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LIST OF DRAWINGS

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PROJECT LOCATION PLAN (NTS)



PROJECT SITE (NTS)

ARYZE
1733-1737 Fairfield Rd
 JUNE 25, 2024

Date	JUNE 25, 2024	Revision	17
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CASCADIA ARCHITECTS INC
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1 BEECHWOOD ELEVATION PERSPECTIVE
SCALE = 1 : 100



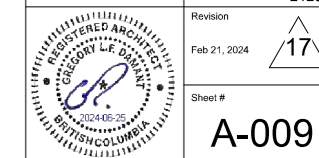
2 FAIRFIELD PEDESTRIAN VIEW
SCALE = 1 : 100

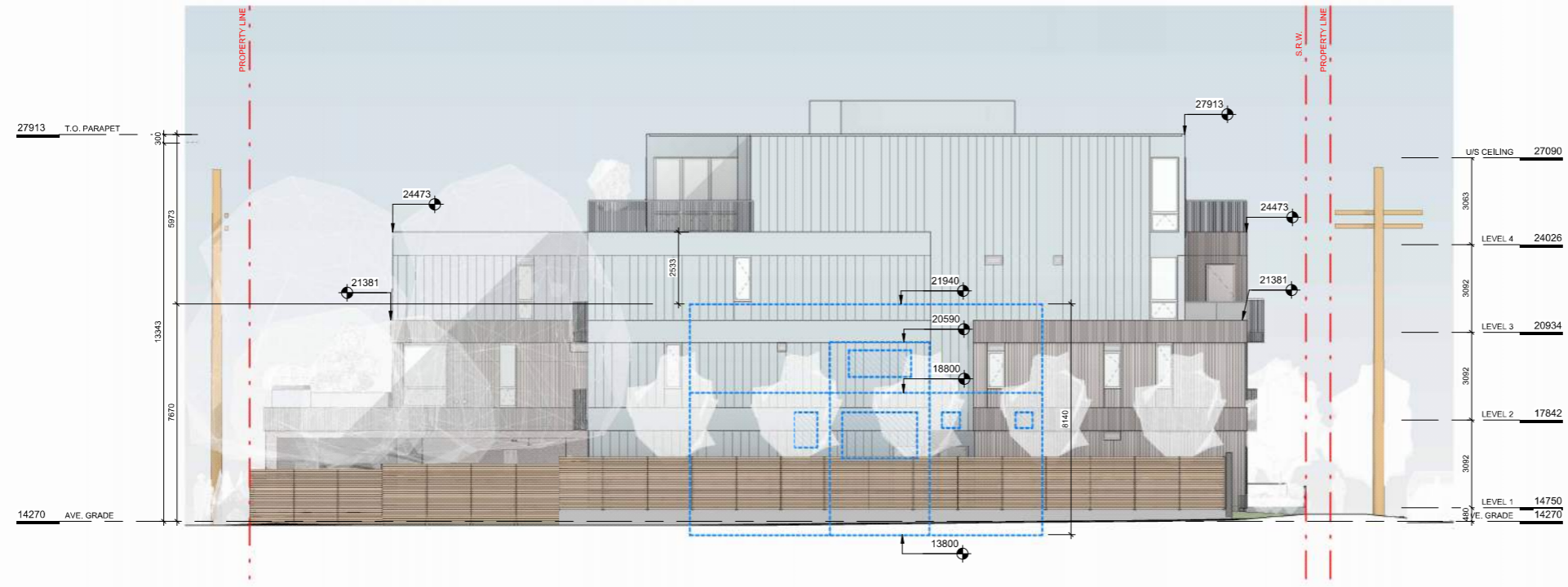
NO.	DESCRIPTION	DATE
17	DPIRZ Rev5	Feb 21, 2024
13	DPIRZ Rev4	Jan 18, 2024
4	DPIRZ Rev2	Jan 26, 2023
3	DPIRZ Rev 1	July 20, 2022
2	DPIRZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022



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1 WINDOW OVERLAY NE ELEVATION
SCALE = 1 : 100



2 FAIRFIELD NORTH PERSPECTIVE
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
17	DPRZ Rev5	Feb 21, 2024
13	DPRZ Rev4	Jan 15, 2024
4	DPRZ Rev2	Jan 26, 2023
3	DPRZ Rev1	July 20, 2022

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1733-1737 Fairfield Rd
ARYZE

Sheet Name
PERSPECTIVE & WINDOW OVERLAY

Date
JUNE 25, 2024

Scale
1 : 100

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2123

Revision
Feb 21, 2024
17

Sheet #
A-010

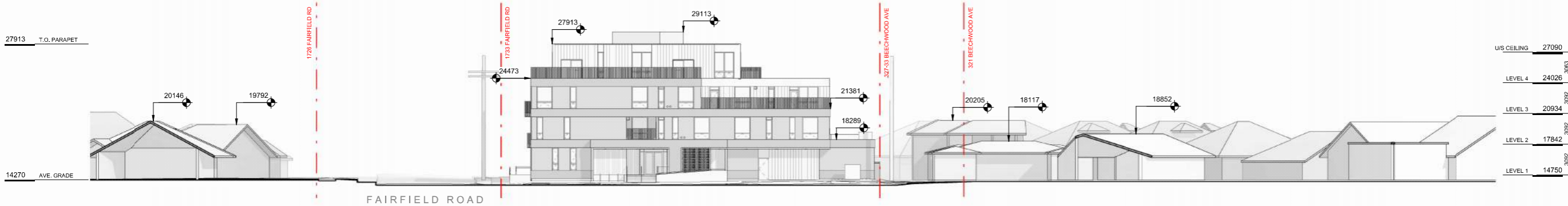
DRAFT



1 CONTEXT PERSPECTIVE FAIRFIELD ROAD
SCALE = 1 : 100



2 CONTEXT PERSPECTIVE BEECHWOOD AVE
SCALE = 1 : 100



3 CONTEXT ELEVATION - BEECHWOOD AVENUE
SCALE = 1 : 200



4 CONTEXT ELEVATION - FAIRFIELD ROAD
SCALE = 1 : 200

17	DP/RZ Rev5	Feb 21, 2024
13	DP/RZ Rev4	Jan 18, 2024
4	DP/RZ Rev2	Jan 28, 2023
2	DP/RZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022
NO.	DESCRIPTION	DATE



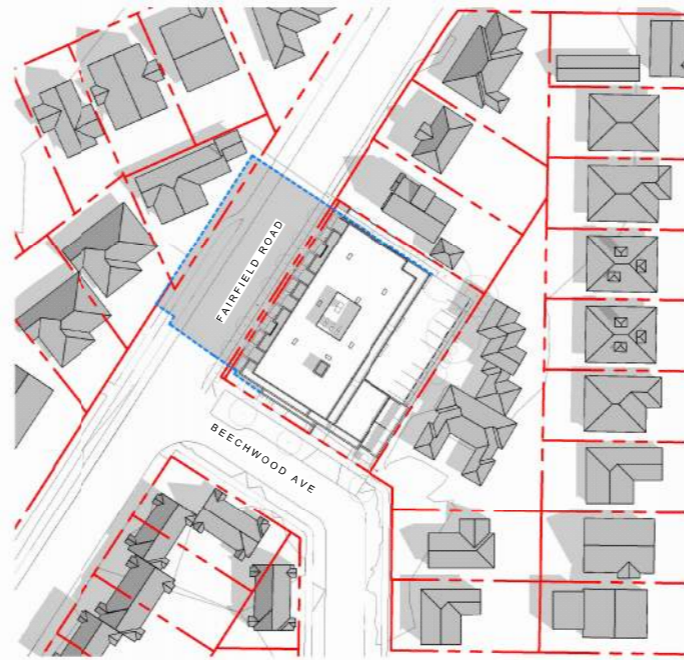
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	ARYZE	
Sheet Name	CONTEXT ELEVATIONS & PERSPECTIVES	
Date	JUNE 25, 2024	
Scale	As indicated	Project # 2123
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SUMMER SOLSTICE 9:00AM



EQUINOX 9:00 AM



WINTER SOLSTICE 9:00 AM



SUMMER SOLSTICE 12:00 PM



EQUINOX 12:00 PM



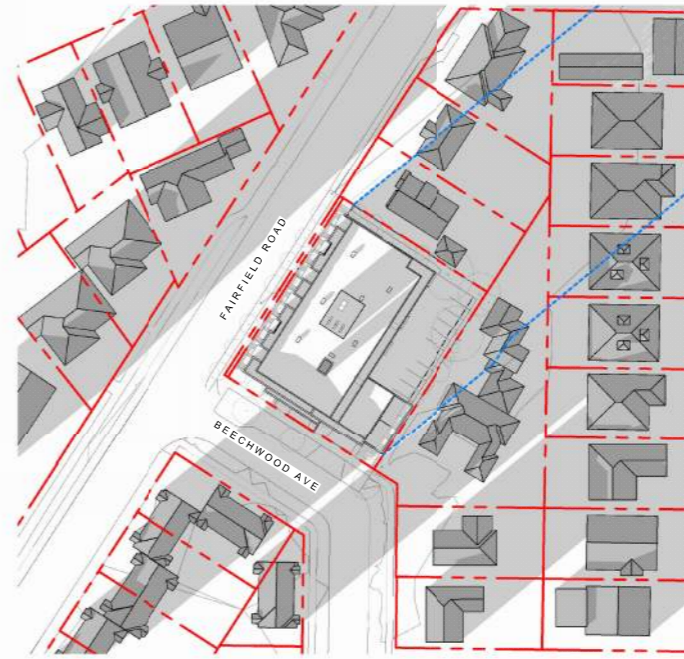
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SUMMER SOLSTICE 4:00 PM



EQUINOX 4:00 PM



WINTER SOLSTICE 4:00 PM

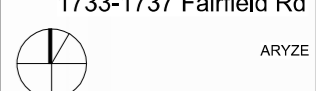
4	DPFR2 Rev2	Jan 26, 2023
2	DPFR2 Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022
NO.	DESCRIPTION	DATE



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Project 1733-1737 Fairfield Rd



ARYZE

Sheet Name SHADOW STUDIES

Date JUNE 25, 2024

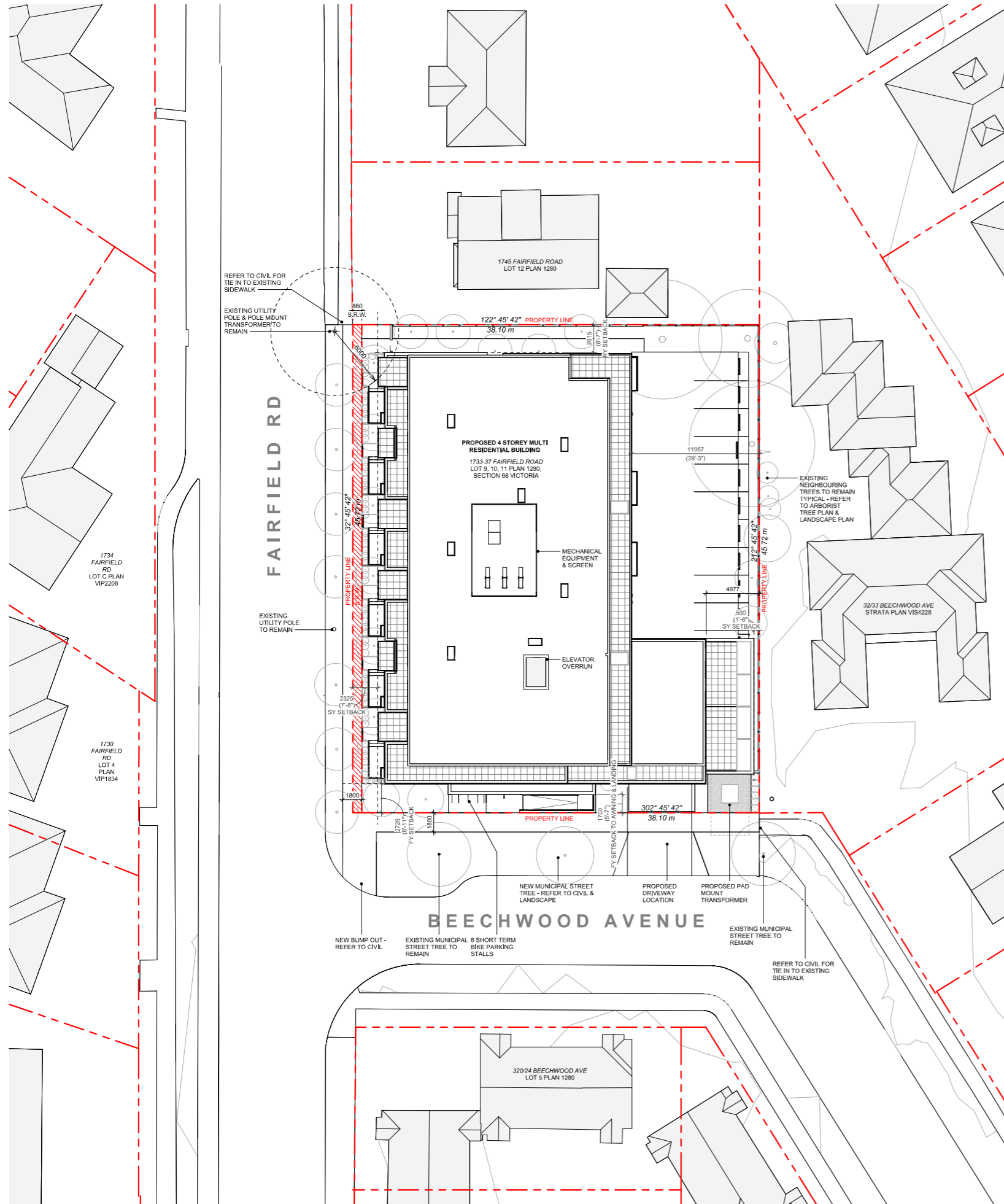
Scale 1 : 750 Project # 2123

Revision Jan 26, 2023 4

Sheet # A-012

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DATA

MUNICIPALITY	CITY OF VICTORIA
MUNICIPAL ADDRESS	1733-37 FAIRFIELD ROAD, VICTORIA BC
LEGAL DESCRIPTION	LOT 9, 10, 11, PLAN 1280, SECTION 68 VICTORIA
PROJECT DESCRIPTION	4 STOREY MULTI UNIT RESIDENTIAL BUILDING

PROJECT INFORMATION

ZONE (EXISTING)	R1-G	
PROPOSED ZONE	UNKNOWN	
SITE AREA (m ²)	1,741.93m ²	
TOTAL FLOOR AREA (m ²)	3113.67m ²	
COMMERCIAL FLOOR AREA (m ²)	0	
FLOOR SPACE RATIO	1.79:1	
SITE COVERAGE (%)	65%	
OPEN SITE SPACE (%)	23%	
HEIGHT (m)	13.39m	
NUMBER OF STOREYS	4	
	REQUIRED	PROVIDED
PARKING STALLS (#) TOTAL ON SITE	3	23 (+15m)
PARKING STALLS - VISITOR (#) ON SITE	3	2
BICYCLE PARKING (#) SHORT TERM	6	6
BICYCLE PARKING (#) LONG TERM	37	51

BUILDING SETBACKS (m)

	PROPOSED
FRONT YARD (BEECHWOOD AVE)	2.73m
FRONT YARD (TO AWNING/LANDING)	1.70m
INTERNAL SIDE YARD (TO BALCONY)	0.50m
INTERNAL SIDE YARD (TO BUILDING FACE)	4.78m
SIDE YARD (FAIRFIELD RD)	2.33m
REAR YARD	2.62m
COMBINED SIDE YARDS	2.83m

RESIDENTIAL USE DETAILS

TOTAL NUMBER OF UNITS	29
UNIT TYPE	TOWNHOMES (6), 1 BEDS (10), 2 BEDS (13)
GROUND-ORIENTATED UNITS	6
MINIMUM UNIT FLOOR AREA (m ²)	51m ²

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17	DP/RZ Rev5	Feb 21, 2024
13	DP/RZ Rev4	Jan 18, 2024
5	DP/RZ Rev3	Aug 10, 2023
4	DP/RZ Rev2	Jan 26, 2023
3	DP/RZ Rev1	July 20, 2022
2	DP/RZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022



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Project
1733-1737 Fairfield Rd
 ARYZE

Sheet Name
SITE PLAN & PROJECT DATA

Date
JUNE 25, 2024

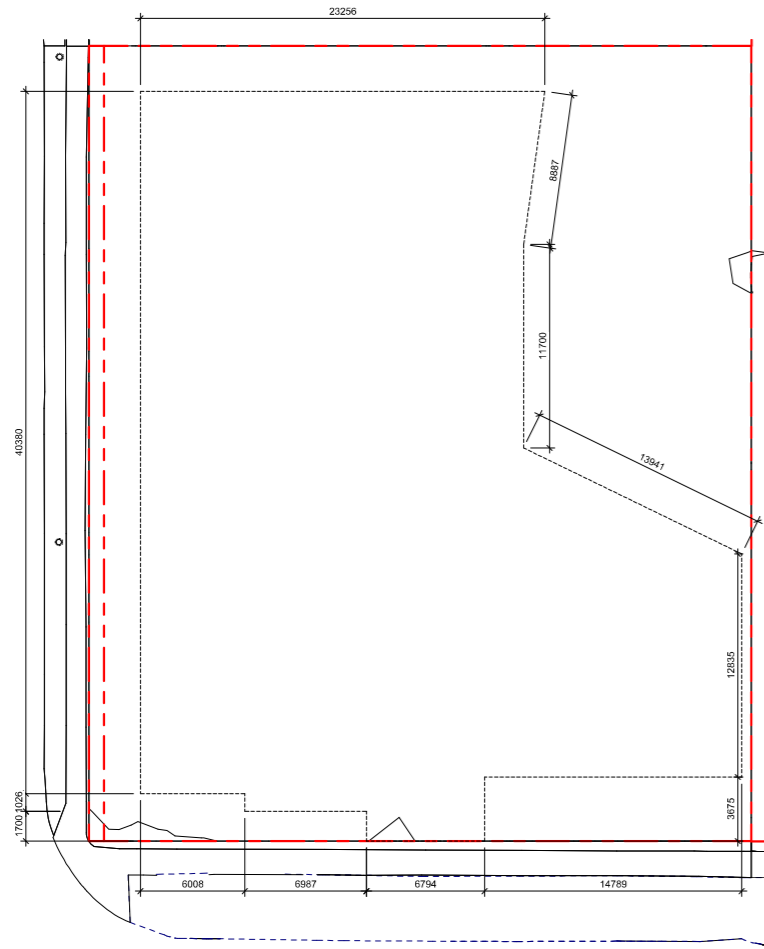
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Project #
 2123

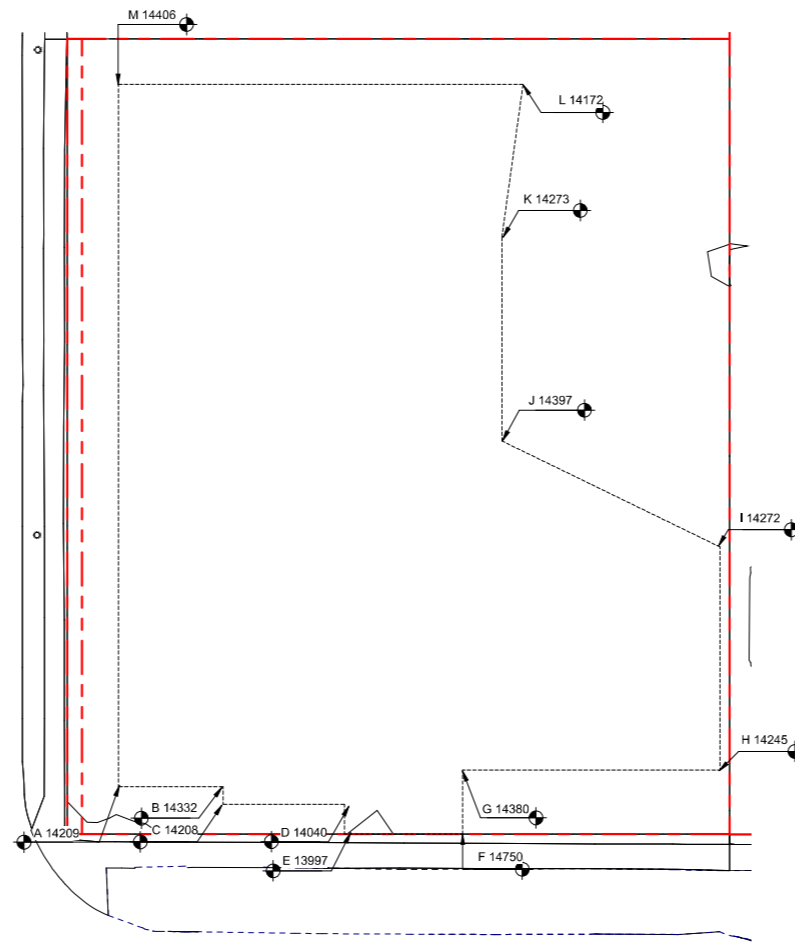
Revision
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17

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A-050

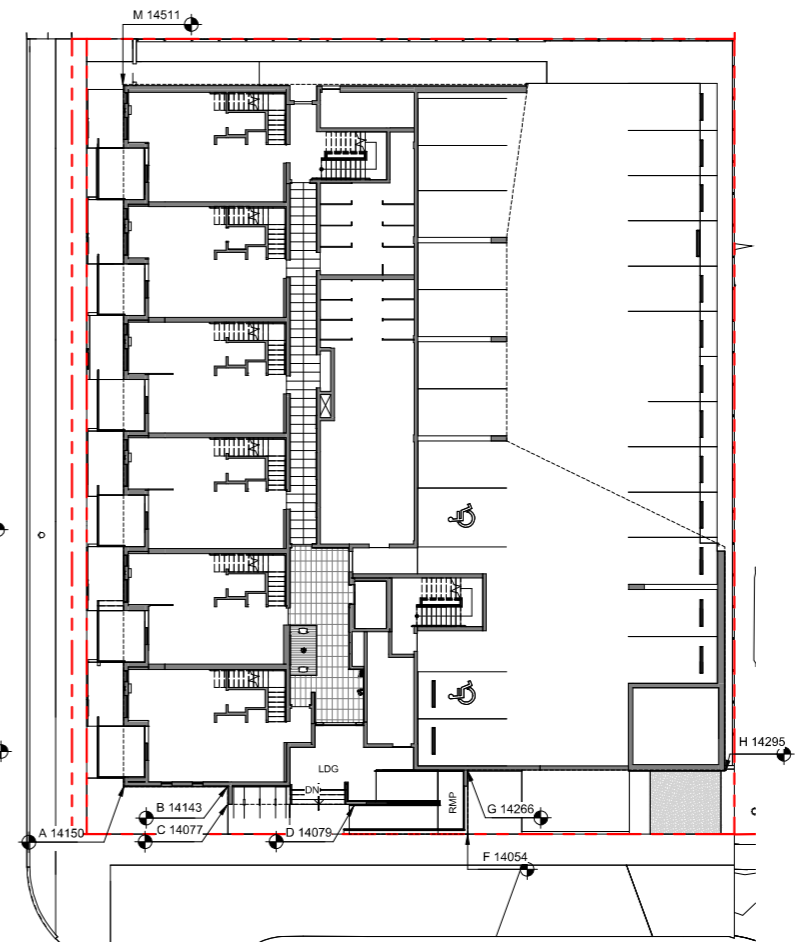
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 SCALE = 1 : 200



1 DISTANCE BTWN POINTS KEY PLAN
SCALE = 1 : 200



2 NATURAL GRADE KEY PLAN
SCALE = 1 : 200

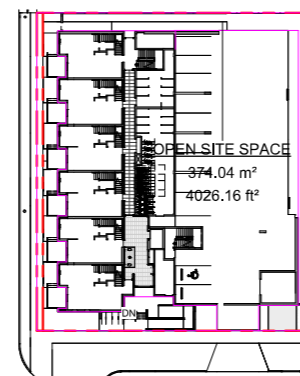


3 PROPOSED GRADE KEY PLAN
SCALE = 1 : 200

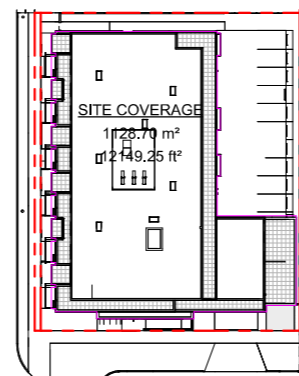
POINT NAME	NATURAL	PROPOSED	DISTANCE BETWEEN POINTS	AVE. OF POINTS	
A	14.209	14.42	Point A & B	6.008	85.20
B	14.332	14.15	Point B & C	1.026	14.50
C	14.208	14.12	Point C & D	7.381	103.92
D	14.04	14.11	Point D & E	1.7	23.83
E	13.997	14.10	Point E & F	6.4	89.96
F	14.75	14.11	Point F & G	3.63	51.72
G	14.38	14.44	Point G & H	13.35	191.33
H	14.346	14.28	Point H & I	12.88	183.90
I	14.273	14.41	Point I & J	12.663	181.52
J	14.397	14.69	Point J & K	11.7	167.72
K	14.273	14.64	Point K & L	8.887	126.40
L	14.172	14.62	Point L & M	23.256	332.30
M	14.406	14.64	Point M & N	40.38	577.74

Total	149.26	2130.03
Average Grade	14.27	

*NOTE: Lowest grade point governs per Schedule A definition



4 OPEN SITE SPACE
SCALE = 1 : 500



5 SITE COVERAGE
SCALE = 1 : 500

SUPPORTING CALCULATIONS

ZONING REGULATION BYLAW FLOOR AREAS

LEVEL 1	543.81 m ²
LEVEL 2	21.29 m ²
LEVEL 3	955.88 m ²
LEVEL 4	899.87 m ²
LEVEL 4	692.82 m ²
Grand total:	3113.67 m ²

FLOOR SPACE RATIO

3113.67m² / 1741.93m² = 1.787

FSR - 1.79 : 1

SITE COVERAGE

1128.70m² / 1741.93m² = 0.65 (65%)

OPEN SITE SPACE

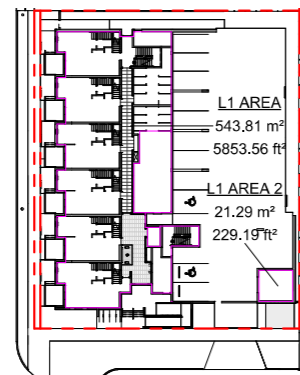
395.01m² / 1741.93m² = 0.23 (23%)

HEIGHT OF PATIOS, STAIRS, & RAMP TO EXISTING & PROPOSED GRADE
REFER TO GRADE KEY PLANS

1TH PATIO
(WORST CASE GRADING ALONG FAIRFIELD RD - THEREFORE ALL <600mm)
14750 - 14200 (PROPOSED) = 550mm
14750 - 14171 (EXISTING) = 579mm

LDG (LANDING AT PRIMARY ENTRANCE)
14750 - 14114 (PROPOSED) = 636mm
14750 - 14040 (EXISTING) = 710mm

RMP (INTERMEDIARY RAMP LANDING)
14507 - 14114 (PROPOSED) = 393mm
14507 - 14280 (EXISTING) = 227mm



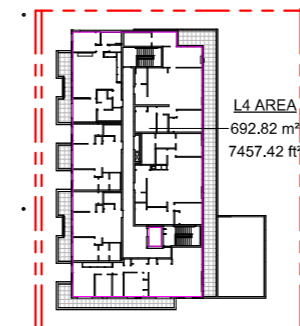
6 L1 FLOOR AREA
SCALE = 1 : 500



7 L2 FLOOR AREA
SCALE = 1 : 500



8 L3 FLOOR AREA
SCALE = 1 : 500



9 L4 FLOOR AREA
SCALE = 1 : 500

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Project
1733-1737 Fairfield Rd
ARYZE

