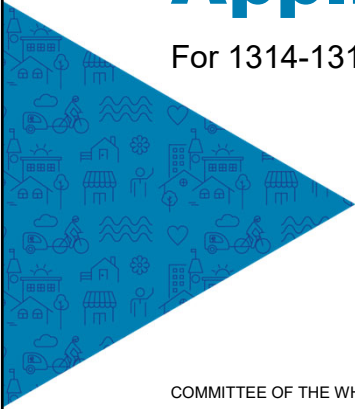1

2024

CITY OF VICTORIA | Sustainable Planning & Community Development

Tax Incentive Program Application
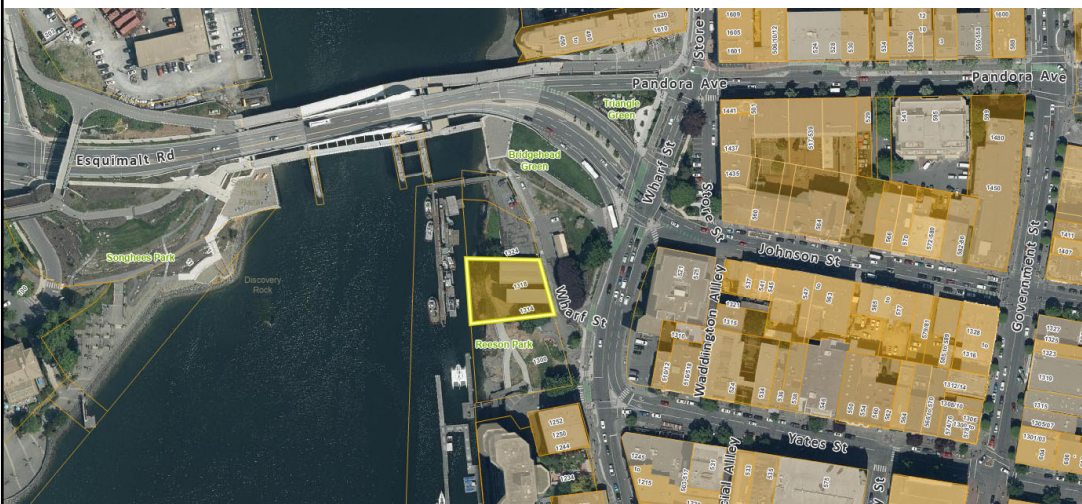
For 1314-1318 Wharf Street
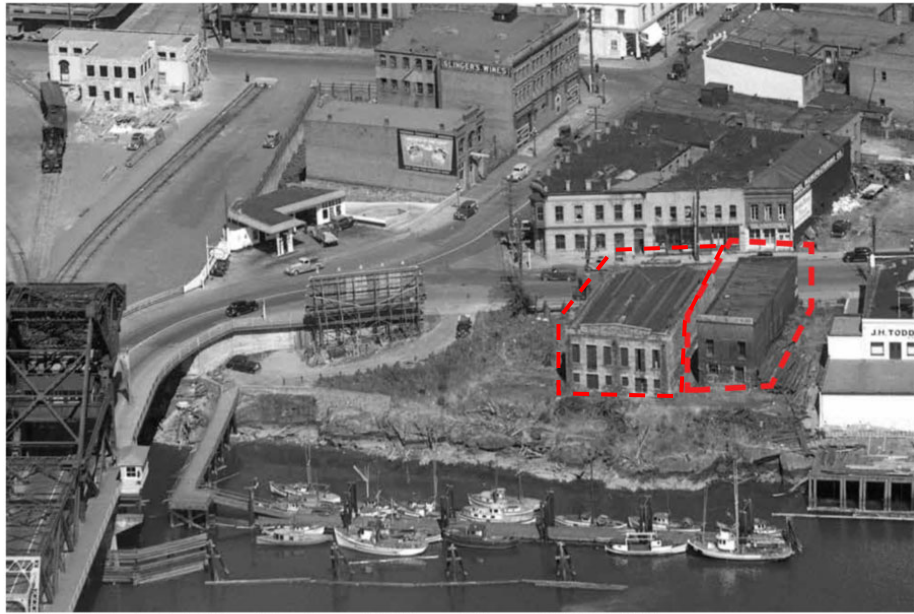
COMMITTEE OF THE WHOLE | July 25, 2024

