM
2	Issued for 60% Review	2022-03-31	PM
1	Issued for 60% Review	2022-01-13	CP

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

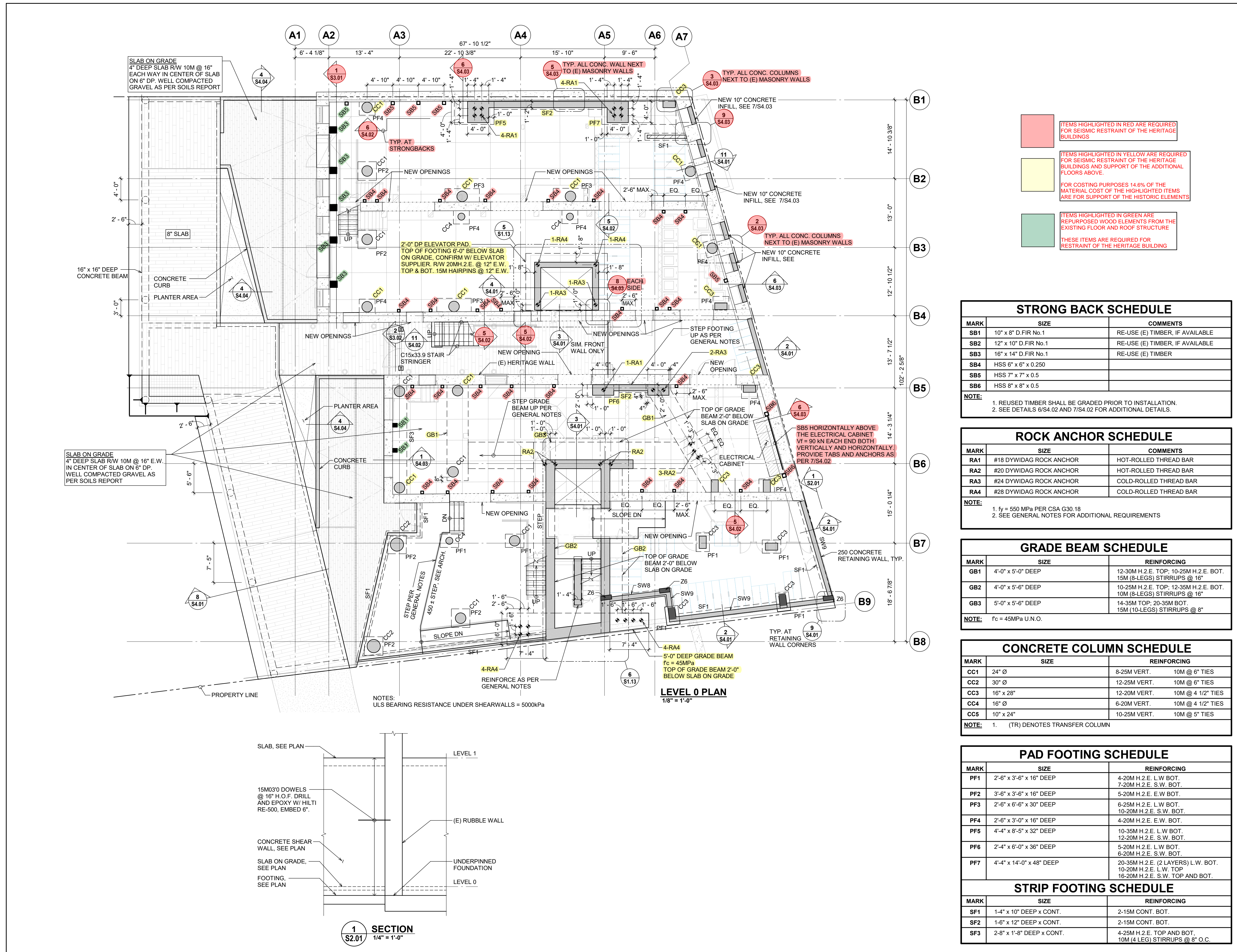
Project Name
Northern Junk

1314-1318 Wharf Street, Victoria B.C.

Sheet Title
LEVEL 0 CONCRETE OUTLINE PLAN

Drawn By **MC** Scale **As Indicated**
Designed By **PM** Date **30/09/2022**
RJC Project Number **VIC.100479.0006**
Sheet Number **S2.01** Revision

Drawn By **MC** Scale **As Indicated**
Designed By **PM** Date **30/09/2022**
RJC Project Number **VIC.100479.0006**
Sheet Number **S2.01** Revision





- ITEMS HIGHLIGHTED IN RED ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS
- ITEMS HIGHLIGHTED IN YELLOW ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS AND SUPPORT OF THE ADDITIONAL FLOORS ABOVE.
- FOR COSTING PURPOSES 14.6% OF THE MATERIAL COST OF THE HIGHLIGHTED ITEMS ARE FOR SUPPORT OF THE HISTORIC ELEMENTS
- ITEMS HIGHLIGHTED IN GREEN ARE REPURPOSED WOOD ELEMENTS FROM THE EXISTING FLOOR AND ROOF STRUCTURE
- ITEMS HIGHLIGHTED IN BLUE ARE EFFORTS TO REINSTATE THE ORIGINAL HERITAGE FACADE WHICH WAS DEMOLISHED PRIOR TO THIS OWNER

5	Issued for Tender	2022-09-30	AP
4	Issued for Building Permit	2022-06-24	AP
3	90% Progress Set	2022-06-02	PM
2	Issued for 60% Review	2022-03-31	PM
1	Issued for 60% Review	2022-01-13	CP

- Drawing Notes**
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

COLUMN DOWEL SCHEDULE	
MARK	REINFORCING
CD1	2-25M OR EQUIVALENT

NOTES:

- REINFORCING NOTED IN SCHEDULE IS THE MINIMUM AMOUNT OF REINFORCEMENT REQUIRED IN THE COLUMN OVERLAP
- COLUMN VERTS. FROM BELOW SHALL EXTEND THROUGH THE OVERLAP ZONE WHERE POSSIBLE PER GENERAL NOTES.

OVERLAP ZONE
COLUMN ABOVE
TIES NOT SHOWN FOR CLARITY, SEE SCHEDULE
EQUIVALENT AREA OF STEEL SHALL BE AT LEAST THE AMOUNT NOTED
EXTEND VERTS WHERE POSSIBLE
DOWELS CENTERED IN SLAB DEPTH AS REQUIRED
COLUMN BELOW

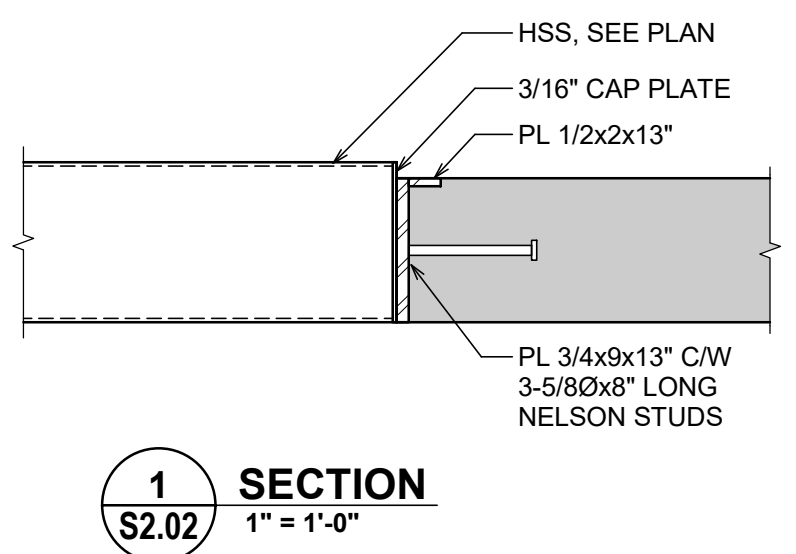
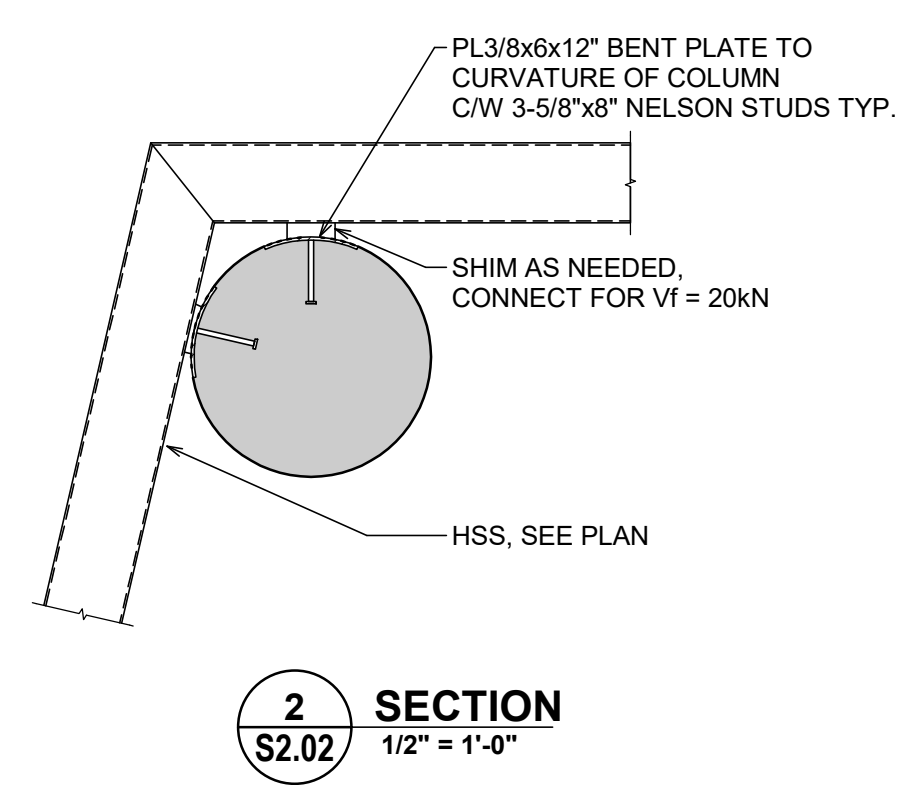
STRONGBACK SCHEDULE		
MARK	SIZE	COMMENTS
SB1	10" x 8" D.FIR No.1	RE-USE (E) TIMBER, IF AVAILABLE
SB2	12" x 10" D.FIR No.1	RE-USE (E) TIMBER, IF AVAILABLE
SB3	16" x 14" D.FIR No.1	RE-USE (E) TIMBER
SB4	HSS 6" x 6" x 0.250	
SB5	HSS 7" x 7" x 0.5	
SB6	HSS 8" x 8" x 0.5	

NOTE:

- REUSED TIMBER SHALL BE GRADED PRIOR TO INSTALLATION.
- SEE DETAILS 6/S4.02 AND 7/S4.02 FOR ADDITIONAL DETAILS.

CONCRETE COLUMN SCHEDULE		
MARK	SIZE	REINFORCING
CC1	24" Ø	8-25M VERT. 10M @ 6" TIES
CC2	30" Ø	12-25M VERT. 10M @ 6" TIES
CC3	16" x 28"	12-20M VERT. 10M @ 4 1/2" TIES
CC4	16" Ø	6-20M VERT. 10M @ 4 1/2" TIES
CC5	10" x 24"	10-25M VERT. 10M @ 5" TIES

NOTE: 1. (TR) DENOTES TRANSFER COLUMN



Project Name
Northern Junk

1314-1318 Wharf Street, Victoria B.C.

Sheet Title
LEVEL 1 CONCRETE OUTLINE PLAN

Drawn By **MC** Scale **As Indicated**
Designed By **PM** Date **30/09/2022**
RJC Project Number **VIC.100479.0006**

Sheet Number **S2.02** Revision **5**

ITEMS HIGHLIGHTED IN GREEN ARE
REPURPOSED WOOD ELEMENTS FROM THE
EXISTING FLOOR AND ROOF STRUCTURE
THESE ITEMS ARE REQUIRED FOR
RESTRAINT OF THE HERITAGE BUILDING

No.	Revision	Date	By
5	Issued for Tender	2022-09-30	AP
4	Issued for Building Permit	2022-06-24	AP
3	90% Progress Set	2022-06-02	PM
2	Issued for 60% Review	2022-03-31	PM
1	Issued for 60% Review	2022-01-13	CP

- Drawing Notes
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

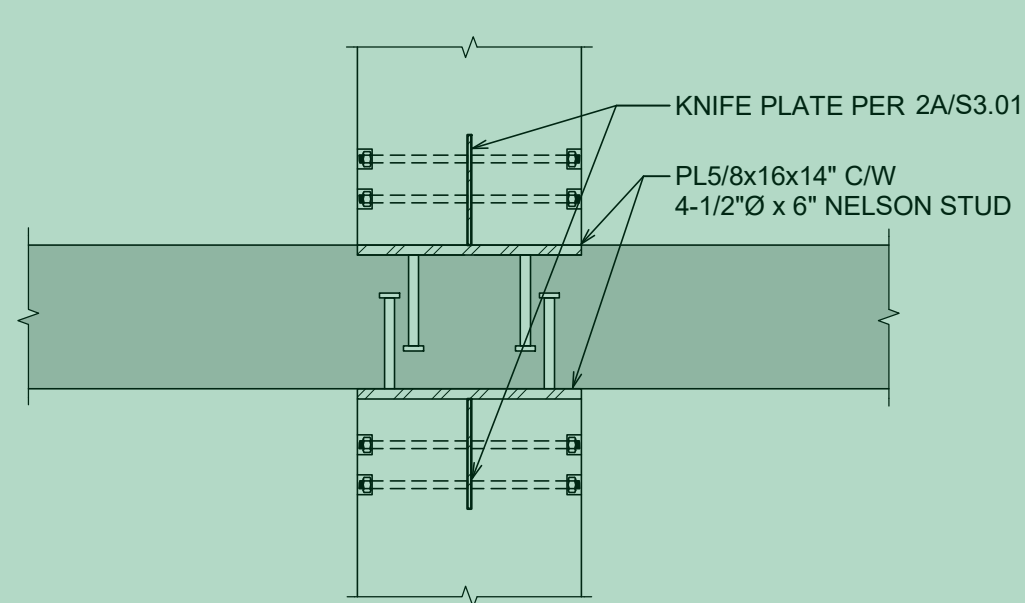
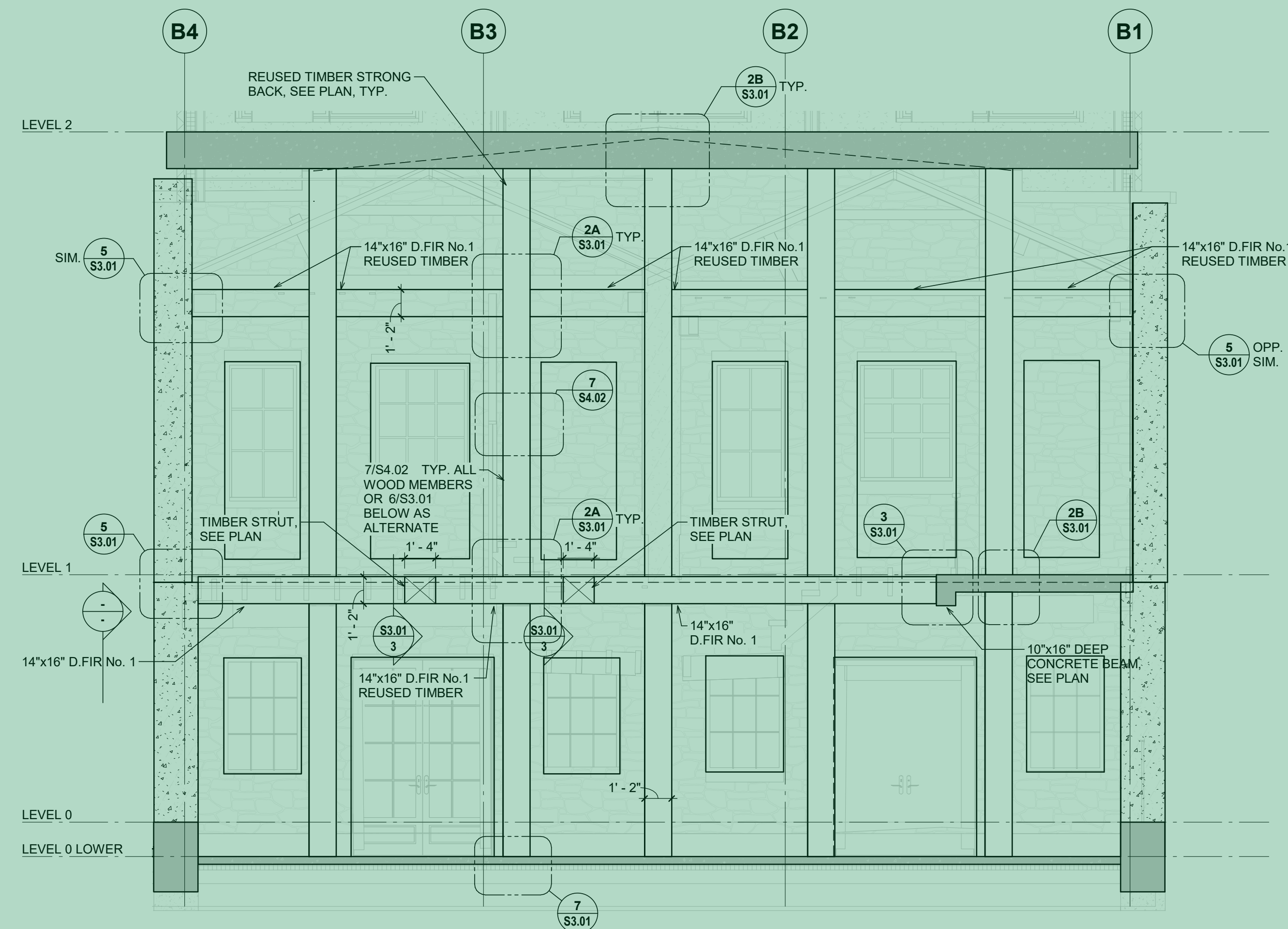
Seal

Project Name
Northern Junk

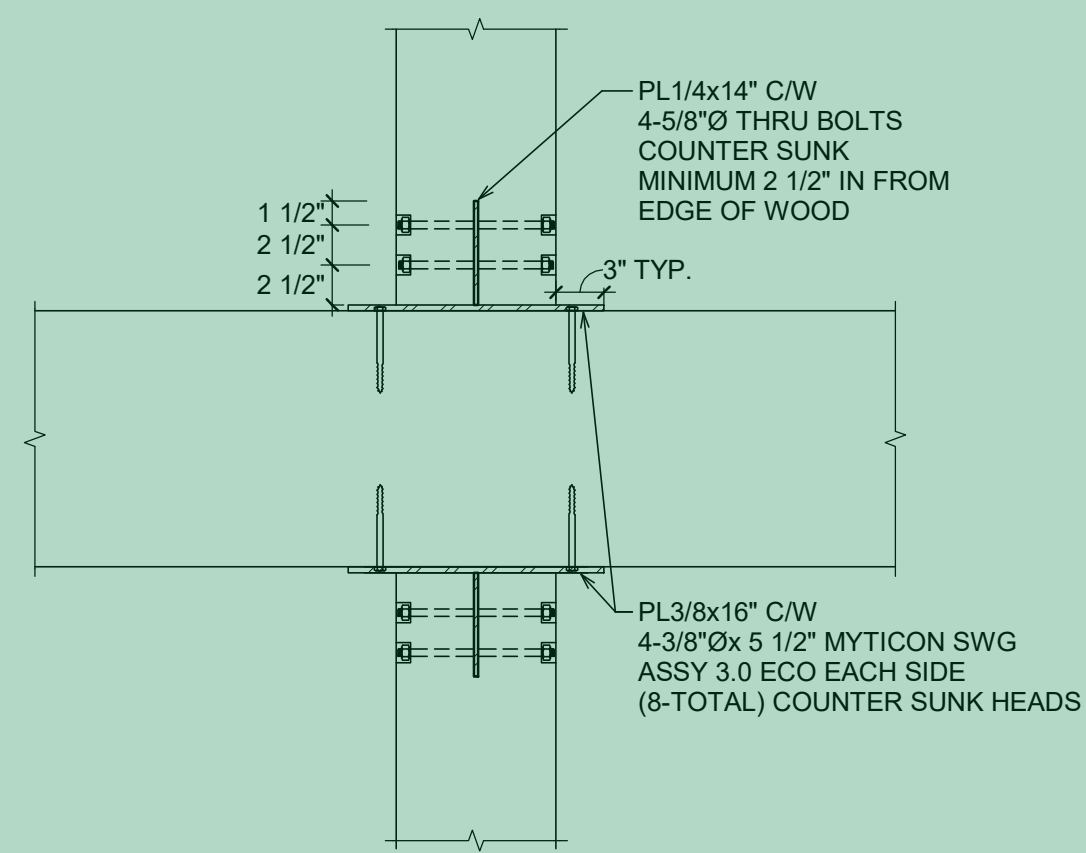
1314-1318 Wharf Street, Victoria B.C.
Sheet Title
ELEVATIONS

Drawn By **MC** Scale **As Indicated**
Designed By **PM** Date **30/09/2022**
RJC Project Number **VIC.100479.0006**