Sheet Name
ZONING CALCULATIONS

Date
JUNE 25, 2024

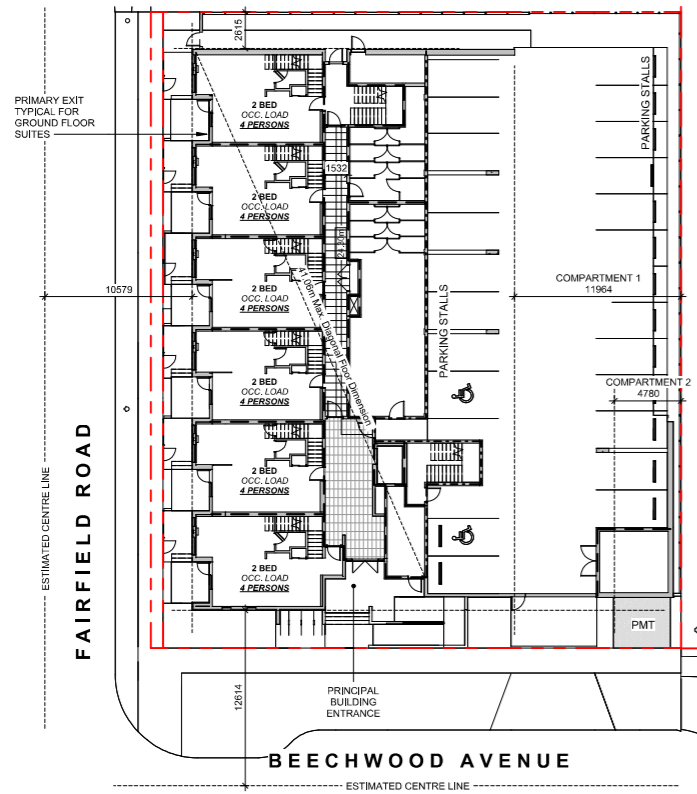
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2123

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Feb 21, 2024

Sheet #
A-051

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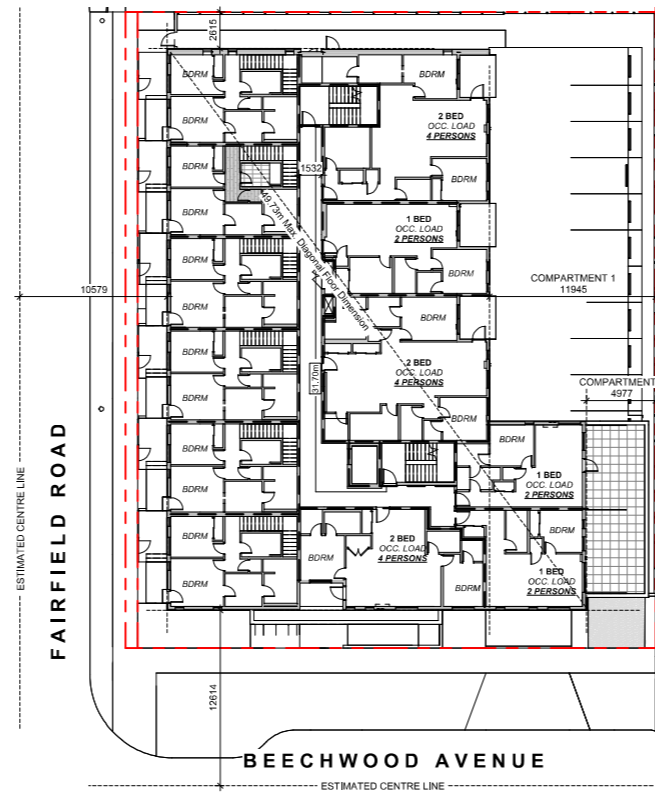


OCCUPANT LOAD:
Occupancy Group C
12 Bedrooms x 2 persons/bedroom
= 24 persons

MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 24 = 146.4mm
or 1100mm (minimum 1500mm for
accessible path of travel)

Stairs
the greater of 8mm x 24 = 192.0mm
or 1100mm

1 L1 CODE REVIEW KEY PLAN
SCALE = 1 : 250



OCCUPANT LOAD:
Occupancy Group C
9 Bedrooms x 2 persons/bedroom
= 18 persons

MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 18 = 109.8mm
or 1100mm (minimum 1500mm for
accessible path of travel)

Stairs
the greater of 8mm x 18 = 144.0mm
or 1100mm

2 L2 CODE REVIEW KEY PLAN
SCALE = 1 : 250

BUILDING CODE ANALYSIS

PROJECT TYPE	<input checked="" type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> RENOVATION	<input type="checkbox"/> ADDITION
GOVERNING BUILDING CODE	2018 BC BUILDING CODE <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9		
MAJOR OCCUPANCY	A1 <input type="checkbox"/> A2 <input type="checkbox"/> A3 <input type="checkbox"/> A4 <input type="checkbox"/> B1 <input type="checkbox"/> B2 <input type="checkbox"/> B3 <input checked="" type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F1 <input type="checkbox"/> F2 <input type="checkbox"/> F3	3.1.2.1	
BUILDING AREA	1,004 m ² (approx)	1.4.1.2	
GRADE	18.75 m geodetic	1.4.1.2	
BUILDING HEIGHT (STOREYS)	4 STOREYS ABOVE GRADE		1.4.1.2
	0 STOREYS BELOW GRADE		

BUILDING FIRE SAFETY & CONSTRUCTION CLASSIFICATION

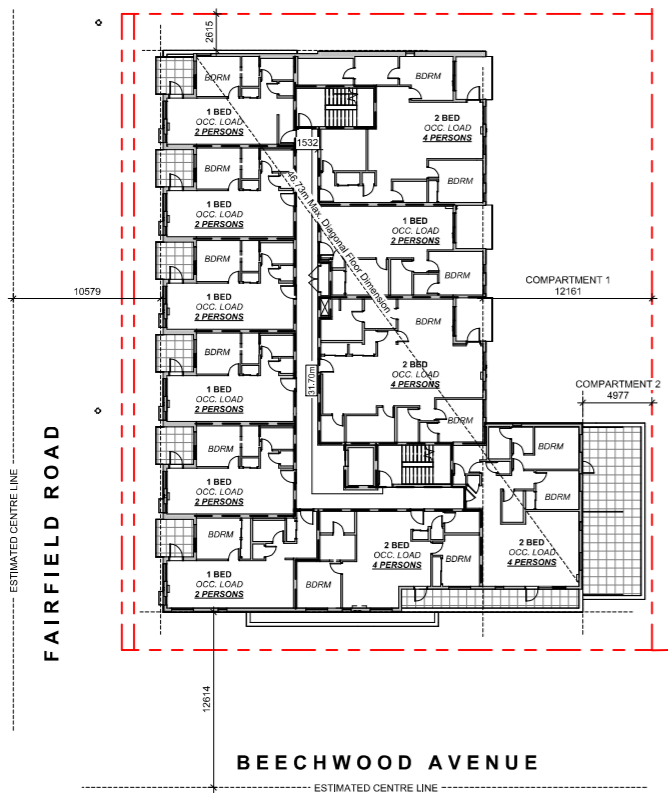
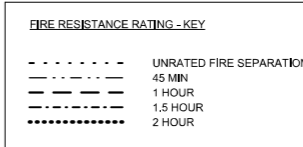
CLASSIFICATION	GROUP C, UP TO 4 STOREYS, SPRINKLERED	3.2.2.51
MAXIMUM BUILDING AREA	1800 m ²	3.2.2.51
NO. OF STREETS FACING	1 (BEECHWOOD AVE UNDER 9M MINIMUM STREET WIDTH)	3.2.2.10
CONSTRUCTION TYPES PERMITTED	<input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE	3.2.2.51
FIRE ALARM SYSTEM	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.1
STANDPIPE SYSTEM	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.8
HIGH BUILDING	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6.1
INTERCONNECTED FLOOR SPACE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO EXCEPT WITHIN AT GRADE RESIDENTIAL UNITS	3.2.8

FIRE RESISTANCE RATINGS

HORIZONTAL SEPARATIONS	1 hr FLOORS 1 hr MEZZANINE Unrated ROOF	3.2.2.51
LOADBEARING WALLS, COLUMNS & ARCHES	1 hr (NOT LESS THAN THAT REQUIRED FOR SUPPORTED STRUCTURE)	3.2.2.51
EXITS	1 hr	3.4.4.1

EXITS FROM FLOOR AREAS

NUMBER OF EXITS REQUIRED	2	3.4.2.1
SEPARATION OF EXITS (MIN.)	1/2 MAX. DIAGONAL FLOOR AREA, BUT NEED NOT BE > 9 m	3.4.2.3
MAX. TRAVEL DISTANCE ALLOWED	45 m, GROUP C	3.4.2.5
MEZZANINE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.8

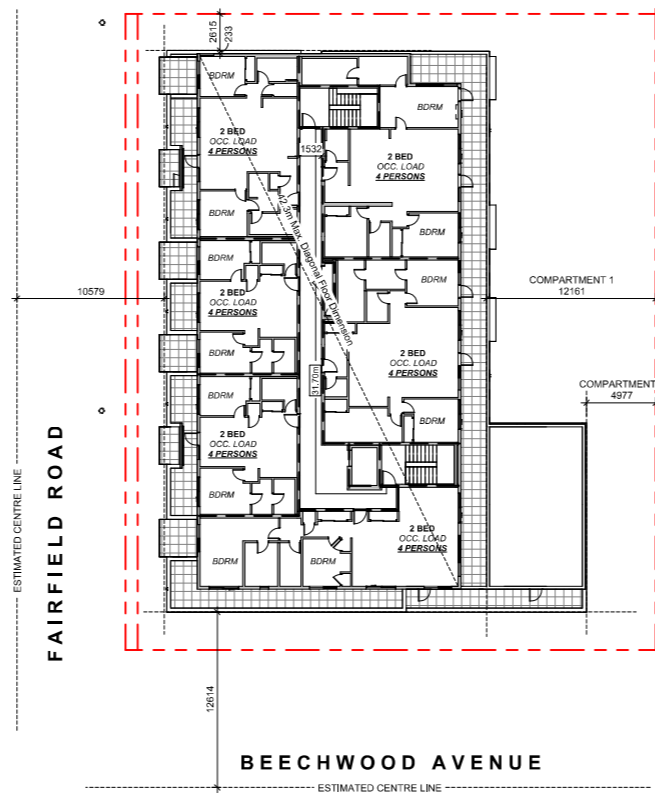


OCCUPANT LOAD:
Occupancy Group C
15 Bedrooms x 2 persons/bedroom
= 30 persons

MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 30 = 183mm
or 1100mm (minimum 1500mm for
accessible path of travel)

Stairs
the greater of 8mm x 30 = 240mm
or 1100mm

3 L3 CODE REVIEW KEY PLAN
SCALE = 1 : 250

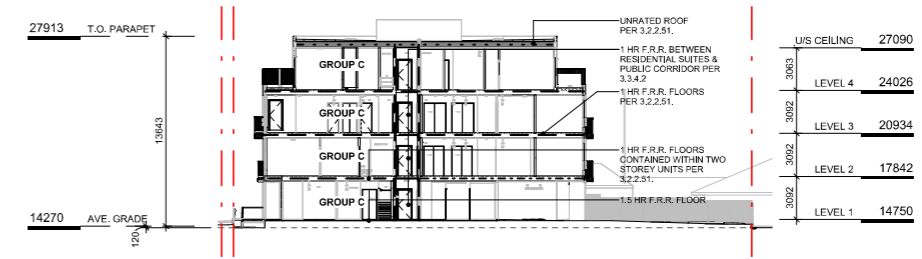


OCCUPANT LOAD:
Occupancy Group C
12 Bedrooms x 2 persons/bedroom
= 24 persons

MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 24 = 146.4mm
or 1100mm (minimum 1500mm for
accessible path of travel)

Stairs
the greater of 8mm x 24 = 192mm
or 1100mm

4 L4 CODE REVIEW KEY PLAN
SCALE = 1 : 250



5 CODE REVIEW KEY SECTION
SCALE = 1 : 250

NO.	DESCRIPTION	DATE
4	DP/RZ Rev2	Jan 26, 2023
2	DP/RZ Submission	April 29, 2022

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Project
1733-1737 Fairfield Rd
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Sheet Name
CODE REVIEW

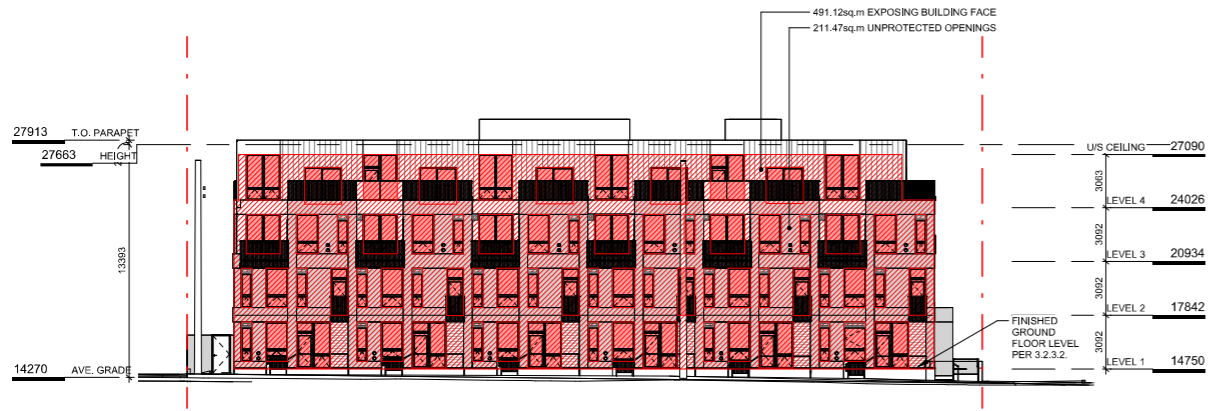
Date
JUNE 25, 2024

Scale
As indicated

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2123

Revision
Jan 26, 2023 **4**

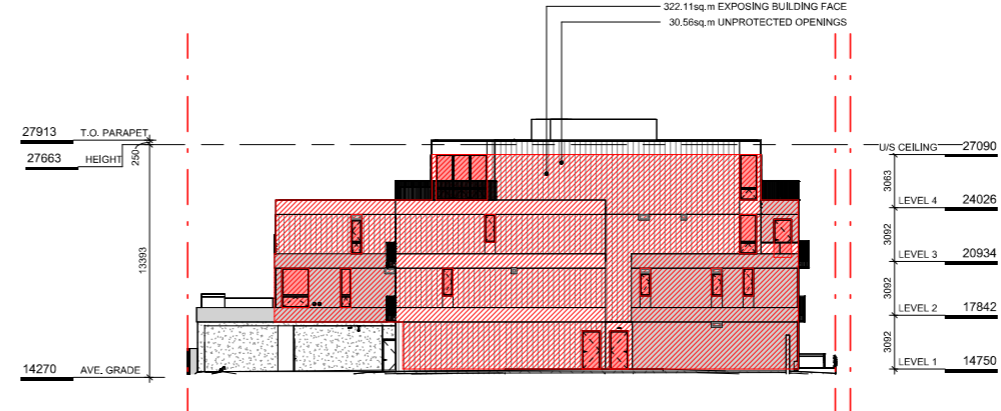
Sheet #
A-052



NW ELEVATION

TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	10.60m (>9m)	100	491.12	211.47	43.1

TABLE 3.2.3.7	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	10.12m (>9m)	100	45 minutes	Any	Any



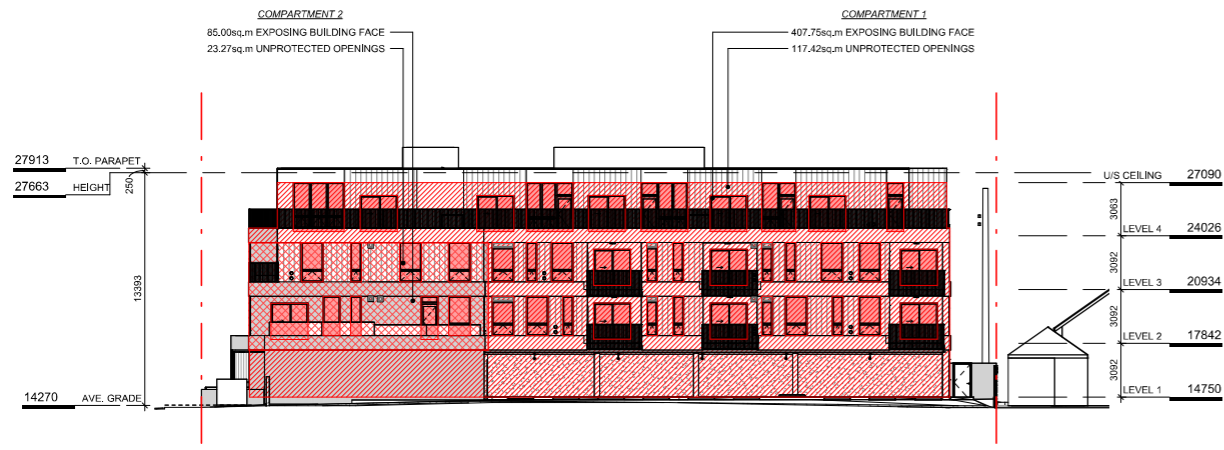
NE ELEVATION

TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	2.62m (>2m)	16	322.11	30.56	9.4

TABLE 3.2.3.7	OCCUPANCY CLASSIFICATION	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	GROUP C	10 - 25	1 hr	Any	Noncombustible

1 NW ELEVATION - LD KEY
SCALE = 1 : 200

2 NE ELEVATION - LD KEY
SCALE = 1 : 200



SE ELEVATION

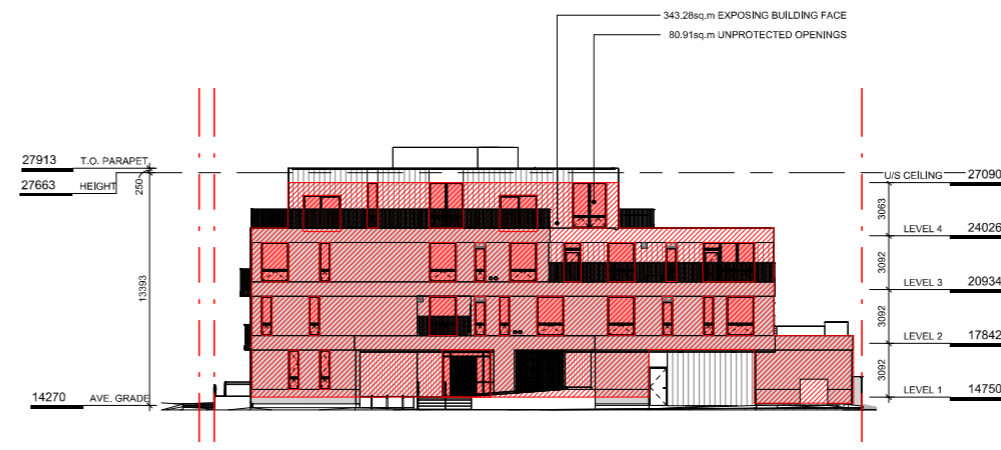
TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
COMPARTMENT 1	11.95m (>9m)	100	407.75	117.42	28.8

TABLE 3.2.3.7	OCCUPANCY CLASSIFICATION	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
COMPARTMENT 1	GROUP C	50 - 100	45 minutes	Any	Any

TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
COMPARTMENT 2	4.98m (>4m)	56	85.00	23.27	27.4

TABLE 3.2.3.7	OCCUPANCY CLASSIFICATION	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
COMPARTMENT 2	GROUP C	50 - 100	45 minutes	Any	Any

4 SE ELEVATION - LD KEY
SCALE = 1 : 200



SW ELEVATION

TABLE 3.2.3.1-D	LIMITING DISTANCE (m)	ALLOWABLE OPENINGS (%)	AREA OF EXPOSING BUILDING FACE (sq.m)	PROPOSED OPENINGS (sq.m)	PROPOSED OPENINGS (%)
	12.61m (>9m)	100	343.28	80.91	23.6

TABLE 3.2.3.7	OCCUPANCY CLASSIFICATION	ALLOWABLE OPENINGS (%)	REQUIRED FRR	REQUIRED TYPE OF CONSTRUCTION	REQUIRED TYPE OF CLADDING
	GROUP C	100	45 minutes	Any	Any

3 SW ELEVATION - LD KEY
SCALE = 1 : 200

NO.	DESCRIPTION	DATE
5	DP/RZ Rev3	Aug 10, 2023
4	DP/RZ Rev2	Jan 26, 2023
3	DP/RZ Rev1	July 20, 2022
2	DP/RZ Submission	April 29, 2022



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Project	1733-1737 Fairfield Rd
	ARYZE

Sheet Name
SPATIAL SEPARATION

Date
JUNE 25, 2024

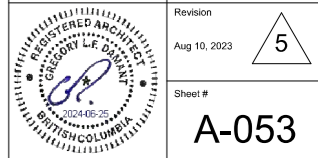
Scale
1 : 200

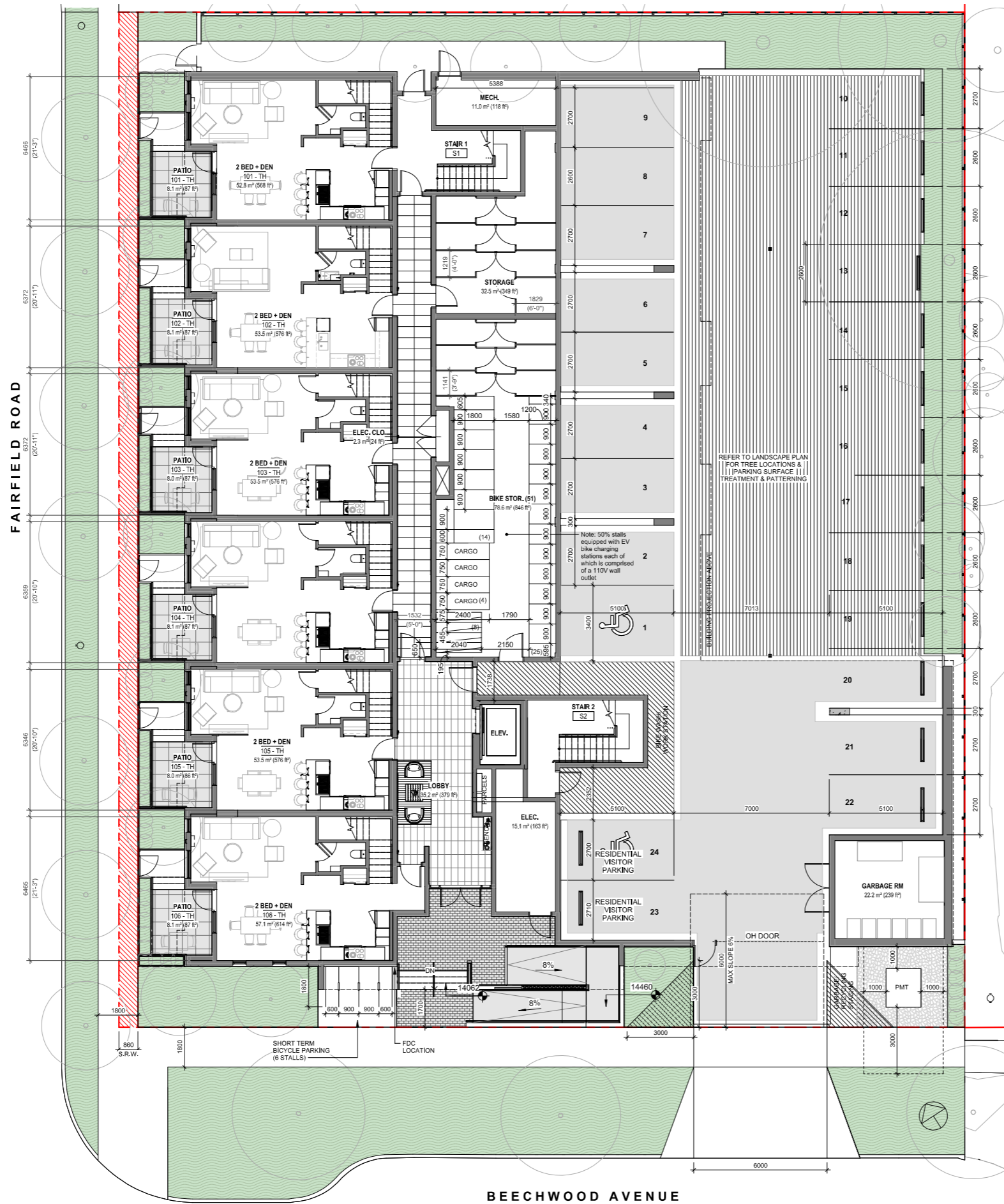
Project #
2123

Revision
Aug 10, 2023

Sheet #
A-053

2024-06-25 11:37:02 AM





1 L1 PROPOSED PLAN
SCALE = 1 : 100

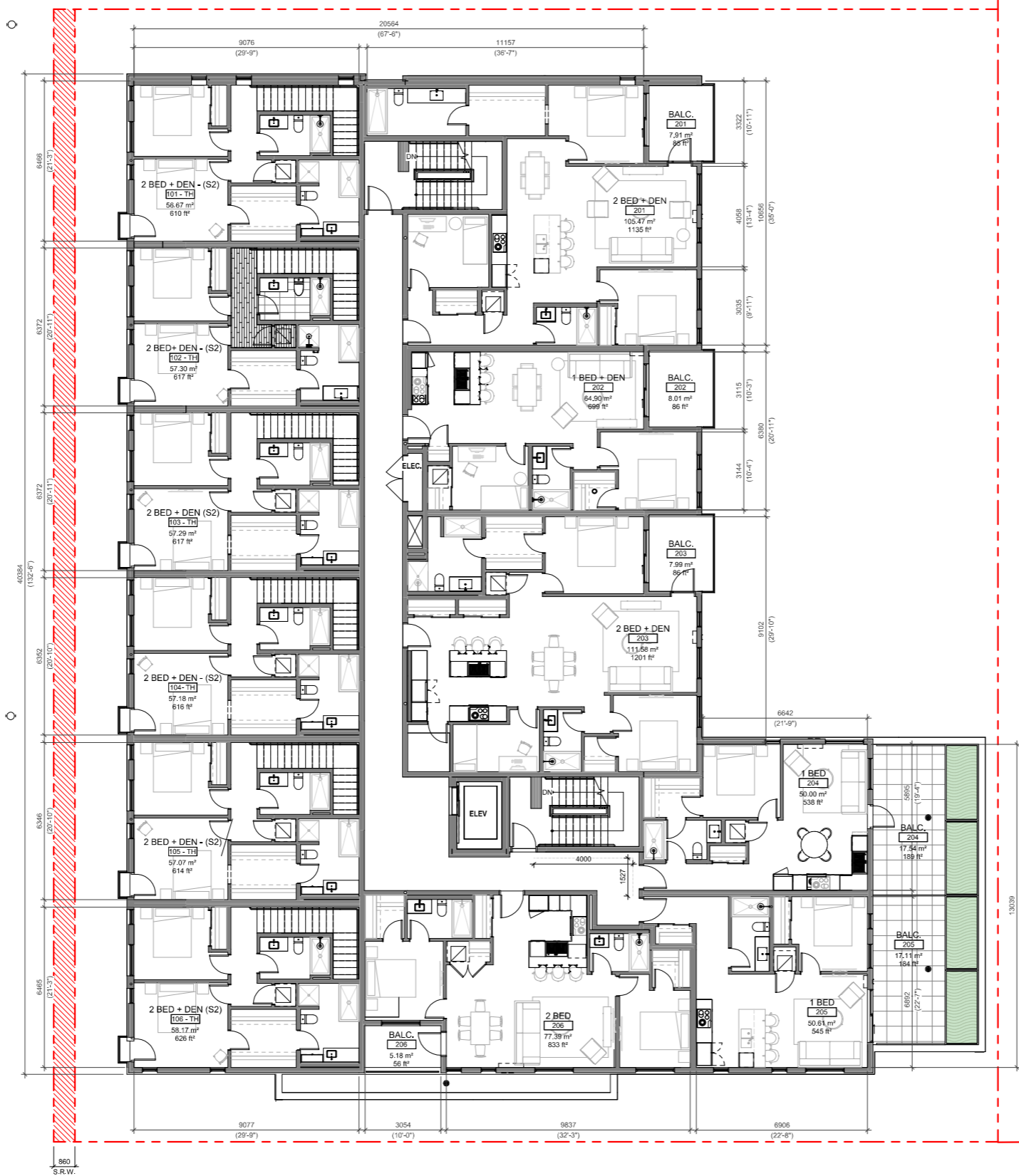
NO.	DESCRIPTION	DATE
19	DPRZ Rev6	May 27, 2024
17	DPRZ Rev5	Feb 21, 2024
13	DPRZ Rev4	Jan 18, 2024
5	DPRZ Rev3	Aug 10, 2023
4	DPRZ Rev2	Jan 26, 2023
3	DPRZ Rev1	July 20, 2022
2	DPRZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022



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Project		1733-1737 Fairfield Rd	
		ARYZE	
Sheet Name			
LEVEL 1 PROPOSED PLAN			
Date			
JUNE 25, 2024			
Scale	1 : 100	Project #	2123
Revision		May 27, 2024	19
Sheet #		A-101	