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Aerial Photo

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Subject Property

Victoria aerial showing Caire & Grancini warehouse, 1947 [Vintage Air Photos of BC BO-47-1455]

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Subject Property

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Subject Property

Caire & Grancini Warehouse
1314 Wharf Street
Built in 1860
Original Owner: Don Fraser, Justinian Caire and Ermengildo Grancini
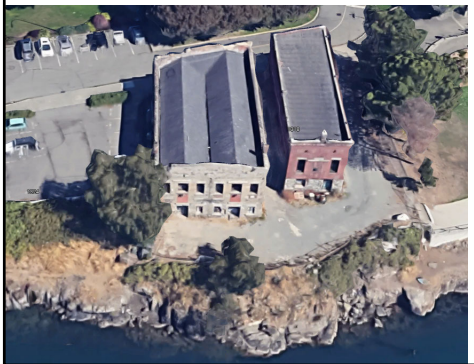Architect: John Wright
Heritage Designated: 1975

Fraser Warehouse (arrow) and adjacent Caire & Grancini Warehouse (right) viewed from Victoria's inner harbour, Victoria - 1880

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Subject Property

Fraser Warehouse
1316-18 Wharf Street
Original Owner: Donald Fraser
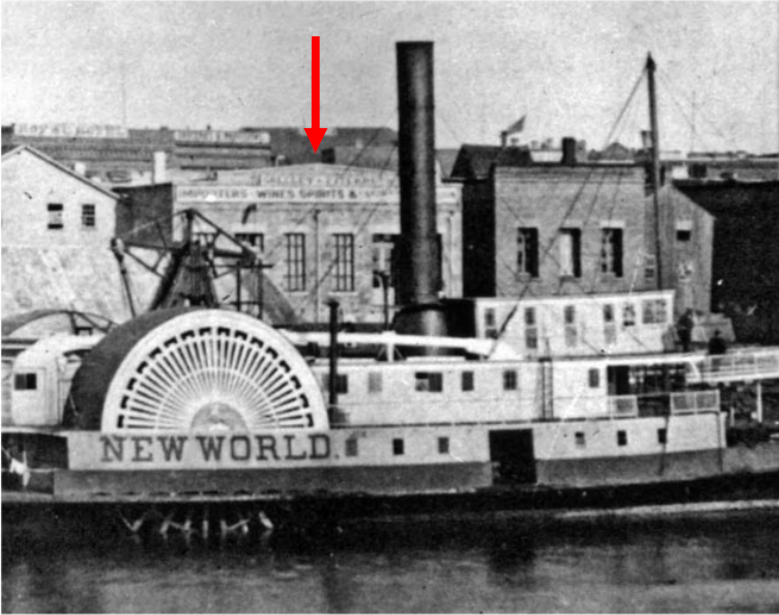Built in 1864
Architect: Thomas Trounce
Heritage Designated: 1975

Fraser Warehouse (arrow) and adjacent Caire & Grancini Warehouse (right) viewed from Victoria's inner harbour, Victoria - 1880

