

PROJECT LOCATION



LEGAL ADDRESS

530 MICHIGAN STREET VICTORIA B.C. PID: 029-737-524
LOT 3, DISTRICT LOTS 1732-1741 INCLUSIVE, VICTORIA CITY, PLAN EPP54040.

PROJECT TEAM

OWNERS

CONCERT PROPERTIES LTD.
1180 Henshu St, Vancouver, BC V6Z 2K5
Contact: Craig Walters
604.688.9460
concertproperties.com

JAWL DEVELOPMENT CORPORATION
3350 Douglas St, Victoria, BC V8Z 3L1
Contact: Roben Jawl
250.414.4173
jawldevelopment.com

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Taichi Azegami
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Grant Brumpton
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STRUCTURAL ENGINEER

RJC CONSULTING ENGINEERS
Suite 220 - 645 Tyee Road, Victoria, BC V8A 6X5
Contact: Bruce Johnson

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INTEGRAL GROUP
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Contact: Goran Ostojic

ELECTRICAL ENGINEER

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Contact: Sunny Ghataura
Jay Singh

CIVIL ENGINEER

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Contact: Stephen Childs

CODE CONSULTANT

GHL CONSULTANTS
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Contact: David Graham

TRAFFIC ENGINEER

BUNT & ASSOCIATES ENGINEERING
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Contact: Jason Porter

LEED CONSULTANT

INTEGRAL GROUP
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Contact: Kevin Welsh

LAND SURVEYOR

POWELL & ASSOCIATES
250 - 2950 Douglas Street, Victoria, BC V8T 4N4
Contact: James Winters

DRAWING LIST

LANDSCAPE

AD 01 COVER
AD 02 CONTEXT / LOCATION PLAN
AD 03 EXISTING SITE PLAN WITH
AD 04 SURVEY UNDERLAY
AD 05 EXISTING STREETScape IMAGES
AD 06 PROPOSED SITE PLAN &
AD 07 PROJECT INFORMATION TABLE
AD 08 OVERALL P1 PARKADE PLAN &
AD 09 PARKING INFORMATION TABLE
AD 10 OVERALL P1 MEZZANINE PLAN
AD 11 OVERALL LEVEL 1 PLAN
AD 12 OVERALL LEVEL 2 PLAN
AD 13 OVERALL LEVEL 3 PLAN
AD 14 OVERALL LEVEL 4 PLAN
AD 15 OVERALL LEVEL 5 PLAN
AD 16 OVERALL PENTHOUSE LEVEL PLAN
AD 17 OVERALL ROOF PLAN
AD 18 OVERALL SITE ELEVATIONS
AD 19 OVERALL SITE SECTIONS

A1 01 BUILDING C - LEVEL P1 PLAN
A1 02 BUILDING C - LEVEL P1 MEZZANINE PLAN
A1 03 BUILDING C - LEVEL 1 PLAN
A1 04 BUILDING C - LEVEL 2 PLAN
A1 05 BUILDING C - LEVEL 3 PLAN
A1 06 BUILDING C - LEVEL 4 PLAN
A1 07 BUILDING C - PENTHOUSE LEVEL
A1 08 PARTIAL PLAN AND ROOF PLAN

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A1 11 NORTHWEST ELEVATIONS
A1 12 BUILDING C - PARTIAL NORTHEAST & EAST
A1 13 ELEVATIONS
A1 14 BUILDING C - SOUTH & WEST
A1 15 ELEVATIONS
A1 16 BUILDING C - SECTIONS
A1 17 BUILDING C - PARTIAL PLANS, ELEVATION,
A1 18 MATERIALS & WALL SECTION

