

Received
City of Victoria
OCT 16 2017
Planning & Development Department
Development Services Division



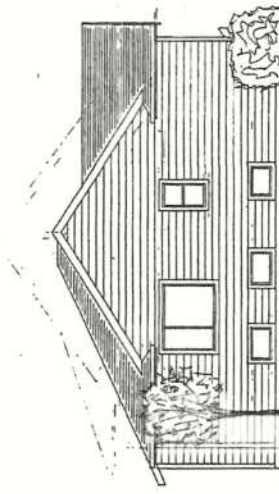
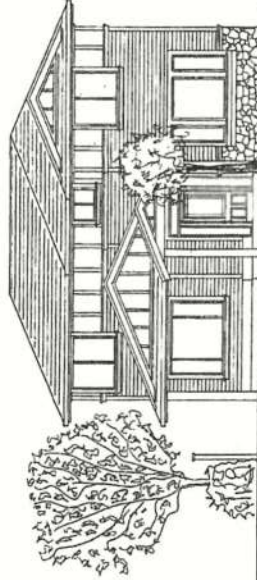
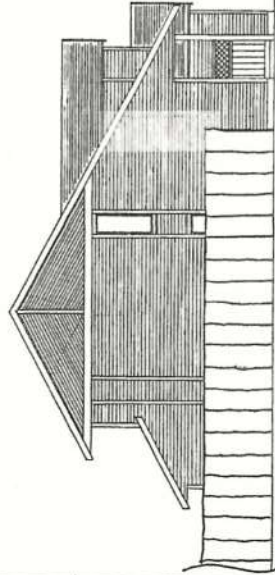
Hamilton Road

OWNER: CHURCHILL	T-SQUARE	T-SQUARE
400 KYLE ROAD		
CHURCHILL		

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Hamilton Road

BARRON CONSTRUCTION		T-SQUARE Design & Consulting	
1710 KIRKLAND AVENUE		2550 LAKEHURST DRIVE, VICTORIA, BC	
STREETSCAPE		DESIGNED BY T-SQUARE	
		DATE: 10/11/17	
		SCALE: 1/8" = 1'-0"	
		DRAWN BY: J.L.	
		DRAWING NO: 050-17-10000000	

050-3-SF

**Planning & Development Department
Development Services Division**

Vector BC
 604 621
 cell 350 754 ext 116
 phone 283 383 ext 73
 date 2/2/84
 code 140



OCT 16 2017

Planning & Development Department
Development Services Division

TYPE 5

- [illegible]

LEGEND

- | | |
|---|---|
|  | <p>C.I.P. CONCRETE SURFACE
COLOURED, SMOOTH FINISH CONCRETE</p> |
|  | <p>1/2" CLEAR CRUSHED STONE
OVER LANDSCAPE FABRIC</p> |
|  | <p>LAWN AREA</p> |