1 L2 PROPOSED PLAN
SCALE = 1 : 100

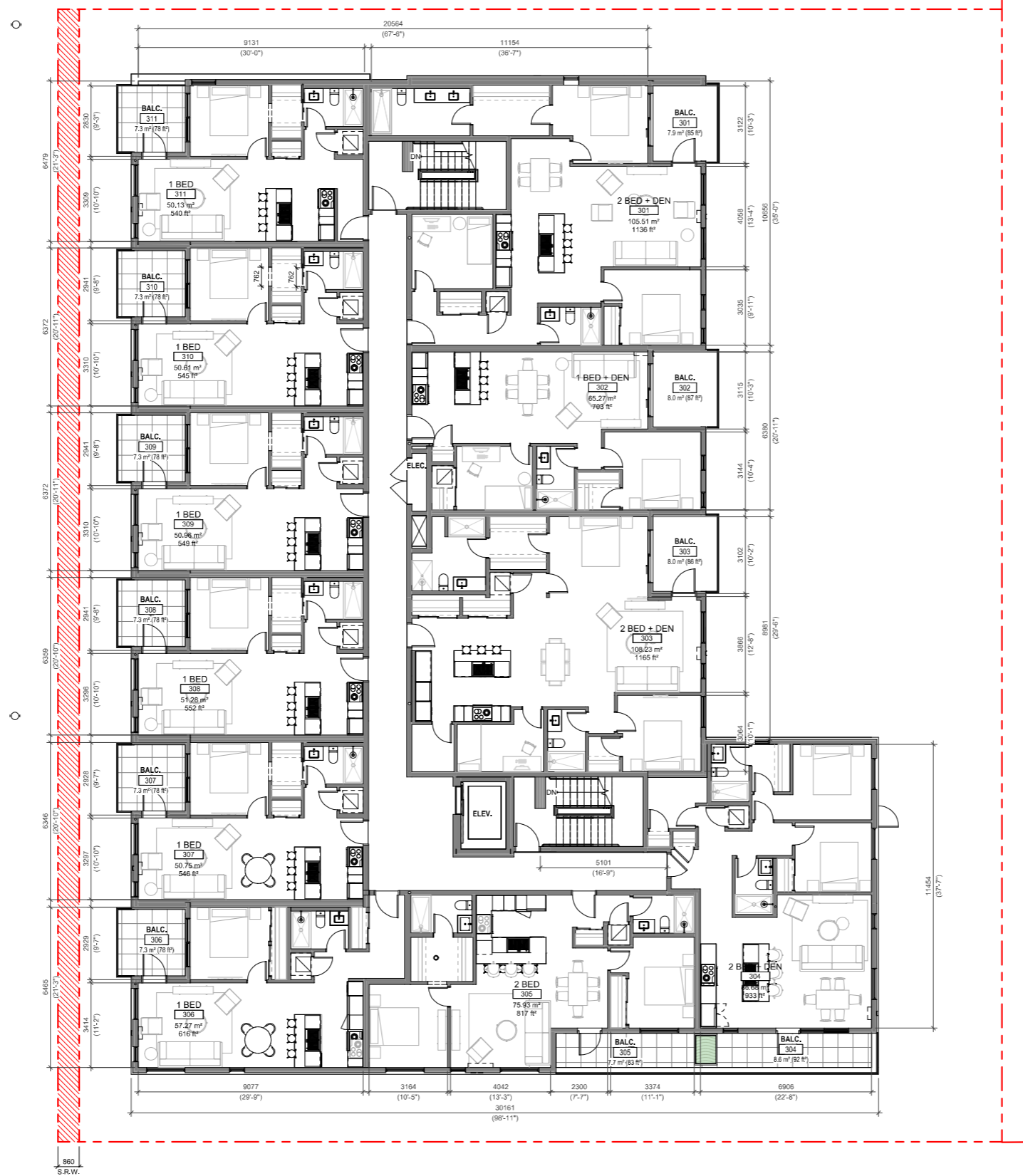
NO.	DESCRIPTION	DATE
19	DP/RZ Rev6	May 27, 2024
13	DP/RZ Rev4	Jan 18, 2024
5	DP/RZ Rev3	Aug 10, 2023
4	DP/RZ Rev2	Jan 26, 2023
3	DP/RZ Rev1	July 20, 2022
2	DP/RZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022



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Project		1733-1737 Fairfield Rd	
		ARYZE	
Sheet Name			
LEVEL 2 PROPOSED PLAN			
Date			
JUNE 25, 2024			
Scale	1 : 100	Project #	2123
Revision		May 27, 2024	19
Sheet #		A-102	





1 L3 PROPOSED PLAN
SCALE = 1 : 100

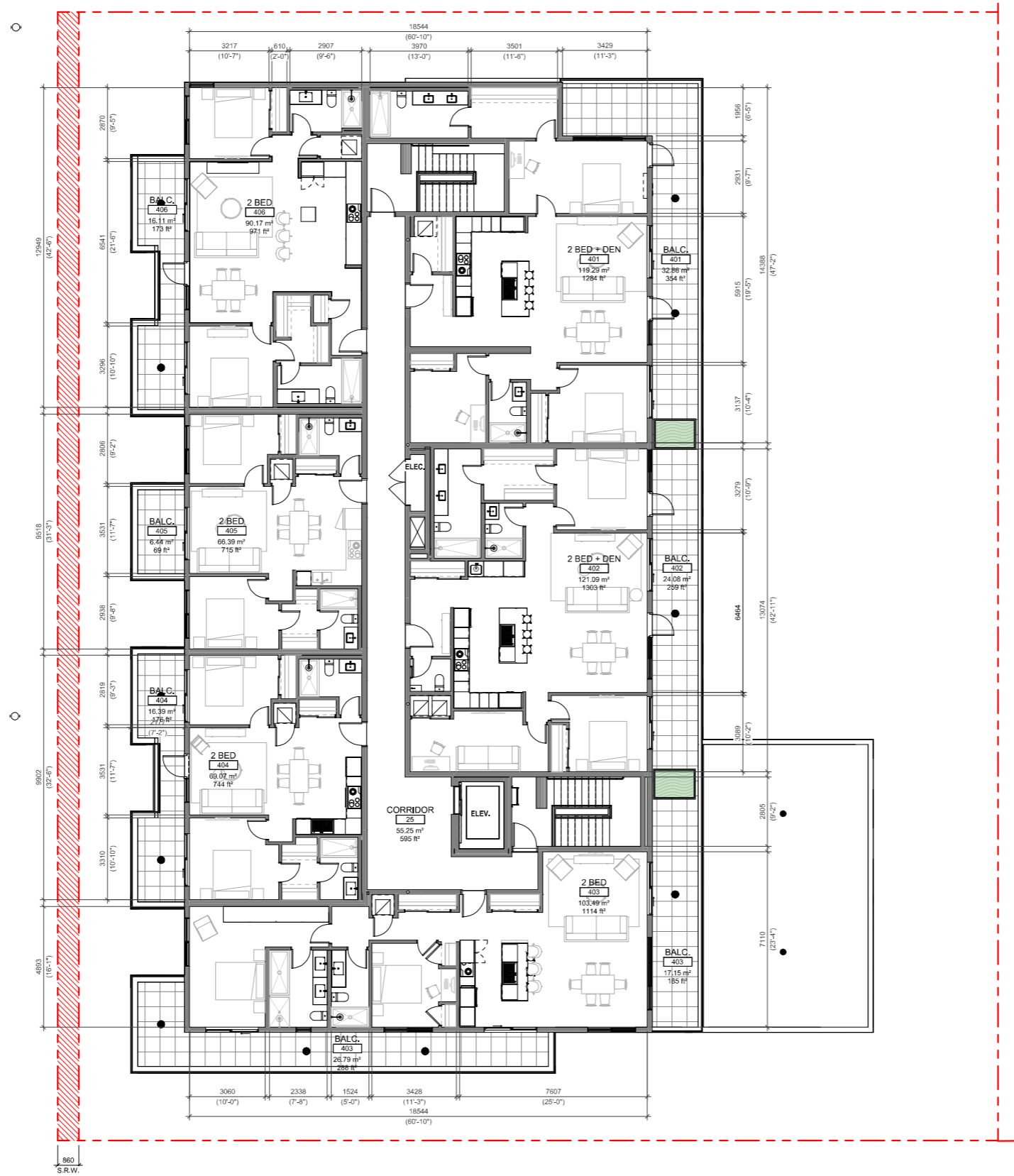
NO.	DESCRIPTION	DATE
19	DP/RZ Rev6	May 27, 2024
13	DP/RZ Rev4	Jan 15, 2024
4	DP/RZ Rev2	Jan 26, 2023
3	DP/RZ Rev1	July 20, 2022
2	DP/RZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022



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Project		1733-1737 Fairfield Rd	
		ARYZE	
Sheet Name			
LEVEL 3 PROPOSED PLAN			
Date			
JUNE 25, 2024			
Scale	1 : 100	Project #	2123
Revision		May 27, 2024	19
Sheet #		A-103	





1 L4 PROPOSED PLAN
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
19	DPIRZ Rev6	May 27, 2024
13	DPIRZ Rev4	Jan 15, 2024
4	DPIRZ Rev2	Jan 26, 2023
3	DPIRZ Rev1	July 20, 2022
2	DPIRZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022



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Project		1733-1737 Fairfield Rd	
		ARYZE	
Sheet Name			
LEVEL 4 PROPOSED PLAN			
Date			
JUNE 25, 2024			
Scale	1 : 100	Project #	2123
Revision		May 27, 2024	19
Sheet #		A-104	





1 NW ELEVATION
SCALE = 1 : 100



2 SW ELEVATION
SCALE = 1 : 100

FINISH SCHEDULE

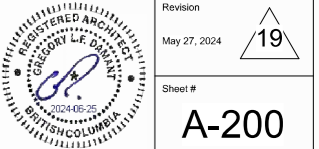
- 01. 'CERACLAD' CLADDING LIGHT FINISH
- 02. PREFINISHED METAL FLAT PANEL
- 03. PREFINISHED METAL STANDING SEAM
- 04. METAL PICKET GUARD
- 05. GLAZING
- 06. WOOD GRAIN FINISH
- 07. HORIZONTAL WOOD FENCE

NO.	DESCRIPTION	DATE
19	DPRR2 Rev6	May 27, 2024
17	DPRR2 Rev5	Feb 21, 2024
13	DPRR2 Rev4	Jan 18, 2024
5	DPRR2 Rev3	Aug 10, 2023
4	DPRR2 Rev2	Jan 26, 2023
3	DPRR2 Rev1	July 20, 2022
2	DPRR2 Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022



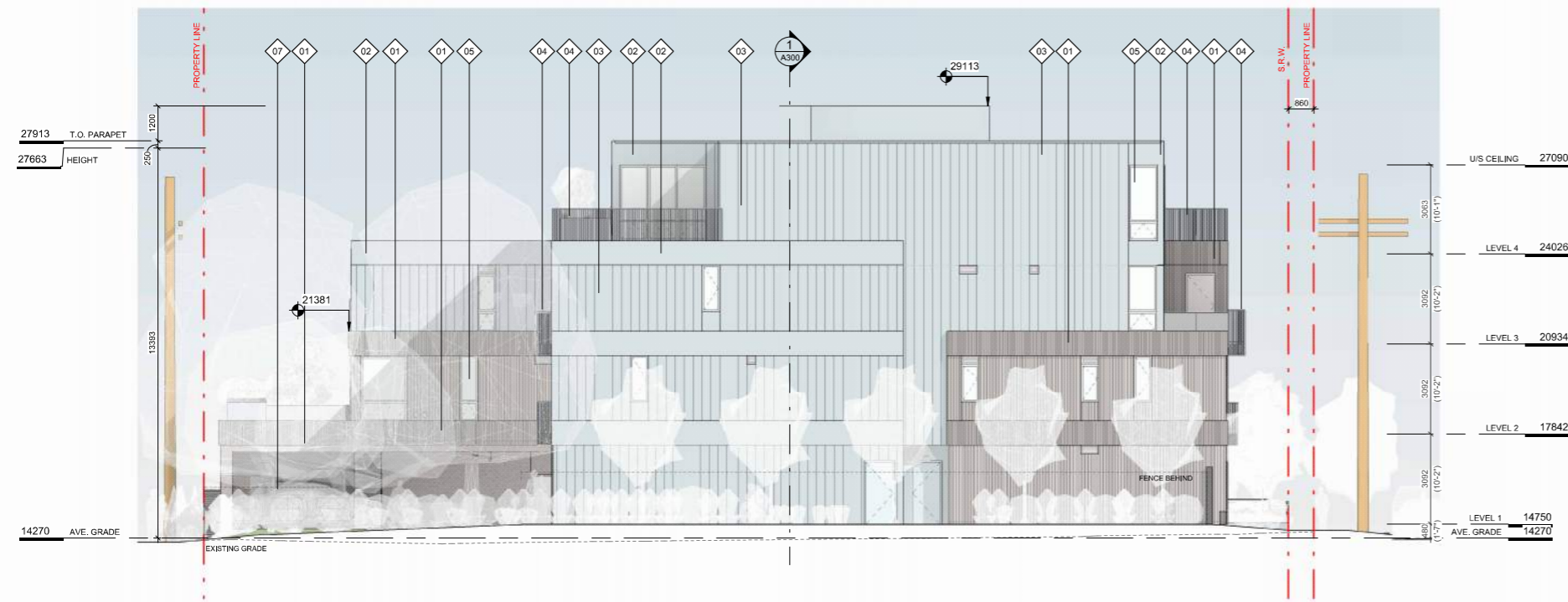
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Project		1733-1737 Fairfield Rd	
		ARYZE	
Sheet Name			
EXTERIOR ELEVATIONS			
Date		JUNE 25, 2024	
Scale	As indicated	Project #	2123
		Revision	19
		May 27, 2024	
		Sheet #	A-200





1 SE ELEVATION
SCALE = 1 : 100



2 NE ELEVATION
SCALE = 1 : 100

FINISH SCHEDULE

- 01. 'CERACLAD' CLADDING LIGHT FINISH
- 02. PREFINISHED METAL FLAT PANEL
- 03. PREFINISHED METAL STANDING SEAM
- 04. METAL PICKET GUARD
- 05. GLAZING
- 06. WOOD GRAIN FINISH
- 07. HORIZONTAL WOOD FENCE

NO.	DESCRIPTION	DATE
19	DPR2 Rev6	May 27, 2024
17	DPR2 Rev5	Feb 21, 2024
13	DPR2 Rev4	Jan 18, 2024
5	DPR2 Rev3	Aug 10, 2023
4	DPR2 Rev2	Jan 26, 2023
3	DPR2 Rev1	July 20, 2022
2	DPR2 Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022



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Project	1733-1737 Fairfield Rd
	ARYZE

Sheet Name
EXTERIOR ELEVATIONS

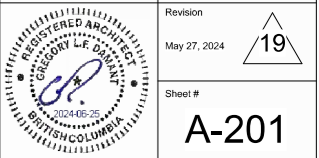
Date
JUNE 25, 2024

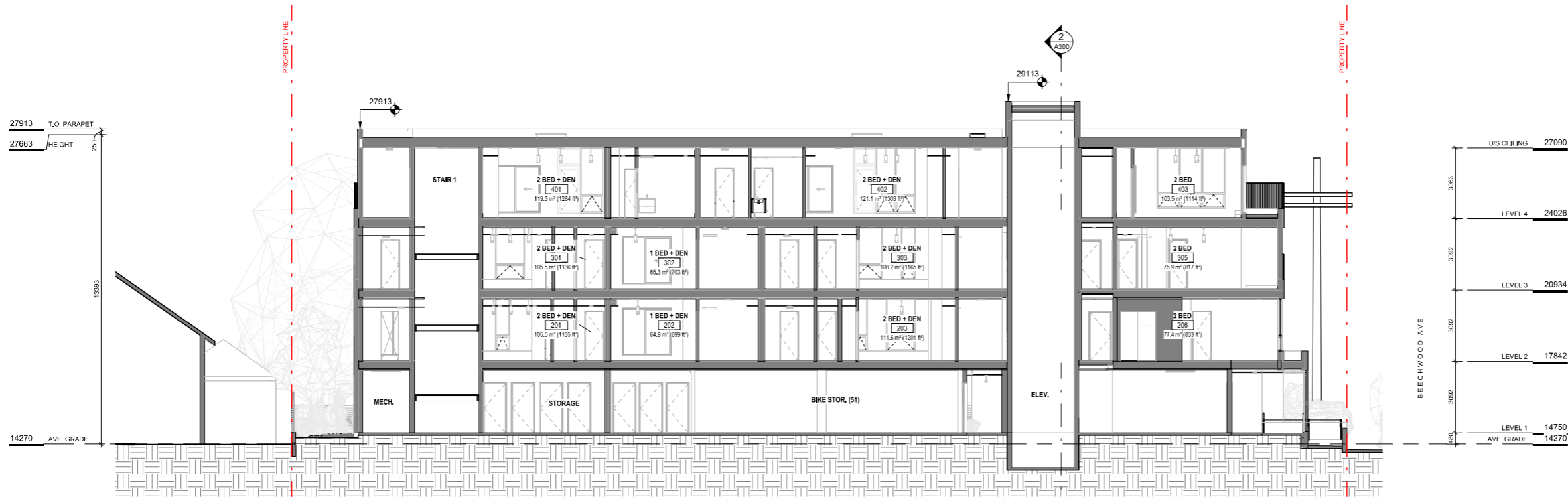
Scale
As indicated

Project #
2123

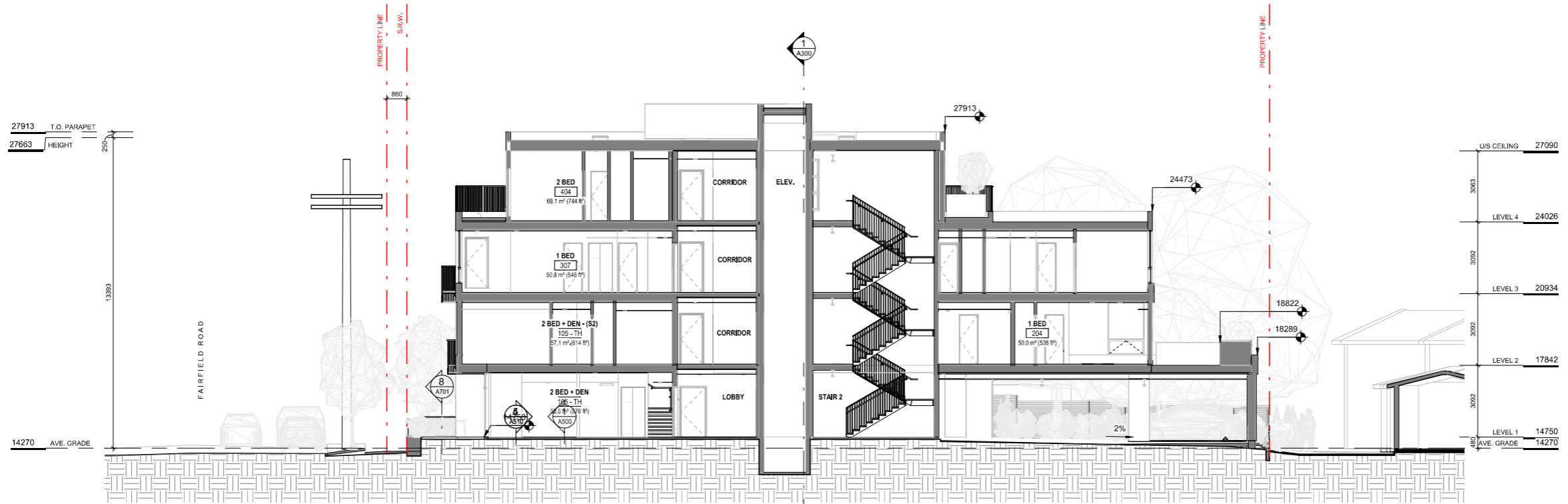
Revision
May 27, 2024

Sheet #
A-201





1 BUILDING SECTION 1
SCALE = 1 : 100



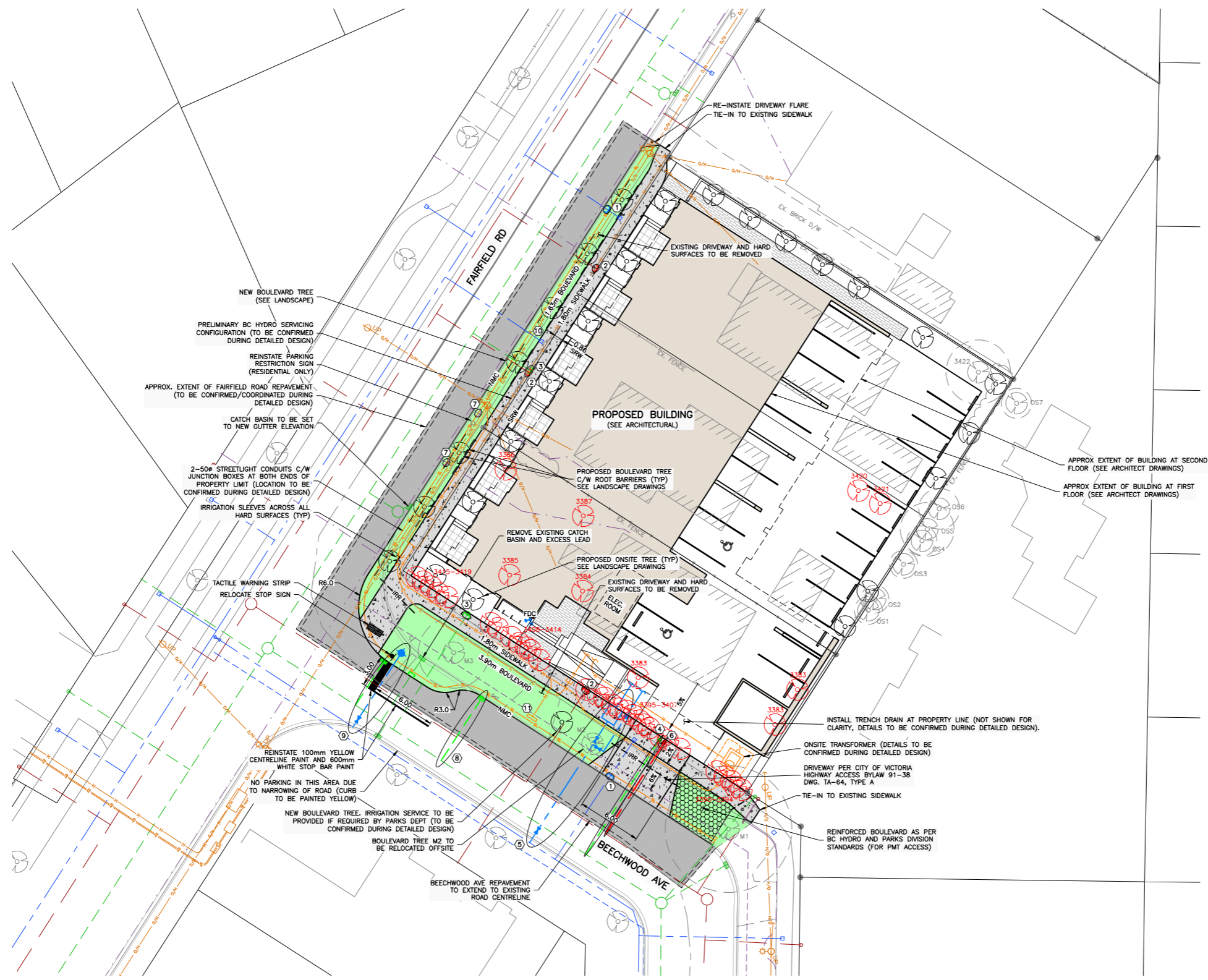
2 BUILDING SECTION 2
SCALE = 1 : 100

NO.	DESCRIPTION	DATE
13	DP/RZ Rev4	Jan 18, 2024
4	DP/RZ Rev2	Jan 26, 2023
3	DP/RZ Rev1	July 20, 2022
2	DP/RZ Submission	April 29, 2022
1	Development Tracker Application	March 7, 2022



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Project		1733-1737 Fairfield Rd	
		ARYZE	
Sheet Name			
BUILDING SECTIONS			
Date		JUNE 25, 2024	
Scale	1 : 100	Project #	2123
Revision		13	
Jan 18, 2024			
Sheet #		A-301	



No.	DESCRIPTION
1	EXISTING HYDRO SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE. HYDRO POLE TO BE SUPPORTED DURING CONSTRUCTION.
2	EXISTING SANITARY SEWER SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
3	EXISTING STORM SEWER SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
4	NEW 150# STORM SERVICE CONNECTION c/w INSPECTION CHAMBER TO PROPERTY LINE BY CoV FORCES AT DEVELOPER'S EXPENSE.
5	NEW 150# FIRE SERVICE c/w METER CHAMBER AS PER CoV STD. DWG. SD W26 AND 50# DOMESTIC WATER SERVICE BY CoV FORCES AT DEVELOPER'S EXPENSE.
6	NEW 150# SANITARY SERVICE c/w INSPECTION CHAMBER TO PROPERTY LINE BY CoV FORCES AT DEVELOPER'S EXPENSE.
7	EXISTING GAS SERVICE TO BE CAPPED AND ABANDONED BY FORTISBC FORCES.
8	NEW CATCH BASIN PER CoV STD. DWG. SD S11a BY DEVELOPER'S CONTRACTOR. ENSURE OUTLET ELEVATION IS SET TO ACHIEVE MIN. 2% GRADE TO MAIN. 150# PVC CATCH BASIN LEAD AND CONNECTION BY CoV FORCES AT DEVELOPER'S EXPENSE.
9	NEW FIRE HYDRANT BY CoV FORCES AT DEVELOPER'S EXPENSE. LOCATION TO BE CONFIRMED DURING DETAILED DESIGN.
10	EXISTING WATER SERVICE TO BE RE-USED FOR IRRIGATION. BACKFLOW PREVENTOR TO BE INSTALLED.
11	NEW DUAL HEAD ELECTRIC VEHICLE CHARGER (LOCATION TO BE CONFIRMED DURING DETAILED DESIGN).

EXISTING TREE TO BE REMOVED.
 EXISTING TREE TO REMAIN.

- NOTES:**
- FOR BUILDING INFORMATION, SEE DRAWINGS BY CASCADIA ARCHITECTS INC.
 - FOR LANDSCAPING, SEE DRAWINGS BY BIOPHILIA DESIGN COLLECTIVE.
 - FOR LEGAL INFORMATION, SEE DRAWINGS BY J.E. ANDERSON & ASSOCIATES.
 - UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
 - ALL EXISTING ON-SITE BUILDINGS, DRIVEWAYS, FENCES, HEDGES, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE (NOT SHOWN FOR CLARITY).
 - BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA (VICTORIA). ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
 - ONSITE BIKE PARKING, ETC. NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).

JULY 3, 2024

ISSUED FOR REZONING

PERMIT TO PRACTICE

McElhanney Ltd.