A2 01 BUILDING D & E - LEVEL P1 PLAN
A2 02 BUILDING D & E - LEVEL P1 MEZZANINE
A2 03 PLAN
A2 04 BUILDING D & E - LEVEL 1 PLAN
A2 05 BUILDING D & E - LEVEL 2 PLAN
A2 06 BUILDING D & E - LEVEL 3 PLAN
A2 07 BUILDING D - LEVEL 4 PLAN, BUILDING E -
A2 08 ROOF PLAN
A2 09 BUILDING D - LEVEL 5 PLAN
A2 10 BUILDING D - PENTHOUSE LEVEL PLAN
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A2 10 BUILDING D - NORTH & SOUTH
A2 11 ELEVATIONS
A2 12 BUILDING D - EAST ELEVATION & SECTION
A2 13 BUILDING E - NORTH AND SOUTH
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A2 16 SECTIONS
A2 17 BUILDING D - PARTIAL ELEVATIONS &
A2 18 MATERIALS
A2 19 BUILDING D - PARTIAL PLANS & WALL
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A3 03 PERSPECTIVE VIEWS
A3 04 3D MODEL BUILDING D
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A4 01 SHADOW ANALYSIS
A4 02 CPTED / SAFETY & SECURITY PROVISIONS
A4 03 WAYFINDING CONCEPT PLAN
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SURVEY PLAN

LANDSCAPE

LDP 0.09 COVER PAGE
LDP 00.1 RENDERED PLAN & LEGENDS
LDP 00.2 TREE MANAGEMENT PLAN

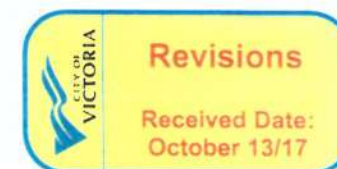
LDP 1.00 MATERIALS AND GRADING
BUILDING C - LEVEL 1
LDP 1.01 MATERIALS AND GRADING
BUILDING C - LEVEL 2
LDP 1.02 MATERIALS AND GRADING
BUILDING D & E - LEVEL 1
LDP 1.03 MATERIALS AND GRADING
BUILDING D & E - LEVEL ROOF

LDP 2.00 PLANTING PLAN
BUILDING C - LEVEL 1
LDP 2.01 PLANTING PLAN
BUILDING C - LEVEL 2
LDP 2.02 PLANTING PLAN
BUILDING D & E - LEVEL 1
LDP 2.03 PLANTING PLAN
BUILDING D & E - LEVEL ROOF

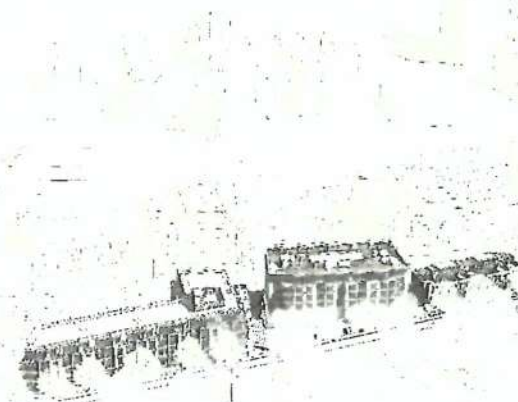
LDP 3.00 SECTIONS
BUILDING C, D & E

CIVIL

C.DP1 PROPOSED CURB ALIGNMENT
& LANE MARKINGS
C.DP2 CONCEPTUAL SITE SERVICING PLANS



REFER TO DEVELOPMENT PERMIT APPLICATION #000415 FOR
PHASE 1 AND 2 OF CAPITAL PARK DEVELOPMENT



CAPITAL PARK MIXED USE DEVELOPMENT PHASE 3

LEGISLATURE COMPREHENSIVE DISTRICT DEVELOPMENT AREA LP-2C, VICTORIA, B.C.

