



Council Report

For the Meeting of November 9, 2017

To: Council **Date:** October 26, 2017
From: Jonathan Tinney, Director, Sustainable Planning and Community Development
Subject: **Update Report - Development Variance Permit Application No. 00193 for 1421 Fairfield Road**

RECOMMENDATION

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following updated motion with respect to Development Variance Permit No. 00193:

"That Council authorize the issuance of Development Permit Application No. 00193 for 1421 Fairfield Road, in accordance with:

1. Plans date stamped September 18, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:
Proposed Lot F
 - a. Reduce the front setback from 7.5m to 6.2m
 - b. Reduce the rear setback from 7.5m to 3.5m.
3. The Development Permit lapsing two years from the date of this resolution.

This authorization is conditional on the property being subdivided into three strata lots generally in accordance with the subdivision application dated April 29, 2016."

EXECUTIVE SUMMARY

The purpose of this report is to inform Council that, in accordance with Council's motion of July 20, 2017, the applicant has revised the plans to remove two surface parking spots and has replaced them with green landscaping (see attached plans and update letter to Mayor and Council from the applicant).

Furthermore, the Committee of the Whole Report (July 20, 2017) stated that three new boulevard canopy trees would be provided. Due to site constraints, the number of trees will likely be two (see attached updated Arborist Report). This, and other considerations such as boulevard landscaping along the Fairfield Road frontage, will be secured at the time of subdivision approval.

The Council direction in relation to these applications has been met and staff recommend for Council's consideration that the application can proceed to an opportunity for public comment.

Respectfully submitted,



Rob Bateman
Senior Process Planner
Development Services Division



Jonathan Tinney, Director
Sustainable Planning and Community
Development Department

Report accepted and recommended by the City Manager:



Date: Nov. 1, 2017

List of Attachments:

- Attachment A: Council minutes dated July 27, 2017
- Attachment B: Applicant's Update Letter to Mayor and Council dated September 11, 2017
- Attachment C: Revised Arborist Report dated October 17, 2017
- AttachmentD: Revised plans date stamped September 18, 2017

1. Development Variance Permit Application No. 00192 and Development Permit with Variances Application No. 00033 for 1421 Fairfield Road (Fairfield)

Motion:

It was moved by Councillor Coleman, seconded by Councillor Alto:

Development Variance Permit Application No. 00192:

That Council after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00193 for 1421 Fairfield Road, in accordance with:

1. Plans date stamped June 23, 2017
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:

Proposed Lot F

- a. Part 1.2.5(a): Reduce the front setback from 7.5m to 6.2m
- b. Part 1.2.5(b): Reduce the rear setback from 7.5m to 3.5m.

3. The Development Permit lapsing two years from the date of this resolution.

This authorization is conditional on the property being subdivided into three strata lots generally in accordance with the subdivision application dated April 29, 2016."

Remove the two surface parking spots and replace with green landscaping.

Development Permit with Variances Application No. 00033

That Council, after giving notice and allowing an opportunity for public comment at a meeting of Council, consider the following motion:

"That Council authorize the issuance of Development Permit Application No. 00033 for 1421 Fairfield Road, in accordance with:

1. Plans date stamped June 23, 2017.
2. Development meeting all *Zoning Regulation Bylaw* requirements, except for the following variances:

Proposed Lot D

- i. Schedule H(3)(a): Increase the height from 5.00m to 6.66m
- ii. Schedule H(3)(a): Increase the number of storeys from 1 to 1.5.

Proposed Lot E

- i. Schedule H(3)(a): Increase the height from 5.00m to 7.01m
- ii. Schedule H(3)(a): Increase the number of storeys from 1 to 1.5.

3. The Development Permit lapsing two years from the date of this resolution.

This authorization is conditional on the property being subdivided into three strata lots generally in accordance with the subdivision application dated April 29, 2016."

Remove the two surface parking spots and replace with green landscaping.

Carried Unanimously



910 Lucas Ave, Victoria, BC

evan@barefootplanning.com

barefootplanning.com

778.967.2575

Cover Letter

To: City of Victoria
 From: Evan Peterson, Barefoot Planning
 Date: September 11, 2017
 Att: Mayor and Council
 Re: 1421 Fairfield Road – Landscaping Revisions

Introduction

On July 20, 2017, Committee of the Whole voted to move this application forward for public comment and included the following amendment:

That two surface parking spots be removed and replaced with green landscaping.

While these parking spots were previously *added* in response to neighbour concerns, the applicant has made significant landscaping improvements to all three lots, redefining the interface between the public and private realms.

Summary of Changes

The following changes were made, which not only address the core request (replacing the parking spots) but also go beyond to address additional opportunities to enhance the pedestrian realm of the proposal.

- ◆ Replaced two surface parking spots with new lawn and native / drought-tolerant landscaping (Council motion);
- ◆ Enhanced the pedestrian entrance of each lot by framing pedestrian pathways with new landscaping (native / drought-tolerant), low 'gateway' walls with address signs, and permeable pathway pavers;
- ◆ Added high quality landscaping in side and rear yards to beautify lots, enhance privacy, and better define pathways, patios, and entryways on each lot; and,
- ◆ Created a new pathway (with native / drought-tolerant landscaping on either side) from Fairfield Road to the front door of Lot F, improving the interface between the new house and Fairfield Road.

Conclusion

The applicant appreciates the spirit of Council's motion and believes these changes make significant improvements to the public face of the proposal.

Sincerely,

Evan Peterson
 Principal
 Barefoot Planning

City of Victoria – 1421 Fairfield Road





GYE + ASSOCIATES

Consultants in Urban Forestry and Arboriculture

Arborist Report

1421 Fairfield Road, Victoria

Date of Report: October 17, 2017

Date of Field Work: September 11, 2017

Prepared by Lucian Serban

ISA Certified Arborist & Municipal Specialist # PN-7558AM

On behalf of Gye and Associates, Urban Forestry Consultants Ltd.

Tel: (250) 544-1700

Email: lserban@gyeandassociates.ca



GYE + ASSOCIATES

Consultants in Urban Forestry and Arboriculture

ASSIGNMENT

Gye and Associates (G&A) have been retained to prepare a tree protection plan report and provide associated on site services in support of the owner's building permit application. This report has been prepared in accordance with the City's published Terms of Reference for Tree Preservation Plans.

METHODOLOGY

- A site visit on September 11, 2017 was made to identify measure and assess the condition of relevant trees and review the site plan for potential tree impacts anticipated from construction.
- Biometric and assessment data is presented in table format below (Table-1) on the referenced tree plan.
- Protected Root Zone (PRZ) radii were calculated for the subject trees. The PRZ was calculated using the method recommended by Nelda Methany and James Clark, which considers the relative tolerance of the tree species to disturbance, the biological age of the tree and its stem diameter at chest height.¹ Soil depth and texture and the health and condition of the tree were also considered. Multipliers of 12 – 18x the stem diameter have been derived using this method on a tree-by-tree basis.
- The project team members were interviewed to obtain a history of the site and a better understanding of the proposed redevelopment.
- Copies of the architectural and landscape site plan drawings were provided to the arborist, which has been used as the base for the attached Tree Management Plan drawing. The site plan included the location of proposed services.
- The canopy and protected root zone (PRZ) of each tree was plotted to scale on the tree plan.
- The architectural site plan was reviewed to identify elements that encroach within the PRZ or crown of each tree. Underground services were also delineated on the plan and reviewed for potential impacts.

OBSERVATIONS

SITE DESCRIPTION

The subject property is located in a fully developed urban neighborhood. The terrain of the site is relatively flat to a gentle slope facing North-east. The lot surface was cleared in December 2015. No recent soil disturbances were noticed during the site visit.

TREE RESOURCE

Eleven trees are affected by the proposed site plan. Two of these trees are located on the subject property. Two trees are located on the municipal property. Seven trees are located on the adjacent constructed lots.

Biophysical attributes of all mentioned trees are presented below in Table-1.

¹Nelda Matheny and James R. Clark, Tree and Development, A Technical Guide to Preservation of Trees During Land Development (International Society of Arboriculture, Champaign IL. USA. 1998 P. 74)



GYE + ASSOCIATES

Consultants in Urban Forestry and Arboriculture

- All tree protection areas (TPAs) shall be fenced to prevent soil compaction, rutting and other forms of disturbance within the PRZ;
- All excavation within or adjacent to TPAs shall be supervised by the project arborist;
- Finished driveway elevations shall be designed to minimize intrusions of the excavated driveway bed into the root horizon. Where considered necessary by the arborist, pneumatic or hydraulic excavation techniques shall be used in place of mechanical excavation.
- Pruning of any tree roots damaged during the excavation in the PRZ for any tree;
- The arborist shall attach a non-porous anti-abrasion fabric to the exposed face of all excavated cuts within or adjacent to TPAs, the purpose of which is to prevent soil erosion and dessication during construction;
- The arborist shall apply 100mm of tree chip mulch or leaf mould and a temporary irrigation system to the area inside the tree protection fence for the trees #5 to #12 during the dry season to optimize ecological function within the TPA.

Additional detail is provided on the attached tree plan. If diligently implemented, the tree protection measures specified in the Tree Management Plan and this report will effectively preserve the retained trees for the long-term.

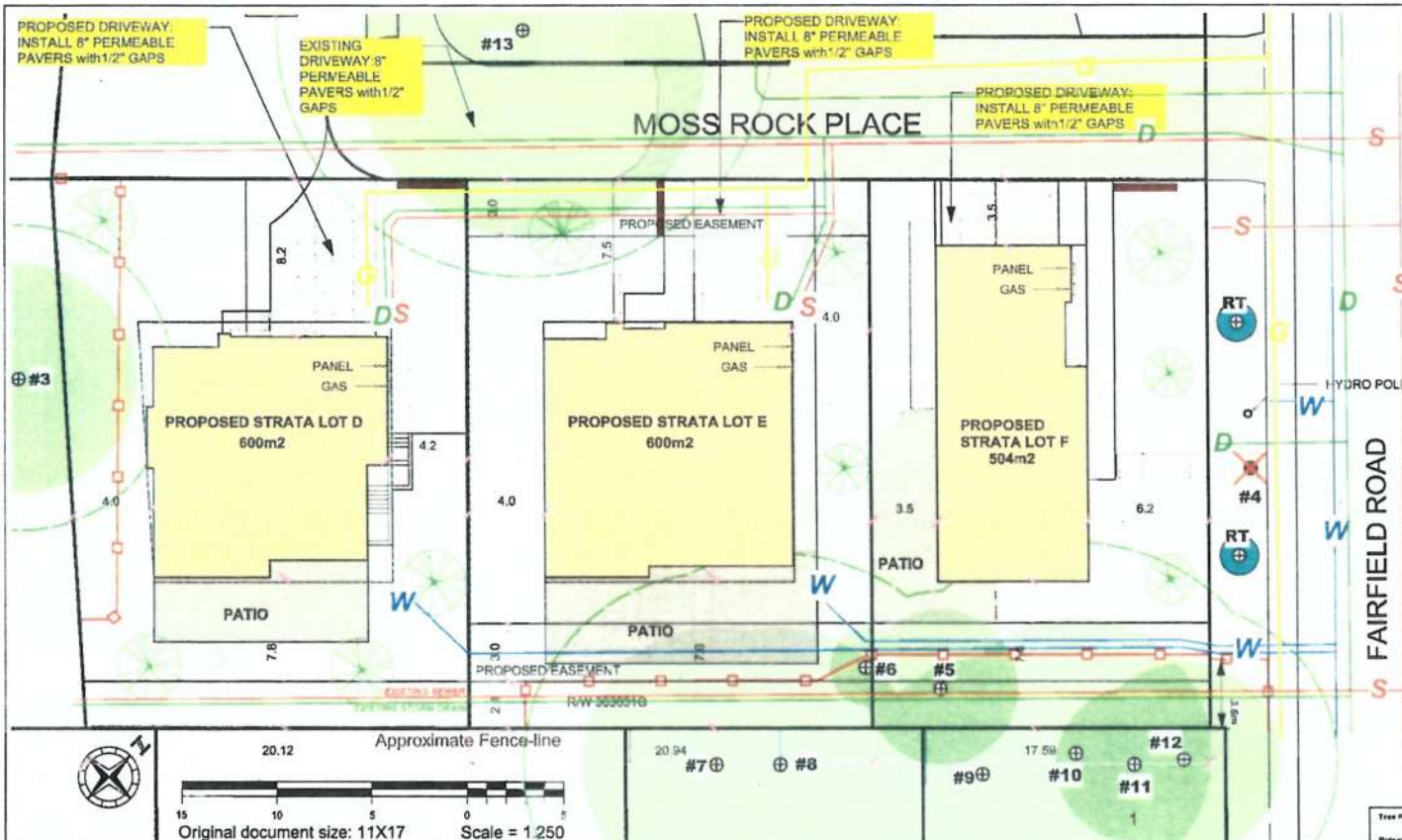
ROLE OF THE PROJECT ARBORIST

In addition to assisting with tree preservation planning during the design and permit application phases of the project, the arborist shall be present during the construction and landscape phases of the project to supervise work within or immediately adjacent to the tree protection areas identified on the attached tree plan.

The following is a summary of the key interventions required by the project arborist.

The owner's building contractor is responsible for coordinating with the arborist for the required on site work.

- A mandatory site meeting is required with the owner and General Contractor to review the tree preservation plan prior to work commencing on site. The purpose of the meeting is to systematically review the objectives of the plan and the specific measures required to protect the relevant trees during the site preparation, construction and landscape phases of the redevelopment. The meeting provides an opportunity to address any residual building constraints or conflicts and to answer any questions.
- The arborist shall inspect the prescribed tree protection fencing prior to work commencing on site.
- The use of explosive for rock removal can kill or injure trees if not managed carefully. If rock removal is required as part of the site preparation phase, the building and blasting contractor shall meet on site with the arborist to develop the rock removal work plan together, prior to an estimate of costs being provided by the blasting contractor.
- The arborist shall be present to oversee the following site work within or immediately adjacent to the Tree Protection Areas identified on the attached plan:
 - site grading
 - excavation for houses foundation and perimeter drains;
 - rock removal or blasting;



TREE PRESERVATION MEASURES

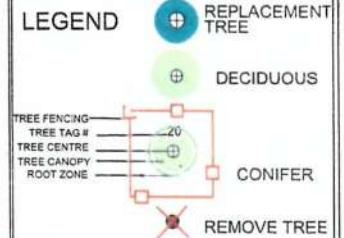
GENERAL NOTES: - Newly trees planted are classified as "Protected Trees" under the City of Victoria Tree Bylaw.

- A copy of this Tree Protection Plan shall be included in the documentation present at the active construction site.

- Before site preparation begins, the owner and contractor shall meet with the arborist to review the Tree Protection Plan and associated measures.
- The City of Victoria requires all tree fencing and/or soil armouring to be in place and inspected prior to issuing the building and tree cutting permits. Tree fencing must be maintained in good condition throughout the duration of the project.
- Temporary construction access within a TPA must be approved and supervised by the project arborist. If it should prove necessary to reduce the tree fencing extent, a change request must be reviewed by the arborist. Any exposed TPA outside the revised fencing limit shall be armoured with 3/4" plywood or a temporary cover of geo-textile and 200mm of road-base, moderately compacted with a plate compactor.
- The arborist shall be present to oversee all excavation, service trenching, site grading or blasting within, or adjacent to, the tree protection areas (TPAs).
- Procedure for blasting near tree root zones:
 - Trees are most vulnerable to fine root damage from blasting during the late spring and summer period when transpiration (water loss) rates are highest.
 - The blasting contractor will work with the arborist to develop a blasting plan that will minimize impacts to protected trees during the sensitive spring and early summer period.
 - Where rock removal is required inside the protected root zone of a tree (indicated on the drawing by dashed circles), alternate methods of rock removal, such as hoe-ramping, may be prescribed by the project arborist.
 - Use DYNAMITE as the explosive product. No fertilizer-based explosive ("AMPHO") is permitted adjacent to TPAs, due to its toxicity to tree roots.
 - Blasting vibrations in the vicinity of the Tree Protection Areas are not to exceed a measured peak particle velocity of 25 mm/sec. It is the responsibility of the general contractor to ensure seismometers are in place to record blast velocity's adjacent to the TPAs and that monitoring records are kept for review by the project and District arborists.
 - The contractor shall prevent rock debris from the blast site from entering the TPA.
- Any damaged tree roots or branches shall be pruned back to undamaged tissue by the arborist. The vertical face of the excavation adjacent to the TPAs shall be covered with geo-textile to prevent soil desiccation and erosion.
- All protected trees (both new and established) shall be irrigated twice weekly during the dry summer period to a minimum effective depth of 30cm. It is the responsibility of the general contractor to ensure that an operational water spigot is installed on site.
- No equipment, materials or excavated soil shall be placed or stored within the TPA. THIS PARTICULARLY INCLUDES HOARDING OF EXCAVATED SOILS NEEDED FOR BACKFILLING OF THE HOUSE FOUNDATION.
- In compensation for removal of the boulevard tree, two replacement trees shall be planted on boulevard as per City of Victoria Tree Protection Bylaw standards.

Tree Protection Fencing Detail

Remove Tree Protection Fencing and install as specified with a 2nd tree and arborist. (See photo below). Spacing of 1m shall be used to the 1st tree and 2m to the 2nd tree. The 1st tree shall be the 1st tree and the 2nd tree shall be the 2nd tree.