PERMIT NUMBER: 1003299

Engineers and Geoscientists of BC

SEE ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION

LEGAL PLAN & TOPOGRAPHIC SURVEY PROVIDED BY J.E. ANDERSON & ASSOCIATES

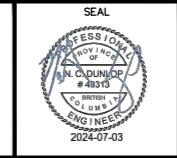
1:200

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NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS
4	2024-07-03	ND	ISSUED FOR REZONING				
3	2023-08-21	ND	ISSUED FOR REZONING				
2	2023-01-25	ND	ISSUED FOR REZONING				
1	2022-04-27	ND	ISSUED FOR DEVELOPMENT PERMIT				

McElhanney

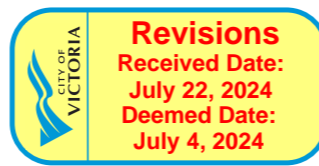
500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3 PH (250) 370-9221



PROJECT:	
1733 FAIRFIELD ROAD, VICTORIA, BC	
TITLE:	PRELIMINARY CIVIL PLAN

SCALE:	HORIZ: 1:200	VERT:
PROJECT NO.	21-187	ISSUED/REVISION
APPROVING AUTHORITY FILE NO.		
DRAWING NO.		21-187-CSP

X:\2241\CONTRACTS\21-187-00_1733 FAIRFIELD ROAD\100 DRAWINGS\10.3 ENGINEERS\10.3.2 SHEETS\21-187-CSP-DWG_7/2/2024_8:22 PM.A1



1733 FAIRFIELD

1733 FAIRFIELD ROAD, VICTORIA, BC

SHEET LIST

- L0.1 TREE MANAGEMENT & REMOVAL PLAN
- L1.1 MATERIALS PLAN - LEVEL 1
- L1.2 MATERIALS PLAN - UPPER LEVELS
- L2.1 LAYOUT PLAN
- L3.1 GRADING PLAN
- L4.1 SOIL VOLUME PLAN
- L4.2 TREE PLANTING PLAN
- L4.3 PLANTING PLAN - LEVEL 1
- L4.4 PLANTING PLAN - UPPER LEVELS
- L5.1 LIGHTING PLAN
- L6.1 IRRIGATION PLAN - LEVEL 1
- L6.2 IRRIGATION PLAN - UPPER LEVELS
- L7.1 PAVING DETAILS
- L7.2 SITE FURNISHINGS DETAILS
- L7.3 PLANTING DETAILS

GENERAL LANDSCAPE NOTES

- GENERAL:**
- DO NOT PROCEED IN UNCERTAINTY.
 - DO NOT SCALE DRAWINGS.
 - DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS/SPECIFICATIONS IN THIS PROJECT SET. ANY DISCREPANCIES AMONG DRAWINGS, SPECIFICATIONS AND INDUSTRY BEST PRACTICES TO BE REPORTED TO THE PROJECT / CONSTRUCTION MANAGER AND THE LANDSCAPE CONSULTANT FOR DIRECTION.
 - ALL LANDSCAPE SPECIFICATION SECTIONS AND DRAWINGS ARE AFFECTED BY REQUIREMENTS OF DIVISION 01 SECTIONS (PROVIDED IN THE PROJECT MANUAL).
 - CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL SITE CONDITIONS, INCLUDING THE LIMITS OF WORK AND EXISTING FEATURES TO BE PROTECTED, PRIOR TO SUBMITTING BIDS/QUOTES.
 - CONTRACTOR TO CONFIRM LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES/FEATURES PRIOR TO COMMENCING WORK.
 - CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT SITE FEATURES / CONDITIONS, WITHIN AND BEYOND THE LIMITS OF WORK EXISTING AT THE TIME OF CONSTRUCTION. ALL DISTURBED SURFACES, AREAS, STRUCTURES, VEGETATION, HABITAT ETC. ON PUBLIC / PRIVATE PROPERTY TO PROMPTLY BE RESTORED TO EQUAL OR BETTER CONDITION THAN EXISTING AND TO THE SATISFACTION OF THE MUNICIPALITY HAVING JURISDICTION / PROPERTY OWNER.
 - CONTRACTOR TO MAINTAIN THE SITE IN A SAFE AND TIDY CONDITION AT ALL TIMES. DO NOT OBSTRUCT PEDESTRIAN OR VEHICULAR CIRCULATION. DO NOT LEAVE UNPROTECTED HOLES / PITS / OPENINGS OVERNIGHT. ALL EXCESS MATERIALS AND REFUSE TO BE REMOVED FROM THE SITE DAILY UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.

- STANDARDS:**
- ALL WORK ON MUNICIPAL PROPERTY TO CONFORM TO THE CITY OF VICTORIA DEVELOPMENT STANDARDS (AUTHORITY HAVING JURISDICTION) INCLUDING BUT NOT LIMITED TO:
 - CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS SCHEDULE 'B' TO THE SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042
 - CITY OF VICTORIA SUPPLEMENTAL DRAWINGS
 - CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C ALL LANDSCAPE WORK ON THE DEVELOPMENT SITE TO CONFORM TO THE CURRENT EDITION OF THE *Canadian Landscape Standard* (CLS), UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
 - ALL HARD SURFACE (INCLUDING BUT NOT LIMITED TO PAVING, CONCRETE RETAINING WALLS AND CONCRETE PLANTERS) TO CONFORM TO THE *Master Municipal Construction Documents Association PLATINUM EDITION* (MMCD) AND MMCD SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS, UNLESS SPECIFICALLY STATED OTHERWISE IN WRITTEN SPECIFICATIONS AND ON DRAWINGS.
 - IN CASES OF CONFLICT BETWEEN THE CLS AND THE MMCD, THE MORE STRINGENT REQUIREMENT WILL TAKE PRECEDENCE.
 - LANDSCAPE CONTRACTOR TO BE FAMILIAR WITH MUNICIPAL DEVELOPMENT STANDARDS AND BE IN POSSESSION OF THE CLS AND MMCD MANUALS AND SUPPLEMENTAL DRAWINGS AND SPECIFICATIONS.
 - GROWING MEDIUM AND GROWING MEDIUM TESTING TO CLS Section 6.
 - IRRIGATION DESIGN AND INSTALLATION TO IAABC STANDARDS AND CLS Section 5.

- COORDINATION:**
- CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION AND ELECTRICAL SLEEVES WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL WORKS.

- SUBMITTALS:**
- CONTRACTOR TO PROVIDE SAMPLES, TEST RESULTS AND SHOP DRAWINGS TO LANDSCAPE CONSULTANT FOR REVIEW AND APPROVAL 45 DAYS PRIOR TO INSTALLATION.
 - SEE ALSO SUBMITTALS TABLE BELOW FOR ADDITIONAL INFORMATION.

- GROWING MEDIUM TESTING:**
- GROWING MEDIUM TEST RESULTS ARE MANDATORY.
 - TEST RESULTS TO INCLUDE ANALYSIS OF ALL GROWING MEDIUM NUTRIENTS NOTED IN CLS 6.2.7 AND ARE TO BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
 - TEST RESULTS TO INCLUDE ANALYSIS OF SOIL TEXTURE, ORGANIC CONTENT AND ACIDITY AS PER CLS 6.3.5 AND BE REPORTED IN THE SAME UNITS AS NOTED IN THAT SECTION.
 - TEST RESULTS TO INCLUDE RECOMMENDATIONS FOR AMENDMENTS TO MEET THE REQUIREMENTS FOR EACH GROWING MEDIUM TYPE.
 - RECOMMENDED GROWING MEDIUM TESTING FACILITY: Pacific Soil Analysis Inc, 11720 Voyager Way, Richmond, BC V6X 3G9.

- COMPACTION TESTING:**
- COMPACTION TESTS FOR HARD SURFACE SUBGRADE, GRANULAR SUB-BASE, AND GRANULAR BASE ARE MANDATORY.

- INSPECTIONS:**
- CONTRACTOR TO ALERT THE LANDSCAPE CONSULTANT A MINIMUM OF 3 WORKING DAYS PRIOR TO REQUIRED LANDSCAPE INSPECTIONS.

- SUBSTITUTIONS:**
- REQUESTS FOR SUBSTITUTIONS TO CONFORM TO THE DIVISION 01 SECTION AND BE SUBMITTED TO THE LANDSCAPE CONSULTANT, THROUGH THE PROJECT ADMINISTRATOR, A MINIMUM OF 45 DAYS PRIOR TO SCHEDULED WORK.
 - PLEASE NOTE THAT SOME SUBSTITUTIONS MAY REQUIRE MUNICIPAL APPROVAL.

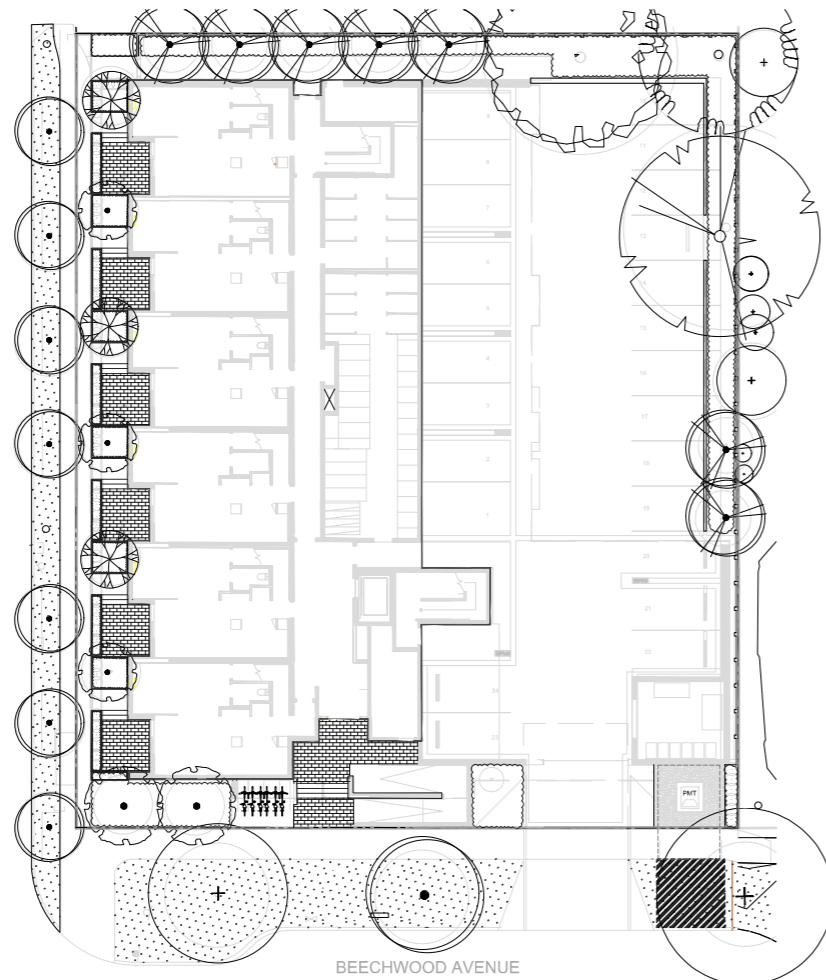
- WARRANTY:**
- CONTRACTOR SHALL WARRANTY ALL WORKMANSHIP AND MATERIALS FOR 1 FULL YEAR FOLLOWING THE DATE OF TOTAL PERFORMANCE AS PER MMCD UNLESS SPECIFICALLY NOTED OTHERWISE. FAULTY MATERIALS AND WORKMANSHIP SHALL BE PROMPTLY REPAIRED / REPLACED TO THE SATISFACTION OF THE LANDSCAPE CONSULTANT.

- ENVIRONMENTAL PROTECTION:**
- CONTRACTOR TO INSTALL AND MAINTAIN SEDIMENTATION FILTRATION MEASURES AS REQUIRED FOR LANDSCAPE WORKS TO PREVENT MATERIALS FROM LEAVING THE SITE AND / OR ENTERING STORM DRAINS. STOCKPILED LANDSCAPE MATERIALS ARE TO BE KEPT TARPED.

ELECTRICAL - DESIGN BUILD

- LANDSCAPE LIGHTING:**
- IT IS THE INTENTION OF THE PROJECT THAT THE LANDSCAPE CONTRACTOR FURNISH A FUNCTIONAL LIGHTING SYSTEM AS DESCRIBED ON THE DRAWINGS AND IN THIS SECTION.
 - THE SCOPE OF WORK INCLUDES SUPPLY AND INSTALLATION OF LOW VOLTAGE LIGHTING PRODUCTS, CABLING, TRANSFORMER(S) / POWER SUPPLIES / DRIVERS AND ELECTRICAL SLEEVES.
 - ELECTRICAL CONTRACTOR IS TO INCLUDE POWER (CONDUIT AND CONDUCTORS) TO LOW VOLTAGE TRANSFORMERS/DRIVERS IN SUPPORT OF THE LANDSCAPE LIGHTING PLAN. THE NUMBER OF CONNECTION POINTS IS NOT DETERMINED - THIS DEPENDS ON HOW THE LANDSCAPE CONTRACTOR LAYS OUT THE SYSTEM, BUT WILL NOT EXCEED 5. REFER TO THE LANDSCAPE LIGHTING PLAN FOR GENERAL INFORMATION.
 - 15A 1P CIRCUIT FROM HOUSE PANEL SWITCHED BY A PROGRAMMABLE TIMER INSTALLED IN THE ELECTRICAL ROOM.
 - TRANSFORMER TO BE ADEQUATELY SIZED FOR THE LOAD PLUS 40% RESERVE CAPACITY. TRANSFORMERS TO BE ARRANGED SUCH THAT NO LOAD REQUIRES WIRING IN EXCESS OF 75'.
 - TIMER FUNCTION ON TRANSFORMER TO BE DISABLED IF PROVIDED.
 - TRANSFORMERS, DRIVERS AND POWER SUPPLIES ARE TO BE INSTALLED IN GROUND JUNCTION BOXES, SUPPLIED AND INSTALLED BY THIS DIVISION.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR FOR AC CIRCUIT TO EACH JUNCTION BOX LOCATION AND WITH THE GENERAL CONTRACTOR FOR THE INSTALLATION OF ELECTRICAL SLEEVES.
 - THE USE OF GEL FILLED WIRE NUTS IS REQUIRED.

- IRRIGATION COORDINATION:**
- ELECTRICAL CONTRACTOR TO COORDINATE WITH CONSTRUCTION MANAGER AND IRRIGATION DESIGNER/INSTALLER TO PROVIDE ELECTRICAL FOR THE OPERATION OF AN AUTOMATIC IRRIGATION SYSTEM AND CONTROLLER.



MATERIAL SPECIFICATIONS

- ON-SITE GROWING MEDIUM:**
- GROWING MEDIUM TESTING, MIXING, HANDLING AND PLACEMENT TO CLS SECTION 6.
 - ON SITE GROWING MEDIUM TYPE TO BE: AS PER DRAWING LEGEND.
 - PLANTER GROWING MEDIUM TO BE:
 - 50% BY VOLUME 1H HIGH TRAFFIC LAWN GROWING MEDIUM
 - 50% BY VOLUME Pro-Mix HP Mychorrtzæ OR APPROVED EQUAL

- OFF-SITE GROWING MEDIUM:**
- BOULEVARD GROWING MEDIUM TO BE:
 - MMCD Planting Areas Growing Medium to City of Victoria Supplementary Specifications Schedule 'B', Table 2
 - AS PER MUNICIPAL STANDARD.
 - IF NO MUNICIPAL STANDARD, GROWING MEDIUM TO CLS SECTION 6 - 2L LOW TRAFFIC LAWN AREAS.

- MULCH:**
- MULCH IN ALL OTHER AREAS TO BE: Mitchell Excavating Ltd. Fine Bark Mulch - fir/hemlock OR APPROVED EQUAL.
 - HANDLING AND PLACEMENT TO CLS Section 10 - Mulching/Mulch

- SOD:**
- MUNICIPAL SOD TO BE: No. 1 Premium Grade Nursery Turfgrass.
 - HANDLING AND PLACEMENT TO BCLS Section 8 - Turfgrass Sod.
 - SHALL BE SUITED TO THE LOCALITY, SITE CONDITIONS AND INTENDED FUNCTION OF THE PROJECT AREA.

- ROOT BARRIER:**
- ROOT BARRIER TO BE: Deeproot 18" Universal Guide OR APPROVED EQUAL.

- GEOTEXTILE:**
- FILTER FABRIC TO BE: Soprema Soprafire non-woven geotextile OR APPROVED EQUAL.
 - INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND LANDSCAPE DETAILS.

- AGGREGATE:**
- PLANTER DRAIN ROCK TO BE: 19 mm MINUS GRANULAR BASE (TO MMCD SPECIFICATION)
 - GREEN ROOF DRAIN ROCK TO BE: 6 mm WASHED DRAIN ROCK

- PLANT MATERIAL AND PLANTING:**
- ALL PRODUCTS AND WORKMANSHIP, INCLUDING: PLANT MATERIAL, TRANSPORTATION, HANDLING AND PROTECTION, SCHEDULING AND STORAGE, WATERING AND IRRIGATION, TIME OF PLANTING, PLANTING, CONDITIONS FOR ACCEPTANCE, AND INSECTS PESTS AND DISEASE CONTROL, TO BCLS SECTION 9 - PLANTS AND PLANTING, WRITTEN SPECIFICATIONS AND LANDSCAPE DETAILS.
 - CONDITIONS FOR TOTAL PERFORMANCE TO MMCD SECTION - PLANTING OF TREES, SHRUBS AND GROUNDCOVERS.
 - IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES LISTED ON THE PLANTING PLAN AND IN THE PLANT LIST, THE PLANTING PLAN QUANTITIES TO TAKE PRECEDENCE.

- CAST IN PLACE CONCRETE:**
- ALL CAST IN PLACE CONCRETE AND ASSOCIATED WORK AND MATERIALS TO CONFORM TO MMCD SPECIFICATIONS; ASSOCIATED WORK INCLUDES GRADING, SUBGRADE COMPACTION, GRANULAR BASE MATERIALS AND COMPACTION.

IRRIGATION - DESIGN BUILD

- IRRIGATION:**
- IT IS THE INTENTION OF THE PROJECT THAT THE LANDSCAPE CONTRACTOR FURNISH A FUNCTIONAL AUTOMATIC IRRIGATION SYSTEM TO ALL ON-SITE AND OFF SITE LANDSCAPE AREAS AS DESCRIBED ON THE LANDSCAPE DRAWINGS AND IN THIS SECTION.
 - THE SCOPE OF WORK INCLUDES SUPPLY AND INSTALLATION OF BACKFLOW PREVENTER, CONTROLLER, ALL IRRIGATION COMPONENTS, IRRIGATION SLEEVES, YEAR MAINTENANCE/WARRANTY (SEE WRITTEN SPECIFICATIONS AND REQUIREMENTS BELOW) AND AN OPERATION MANUAL.
 - THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR AND ELECTRICAL CONTRACTOR FOR THE INSTALLATION OF IRRIGATION SLEEVES.

- MAINTENANCE:**
- UPON COMPLETION OF IRRIGATION INSTALLATION, CONTRACTOR TO SUBMIT AS-CONSTRUCTED DRAWINGS, OPERATION AND MAINTENANCE MANUAL, TOOLS PROVIDED BY THE MANUFACTURER AND BASE IRRIGATION SCHEDULE TO IAABC STANDARDS (SECTION 5 OF BCLS).
 - INSPECT AND CALIBRATE IRRIGATION SYSTEM AS PER SEASONAL REQUIREMENTS.
 - INSPECT GROWING MEDIUM FREQUENTLY (MINIMUM MONTHLY AND WEEKLY DURING PERIODS OF DROUGHT AND HIGH HEAT) FOR MOISTURE CONTENT AND ADJUST IRRIGATION SCHEDULE AS OFTEN AS REQUIRED TO MAINTAIN THE HEALTH OF THE PLANT MATERIAL DUE TO: RAPID DRAINAGE IN THE GROWING MEDIUM, ABSENCE OF A WATER TABLE, FINITE AMOUNT OF GROWING MEDIUM, AND EXPOSURE TO CLIMATIC CONDITIONS.
 - CONTRACTOR TO COORDINATE WITH THE OWNER'S MAINTENANCE REPRESENTATIVE AND TOGETHER PERFORM ONE WINTERIZATION AND ONE SPRING START-UP DURING THE ONE YEAR WARRANTY PERIOD.

SUBMITTALS

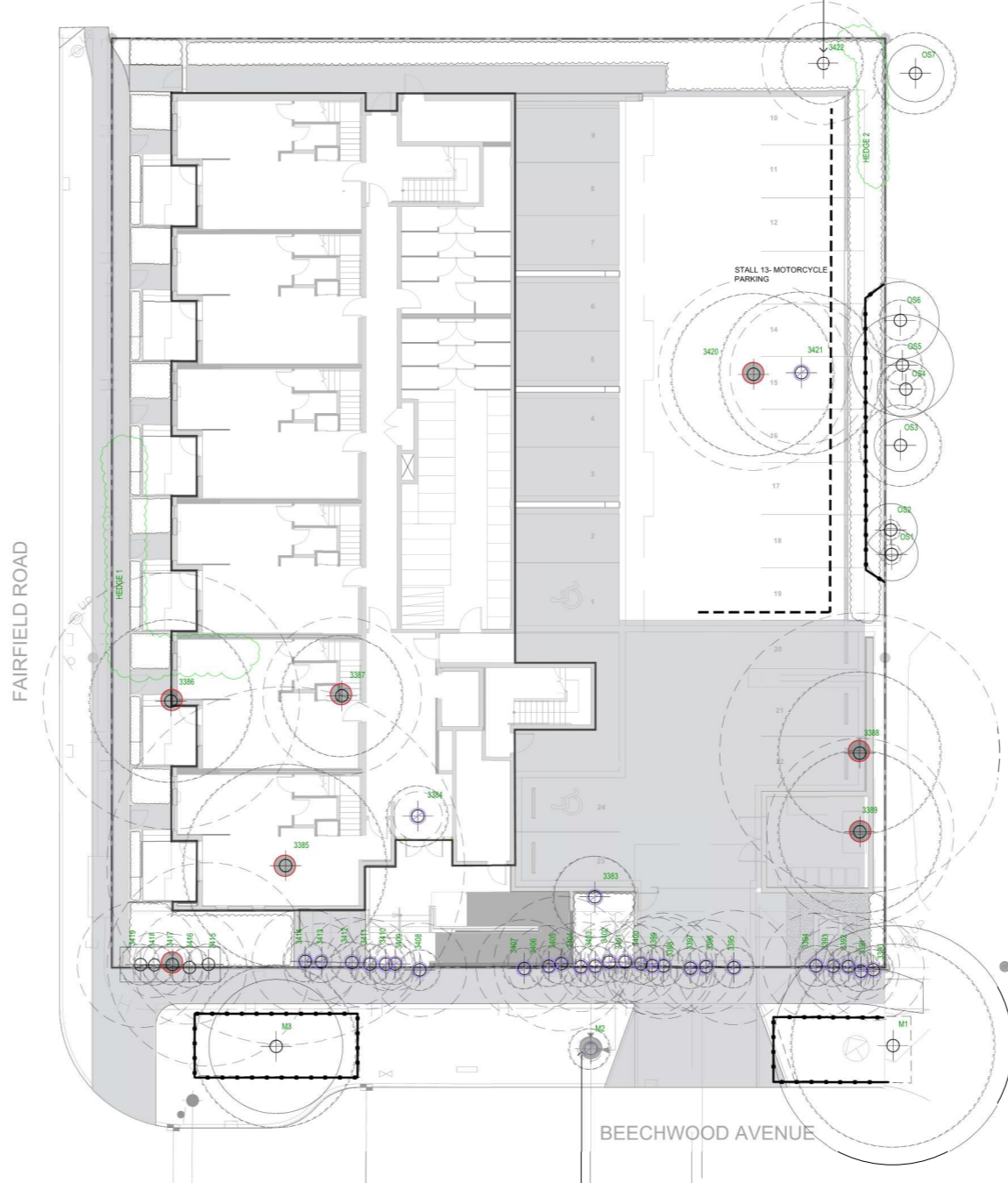
SPECIFICATION SECTION	TITLE	SHOP DRAWINGS	MOCK-UP	SUBMITTALS	FOR APPROVAL
MMCD 03 30 20	CONCRETE WALKS, CURBS AND GUTTERS				
MMCD 03 30 53	CAST IN PLACE CONCRETE				
MMCD 31 02 17	AGGREGATES AND GRANULAR MATERIALS				
MMCD 31 22 01	SITE GRADING				
MMCD 31 24 13	ROADWAY EXCAVATION, EMBANKMENT AND COMPACTION				
MMCD 32 11 23	GRANULAR BASE				
MMCD 32 14 01	UNIT PAVING		yes	yes	product cut sheets, mockup 3,0m paved area on site
CLS 4	GRADING AND DRAINAGE				
CLS 5	IRRIGATION	yes			irrigation design for approval
CLS 6	GROWING MEDIUM			yes	supplier name, growing medium test results
CLS 7	LAWNS AND GRASS (HYDRAULIC SEEDING)			yes	supplier name, product information
CLS 8	TURFGRASS SOD			yes	supplier name, product information
CLS 9	PLANTS AND PLANTING		yes	yes	nursery name, tree and shrub layout on site prior to planting
CLS 10	MULCHING			yes	
CLS 11	LANDSCAPE OVER STRUCTURES - GREEN ROOFS				
CLS 12	CONTAINER GROWN PLANTS				



Table 1. Tree Inventory

Previous tag #	Tag or ID#	Surveyed? (Yes/No)	Location (Ch, Off, Thruway, City)	Dyline protected? (Yes/No/ City)	Name	Common	Botanical	dsh (cm)	Ht (m)	Critical root zone radius (m)	Drillline radius (m)	Condition	Health	Structural	Retention Suitability (Low/Med/High)	Relative tolerance	General field observations/remarks	Tree retention comments	Retention status	
M1	Yes	City	City	City	Purple leaf cherry plum	<i>Prunus cerasifera</i>	47	10	5.9	5	Good	Fair/poor	Moderate				Multiple stems form at 3m above grade - included bark of main stem union with active response growth, historic pruning wounds with associated surface decay.	Project arborist to supervise all excavation required within the critical root zone. Will be impacted by the installation of the proposed water line.	Remove*	
M2	Yes	City	City	City	Pacific sunset maple	<i>Acer truncatum</i>	5	6	0.6	1	Good	Good	Moderate				Recently planted - still staked, included bark at stem unions. Multiple stems form at 4m above grade - no major weaknesses visible at stem unions, historic pruning wounds with associated surface decay.	Project arborist to supervise all excavation required within the critical root zone. *Possible for transplant.	Remove*	
M3	Yes	City	City	City	Purple leaf cherry plum	<i>Prunus cerasifera</i>	26	6	3.3	4	Good	Fair/poor	Moderate				Codominant stems form at 3m above grade - included bark - not active, historic pruning wounds with associated surface decay.	Located within the footprint of the proposed building. Located within the footprint of the proposed building.	Remove	
313	3383	Yes	On	No	Fig	<i>Ficus sp.</i>	11.8	6	5	2	2	Good	Fair	Unsuitable	Good			Growing within close proximity to existing building.	Located within the footprint of the proposed building.	Remove
316	3384	Yes	On	No	Japanese maple	<i>Acer palmatum</i>	3.3	6	5	1.2	1.1	Good	Fair	Unsuitable	Moderate			Growing within close proximity to existing building.	Located within the footprint of the proposed building.	Remove
317	3385	Yes	On	Yes	Pacific dogwood	<i>Cornus nuttallii</i>	28, 23, 34, 32	8	8.8	4	4	Fair	Fair/poor	Unsuitable	Moderate			Multiple stems form at 1m above grade - narrow angles of attachment, stems topped and decayed with sloughing bark. Topped historically at 7m above grade for overhead utilities clearance, stem decay with sloughing bark.	Located within the footprint of the proposed building. Located within the footprint of the proposed building.	Remove
322	3386	Yes	On	Yes	Golden chan tree	<i>Laburnum sp.</i>	21, 28	7	6.3	4	4	Fair	Poor	Unsuitable	Poor			Flowering cherry, multiple stems form at 2m above grade - narrow angles of attachment, main stem topped historically at 4m above grade - large topping wound.	Located within the footprint of the proposed building. Located within the footprint of the proposed building.	Remove
321	3387	Yes	On	Yes	Apple	<i>Malus sp.</i>	14, 23	10	3.9	3	3	Fair	Poor	Unsuitable	Moderate			Flowering cherry, multiple stems form at 2m above grade - narrow angles of attachment, main stem topped historically at 4m above grade - large topping wound.	Will be heavily impacted by excavation required to construct the foundation of the proposed building. Also located within the footprint of the proposed building.	Remove
334	3388	Yes	On	Yes	Cherry	<i>Prunus sp.</i>	55	5	6.9	4	4	Fair	Fair/poor	Unsuitable	Moderate			Flowering cherry, codominant stems form at base - crossing at 5m above grade, large heading cuts.	Will be heavily impacted by excavation required to construct the foundation of the proposed building. Will also be impacted by excavation for the proposed parking stall.	Remove
298	3389	Yes	On	Yes	Cherry	<i>Prunus sp.</i>	19, 25	5	4.6	4	4	Fair	Fair/poor	Unsuitable	Moderate			Flowering cherry, codominant stems form at base - crossing at 5m above grade, large heading cuts.	Will be heavily impacted by excavation required to construct the foundation of the proposed building. Will also be impacted by excavation for the proposed parking stall.	Remove
3390	Yes	On	No	English yew	<i>Taxus baccata</i>	10.8, 8.6	5	2.5	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3391	Yes	On	No	English yew	<i>Taxus baccata</i>	5.5, 5	5	1.4	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3392	Yes	On	No	English yew	<i>Taxus baccata</i>	10.8, 9	5	2.5	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3393	Yes	On	No	English yew	<i>Taxus baccata</i>	8.8, 4.3	5	1.9	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3394	Yes	On	No	English yew	<i>Taxus baccata</i>	10.9, 9.4	5	2.6	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 5 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3395	Yes	On	No	English yew	<i>Taxus baccata</i>	11.16	5	2.8	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3396	Yes	On	No	English yew	<i>Taxus baccata</i>	18	5	2.3	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3397	Yes	On	No	English yew	<i>Taxus baccata</i>	12.8	5	2.1	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3398	Yes	On	No	English yew	<i>Taxus baccata</i>	10.10, 8.8	5	2.6	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3399	Yes	On	No	English yew	<i>Taxus baccata</i>	14.8	5	2.4	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3400	Yes	On	No	English yew	<i>Taxus baccata</i>	12.5	5	1.9	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3401	Yes	On	No	English yew	<i>Taxus baccata</i>	8.8, 5.5	5	2	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3402	Yes	On	No	English yew	<i>Taxus baccata</i>	8.8, 5.4	5	2	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3403	Yes	On	No	English yew	<i>Taxus baccata</i>	8.6, 6.4	5	1.8	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3404	Yes	On	No	English yew	<i>Taxus baccata</i>	10.8, 5.4	5	2.2	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3405	Yes	On	No	English yew	<i>Taxus baccata</i>	14.10, 10	5	3.3	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3406	Yes	On	No	English yew	<i>Taxus baccata</i>	16	5	2	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3407	Yes	On	No	English yew	<i>Taxus baccata</i>	10.10, 5.5, 5	5	2.4	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 13 year trees spaced less than 1m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3408	Yes	On	No	English yew	<i>Taxus baccata</i>	12.5, 5.5	5	2.3	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3409	Yes	On	No	English yew	<i>Taxus baccata</i>	8.4	5	1.3	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3410	Yes	On	No	English yew	<i>Taxus baccata</i>	5.5, 4.4, 4.5	5	1.3	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3411	Yes	On	No	English yew	<i>Taxus baccata</i>	8.8, 8.5, 5	5	2.2	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3412	Yes	On	No	English yew	<i>Taxus baccata</i>	8.8, 8.5	5	2.2	1	1	Fair	Fair/poor	Unsuitable	Moderate			Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3413	Yes	On	No	English yew	<i>Taxus baccata</i>		7					Unsuitable	Moderate				Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3414	Yes	On	No	English yew	<i>Taxus baccata</i>		7					Unsuitable	Moderate				Growing within a hedge row of 7 year trees spaced less than 1.25m apart.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3415	Yes	On	Yes	English yew	<i>Taxus baccata</i>		5					Unsuitable	Moderate				Growing within a hedge row of 5 year trees spaced less than 1m apart - 11 Baylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3416	Yes	On	Yes	English yew	<i>Taxus baccata</i>		5					Unsuitable	Moderate				Growing within a hedge row of 5 year trees spaced less than 1m apart - 11 Baylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3417	Yes	On	Yes	English yew	<i>Taxus baccata</i>		5					Unsuitable	Moderate				Growing within a hedge row of 5 year trees spaced less than 1m apart - 11 Baylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3418	Yes	On	Yes	English yew	<i>Taxus baccata</i>		5					Unsuitable	Moderate				Growing within a hedge row of 5 year trees spaced less than 1m apart - 11 Baylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
3419	Yes	On	Yes	English yew	<i>Taxus baccata</i>		5					Unsuitable	Moderate				Growing within a hedge row of 5 year trees spaced less than 1m apart - 11 Baylaw size stem within hedge.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Remove	
Hedge 1	Yes	On	No	Hedge								Unsuitable	Moderate				Hedge row consisting of approximately 30 individual stems - no bylaw stems.	Located within the footprint of the proposed building.	Remove	
314	3420	Yes	On	Yes	Codominant stems form at 3m above grade - no major weaknesses visible at stem unions, ivy covered trunk.							Unsuitable	Moderate				Codominant stems form at 3m above grade - no major weaknesses visible at stem unions, ivy covered trunk.	Located within the footprint of the proposed parking stall.	Remove	
315	3421	Yes	On	No	Flowering cherry, multiple stems form at 2m above grade - narrow angles of attachment, main stem topped historically at 4m above grade - large topping wound.							Unsuitable	Moderate				Flowering cherry, multiple stems form at 2m above grade - narrow angles of attachment, main stem topped historically at 4m above grade - large topping wound.	Located within the footprint of the proposed parking stall.	Remove	
OS1	Yes	Off	No	Juvenile hedge tree growing within narrow planting strip.								Moderate					Juvenile hedge tree growing within narrow planting strip.	Will be heavily impacted by excavation required to construct the foundation of the proposed building.	Retain*	

WINDMILL PALM REQUESTED TO BE TRANSPLANTED / REMOVED BY LANDSCAPE TO ALLOW FOR PLANTING OF LARGE CANOPY TREE



BOULEVARD TREE M2 TO BE REMOVED AND RELOCATED BY CITY OF VICTORIA FOR INSTALLATION OF PROPOSED WATER CONNECTION (SEE CIVIL). REMOVAL TO BE PAID FOR BY DEVELOPER.