530, 550, & 560 MICHIGAN STREET, VICTORIA B.C., CANADA ISSUED FOR DEVELOPMENT PERMIT APPLICATION : AUGUST 21, 2017

DEVELOPMENT PERMIT AMENDMENT 2017 10 13



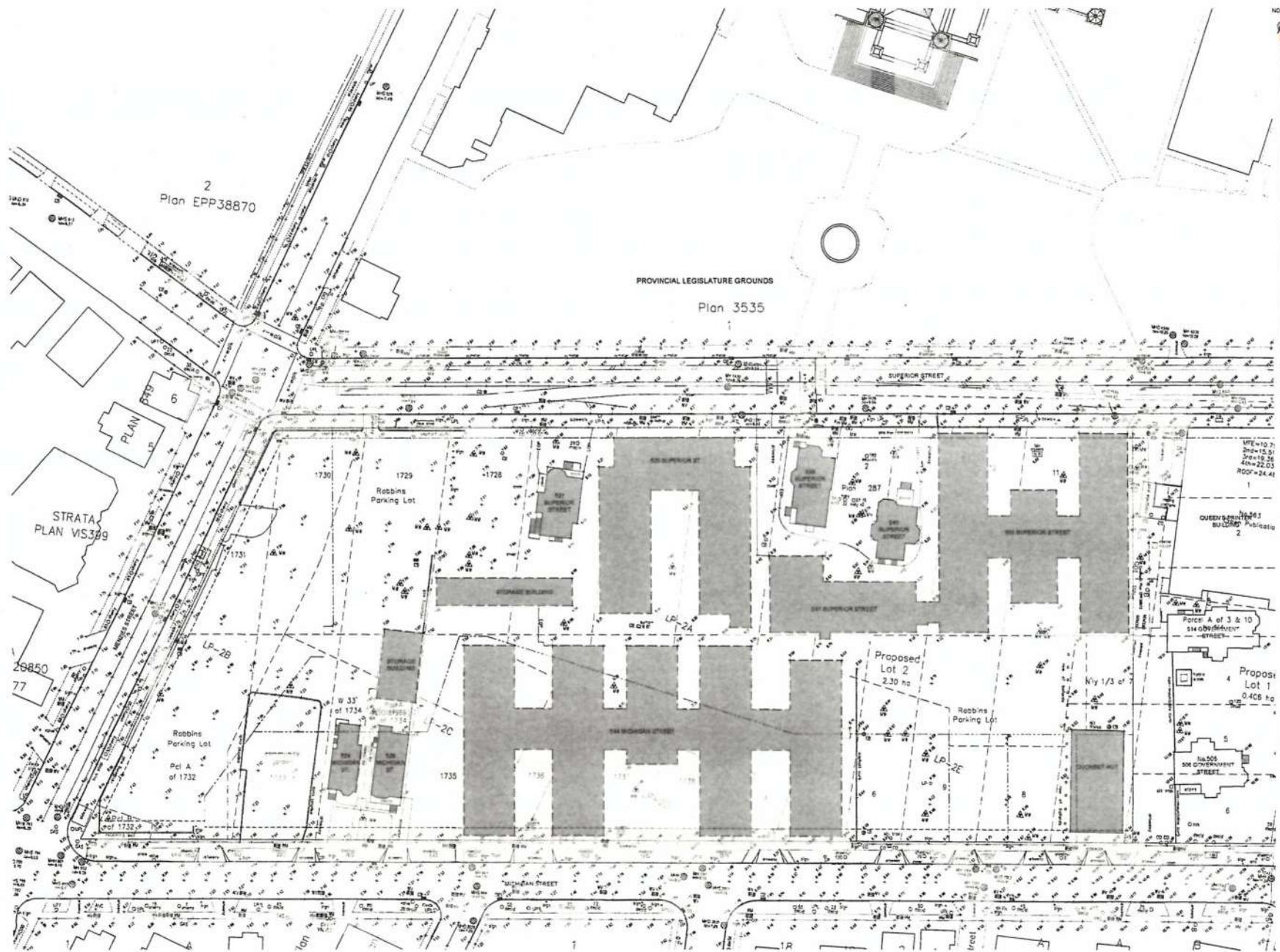
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5100 westmont street, westmont, bc, canada v6b 3c1
1.604.687.3300 www.eendall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530 560 MICHIGAN ST. VICTORIA B.C.
LOT 3 VICTORIA CITY, PLAN EPP54040
TITLE
**CONTEXT / LOCATION
PLAN**

PROJECT No. 1000-1
DATE 12-1-2009
SCALE 1:1000
DRAWN BY
CHECKED BY
REV. No.

SHEET No. **A0.01**



01 REVISIONS: 01/01/2014 2014 01/27/2014
02 REVISIONS: 01/01/2014 2014 01/27/2014
03 REVISIONS: 01/01/2014 2014 01/27/2014

SEAL

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9406 HURON STREET, VANCOUVER, BC, CANADA V6P 3A1
TEL: 604.681.2000 WWW.ENDALL-ELLIOT.COM

PROJECT
CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530-560 MICHIGAN ST VICTORIA B.C.
LOT 3 VICTORIA CITY PLAN EPP54910

TITLE
**EXISTING SITE PLAN
WITH SURVEY UNDERLAY**

PROJECT No: 3348-0
DATE: 17 AUGUST 2013
SCALE: 1:400
DRAWN BY:
CHECKED BY:
REV No:
SHEET No:

A0.02



MENZIES STREET - EAST SIDE
N.T.S. ①



SUPERIOR STREET - SOUTH SIDE
N.T.S. ②



MICHIGAN STREET - NORTH SIDE
N.T.S. ③

80 800-0000 1000-0000 1000-0000
82 800-0000 1000-0000 1000-0000
84 800-0000 1000-0000 1000-0000
86 800-0000 1000-0000 1000-0000
88 800-0000 1000-0000 1000-0000
90 800-0000 1000-0000 1000-0000
92 800-0000 1000-0000 1000-0000
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98 800-0000 1000-0000 1000-0000
100 800-0000 1000-0000 1000-0000

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800-0000 street, vanouver, bc, canada v6b 3c1
1804 687 3008 phone 604.687.3008

PROJECT
CAPITAL PARK

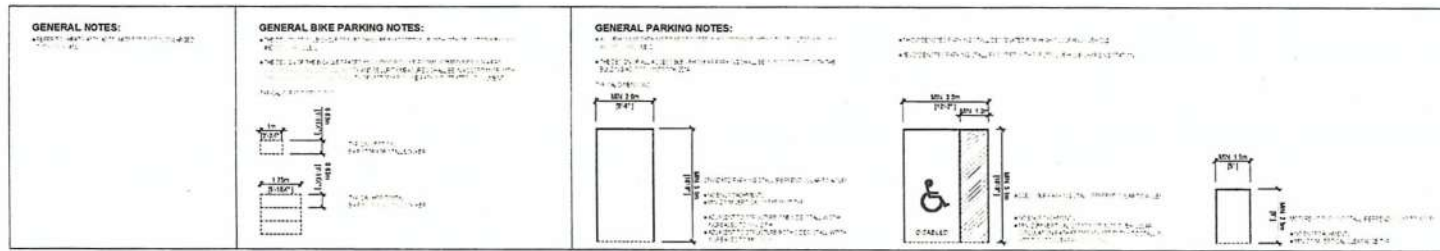
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C

530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP4 in 10

EXISTING STREETSCAPE
IMAGES

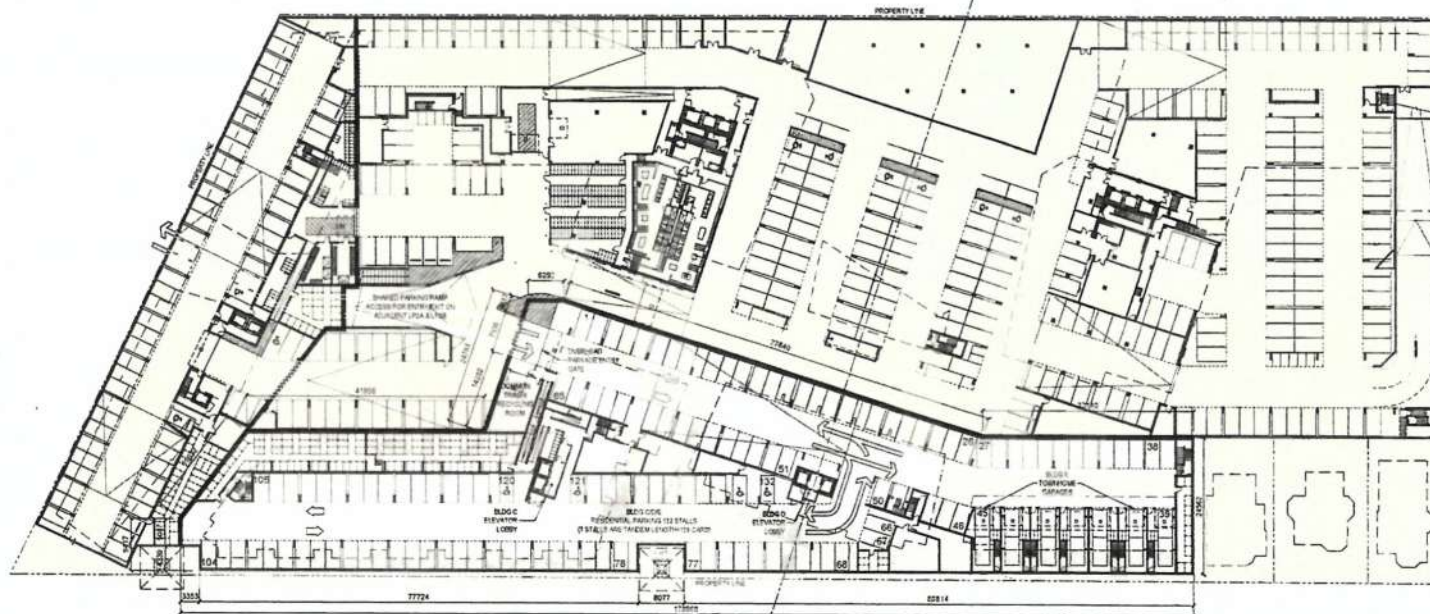
PROJECT No 2288 G
DATE 07 August 2022
SCALE NTS
DRAWN BY
REV No
SHEET No