G&A Tree ID	Common Name	Scientific Name	DBH (cm)	Protected Root Zone Radius (m)	Crown Radius (m)	Health (Good, Fair, Poor)	Structural Condition (Good, Fair, Poor)	Relative tolerance to construction impacts (Good, Moderate, Poor)	Bylaw Protected Tree?	Comments	Recommendations
3 (no tag)	Bigleaf maple X2	Acer macrophyllum	70/50	8	6	Fair	Good	Good	Yes	Off-site tree	Retain and protect
4 (no tag)	Lawson cedar (golden)	Chamaecyparis lawsoniana	35	5	4	Good	Good	Moderate	Yes	Boulevard tree; in conflict with overhead utility lines.	REMOVE
5	Liquid amber (Sweet-gum)	Liquidambar styraciflua	25	5	4	Good	Good	Moderate	No		Retain and protect
6	Japanese maple	Acer palmatum	15	3	2	Good	Good	Moderate	No		Retain and protect
7 (no tag)	Red cedar	Thuja plicata	65	10	7	Good	Good	Moderate	Yes	Off-site tree	Retain and protect
8 (no tag)	Red cedar	Thuja plicata	75	11	7	Good	Good	Moderate	Yes	Off-site tree	Retain and protect
9 (no tag)	Red cedar	Thuja plicata	45	7	6	Good	Good	Moderate	No	Off-site tree	Retain and protect
10 (no tag)	Red cedar	Thuja plicata	70	11	7	Fair- Good	Good	Moderate	Yes	Off-site tree	Retain and protect
11 (no tag)	Lombardi poplar	Populus nigra	55	7	4	Good	Good	Good	No	Off-site tree	Retain and protect
12 (no tag)	Lombardi poplar	Populus nigra	65	8	5	Good	Good	Good	No	Off-site tree	Retain and protect
13 (no tag)	Arbutus	Arbutus menziesii	112	13	9	Good	Fair	Moderate	Yes	Off-site tree	Retain and protect

Gye and Associates.ca
PROJECT
1421 Fairfield Road, Victoria, BC
SHEET TITLE
Tree Management Plan-Construction Phase
(for Development Permit App.)
UPDATED

PROJECT NO. 15-043
DATE October 17, 2017
SCALE 1:250
DRAWN BY LS
SHEET NO. T - 1

PROPOSED SUBDIVISION OF: 1421 Fairfield Road

VICTORIA, BC



PROJECT INFORMATION:

SITE ADDRESS: 1421 FAIRFIELD ROAD
LOT A, PLAN VIP17481,
LAND DISTRICT 57,
FAIRFIELD FARM ESTATE
OWNER: MOSS ROCK DEVELOPMENT LTD.

SCOPE OF WORK:

SUBDIVISION OF EXISTING R1-B
PARCEL INTO 3 R1-B STRATA LOTS

KEY PLAN:



SHEET INDEX:

- A0.0 COVER SHEET
- A1.1 COMMUNITY PLAN
A1.2 PROPOSED NEIGHBORHOOD PLAN
A1.3 EXISTING SURVEY
A1.4 PROPOSED SUBDIVISION PLAN
A1.5 PROPOSED SITE PLAN
A1.6 PROPOSED SITE SERVICING PLAN
A1.7 PROPOSED LANDSCAPE PLAN
A1.8 SHADOW STUDY
A1.9 PROPOSED TREE PLAN
- A2.1 DEVELOPMENT ELEVATIONS
A2.2 DEVELOPMENT PERSPECTIVES
A3.1 DEVELOPMENT PERSPECTIVES
A3.2 DEVELOPMENT PERSPECTIVES
A3.3 DEVELOPMENT PERSPECTIVES
- D0.0 STRATA LOT D - COVER SHEET
D2.1 STRATA LOT D - FLOOR PLANS
D2.2 STRATA LOT D - FLOOR PLANS
D2.3 STRATA LOT D - SECTION
D4.1 STRATA LOT D - ELEVATIONS
D4.2 STRATA LOT D - ELEVATIONS
D5.1 STRATA LOT D - PRIVACY VIEW
- E0.0 STRATA LOT E - COVER SHEET
E2.1 STRATA LOT E - FLOOR PLANS
E2.2 STRATA LOT E - FLOOR PLAN & SECTION
E4.1 STRATA LOT E - ELEVATIONS
E4.2 STRATA LOT E - ELEVATIONS
E5.1 STRATA LOT E - PRIVACY VIEW
- F0.0 STRATA LOT F - COVER SHEET
F2.1 STRATA LOT F - FLOOR PLANS
F2.2 STRATA LOT F - FLOOR PLAN & SECTION
F4.1 STRATA LOT F - ELEVATIONS
F4.2 STRATA LOT F - ELEVATIONS
F5.1 STRATA LOT F - PRIVACY VIEW
- G0.0 DEVELOPMENT PERSPECTIVE

PROJECT DIRECTORY:

DESIGNER: RYAN HOYT DESIGNS INC.
250.999.9893
INFO@RYANHOYTDIGNS.COM

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

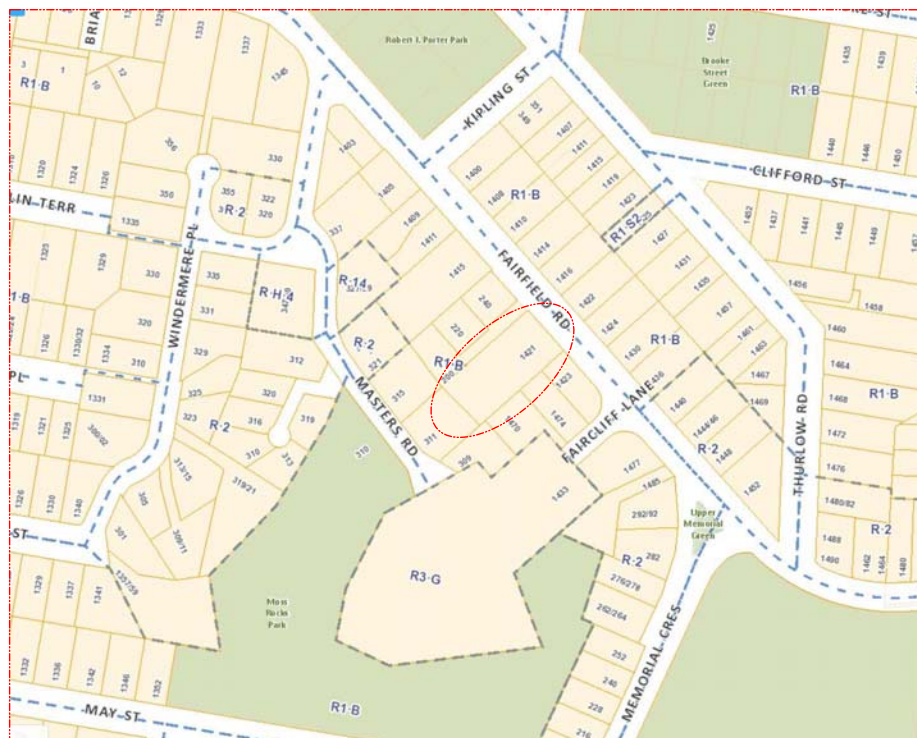
SURVEYOR: WEY MAYENBURG LAND
SURVEYING INC.
250.656.5155



REVISIONS			
No.	Description	By	Date
1	15-Dec-16	Dev. Permit Resubmission	RH
2	15-Apr-15	Dev. Permit Resubmission	RH
3	15-Apr-15	Dev. Permit Resubmission	RH
4	15-Apr-15	Dev. Permit Resubmission	RH
5	17-Jul-07	Dev. Permit Resubmission	RH
6	17-Jul-07	Dev. Permit Resubmission	RH
7	17-Jul-07	Dev. Permit Resubmission	RH
8	17-Jul-07	Dev. Permit Resubmission	RH
9	17-Jul-07	Dev. Permit Resubmission	RH

Project No.	Project	Sheet Title
15115	1421 Fairfield Rd.	Cover Sheet

Sheet	Revisions
A0.0	Received Date: September 18/2017



*Urban Place Designations are provided for information purposes only. Please refer to Map 2 and Figure 8 for designation information.

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GENERAL NOTES

- A. All drawings, plans, models, design, specifications and other documents prepared by Ryan High Design, Inc. shall remain the property of Ryan High Design, Inc. and shall not be used for any other project without the written consent of Ryan High Design, Inc. The drawings, plans, models, design, specifications and other documents shall be the property of Ryan High Design, Inc. and shall not be used for any other project without the written consent of Ryan High Design, Inc.
- B. It is the responsibility of the Contractor to verify all information and data furnished by the Client is accurate and applicable to the project and the proposed work. The Contractor shall notify the Client in writing of any omissions or discrepancies identified within the drawings prior to commencement of the work.
- C. The Contractor shall accept responsibility for the design and construction of the project. The Contractor shall accept responsibility for the design, construction and installation of the project. The Contractor shall accept responsibility for the design, construction and installation of the project.
- D. The Contractor shall work with a B.C.S. to verify all construction, siting and installation of the proposed buildings or structures on the property prior to commencement of the work. The Contractor shall be responsible for the siting and installation of the proposed buildings or structures on the property prior to commencement of the work. The Contractor shall be responsible for the siting and installation of the proposed buildings or structures on the property prior to commencement of the work.
- E. The Contractor shall engage a Professional Engineer, Licensed in the Province of B.C. for the design and test of the proposed buildings or structures on the property prior to commencement of the work. The Contractor shall be responsible for the design and test of the proposed buildings or structures on the property prior to commencement of the work. The Contractor shall be responsible for the design and test of the proposed buildings or structures on the property prior to commencement of the work.

Date:	Description:	By:	No.:
15Dec16	Dev. Permit Resubmission	RH	2
16April15	Dev. Permit Resubmission	RH	3
16April12	Dev. Permit Resubmission	RH	4
17Feb97	Dev. Permit Resubmission	RH	5
17April05	Dev. Permit Resubmission	RH	6
27June21	Dev. Permit Resubmission	RH	7
17Sep211	Dev. Permit Resubmission	RH	8



Project:
1421 Fairfield Rd.

Project No.:

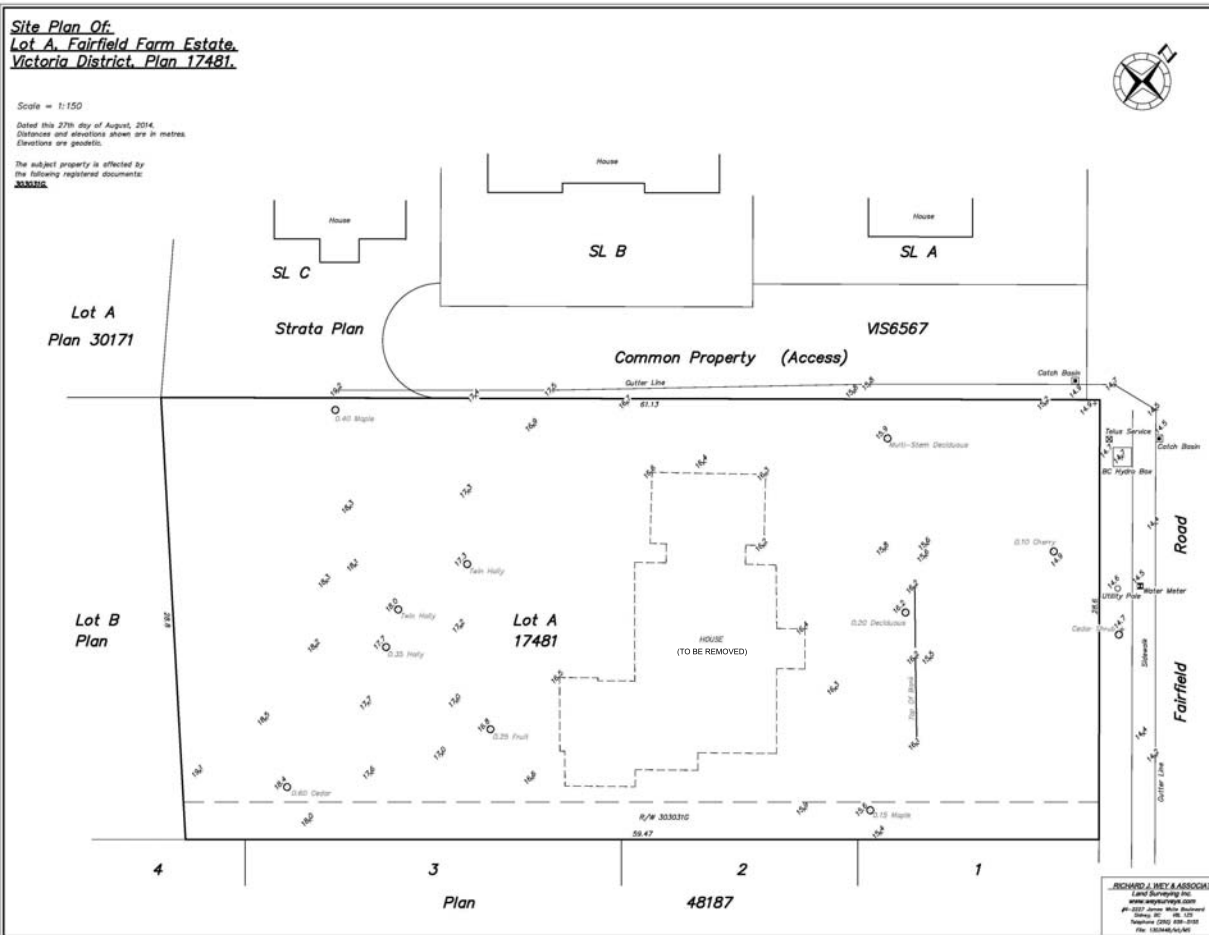
Sheet: **A1.1** 

**Site Plan Of:
Lot A, Fairfield Farm Estate,
Victoria District, Plan 17481.**

Scale = 1:150

Dated this 27th day of August, 2014.
Distances and elevations shown are in metres.
Elevations are geoidal.

The subject property is affected by
the following registered documents:
NOTING.



① Existing Survey
1:150

GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Design (RHD) and/or its consultants shall be the property of RHD and shall remain the property of RHD whether or not the drawings, plans, models, designs, specifications and other documents are used in whole or in part.
2. It is the responsibility of the Contractor to verify all dimensions, levels, and other information shown on the drawings, plans, models, designs, specifications and other documents with the property owner and/or the relevant authorities before commencing work. The Contractor shall verify the information shown on the drawings, plans, models, designs, specifications and other documents with the property owner and/or the relevant authorities before commencing work. The Contractor shall verify the information shown on the drawings, plans, models, designs, specifications and other documents with the property owner and/or the relevant authorities before commencing work. The Contractor shall verify the information shown on the drawings, plans, models, designs, specifications and other documents with the property owner and/or the relevant authorities before commencing work.
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4. The Contractor shall verify all dimensions, levels, and other information shown on the drawings, plans, models, designs, specifications and other documents with the property owner and/or the relevant authorities before commencing work. The Contractor shall verify the information shown on the drawings, plans, models, designs, specifications and other documents with the property owner and/or the relevant authorities before commencing work. The Contractor shall verify the information shown on the drawings, plans, models, designs, specifications and other documents with the property owner and/or the relevant authorities before commencing work.

Date:	Description:	By:	No.:
15-Dec-16	Dev. Permit Resubmission	RH	2
16-Apr-15	Dev. Permit Resubmission	RH	3
16-Apr-15	Dev. Permit Resubmission	RH	4
17-Jul-07	Dev. Permit Resubmission	RH	5
17-Jul-07	Dev. Permit Resubmission	RH	6
17-Jul-07	Dev. Permit Resubmission	RH	7
17-Jul-07	Dev. Permit Resubmission	RH	8
17-Jul-07	Dev. Permit Resubmission	RH	9

RYAN HOYT
RYAN HOYT
250.995.9893
www.ryanhoytdesigns.com

Project:
1421 Fairfield Rd.

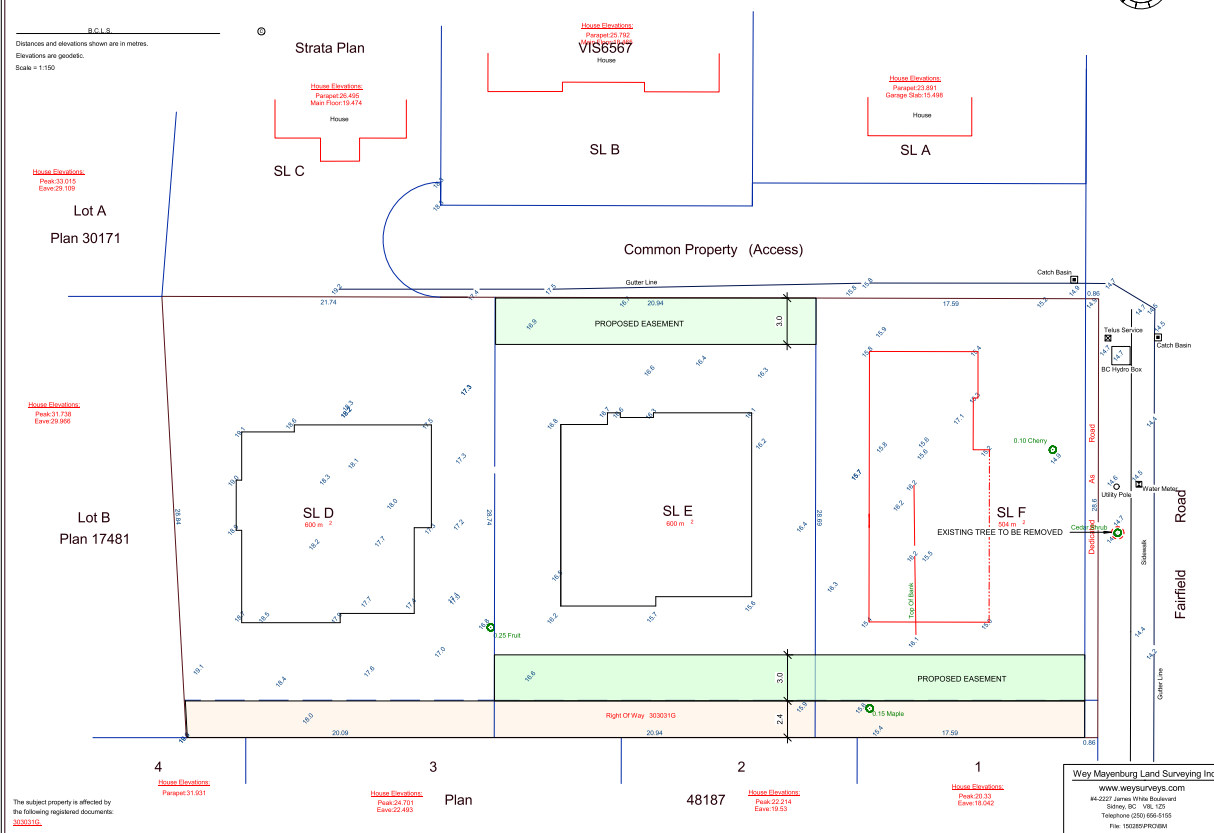
Sheet Title:
Existing Survey

Project No.:
15115

Sheet:
A1.3

Dated this 8th day of January, 2016.