Previous tag #	Tag or ID#	Surveyed? (Yes/No)
	OS2	Yes
	OS3	Yes
	OS4	Yes
	OS5	Yes
	OS6	Yes
	Hedge 1	Yes
	OS7	Yes
	3422	No

NOTE: SEE ORIGINAL TREE INVENTORY AND TABLES IN REPORT PREPARED BY TALBOT & MACKENZIE

TREE STATUS LEGEND

- EXISTING TREE TO REMAIN (Symbol: Tree with # inside a circle)
- EXISTING TREE TO BE REMOVED (Symbol: Tree with X inside a circle)
- TREE PROTECTION FENCING (Symbol: Dashed line with dots)
 - TO OUTSIDE OF DRIFLINE WHERE POSSIBLE (AS SHOWN)
 - TO BE MAINTAINED UNTIL COMPLETION OF CONSTRUCTION
 - TO MUNICIPAL STANDARD
- PROTECTED TREE AND SHRUB FOR REMOVAL (Symbol: Red circle)
- MUNICIPAL TREE FOR REMOVAL (Symbol: Grey circle)



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 59C 1156

OWNER/CLIENT:
ARYZE DEVELOPMENTS

PROJECT ADDRESS:
1733 FAIRFIELD, VICTORIA, BC

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **TYLER YESTAL**

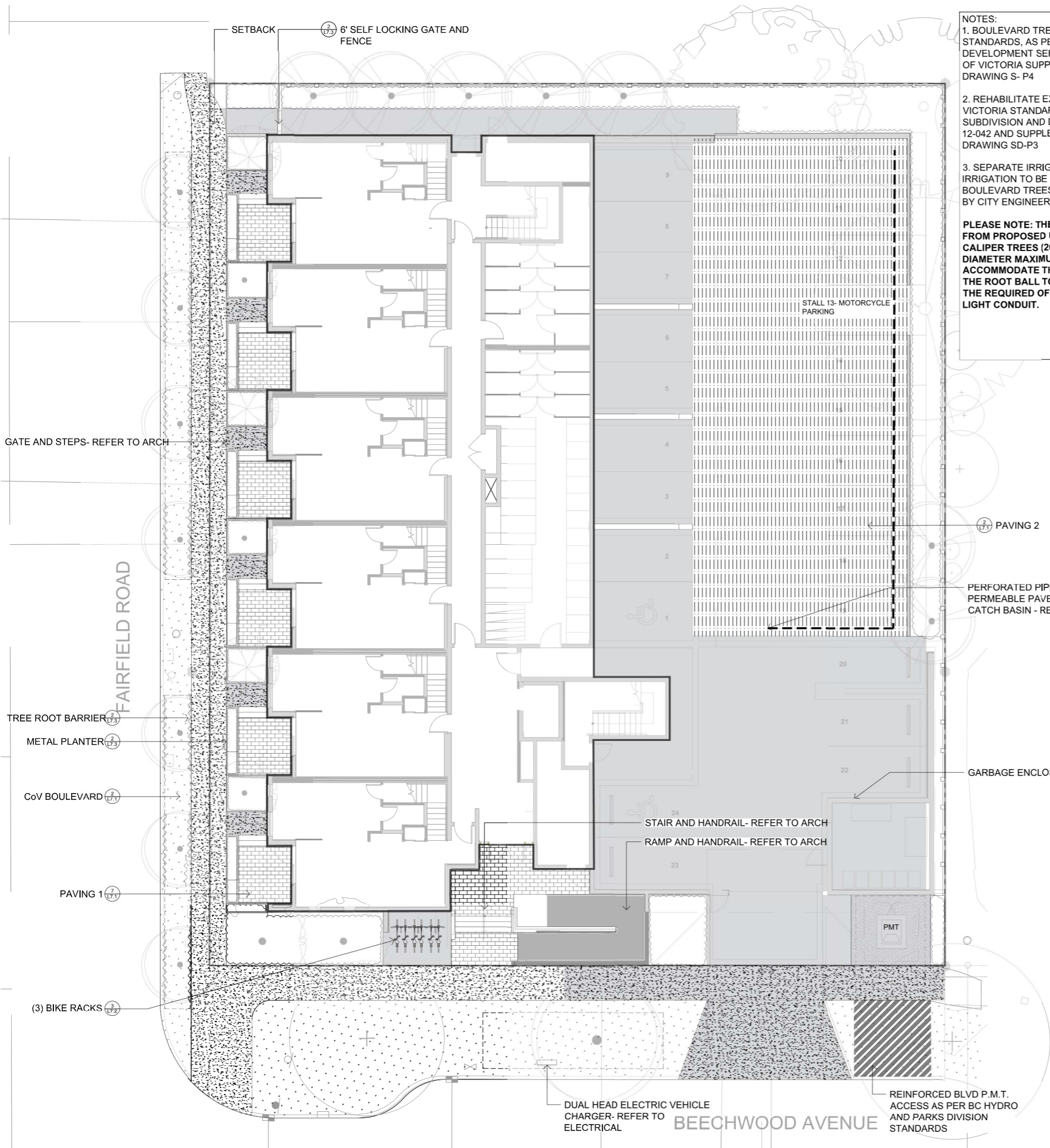
NO.	ISSUE	YYMMDD
1	ISSUED FOR DEVELOPMENT TRACKER	220304
2	ISSUED FOR RZ/DP	220902
3	ISSUED FOR COORDINATION	220718
4	ISSUED FOR RZ/DP	220720
5	ISSUED FOR RZ/DP RESUBMISSION	230124
6	ISSUED FOR RZ/DP RESUBMISSION	20230818
7	25% BUILDING PERMIT	20231010
8	ISSUED FOR BP COORDINATION	20231124
9	DP/RZ REV 4	20240121
10	DP/RZ REV 5	20240221
11	ISSUED FOR BUILDING PERMIT	20240301
12	DP/RZ REV 6	20240703



DRAWING TITLE:
TREE REMOVAL & PROTECTION PLAN

DWG NO:
L0.1

SCALE: 1:150



NOTES:

1. BOULEVARD TREE PLANTING TO CITY OF VICTORIA STANDARDS, AS PER THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICES BYLAW NO 12-043, AND CITY OF VICTORIA SUPPLEMENTARY STANDARD DETAIL DRAWING S- P4
2. REHABILITATE EXISTING BOULEVARD TO CITY OF VICTORIA STANDARDS, AS PER THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICES BYLAW NO 12-042 AND SUPPLEMENTARY STANDARD DETAIL DRAWING SD-P3
3. SEPARATE IRRIGATION SERVICE AND AUTOMATIC IRRIGATION TO BE PROVIDED TO MUNICIPAL BOULEVARD TREES IF TREE LOCATIONS ARE APPROVED BY CITY ENGINEERING AND BC HYDRO

PLEASE NOTE: THERE IS INSUFFICIENT SETBACK FROM PROPOSED UTILITIES. IF WE USE SMALL CALIPER TREES (20mm) WITH A ROOT BALL OF 400 mm DIAMETER MAXIMUM, WE BELIEVE WE CAN ACCOMMODATE THE REQUIRED 1.0m OFFSET FROM THE ROOT BALL TO THE BC HYDRO UTILITY BUT NOT THE REQUIRED OFFSET TO THE PROPOSED STREET LIGHT CONDUIT.

SITE PERMEABILITY

TOTAL SITE AREA: 1703 m²
 LANDSCAPED AREA: 223 m²
 PERMEABLE PAVED AREA: 484 m²
 SITE PERMEABILITY RATIO: 41.3%

LEGEND

- PROPERTY LINE
- ROOF OVERHANG
- ON-SITE LANDSCAPE AREA
 - 1000 mm DEPTH GROWING MEDIUM
 - 50 mm DEPTH MULCH
- RAISED PLANTER
 - 450 mm DEPTH PLANTER GROWING MEDIUM
 - 50 mm DEPTH MULCH
- PARKING STALL PAVER
 - NEWSTONE DORADO DRAIN PAVERS
 - COLOR: CHARCOAL
- PATIO AND BALCONY PAVER
 - ARISTOKRAT™ SERIES
 - COLOR: CASCADE GRANITE
 - SIZE: 24" X 48"
 - ON PEDESTALS
- SOD MUNICIPAL BOULEVARD AREA
 - 150 mm DEPTH HIGH TRAFFIC LAWN GROWING MEDIUM
 - SOD
- MUNICIPAL SIDEWALK
 - CIP CONCRETE WITH BROOM FINISH TO CITY OF VICTORIA MUNICIPAL STANDARDS
- CONCRETE PATH AND DRIVEWAY
- TREE PIT WITH 1000mm DEPTH GROWING MEDIUM FOR BOULEVARD TREES
- BIKE RACK
 - SURFACE MOUNT ON CONCRETE PAD
- FENCE
 - 6' HT SOLID CEDAR WOOD FENCE
 - STAIN: HEMLOCK GREY
- EXISTING BOULEVARD TREE TO BE RETAINED
- PROPOSED BOULEVARD TREE TO BE SPECIFIED BY CITY OF VICTORIA PARKS
- PROPOSED TREES



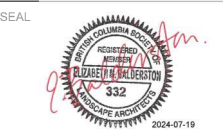
1608 Camosun Street, Victoria BC V8T 3E6
 Info@biophilacollective.ca 250 590 1156

OWNER/CLIENT:
ARYZE DEVELOPMENTS

PROJECT ADDRESS:
1733 FAIRFIELD, VICTORIA, BC

DESIGNED BY: **BIANCA BODLEY**
 DRAWN BY: **TYLER YESTAL**

NO.	ISSUE	YYMMDD
1	ISSUED FOR DEVELOPMENT TRACKER	22/03/04
2	ISSUED FOR RZ/DP	22/05/02
3	ISSUED FOR COORDINATION	22/07/18
4	ISSUED FOR RZ/DP	22/07/20
5	ISSUED FOR RZ/DP RESUBMISSION	23/01/24
6	ISSUED FOR RZ/DP RESUBMISSION	23/03/08/18
7	25% BUILDING PERMIT	2023/10/10
8	ISSUED FOR BP COORDINATION	2023/11/24
9	DP/RZ REV 4	2024/01/12
10	DP/RZ REV 5	2024/02/21
11	ISSUED FOR BUILDING PERMIT	2024/03/01
12	DP/RZ REV 6	2024/07/03



DRAWING TITLE:
LANDSCAPE MATERIALS PLAN LEVEL 1

DWG NO:
L1.1

SCALE: 1:100





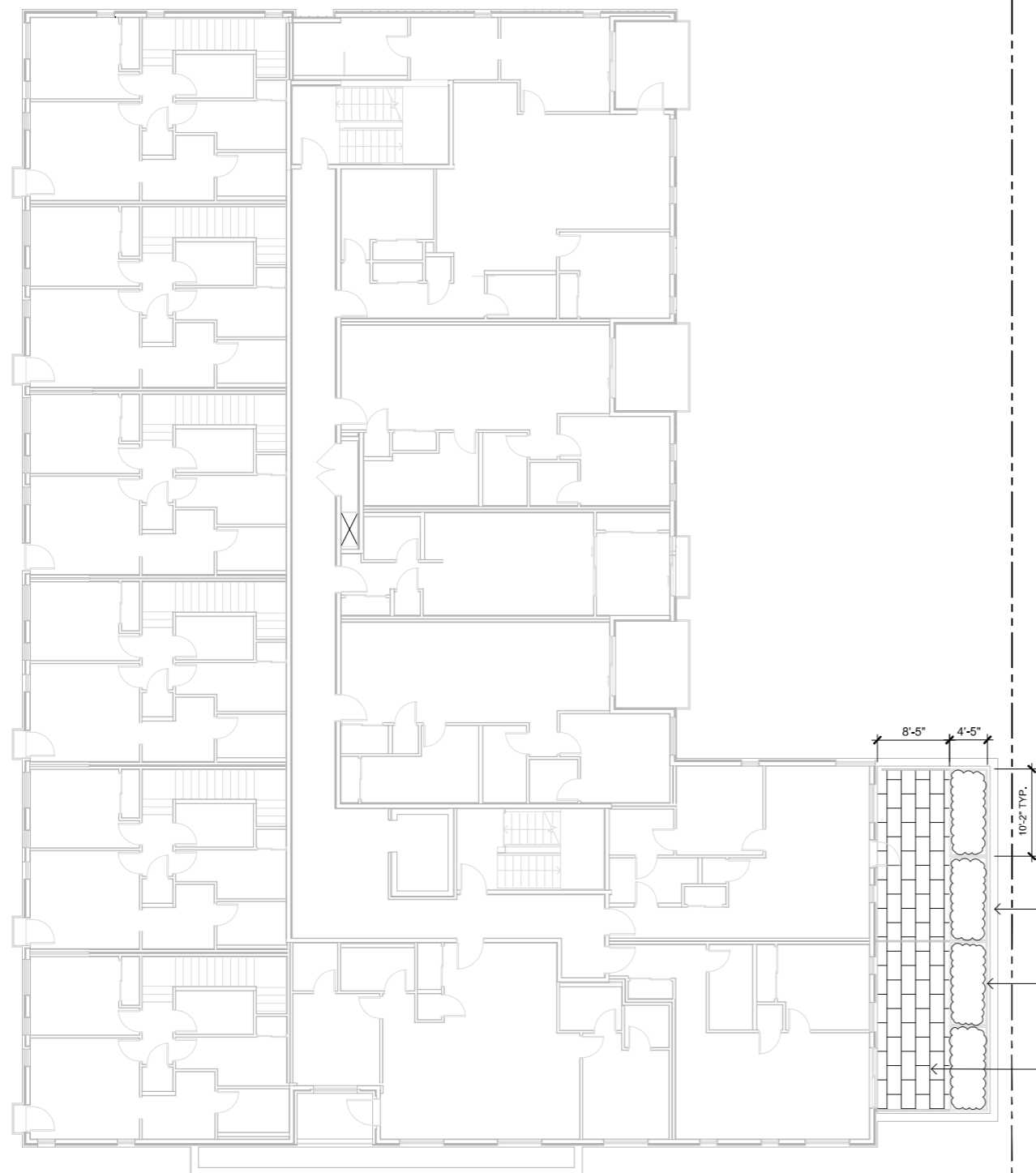
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OWNER/CLIENT:
ARYZE DEVELOPMENTS

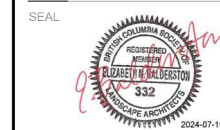
PROJECT ADDRESS:
**1733 FAIRFIELD,
VICTORIA, BC**

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **TYLER YESTAL**

NO.	ISSUE	YYMMDD
1	ISSUED FOR DEVELOPMENT TRACKER	22/03/04
2	ISSUED FOR RZ/DP	22/05/02
3	ISSUED FOR COORDINATION	22/07/18
4	ISSUED FOR RZ/DP	22/07/20
5	ISSUED FOR RZ/DP RESUBMISSION	23/01/24
6	ISSUED FOR RZ/DP RESUBMISSION	23/08/18
7	25% BUILDING PERMIT	23/10/10
8	ISSUED FOR BP COORDINATION	23/11/24
9	DPRZ REV 4	23/12/12
10	DPRZ REV 5	23/12/21
11	ISSUED FOR BUILDING PERMIT	23/12/31
12	DPRZ REV 6	23/12/31



1 LEVEL 2 BALCONY & PLANTER
L2 1:100



DRAWING TITLE:
**LANDSCAPE MATERIALS
AND LAYOUT PLAN
LEVELS 2, 3, & 4**

DWG NO: **L1.2**
SCALE: AS NOTED





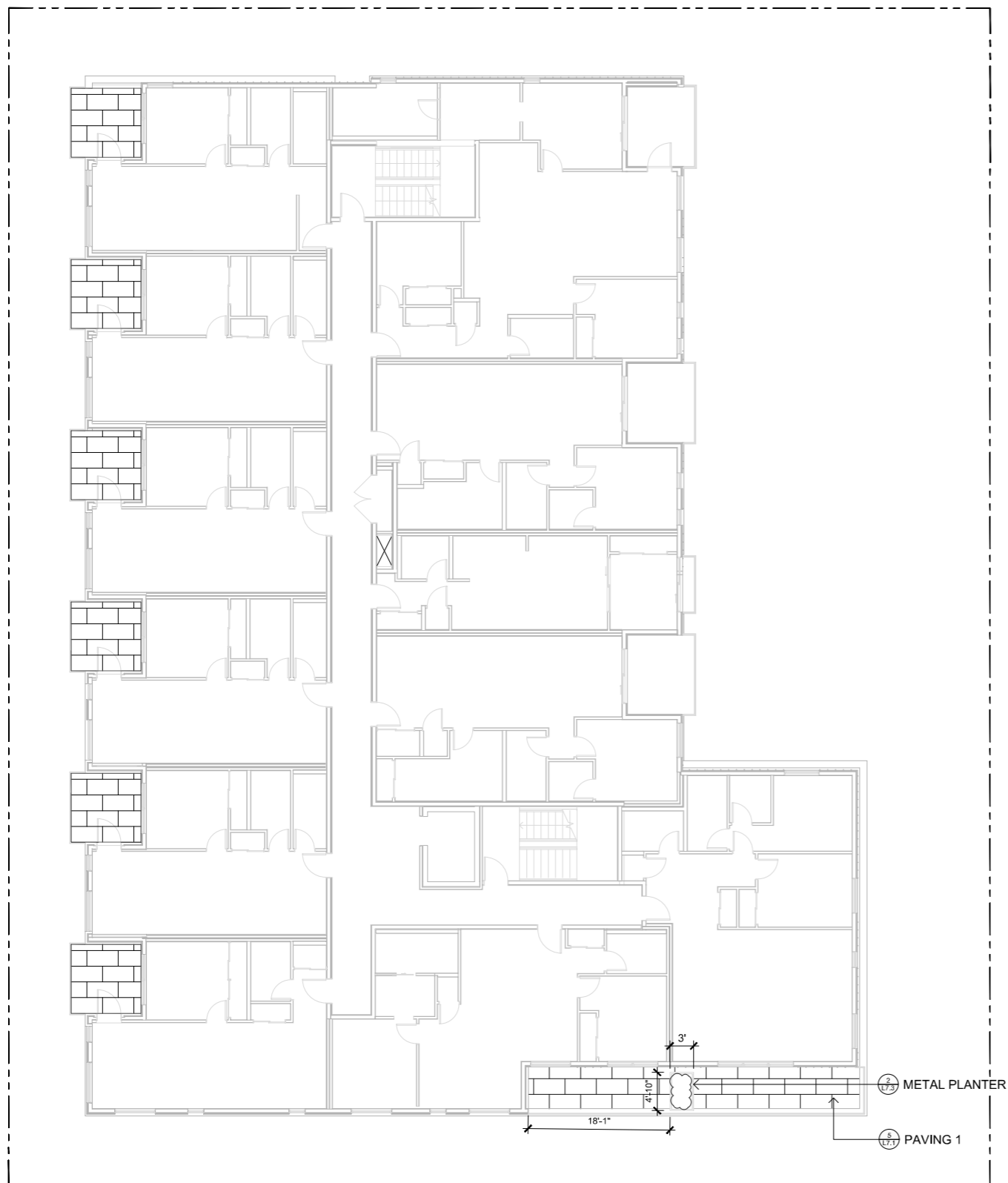
1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilacollective.ca 250 590 1156

OWNER/CLIENT:
ARYZE DEVELOPMENTS

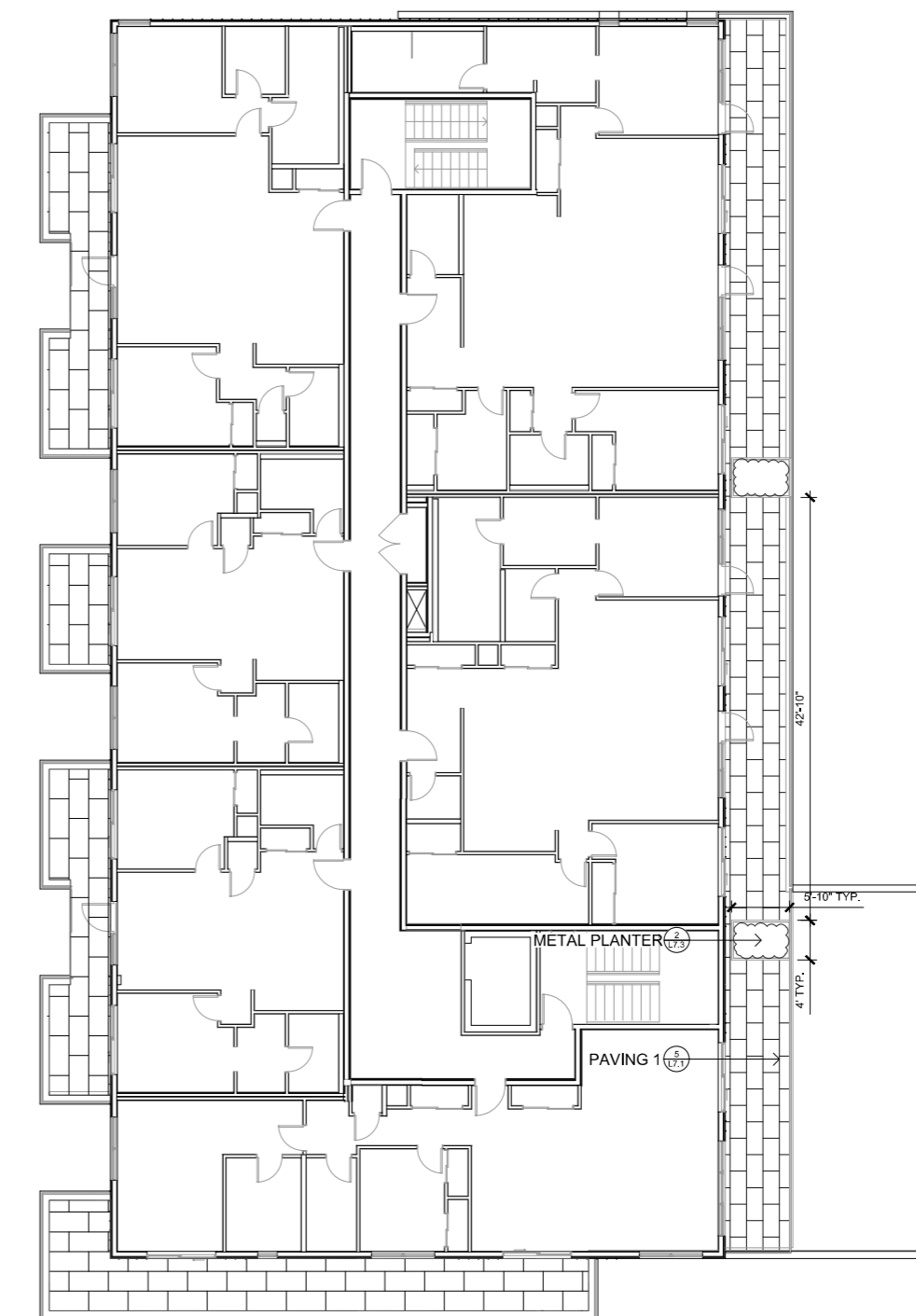
PROJECT ADDRESS:
**1733 FAIRFIELD,
VICTORIA, BC**

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10	DPRZ REV 5	23/12/21
11	ISSUED FOR BUILDING PERMIT	23/12/31
12	DPRZ REV 6	23/12/31