A0.03



PARKING INFORMATION TABLE	DEVELOPMENT AREA LP-2A		DEVELOPMENT AREA LP-2B	DEVELOPMENT AREA LP-2C
	PHASE 1	PHASE 2	TOTAL	TOTAL
STANDARD PARKING STALLS				128
ACCESSIBLE PARKING STALLS				4
ELECTRIC CHARGING STALLS				0
TOTAL PARKING STALLS				132
STALL TYPE				
CLASS 1 BIKE STALLS				129
CLASS 2 BIKE STALLS				22
TOTAL BIKE STALLS				151

NOTES:
 A) PARKING PROVIDED AS PER ZONING REGULATION BY-LAW AMENDMENT BY-LAW NO. 1000 SCHEDULE 1 PARTS 12.1.12.1, 12.1.12.2, 12.1.12.3 & PART 12.1.12.4.
 B) 4 STALLS IN LOT 2A PARKADE WILL BE MADE AVAILABLE TO RESIDENTS OF DEVELOPMENT AREA LP-2A TO SUPPORT PARKING REQUIREMENTS OF DEVELOPMENT LOT LP-2D.



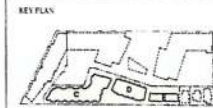
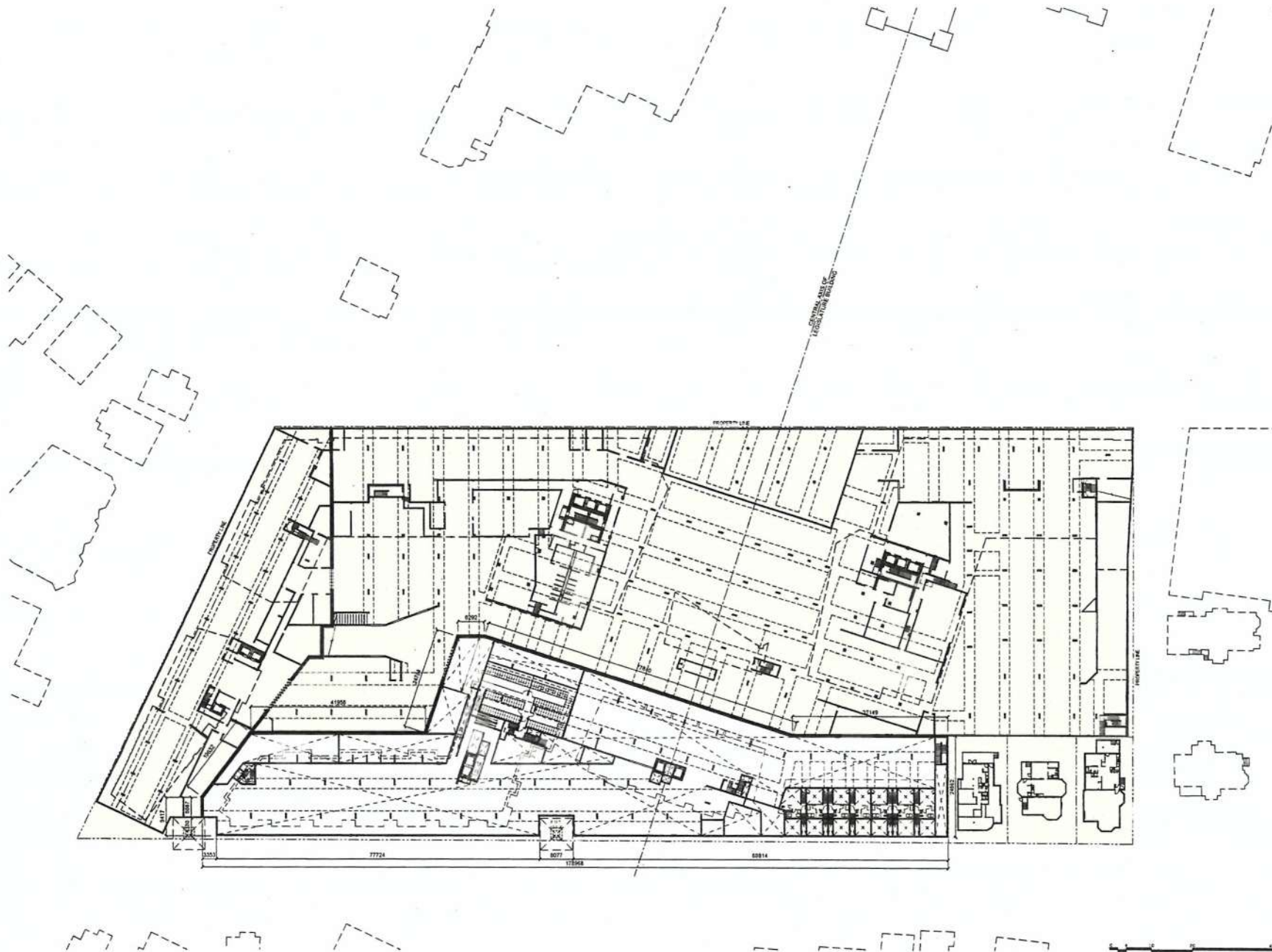
1. REZONING APPLICATION 2014-07-02
 2. DEVELOPMENT PERMIT APPLICATION 2014-08-11
 3. DEVELOPMENT PERMIT APPLICATION 2014-08-11
 4. DEVELOPMENT PERMIT APPLICATION 2014-08-11