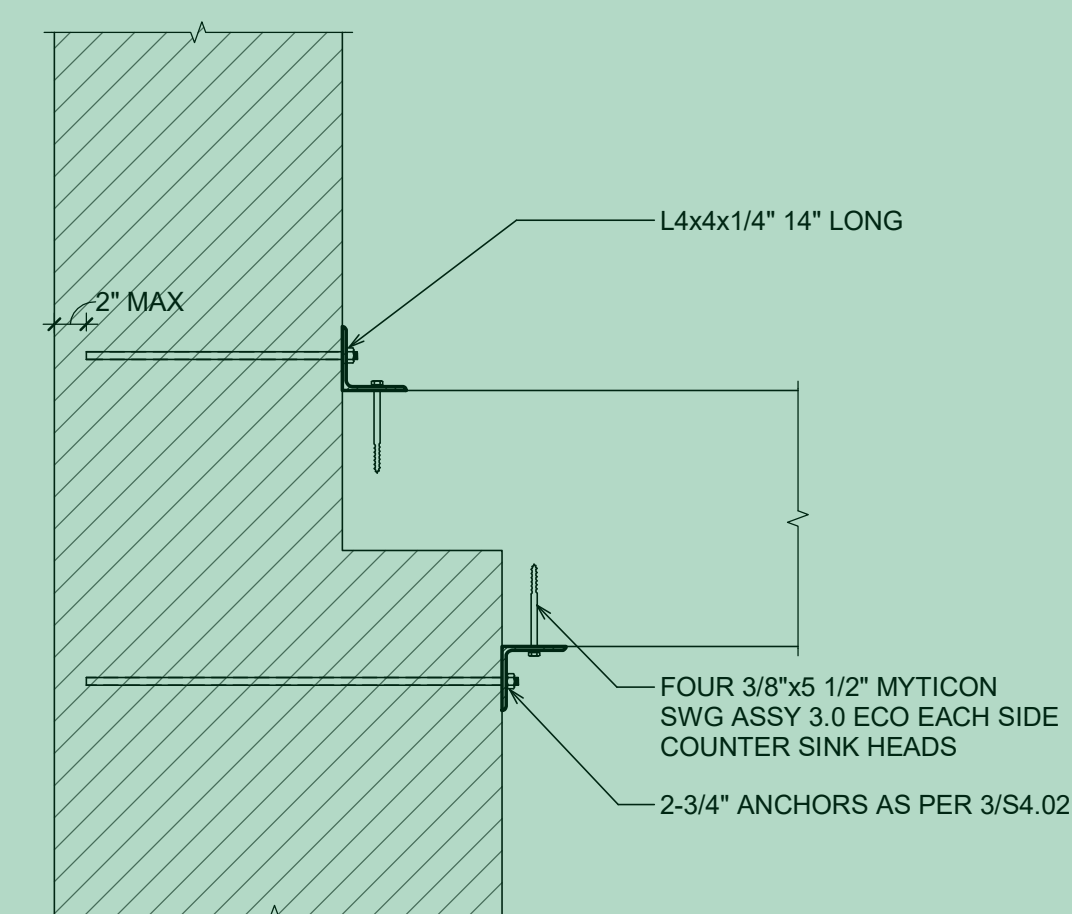
Sheet Number **S3.01** Revision **5**



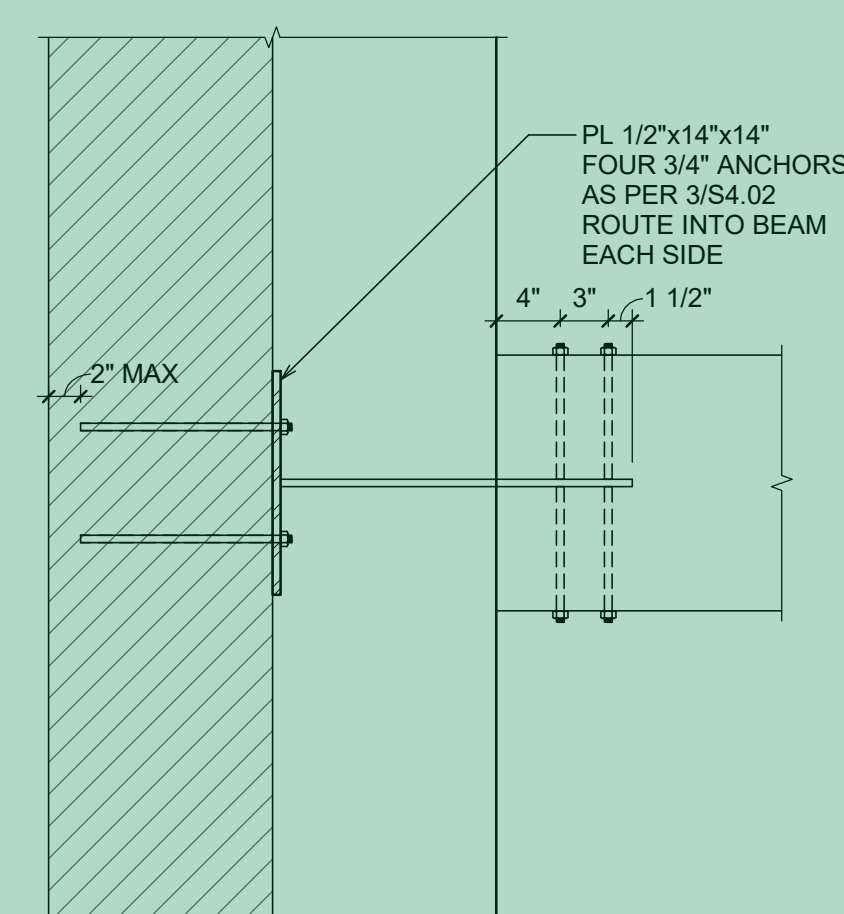
2B SECTION
S3.01 1" = 1'-0"



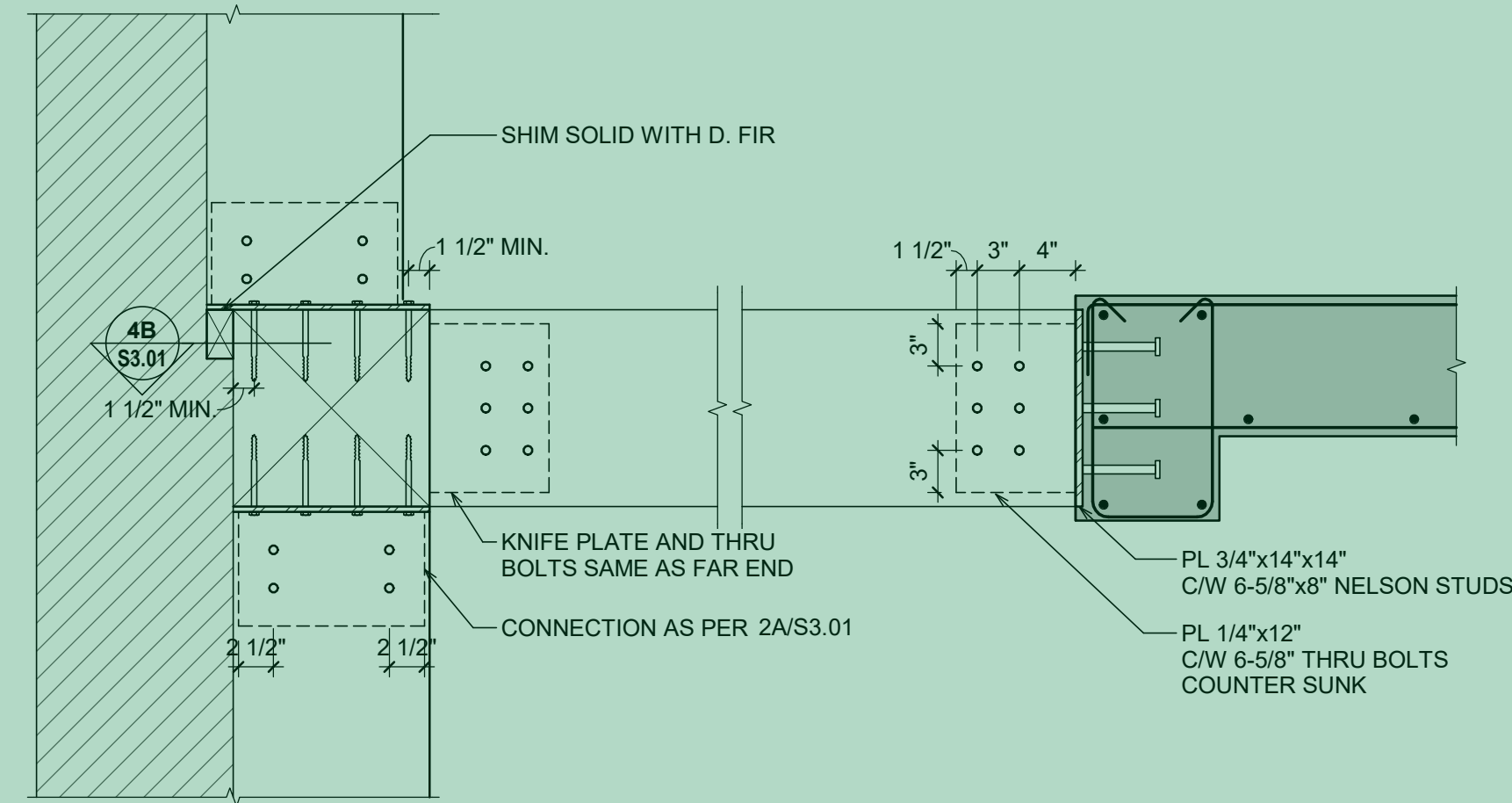
2A SECTION
S3.01 1" = 1'-0"



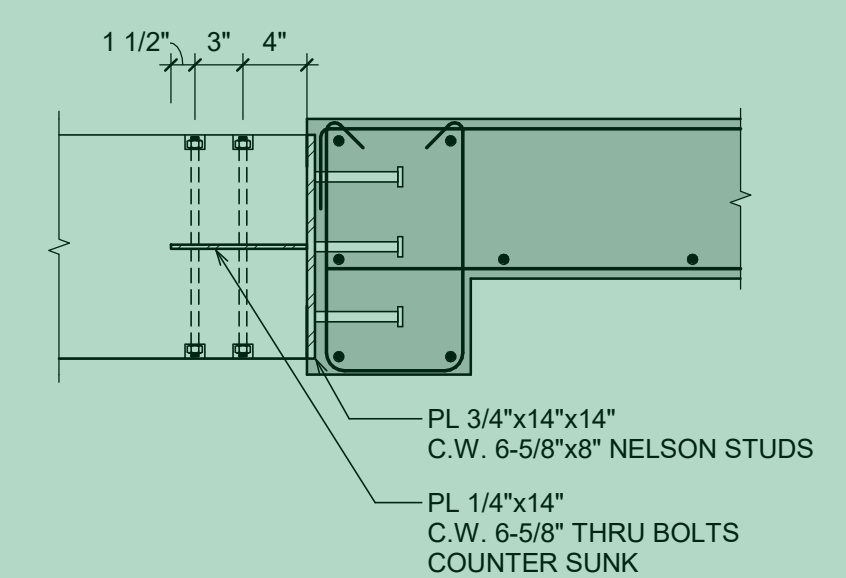
5 SECTION
S3.01 1" = 1'-0"



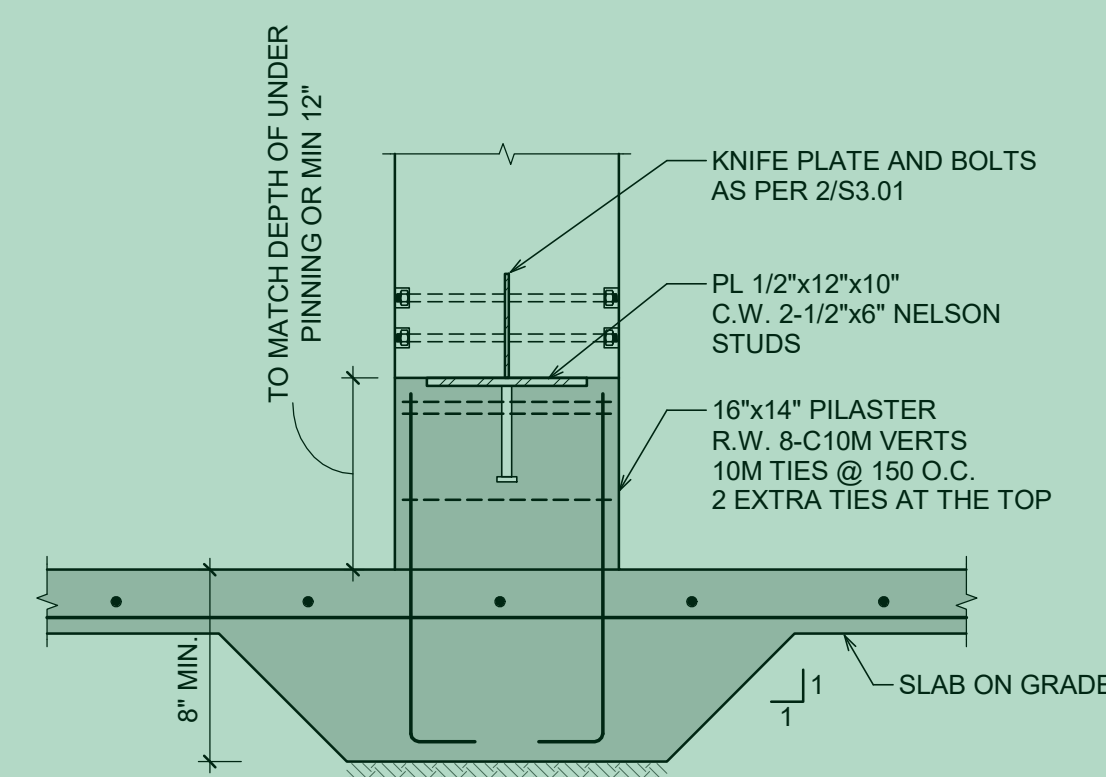
4B SECTION
S3.01 1" = 1'-0"



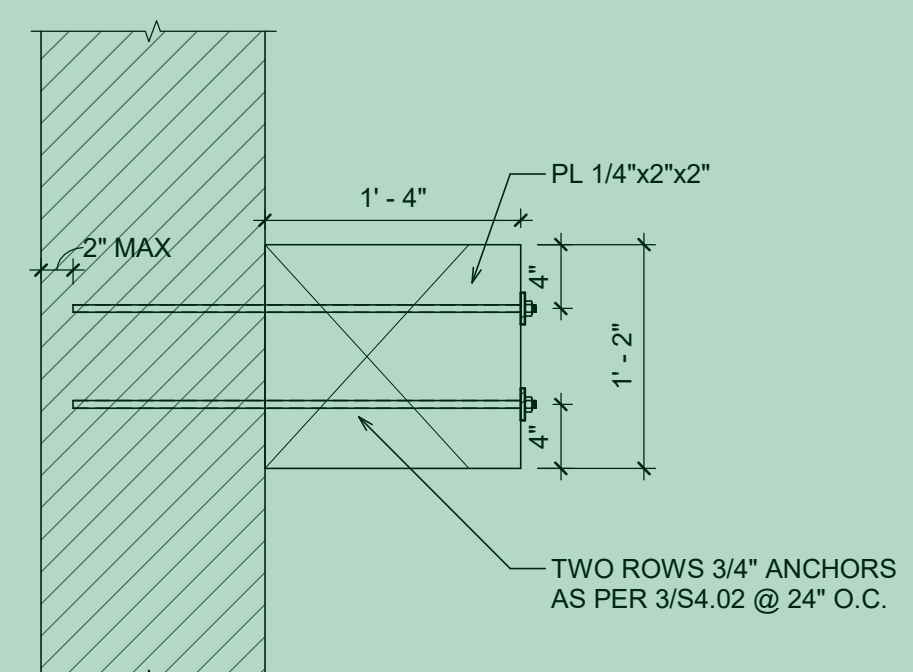
4A SECTION
S3.01 1" = 1'-0"



3 SECTION
S3.01 1" = 1'-0"



7 SECTION
S3.01 1" = 1'-0"



6 SECTION
S3.01 1" = 1'-0"

- ITEMS HIGHLIGHTED IN RED ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS
- ITEMS HIGHLIGHTED IN YELLOW ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS AND SUPPORT OF THE ADDITIONAL FLOORS ABOVE.
FOR COSTING PURPOSES 14.6% OF THE MATERIAL COST OF THE HIGHLIGHTED ITEMS ARE FOR SUPPORT OF THE HISTORIC ELEMENTS
- ITEMS HIGHLIGHTED IN BLUE ARE EFFORTS TO REINSTATE THE ORIGINAL HERITAGE FACADE WHICH WAS DEMOLISHED PRIOR TO THIS OWNER

No.	Revision	Date	By
5	Issued for Tender	2022-09-30	AP
4	Issued for Building Permit	2022-06-24	AP
3	90% Progress Set	2022-06-02	PM
2	Issued for 60% Review	2022-03-31	PM
1	Issued for 60% Review	2022-01-13	CP

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing" or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

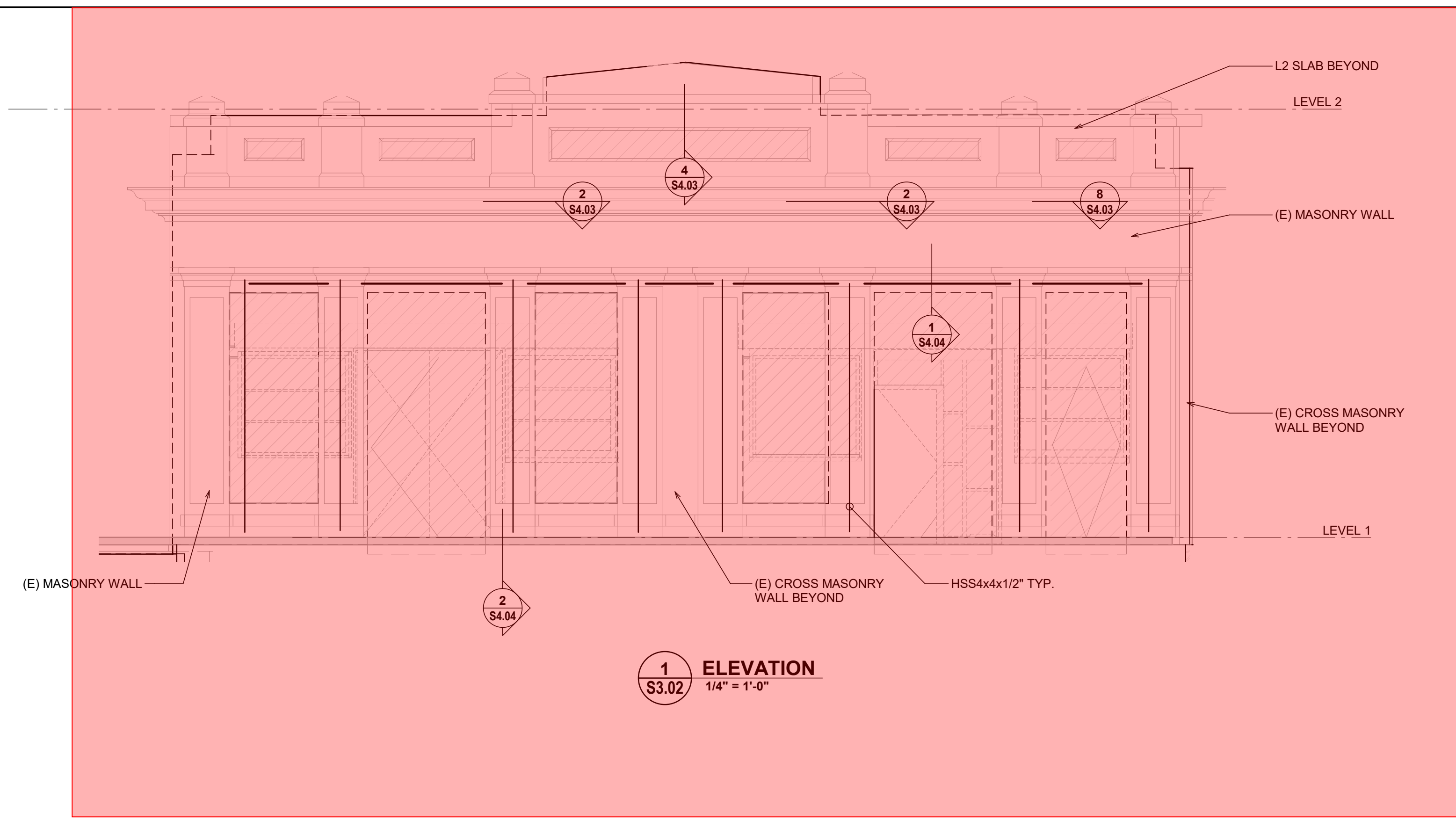
Project Name
Northern Junk

1314-1318 Wharf Street, Victoria B.C.

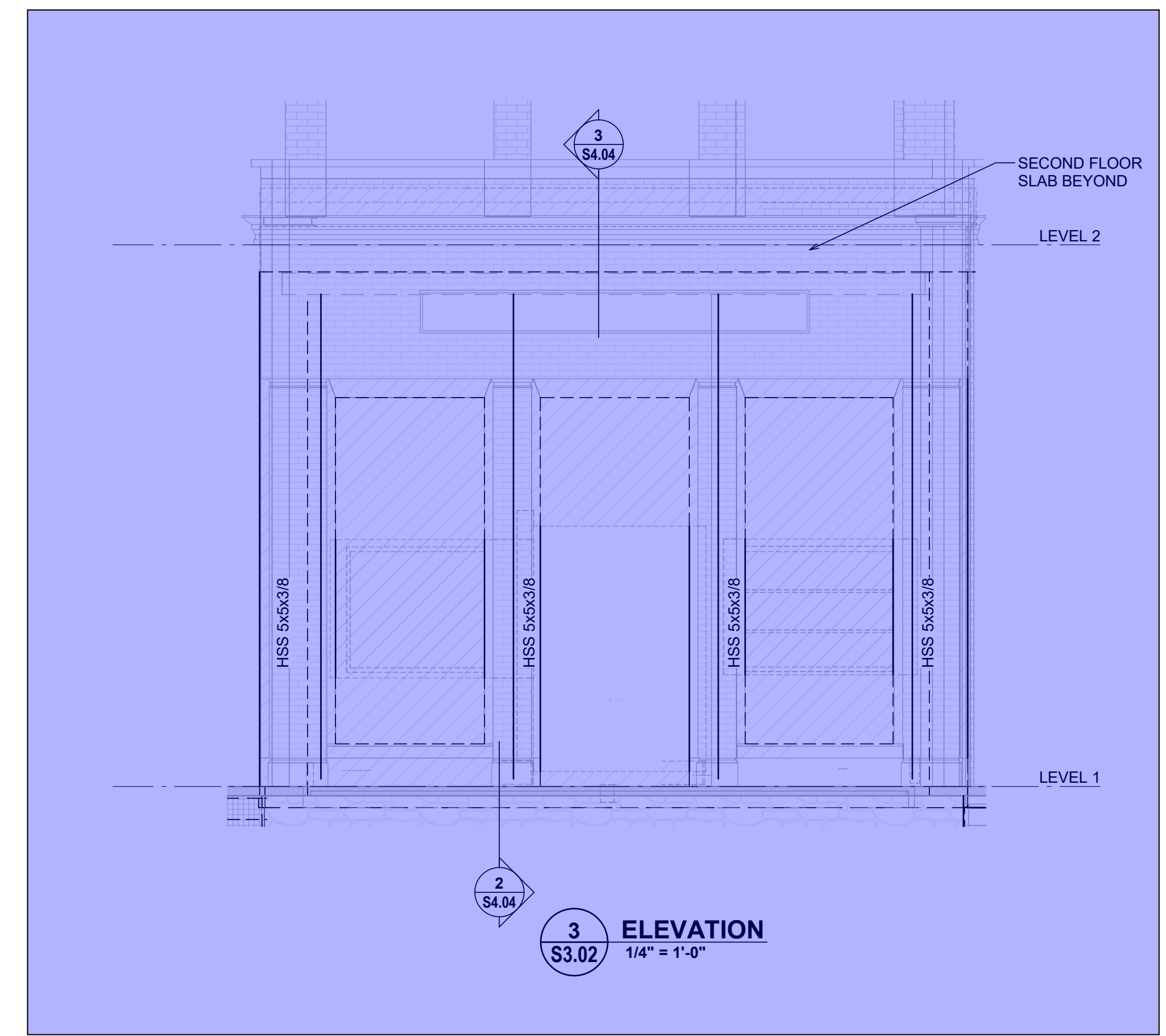
Sheet Title
ELEVATIONS

Drawn By **MC** Scale **As indicated**
Designed By **PM** Date **30/09/2022**
RJC Project Number **VIC.100479.0006**