B.C.L.S.
Distances and elevations shown are in metres.
Elevations are geodetic.
Scale = 1:150



① Proposed Subdivision Plan
1 : 150

Wey Mayenburg Land Surveying Inc.
www.weysurveys.com
84-2227 James White Boulevard
Sidney, BC V8L 1Z5
Telephone (250) 666-5155
Fax: (250) 666-7884

GENERAL NOTES

- [illegible]

Date:	Description:	By:	No.:
15Dec16	Dev. Permit Resubmission	RH	2
16Apr15	Dev. Permit Resubmission	RH	3
16Apr12	Dev. Permit Resubmission	RH	4
17Feb07	Dev. Permit Resubmission	RH	5
17Apr05	Dev. Permit Resubmission	RH	6
7Jul9621	Dev. Permit Resubmission	RH	7
23Sep11	Dev. Permit Resubmission	RH	8

rh
d
RYAN HOYT
DESIGNS
Ryan Hoyt Designs Inc.
Suite 207, 4475 Viewmont Ave.
Victoria, BC V8Z 6L8
250.999.9893
info@ryanhoytdesigns.com

Project:
1421 Fairfield Rd.

Sheet Title:
Proposed
Subdivision Plat

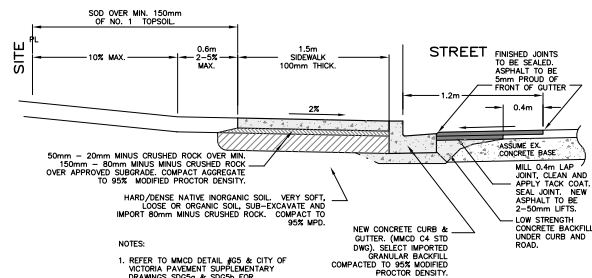
Project No.:

15115

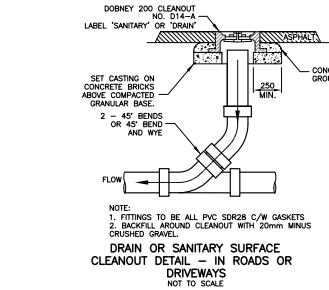
Sheet:

A1.4





SECTION A - SIDEWALK CROSS SECTION
SCALE 1:25



TYPICAL COMBINED DRAIN & SANITARY
MAIN TRENCH DETAIL
NOT TO SCALE

GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE CITY OF VICTORIA SPECIAL STANDARDS, MUDC SPECIFICATIONS AND STANDARDS, AND LATEST VERSION OF THE B.C. PLUMBING CODE FOR ONSITE WORK.
2. ALL OFFSITE AREAS AFFECTED BY THE WORK ARE TO BE REINSTATED TO ORIGINAL OR BETTER CONDITION BY CONTRACTOR.
3. ALL EXISTING SERVICES ARE TO BE EXPOSED AT CROSSING OR CONNECTION POINTS PRIOR TO ANY CONSTRUCTION.
4. ALL WORK IS TO BE UNDERTAKEN AND COMPLETED BY THE CONTRACTOR IN SUCH A MANNER AS TO PREVENT THE RELEASE OF SEDIMENT LAIDN WATER INTO THE AREA DRAINS OR ANY WATERCOURSES.
5. ALL DIMENSIONS ARE IN METRE AND ALL ELEVATIONS ARE IN M UNLESS NOTED OTHERWISE.
6. IT IS UP TO HOUES PLANS AND LAND SURVEYORS'S SHOWS FOR ADDITIONAL REQUIREMENTS AND DIMENSIONS.
7. ELECTRICAL/TELEPHONE/CABLE SERVICE IS SHOWN CONCEPTUALLY ON THIS DRAWING AND WILL CHANGE AFTER FINAL DESIGN. CONTRACTOR TO REVIEW ELECTRICAL DRAWINGS TO ENSURE THERE ARE NO CONFLICTS.
8. CONTRACTOR TO CONFIRM LOCATION OF PROPOSED UNDERGROUND SERVICES AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO INSTALLATION OF ANY OF THESE WORKS.
9. CONTRACTOR TO PROVIDE ENGINEER WITH A PROFESSIONAL QUALITY AS CONSTRUCTED SHEET OF WATER, SEWER AND GROUND LOCATIONS AT THE TO FURNISH AND APPROVED CONTRACTING METHODS ADJACENT TO PROTECTED TREES. A TREE PERMIT WILL BE REQUIRED FOR EXCAVATION NEAR TREES OR FOR PRUNING.
10. ALL OFFSITE RESTRICTION MARKS SHALL BE COMPLETED IN A PROMPT MANNER TO MINIMIZE LOCAL DISRUPTION.
11. REFER TO OTHERS FOR ONSITE INFORMATION. THIS DRAWING IS NOT TO BE USED FOR ANY ONSITE LAYOUT OR DESIGN.
12. CONTRACTOR TO ADJUST ALL APPURTENANCES TO THE PROPOSED FINISHED GRADES.
13. VERY IMPORTANT: THE CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF ALL RAVED ASPHALT, POURED CONCRETE SIDEWALKS AND DRIVEWAYS. SLOPES SHALL BE MAINTAINED TO A MINIMUM GRADE OF 2.0% FOR GRASS AND 1.5% FOR ASPHALT AND 1.0% FOR CONCRETE SURFACES.
14. CONTRACTOR TO MARK THE CITY FOR ANY WORK ARROUND OR ADJACENT TO BY-LAW PROTECTED TREES. ONSITE ADVISORY SIGNAGE TO BE PROVIDED TO INDICATE THE LOCATION OF PROTECTED TREES ADJACENT TO PROTECTED TREES. A TREE PERMIT WILL BE REQUIRED FOR EXCAVATION NEAR TREES OR FOR PRUNING.
15. DRIVEWAY DESIGN TO COMPLY WITH HIGHTWAY ACT-BY-LAW.
16. CONTRACTOR TO COMPLETE ALL LAYOUT FOR SERVICES BY PRECISE SURVEY; ENGINEER MAY PERFORM CHECKS.
17. CONTRACTOR TO BE RESPONSIBLE TO PROVIDE CONTINUOUS SIDEWALK/PEDESTRIAN ACCESS AT THE FRONTAGE DURING THE PROJECT. THIS WILL INCLUDE PHASING THE WORK AND CONSTRUCTING TEMPORARY SIDEWALK ON ROADWAY TO ALLOW PEDESTRIAN ACCESS TO REMAIN OPEN THROUGHOUT THE PROJECT. THE CONTRACTOR TO PROVIDE SATISFACTION. CONTRACTOR TO IDENTIFY AND COMPLY WITH ALL CITY AND WORK SAFE BC REGULATIONS REGARDING ROAD CLOSURES AND TRAFFIC CONTROL DURING ROADWORK. CONTRACTOR AND ENGINEER ALL GOVERNING AGENCIES ARE IN RECEIPT OF APPLICABLE PERMITS PRIOR TO CONSTRUCTION.
18. CONTRACTOR TO SWEEP PUBLIC ROADS AT THE END OF EACH WORKING DAY. ALSO CONTRACTOR TO PROVIDE TRAFFIC CONTROL WHILE WORKING AT THE ROADWAY TO THE PUBLIC ROADWAY. EXCAVATIONS ARE TO BE FENCED TO PROTECT WORKERS AND PASSERS BY.
19. FOR ANY AMBIGUITIES IN SPECIFICATIONS THE MOST CONSERVATIVE/ROBUST SPECIFICATIONS SHALL COVER.
20. A ROAD WORK PERMIT TO CONSTRUCT WORKS IN THE ROAD ALLOWANCE TO BE OBTAINED FROM THE CITY PRIOR TO WORK.
21. ALLOW 48 HOURS FOR ENGINEER TO PERFORM CHECKS AND MAKE ANY ADJUSTMENTS PRIOR TO ANY CURB FORMS.
22. QUALIFIED ARBORIST AND VICTORIA CITY PARKS TO MONITOR ALL WORK AROUND TREES.
23. CONTRACTOR IS RESPONSIBLE TO ENSURE ALL MATERIALS MEET CITY OF VICTORIA STANDARDS.
24. ROAD WORK PERMIT
25. FINAL SIDEWALK GRADING AND TOOL MARKS TO BE CONFIRMED WITH CONTRACTOR, CITY AND ENGINEER MIN. 24 HOURS BEFORE.

CONTRACTOR TO GET HYDRO, TELUS, SHAW AND FORTIS BC CONTACTS AT CONSTRUCTION START. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY ENTIRELY TO COORDINATE THESE UTILITIES.

PROPOSED INVERTS SHOWN ON THIS DRAWING ARE ESTIMATES ONLY. THE NEW SITE SERVICES MUST BE INSTALLED AND SURVEYED PRIOR TO ANY BUILDING DESIGN OR CONSTRUCTION INCLUDING FOOTINGS.

NOTICE:
GARY CARROTHERS CONSULTING DOES NOT GUARANTEE THE ACCURACY OF THE EXISTING SITE SERVICES SHOWN ON THIS DRAWING. CONTRACTOR TO COMPLETE HIS OWN INVESTIGATION AND CONFIRM LOCATION OF EXISTING SERVICES BEFORE HE STARTS ANY CONSTRUCTION.

BC
CALL
1-800-474-6886

THE CONTRACTOR IS TO CALL
B.C. ONE CALL, AND HAVE
EXISTING U/G SERVICES STAKED
PRIOR TO ANY CONSTRUCTION

THIS DESIGN IS VALID ONLY IF REVIEWED DURING
CONSTRUCTION BY GARY CARROTHERS CONSULTING.

BENCHMARK
VICTORIA INTEGRATED SURVEY MONUMENT 15-125A, ELEVATION 25.795m

LEGAL DESCRIPTION

The Contractor shall confirm the actual location of all services within the area of construction, and should not assume that the locations shown on the drawings are either accurate or complete.

The map shows a grid of streets and lots. The proposed site is a shaded lot at the intersection of Poplar St and Taylor Rd. The site is labeled 'SITE' with an arrow pointing to it. Surrounding streets include Brooke St, Clifford St, Taylor Rd, Poplar St, and Harbor St. Lot numbers are shown throughout the map, such as 1337, 1345, 330, 345, 353, 355, 357, 359, 361, 363, 365, 367, 369, 371, 373, 375, 377, 379, 381, 383, 385, 387, 389, 391, 393, 395, 397, 399, 401, 403, 405, 407, 409, 411, 413, 415, 417, 419, 421, 423, 425, 427, 429, 431, 433, 435, 437, 439, 441, 443, 445, 447, 449, 451, 453, 455, 457, 459, 461, 463, 465, 467, 469, 471, 473, 475, 477, 479, 481, 483, 485, 487, 489, 491, 493, 495, 497, 499, 501, 503, 505, 507, 509, 511, 513, 515, 517, 519, 521, 523, 525, 527, 529, 531, 533, 535, 537, 539, 541, 543, 545, 547, 549, 551, 553, 555, 557, 559, 561, 563, 565, 567, 569, 571, 573, 575, 577, 579, 581, 583, 585, 587, 589, 591, 593, 595, 597, 599, 601, 603, 605, 607, 609, 611, 613, 615, 617, 619, 621, 623, 625, 627, 629, 631, 633, 635, 637, 639, 641, 643, 645, 647, 649, 651, 653, 655, 657, 659, 661, 663, 665, 667, 669, 671, 673, 675, 677, 679, 681, 683, 685, 687, 689, 691, 693, 695, 697, 699, 701, 703, 705, 707, 709, 711, 713, 715, 717, 719, 721, 723, 725, 727, 729, 731, 733, 735, 737, 739, 741, 743, 745, 747, 749, 751, 753, 755, 757, 759, 761, 763, 765, 767, 769, 771, 773, 775, 777, 779, 781, 783, 785, 787, 789, 791, 793, 795, 797, 799, 801, 803, 805, 807, 809, 811, 813, 815, 817, 819, 821, 823, 825, 827, 829, 831, 833, 835, 837, 839, 841, 843, 845, 847, 849, 851, 853, 855, 857, 859, 861, 863, 865, 867, 869, 871, 873, 875, 877, 879, 881, 883, 885, 887, 889, 891, 893, 895, 897, 899, 901, 903, 905, 907, 909, 911, 913, 915, 917, 919, 921, 923, 925, 927, 929, 931, 933, 935, 937, 939, 941, 943, 945, 947, 949, 951, 953, 955, 957, 959, 961, 963, 965, 967, 969, 971, 973, 975, 977, 979, 981, 983, 985, 987, 989, 991, 993, 995, 997, 999, 1001, 1003, 1005, 1007, 1009, 1011, 1013, 1015, 1017, 1019, 1021, 1023, 1025, 1027, 1029, 1031, 1033, 1035, 1037, 1039, 1041, 1043, 1045, 1047, 1049, 1051, 1053, 1055, 1057, 1059, 1061, 1063, 1065, 1067, 1069, 1071, 1073, 1075, 1077, 1079, 1081, 1083, 1085, 1087, 1089, 1091, 1093, 1095, 1097, 1099, 1101, 1103, 1105, 1107, 1109, 1111, 1113, 1115, 1117, 1119, 1121, 1123, 1125, 1127, 1129, 1131, 1133, 1135, 1137, 1139, 1141, 1143, 1145, 1147, 1149, 1151, 1153, 1155, 1157, 1159, 1161, 1163, 1165, 1167, 1169, 1171, 1173, 1175, 1177, 1179, 1181, 1183, 1185, 1187, 1189, 1191, 1193, 1195, 1197, 1199, 1201, 1203, 1205, 1207, 1209, 1211, 1213, 1215, 1217, 1219, 1221, 1223, 1225, 1227, 1229, 1231, 1233, 1235, 1237, 1239, 1241, 1243, 1245, 1247, 1249, 1251, 1253, 1255, 1257, 1259, 1261, 1263, 1265, 1267, 1269, 1271, 1273, 1275, 1277, 1279, 1281, 1283, 1285, 1287, 1289, 1291, 1293, 1295, 1297, 1299, 1301, 1303, 1305, 1307, 1309, 1311, 1313, 1315, 1317, 1319, 1321, 1323, 1325, 1327, 1329, 1331, 1333, 1335, 1337, 1339, 1341, 1343, 1345, 1347, 1349, 1351, 1353, 1355, 1357, 1359, 1361, 1363, 1365, 1367, 1369, 1371, 1373, 1375, 1377, 1379, 1381, 1383, 1385, 1387, 1389, 1391, 1393, 1395, 1397, 1399, 1401, 1403, 1405, 1407, 1409, 1411, 1413, 1415, 1417, 1419, 1421, 1423, 1425, 1427, 1429, 1431, 1433, 1435, 1437, 1439, 1441, 1443, 1445, 1447, 1449, 1451, 1453, 1455, 1457, 1459, 1461, 1463, 1465, 1467, 1469, 1471, 1473, 1475, 1477, 1479, 1481, 1483, 1485, 1487, 1489, 1491, 1493, 1495, 1497, 1499, 1501, 1503, 1505, 1507, 1509, 1511, 1513, 1515, 1517, 1519, 1521, 1523, 1525, 1527, 1529, 1531, 1533, 1535, 1537, 1539, 1541, 1543, 1545, 1547, 1549, 1551, 1553, 1555, 1557, 1559, 1561, 1563, 1565, 1567, 1569, 1571, 1573, 1575, 1577, 1579, 1581, 1583, 1585, 1587, 1589, 1591, 1593, 1595, 1597, 1599, 1601, 1603, 1605, 1607, 1609, 1611, 1613, 1615, 1617, 1619, 1621, 1623, 1625, 1627, 1629, 1631, 1633, 1635, 1637, 1639, 1641, 1643, 1645, 1647, 1649, 1651, 1653, 1655, 1657, 1659, 1661, 1663, 1665, 1667, 1669, 1671, 1673, 1675, 1677, 1679, 1681, 1683, 1685, 1687, 1689, 1691, 1693, 1695, 1697, 1699, 1701, 1703, 1705, 1707, 1709, 1711, 1713, 1715, 1717, 1719, 1721, 1723, 1725, 1727, 1729, 1731, 1733, 1735, 1737, 1739, 1741, 1743, 1745, 1747, 1749, 1751, 1753, 1755, 1757, 1759, 1761, 1763, 1765, 1767, 1769, 177