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 604.687.3000 www.endall-elliott.com

PROJECT
CAPITAL PARK
 LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP-2C
 530 560 MICHIGAN ST. VICTORIA B.C.
 LOT 3, VICTORIA CITY, PLAN EPP51010
TITLE
OVERALL
P1 PARKADE PLAN & INFORMATION TABLE

PROJECT No. 10000
 DATE 11 October 2017
 SCALE 1:400
 DRAWN BY
 CHECKED BY
 REV. No.
 SHEET No.

A0.05



01 REVISIONS LIST (P.1) 2014.07.22
02 REVISIONS LIST (P.1) 2014.07.22
03 REVISIONS LIST (P.1) 2014.07.22

SEAL

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9100 Kennedy Road, Unit 100, Richmond, BC V6X 3C1
Tel: 604.271.2622 Fax: 604.271.2623

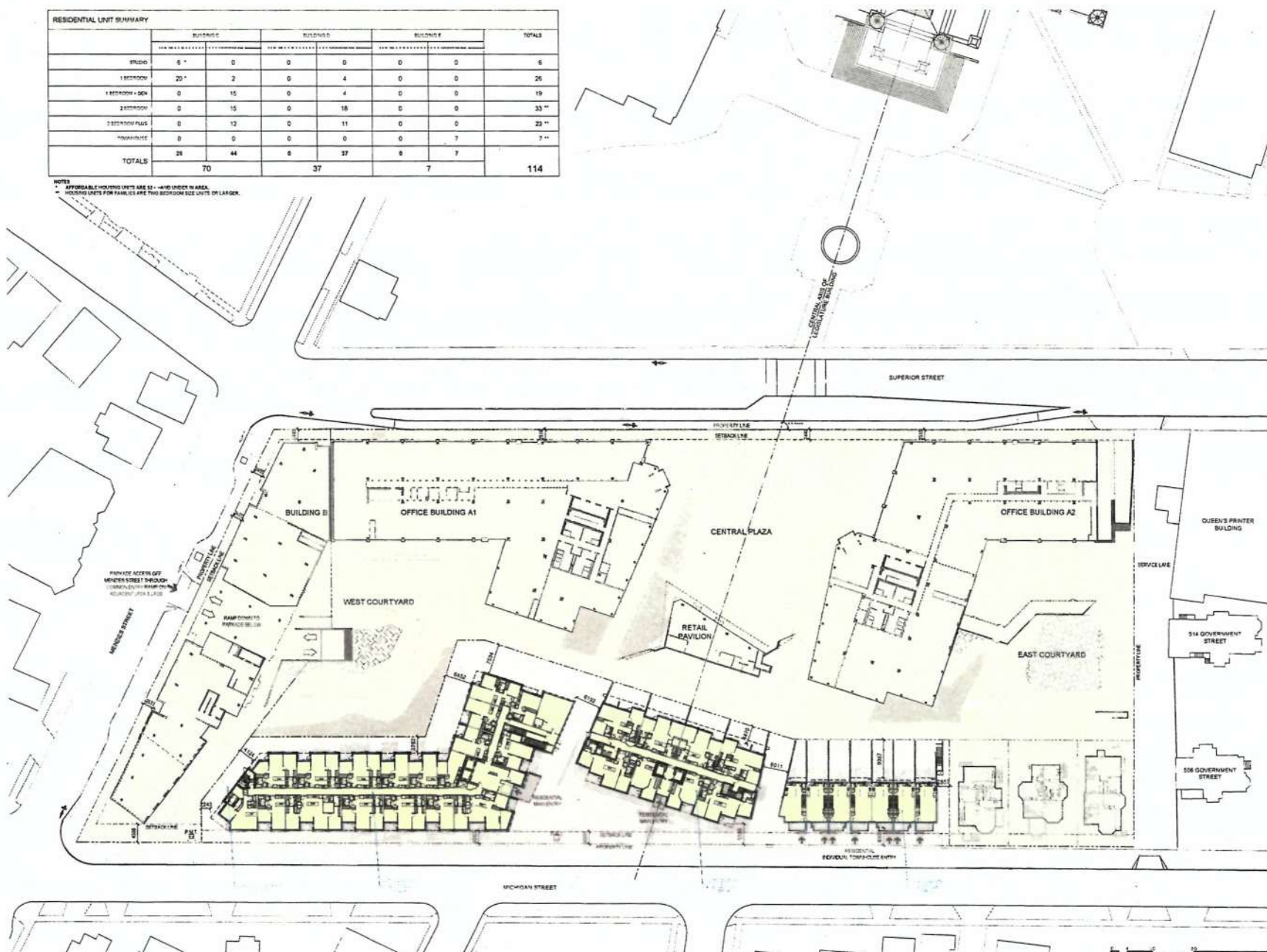
PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP DC
530.560 MICHIGAN ST. VICTORIA B.C.
LOT 3 VICTORIA CITY. PLAN EPPS4010