1 LEVEL 3 BALCONY & PLANTER
L1.3 1:100

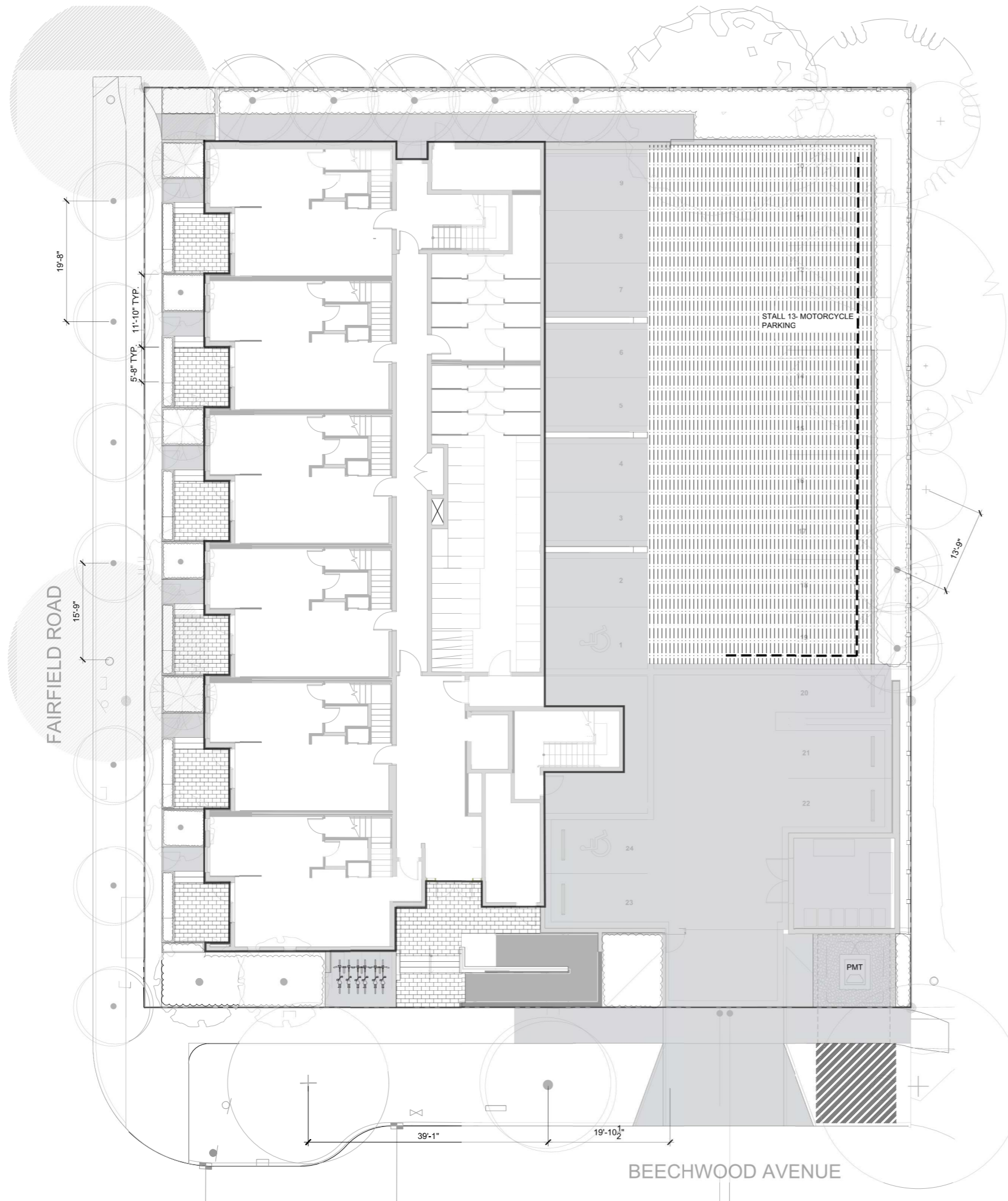


2 LEVEL 4 BALCONY & PLANTER
L1.3 1:100



DRAWING TITLE:
**LANDSCAPE MATERIALS
AND LAYOUT PLAN
LEVELS 2, 3, & 4**

DWG NO: **L1.2**
SCALE: AS NOTED



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OWNER/CLIENT:
ARYZE DEVELOPMENTS

PROJECT ADDRESS:
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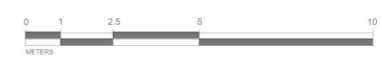
DESIGNED BY: **BIANCA BODLEY**
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9	DPRZ REV 4	2024/01/12
10	DPRZ REV 5	2024/02/21
11	ISSUED FOR BUILDING PERMIT	2024/03/01
12	DPRZ REV 6	2024/07/03

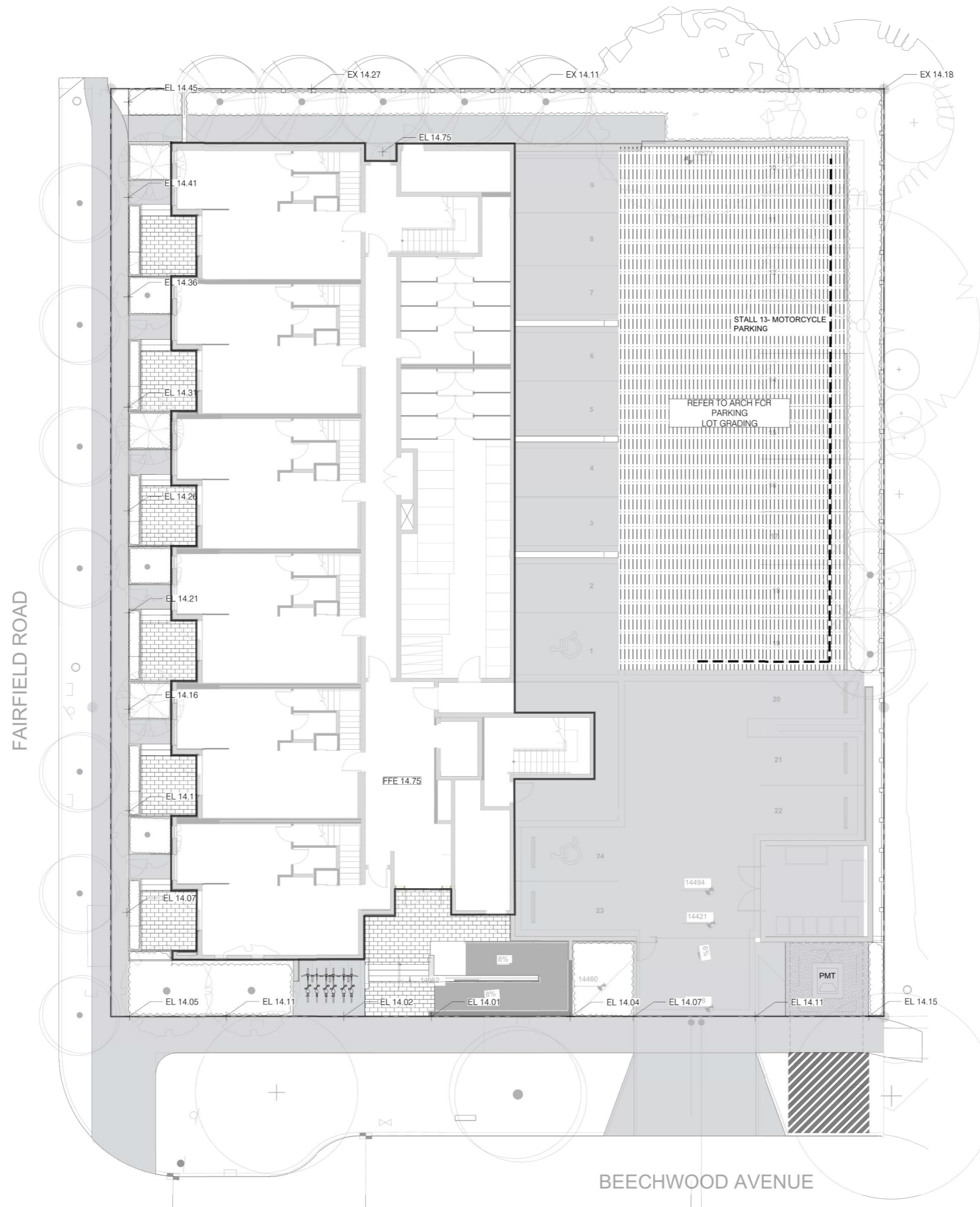


LAYOUT PLAN NOTES

- ALL DIMENSIONS ARE NOMINAL
- REFER TO GRADING PLAN FOR ELEVATIONS
- ALL SITE FURNISHINGS TO BE CONFIRMED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION



DWG NO: **L2.1**
 SCALE: 1:100



- GRADING PLAN NOTES**
1. ALL ELEVATIONS ARE NOMINAL. CONTRACTOR TO VERIFY SPOT ELEVATION PRIOR THE START OF CONSTRUCTION.
 2. ALL ELEVATIONS ARE TO TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE.
 3. REFER TO CIVIL FOR ALL OFFSITE AND PARKING LOT GRADING.
 4. REFER TO ARCH FOR ONSITE HARDSCAPE GRADING.



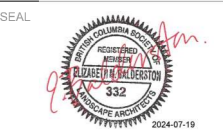
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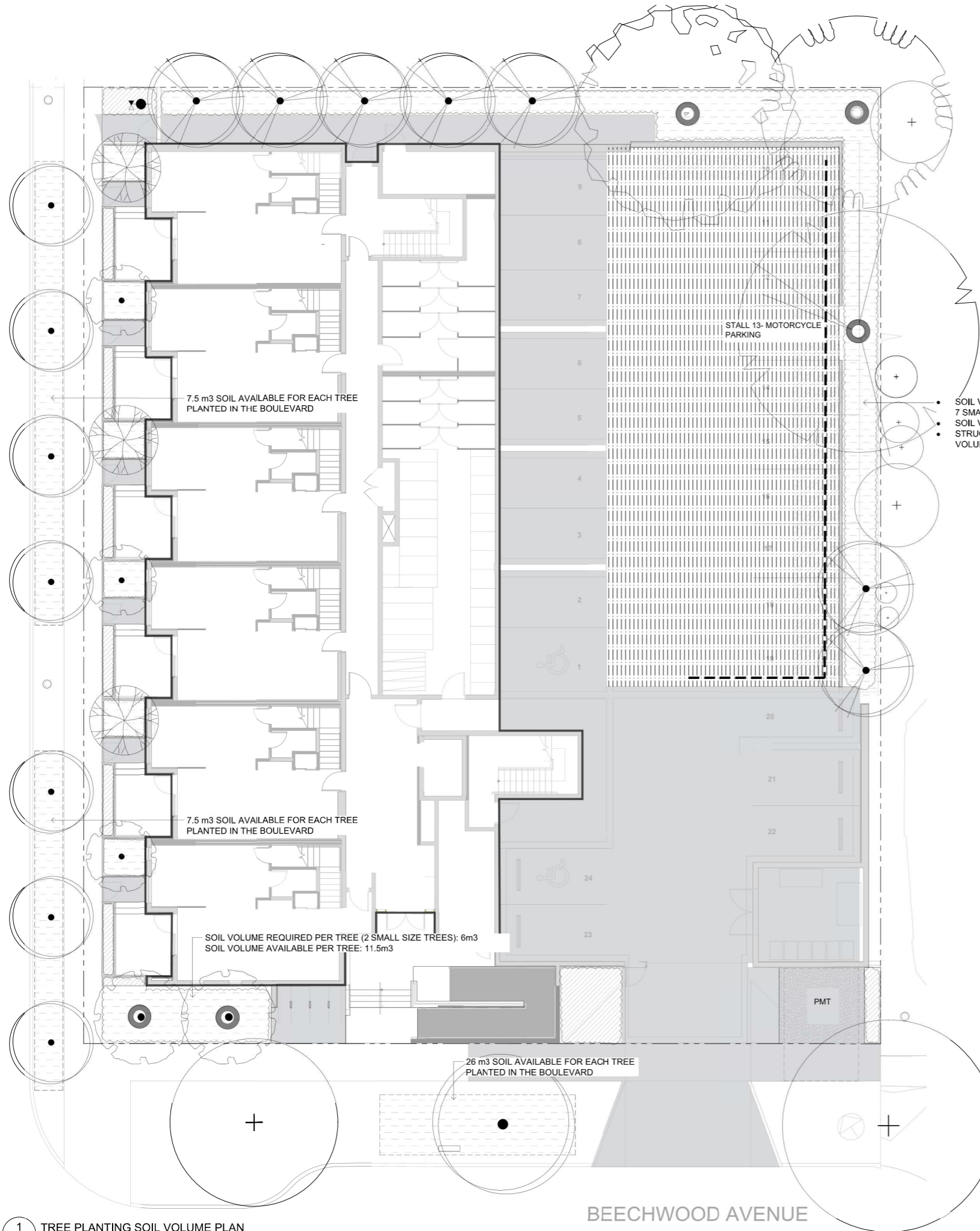


DRAWING TITLE:
GRADING PLAN

DWG NO:
L3.1

SCALE: 1:100

FAIRFIELD ROAD



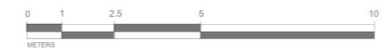
LEGEND

- 1:1 DESIGNATED REPLACEMENT TREE
- 2:1 DESIGNATED REPLACEMENT TREE
- ▨ 1.0m DEPTH SOIL IN PLANTING BED
- ▨ 0.60m DEPTH SOIL
- ▨ 1.0m DEPTH STRUCTURAL SOIL UNDER REDESIGN
- ▭ TREE PIT WITH 1.0m DEPTH GROWING MEDIUM FOR BOULEVARD TREES

NOTE:
- ALL UPPER LEVELS TO RECEIVE 600mm SOIL DEPTH IN METAL PLANTERS

- SOIL VOLUME REQUIRED PER TREE (2 LARGE SIZE TREES, 1 MEDIUM SIZE TREE, 7 SMALL SIZE TREES): 117 m³
- SOIL VOLUME IN PLANTING BED: 102 m³
- STRUCTURAL SOIL VOLUME COVERAGE AREA: 75m² (COUNTS 20% OF SOIL VOLUME 15 m³)

BEECHWOOD AVENUE



1 TREE PLANTING SOIL VOLUME PLAN
L4.1 1:100



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VICTORIA, BC**

DESIGNED BY: BIANCA BODLEY
DRAWN BY: TYLER YESTAL

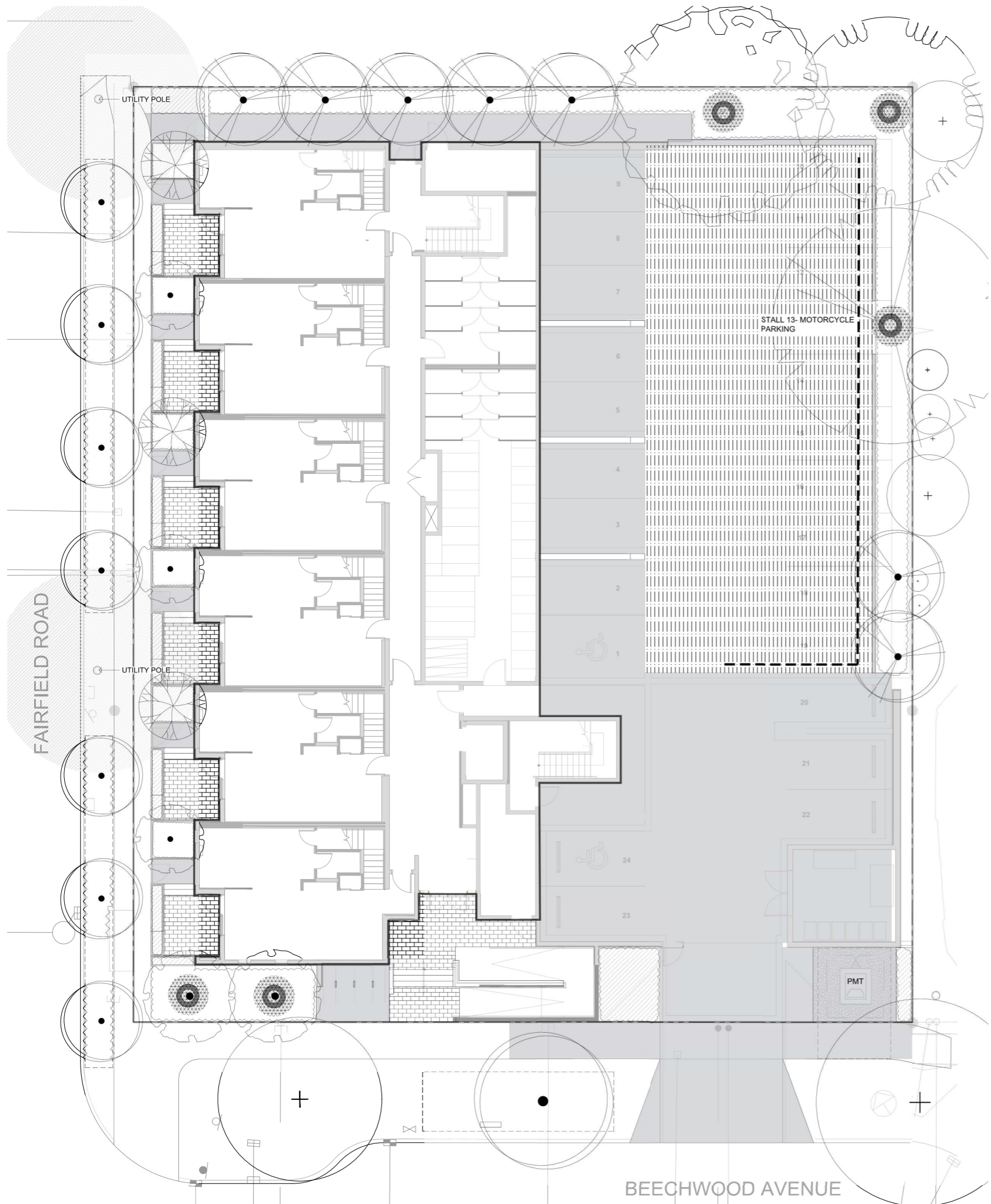
NO.	ISSUE	YYMMDD
1	ISSUED FOR DEVELOPMENT TRACKER	22/03/04
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7	25% BUILDING PERMIT	2023/10/10
8	ISSUED FOR BP COORDINATION	2023/11/24
9	DP/RZ REV 4	2024/01/12
10	DP/RZ REV 5	2024/02/21
11	ISSUED FOR BUILDING PERMIT	2024/03/01
12	DP/RZ REV 6	2024/07/03



DRAWING TITLE:
SOIL VOLUME PLAN

DWG NO:
L4.1

SCALE: AS NOTED



LEGEND

- — — — — OVERHEAD POWER LINE
- ~ ~ ~ ~ ~ ROOT BARRIER
- 1:1 DESIGNATED REPLACEMENT TREE
- 2:1 DESIGNATED REPLACEMENT TREE
- TREE PIT WITH 1.0 m DEPTH GROWING MEDIUM FOR BOULEVARD TREES
- TREE PLANTING RESTRICTIONS
- 5.0 m OFFSET FROM HYDRO OR LIGHT POLE
- 1.0 m OFFSET AREA

TREE SCHEDULE

Quantity	Symbol	Latin Name	Common Name	Container	Caliper	Size	Native
5	○	<i>Acer griseum</i>	Paperbark Maple	B&B	6 cm	>2 m	
1	○	<i>Fraxinus americana</i> 'Autumn Applause'	Autumn Applause white ash	B&B	6 cm	>2 m	
1	○	<i>Liriodendron tulipifera</i>	Tulip tree	B&B	6 cm	>2 m	
7	○	<i>Parrotia persica</i> 'Ruby Vase'	Ruby Vase Parrotia	B&B	6 cm	>2 m	
3	○	<i>Styrax japonicus</i>	Japanese snowbell	B&B	6 cm	>2 m	
1	○	<i>Quercus palustris</i>	Pin Oak	B&B	6 cm	>2 m	
8	○	BOULEVARD TREE TO BE DETERMINED BY PARKS AT BP		B&B	TBD		

NOTES:
 1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.

TREE IMPACT SUMMARY TABLE

TREE STATUS	TOTAL	TO BE RETAINED	TO BE REMOVED	REPLACEMENTS REQUIRED	MINIMUM REQUIRED FOR LOT SIZE	PROPOSED
ON-SITE TREES AND SHRUBS BYLAW PROTECTED	7	0	7	7	9	4
MUNICIPAL TREES	3	2	1	1		8
NEIGHBORING TREES, BYLAW PROTECTED	0	0	0	0		0
REPLACEMENT TREES TO BE PLANTED ON SITE	4					
REPLACEMENT TREE SHORTFALL	3					
TOTAL PROPOSED TREES ON SITE (REPLACEMENT (ACTUAL) + OTHER)	18					

ACTUAL NUMBER : 5
 2 x LARGE TREE (1:1)
 1 x MEDIUM TREE (1:1)
 2 x SMALL TREE (2:1)

- NOTES:
- IRRIGATION SYSTEM ON CITY PROPERTY SHALL COMPLY TO CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW. IRRIGATION DRAWINGS MUST BE SUBMITTED TO PARKS DIVISION FOR REVIEW AND APPROVAL 30 DAYS PRIOR TO INSTALLATION WORK. THE FOLLOWING IRRIGATION AND SLEEVING INSPECTIONS BY PARKS STAFF ARE REQUIRED BY SCHEDULE C.
 - IRRIGATION INSPECTION REQUIREMENTS:
 - THE IRRIGATION SYSTEM AND SLEEVING INSPECTION REQUIREMENTS CAN BE FOUND IN SCHEDULE C OF THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO. 12-042.
 - IRRIGATION SLEEVING PRIOR TO BACKFILLING*
 - OPEN TRENCH MAIN LINE AND PRESSURE TEST
 - OPEN TRENCH LATERAL LINE
 - IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY IS TO HAVE AN INSPECTION TAG COMPLETED AND ATTACHED.
 - 100MM SDR 28 PIPE WILL BE USED FOR IRRIGATION SLEEVING UNDER HARD SURFACES. INSTALLATIONS WHERE A 90-DEGREE BEND IS REQUIRED SHOULD BE INSTALLED USING 100MM SDR 28 GSX (22.5 DEGREE) LONG SWEEPS. INSTALL WILL BE AT 400MM DEPTH.



1608 Camosun Street, Victoria BC V8T 3E6
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 VICTORIA, BC**

DESIGNED BY: **BIANCA BODLEY**
 DRAWN BY: **TYLER YESTAL**

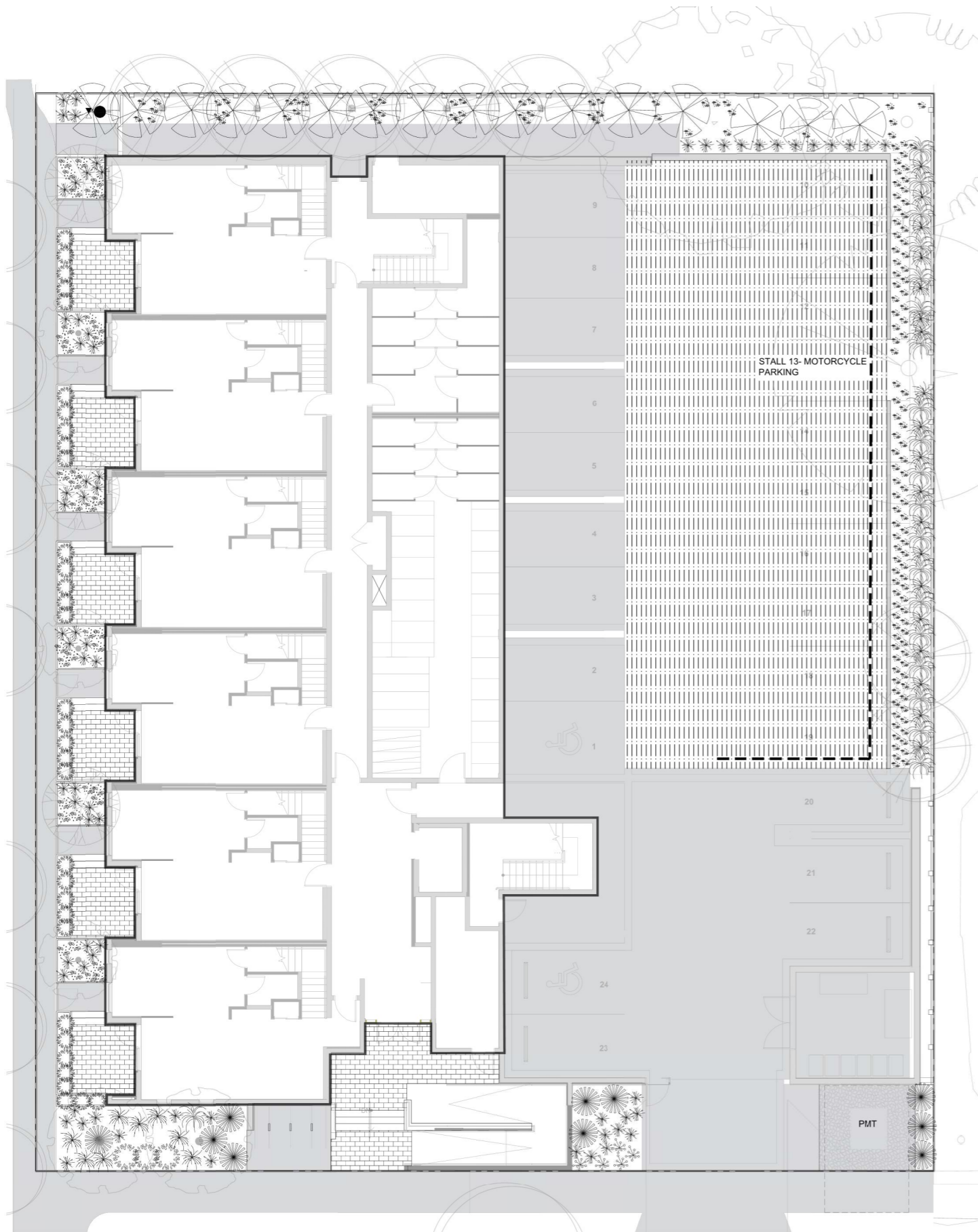
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2	ISSUED FOR RZ/DP	220502
3	ISSUED FOR COORDINATION	220718
4	ISSUED FOR RZ/ DP	220720
5	ISSUED FOR RZ/ DP RESUBMISSION	230124
6	ISSUED FOR RZ/ DP RESUBMISSION	230618
7	25% BUILDING PERMIT	20231010
8	ISSUED FOR BP COORDINATION	20231124
9	DPI/RZ REV 4	20240112
10	DPI/RZ REV 5	20240221
11	ISSUED FOR BUILDING PERMIT	20240301
12	DPI/RZ REV 6	20240703



DRAWING TITLE:
TREE PLANTING PLAN

DWG NO:
L4.2

SCALE: 1:100



PLANT SCHEDULE						
Quantity	Symbol	Latin Name	Common Name	Container	Native	Pollinator
12		<i>Armeria maritima</i> 'Alba'	White-flowered Thrift	10cm		y
182		<i>Arctostaphylos Uva-Ursi</i> 'Massachusetts'	Kinnikinnick	10cm	y	y
69		<i>Carex testacea</i> 'Prairie Fire'	New Zealand hair sedge	#1		
10		<i>Cephalotaxus harringtonia</i> 'Prostrata'	Spreading Japanese plum yew	#2		
16		<i>Choisya ternata</i>	Mexican mock orange	#3		y
36		<i>Hebe pinguiifolia</i> 'Sutherlandii'	Hebe Sutherlandii	#1		
30		<i>Miscanthus sinensis</i> 'Huron Light'	Huron Light maiden grass	#1		
20		<i>Miscanthus sinensis</i> 'Morning Light'	Chinese silver grass Morning Light	#1		
5		<i>Verbena bonariensis</i> 'Lollipop'	Dwarf purpletop	#1		Y

NOTES:
1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.

- PLANTING PLAN NOTES**
1. ALL PLANT MATERIAL TO BC SLA STANDARDS.
 2. THE SEARCH ARE FOR PLANT MATERIAL IS THE PACIFIC NORTHWEST INCLUDING WASHINGTON, OREGON AND BRITISH COLUMBIA.
 3. CONFIRM PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
 4. ALL SOIL VOLUMES TO MEET THE STANDARDS OF THE CITY OF VICTORIA. REFER TO SOIL DEPTH PLANS FOR SOIL DEPTH REQUIREMENTS.
 5. ALL GROWING MEDIUM PROVISION AND INSTALLATION TO BE IN LINE WITH CANADIAN LANDSCAPE STANDARDS.
 6. REFER TO CIVIL AND MECHANICAL FOR DRAINS.
 7. ALL ONSITE AND OFF-SITE LANDSCAPE AREAS TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. IRRIGATION TO BE SUPPLIED BY CONTRACTOR
 8. PLANTING AROUND EXISTING CRITICAL TREE ROOT ZONES TO BE INSTALLED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST.



