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ADOPTED on the

day of

2024

CITY CLERK

MAYOR

PART 3.157 – FRMD Zone, Fairfield Road Multiple Dwelling District**3.157.1 Permitted Uses in this Zone**

The following uses are the only uses permitted in this Zone:

- a. Uses permitted in the R1-G Zone, Gonzales Single Family Dwelling District, subject to the regulations set out in Part 1.6 of the Zoning Regulation Bylaw
- b. Multiple dwelling

3.157.2 Lot Area

- | | |
|-------------------------------|-----------------------|
| a. <u>Lot area</u> (minimum) | 1740.00m ² |
| b. <u>Lot width</u> (minimum) | 38.00m |

3.157.3 Floor Area, Floor Space Ratio

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|---------------------------------------|-----------|
| a. <u>Floor space ratio</u> (maximum) | 1.79:1.00 |
|---------------------------------------|-----------|

3.157.4 Height, Storeys

- | | |
|---|--------|
| a. Principal <u>building height</u> (maximum) | 13.45m |
| b. <u>Storeys</u> (maximum) | 4.00m |

3.157.5 Setbacks, Projections

- | | |
|---|--------|
| a. <u>Front yard setback</u> (minimum) | 4.00m |
| Except for the following maximum projections into the setback: | |
| • Steps less than 1.7m in <u>height</u> | 1.80m |
| • porch | 1.70m |
| b. <u>Rear yard setback</u> (minimum) | 10.00m |
| c. <u>Side yard setback</u> from interior <u>lot lines</u> (minimum) | 6.00m |
| d. <u>Side yard setback</u> on a flanking street for a <u>corner lot</u> (minimum) | 4.00m |
| e. Any <u>balcony</u> or deck that faces a <u>street boundary</u> may project into a <u>setback</u> (maximum) | 1.70m |

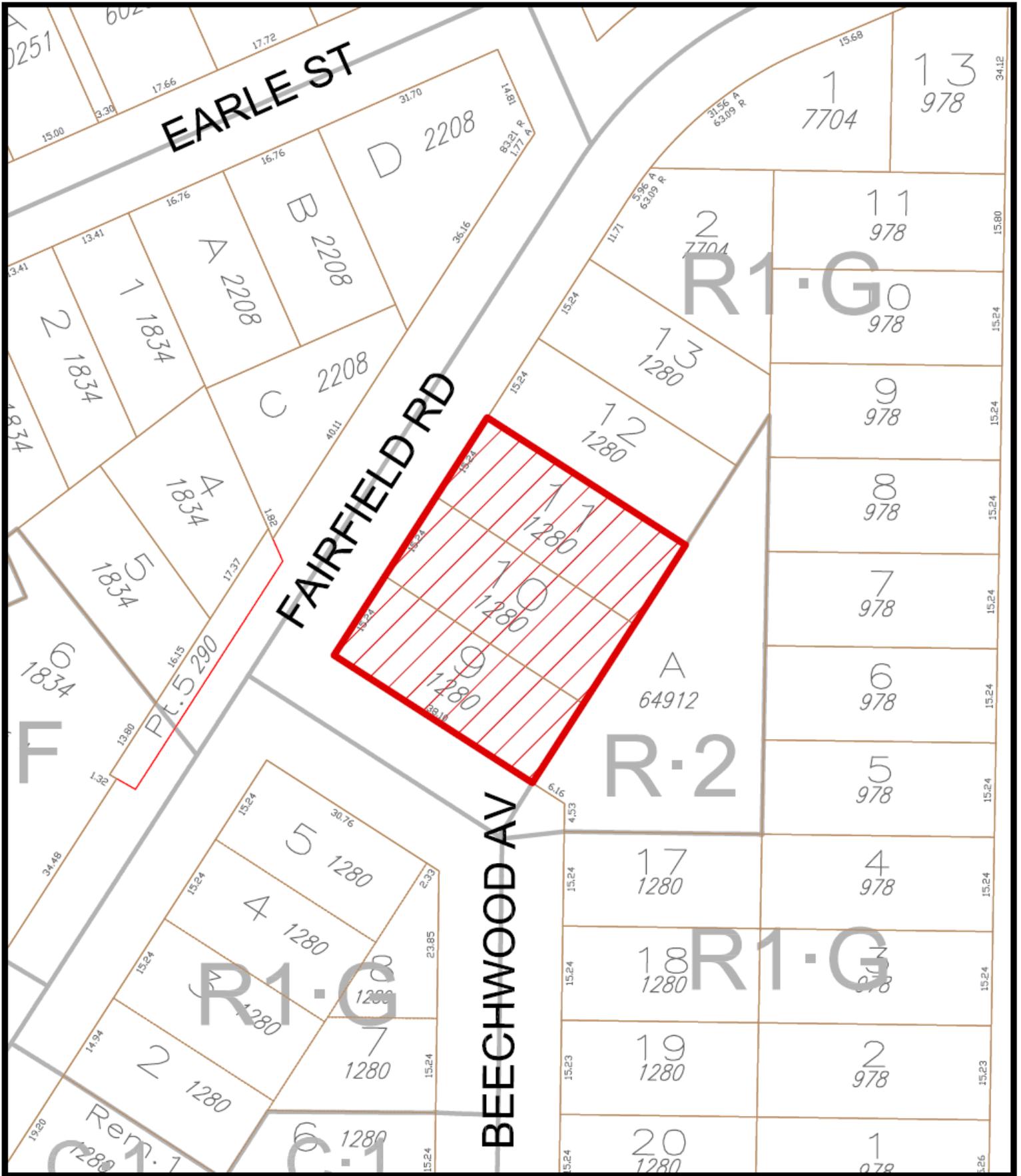
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3.157.6 Site Coverage, Open Site Space

- | | |
|-------------------------------------|--------|
| a. <u>Site Coverage</u> (maximum) | 40.00% |
| b. <u>Open site space</u> (minimum) | 50.00% |

3.157.7 Vehicle and Bicycle Parking

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|------------------------------|--|
| a. Vehicle parking (minimum) | Subject to the regulations in Schedule "C" |
| b. Bicycle parking (minimum) | Subject to the regulations in Schedule "C" |



1733-1737 Fairfield Road
Rezoning No.00821