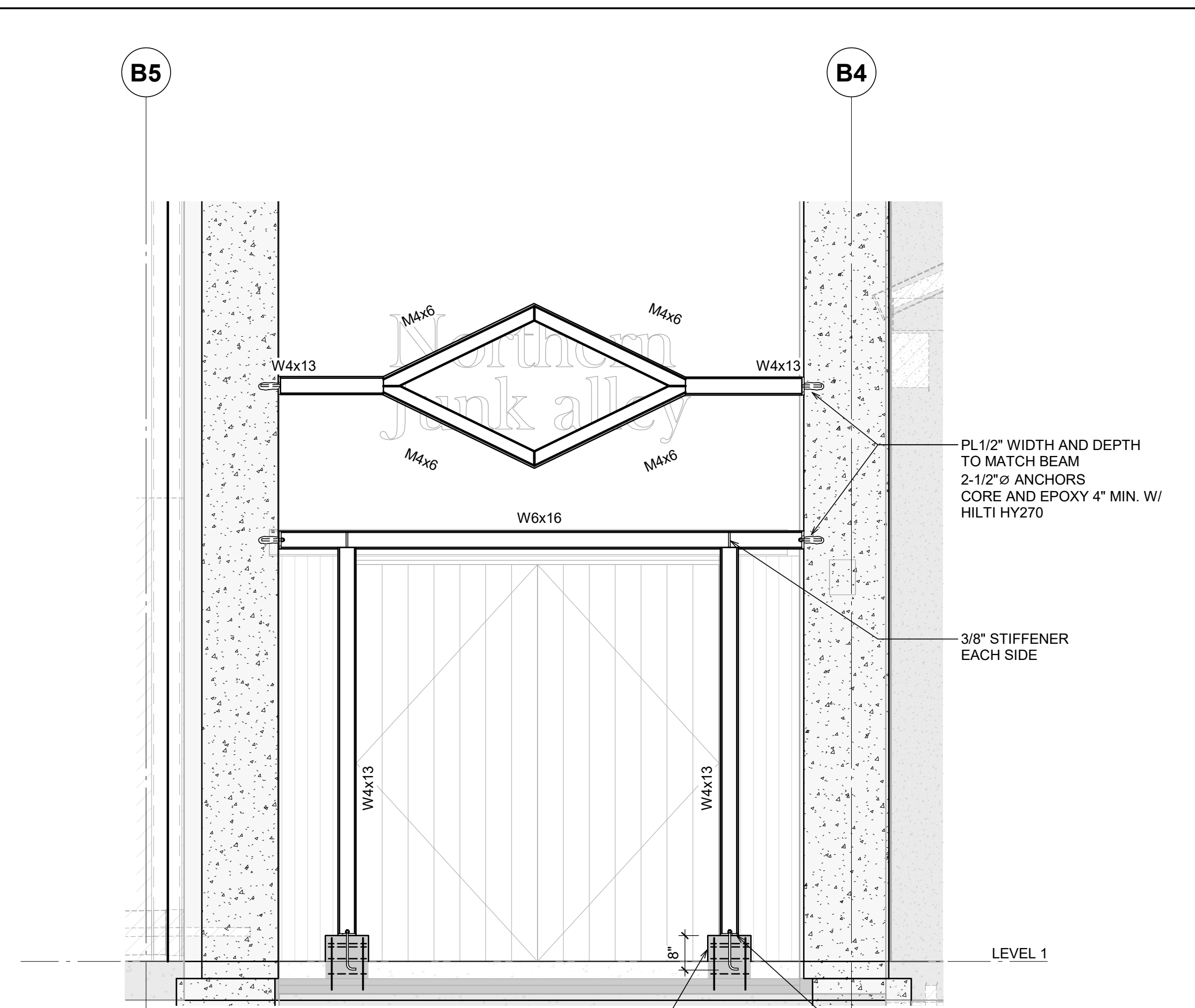
Sheet Number **S3.02** Revision **5**



1 ELEVATION
S3.02 1/4" = 1'-0"



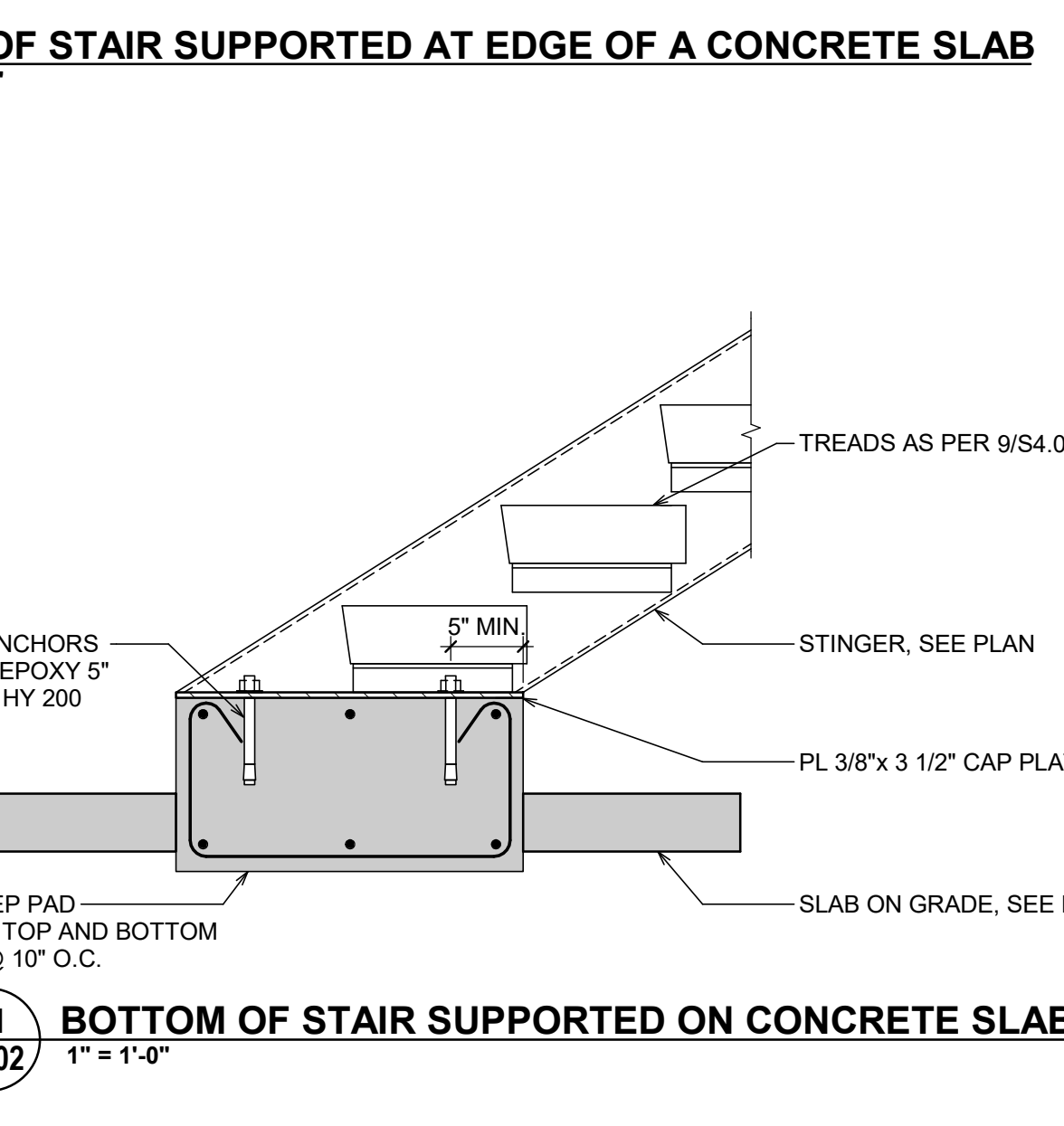
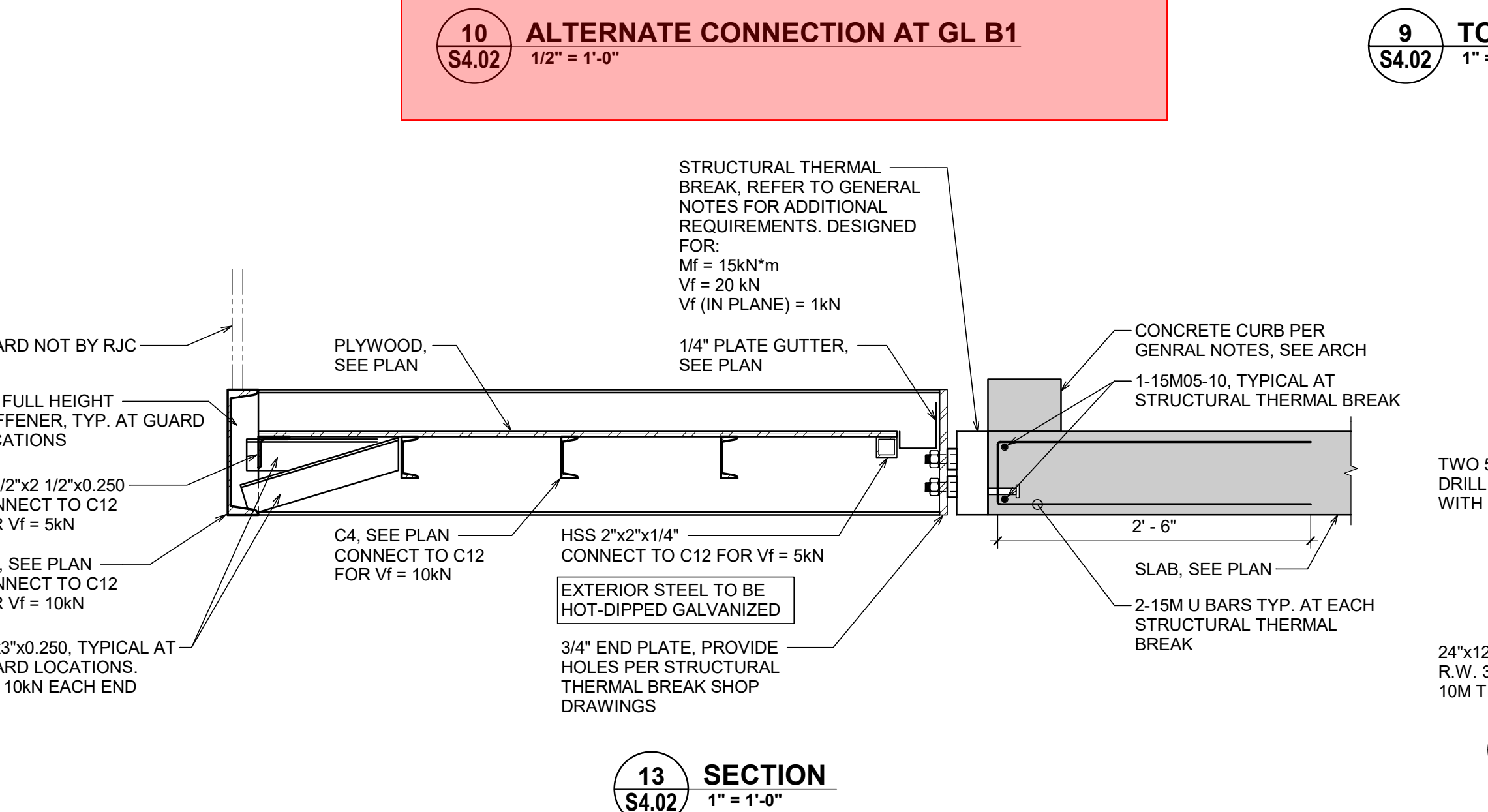
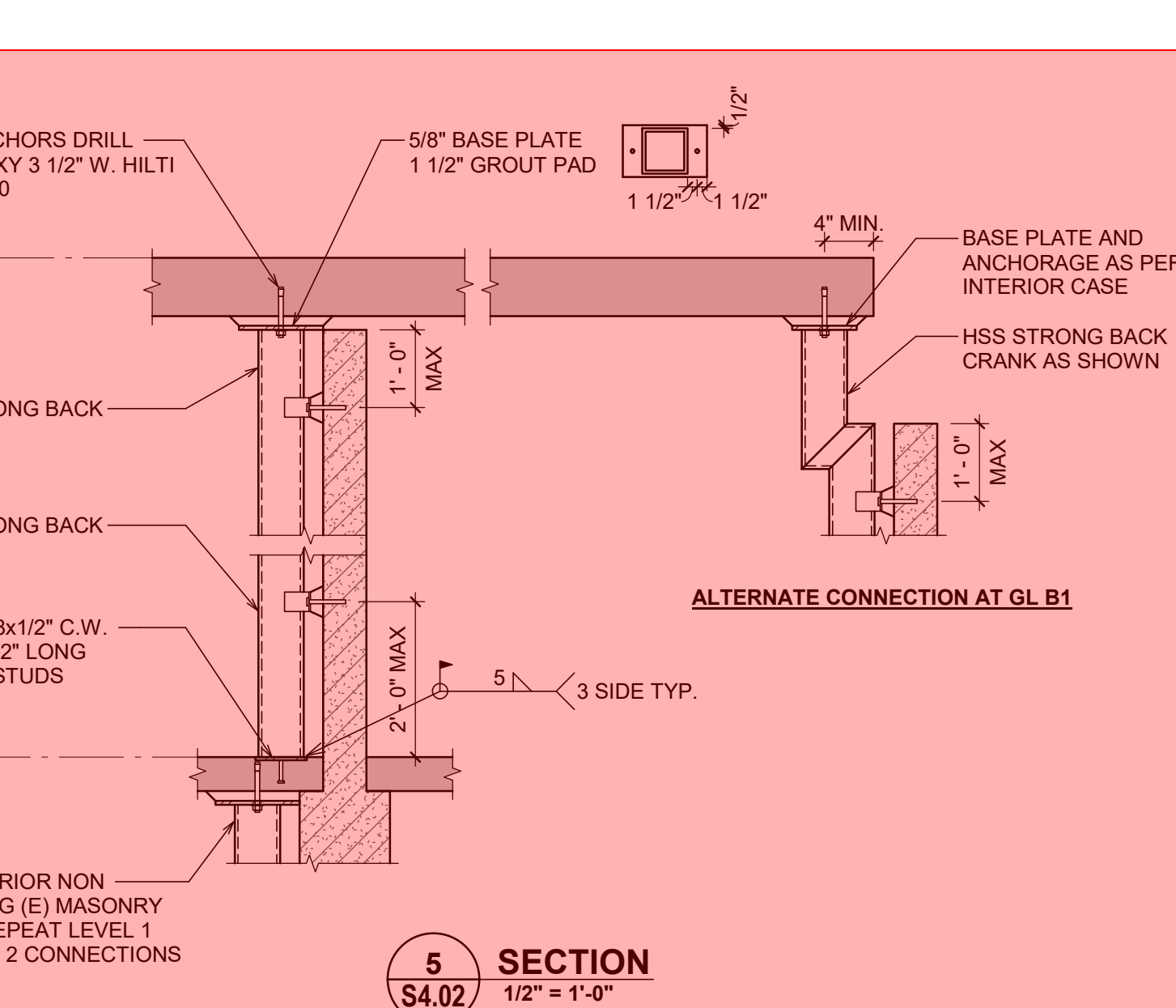
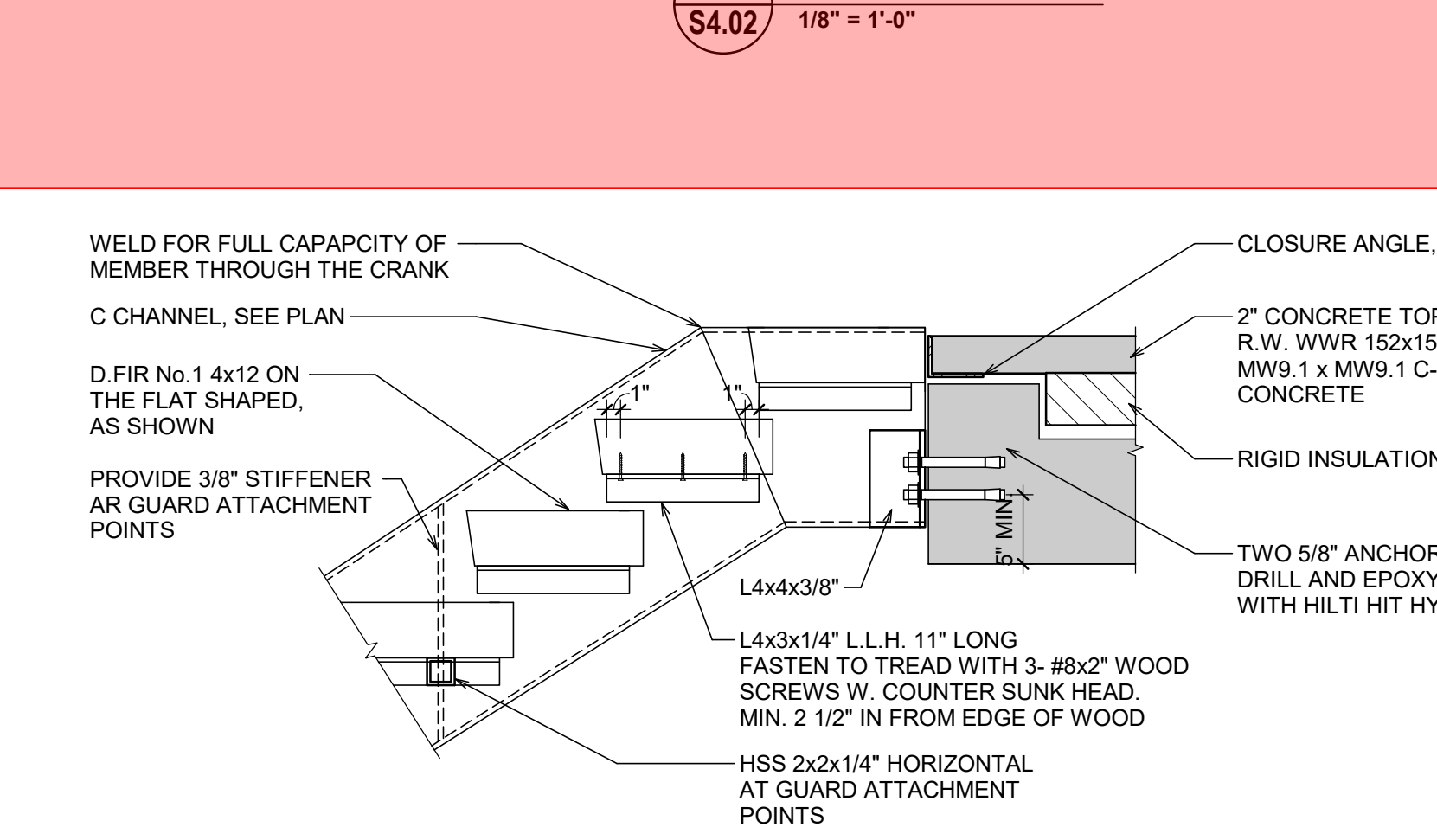
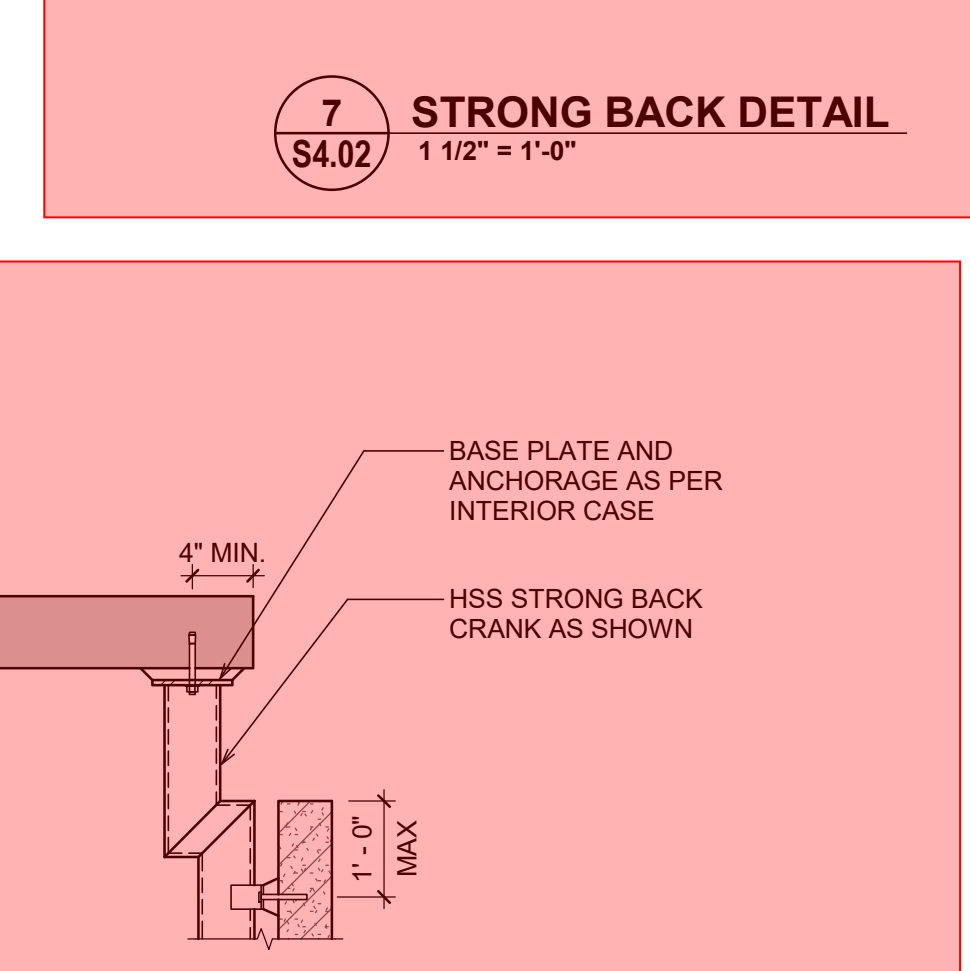
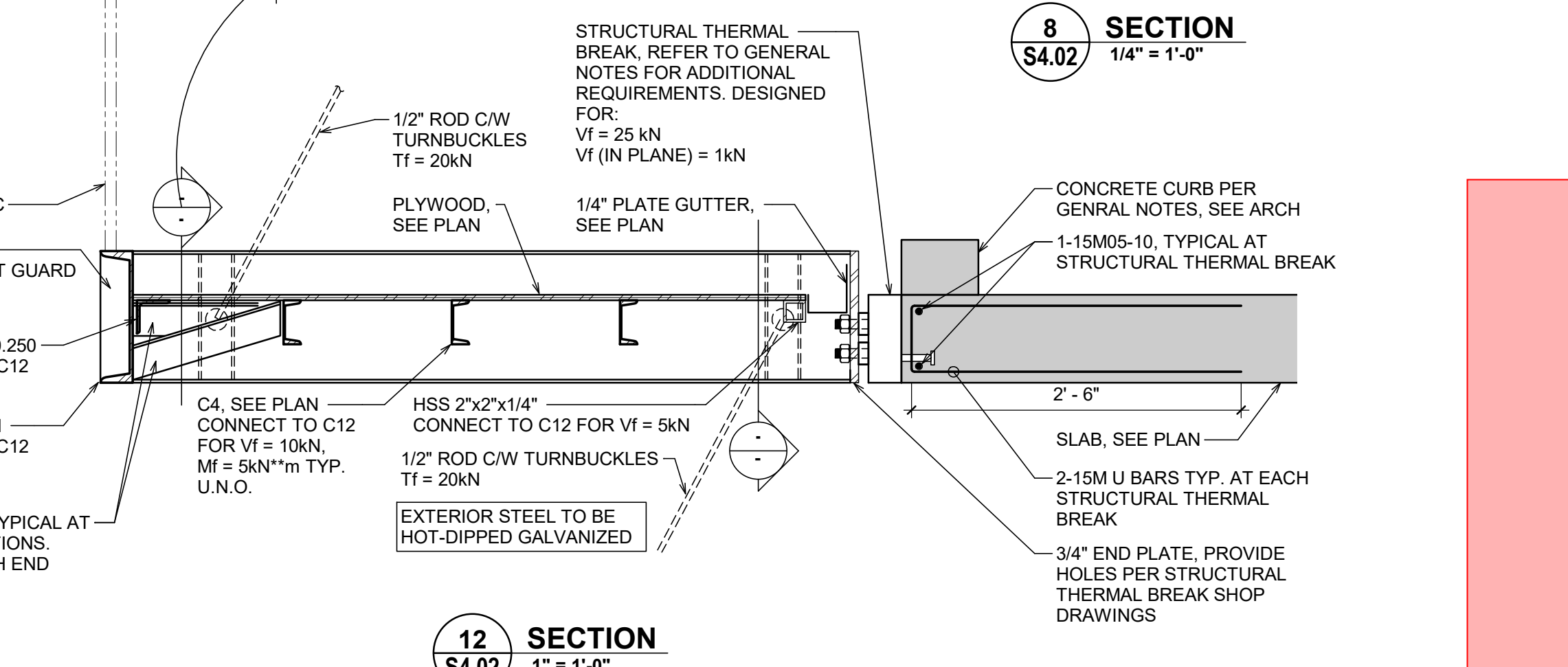
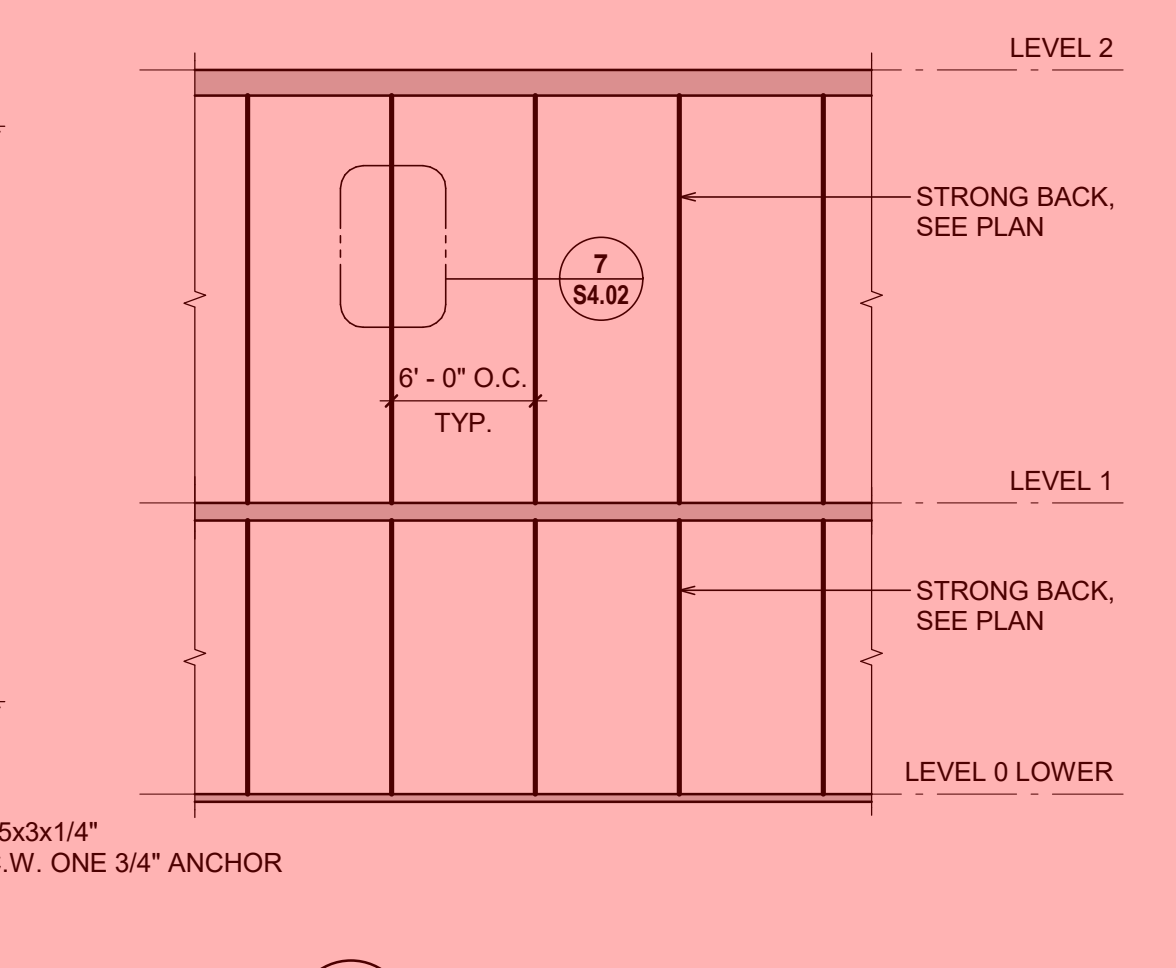
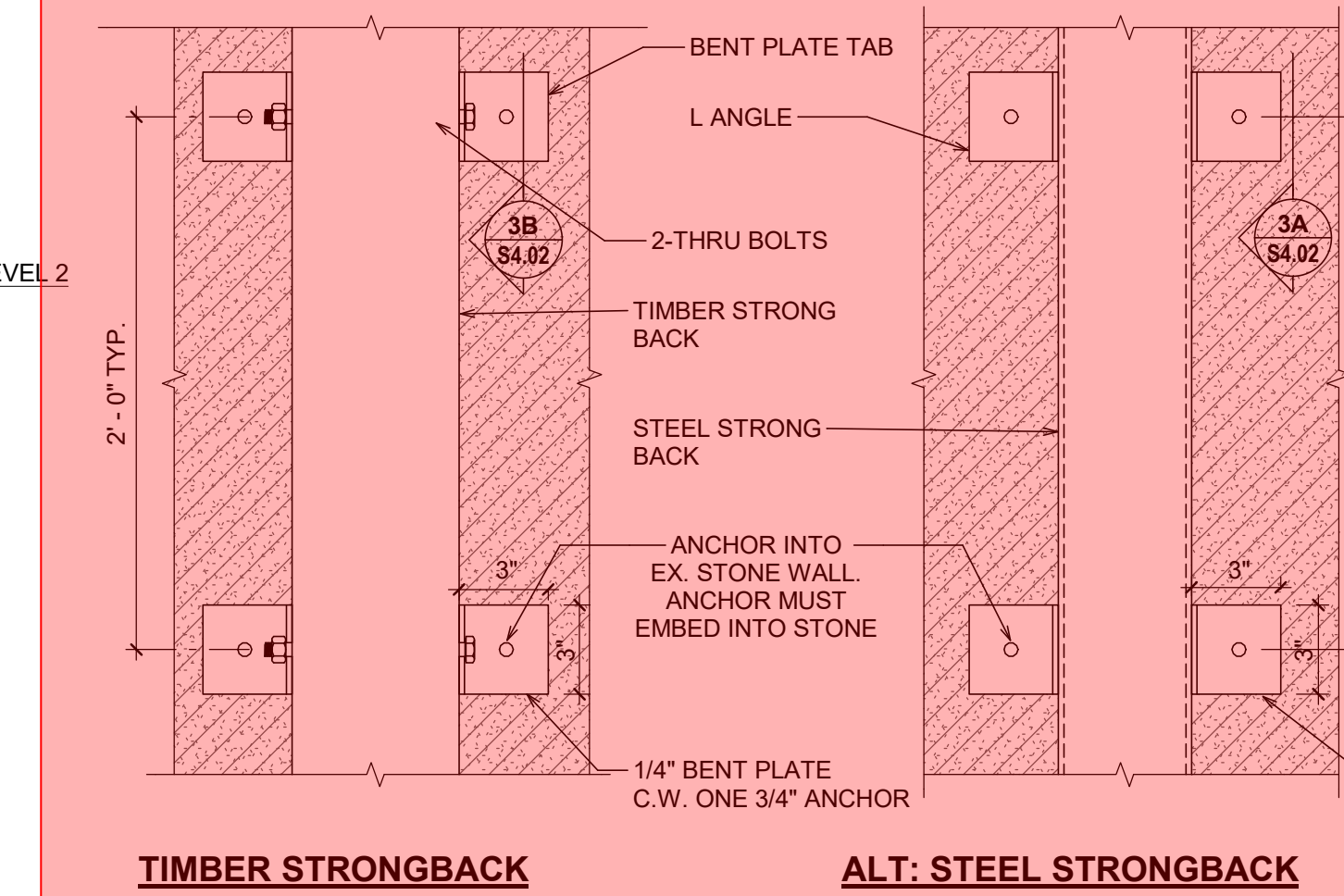
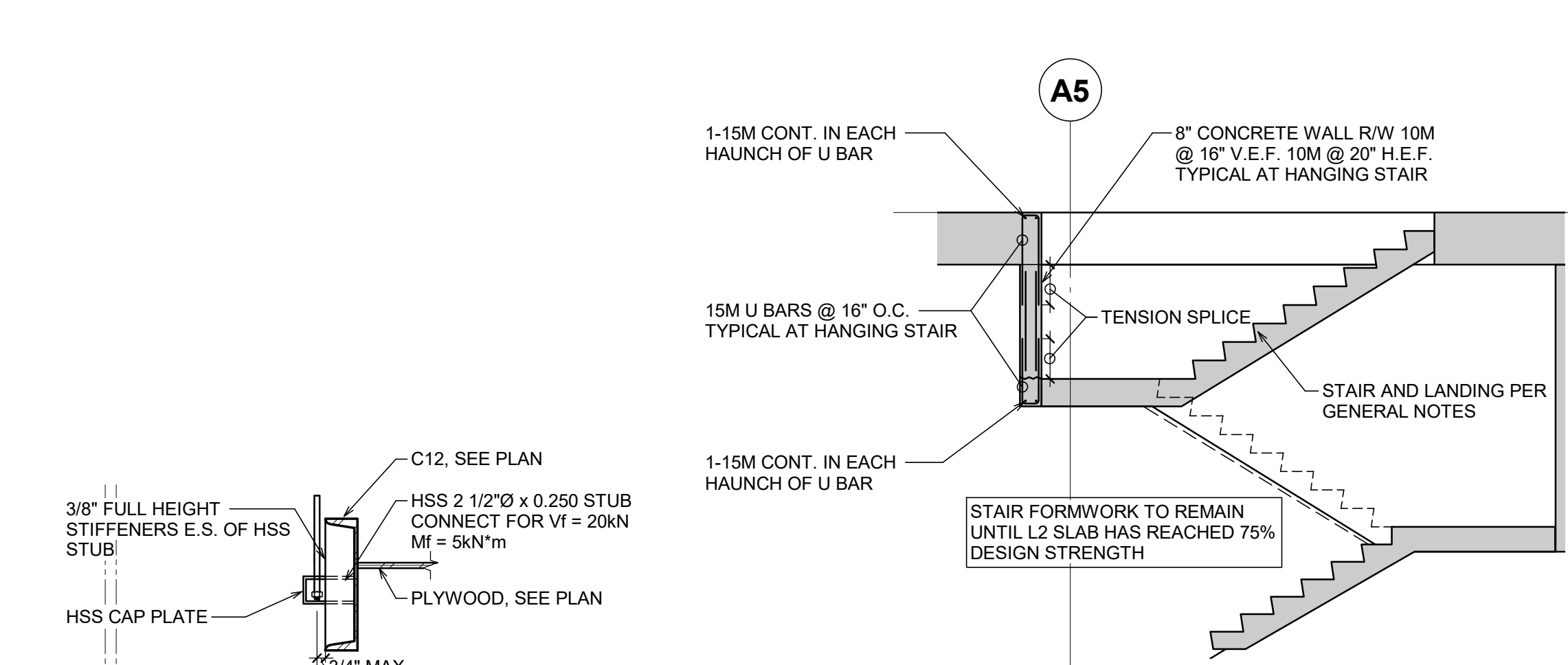