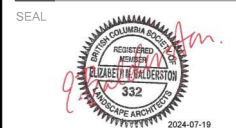
1608 Camosun Street, Victoria BC V8T 3E6
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DRAWN BY: **TYLER YESTAL**

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10	DPR/RZ REV 5	2024/02/21
11	ISSUED FOR BUILDING PERMIT	2024/03/01
12	DPR/RZ REV 6	2024/07/03



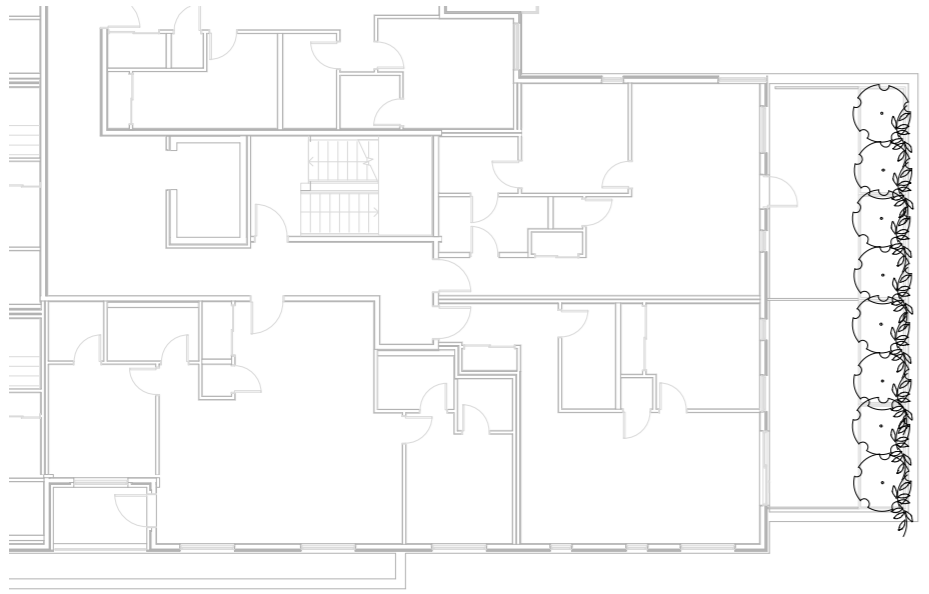
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**SHRUB PLANTING PLAN
LEVEL 1**

DWG NO:

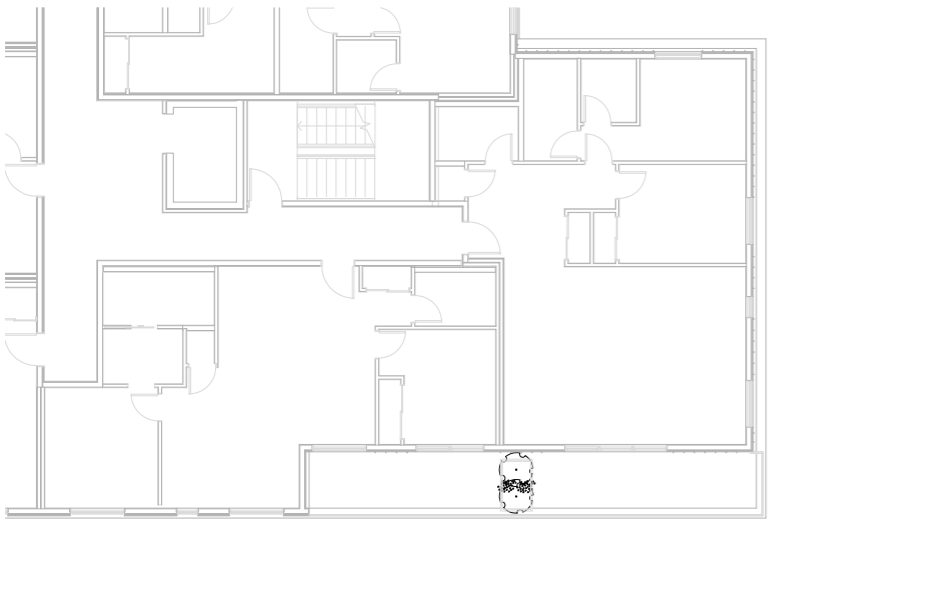
L4.3

SCALE: 1:100

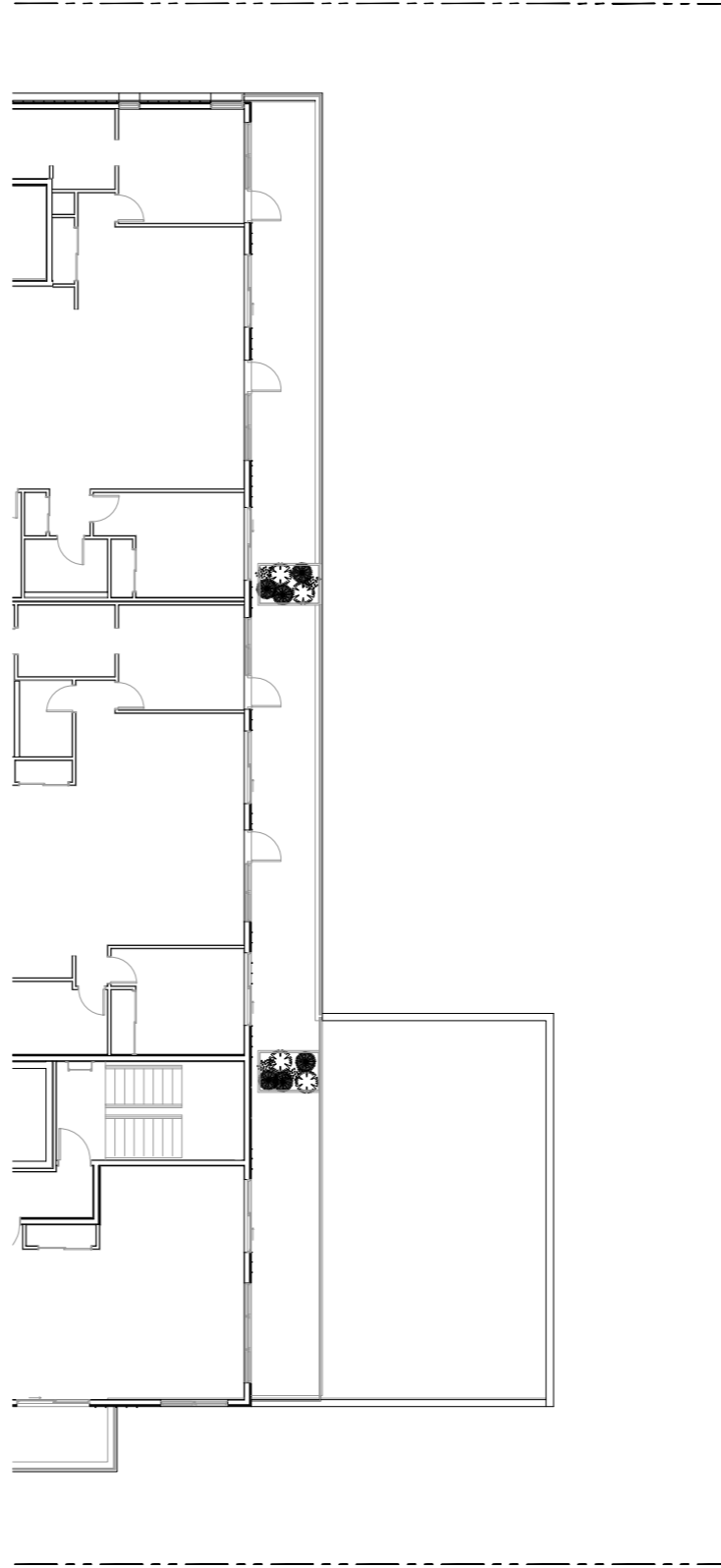
1 GROUND FLOOR PLANTING PLAN
L3 1:100



1 LEVEL TWO PLANTING PLAN
L6 1:100



2 LEVEL THREE PLANTING PLAN
L6 1:100

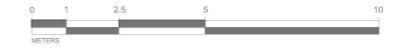


3 LEVEL FOUR PLANTING PLAN
L6 1:100

PLANT SCHEDULE						
Quantity	Symbol	Latin Name	Common Name	Container	Native	Pollinator
6		<i>Armeria maritima</i> 'Alba'	White-flowered Thrift	10cm		y
10		<i>Choisya ternata</i>	Mexican Orange Blossom	#3		y
6		<i>Pinus strobus</i> 'Horsford Dwarf'	Horsford Dwarf Eastern white pine	#2		
4		<i>Rhododendron</i> x	Bloom-A-Thon® White Reblooming Azalea	#1		y
8		<i>Parthenocissus</i> <i>quinquefolia</i>	Virginia Creeper	#2		

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- PLANTING PLAN NOTES
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 - THE SEARCH ARE FOR PLANT MATERIAL IS THE PACIFIC NORTHWEST INCLUDING WASHINGTON, OREGON AND BRITISH COLUMBIA.
 - CONFIRM PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE.
 - ALL SOIL VOLUMES TO MEET THE STANDARDS OF THE CITY OF VICTORIA. REFER TO SOIL DEPTH PLANS FOR SOIL DEPTH REQUIREMENTS.
 - ALL GROWING MEDIUM PROVISION AND INSTALLATION TO BE IN LINE WITH CANADIAN LANDSCAPE STANDARDS
 - REFER TO CIVIL AND MECHANICAL FOR DRAINS.
 - ALL ONSITE AND OFF-SITE LANDSCAPE AREAS TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. IRRIGATION TO BE SUPPLIED BY CONTRACTOR
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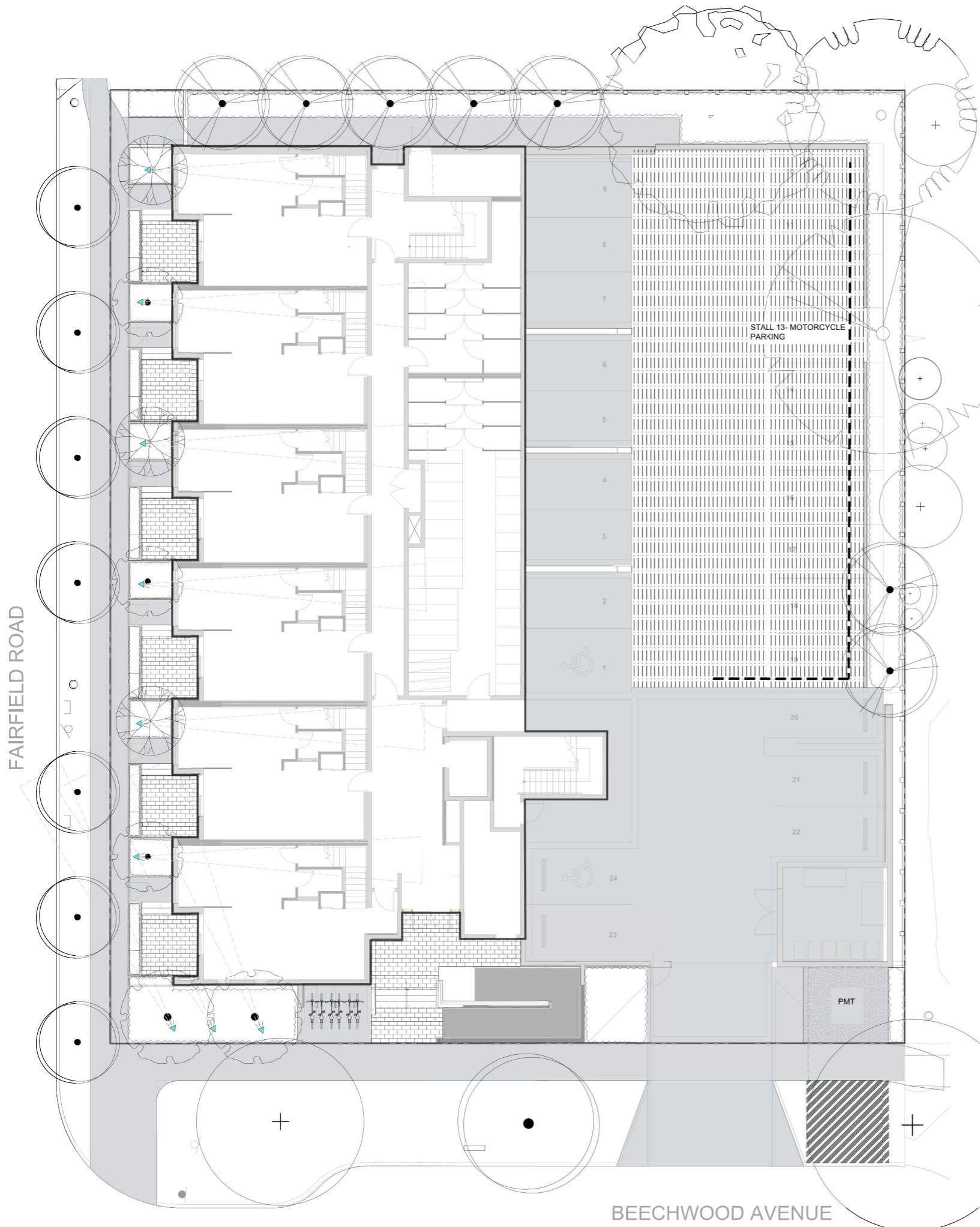
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9	DPIRZ REV 4	2024/01/12
10	DPIRZ REV 5	2024/02/21
11	ISSUED FOR BUILDING PERMIT	2024/03/01
12	DPIRZ REV 6	2024/07/03



DRAWING TITLE:
SHRUB PLANTING PLAN
LEVELS 2, 3, & 4

DWG NO: **L4.4**
SCALE: AS NOTED



LIGHTING SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	DETAIL
	WAC Landscape Lighting 5111 LED Accent Mini Landscape Spotlight Order code: 5111, Aluminum Alloy, (BK) Black on Aluminum, Mounting Stake Lamp: 5111 Integrated LED, 18W/23VA, 2700K, Beamsread: Narrow Accessories: Additional Mounting Stake	9	



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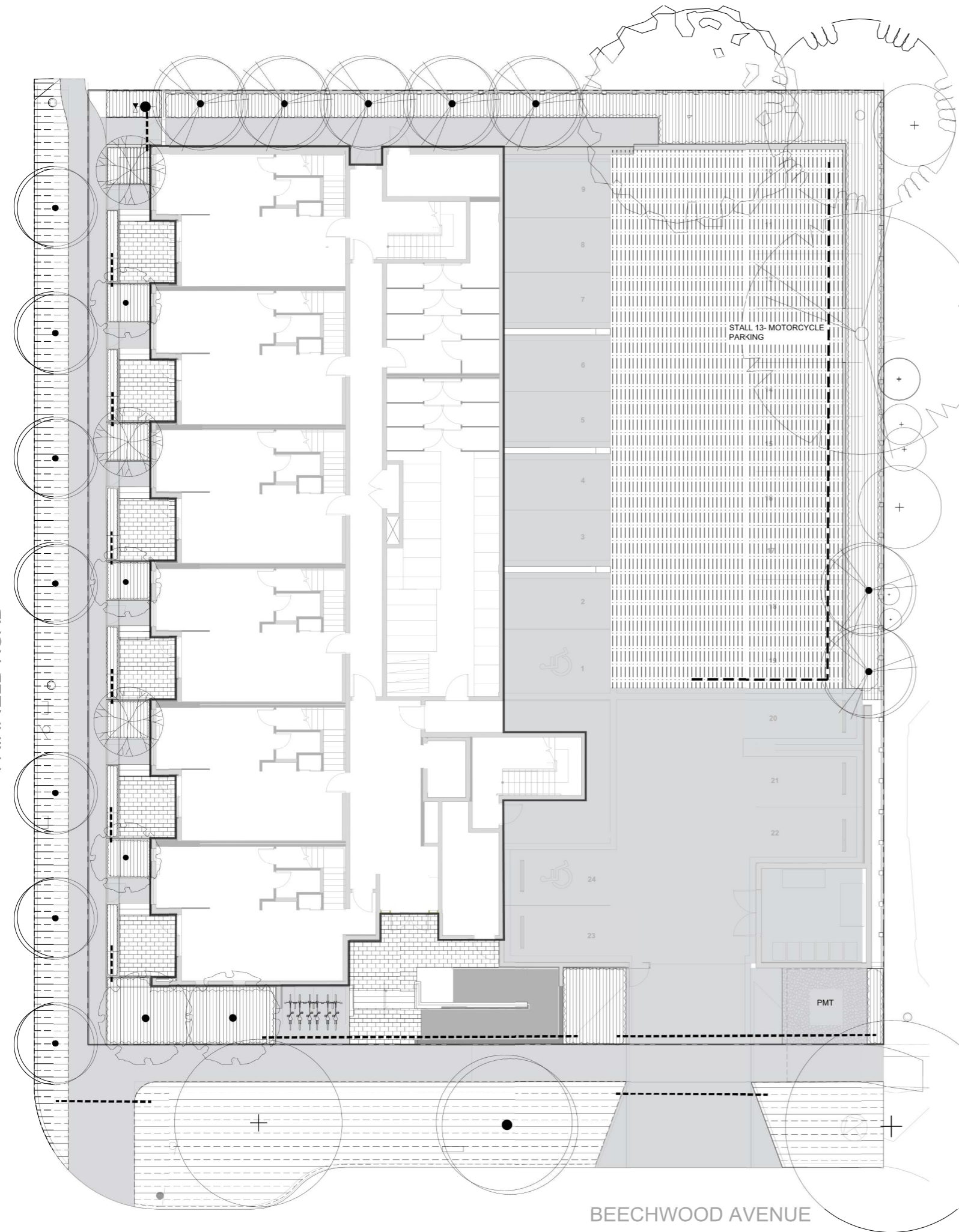


DRAWING TITLE:
**LANDSCAPE LIGHTING PLAN
LEVEL 1**

DWG NO:
L5.1

SCALE: 1:100

FAIRFIELD ROAD



LEGEND

- PIPE SLEEVE: PVC SCHEDULE 40 TWICE THE SIZE OF THE INTERIOR PIPE OF MIN. 50MM DIA.
- HOSE BIB
- SHUT OFF VALVE
- 2" PVC POINT OF CONNECTION
- AREA TO RECEIVE DRIPLINE- RAIN BIRD XFS-CV-09-12 SUB-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY, 3 BAR CHECK VALVE, 3.41 LPH EMITTERS AT 30CM O.C. DRIPLINE LATERALS SPACED AT 30CM APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SPECIFY XF INSERT FITTINGS
- TREES IN THIS AREA TO RECEIVE ROTOR IRRIGATION

NOTES

- IRRIGATION PLANS TO BE UPDATED PRIOR TO IFC.
- OFFSITE TREES TO BE IRRIGATED BY SEPARATE IRRIGATION SYSTEM.
- ALL OFFSITE IRRIGATION TO FOLLOW THE CITY OF VICTORIA STANDARDS
- IRRIGATION DRIPLINE TO BE INSTALLED SUB-SURFACE AND SLEEVED UNDER METAL PLANTERS
- REFER TO MECHANICAL FOR HOSEBIB LOCATIONS



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilacollective.ca 250 590 1156

OWNER/CLIENT:
ARYZE DEVELOPMENTS

PROJECT ADDRESS:
**1733 FAIRFIELD,
VICTORIA, BC**

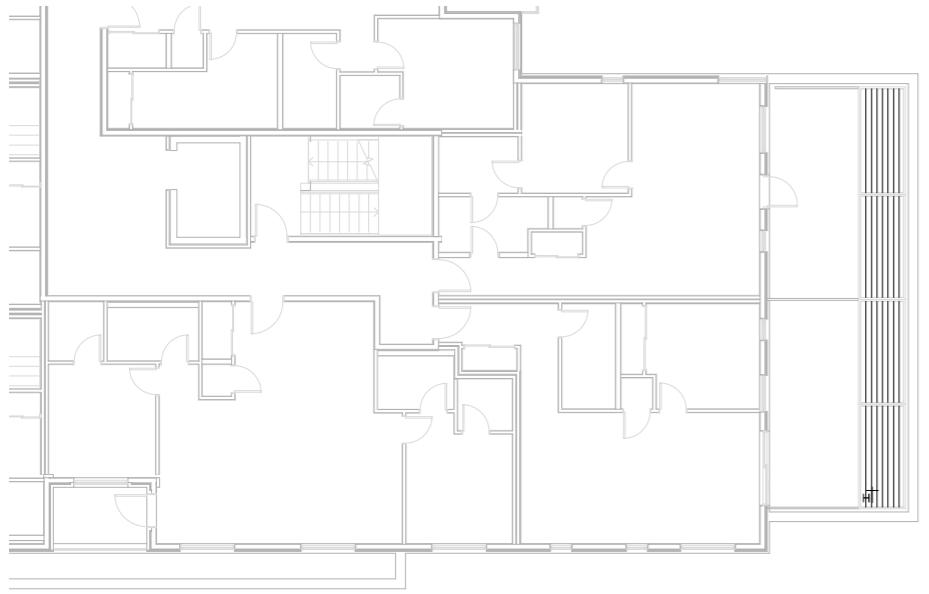
DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **TYLER YESTAL**

NO.	ISSUE	YYMMDD
1	ISSUED FOR DEVELOPMENT TRACKER	22/03/04
2	ISSUED FOR RZ/DP	22/05/02
3	ISSUED FOR COORDINATION	22/07/18
4	ISSUED FOR RZ/ DP	22/07/20
5	ISSUED FOR RZ/ DP RESUBMISSION	23/01/24
6	ISSUED FOR RZ/ DP RESUBMISSION	23/08/18
7	25% BUILDING PERMIT	23/10/10
8	ISSUED FOR BP COORDINATION	23/11/24
9	DPRZ REV 4	23/10/12
10	DPRZ REV 5	23/10/21
11	ISSUED FOR BUILDING PERMIT	23/10/31
12	DPRZ REV 6	23/07/03

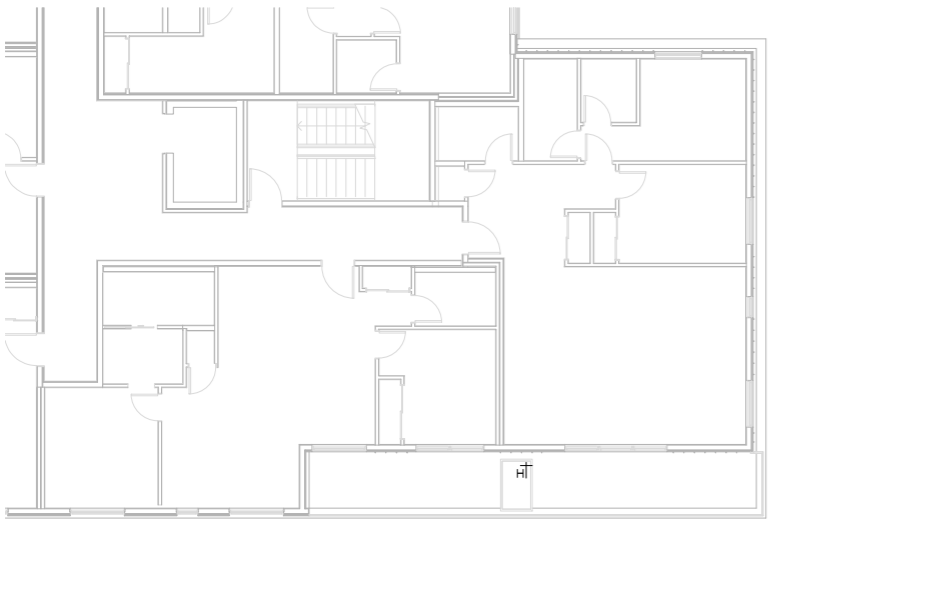


DRAWING TITLE:
**IRRIGATED AREAS PLAN
LEVEL 1**

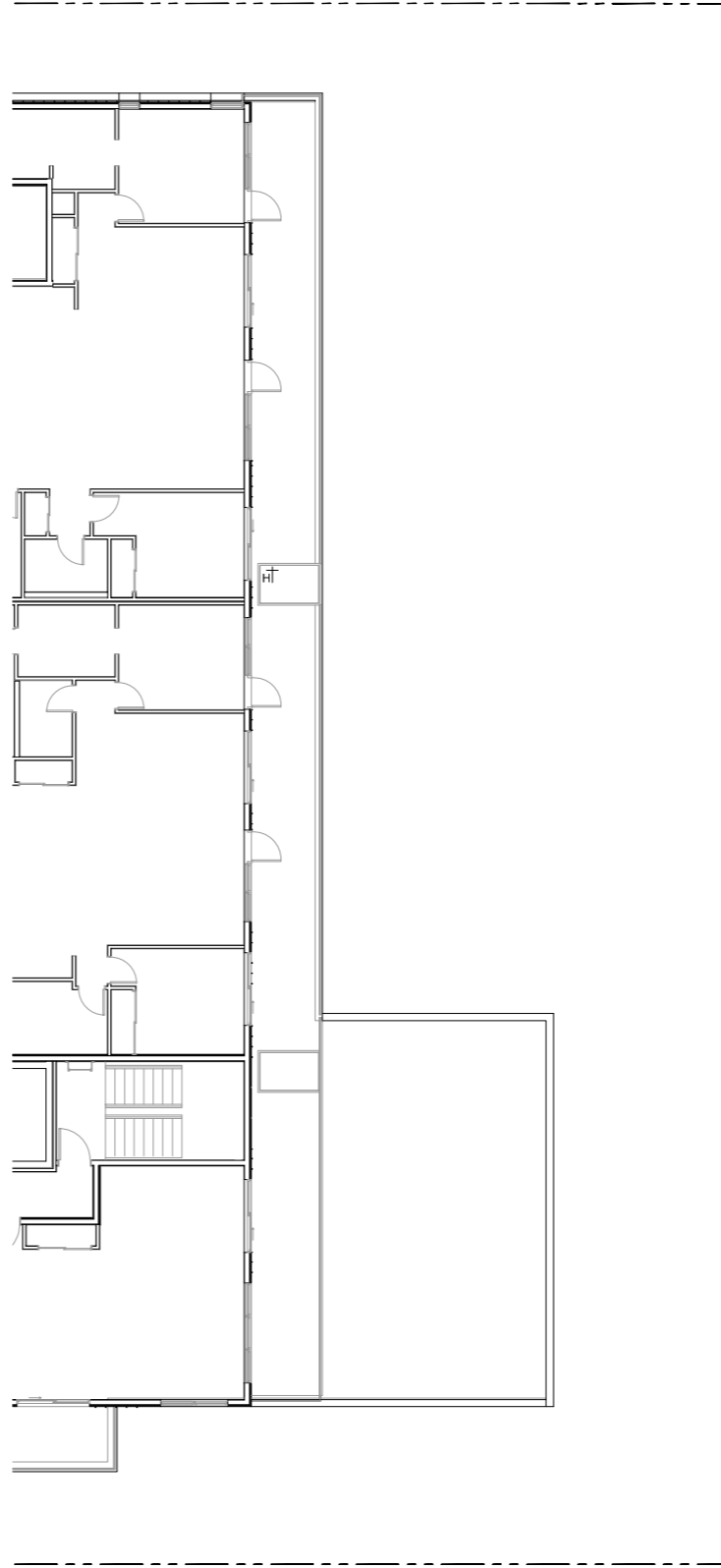
DWG NO: **L6.1**
SCALE: 1:100



1 LEVEL TWO IRRIGATION PLAN
L6.2 1:100



2 LEVEL THREE IRRIGATION PLAN
L6.2 1:100



3 LEVEL FOUR IRRIGATION PLAN
L6.2 1:100

LEGEND

- PIPE SLEEVE: PVC SCHEDULE 40 TWICE THE SIZE OF THE INTERIOR PIPE OF MIN. 50MM DIA.
- HOSE BIB
- SHUT OFF VALVE
- 2" PVC POINT OF CONNECTION
- AREA TO RECEIVE DRIPLINE- RAIN BIRD XFS-CV-09-12 SUB-SURFACE LANDSCAPE DRIPLINE WITH A HEAVY-DUTY 3 BAR CHECK VALVE. 3.41 LPH EMITTERS AT 30CM O.C. DRIPLINE LATERALS SPACED AT 30CM APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. SPECIFY XF INSERT FITTINGS
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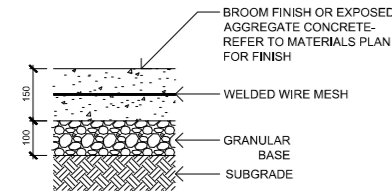
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8	ISSUED FOR BP COORDINATION	2023/11/24
9	DPIRZ REV 4	2024/01/12
10	DPIRZ REV 5	2024/02/21
11	ISSUED FOR BUILDING PERMIT	2024/03/01
12	DPIRZ REV 6	2024/07/03



DRAWING TITLE:
**IRRIGATED AREAS PLAN
LEVELS 2, 3, & 4**

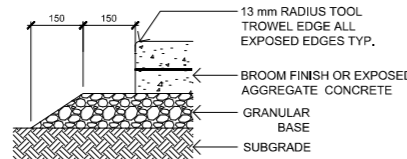
DWG NO: **L6.2**

SCALE: AS NOTED



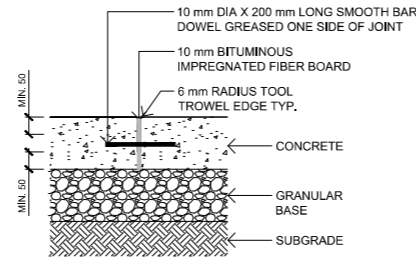
- SUBGRADE AND GRANULAR BASE TO BE COMPACTED TO MIN. 95% MPD.
- CONCRETE SIDEWALK TO MMCD/MUNICIPAL SPECIFICATIONS
- WELDED WIRE REINFORCEMENT MESH TO BE 6 X 6 X W2.9 X W2.9 (152 x 152 MW18.7/18.7) AND TO BE INSTALLED PER NRC NBC AND CAC STANDARDS.
- MIN 50 mm COVER ABOVE AND BELOW MESH.