KEY PLAN
NOT TO SCALE

421 Fairfield Rd. Building Plan & Profile Development	Drawn	dp	Date	Oct. 19, 20
	Checked		Project #	0588
	Approved		Scale	As Noted
	Designed	gic		
 208-2750 QUADRA ST. VICTORIA, B.C. V8T-4E8 PHONE: (250) 368-6919 FAX: (250) 368-6919 gary@gaassocast.net	588-01		Rev	
CANCER PRINTS BEARING EARLIER LETTER				

KEY NOTES

- | | | |
|---|---|---|
| <p>A CITY OF VICTORIA TO TEST FOR REUSE THE EX. SANITARY SERVICE DEVELOPER TO UNCOVER SERVICE ON THE PRIVATE SIDE OF THE PROPERTY BEFORE CITY VICTORIA IF SERVICE IS ACCEPTABLE THEN CITY TO INSTALL S.C. WORK IS AT DEVELOPER'S COST.</p> | <p>D CITY OF VICTORIA TO TEST FOR REUSE THE EX. DRAIN SERVICE DEVELOPER TO UNCOVER SERVICE ON THE PRIVATE SIDE OF THE PROPERTY LINE BEFORE CITY VICTORIA IF SERVICE IS ACCEPTABLE THEN CITY TO INSTALL D.C. WORK IS AT DEVELOPER'S COST.</p> | <p>F CONTRACTOR TO CAREFULLY CUT BARRIER CURB AND INSTALL MOUNTABLE CURB. ENSURE DRAINAGE IS CONTAINED IN THE STRATA ROAD AND DOES NOT ENTER THE NEW LOTS.</p> |
| <p>B INSTALL S.C. WORKER TO REMOVE CURB DROP AND CONSTRUCT NEW CURB & GUTTER AND SIDEWALK 6' W/ BOULEVARD RESTORATION.</p> | <p>E CITY OF VICTORIA TO INSTALL 2-25" WATER SERVICES WITH 25" METERS WORK IS AT DEVELOPER'S COST. IF A LARGER SERVICE IS REQUIRED TO LOT 1, A THIRD 25" WATER SERVICE AND METER TO BE INSTALLED AT THIS LOCATION</p> | |
| <p>C CITY OF VICTORIA TO REVIEW THE SIZE OF THE EXISTING WATER SERVICE METER SIZE</p> | | |

NEW UNDERGROUND SERVICE INFORMATION

INFORMATION IS AT PROP. PROPERTY LINE		STORM DRAIN			SANITARY		
		LOT D	LOT E	LOT F	LOT D	LOT E	LOT F
PROPOSED DEPTH TO INVERT AT PL (m)		-	-	-	-	-	-
PROPOSED INVERT ELEV. (m)		-	-	-	-	-	-
MAX. DEPTH REQUESTED		☒ YES ☐ NO			☒ YES ☐ NO		
WORKS AND SERVICES CHECK TABLE							
PLAN CHECKER		AUTHORIZED REPRESENTATIVE					
		NAME		SIGNATURE		DATE	
UTILITY	BC HYDRO						
	TELUS						
	FORTIS GAS						
	SHAW CABLE						
MUNICIPAL	UNDERGROUND UTILITIES						
	TRANSPORTATION DESIGN & INFRASTRUCTURE						
	LAND DEVELOPMENT						

PRELIMINARY
Not for Construction

LEGEND

EXISTING			PROPOSED	
W	WATER		W	WATER
S	SEWER		S	SEWER
D	DRAIN		D	DRAIN
G	GAS		G	GAS
H/T	H/T		H/T	H/T
EOP	EOP			

EX. 	PROP. 	WATER VALVE ON MAIN	EX. 	PROP. 	SEWER PUMP STATION
		HYDRANT			CATCH BASIN
		CAP OR PLUG			SILT TRAP
		WATER METER			CULVERT
		FLUSH VALVE			DITCH
		MANHOLE			HYDRO/TEL POLE
		CLEANOUT			HYDRO ANCHOR

--	--	--	--	--
REV.	DATE	REVISIONS		BY APPROVE

Subdivision At 1421 Fairfield Rd.
Site Servicing, Grading Plan & Profile
Client: Moss Rock Developments

GARY CARROTHERS
CONSULTING

dp	Date	
ked	Oct. 19, 20	
oved	Project #	
ned	0588	
gkc	Scale	
	As Noted	
588-01		Rev

CANCEL PRINTS BEARING EARLIER LETTER

GARY CARROTHERS CONSULTING PREPARED THIS DRAWING FOR THE LISTED CLIENT ONLY AND ACCEPTS NO RESPONSIBILITY FOR THIRD PARTY USE.



EQUINOX 9:00 am



EQUINOX 12:00 pm



EQUINOX 2:00 pm



EQUINOX 5:00 pm



SUMMER SOLSTICE 9:00 am



SUMMER SOLSTICE 12:00 pm



SUMMER SOLSTICE 2:00 pm



SUMMER SOLSTICE 5:00 pm



WINTER SOLSTICE 9:00 am



WINTER SOLSTICE 12:00 pm



WINTER SOLSTICE 2:00 pm



WINTER SOLSTICE 5:00 pm

GENERAL NOTES

- [illegible]

[illegible]

Project: 1421 Fairfield Rd.

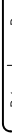
Project No.:

15115

Sheet: **A1.8** 



Sheet:	Project No:	Project:	Date:	Description:	By:	No.:
A2.1	15115	1421 Fairfield Rd.	15Dec16	Dev. Permit ReSubmission	RH	2
			16Jan17	Dev. Permit ReSubmission	RH	4
			16Jan17	Dev. Permit ReSubmission	RH	4
			17Feb17	Dev. Permit ReSubmission	RH	7
			17Feb17	Dev. Permit ReSubmission	RH	7
			17Jan17	Dev. Permit ReSubmission	RH	8
			17Jan17	Dev. Permit ReSubmission	RH	8
			17Jan17	Dev. Permit ReSubmission	RH	8
			17Jan17	Dev. Permit ReSubmission	RH	8



RYAN HOYT
 Ryan Hoyt & Associates Inc.
 1421 Fairfield Rd.
 Victoria, BC V8T 6L8
 250.999.9993
 ryan@ryanhoytdesigns.com

Project: 1421 Fairfield Rd.

Sheet Title: Development Elevations



ADDITIONAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Designs (RHD) are subject to change without notice. It is the responsibility of the client to verify the accuracy of the information provided by RHD and to ensure that the information is up-to-date and accurate. RHD is not responsible for any errors or omissions in the drawings or specifications, or for any consequences arising therefrom, whether or not such errors or omissions are caused in whole or in part by the negligence of RHD. The client shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The client shall also be responsible for ensuring that the drawings and specifications are in compliance with all applicable laws, codes, and regulations. The client shall also be responsible for ensuring that the drawings and specifications are in compliance with all applicable laws, codes, and regulations. The client shall also be responsible for ensuring that the drawings and specifications are in compliance with all applicable laws, codes, and regulations.
2. It is the responsibility of the Contractor to verify all dimensions, materials, and construction methods shown on the drawings and specifications. The Contractor shall also be responsible for ensuring that the drawings and specifications are in compliance with all applicable laws, codes, and regulations. The Contractor shall also be responsible for ensuring that the drawings and specifications are in compliance with all applicable laws, codes, and regulations. The Contractor shall also be responsible for ensuring that the drawings and specifications are in compliance with all applicable laws, codes, and regulations.
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4. The Contractor shall engage a Professional Engineer (PE) to review the drawings and specifications for compliance with all applicable laws, codes, and regulations. The Contractor shall also be responsible for ensuring that the drawings and specifications are in compliance with all applicable laws, codes, and regulations. The Contractor shall also be responsible for ensuring that the drawings and specifications are in compliance with all applicable laws, codes, and regulations. The Contractor shall also be responsible for ensuring that the drawings and specifications are in compliance with all applicable laws, codes, and regulations.

Comments			
Date	Description	By	No.
15-Dec-16	Dev. Permit Resubmission	RH	2
16-Apr-15	Dev. Permit Resubmission	RH	3
16-Apr-15	Dev. Permit Resubmission	RH	4
17-Jul-07	Dev. Permit Resubmission	RH	5
17-Jul-07	Dev. Permit Resubmission	RH	6
17-Jul-07	Dev. Permit Resubmission	RH	7
17-Jul-07	Dev. Permit Resubmission	RH	8
17-Jul-07	Dev. Permit Resubmission	RH	9



RYAN HOYT
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Ryan Hoyt Designs Inc.
250.995.9893
www.ryanhoytdesigns.com

Project:
1421 Fairfield Rd.

Project No.:
15115

Sheet:
A2.2

Sheet Title:
Development Elevations



GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Design Inc. (RHDI) are subject to review and approval by the City of Victoria and as such are not to be used for any other purpose without the written consent of RHDI. The copyright in these drawings and designs shall remain the property of RHDI and shall not be used for any other purpose without the written consent of RHDI.
2. It is the responsibility of the Contractor to verify all dimensions, materials and the construction of the building shown on the drawings and to ensure that the construction is in accordance with the drawings and specifications. The Contractor shall verify the construction of the building and shall be responsible for any errors or omissions in the drawings and specifications. The Contractor shall verify the construction of the building and shall be responsible for any errors or omissions in the drawings and specifications.
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Date:	Description:	By:	No.:
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17-Jul-07	Dev. Permit Resubmission	RH	7
17-Jul-07	Dev. Permit Resubmission	RH	8
17-Jul-07	Dev. Permit Resubmission	RH	9

RYAN HOYT
RYAN HOYT
250-995-9893
www.ryanhoytdesigns.com

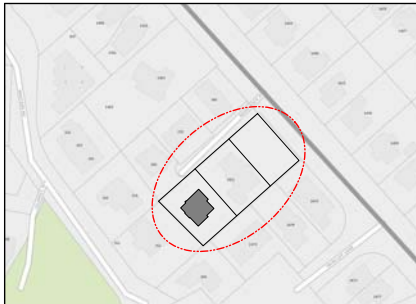
Project: 1421 Fairfield Rd.
Sheet Title: Development Perspectives

Project No. 15115

Sheet: A3.1

1421 FAIRFIELD ROAD
VICTORIA, BC

KEY PLAN:



ZONING ANALYSIS:

ZONE: R1-B

LOT AREA: 600.0m2

GRADES: AVERAGE GRADE:17.76m

F.S.R: **ALLOWABLE**
NO RESTRICTION

GROSS FLOOR AREA:	ALLOWABLE
SECOND FLOOR:	
MAIN FLOOR:	
BASEMENT:	
GARAGE:	
TOTAL:	280.0m2

LOT COVERAGE: **ALLOWABLE**
25%

HEIGHT:	ALLOWABLE
HOUSE:	5.00m

STOREYS:	ALLOWABLE
HOUSE:	1 STOREY

SETBACKS:	ALLOWABLE
FRONT (N):	7.5m
REAR (S):	7.5m
SIDE (E):	4.0m
SIDE (W):	4.0m

PROJECT INFORMATION:

SITE ADDRESS: PROPOSED STRATA LOT D
1421 FAIRFIELD ROAD
LOT A, PLAN VIP17481,
LAND DISTRICT 57,
FAIRFIELD FARM ESTATE

SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER: RYAN HOYT DESIGNS INC.
250.999.9893
INFO@RYANHOYTDISIGNS.COM

GENERAL CONTRACTOR: TBD

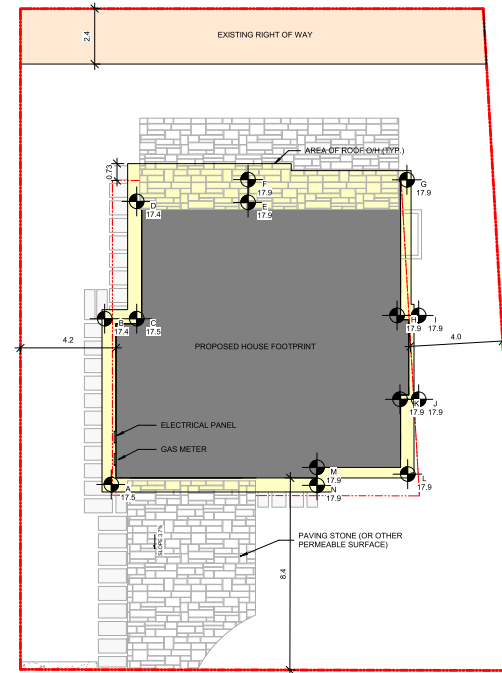
STRUCTURAL ENGINEER: TBC

SURVEYOR: WEY MAYENBURG LAND
SURVEYING INC.
250.656.5155

SHEET INDEX:

D0.0 STRATA LOT D - COVER SHEET
D2.1 STRATA LOT D - FLOOR PLANS
D2.2 STRATA LOT D - FLOOR PLAN & SECTION
D4.1 STRATA LOT D - ELEVATIONS
D4.2 STRATA LOT D - ELEVATIONS
D5.1 STRATA LOT D - PRIVACY VIEW

PROPOSED STRATA LOT D
600m2



① Site Plan
1 : 100

AVG. GRADE CALC. (PROPOSED GRADE)					AVG. GRADE CALC. (EXISTING GRADE)					AVG. GRADE CALC. (LOWEST GRADE)				
GRADE POINTS	AVG. OF POINTS	DIST. BETWEEN	TOTALS		GRADE POINTS	AVG. OF POINTS	DIST. BETWEEN	TOTALS		GRADE POINTS	AVG. OF POINTS	DIST. BETWEEN	TOTALS	
POINT "A"	17.5m	A-B (17.5 + 17.9) / 2	X 6.7m	= 119.9	POINT "A"	17.5m	A-B (17.5 + 17.4) / 2	X 6.7m	= 116.9	POINT "A"	17.5m	A-B (17.5 + 17.4) / 2	X 6.7m	= 116.9
POINT "B"	17.5m	B-C (17.5 + 17.9) / 2	X 1.1m	= 19.7	POINT "B"	17.5m	B-C (17.4 + 17.5) / 2	X 1.1m	= 19.7	POINT "B"	17.5m	B-C (17.4 + 17.5) / 2	X 1.1m	= 19.7
POINT "C"	17.5m	C-D (17.5 + 17.9) / 2	X 0.6m	= 10.2	POINT "C"	17.5m	C-D (17.5 + 17.9) / 2	X 0.6m	= 10.2	POINT "C"	17.5m	C-D (17.5 + 17.9) / 2	X 0.6m	= 10.2
POINT "D"	17.5m	D-E (17.5 + 17.9) / 2	X 4.8m	= 85.9	POINT "D"	17.5m	D-E (17.4 + 17.9) / 2	X 4.8m	= 84.7	POINT "D"	17.5m	D-E (17.4 + 17.9) / 2	X 4.8m	= 84.7
POINT "E"	17.5m	E-F (17.5 + 17.9) / 2	X 0.6m	= 10.7	POINT "E"	17.5m	E-F (17.9 + 17.9) / 2	X 0.6m	= 10.7	POINT "E"	17.5m	E-F (17.9 + 17.9) / 2	X 0.6m	= 10.7
POINT "F"	17.5m	F-G (17.5 + 17.9) / 2	X 4.6m	= 114.6	POINT "F"	17.5m	F-G (17.9 + 17.9) / 2	X 4.6m	= 117.1	POINT "F"	17.5m	F-G (17.9 + 17.9) / 2	X 4.6m	= 114.6
POINT "G"	17.5m	G-H (17.5 + 17.9) / 2	X 0.6m	= 10.7	POINT "G"	17.5m	G-H (16.7 + 18.9) / 2	X 0.6m	= 10.7	POINT "G"	17.5m	G-H (17.5 + 17.9) / 2	X 0.6m	= 10.7
POINT "H"	17.5m	H-I (17.5 + 17.9) / 2	X 0.4m	= 7.2	POINT "H"	17.5m	H-I (18.9 + 18.9) / 2	X 0.4m	= 7.2	POINT "H"	17.5m	H-I (17.5 + 17.9) / 2	X 0.4m	= 7.2
POINT "I"	17.5m	I-J (17.5 + 17.9) / 2	X 3.3m	= 59.1	POINT "I"	17.5m	I-J (18.9 + 19.0) / 2	X 3.3m	= 62.5	POINT "I"	17.5m	I-J (17.5 + 17.9) / 2	X 3.3m	= 59.1
POINT "J"	17.5m	J-K (17.5 + 17.9) / 2	X 0.6m	= 10.7	POINT "J"	17.5m	J-K (19.0 + 19.1) / 2	X 0.6m	= 10.7	POINT "J"	17.5m	J-K (17.5 + 17.9) / 2	X 0.6m	= 10.7
POINT "K"	17.5m	K-L (17.5 + 17.9) / 2	X 3.1m	= 55.5	POINT "K"	17.5m	KL (19.0 + 19.1) / 2	X 3.1m	= 62.4	POINT "K"	17.5m	K-L (17.5 + 17.9) / 2	X 3.1m	= 55.5
POINT "L"	17.5m	LM (17.5 + 17.9) / 2	X 3.3m	= 60.9	POINT "L"	17.5m	LM (19.0 + 19.1) / 2	X 3.3m	= 64.1	POINT "L"	17.5m	LM (17.5 + 17.9) / 2	X 3.3m	= 60.9
POINT "M"	17.5m	M-N (17.5 + 17.9) / 2	X 0.5m	= 8.9	POINT "M"	17.5m	MN (18.6 + 18.6) / 2	X 0.5m	= 9.3	POINT "M"	17.5m	M-N (17.5 + 17.9) / 2	X 0.5m	= 8.9
POINT "N"	17.5m	N-A (17.5 + 17.9) / 2	X 0.7m	= 15.7	POINT "N"	17.5m	N-O (18.6 + 18.9) / 2	X 0.7m	= 15.8	POINT "N"	17.5m	N-O (17.5 + 17.9) / 2	X 0.7m	= 15.7
TOTAL			912.0m	= 971.9	TOTAL			912.0m	= 928.8	TOTAL			912.0m	= 976.7
GRADE CALCULATION					GRADE CALCULATION					GRADE CALCULATION				
912.0 / 51.0m = 17.89					928.8 / 51.0m = 18.22					976.7 / 51.0m = 19.15				

GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Ryan High Design, Inc. shall be the property of Ryan High Design, Inc. and shall be used only for the project and for the execution of services for the work shown on them. The Contractor shall not make copies of any drawings or RHD without the written consent of RHD and shall not use any drawings or RHD for any other project without the written consent of RHD. If the Contractor does so, they shall be liable for any damages caused by such use.
2. It is the responsibility of the Contractor to verify all dimensions, elevations, and site conditions as shown on the drawings and to make any necessary adjustments. The Contractor shall notify the Designer of any errors, omissions or discrepancies identified within the drawings and specifications. The Contractor shall be responsible for the accuracy of the Contractor's interpretation of the drawings and specifications. The Contractor shall be responsible for the accuracy of the existing site conditions, and means dimensions and elevations have been taken, confirmed, verified and are acceptable.
3. The Contractor shall verify with a S.L.C. to be verified on the drawings and specifications that the proposed buildings or structures on the property are in compliance with all applicable codes and regulations. The Contractor shall be responsible for any encroachments with respect to elevation, siting or placement of buildings or structures on the property. Elevation, siting or placement shall be confirmed with a S.L.C.
4. The Contractor shall engage a Professional Engineer in the Province of BC for the design and seal of the drawings and specifications. The Contractor shall be responsible for the design and seal of the drawings and specifications for the work required by the Authority having jurisdiction. The Contractor shall be responsible for the design and seal of the drawings and specifications for the work required by the Authority having jurisdiction. The Contractor shall notify RHD of any changes to the design required by the Structural Engineer, those changes shall be made by the Structural Engineer and the Contractor shall be responsible for the design and seal of the drawings and specifications for the work required by the Authority having jurisdiction.