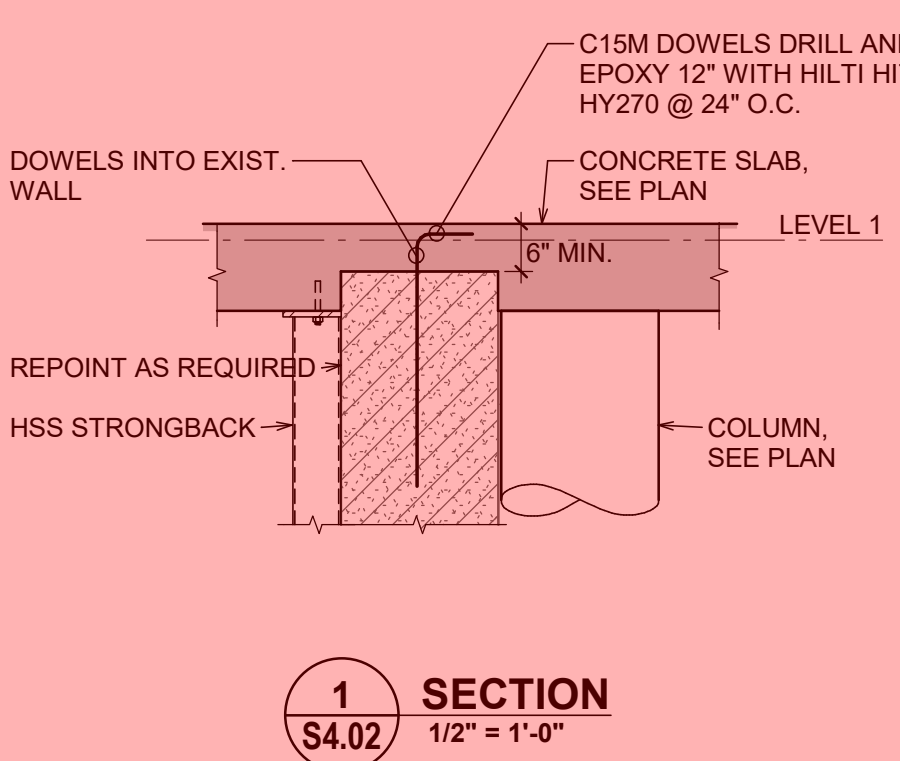
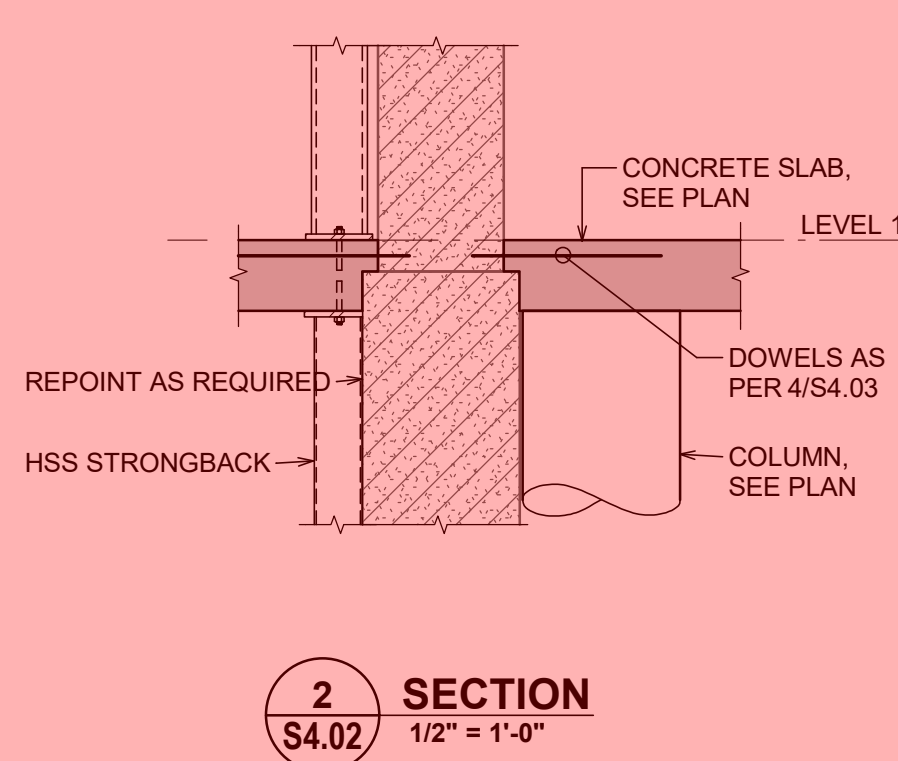
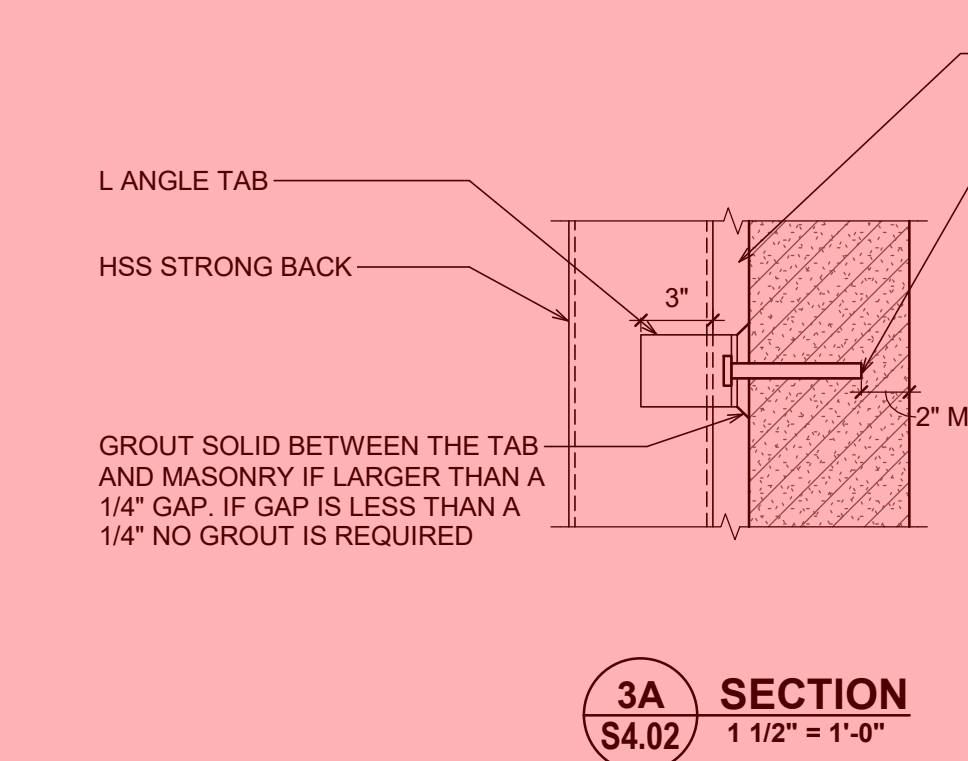
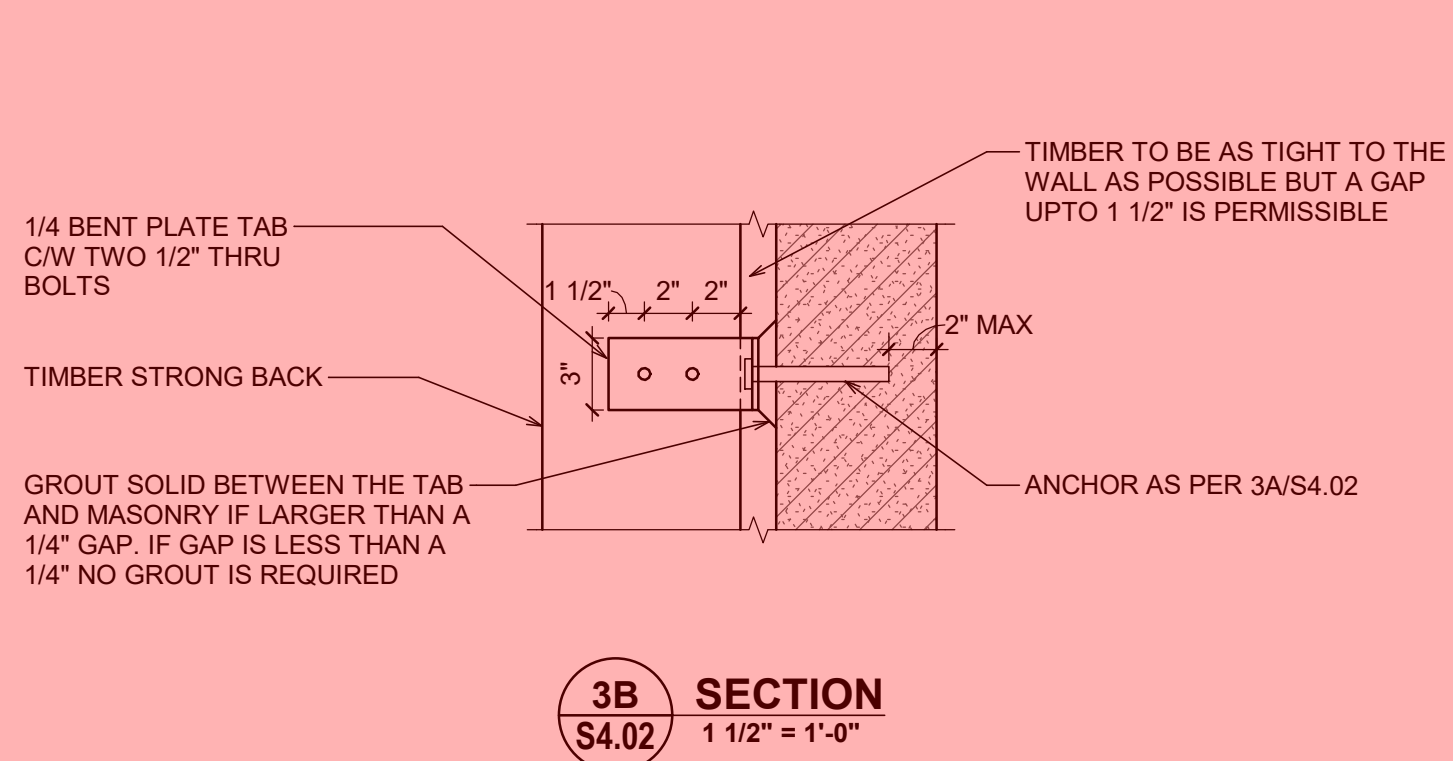
3 ELEVATION
S3.02 1/4" = 1'-0"



2 ELEVATION
S3.02 1/2" = 1'-0"

10"x10" CONCRETE PIER R/W 4-10M VERT. 10M TIES @ 3 1/2" 2-TIES AT TOP EXTRA. DRILL AND EPOXY VERTS. EMBED 3 1/2" INTO SUSPENDED SLAB OR SLAB ON GRADE. CAN BE DOWELED OUT OR DRILLED AND EPOXIED WITH HILTI HIT HY-200.