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Legislative Authority
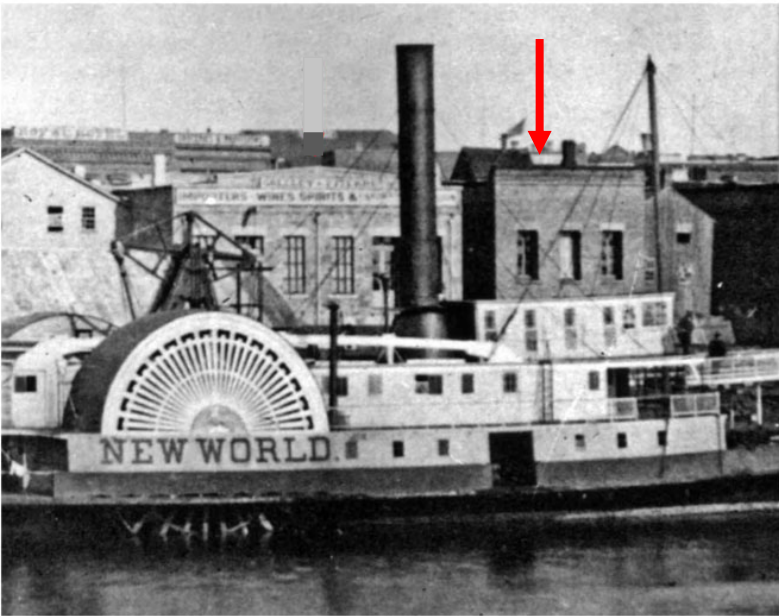
- In accordance with Section 225 of the *Community Charter*, Council may exempt protected heritage property from taxation under Section 197(1)(a) to the extent provided in the bylaw and subject to conditions established by the exemption agreement.

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Floor Plan

unpermitted use for this application, excluded from calculations

conserved historic building area

retail leasable area

Basement Level Harbour-Facing Heritage Retention Plan

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Harbour Side / Basement Level Heritage Retention Plan

9

Ground Level Street-Facing Heritage Retention Plan

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Ground Level Street-Facing Heritage Retention Plan