Date:	Description:	By:	No.:
15Dec16	Dw. Permit Resubmission	RH	2
16Apr15	Dw. Permit Resubmission	RH	3
16Apr02	Dw. Permit Resubmission	RH	4
17Feb07	Dw. Permit Resubmission	RH	5
17Apr05	Dw. Permit Resubmission	RH	6
17Jun21	Dw. Permit Resubmission	RH	7
17Sep11	Dw. Permit Resubmission	RH	8
17Sep28	Dw. Permit Resubmission	RH	9

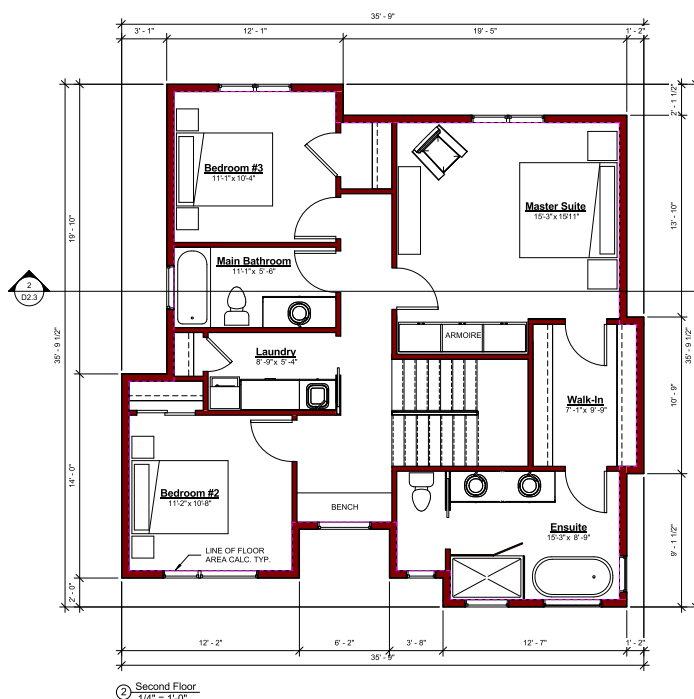
rh RYAN HOYT
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250 999 9893
info@ryanhoytdesigns.com
www.ryanhoytdesigns.com

Project: 1421 Fairfield Rd.

Project No.: 15115

Sheet: D0.0

9



FLOOR AREA	
MAIN:	1030 SF
UPPER:	1009 SF
BASEMENT:	556 SF
TOTAL:	<u>2595 SF</u>
GARAGE:	415 SF

5 4 3 2 1 0 5 10 15 20

GENERAL NOTES

1. All drawings, plans, models, designs, specifications and other documents prepared by the Architect (A/E) and used in connection with this project are the property of the Architect. The Architect reserves the right to use any or all of the drawings (and/or as such) and to extend the protection of copyright in the work created by the Architect. The Architect reserves the copyright in them and in the drawings, plans, models, designs, specifications and other documents, and they shall not be used for any other work or project.
2. It is the responsibility of the Contractor to verify all dimensions, quantities, materials, and methods applicable to the project and the proposed work. The Contractor is to notify the Architect of any discrepancies or discrepancies identified within the drawings, specifications, or other documents. The Contractor is to be responsible for the commencement of construction or any part thereof without acknowledgment of the drawings, specifications or other documents. The Contractor is to be responsible for any and all conditions, materials, methods and conditions have been considered, verified and accepted.
3. The Contractor shall work with a C.E.S. to verify component placement, sizing and elevation of the structural elements of the structure. The Contractor, by commencing the work, RHD is not responsible for any errors or omissions in the drawings, specifications or other documents. Any proposed changes with respect to the drawings or placement shall be designed with a C.E.S. prior to any revision.
4. The Contractor shall engage a Professional Engineer (P.E.) to provide a Professional Engineer's (P.E.) review of all structural components and systems with the drawings, specifications and other documents. Jurisdiction: Prior to commencement of the work, the Contractor shall notify RHD of any changes to the design required by the Structural Engineer, the

Date:	Description:	By:	No.:
15Dec16	Dev. Permit Resubmission	RH	2
16Apr15	Dev. Permit Resubmission	RH	3
16Apr22	Dev. Permit Resubmission	RH	4
17Feb07	Dev. Permit Resubmission	RH	5
17Apr05	Dev. Permit Resubmission	RH	6
12Jun21	Dev. Permit Resubmission	RH	7
17Apr12	Dev. Permit Resubmission	RH	8
17Sep28	Permit Resubmission	RH	9

rhod
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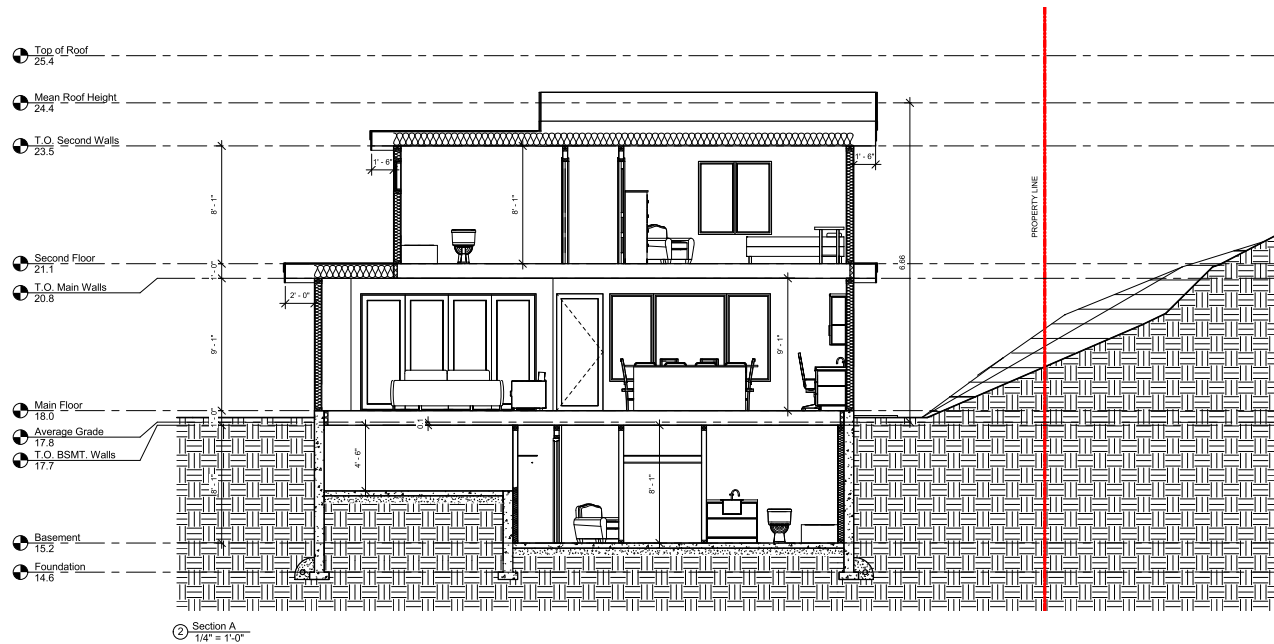
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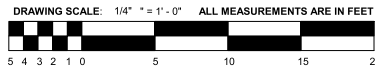
Sheet:

D2.1

Sheet Title:
Strata Lot D - Floor
Plans



FLOOR AREA	
MAIN:	1030 SF
UPPER:	1009 SF
BASEMENT:	596 SF
TOTAL:	2635 SF
GARAGE:	415 SF



- GENERAL NOTES
- All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Designs (RHD) and/or its affiliates shall be the property of RHD and shall remain the property of RHD. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RHD. The copyright in these drawings shall not be used for any other purpose.
 - It is the responsibility of the Contractor to verify all dimensions and conditions of the site and the building as shown on the drawings. The Contractor shall verify the dimensions and conditions of the site and the building as shown on the drawings and shall be responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work. The Contractor shall be responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work. The Contractor shall be responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work. The Contractor shall be responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work.
 - The Contractor shall work with a B.C.C. to verify construction documents, using and obtaining the necessary permits and approvals from the relevant authorities to commence the work. RHD is not responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work. RHD is not responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work. RHD is not responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work.
 - The Contractor shall engage a Professional Engineer (P.E.) to review the drawings and provide a professional seal and signature for the drawings. The Contractor shall be responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work. The Contractor shall be responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work. The Contractor shall be responsible for any discrepancies or omissions identified within the drawings prior to commencement of the work.

Date:	Description:	By:	No.:
15-Dec-16	Dev. Permit Resubmission	RH	2
16-Apr-15	Dev. Permit Resubmission	RH	3
16-Apr-12	Dev. Permit Resubmission	RH	4
17-Jul-16	Dev. Permit Resubmission	RH	5
17-Jul-16	Dev. Permit Resubmission	RH	6
17-Jul-16	Dev. Permit Resubmission	RH	7
17-Jul-16	Dev. Permit Resubmission	RH	8
17-Jul-16	Dev. Permit Resubmission	RH	9

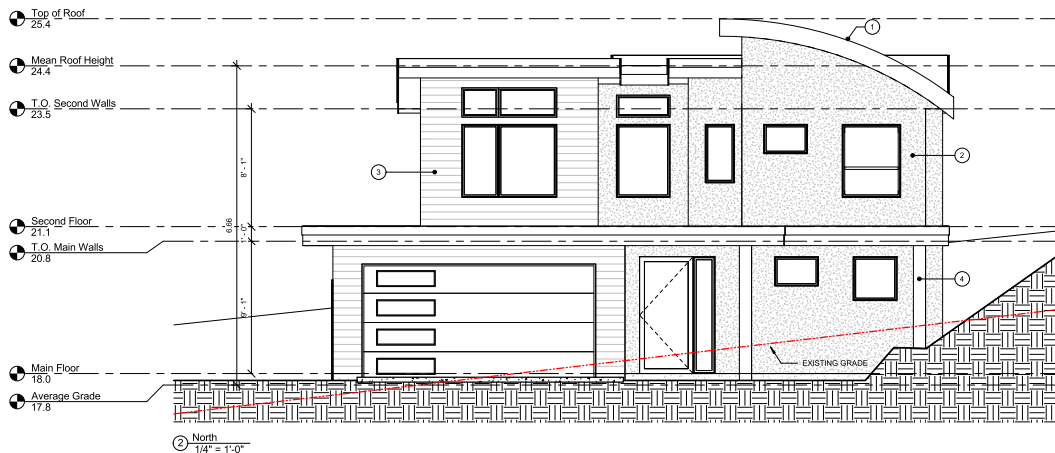
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250.995.9893
VICTORIA, BC V8Z 4L8
www.ryanhoytdesigns.com

Project:
1421 Fairfield Rd.

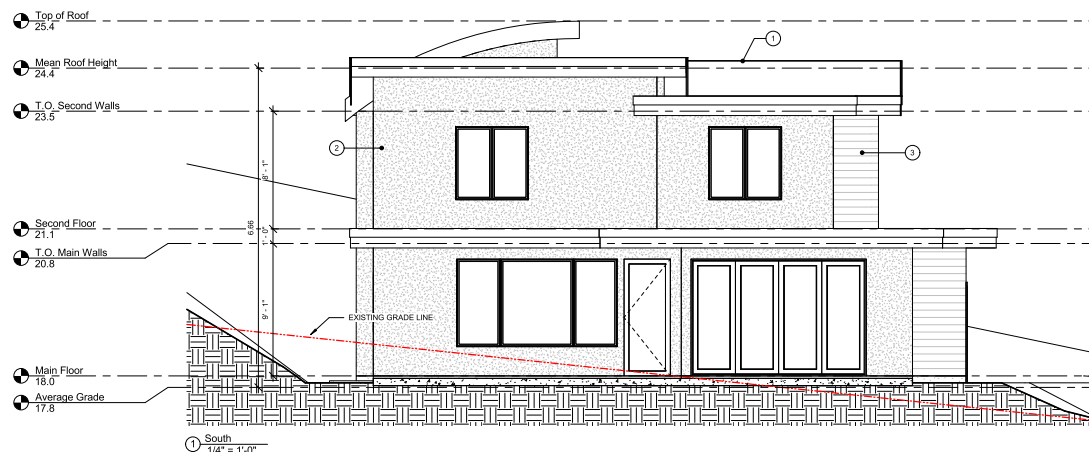
Sheet Title:
Strata Lot D - Section

Project No.:
15115

Sheet:
D2.3



ELEVATION NOTES LEGEND	
①	2 PLY MODIFIED BITUMEN ROOFING
②	ACRYLIC STUCCO
③	FINELINE WOOD SIDING
④	10"X10" WOOD POST



- GENERAL NOTES**
- All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Design (RHD) and/or its affiliates shall be the property of RHD and shall remain the property of RHD whether for work completed or not, and RHD reserves the copyright in them and they shall not be used for any other project.
 - It is the responsibility of the Contractor to verify all information on the drawings and specifications is accurate and to the satisfaction of the Contractor. The Contractor shall verify all information on the drawings and specifications is accurate and to the satisfaction of the Contractor. The Contractor shall verify all information on the drawings and specifications is accurate and to the satisfaction of the Contractor.
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16-Apr-15	Dev. Permit Resubmission	RH	3
16-Apr-22	Dev. Permit Resubmission	RH	4
16-Sep-10	Dev. Permit Resubmission	RH	5
17-Jul-16	Dev. Permit Resubmission	RH	6
17-Jun-21	Dev. Permit Resubmission	RH	7
17-Sep-11	Dev. Permit Resubmission	RH	8
17-Sep-08	Dev. Permit Resubmission	RH	9

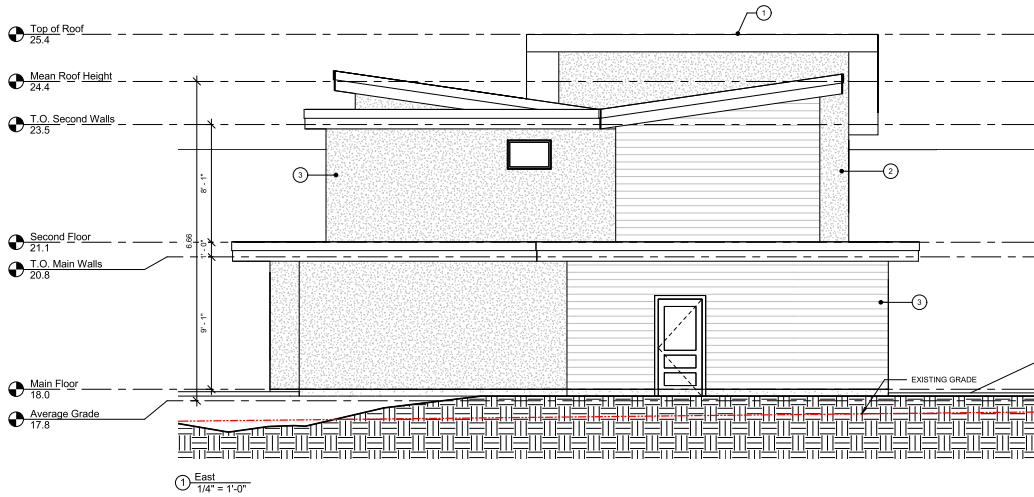
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Project:
1421 Fairfield Rd.