PL 1/2" WIDTH AND DEPTH TO MATCH STEEL COLUMN 2-1/2" Ø J BOLTS CAST INTO PIER



ITEMS HIGHLIGHTED IN RED ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS

No.	Revision	Date	By
5	Issued for Tender	2022-09-30	AP
4	Issued for Building Permit	2022-06-24	AP
3	90% Progress Set	2022-06-02	PM
2	Issued for 60% Review	2022-03-31	PM
1	Issued for 60% Review	2022-01-13	CP

Drawing Notes

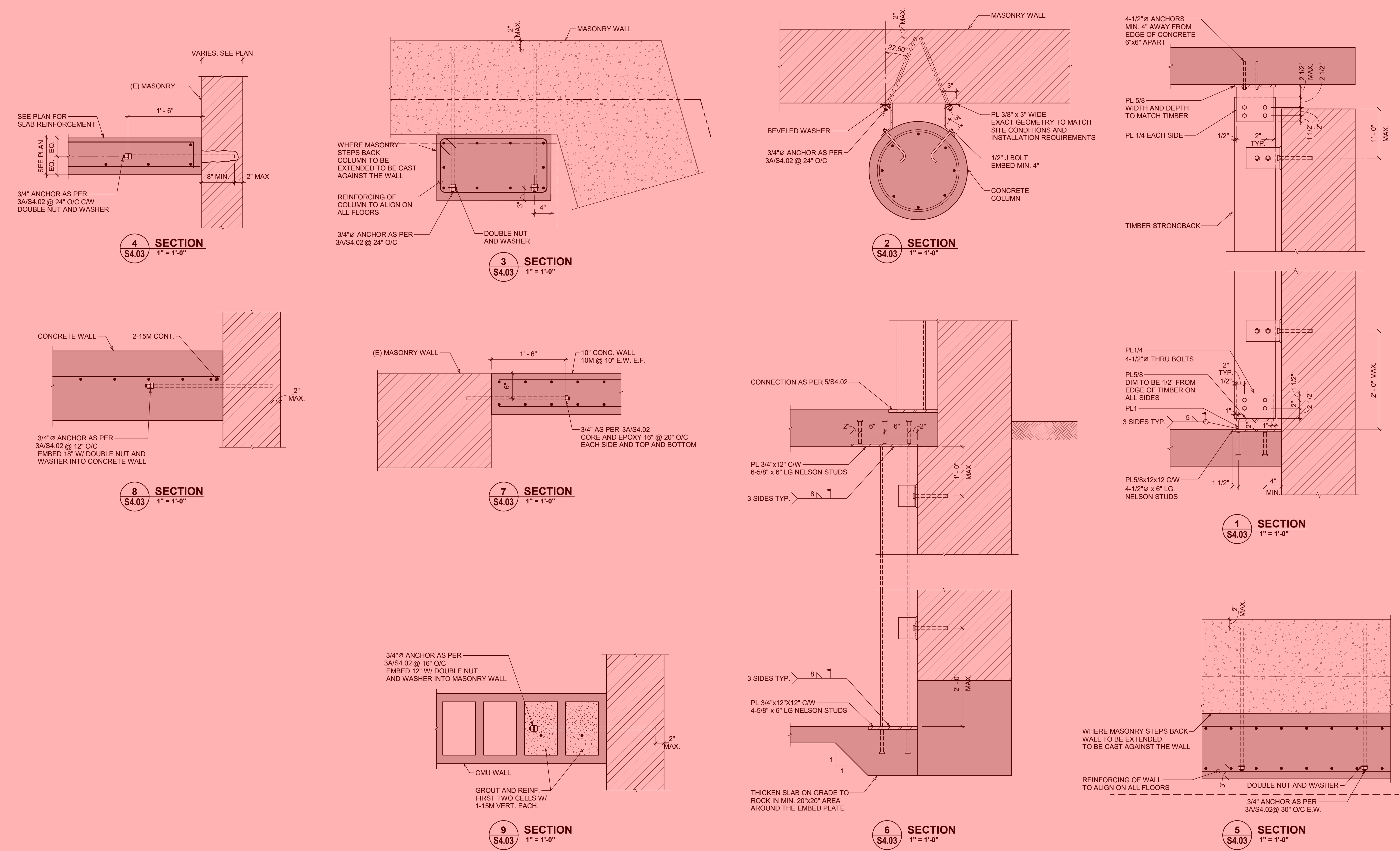
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing" or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings may vary from what is shown on these drawings.

Project Name
Northern Junk

Sheet Title
SECTIONS AND DETAILS

1314-1318 Wharf Street, Victoria B.C.

Drawn By **MC** Scale **As indicated**
Designed By **PM** Date **30/09/2022**
RJC Project Number **VIC.100479.0006**



ITEMS HIGHLIGHTED IN RED ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS

No.	Revision	Date	By
1	Issued for Tender	2022-09-30	AP

- Drawing Notes**
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

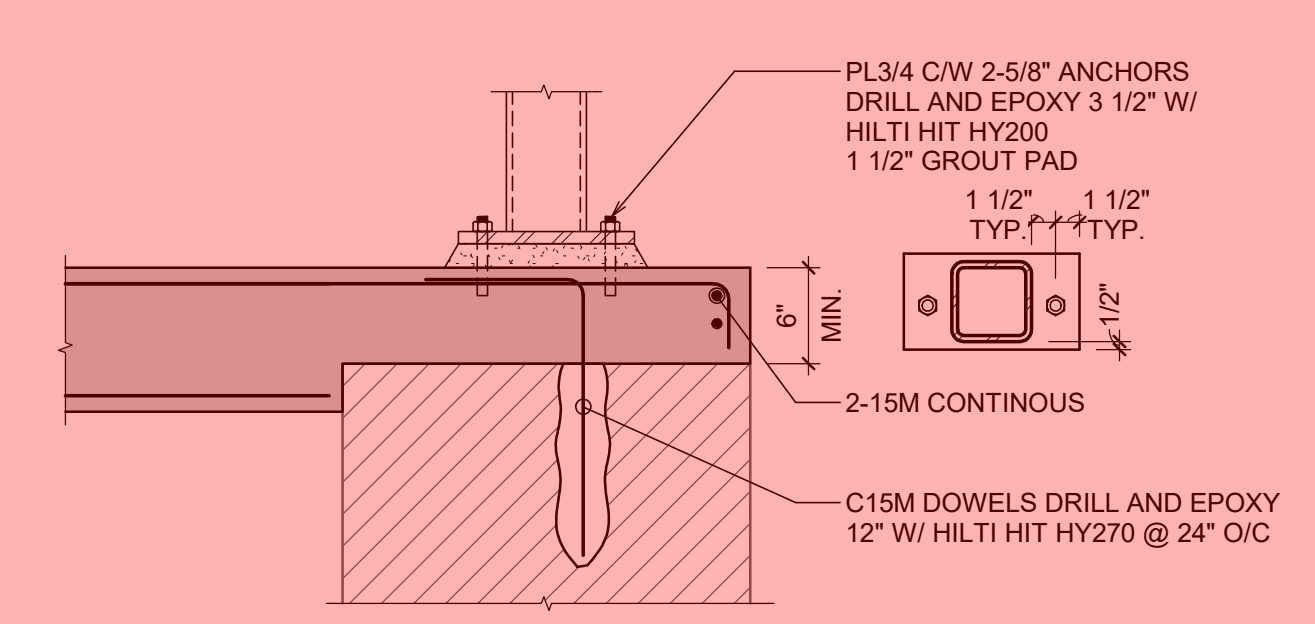
Project Name
Northern Junk

1314-1318 Wharf Street, Victoria B.C.
Sheet Title

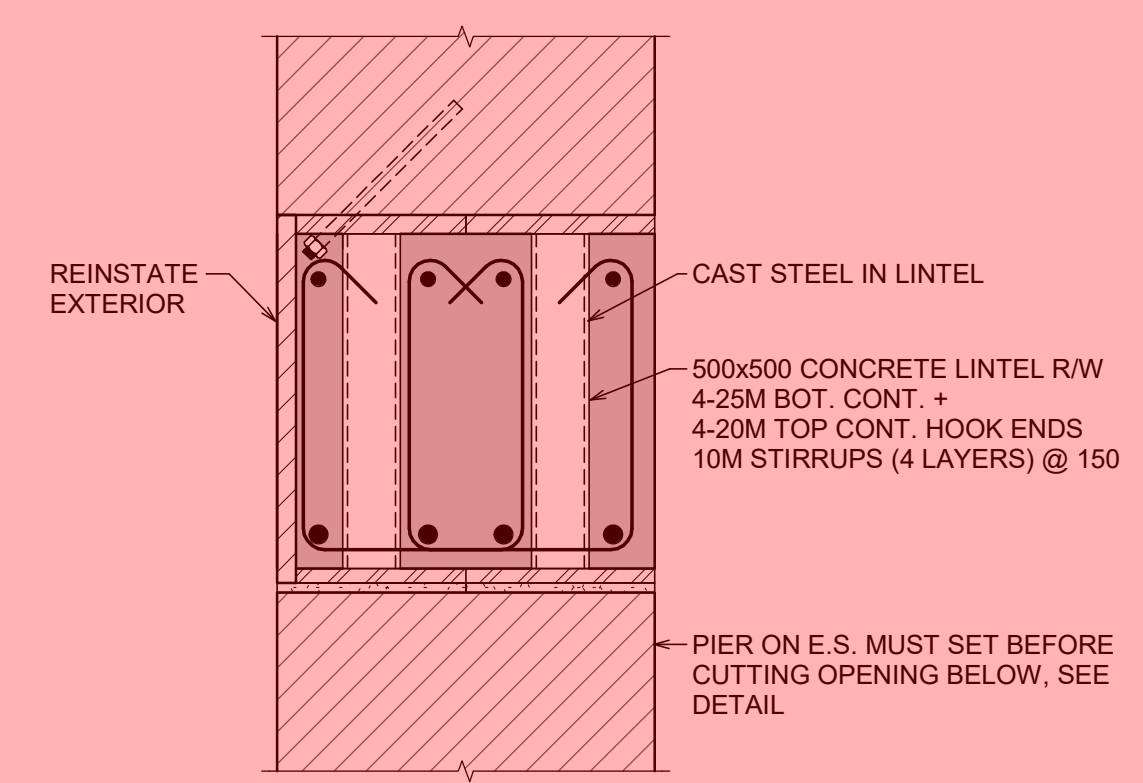
SECTIONS AND DETAILS

Drawn By	MC	Scale	1" = 1'-0"
Designed By	PM	Date	30/09/2022
RJC Project Number	VIC.100479.0006		
Sheet Number		Revision	

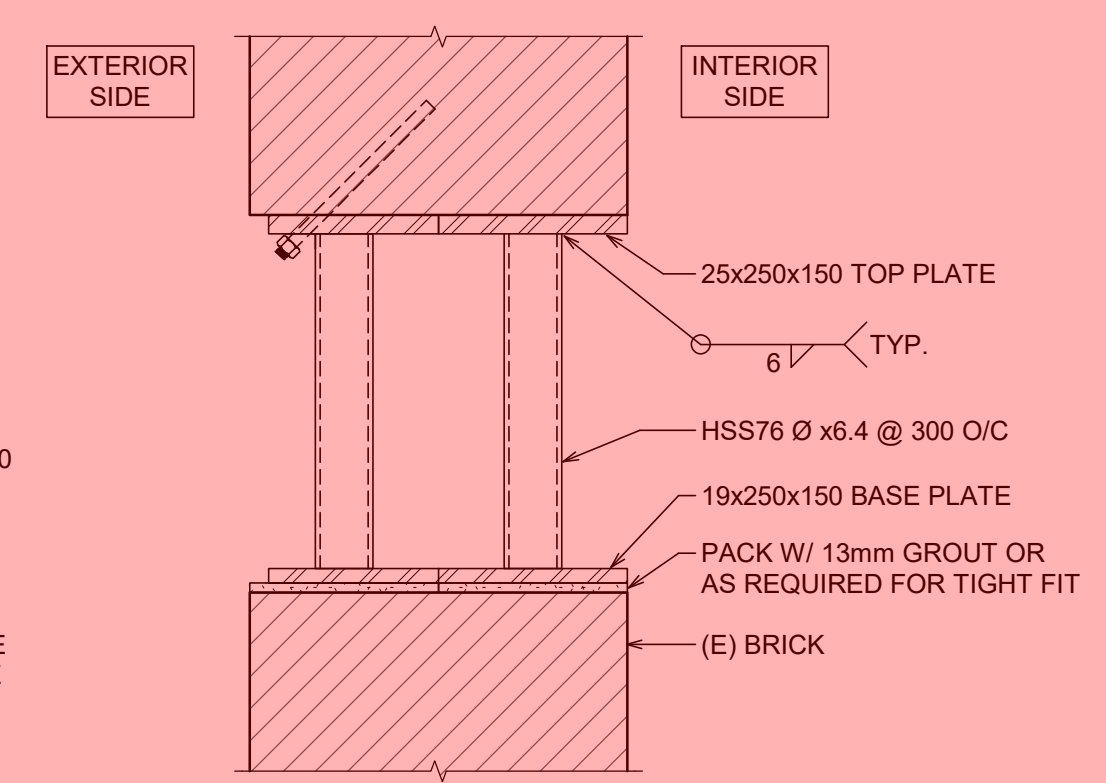
S4.03 **1**



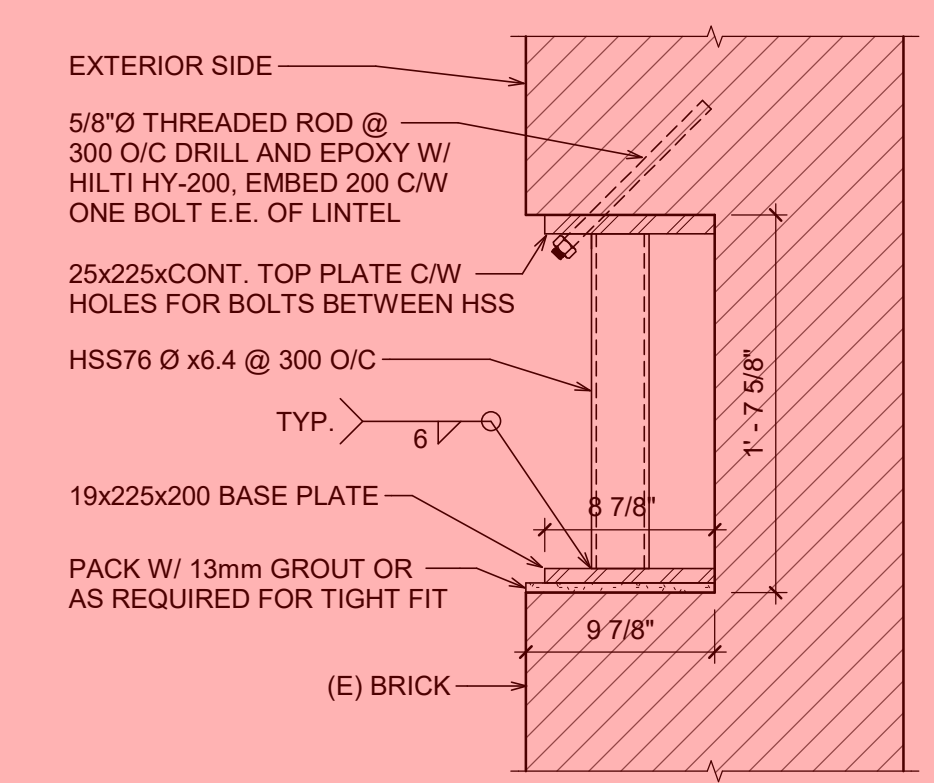
2 SECTION
S4.04 1" = 1'-0"



STEP 3

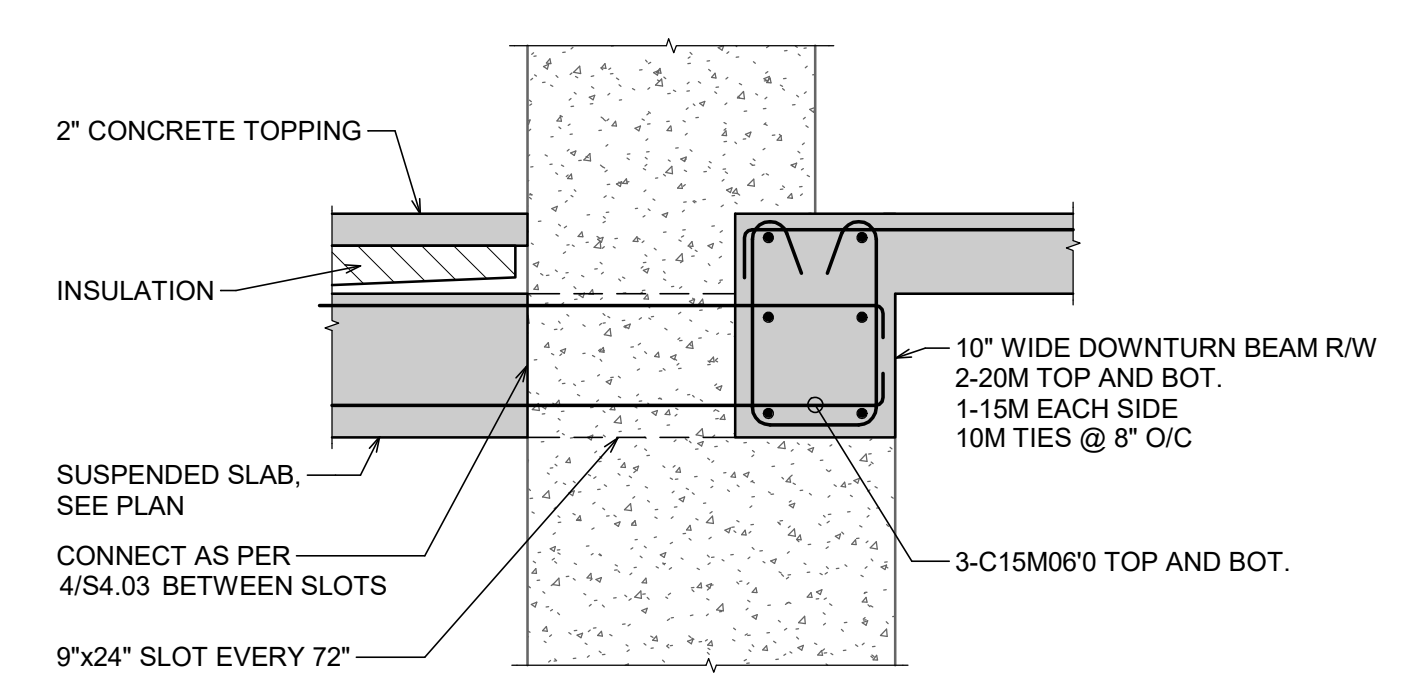


STEP 2

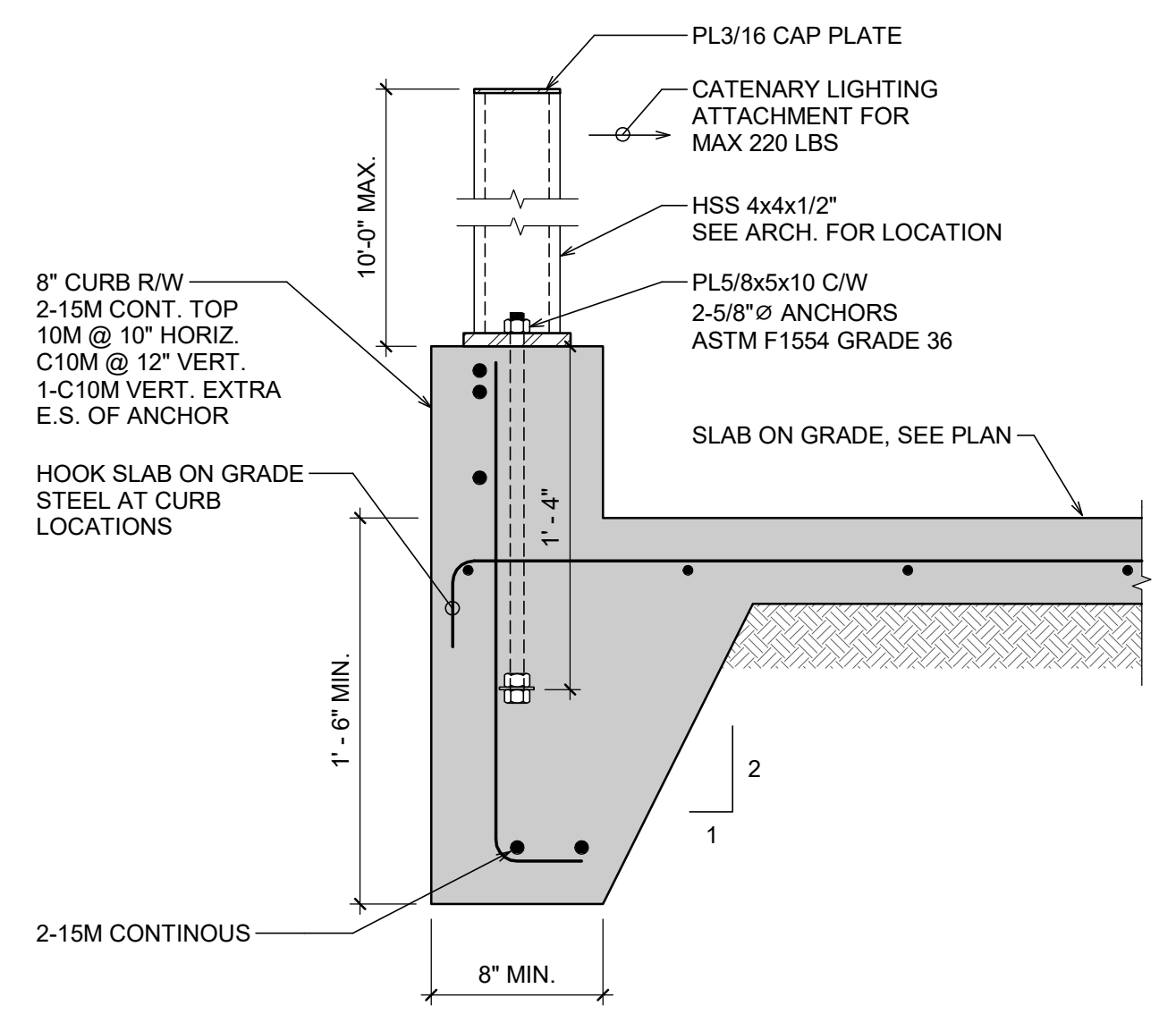


STEP 1

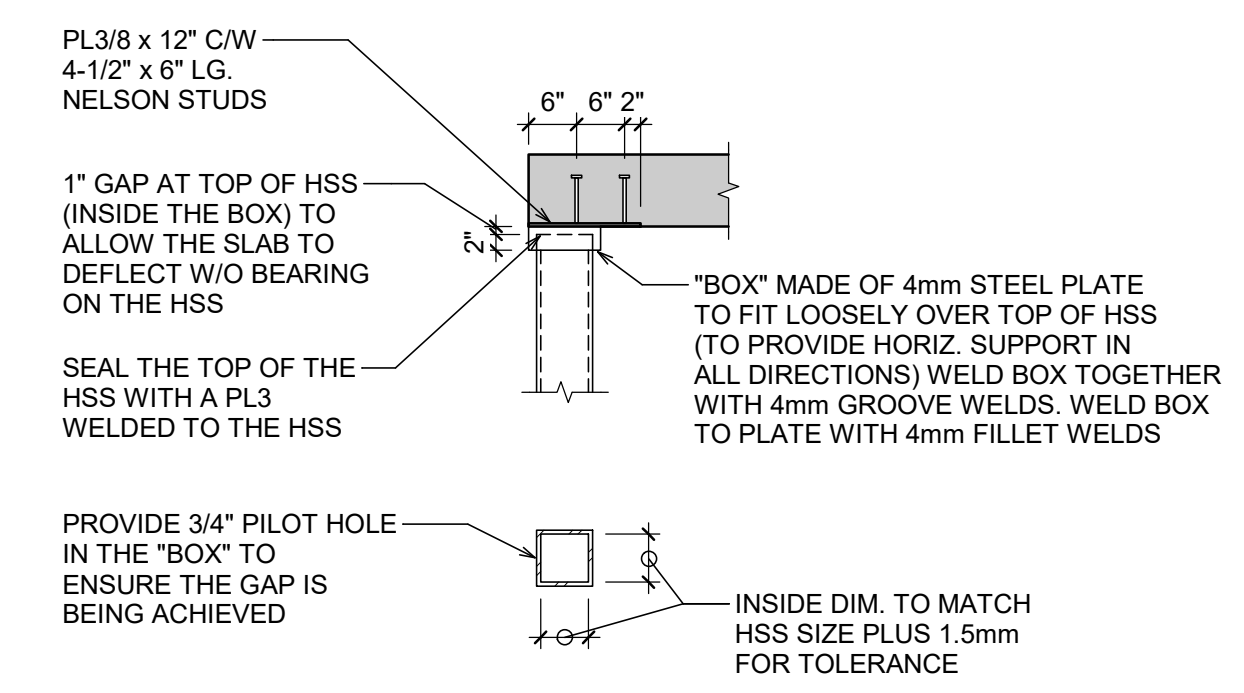
1 CONCRETE LINTEL CONSTRUCTION DETAIL
S4.04 1:10