11

12

Elevations

12

13

Wharf Street / North Elevation

Renderings

13

14

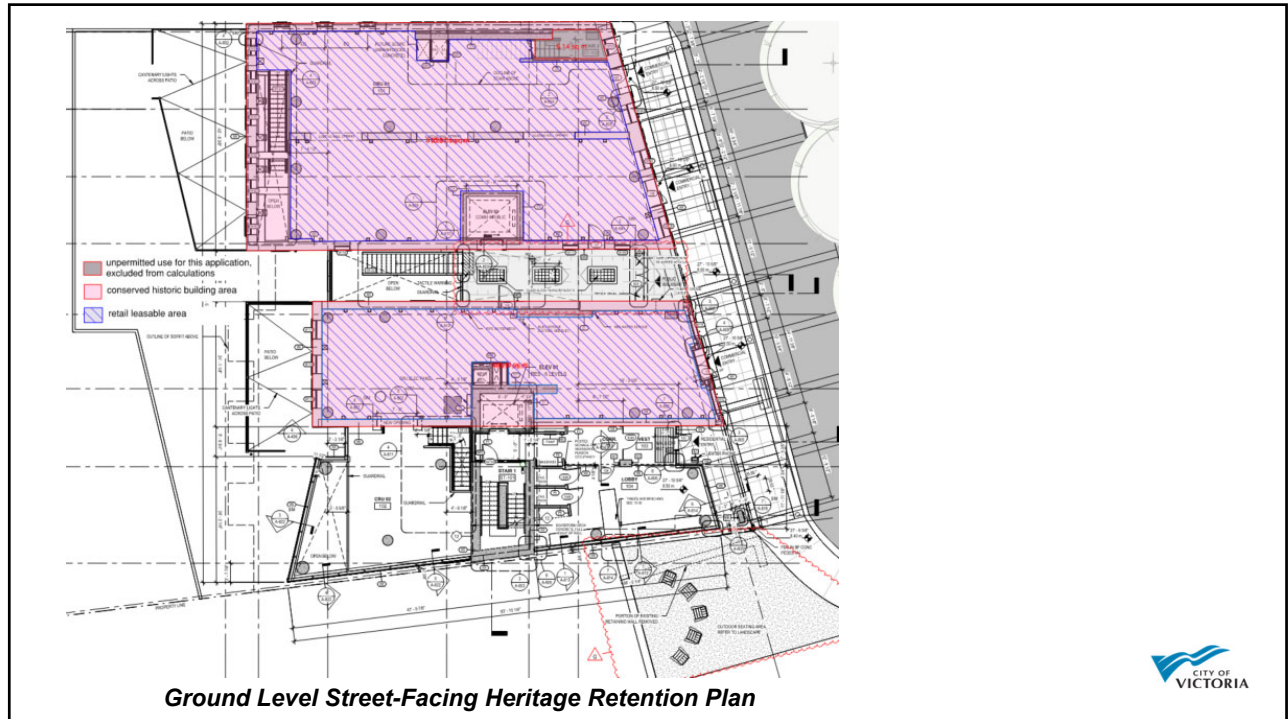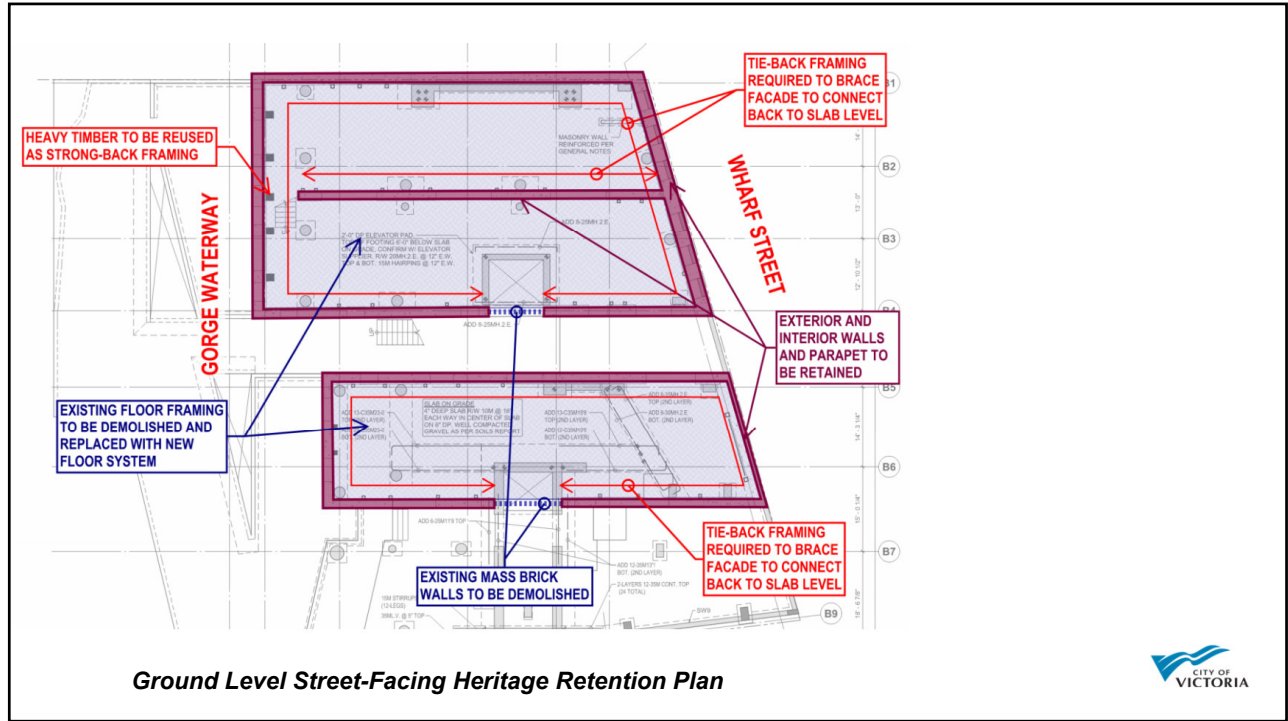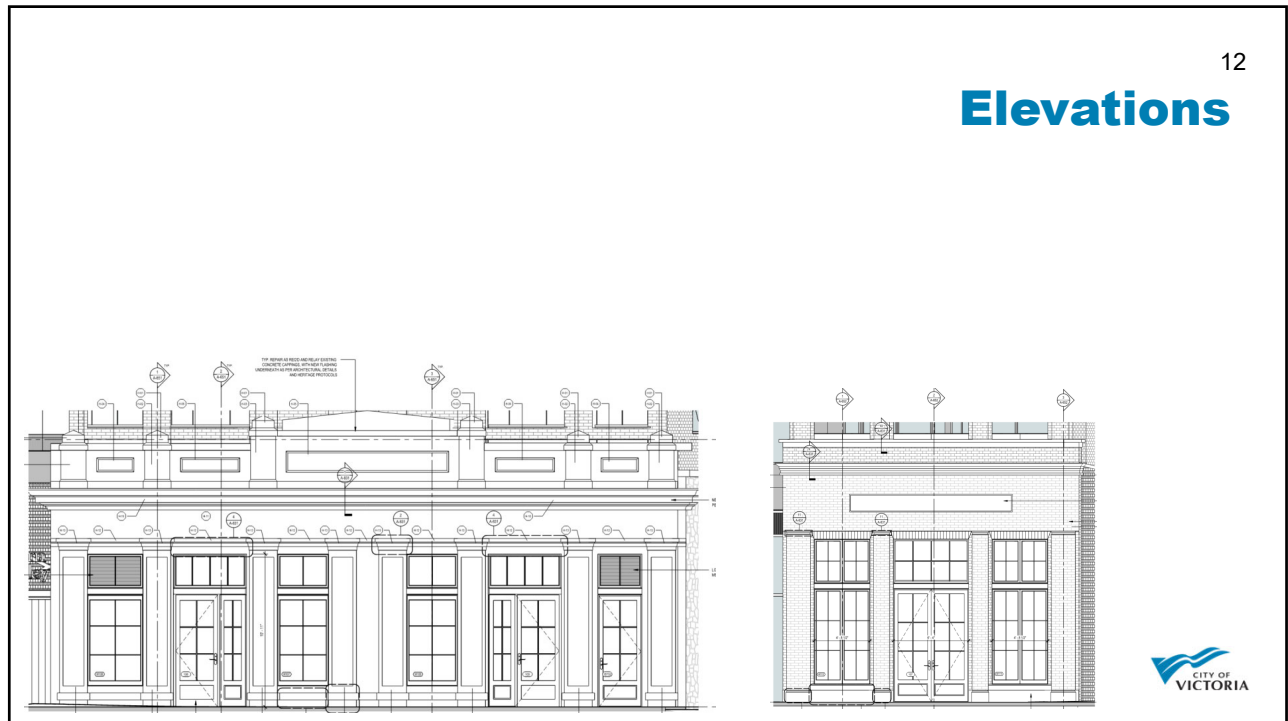South Facing / Wharf Street Elevation