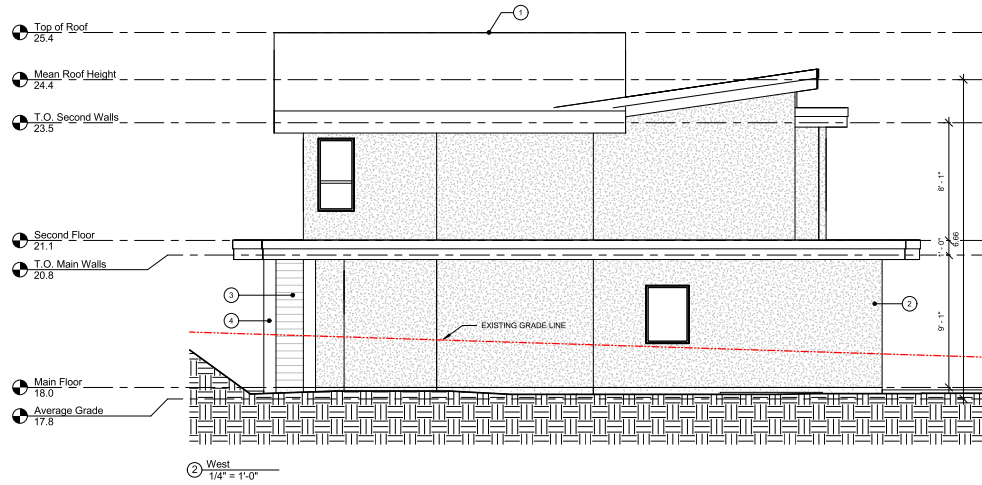
Sheet Title:
Strata Lot D - Elevations

Project No.:
15115

Sheet:
D4.1



ELEVATION NOTES LEGEND	
1	2 PLY MODIFIED BITUMEN ROOFING
2	ACRYLIC STUCCO
3	FINELINE WOOD SIDING
4	10"x10" WOOD POST



- GENERAL NOTES
- All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Designs (RHD) are subject to change without notice. The user of these documents is responsible for obtaining the most current version of the drawings and specifications and for ensuring that they are used in accordance with the project requirements. RHD is not responsible for any errors or omissions in the drawings or specifications, or for any consequences arising from the use of these documents. The copyright in these drawings and specifications is reserved by RHD, and no part of these drawings or specifications may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RHD.
 - It is the responsibility of the Contractor to verify all dimensions, materials, and construction methods shown on the drawings and specifications. The Contractor shall notify the Designer of any discrepancies or omissions in the drawings or specifications in writing, and shall not proceed with the work until the discrepancies have been resolved. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Contractor shall be responsible for ensuring that the work is completed in accordance with the project requirements and the applicable building codes and regulations. The Contractor shall be responsible for obtaining all necessary materials and equipment, and for ensuring that they are of the highest quality and meet the project requirements. The Contractor shall be responsible for ensuring that the work is completed in a timely and efficient manner, and for ensuring that the project is completed within the agreed-upon budget. The Contractor shall be responsible for ensuring that the work is completed in a safe and sound manner, and for ensuring that all safety protocols are followed. The Contractor shall be responsible for ensuring that the work is completed in a professional and courteous manner, and for ensuring that the project is completed to the satisfaction of the client.
 - The Contractor shall work with a B.C.S. 3.5 to verify structural elements, using steel members of the building. The Contractor shall be responsible for ensuring that the work is completed in accordance with the project requirements and the applicable building codes and regulations. The Contractor shall be responsible for obtaining all necessary materials and equipment, and for ensuring that they are of the highest quality and meet the project requirements. The Contractor shall be responsible for ensuring that the work is completed in a timely and efficient manner, and for ensuring that the project is completed within the agreed-upon budget. The Contractor shall be responsible for ensuring that the work is completed in a safe and sound manner, and for ensuring that all safety protocols are followed. The Contractor shall be responsible for ensuring that the work is completed in a professional and courteous manner, and for ensuring that the project is completed to the satisfaction of the client.
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15-Dec-16	Dev. Permit Resubmission	RH	2
16-Apr-15	Dev. Permit Resubmission	RH	3
16-Apr-22	Dev. Permit Resubmission	RH	4
17-Jul-16	Dev. Permit Resubmission	RH	5
17-Jul-16	Dev. Permit Resubmission	RH	6
17-Jul-16	Dev. Permit Resubmission	RH	7
17-Sep-11	Dev. Permit Resubmission	RH	8
17-Sep-08	Dev. Permit Resubmission	RH	9

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www.ryanhoytdesigns.com

Project: 1421 Fairfield Rd.
Sheet Title: Strata Lot D - Elevations

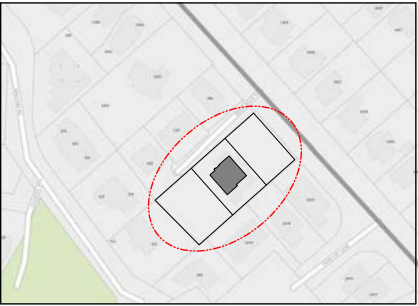
Project No.: 15115

Sheet: D4.2

NEW CUSTOM HOME: STRATA LOT E

1421 FAIRFIELD ROAD
VICTORIA, BC

KEY PLAN:



PROJECT INFORMATION:

SITE ADDRESS: PROPOSED STRATA LOT E
1421 FAIRFIELD ROAD
LOT A, PLAN VIP17481,
LAND DISTRICT 57,
FAIRFIELD FARM ESTATE

SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER: RYAN HOYT DESIGNS INC.
250.999.9893
INFO@RYANHOYTDISIGNS.COM

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

SURVEYOR: WEY MAYENBURG LAND SURVEYING INC.
250.666.5155

ZONING ANALYSIS:

ZONE: R1-B
LOT AREA: 600.0m²

GRADES: AVERAGE GRADE: 16.02m

F.S.R: ALLOWABLE
NO RESTRICTION

GROSS FLOOR AREA: ALLOWABLE
SECOND FLOOR: 90.2m²
MAIN FLOOR: 100.0m²
BASEMENT: 50.8m²
GARAGE: 39.0m²
TOTAL: 280.0m²

LOT COVERAGE: ALLOWABLE
25%

HEIGHT: ALLOWABLE
HOUSE: 5.00m

STOREYS: ALLOWABLE
HOUSE: 1 STOREY

SETBACKS: ALLOWABLE
FRONT (N): 7.5m
REAR (S): 7.5m
SIDE (E): 4.0m
SIDE (W): 4.0m

PROPOSED
N/A
PROPOSED
90.2m² (90.2m²/139.0 = 65%)
100.0m² 139.0m²
50.8m²
39.0m²
280.0m² (90.2+100.0+50.8+39.0)

PROPOSED
7.01m (VARIANCE REQUIRED)
PROPOSED
1.5 STOREY (VARIANCE REQUIRED)

PROPOSED
7.5m
8.6m
4.2m
4.3m

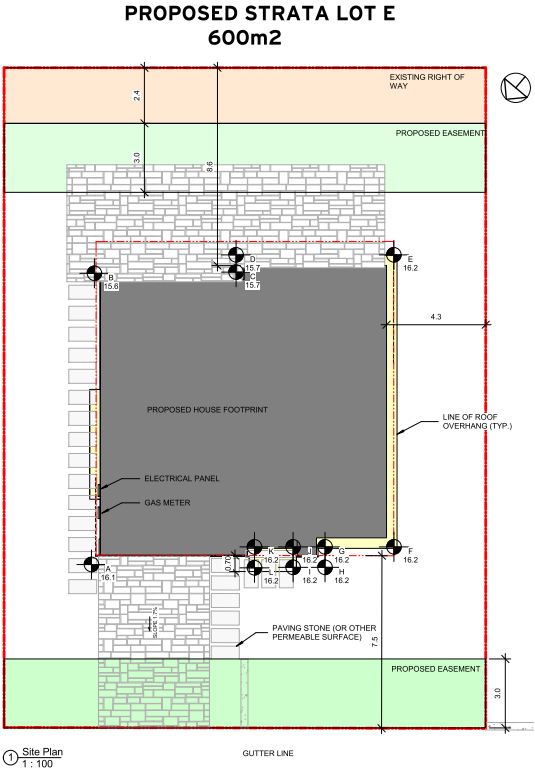
SHEET INDEX:

E0.0 - STRATA LOT E - COVER SHEET
E2.1 - STRATA LOT E - FLOOR PLANS
E2.2 - STRATA LOT E - FLOOR PLAN & SECTION
E4.1 - STRATA LOT E - ELEVATIONS
E4.2 - STRATA LOT E - ELEVATIONS
E5.1 - STRATA LOT E - PRIVACY VIEW

AVG. GRADE CALC. (PROPOSED GRADE)			
GRADE POINTS	AVG. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	16.2m A-B ((16.2 + 16.2) / 2)	X 12.6m	= 204.1
POINT "B"	16.2m B-C ((16.2 + 16.2) / 2)	X 6.4m	= 103.7
POINT "C"	16.2m C-D ((16.2 + 16.2) / 2)	X 0.8m	= 13.0
POINT "D"	16.2m D-E ((16.2 + 16.2) / 2)	X 6.5m	= 105.3
POINT "E"	16.2m E-F ((16.2 + 16.2) / 2)	X 12.6m	= 204.1
POINT "F"	16.2m F-G ((16.2 + 16.2) / 2)	X 3.3m	= 53.5
POINT "G"	16.2m G-H ((16.2 + 16.2) / 2)	X 0.8m	= 13.0
POINT "H"	16.2m H-I ((16.2 + 16.2) / 2)	X 0.8m	= 13.0
POINT "I"	16.2m I-J ((16.2 + 16.2) / 2)	X 0.3m	= 4.9
POINT "J"	16.2m J-K ((16.2 + 16.2) / 2)	X 2.2m	= 36.2
POINT "K"	16.2m K-L ((16.2 + 16.2) / 2)	X 0.3m	= 4.9
POINT "L"	16.2m L-A ((16.2 + 16.2) / 2)	X 6.6m	= 107.0
TOTAL		53.2m	= 862.1
GRADE CALCULATION 862.1 / 53.2m = 16.2m			

AVG. GRADE CALC. (EXISTING GRADE)			
GRADE POINTS	AVG. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	16.1m A-B ((16.1 + 15.6) / 2)	X 12.6m	= 199.7
POINT "B"	15.6m B-C ((15.6 + 15.7) / 2)	X 6.4m	= 100.2
POINT "C"	15.7m C-D ((15.7 + 15.7) / 2)	X 0.8m	= 12.6
POINT "D"	15.7m D-E ((15.7 + 16.2) / 2)	X 6.5m	= 103.7
POINT "E"	16.2m E-F ((16.2 + 16.8) / 2)	X 12.6m	= 207.9
POINT "F"	16.2m F-G ((16.8 + 16.7) / 2)	X 3.3m	= 55.3
POINT "G"	16.7m G-H ((16.7 + 16.7) / 2)	X 0.8m	= 13.4
POINT "H"	16.7m H-I ((16.7 + 16.6) / 2)	X 0.8m	= 13.3
POINT "I"	16.6m I-J ((16.6 + 16.6) / 2)	X 0.3m	= 5.0
POINT "J"	16.6m J-K ((16.6 + 16.3) / 2)	X 2.2m	= 36.2
POINT "K"	16.3m K-L ((16.3 + 16.3) / 2)	X 0.3m	= 4.9
POINT "L"	16.3m L-A ((16.3 + 16.1) / 2)	X 6.6m	= 106.9
TOTAL		53.2m	= 869.1
GRADE CALCULATION 869.1 / 53.2m = 16.1m			

AVG. GRADE CALC. (LOWEST GRADE)			
GRADE POINTS	AVG. OF POINTS	DIST. BETWEEN	TOTALS
POINT "A"	16.1m A-B ((16.1 + 15.6) / 2)	X 12.6m	= 199.7
POINT "B"	15.6m B-C ((15.6 + 15.7) / 2)	X 6.4m	= 100.2
POINT "C"	15.7m C-D ((15.7 + 15.7) / 2)	X 0.8m	= 12.6
POINT "D"	15.7m D-E ((15.7 + 16.2) / 2)	X 6.5m	= 103.7
POINT "E"	16.2m E-F ((16.2 + 16.2) / 2)	X 12.6m	= 204.1
POINT "F"	16.2m F-G ((16.2 + 16.2) / 2)	X 3.3m	= 53.5
POINT "G"	16.2m G-H ((16.2 + 16.2) / 2)	X 0.8m	= 13.0
POINT "H"	16.2m H-I ((16.2 + 16.2) / 2)	X 0.8m	= 13.0
POINT "I"	16.2m I-J ((16.2 + 16.2) / 2)	X 0.3m	= 4.9
POINT "J"	16.2m J-K ((16.2 + 16.2) / 2)	X 2.2m	= 36.6
POINT "K"	16.2m K-L ((16.2 + 16.2) / 2)	X 0.3m	= 4.9
POINT "L"	16.2m L-A ((16.2 + 16.2) / 2)	X 6.6m	= 107.0
TOTAL		53.2m	= 862.2
GRADE CALCULATION 862.2 / 53.2m = 16.02m			



MOSS ROCK PLACE

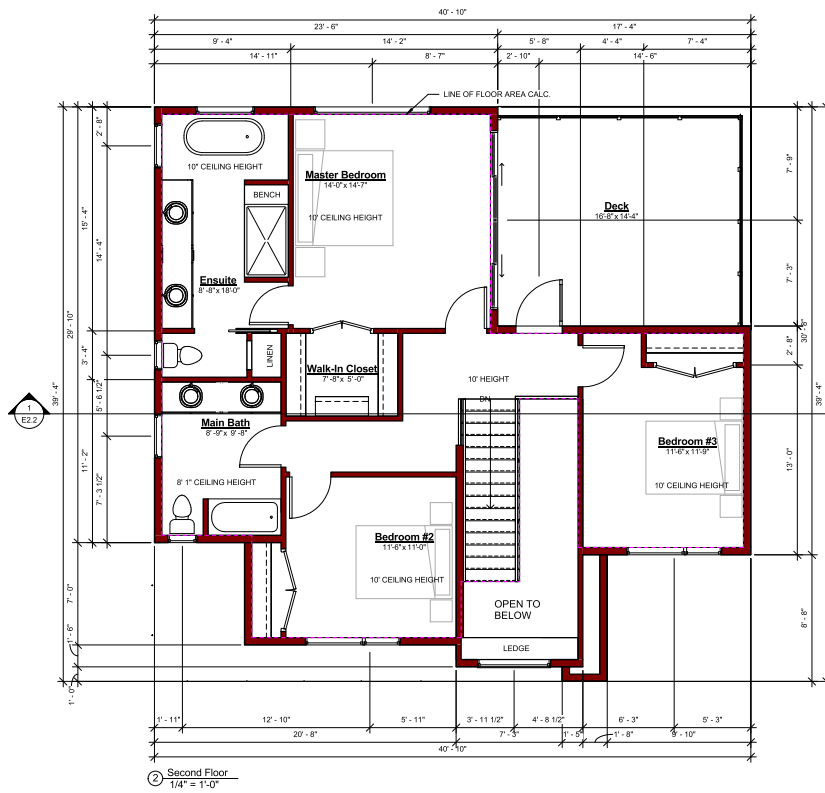
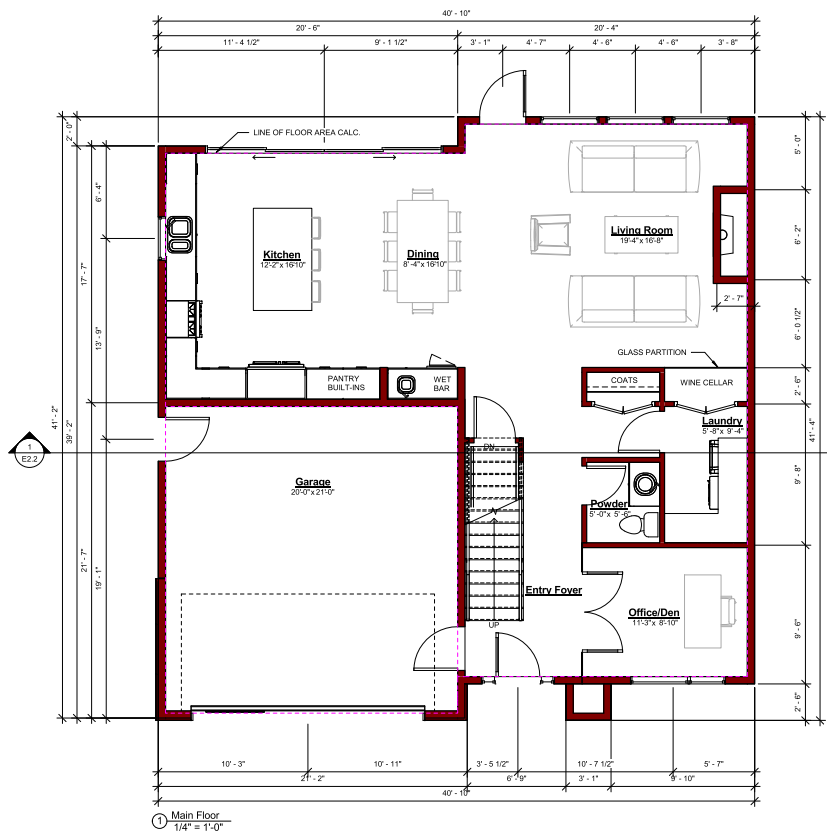
- GENERAL NOTES:**
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Date:	Description:	By:	No.:
15-Dec-16	Dev. Permit Resubmission	RH	2
16-Apr-15	Dev. Permit Resubmission	RH	3
16-Apr-15	Dev. Permit Resubmission	RH	4
17-Jul-16	Dev. Permit Resubmission	RH	5
17-Jul-16	Dev. Permit Resubmission	RH	6
17-Jul-16	Dev. Permit Resubmission	RH	7
17-Jul-16	Dev. Permit Resubmission	RH	8
17-Jul-16	Dev. Permit Resubmission	RH	9