NOTES

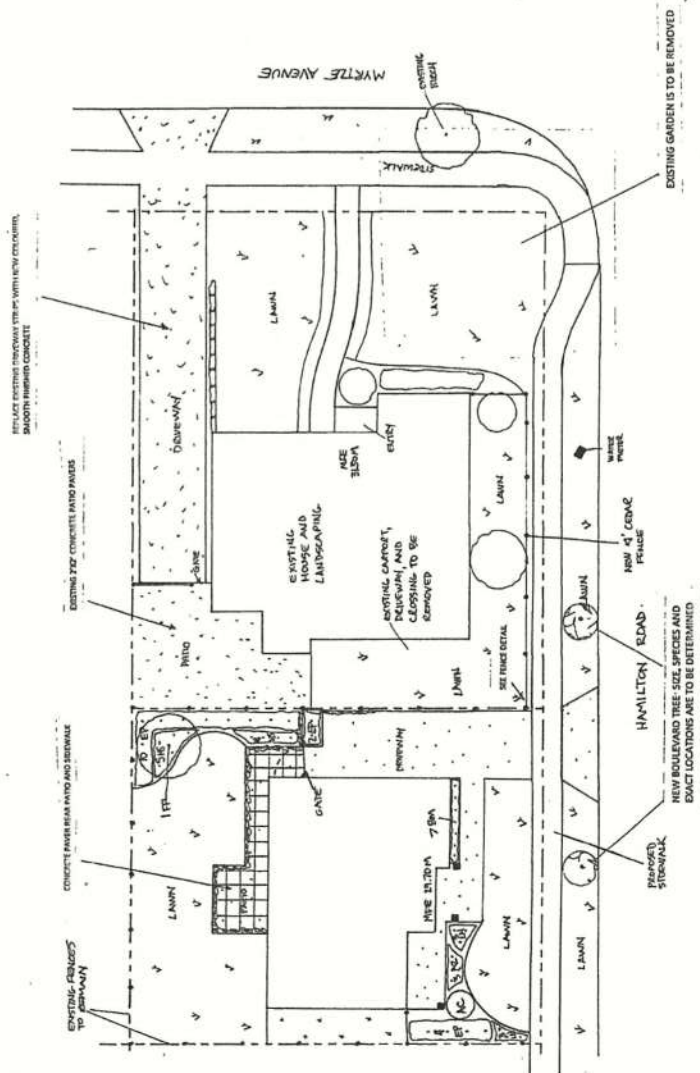
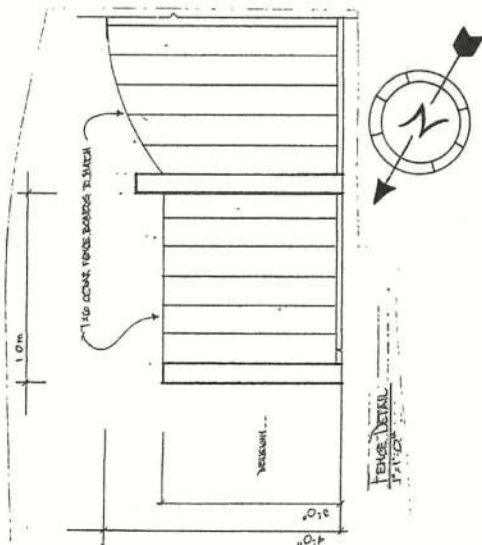
ALL BUILDING LAYOUT, SETBACK DIMENSIONS, ALL SURVEY INFORMATION (INCLUDING ROSE GEODETIC ELEVATIONS) SUPPLIED BY EDWARD J. WEY & ASSOCIATES LAND SURVEYING, INC.

TRANSFERRING MATERIAL AND INSTALLATION TO CONFORM TO BSCA/BCLMA STANDARD

ALL EXISTING MEDIUM IN STIRUPS ARE TO BE MIN. 450MM IN DEPTH, LAMIN AREAS TO BE MIN. 150 MM IN DEPTH

ALL EXISTING MEDIUM TO CONFORM TO BSCA/BCLMA STANDARD DESIGNATION "10 LEVEL 1 WELL GROOMED AREAS"

Koi Dragon Enterprises Ltd 924 Mesher place Victoria BC V9A 6Z1 phone 250-383-0285 cell 250-704-8938	scale: 1:100 date: July 11 2015 drawn by: BL
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Floor plan of the second floor. The plan shows a central corridor with stairs leading up and down. Rooms include a Reception area (12' x 6' x 12' 2"), a Kitchen (12' x 6' x 12' 2"), a Dining area (12' x 6' x 12' 2"), a Living area (12' x 6' x 12' 2"), a Bedroom (12' x 6' x 12' 2"), a Bathroom (12' x 6' x 12' 2"), a Storage area (12' x 6' x 12' 2"), and a Utility area (12' x 6' x 12' 2"). There are also several closets and a large open area labeled "UNFURNISHED AREA".

FAR Calculations-Lot B

Main floor Lower floor	100 30 34 m No FAR	= 1.37 m
Ceiling	31.07 m - Air Grade 25.20 m	
TOTAL FAR	100 30 34 m	

Hand-drawn floor plan of a house. The overall dimensions are 33'-11" wide by 26'-6" deep. The layout includes:

- Living Room:** A large open area on the right side of the plan.
- Dining Room:** Located at the bottom center, containing a rectangular table and four chairs.
- Kitchen:** Located at the bottom left, containing a U-shaped counter with a sink and stove, and a refrigerator.
- Bathroom:** Located at the top left, containing a toilet, a bathtub, and a sink.
- Staircase:** Located in the center-left, with a label "DOWN" and an arrow pointing towards the bottom left, indicating the stairs lead down.
- Bedroom:** Located at the top right, containing a bed and a dresser.
- Entryway:** A small area at the bottom right, containing a coat closet and a shoe closet.