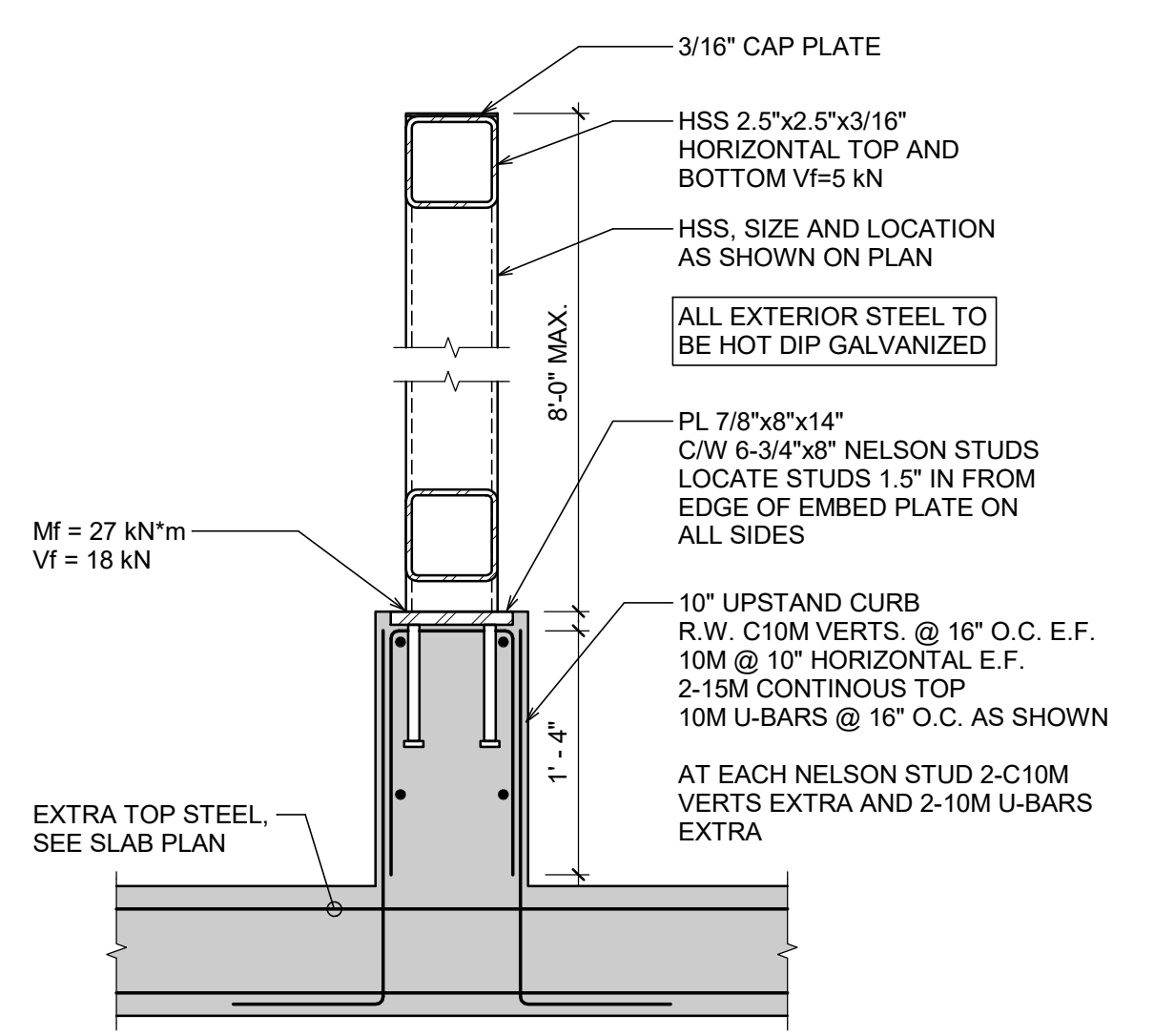
5 SECTION
S4.04 1" = 1'-0"



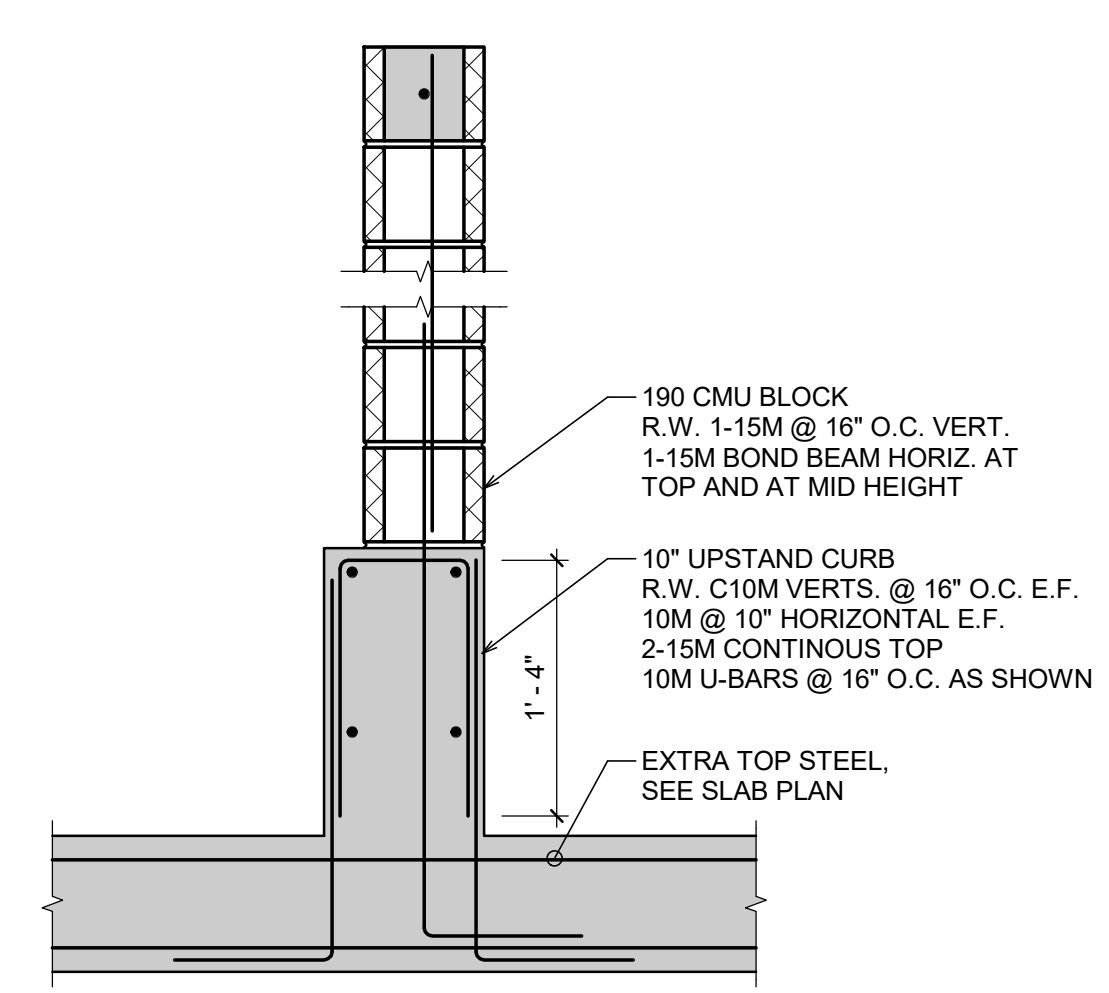
4 SECTION
S4.04 1 1/2" = 1'-0"



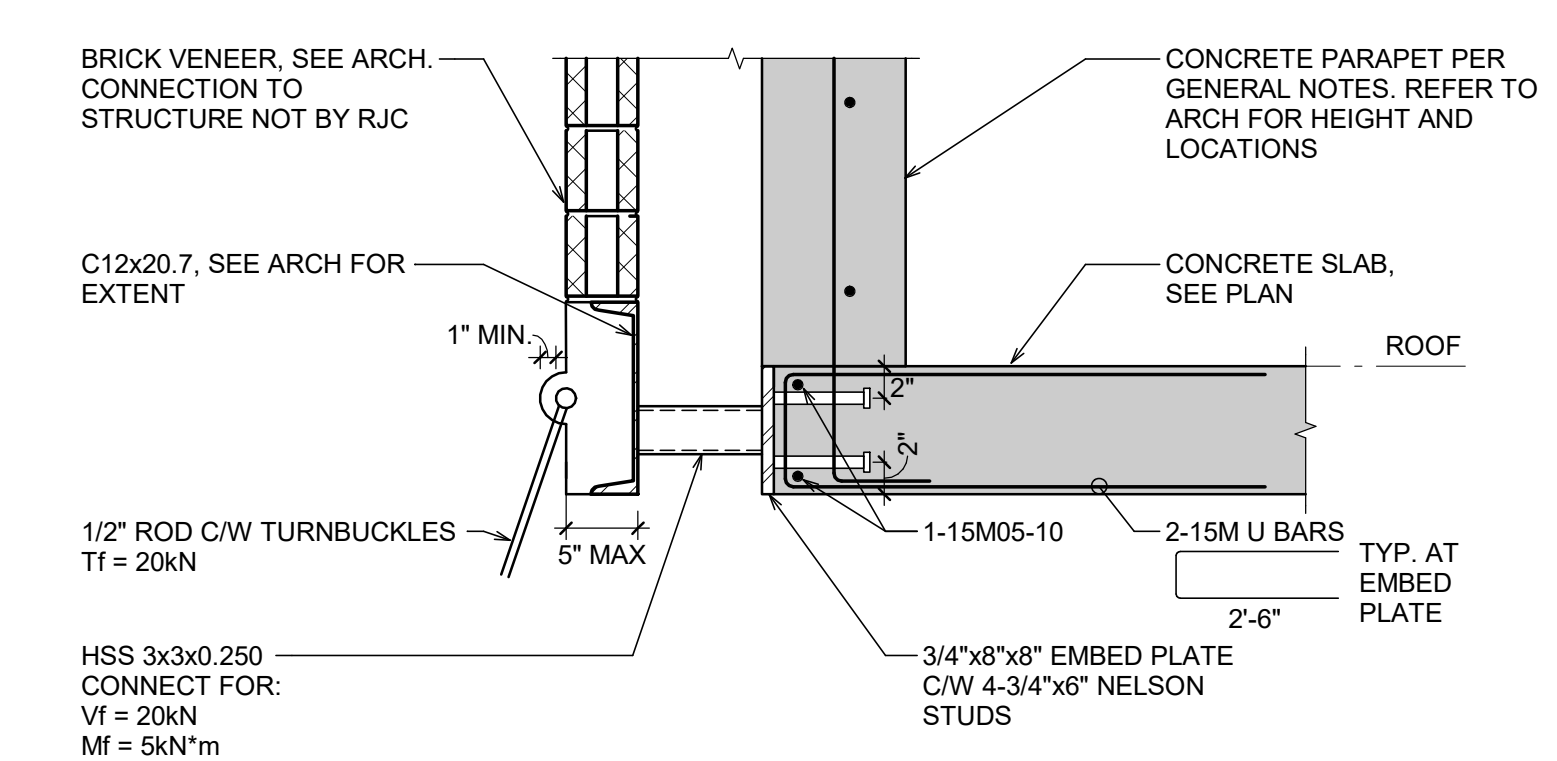
3 SECTION
S4.04 1/2" = 1'-0"



8 MECHANICAL SCREEN HSS
S4.04 1" = 1'-0"



7 MECHANICAL SCREEN BLOCK
S4.04 1" = 1'-0"



6 SECTION
S4.04 1" = 1'-0"

ITEMS HIGHLIGHTED IN RED ARE REQUIRED FOR SEISMIC RESTRAINT OF THE HERITAGE BUILDINGS

No.	Revision	Date	By
1	Issued for Tender	2022-09-30	AP

- Drawing Notes**
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
Northern Junk

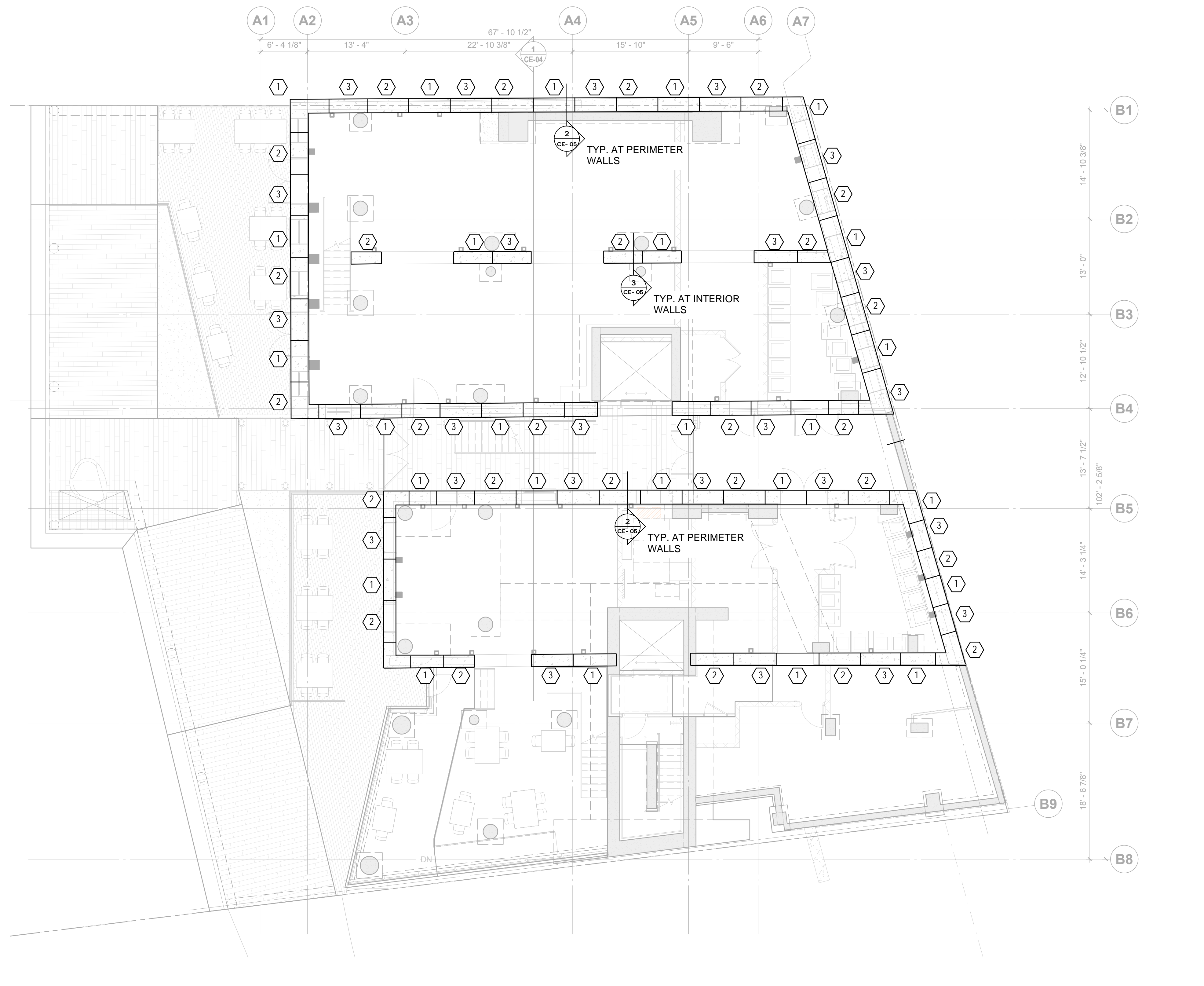
1314-1318 Wharf Street, Victoria B.C.
Sheet Title

SECTIONS AND DETAILS

Drawn By	MC	Scale	As Indicated
Designed By	PM	Date	30/09/2022
RJC Project Number	VIC.100479.0006		
Sheet Number			Revision

S4.04 **1**

UNDERPINNING AND SHORING DETAILS



- NOTES:**
1. DENOTES SLOT CUT SEQUENCE.
 2. GEOTECH TO REVIEW BEARING SURFACES BEFORE UNDERPINNING CONCRETE IS PLACED.

DESIGN CODE

1. THE STRIP-OUT WORK OF THE STRUCTURE SHOWN ON THE STRUCTURAL DRAWINGS HAS BEEN DESIGNED IN SUBSTANTIAL ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018 WHICH IS BASED ON THE NATIONAL BUILDING CODE OF CANADA 2015.

CONCRETE

CONCRETE PLACEMENT

1. UNLESS NOTED OTHERWISE, ALL CONCRETE IS TO BE CAST-IN-PLACE.

CONCRETE PROPERTIES

2. CONCRETE IS SPECIFIED AS PER THE "PERFORMANCE" ALTERNATE AS OUTLINED IN CSA A23.1.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR WORKING WITH THE CONCRETE SUPPLIER TO ENSURE THAT THE PLASTIC AND HARDENED MIX PROPERTIES MEET SITE REQUIREMENTS FOR PLACING, FINISHING, AND THE OWNER'S SPECIFIED PERFORMANCE REQUIREMENTS. THE GENERAL CONTRACTOR SHALL MEET THE DOCUMENTATION AND QUALITY CONTROL REQUIREMENTS OUTLINED UNDER THE "PERFORMANCE" ALTERNATE OF CSA A23.1.
4. THE SUPPLIER SHALL MEET ALL CERTIFICATION AND DOCUMENTATION REQUIREMENTS AS OUTLINED UNDER THE "PERFORMANCE" ALTERNATE OF CSA A23.1.
5. CONCRETE PROPERTIES:

GENERAL			
ELEMENT	COMPRESSIVE STRENGTH (MPa) 28 DAYS U.N.O.	EXPOSURE CLASS	COMMENTS
SLAB ON GRADE	25	N	
FOOTINGS	25	N	
INTELS	25	N	

6. PORTLAND CEMENT SHALL BE TYPE GU UNLESS NOTED OTHERWISE.
7. THE CONCRETE PROPERTIES USED IN DESIGN ARE BASED ON A MAXIMUM COARSE AGGREGATE SIZE OF NOT LESS THAN 3/4" UNLESS NOTED OTHERWISE. ALL LOCATIONS PROPOSED BY THE CONTRACTOR FOR USE OF CONCRETE MIX DESIGNS WITH A MAXIMUM COARSE AGGREGATE SIZE SMALLER THAN 3/4" SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL. ANY INCREASE IN REQUIRED CONCRETE STRENGTH OR INCREASE IN QUANTITY OF REINFORCEMENT DUE TO PROPOSED USE OF CONCRETE MIX WITH MAXIMUM COARSE AGGREGATE SIZE SMALLER THAN 3/4" TO BE PAID FOR BY THE CONTRACTOR.
8. SLUMP AND AGGREGATE SIZE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND SUPPLIER TO MEET PLACEMENT, AND FINISHING REQUIREMENTS WITHOUT SEGREGATION WHILE MEETING ALL OWNER SPECIFICATIONS.
9. MAXIMUM WATER/CEMENT RATIO AND AIR CONTENT TO MEET THE REQUIREMENTS FOR THE EXPOSURE CLASS AS OUTLINED IN CSA A23.1.
10. CURING OF CONCRETE TO MEET THE REQUIREMENTS FOR THE EXPOSURE CLASS AS OUTLINED IN CSA A23.1.
11. CURING AND PROTECTION OF CONCRETE FOR HOT, COLD OR DRY WEATHER IS TO BE AS PER CSA A23.1.