1 CIP CONCRETE
1:10



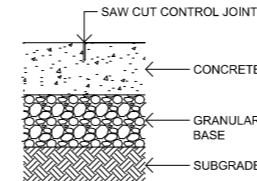
- EXTEND GRANULAR BASE 300 mm PAST EDGE OF SIDEWALK

2 CONCRETE EDGE
1:10



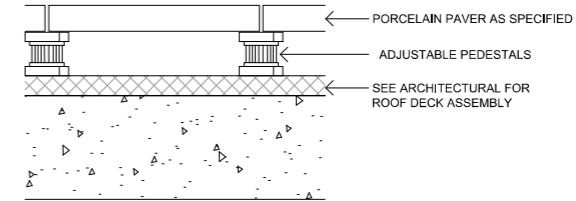
- BAR DOWELS @ 450 mm O.C. AND STARTING 300 mm FROM OUTSIDE EDGE OF CONCRETE - CENTER IN CONCRETE SLAB (MIN. 50 mm COVER)
- ISOLATION JOINT MAXIMUM SPACING 9.0 m
- JOINTING AS PER LAYOUT PLAN AND AT ALL ABUTTING CONCRETE STRUCTURES

3 CONCRETE EXPANSION JOINT
1:10



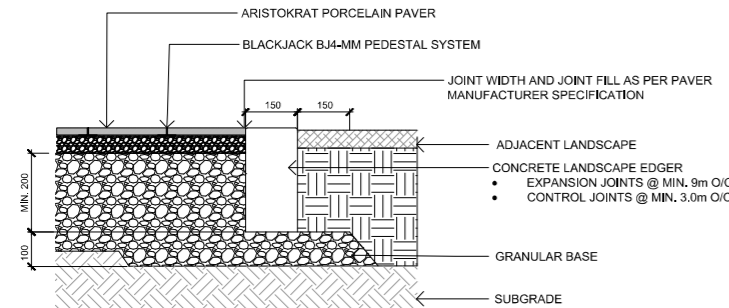
- JOINT DEPTH 1/3 SLAB THICKNESS
- CONTROL JOINT MAXIMUM SPACING 3.0 m
- JOINTING PATTERN AS PER LAYOUT PLAN

4 CONCRETE CONTROL JOINT
1:10



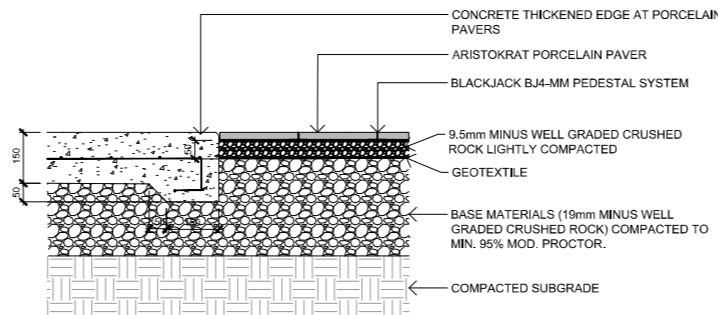
- PRIOR TO INSTALLATION, CONTRACTOR TO CONFIRM WITH ARCHITECTURAL / MEMBRANE CONSULTANT IF PROTECTION BOARD IS REQUIRED FOR PAVER PEDESTAL INSTALLATION; IF PROTECTION BOARD IS REQUIRED AND HAS NOT BEEN INSTALLED BY ARCHITECTURAL, CONTRACTOR TO NOTIFY GENERAL CONTRACTOR.
- ADJUSTABLE PEDESTALS TO BE BlackJack OneStep or BlackJack ScrewJack PEDESTALS AS REQUIRED OR APPROVED EQUAL.
- INSTALLATION TO MANUFACTURER'S SPECIFICATIONS.

5 PORCELAIN PAVER ON PEDESTAL
1:10



- SUBGRADE AND GRANULAR BASE TO BE COMPACTED TO MIN. 95% MPD.
- CONCRETE TO MMCD SPECIFICATION UNLESS NOTED OTHERWISE.

6 PAVER EDGER
1:10



- REFER TO PAVER MANUFACTURER FOR INSTALLATION
- CONTROL JOINT MAXIMUM SPACING 3.0 m
- JOINTING PATTERN AS PER LAYOUT PLAN

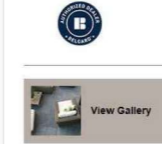
7 PAVER 1
1:10

Aristokrat® Series

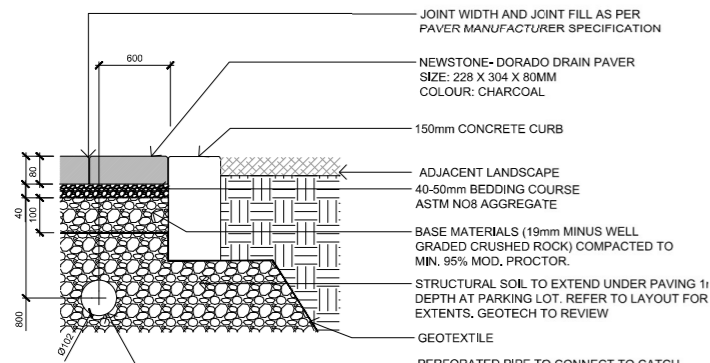
The Aristokrat® Series is perfect for terraces, roof decks, patios, court yards, swimming pools, water features or any traditional hardscape areas. Porcelain slabs deliver performance, style, versatility and are resistant to staining, fading, marking, chemicals and extreme weather. It is the ideal choice for residential or commercial outdoor applications but can also be used indoors for aesthetic continuity.



Available At



COLORS



- SUBGRADE AND GRANULAR BASE TO BE COMPACTED TO MIN. 95% MPD.
- GRANULAR BASE TO BE COMPACTED IN MAX. 100mm LIFTS.
- PAVER AND PAVER INSTALLATION TO MMCD AND MANUFACTURER'S SPECIFICATION UNLESS NOTED OTHERWISE.
- GEOTECH TO REVIEW PRIOR TO INSTALLATION.
- REFER TO CIVIL FOR CATCH BASIN LOCATIONS.
- DIAMETER OF PERFORATED PIPE TO BE DETERMINED BY STORMWATER ENGINEER.

8 PAVER 2
1:10

NEWSTONE GROUP

Dorado Drain Paver

Installation

FULL EXFILTRATION

1. Install Drain Paver
2. Joint filling material ASTM No. 88
3. Bedding course 1.5" (38mm) 20mm aggregate ASTM No. 57 (3/4" max aggregate)
4. Base course of 4" (102mm) ASTM No. 57 (3/4" max aggregate)
5. Subgrade ASTM No. 2 (2" max aggregate)
6. Secondary landscape
7. Inlay
8. Concrete Edge

PARTIAL EXFILTRATION

1. Install Drain Paver
2. Joint filling material ASTM No. 88
3. Bedding course 1.5" (38mm) 20mm aggregate ASTM No. 57 (3/4" max aggregate)
4. Base course of 4" (102mm) ASTM No. 57 (3/4" max aggregate)
5. Subgrade ASTM No. 2 (2" max aggregate)
6. Secondary landscape
7. Inlay
8. Concrete Edge

NO EXFILTRATION

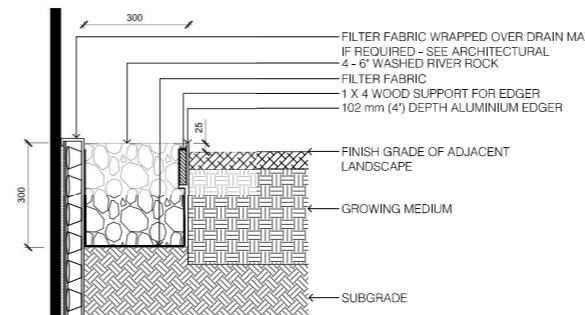
1. Install Drain Paver
2. Joint filling material ASTM No. 88
3. Bedding course 1.5" (38mm) 20mm aggregate ASTM No. 57 (3/4" max aggregate)
4. Base course of 4" (102mm) ASTM No. 57 (3/4" max aggregate)
5. Subgrade ASTM No. 2 (2" max aggregate)
6. Secondary landscape
7. Inlay
8. Concrete Edge

Specifications

WEIGHT: 3.1-3.9 (lb) (140-175) (kg)

RECOMMENDED APPLICATIONS

3333 HUNTERS ROAD, DELTA, BC V4L 1B7 | 604-332-4020



- NOTES:**
- LANDSCAPE EDGER TO BE PERMALOC CleanLine Commercial Grade Landscape Edging OR APPROVED EQUAL.
 - 4.8mm (3/16") THICKNESS; 102mm (4") HEIGHT; 4.8m (16') LENGTH; NATURAL MILL FINISH; 305mm (12") STAKE.
 - INSTALL EDGER AS PER MANUFACTURER'S INSTRUCTIONS
 - 1 X 4 WOOD SUPPORT TO BE STAKED IN PLACE AND USED TO ENSURE EDGER IS INSTALLED IN A STRAIGHT LINE AND MAINTAINS A STRAIGHT ALIGNMENT DURING THE INSTALLATION OF GROWING MEDIUM AND RIVER ROCK. MAY BE SCRAP WOOD AS LONG AS IT IS STRAIGHT.
 - FILTER FABRIC TO BE POLYPROPYLENE FIBRE NONWOVEN GEOTEXTILE, SUCH AS NILEX 4551 OR APPROVED EQUAL.

9 DRIP STRIP
1:10



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7	25% BUILDING PERMIT	2023/10/10
8	ISSUED FOR RZ/DP REV 5	2024/02/21
8	ISSUED FOR RZ/DP REV 6	2024/07/19

SEAL



NORTH ARROW



DRAWING TITLE:
PAVING DETAILS

DWG NO:

L7.1

SCALE: AS NOTED



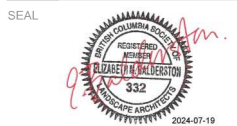
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8	ISSUED FOR RZ/DP REV 6	2024/07/19



NORTH ARROW

DRAWING TITLE:

**SITE FURNISHINGS
DETAILS**

DWG NO:

L7.2

SCALE: AS NOTED

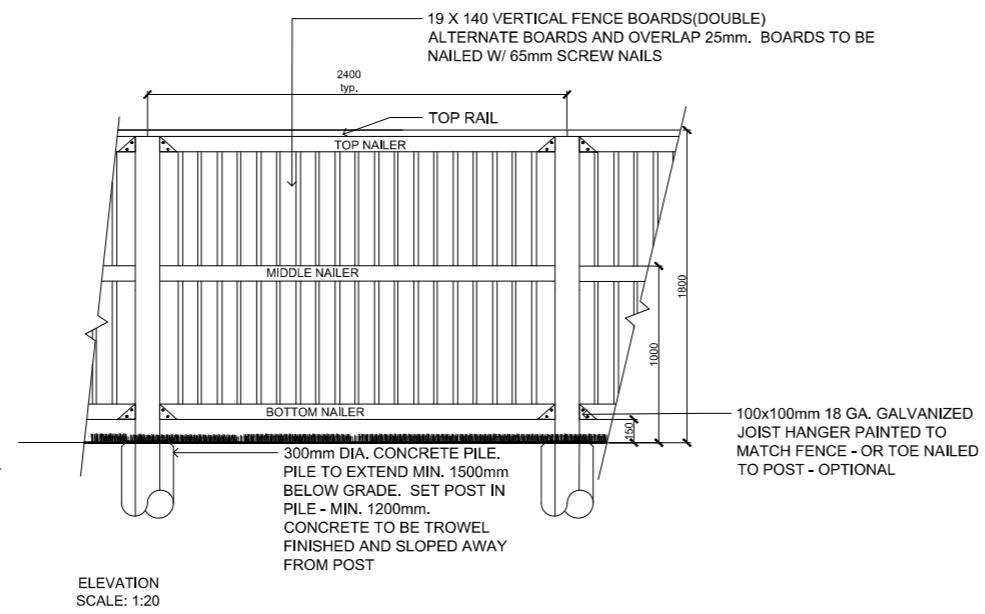
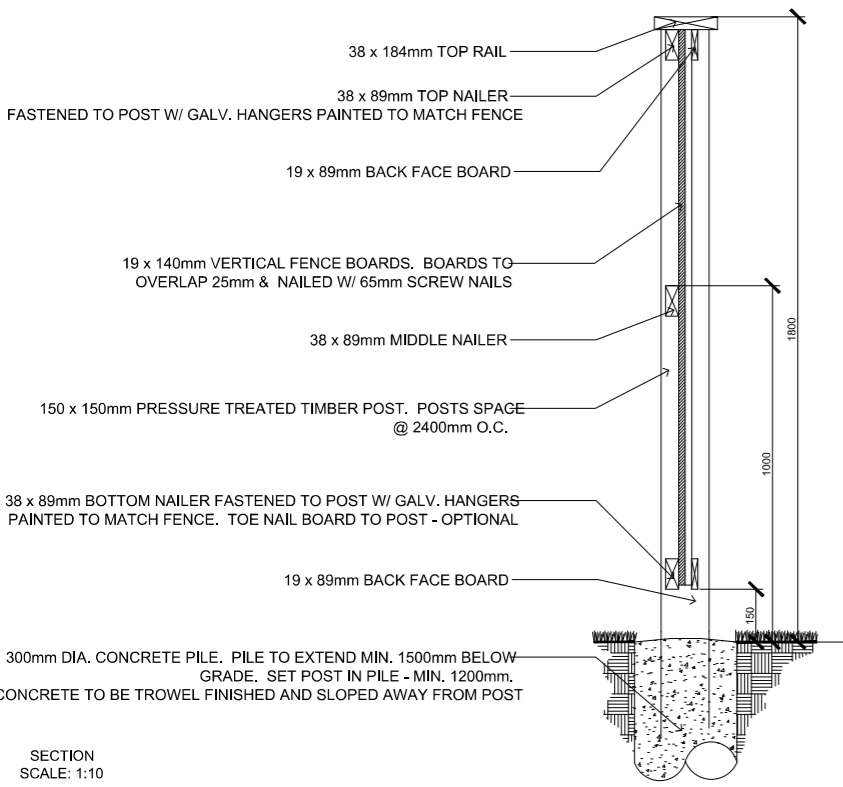
UB 24-2 Specifications 24" DeepRoot® Tree Root Barrier

Specified tree root barrier is a mechanical barrier and root deflector used to prevent tree roots from damaging hardscapes and landscapes. Assembled in 24" (609 mm) long modules to create varying lengths for linear applications, or perimeter surround applications in varying sizes.

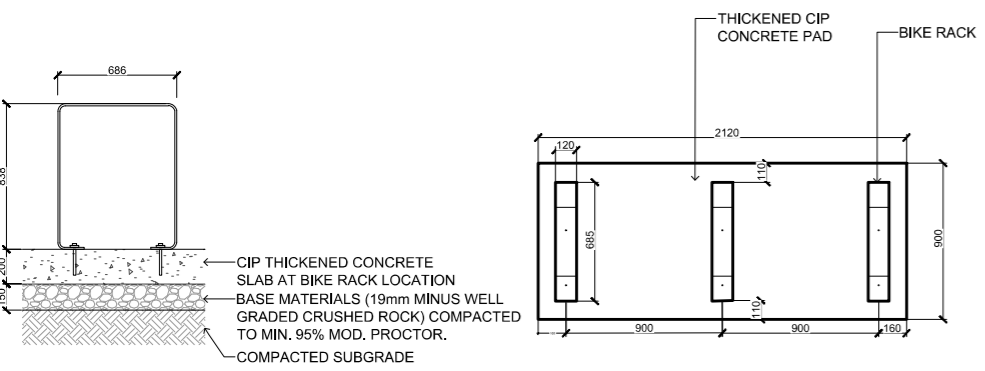
A. Materials

- The contractor shall furnish and install tree root barrier as specified. The tree root barrier shall be other product #UB 24-2 as manufactured by DeepRoot® Green Infrastructure, LLC, 530 Washington Street, San Francisco, CA, www.deeproot.com (800.458.7668).
- Root barrier shall be recyclable, black, injection molded panels with 0.80" (2.03 mm) wall thickness in modules 24" (609 mm) long and 24" (609 mm) deep.
- Root barrier shall be manufactured with 75% reprocessed polypropylene with added ultraviolet inhibitors.
- Root barrier shall be comprised of 24" (609 mm) panels. Each panel shall have no less than four (4) Modified Integral Vertical Root Directing Ribs of a minimum 0.75" (1.90 mm) thickness, protruding 0.2" (5.08 mm) at 90° from interior of the barrier panel, spaced 6" (152.4 mm) apart. (See Details A & B.)
- Root barrier shall have a Double Top Edge consisting of two parallel, integral, horizontal ribs at the top of the panel at 0.80" (2.03 mm) thickness, 3/8" (9.53 mm) wide and 1/4" (6.35 mm) apart with the lower rib attached to the vertical Root Directing Ribs (See Detail A).
- Root barrier shall have a minimum of twelve (12) Anti-Lift Ground Lock Tabs consisting of integral horizontal ridges of minimum 0.075" (1.90 mm) thickness on the slope of a segment of an oblong, the 2" (50.8 mm) chord of the segment joining the panel wall and the segment, protruding 3/8" (9.53 mm) from the panel. The twelve ground locks on each panel shall be about equally spaced between each of the vertical root directing ribs (four (4) between each set of ribs, see Details B & C).
- Root barrier shall have an integrated Zipper Joining System for assembly by sliding one panel into another (See Detail C).
U.S. Patents: 5,305,549; and 5,528,857. Other Patents Pending.

Properties	Typical Value	ASTM Test Method
Tensile strength @ yield - Wall	2,354 PSI	D638
Tensile strength @ yield - Hinge	2,846 PSI	D638
Yield Elongation - Wall	7.4%	D638
Yield Elongation - Hinge	7.0%	D638
Flexural Modulus	115,425 PSI	D790B
Notched Iod Impact - Wall	3.84 (ft-lb)	D256A
Rockwell Hardness - scale - Wall	88.4	D785A

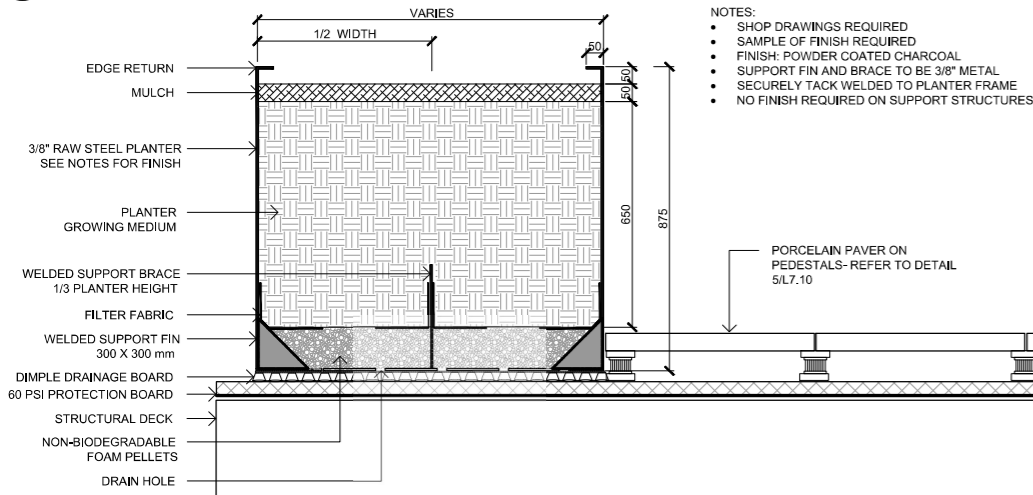


1 6' FENCE AND GATE AS NOTED



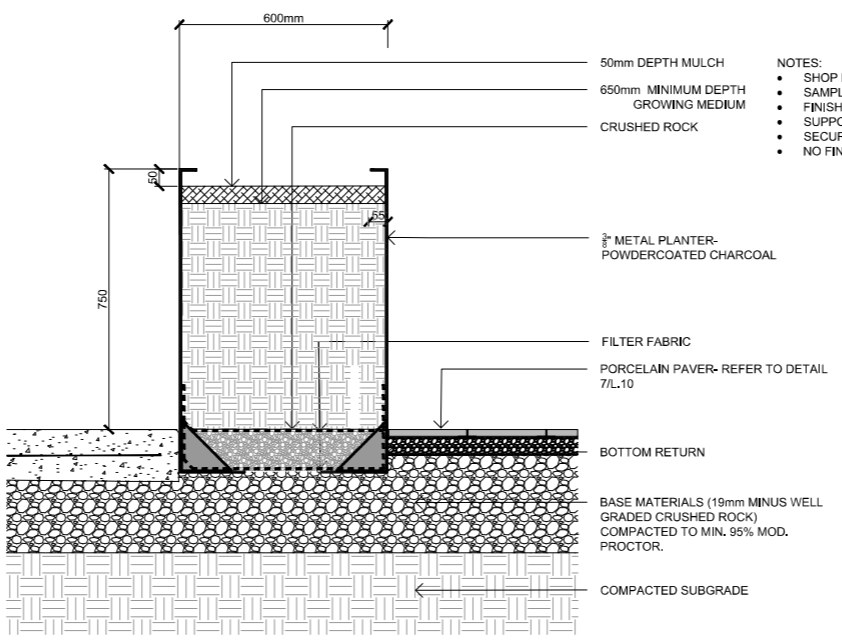
- NOTES:
- STEEL TO BE 50/10 THICKNESS; HOT-DIPPED GALVANIZED AS PER ASTM A123 AND HAND GROUND AFTER GALVANIZATION, PRIMED WITH A ZINC-RICH EPOXY PRIMER AND POWDERCOATED WITH A POLYESTER TRY-GLICIDYLISOCYANURATE (TGIC) FINISH 4mm THICK. COLOUR: AGED BRONZE.
 - SURFACE MOUNT WITH TAMPERPROOF BOLTS.
 - SHOP DRAWING REQUIRED FOR APPROVAL PRIOR TO FABRICATION.

3 CUSTOM BIKE RACK ON CIP CONCRETE 1:20



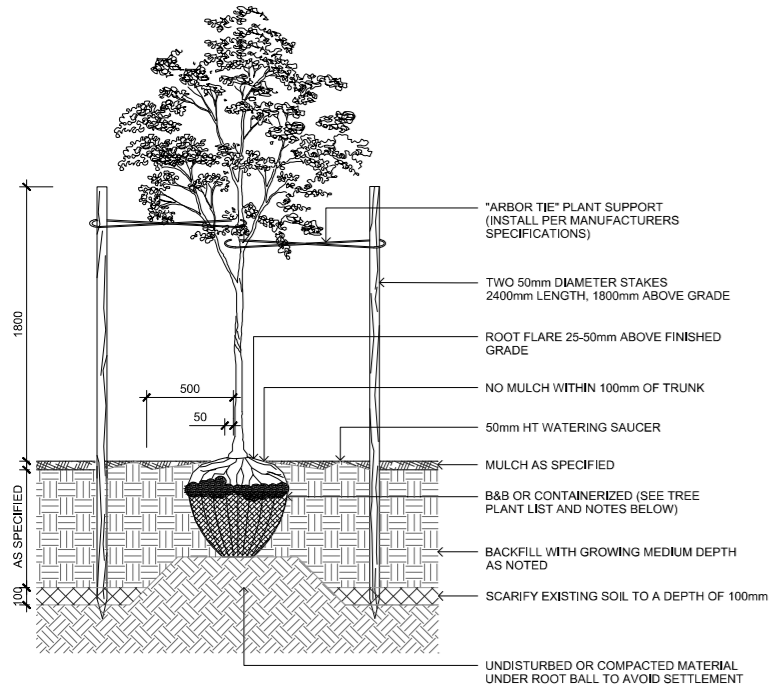
5 METAL PLANTER-UPPER LEVELS 1:10

2 ROOT BARRIER 1:20



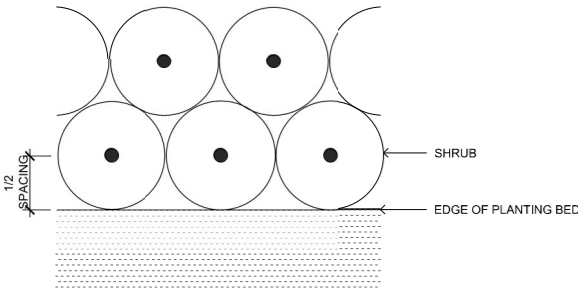
4 METAL PLANTER AT GROUND LEVEL 1:10

- NOTES:
- SHOP DRAWINGS REQUIRED
 - SAMPLE OF FINISH REQUIRED
 - FINISH: POWDER COATED CHARCOAL
 - SUPPORT FIN AND BRACE TO BE 3/8" METAL
 - SECURELY TACK WELDED TO PLANTER FRAME
 - NO FINISH REQUIRED ON SUPPORT STRUCTURES

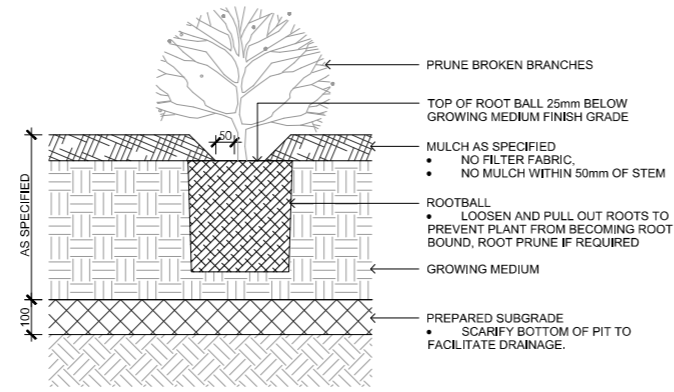


- NOTES:
- CONTRACTOR SHALL INSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION
 - FOR B&B: REMOVE TOP 1/3 OF BURLAP AND CAGE PRIOR TO BACKFILLING WITH GROWING MEDIUM
 - FOR CONTAINERS: LOOSEN ROOT STRUCTURE AND ENSURE NO CIRCLING ROOTS BY LIGHT ROOT PRUNING
 - INSTALL TREE TIE AT APPROX. 50% OF TREE HT. FOR CONIFERS LESS THAN 3m HT, AND 100mm BELOW LOWEST BRANCH FOR DECIDUOUS LESS THAN 100mm CAL. DO NOT REMOVE OR CONSTRAIN ANY BRANCHES.
 - STANDARD TREE PLANTING DETAILS TO BE APPLIED ACCORDINGLY TO TREES PLANTED IN PLANTERS
 - TREE PLANTING ON MUNICIPAL PROPERTY TO MUNICIPAL STANDARD DETAIL

1 TREE PLANTING ON GRADE
1:20

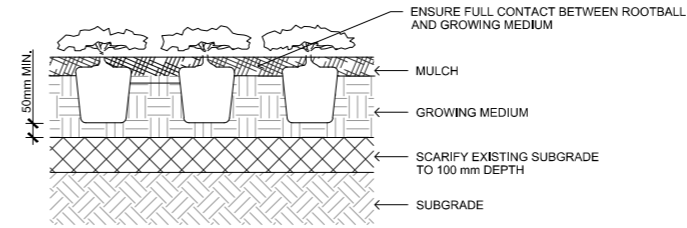


4 PLANT SPACING PLAN
1:10



- NOTES:
- SHRUB PLANTING AS PER WRITTEN SPECIFICATIONS
 - GROWING MEDIUM AND MULCH AS PER WRITTEN SPECIFICATIONS

2 SHRUB PLANTING
1:10



- NOTES:
- PLACE AND COMPACT SUBGRADE AS PER WRITTEN SPECIFICATIONS
 - SUBGRADE TO BE COMPACTED TO A CONSISTENT 80% M.P.D
 - GROWING MEDIUM AND MULCH AS PER WRITTEN SPECIFICATIONS

3 GROUNDCOVER PLANTING
1:10



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7	25% BUILDING PERMIT	2023/10/10
8	ISSUED FOR RZ/ DP REV 5	2024/02/21
8	ISSUED FOR RZ/ DP REV 6	2024/07/19

SEAL



NORTH ARROW



DRAWING TITLE:
PLANTING DETAILS

DWG NO:

L7.3

SCALE: AS NOTED