Dimensions are noted on the left (33'-11") and bottom (26'-6").

Proposed Main Floor Plan

 $\frac{D_{\text{eff}}}{D_0} = \frac{(k^2 + k_0^2)^{-1/2}}{k^{-1/2}}$

100

Jubilee
Tomorrow 4:00

OCT 16 2017

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BARBON CONSTRUCTION

T-SQUARE

PROFESSOR

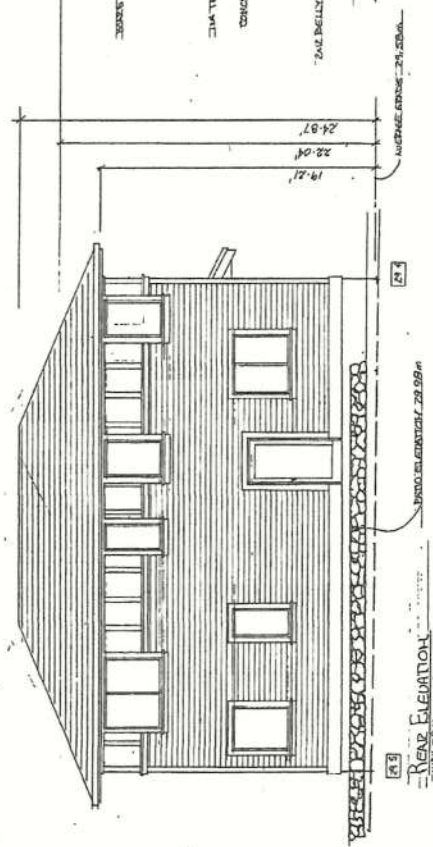
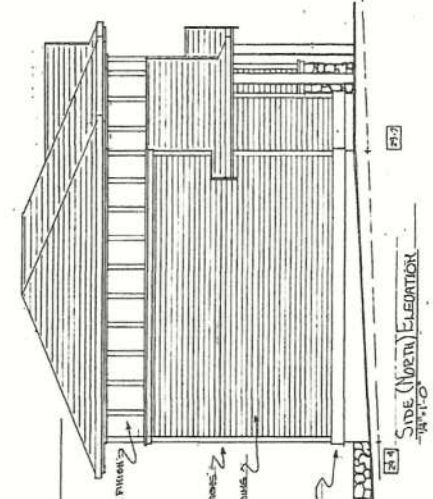
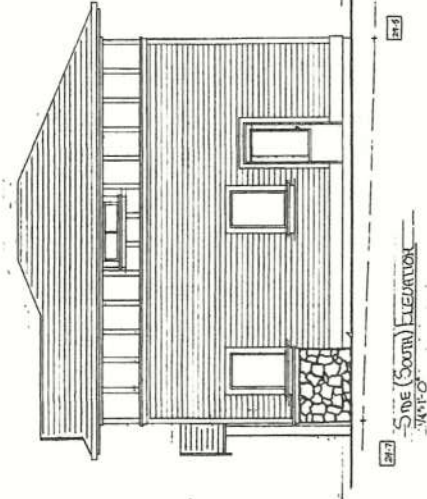
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SPATIAL SEPARATION	
LIMITING DISTANCE	3.02 m
MINIMUM DISTANCE TO ADJACENT LOT	44.68 m
ALLOWABLE UNPROTECTED OPENINGS	9.01 m
PROPOSED UNPROTECTED OPENINGS	3.34 m



196

T-SQUARE Design & Consulting design@tsquare.ca 2550 Lechmere Drive, Victoria, BC V8L 4C5 250-882-2893	
DATE	2017.09.07
SCALE	AS SHOWN
DRAWING NO.	050-2
BARRON CONSTRUCTION	

1410 Myrtle Avenue



Weatherwood



Roofing



Stone



Trim



Board & Batten



Siding