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Project: 1421 Fairfield Rd. - Strata Lot E
Sheet Title: Strata Lot E - Cover Sheet

Project No.: 15115
Sheet: E0.0



FLOOR AREA	
BASEMENT:	547 SF
MAIN:	1076 SF
UPPER:	971 SF
TOTAL:	2594 SF
GARAGE:	420 SF

DRAWING SCALE: 1/4" = 1'-0" ALL MEASUREMENTS ARE IN FEET

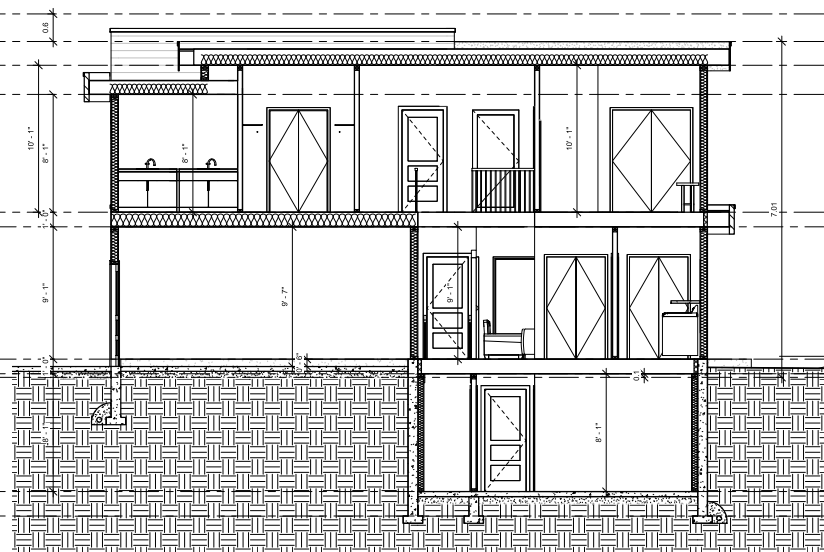
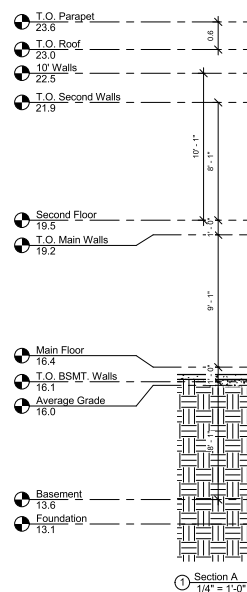


- GENERAL NOTES:**
- All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Design (RHD) are subject to change without notice. It is the responsibility of the client to verify the accuracy of the information provided by RHD and to ensure that the information is used for the intended purpose. RHD is not responsible for any errors or omissions in the drawings or specifications, and the client shall be responsible for any errors or omissions in the construction documents.
 - It is the responsibility of the Contractor to verify all dimensions and quantities shown on the drawings and to ensure that the work is completed in accordance with the drawings and specifications. The Contractor shall be responsible for any errors or omissions in the construction documents, and the client shall be responsible for any errors or omissions in the construction documents.
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 - The Contractor shall engage a Professional Engineer (P.E.) to review the drawings and specifications for compliance with all applicable codes and regulations. The Contractor shall be responsible for any errors or omissions in the construction documents, and the client shall be responsible for any errors or omissions in the construction documents.

Date:	Description:	By:	No.:
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16-Apr-17	Dev. Permit Resubmission	RH	3
16-Apr-17	Dev. Permit Resubmission	RH	4
17-Jul-16	Dev. Permit Resubmission	RH	5
17-Jul-16	Dev. Permit Resubmission	RH	6
17-Jul-16	Dev. Permit Resubmission	RH	7
17-Jul-16	Dev. Permit Resubmission	RH	8
17-Jul-16	Dev. Permit Resubmission	RH	9

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Project: 1421 Fairfield Rd. - Strata Lot E
Sheet: E2.1
Project No.: 15115
Sheet Title: Strata Lot E - Floor Plans



FLOOR AREA	
BASEMENT:	547 S
MAIN:	1076 S
UPPER:	971 S
TOTAL:	<u>2594 S</u>
GARAGE:	420 S

DRAWING SCALE: 1/4" = 1' - 0" **ALL MEASUREMENTS ARE IN FEET**



4. The Contractor shall engage a Professional Engineer licensed in the Province of BC for the design and field review of all structural components and systems within the work as required by the Authority Having Jurisdiction. Prior to commencement of the work, the Contractor shall notify RHD of any changes to the design required by the Structural Engineer, truss manufacturer or other engineered component supplier.

Date:	Description:	By:	No.:
15Dec16	Dev. Permit Resubmission	RH	2
16Apr15	Dev. Permit Resubmission	RH	3
16Apr22	Dev. Permit Resubmission	RH	4
17Apr16	Dev. Permit Resubmission	RH	5
17Apr25	Dev. Permit Resubmission	RH	6
17Jun21	Dev. Permit Resubmission	RH	7
17Sep11	Dev. Permit Resubmission	RH	8
17Sep28	Dev. Permit Resubmission	RH	9



Project:
1421 Fairfield Rd. -
Strata Lot E

Sheet Title:
Strata Lot E - Floor
Plan & Section

Project No.:

15115

Sheet:

E2.2



- | ELEVATION NOTES LEGEND | |
|------------------------|---|
| 1 | 2 PLY MODIFIED BITUMEN ROOFING |
| 2 | AL13 METAL CLADDING |
| 3 | ACRYLIC STUCCO |
| 4 | FINELINE WOOD SIDING |
| 5 | GLASS CANOPY (BY OTHER) |
| 6 | POWDER COATED ALUMINUM
GUARDRAIL C/W GLASS INSERTS |



FLOOR AREA	
BASEMENT:	547 SF
MAIN:	1076 SF
UPPER:	971 SF
TOTAL:	<u>2594 SF</u>
GARAGE:	420 SF

[illegible]

Date:	Description:	By:	No.:	Comments:
15Dec16	Dev. Permit Reassessment	RH	2	
10Apr15	Dev. Permit Reassessment	RH	3	
17Apr15	Dev. Permit Reassessment	RH	4	
17Apr15	Dev. Permit Reassessment	RH	5	
17Apr15	Dev. Permit Reassessment	RH	6	
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17Apr15	Dev. Permit Reassessment	RH	8	
17Apr15	Dev. Permit Reassessment	RH	9	

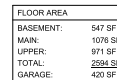
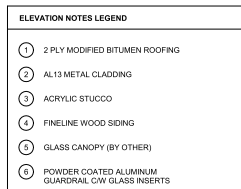
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Project:
1421 Fairfield Rd. -
Strata Lot E

Project No.: 15115

Sheet: **E4.1** 



5 4 3 2 1 0 5 10 15

- All drawings, plans, models, designs, specifications and other documents prepared by Ryan High Design, Inc. shall be the property of Ryan High Design, Inc. and shall not be used by the Contractor or its subcontractors or for the work shown in the drawings without the express written consent of Ryan High Design, Inc. and such consent shall be given on a non-exclusive basis. The Contractor shall not use or reproduce the RHD drawings or designs for any other work or to reproduce the copyright in them and/or the work shown in them, and they shall not be used for any other work or project.
- It is the responsibility of the Contractor to verify all drawings, specifications, and other documents applicable to the project and the proposed work. The Contractor shall be responsible for the Design conditions or discrepancies identified within the drawings prior to commencement of the work. The Contractor shall be responsible for self-perform construction activities and shall be responsible for obtaining acceptance of the drawings, acceptance of construction, and acceptance of the work. The Contractor shall have been considered, verified and approved by the Architect.
- The Contractor shall comply with a C.O.D. It is the Contractor's contract, sitting and the location of the work. The Contractor shall be responsible for any encroachments with respect to location, sitting or placement of the proposed work. The Contractor shall be responsible for the location, sitting or placement shall be confirmed with the local jurisdiction.
- The Contractor shall acquire a Professional Engineer license in the Province of BC for the design and fast-track construction of the work shown in the drawings and the work as required by the Authority having jurisdiction. The Contractor shall not rely if any changes to the design required by the Structural Engineer, then the Contractor shall be responsible for the design and the Contractor shall be responsible for the design and the Contractor shall be responsible for the design.

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15Dec16	Dev. Permit Resubmission	RH	2
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17Feb07	Dev. Permit Resubmission	RH	5
17Apr05	Dev. Permit Resubmission	RH	6
17June21	Dev. Permit Resubmission	RH	7
17Sept11	Dev. Permit Resubmission	RH	8
17Sep28	Dev. Permit Resubmission	RH	9

rhd
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Info@ryanhoytdesigns.com
www.ryanhoytdesigns.com

Project:
11421 Fairfield Rd. -
Strata Lot E

Project No.:

15115

Sheet:

E4.2

Sheet Title:
**Strata Lot E -
Elevations**

1421 FAIRFIELD ROAD
VICTORIA, BC

ZONE: R1-B

LOT AREA: 504.0m2

GROSS FLOOR AREA:		ALLOWABLE	PROPOSED
SECOND FLOOR:			123.6m2
MAIN FLOOR:			75.1m2
BASEMENT:			70.1m2
GARAGE:			40.3m2
TOTAL:	300.0m2		290.5m2 (123.6+75.1+70.1+40.3-18.6)
LOT COVERAGE:		ALLOWABLE	PROPOSED
		40%	HOUSE: 132.6m2 (132.6/504 = 26.3%)

SETBACKS:	ALLOWABLE	PROPOSED
FRONT (W):	7.5m	6.2m (VARIANCE REQUIRED)
REAR (E):	7.5m	3.5m (VARIANCE REQUIRED)
SIDE (S):	3.0m	7.6m
SIDE (N):	3.5m	3.5m

F0.0 STRATA LOT F - COVER SHEET
F2.1 STRATA LOT F - FLOOR PLANS
F2.2 STRATA LOT F - FLOOR PLANS & SECTION
F4.1 STRATA LOT F - ELEVATIONS
F4.2 STRATA LOT F - ELEVATIONS
F5.1 STRATA LOT F - PRIVACY VIEW



AVG. GRADE CALC. (EXISTING GRADE)			
GRADE POINTS	AVG. OF POINTS	DIST. BETWEEN	
POINT "A"	15.4m	A-B (15.4 + 15.3) / 2	X 3.0m = 46.1
POINT "B"	15.3m	B-C (15.3 + 15.3) / 2	X 0.3m = 4.6
POINT "C"	15.3m	C-D (15.3 + 15.2) / 2	X 3.4m = 51.9
POINT "D"	15.2m	D-E (15.2 + 15.2) / 2	X 1.1m = 16.7
POINT "E"	15.2m	E-F (15.2 + 15.0) / 2	X 11.3m = 170.6
POINT "F"	15.0m	F-G (15.0 + 15.4) / 2	X 7.9m = 120.1
POINT "G"	15.6m	G-H (15.4 + 15.8) / 2	X 17.7m = 276.1
POINT "H"	15.8m	H-I (15.8 + 15.8) / 2	X 0.6m = 9.5
POINT "I"	15.8m		
POINT "J"	15.6m	J-K (15.6 + 15.4) / 2	X 6.1m = 95.2
POINT "K"	15.4m	K-L (15.4 + 15.4) / 2	X 0.6m = 9.2
POINT "L"	15.4m		
TOTAL		52.0m	= 800.0m
GRADE CALCULATION		800.0 / 52.0m = 15.38m	

GENERAL NOTES:

- All drawings, plans, models, designs, design calculations and other documents prepared by Hyatt Hulse Design (HHD) and used in connection with this project are the sole property of HHD. HHD hereby grants to the Contractor a license to use the Work and all such documents and the property of HHD in connection with this project. HHD reserves the copyright in them and in the Work and the drawings, plans, models, designs, design calculations and other documents used in the Work or in connection with this project.
- It is the responsibility of the Contractor to verify all dimensions, conditions and materials to be used applicable to the project and the proposed work. The Contractor shall notify HHD in writing of any omissions or discrepancies identified within the Work and the proposed work. The Contractor's acceptance of the Work shall constitute the Contractor's acknowledgment of conformity of any part thereof with the requirements of the Work and the existing site conditions, and means dimensions and materials have been considered, verified and accepted.
- The Contractor shall comply with A.C.I. 3.08, as currently amended. The Contractor shall be responsible for proposed buildings or structures on the property prior to commencing the work with respect to existing and proposed work with respect to existing, siting, placement. Any proposed changes with respect to existing or proposed work shall be approved by A.C.I. prior to construction.
- The Contractor shall engage a Professional Engineer to be Licensed in the State of California to review all of structural components and systems with the State of California by the Authority Having Jurisdiction. Prior to commencement of the Work, the Contractor shall obtain a permit for the construction of work required by the Structural Engineer, the State of California or other regulatory agency.

Date:	Description:	By:	No.:
15Feb16	Dev. Permit ReSubmission	RH	2
16Apr15	Dev. Permit ReSubmission	RH	3
16Apr12	Dev. Permit ReSubmission	RH	4
17Feb07	Dev. Permit ReSubmission	RH	5
17Apr05	Dev. Permit ReSubmission	RH	6
17June12	Dev. Permit ReSubmission	RH	7
17June12	Dev. Permit ReSubmission	RH	8
17June12	Dev. Permit ReSubmission	RH	9
17June12	Dev. Permit ReSubmission	RH	10

rh
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DESIGNS

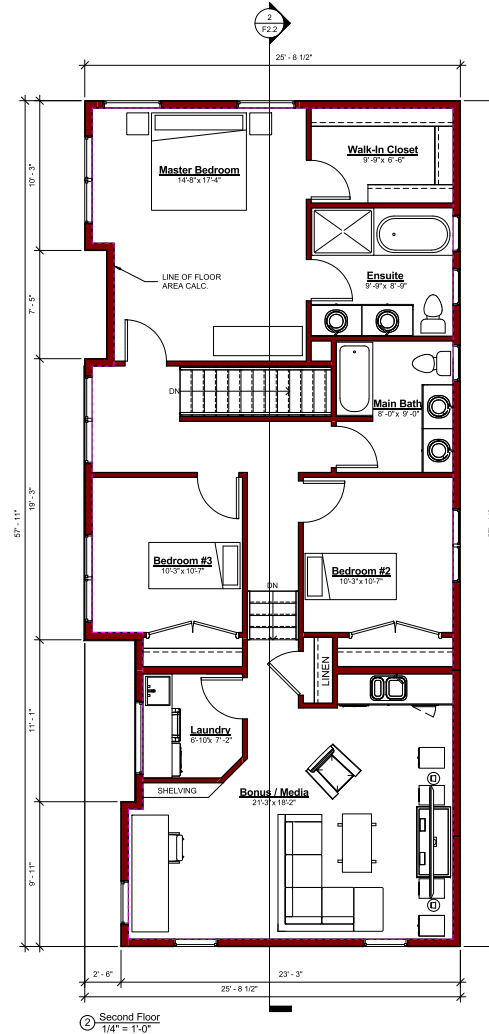
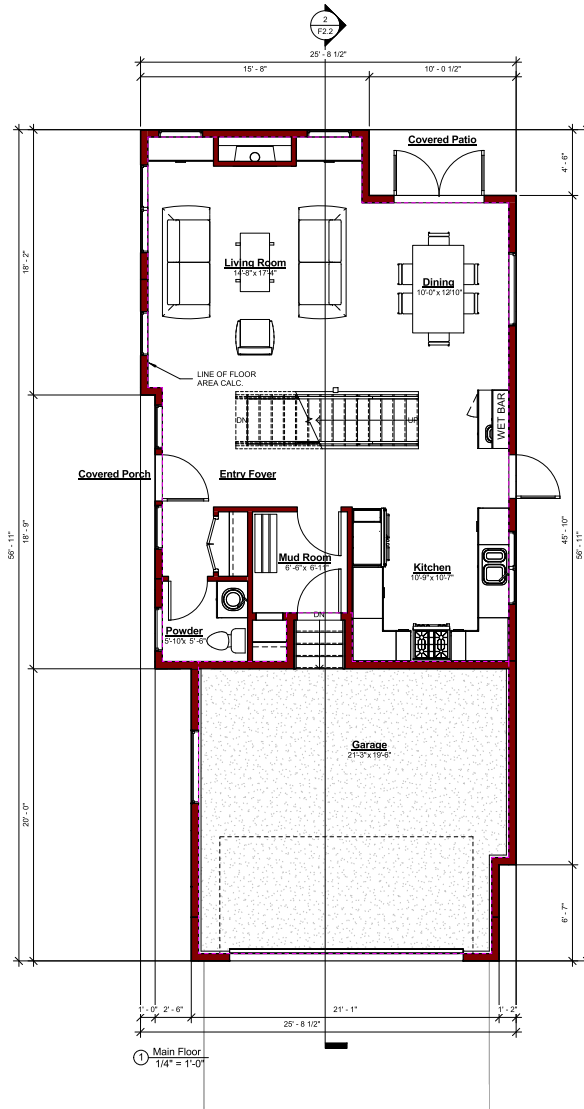
Ryan Hoyt Designs Inc.
Suite 207, 4475 Viewmont Ave.
Victoria, BC V8Z 6L8

250.999.9893
info@ryanhoytdesigns.com

Project: 1421 Fairfield Rd.	Sheet Title: Strata Lot F - Cover Sheet
--------------------------------	---