Renderings

14

Harbour Side / West Elevation

Renderings

15

15

Tax Exemption
1314-1318 Wharf St

Seismic Cost / property tax = Tax Exemption Term (to a maximum of 10 years)

$4,339,843 / $73,163.05 = 59.32

Term = 10 years

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•	The building must be Heritage Designated.	**YES**
•	Eligible alterations are limited to seismic upgrading work, associated with retaining and conserving existing heritage fabric.	YES (confirmed by 3rd party review)
•	Construction must not commence until the TIP Application has been advanced to Council for consideration (some strip-out work may be permitted in specific cases). Retroactive applications will not be accepted.	YES
•	Proposals must retain internal structure and exterior façades of the heritage building to the highest level possible unless proven in a seismic assessment to be the only viable option for seismic upgrading and/or adaptive reuse and be verified as being necessary by an independent peer review.	YES
•	Rooftop additions must be sensitively located and smaller in scale than the existing building and are limited to 1 – 2 storeys.	**NO**
•	Excavation below the original building foundations is not permitted unless verified as required as part of a structural assessment	YES
•	For Residential Use TIP Applications, buildings must reuse/repurpose existing upper floors for residential use, with commercial on the ground floor. Eligible costs are limited to seismic upgrade work.	YES
•	All applications must submit a seismic assessment of the heritage building with cost estimates for the seismic upgrade strategy and clearly separate out eligible heritage costs from any new construction and/or new development costs.	YES
•	Applications not meeting the above criteria will be considered ineligible and will not be accepted. Where an application has been accepted and its status changes to make it ineligible, application processing will be stopped.	NOT ELIGIBLE

Eligibility Criteria for
1314-1318 Wharf St

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