RENOVATIONS

1. THE CONTRACT DOCUMENTS ARE BASED ON ASSUMED AS-BUILT DIMENSIONS FOR THE EXISTING BUILDING STRUCTURE AND ASSUMPTIONS IN ACCORDANCE WITH DETAILING AND PLACING PRACTICE. THESE ASSUMPTIONS MAY VARY FROM THE ACTUAL ON-SITE CONDITIONS. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE CONSULTANT OF ANY ACTUAL VARIATIONS FROM THE ASSUMED CONDITIONS.
2. MINOR MODIFICATIONS WILL BE REQUIRED TO THE WORK INDICATED ON THESE DRAWINGS TO REFLECT ACTUAL SITE CONDITIONS. THE CONTRACTOR WILL COOPERATE WITH THE CONSULTANT AND RJC IN THIS REGARD. MINOR MODIFICATIONS WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND WILL NOT RESULT IN A CHANGE IN THE CONTRACT PRICE.
3. ENSURE THAT ALL NECESSARY JOB DIMENSIONS ARE TAKEN AND ALL TRADES ARE COORDINATED FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DIMENSIONS, AND FOR COORDINATION.
4. PRIOR TO FABRICATION OF ANY STRUCTURAL MEMBERS, THE CONTRACTOR SHALL COMPLETE THIS SITE REVIEW OF CRITICAL "TIE-IN" DIMENSIONS AND CONFIRM ALL DIMENSIONS TO ENSURE PROPER FIT OF NEW WORK TO EXISTING. REPORT ANY DISCREPANCIES TO RJC PRIOR TO STARTING WORK.
5. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS AND MEANS DIMENSIONS AND ELEVATIONS HAVE BEEN CONSIDERED, VERIFIED AND ARE ACCEPTABLE.
6. ANY OPENINGS THAT ARE NOT SHOWN OR INDICATED ON THE STRUCTURAL DRAWINGS SHALL BE REPORTED TO RJC FOR REVIEW. THESE OPENINGS MAY NOT BE ALLOWED, MAY HAVE TO BE MOVED, OR MAY REQUIRE ADDITIONAL STRUCTURAL WORK AND DETAILING. DO NOT PROCEED WITH THESE OPENINGS WITHOUT WRITTEN PERMISSION FROM RJC.
7. NEW OPENINGS TO BE CUT THROUGH EXISTING WALLS SHALL BE CLEARLY MARKED OUT BY THE CONTRACTOR. THE CONTRACTOR OR SHALL NOTIFY RJC ONCE THE MARKING OUT HAS BEEN COMPLETED SO THAT RJC CAN REVIEW THE PROPOSED LOCATIONS OF ALL NEW OPENINGS. DO NOT PROCEED WITH CUTTING OF NEW OPENINGS WITHOUT THE APPROVAL OF RJC.
8. UNLESS NOTED OTHERWISE AT ALL LOCATIONS WHERE NEW CONCRETE WILL BE IN CONTACT WITH EXISTING CONCRETE OR RUBBLE WALL SURFACES, THE EXISTING SURFACE IS TO BE COMPLETELY CLEANED AND ROUGHENED BY HYDRODEMOLITION, BUSH HAMMERING, (OR APPROVED EQUAL) TO AN AMPLITUDE OF 6 mm.
9. CONTRACTOR TO ENSURE THAT UNDERGROUND OR IN-SLAB SERVICES ARE NOT DAMAGED THROUGH DEMOLITION, SAWCUTTING, HOLE AUGURING, OR OTHER CONSTRUCTION ACTIVITIES. SEE SPECIFICATION FOR TESTING/LOCATING REQUIREMENTS.
10. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION, AND THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORMWORK, FALSEWORK, SHORING, BRACING, ETC. REQUIRED TO COMPLETE THE WORK (SUBMIT SHORING DRAWINGS SEALED BY A SPECIALTY STRUCTURAL ENGINEER).
11. DRILL AND SITE MEASURE BOLT HOLES IN EXISTING STRUCTURE PRIOR TO FABRICATING STEEL CONNECTION PLATES. BOLT HOLES MAY HAVE TO BE MOVED FROM WHAT IS SHOWN ON THE DRAWINGS TO AVOID CUTTING EXISTING REINFORCING OR TO AVOID OTHER SITE CONDITIONS. SITE MODIFICATION OF STEEL CONNECTION PLATES WILL NOT BE ACCEPTED WITHOUT THE PRIOR APPROVAL OF RJC.

No.	Revision	Date	By
1	ISSUE FOR CONSTRUCTION	30/09/2022	DW

- Drawing Notes**
1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing" or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
Northern Junk
CONSTRUCTION ENGINEERING

1314-1318 Wharf Street, Victoria B.C.

Sheet Title
LEVEL 0 UNDERPINNING PLAN

Drawn By **DRM** Scale **1/8" = 1'-0"**
Designed By **DRM** Date **15/07/2022**

RJC Project Number **VIC.100479.0006**

Sheet Number **CE-01** Revision

CE-01

FIELD REVIEW

1. READ JONES CHRISTOFFERSEN PROVIDES FIELD REVIEW ONLY FOR THE WORK SHOWN ON THESE STRUCTURAL DRAWINGS. THIS REVIEW IS NOT A "FULL TIME" REVIEW BUT IS CONDUCTED WITH SUCH FREQUENCY AS RJC DEEMS APPROPRIATE TO OBSERVE VARIOUS STAGES OF THE WORK AND TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY READ JONES CHRISTOFFERSEN. FIELD REVIEW BY READ JONES CHRISTOFFERSEN IS NOT CARRIED OUT FOR THE CONTRACTOR'S BENEFIT, NOR DOES IT MAKE READ JONES CHRISTOFFERSEN GUARANTORS OF THE CONTRACTOR'S WORK. IT REMAINS THE CONTRACTOR'S RESPONSIBILITY TO BUILD THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. RJC SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUB-CONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

RJC WILL REVIEW SHOP DRAWINGS PERTAINING TO WORK SHOWN ON RJC'S DRAWINGS. THE EXTENT OF THIS REVIEW IS AT THE SOLE DISCRETION OF RJC'S ENGINEER AND IS FOR THE SOLE PURPOSE OF ASCERTAINING GENERAL CONFORMANCE WITH THE STRUCTURAL DESIGN CONCEPT. THE REVIEW IS NOT AN APPROVAL OF THE DESIGN, DETAILS, AND DIMENSIONS INHERENT IN THE SHOP DRAWINGS. RESPONSIBILITY FOR WHICH SHALL REMAIN WITH THE CONTRACTOR OR SUBCONTRACTOR SUBMITTING THEM. SUCH REVIEW SHALL NOT RELIEVE THE CONTRACTOR OR SUBCONTRACTOR OF HIS OR HER RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWINGS OR FOR MEETING ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.
2. PROVIDE 24 HOURS ADVANCE NOTICE OF EACH REQUIRED FIELD REVIEW. FIELD REVIEWS SHALL BE SCHEDULED TO BE CARRIED OUT DURING NORMAL BUSINESS HOURS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH RJC.
3. THE WORK TO BE REVIEWED SHALL BE GENERALLY COMPLETE.

CONCRETE REINFORCEMENT

1. REINFORCEMENT SHALL CONFORM TO THE FOLLOWING STANDARDS:
A. CAN/CSA-G30.18R - GRADE 400 MPa - 10M AND LARGER (U.N.O.) (NOTE: G30.18W MAY BE SUBSTITUTED FOR G30.18R)
2. UNLESS OTHERWISE NOTED CONCRETE COVER TO REINFORCEMENT SHALL BE:
A. CONCRETE CAST AGAINST EARTH OR GROUND --- 75 mm
B. FORMED FINISHED CONCRETE EXPOSED TO WEATHER, EXPOSURE CLASS F1, F2, S1, S2 OR EARTH --- 40 mm OR 1.5d (WHICHEVER IS GREATER)

NOTES:
LARGEST COVER REQUIRED GOVERNS.
3. DO NOT SUBSTITUTE DEFORMED WIRE FOR REINFORCING BARS WITHOUT PRIOR APPROVAL OF THE RJC.
4. SUPPORT REINFORCING WITH CHAIRS, ACCESSORIES, OR REINFORCING BARS AS REQUIRED. BARS USED AS SUPPORT BARS SHALL BE CONSIDERED AS ACCESSORIES.
5. PROVIDE SUFFICIENT SUPPORTS TO MAINTAIN CONCRETE COVER AS SPECIFIED. ALL SUPPORTS AND BARS MUST BE TIED TOGETHER TO MAINTAIN REINFORCING STEEL SECURELY IN PLACE DURING CONCRETE PLACEMENT.

FOUNDATIONS

1. FOOTINGS HAVE BEEN DESIGNED FOR THE FOLLOWING BEARING RESISTANCE IN ACCORDANCE WITH THE SOILS REPORT.

PREPARED BY: RYZUK GEOTECHNICAL
DATED: MAY 10, 2022
ROCK BEARING
A. STRIP FOOTINGS: ULS: 3000 kPa
B. SPREAD FOOTINGS: ULS: 3600 kPa
2. BEARING SURFACES MUST BE APPROVED BY THE SOILS ENGINEER IMMEDIATELY BEFORE FOOTING CONCRETE IS PLACED. RJC IS NOT RESPONSIBLE FOR CONFIRMING BEARING CAPACITIES OF SOILS.
3. REFER TO SOILS REPORT FOR OTHER SPECIFIC DESIGN REQUIREMENTS FOR FOOTINGS, SOIL SLOPES, FROST PROTECTION, MINIMUM COVER, ETC.
4. FOR GROUND ELEVATIONS AND DRAINAGE SLOPES, SEE ARCHITECT'S DRAWINGS.
5. FOOTING ELEVATIONS, IF SHOWN, ARE FOR BIDDING PURPOSES ONLY, ARE NOT FINAL, AND MAY VARY ACCORDING TO SITE CONDITIONS OR AS REQUIRED BY SERVICES. ALL FOOTINGS MUST BE TAKEN TO A BEARING LAYER APPROVED BY THE SOILS ENGINEER.

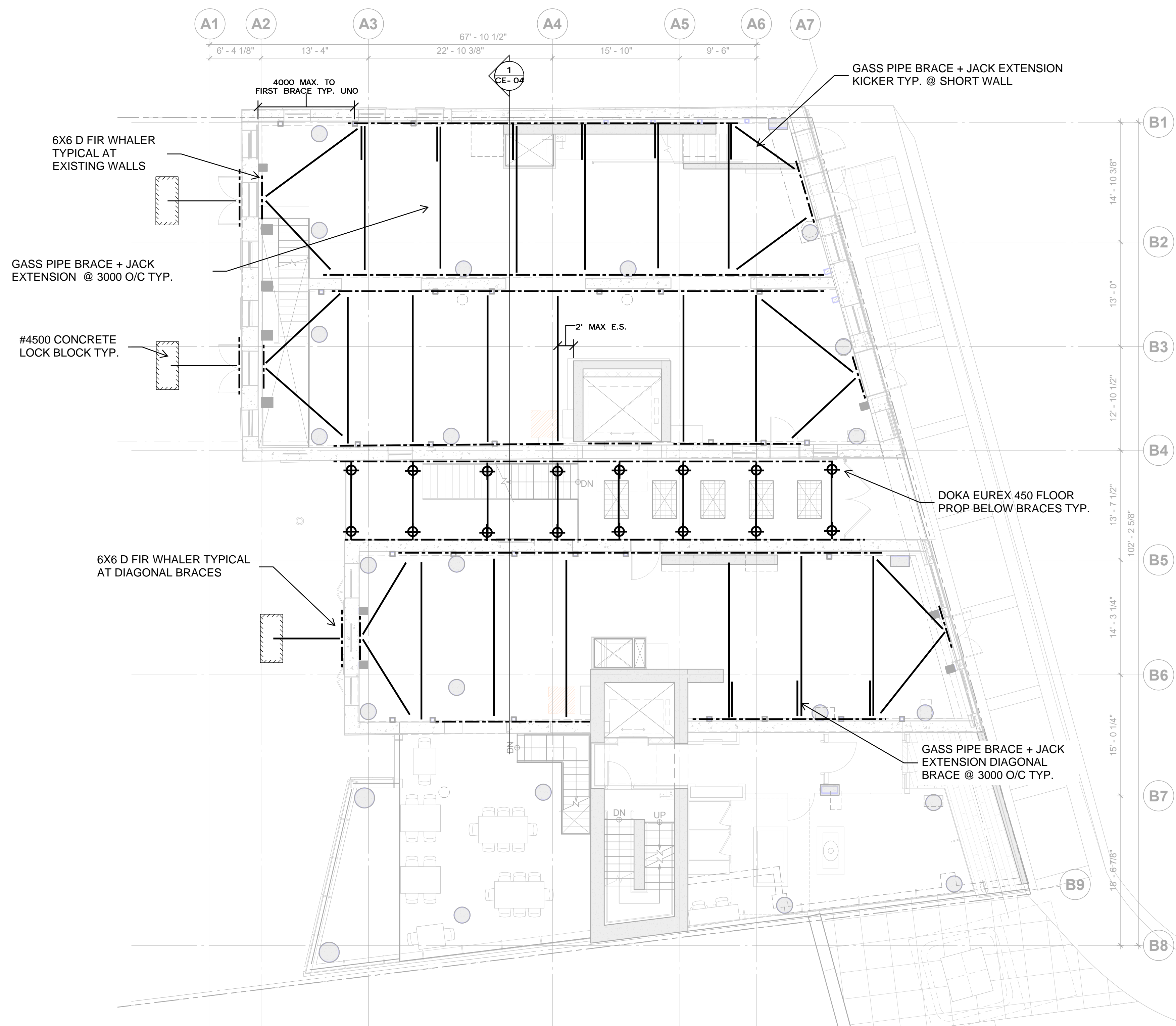
DESIGN LOADS

1. BRACING OF THE EXISTING WALLS HAS BEEN DESIGNED FOR THE FOLLOWING LOADS:

WIND DESIGN:
HOURLY WIND PRESSURE, (1/10) = 9.2 PSF
Iw = 1.0 ULS, 0.75 SLS.

DRAWINGS

1. THIS SET OF DRAWINGS SHOWS THE STRIP-OUT WORK OF THE PROJECT. THE DRAWINGS DO NOT SHOW COMPONENTS THAT MAY BE NECESSARY FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SAFETY IN AND ABOUT THE JOB SITE DURING CONSTRUCTION, AND THE DESIGN AND ERECTION OF ALL TEMPORARY STRUCTURES, FORMWORK, FALSE WORK, SHORING, ETC. REQUIRED TO COMPLETE THE WORK.
2. THE USE OF THESE DRAWINGS IS LIMITED TO THAT IDENTIFIED IN THE REVISIONS COLUMN. DO NOT CONSTRUCT FROM THESE DRAWINGS UNLESS MARKED "ISSUED FOR CONSTRUCTION" IN THE REVISIONS COLUMN, BY READ JONES CHRISTOFFERSEN LTD. THE DRAWINGS SHALL NOT BE USED FOR PRICING, COSTING, OR TENDER UNLESS SO INDICATED IN THE REVISION COLUMN. PRICING OR COSTING DRAWINGS ARE NOT COMPLETE AND ANY PRICES BASED ON PRICING OR COSTING DRAWINGS MUST INCLUDE ALLOWANCES FOR THIS.
3. THE INFORMATION ON THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECT OR WORKS. THE INFORMATION ON THESE DRAWINGS APPLIES SOLELY TO THIS PROJECT.



1	ISSUE FOR CONSTRUCTION	30/09/2022	DW
No.	Revision	Date	By

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing" or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name

Northern Junk
CONSTRUCTION ENGINEERING

1314-1318 Wharf Street, Victoria B.C.

Sheet Title

LEVEL 1 BRACING PLAN

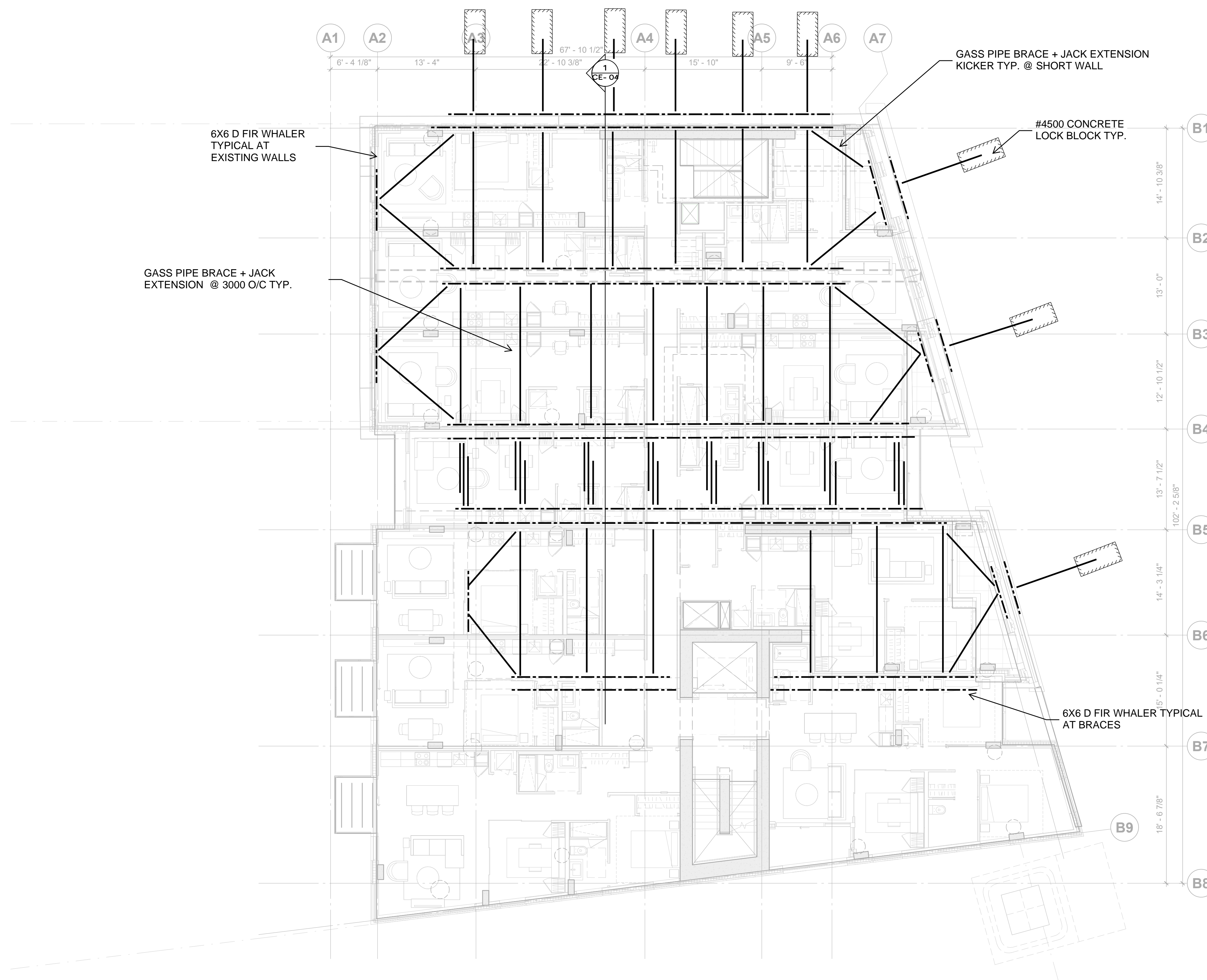
Drawn By **DRM** Scale **1/8" = 1'-0"**

Designed By **DRM** Date **15/07/2022**

RJC Project Number **VIC.100479.0006**

Sheet Number Revision

CE-02



1	ISSUE FOR CONSTRUCTION	30/09/2022	DW
No.	Revision	Date	By

Drawing Notes

- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
- These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
- Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing", or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name

Northern Junk
CONSTRUCTION ENGINEERING

1314-1318 Wharf Street, Victoria B.C.

Sheet Title

LEVEL 2 BRACING PLAN

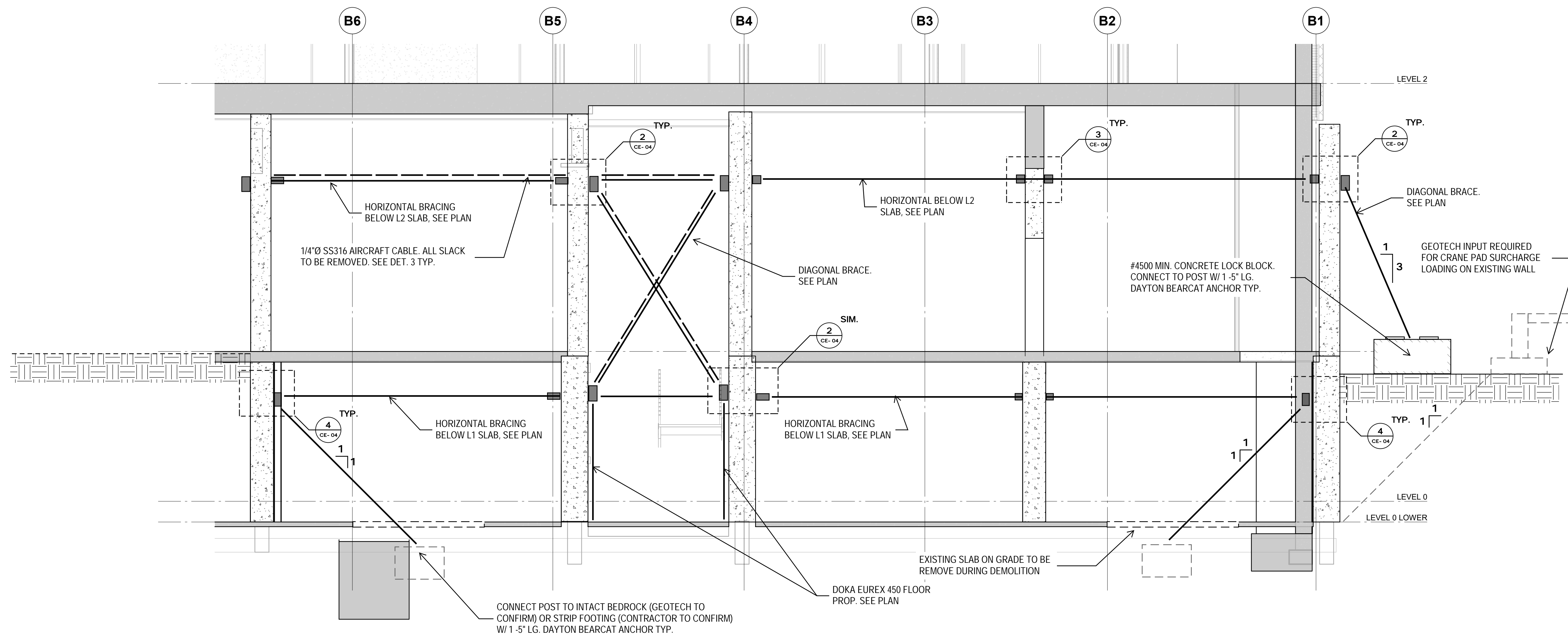
Drawn By **DRM** Scale **1/8" = 1'-0"**

Designed By **DRM** Date **15/07/2022**

RJC Project Number **VIC.100479.0006**

Sheet Number Revision

CE-03

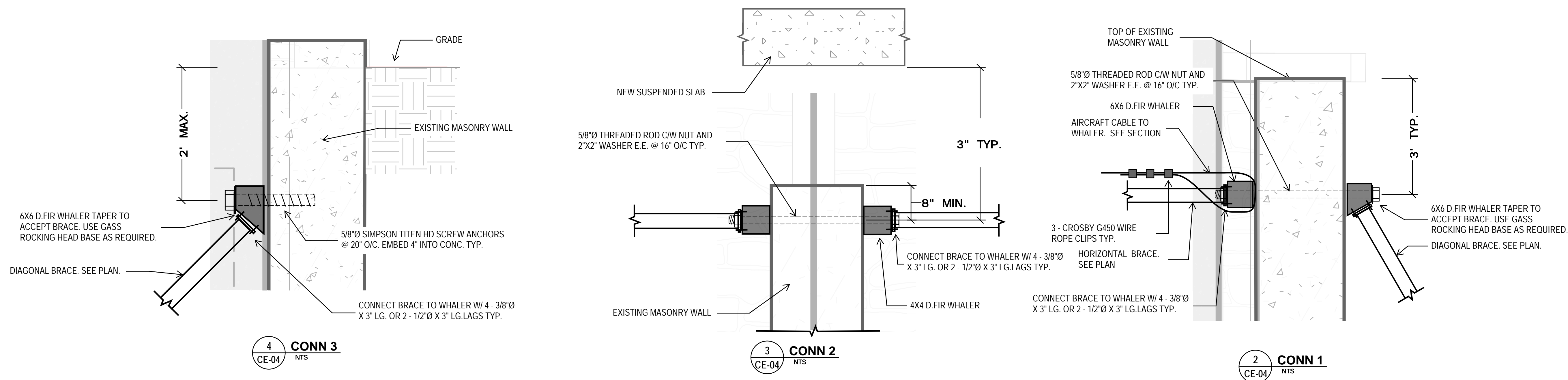


1 BUILDING ELEVATION
1/4" = 1'-0"

No.	Revision	Date	By
1	ISSUE FOR CONSTRUCTION	30/09/2022	DW

- Drawing Notes**
- All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
 - These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.
 - Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing" or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal



Project Name
Northern Junk
CONSTRUCTION ENGINEERING

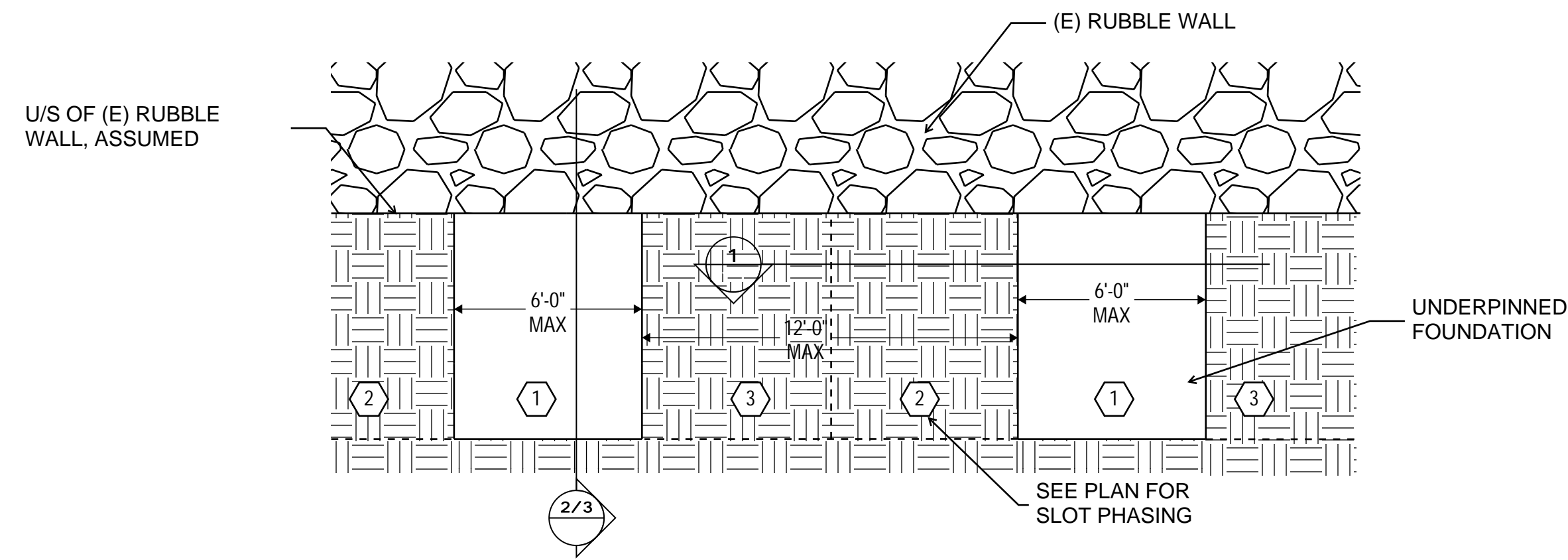
1314-1318 Wharf Street, Victoria B.C.

Sheet Title
ELEVATIONS AND DETAILS

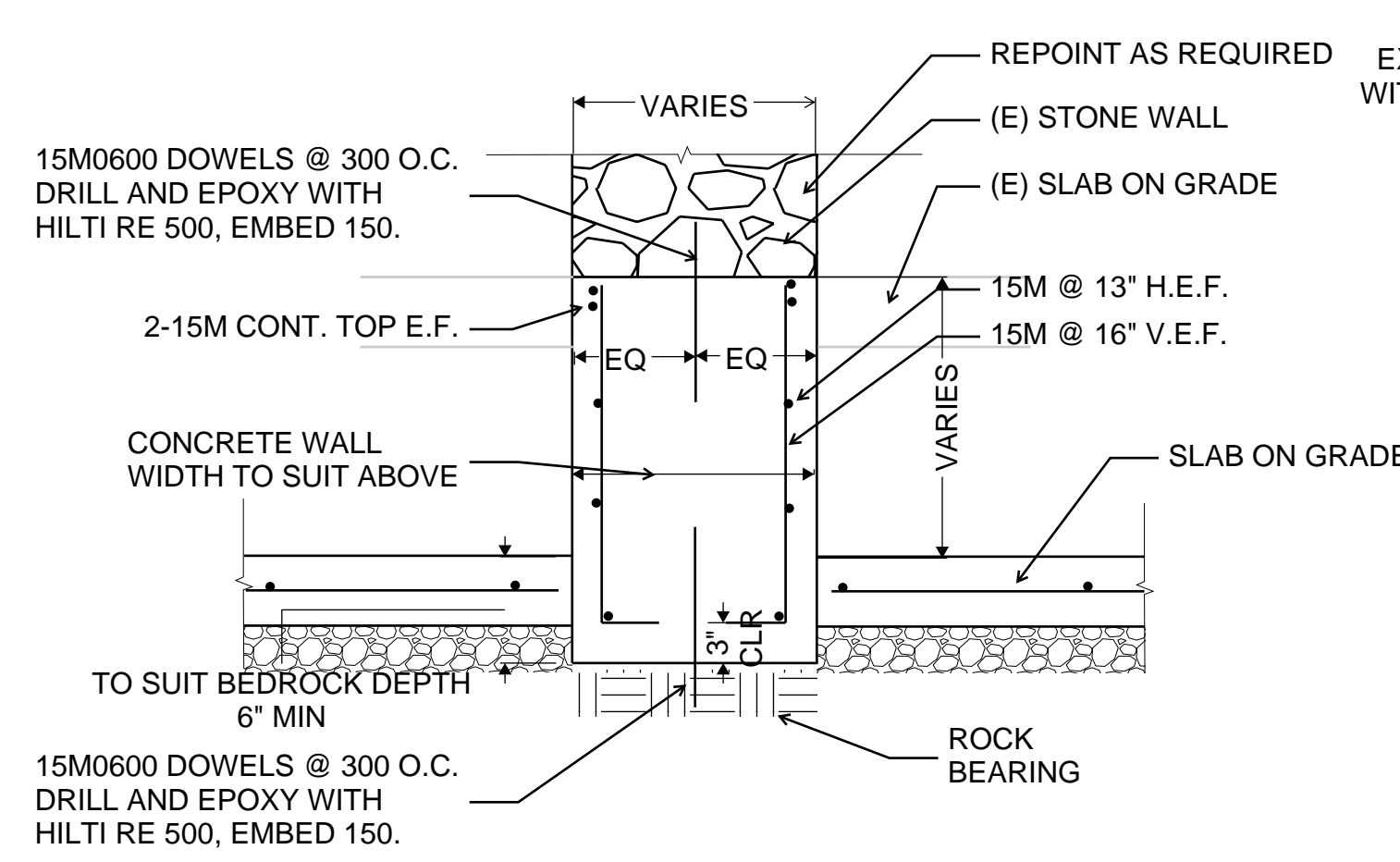
Drawn By **DRM** Scale 1/4" = 1'-0"
Designed By **DRM** Date 15/07/2022
RJC Project Number **VIC.100479.0006**

Sheet Number **CE-04** Revision

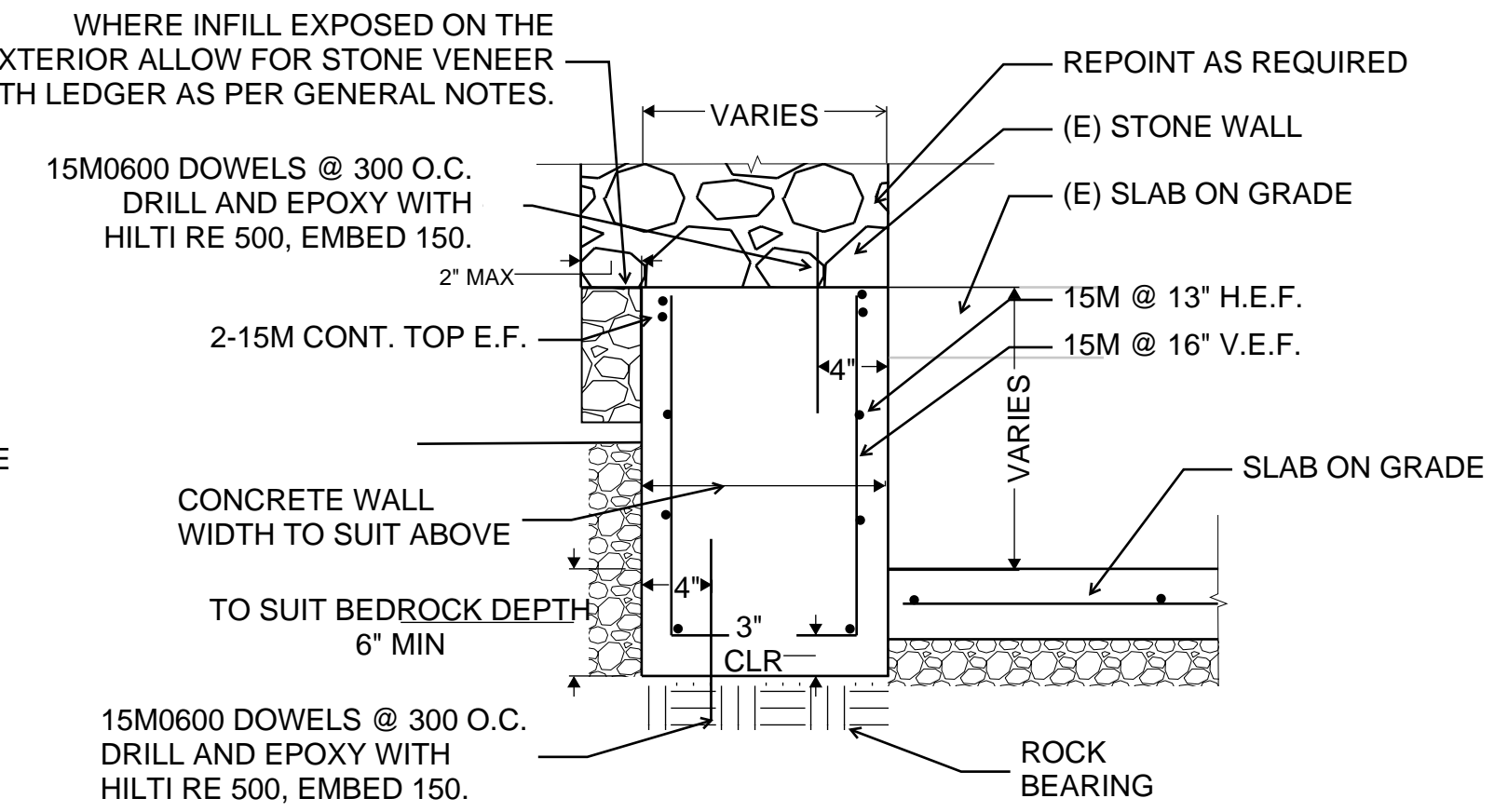
CE-04



1 UNDERPINNING ELEVATION
CE-05 1/4" = 1'-0"

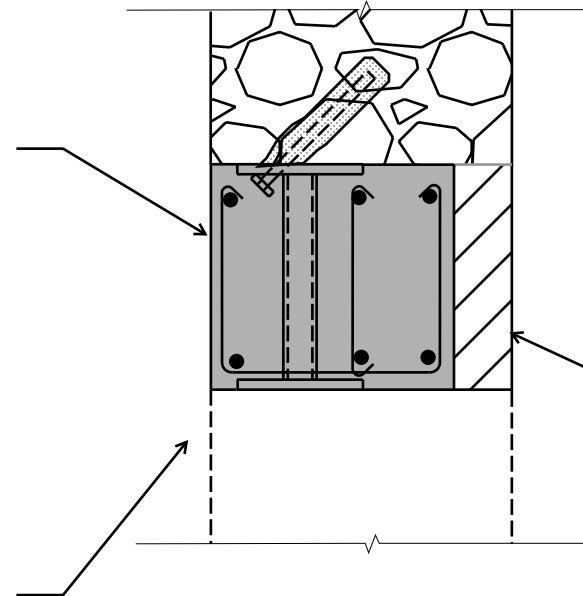


3 INTERIOR UNDERPINNING DETAIL
CE-05 1" = 1'-0"



2 PERIMETER UNDERPINNING DETAIL
CE-05 1" = 1'-0"

12" DP LINTEL BEAM R/W
3-20M TOP AND BOTTOM 10M
STIRRUPS @ 6" O.C.. EXTEND
BEAM 3" PAST OPENING
EACH SIDE



LINTEL BEAM MUST BE SET
BEFORE CUTTING OPENING
BELOW

NOTES:

1. SEE ARCH FOR OPENING LOCATIONS AND DIMENSIONS.
2. MAX OPENING SIZE = 11'-0".
3. RJC TO REVIEW OPENING PRIOR TO CUTTING

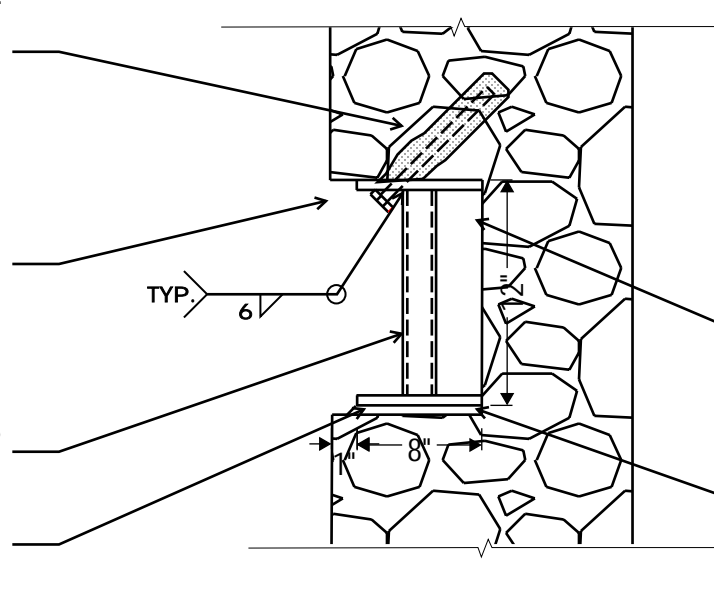
1 LINTEL AT EXISTING OPENINGS
CE-05 1" = 1'-0"

5/8"Ø THREADED ROD DRILL
AND EPOXY W/ HILTI HY270,
EMBED 8" @ 20" O.C. C/W 1
EACH END

3/4" x 8" x CONT. TOP PLATE.
HOLES PROVIDED IN TOP
PLATE BETWEEN HSS FOR
BOLTS

HSS 1 7/8"Ø x 0.188
@ 20" O.C.

5/8" x 6" x 8"
BASE PLATE



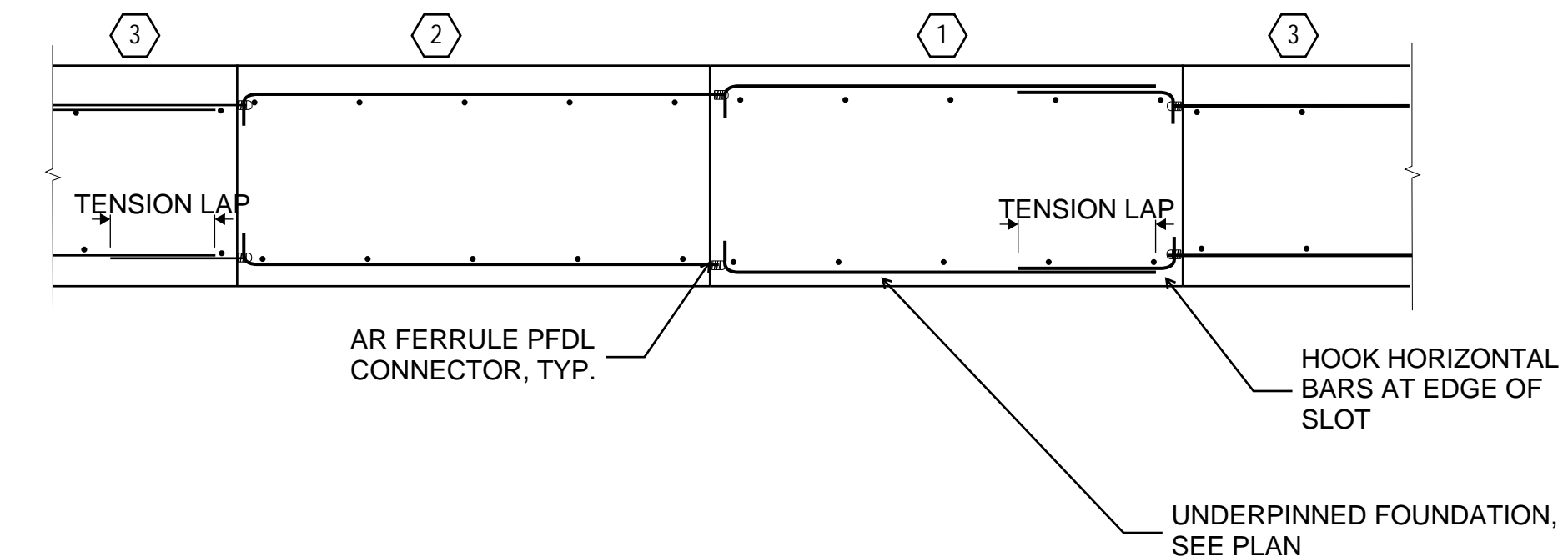
EXTEND 3" E.S. PAST OPENING TO
PROVIDE BEARING FOR CONCRETE
BEAMS

PACK WITH 1/2" GROUT OR
AS REQUIRED.

NOTES:

1. SEE ARCH FOR OPENING LOCATIONS AND DIMENSIONS.
2. MAX OPENING SIZE = 11'-0".
3. RJC TO REVIEW OPENING PRIOR TO CUTTING

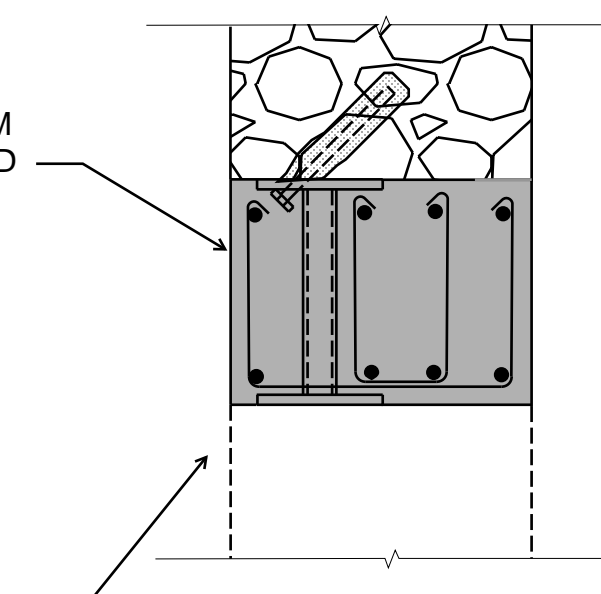
1 LINTEL AT NEW OPENINGS
CE-05 1" = 1'-0"



1 UNDERPINNING SECTION
CE-05 1/2" = 1'-0"

12" DP LINTEL BEAM R/W
4-20M TOP AND BOTTOM 10M
STIRRUPS @ 6" O.C.. EXTEND
BEAM 3" PAST OPENING
EACH SIDE

LINTEL BEAM MUST BE SET
BEFORE CUTTING OPENING
BELOW

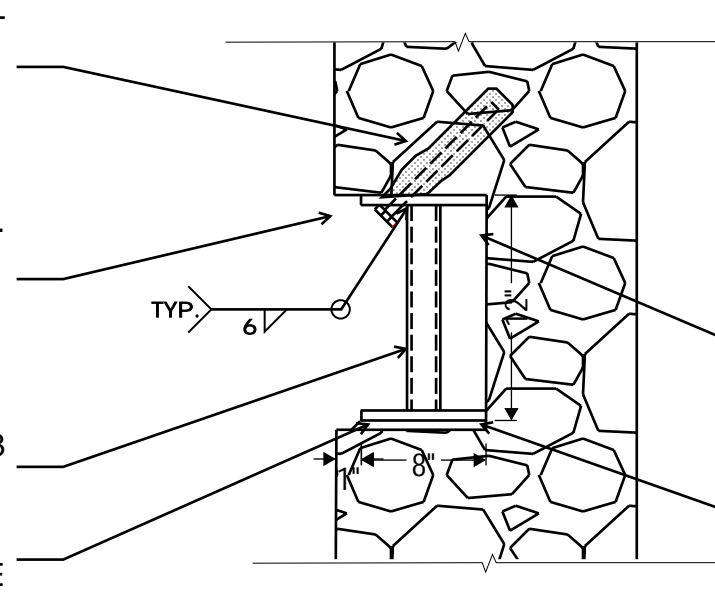


5/8"Ø THREADED ROD DRILL
AND EPOXY W/ HILTI HY270,
EMBED 8" @ 20" O.C. C/W 1
EACH END

3/4" x 8" x CONT. TOP PLATE.
HOLES PROVIDED IN TOP
PLATE BETWEEN HSS FOR
BOLTS

HSS 1 7/8"Ø x 0.188
@ 20" O.C.

5/8" x 6" x 8"
BASE PLATE



EXTEND 3" E.S. PAST OPENING TO
PROVIDE BEARING FOR CONCRETE
BEAMS

PACK WITH 1/2" GROUT OR
AS REQUIRED.

No.	Revision	Date	By
1	ISSUE FOR CONSTRUCTION	30/09/2022	DW

Drawing Notes

1. All drawings, plans, models, designs, specifications and other documents prepared by Read Jones Christoffersen Ltd. ("RJC") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of RJC whether the Work is executed or not, and RJC reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.

2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from RJC. The work "as constructed" may vary from what is shown on these drawings.

3. Use of these drawings is limited to that identified in the Revision column. Do not construct from these drawings unless marked "Issued for Construction" by RJC in the Revision column, and then only for the parts noted. The drawings shall not be used for "pricing", "costing" or "tender" unless so indicated in the Revision column. "Pricing" or "Costing" drawings are not complete and any prices based on such drawings must allow for this.

Seal

Project Name
Northern Junk
CONSTRUCTION ENGINEERING

1314-1318 Wharf Street, Victoria B.C.

Sheet Title
UNDERPINNING DETAILS

Drawn By **DRM** Scale **AS NOTED**
Designed By **DRM** Date **15/07/2022**
RJC Project Number **VIC.100479.0006**

Sheet Number **CE-05** Revision **0**