Project No.: 15115

Sheet: **F0.0** 



FLOOR AREA	
BASEMENT:	688 SF
MAIN:	823 SF
UPPER:	1294 SF
TOTAL:	2805 SF
GARAGE:	408 SF

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET



- GENERAL NOTES
- All drawings, plans, sections, details, specifications and other documents prepared by Ryan Hoyt Design Inc. (RHDI) and used in connection with this project are the property of RHDI and shall remain the property of RHDI. No part of this drawing shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RHDI.
 - It is the responsibility of the Contractor to verify all dimensions, quantities, and materials shown on these drawings are applicable to the project and the permit with the City of Victoria. The Contractor shall verify the dimensions of any existing structure or structure shown on these drawings with the City of Victoria and as such are not to be used for any other purpose.
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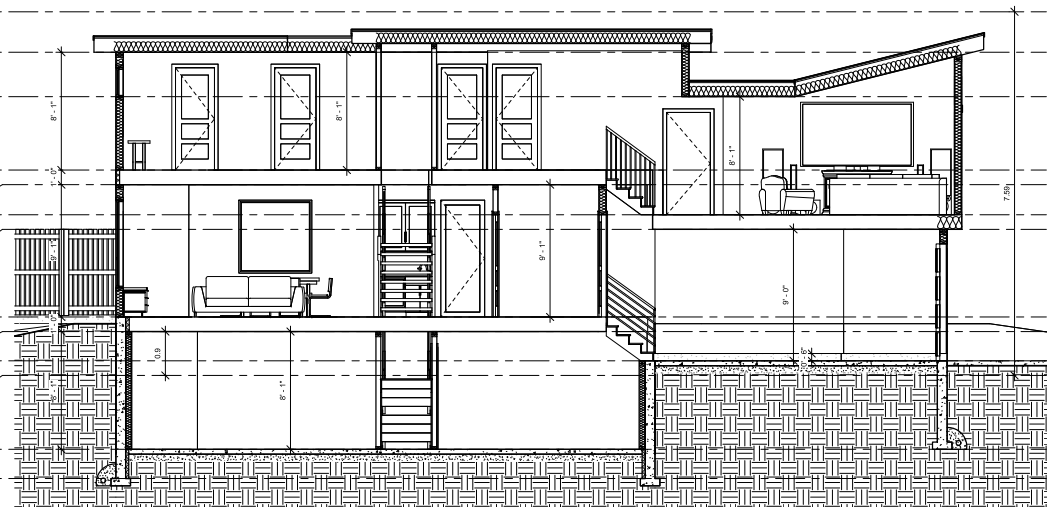
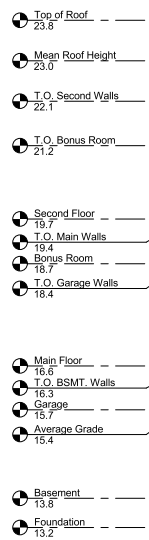
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15-Dec-16	Dev. Permit Resubmission	RH	2
16-Apr-15	Dev. Permit Resubmission	RH	3
16-Apr-15	Dev. Permit Resubmission	RH	4
17-Apr-15	Dev. Permit Resubmission	RH	5
17-Apr-15	Dev. Permit Resubmission	RH	6
17-Apr-15	Dev. Permit Resubmission	RH	7
17-Apr-15	Dev. Permit Resubmission	RH	8
17-Apr-15	Dev. Permit Resubmission	RH	9

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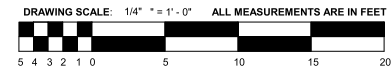
Project: 1421 Fairfield Rd.
 Sheet Title: Strata Lot F - Floor Plans

Project No.: 15115

Sheet: F2.1



FLOOR AREA	
BASEMENT:	688 SF
MAIN:	823 SF
UPPER:	1294 SF
TOTAL:	<u>2805 SF</u>
GARAGE:	408 SF

[illegible]

Date:	Description:	By:	No.:
16Dec16	Dev. Permit Reacquisition	RH	2
16Dec16	Dev. Permit Reacquisition	RH	2
16Apr02	Dev. Permit Reacquisition	RH	4
16Apr02	Dev. Permit Reacquisition	RH	4
17Feb07	Dev. Permit Reacquisition	RH	5
17Apr05	Dev. Permit Reacquisition	RH	6
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17Sept11	Dev. Permit Reacquisition	RH	8
17Sept28	Dev. Permit Reacquisition	RH	9

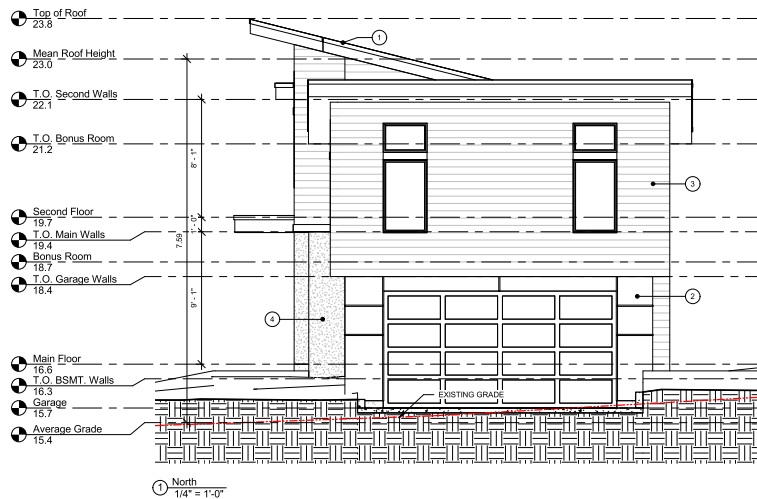
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info@ryanhoytdesigns.com
www.ryanhoytdesigns.com

Project: 1421 Fairfield Rd.	Sheet Title: Strata Lot F - Floor Plan & Section
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Project No.: 15115

Sheet: **F2.2** 



ELEVATION NOTES LEGEND	
1	2 PLY MODIFIED BITUMEN ROOFING SYSTEM
2	FIBRE CEMENT PANEL CW EASY TRIM
3	FINE LINE WOOD SIDING
4	ACRYLIC STUCCO



GENERAL NOTES

1. All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Design (RHD) and used in connection with this project shall be the property of RHD and shall remain the property of RHD under the terms of the license agreement. RHD reserves the right to use any and all information contained herein for any and all purposes.

2. It is the responsibility of the Contractor to verify all dimensions, materials and construction methods applicable to the project and the project team. The Contractor shall verify the design of any items, materials or components identified within the drawings and to the satisfaction of the project team. The Contractor shall be responsible for the coordination and construction of the design, including the coordination of the design, construction and materials. The Contractor shall be responsible for the coordination and construction of the design, including the coordination of the design, construction and materials.

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Comments:

Date:

Description:

By:

No.:

15-Dec-16

Dev. Permit Resubmission

RH

2

16-Apr-15

Dev. Permit Resubmission

RH

3

16-Apr-15

Dev. Permit Resubmission

RH

4

17-Apr-15

Dev. Permit Resubmission

RH

5

17-Apr-15

Dev. Permit Resubmission

RH

6

17-Apr-15

Dev. Permit Resubmission

RH

7

17-Apr-15

Dev. Permit Resubmission

RH

8

17-Apr-15

Dev. Permit Resubmission

RH

9

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Project:

1421 Fairfield Rd.

Project No.:

15115

Sheet:

F4.1

Sheet Title:

Strata Lot F - Elevations



ELEVATION NOTES LEGEND	
①	2 PLY MODIFIED BITUMEN ROOFING SYSTEM
②	FIBRE CEMENT PANEL C/W EASY TRIM
③	FINELINE WOOD SIDING
④	ACRYLIC STUCCO



GENERAL NOTES

- All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Design (RHD) and used in connection with this project shall be subject to the terms and conditions of the RHD contract and as such are to be used only for the project and on the site and are not to be used for any other project or for any other purpose. The RHD contract shall govern the interpretation of the drawings and specifications and the RHD contract shall govern the interpretation of the drawings and specifications and the RHD contract shall govern the interpretation of the drawings and specifications.
- It is the responsibility of the Contractor to verify all dimensions, materials and quantities and to ensure that the work is completed in accordance with the drawings and specifications and the RHD contract. The Contractor shall verify the dimensions and quantities and the RHD contract shall govern the interpretation of the drawings and specifications and the RHD contract shall govern the interpretation of the drawings and specifications.
- The Contractor shall work with all C.O.B. to verify the dimensions and quantities and to ensure that the work is completed in accordance with the drawings and specifications and the RHD contract. The Contractor shall verify the dimensions and quantities and the RHD contract shall govern the interpretation of the drawings and specifications and the RHD contract shall govern the interpretation of the drawings and specifications.
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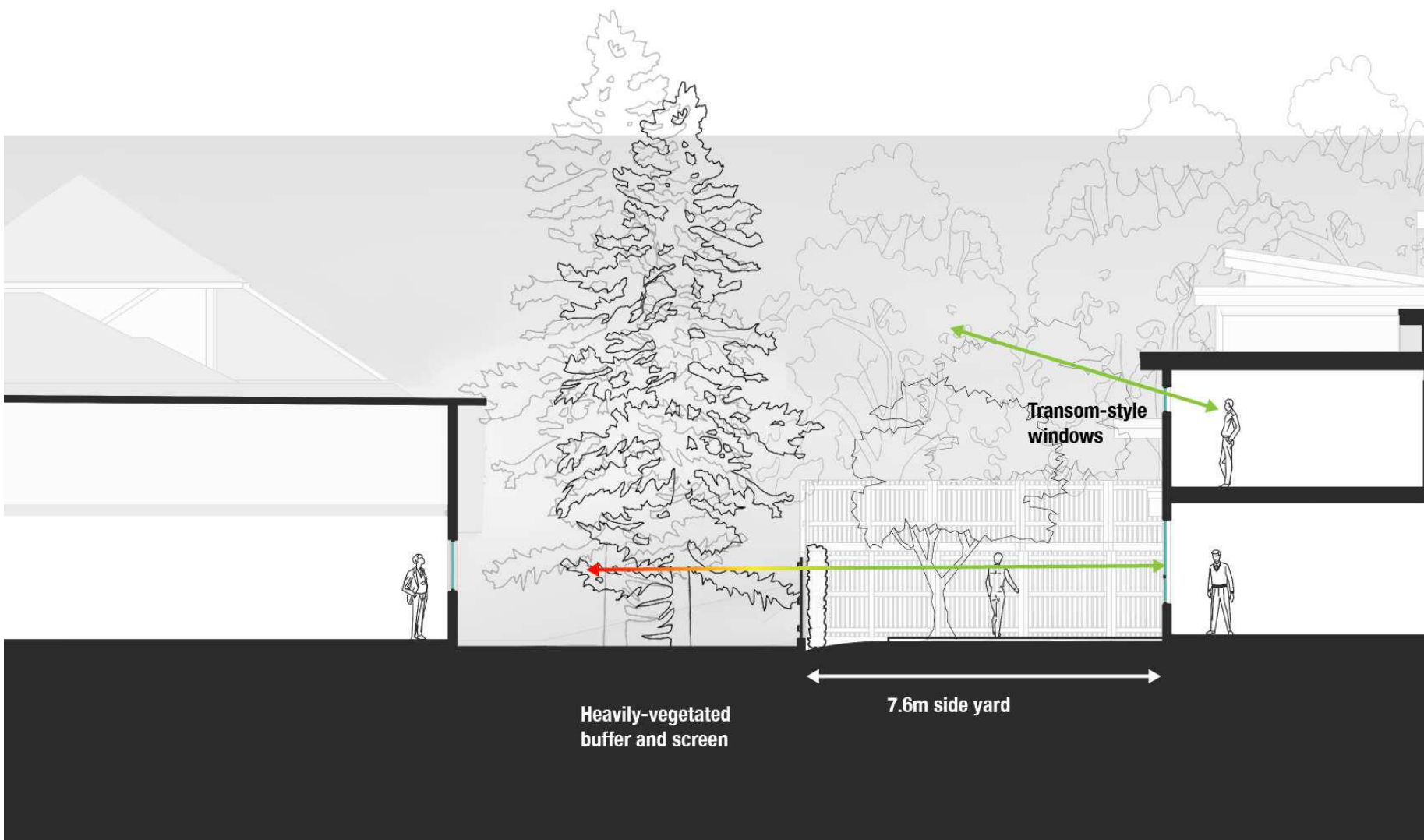
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16/Apr/15	Dev. Permit Resubmission	RH	4
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17/Apr/15	Dev. Permit Resubmission	RH	6
17/Apr/15	Dev. Permit Resubmission	RH	7
17/Apr/15	Dev. Permit Resubmission	RH	8
17/Apr/15	Dev. Permit Resubmission	RH	9

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 www.ryanhoytdesigns.com

Project: 1421 Fairfield Rd.
 Sheet Title: Strata Lot F - Elevations

Project No.: 15115

Sheet: F4.2



Heavily-vegetated
buffer and screen

7.6m side yard

Transom-style
windows

- GENERAL NOTES
1. All drawings, plans, sections, elevations, specifications and other documents prepared by Ryan Hoyt Design Inc. (RHDI) and used in connection with the project are the property of RHDI and shall remain the property of RHDI. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of RHDI.
 2. It is the responsibility of the Contractor to verify all dimensions, materials, and other information as applicable to the project and the proposed work. The Contractor shall verify the dimensions of any existing structure or other information identified within the drawings prior to commencement of the work. The Contractor shall be responsible for the accuracy and coordination of the drawings, and shall be responsible for any discrepancies between the drawings and the actual site conditions. The Contractor shall be responsible for any discrepancies between the drawings and the actual site conditions, and shall be responsible for any discrepancies between the drawings and the actual site conditions.
 3. The Contractor shall work with all C.O.S. to verify all dimensions, materials, and other information as applicable to the project and the proposed work. The Contractor shall be responsible for the accuracy and coordination of the drawings, and shall be responsible for any discrepancies between the drawings and the actual site conditions. The Contractor shall be responsible for any discrepancies between the drawings and the actual site conditions, and shall be responsible for any discrepancies between the drawings and the actual site conditions.
 4. The Contractor shall engage a Professional Engineer (P.E.) to provide all the necessary engineering and design services for the project. The Contractor shall be responsible for the accuracy and coordination of the drawings, and shall be responsible for any discrepancies between the drawings and the actual site conditions. The Contractor shall be responsible for any discrepancies between the drawings and the actual site conditions, and shall be responsible for any discrepancies between the drawings and the actual site conditions.

Date:	Description:	By:	No.:
15/Dec/16	Dev. Permit Resubmission	RH	2
16/Jan/17	Dev. Permit Resubmission	RH	3
16/Jan/17	Dev. Permit Resubmission	RH	4
17/Apr/17	Dev. Permit Resubmission	RH	5
17/Apr/17	Dev. Permit Resubmission	RH	6
17/Apr/17	Dev. Permit Resubmission	RH	7
17/Apr/17	Dev. Permit Resubmission	RH	8
17/Apr/17	Dev. Permit Resubmission	RH	9

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Project: 1421 Fairfield Rd.
 Sheet Title: Strata Lot F - Privacy View

Project No.: 15115

Sheet: F5.1



GENERAL NOTES:

1. All drawings, plans, models, designs, specifications and other documents prepared by Ryan Hoyt Design (RHD) are subject to review and approval by the City of Victoria and the Province of British Columbia. The City of Victoria and the Province of British Columbia are not responsible for any errors or omissions in the drawings, plans, models, designs, specifications and other documents prepared by RHD. The City of Victoria and the Province of British Columbia are not responsible for any errors or omissions in the drawings, plans, models, designs, specifications and other documents prepared by RHD. The City of Victoria and the Province of British Columbia are not responsible for any errors or omissions in the drawings, plans, models, designs, specifications and other documents prepared by RHD.
2. It is the responsibility of the Contractor to verify all dimensions, materials, and the construction of the project. The Contractor shall verify the dimensions of any existing structures or structures identified within the drawings prior to construction of the work. The Contractor shall verify the dimensions of any existing structures or structures identified within the drawings prior to construction of the work. The Contractor shall verify the dimensions of any existing structures or structures identified within the drawings prior to construction of the work.
3. The Contractor shall work with a B.C.S. to verify structural elements, including the foundation, prior to commencing the work. RHD is not responsible for any structural elements, including the foundation, prior to commencing the work. RHD is not responsible for any structural elements, including the foundation, prior to commencing the work. RHD is not responsible for any structural elements, including the foundation, prior to commencing the work.
4. The Contractor shall engage a Professional Engineer (PE) to review the drawings and specifications for compliance with the Building Code of Canada and the Building Code of British Columbia. The Contractor shall verify the PE's review of the drawings and specifications for compliance with the Building Code of Canada and the Building Code of British Columbia. The Contractor shall verify the PE's review of the drawings and specifications for compliance with the Building Code of Canada and the Building Code of British Columbia.

Date:	Description:	By:	No.:
15-Dec-16	Dev. Permit Resubmission	RH	2
16-Apr-15	Dev. Permit Resubmission	RH	3
16-Apr-15	Dev. Permit Resubmission	RH	4
17-Feb-07	Dev. Permit Resubmission	RH	5
17-Feb-07	Dev. Permit Resubmission	RH	6
17-Feb-07	Dev. Permit Resubmission	RH	7
17-Feb-07	Dev. Permit Resubmission	RH	8
17-Feb-07	Dev. Permit Resubmission	RH	9

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Project: 1421 Fairfield Rd.
Sheet Title: Development Perspective

Project No. 15115

Sheet: G0.0