TITLE
**OVERALL
P1 MEZZANINE
PLAN**

PROJECT No: 3289
DATE: 17 August 2017
SCALE: 1:400
DRAWN BY:
CHECKED BY:
KEY No:
SHEET No:

A0.06

RESIDENTIAL UNIT SUMMARY							
	BUILDING C		BUILDING D		BUILDING E		TOTALS
	6' x 10' x 10' x 10'	10' x 10' x 10' x 10'	10' x 10' x 10' x 10'	10' x 10' x 10' x 10'	10' x 10' x 10' x 10'	10' x 10' x 10' x 10'	
STUDIO	6 "	0	0	0	0	0	6
1 BEDROOM	20 "	2	0	4	0	0	26
1 BEDROOM + DEN	0	15	0	4	0	0	19
2 BEDROOM	0	15	0	18	0	0	33 "
2 BEDROOM PLUS	0	12	0	11	0	0	23 "
PODHOUSE	0	0	0	0	0	7	7 "
TOTALS	26	44	0	37	0	7	114
	70		37		7		

NOTES:
 * AFFORDABLE HOUSING UNITS ARE 52' - 64" UNDER IN AREA.
 - HOUSING UNITS FOR FAMILIES ARE TWO BEDROOM SIZE UNITS OR LARGER.



01: 01/01/2017
 02: 01/01/2017
 03: 01/01/2017
 04: 01/01/2017

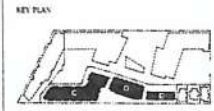
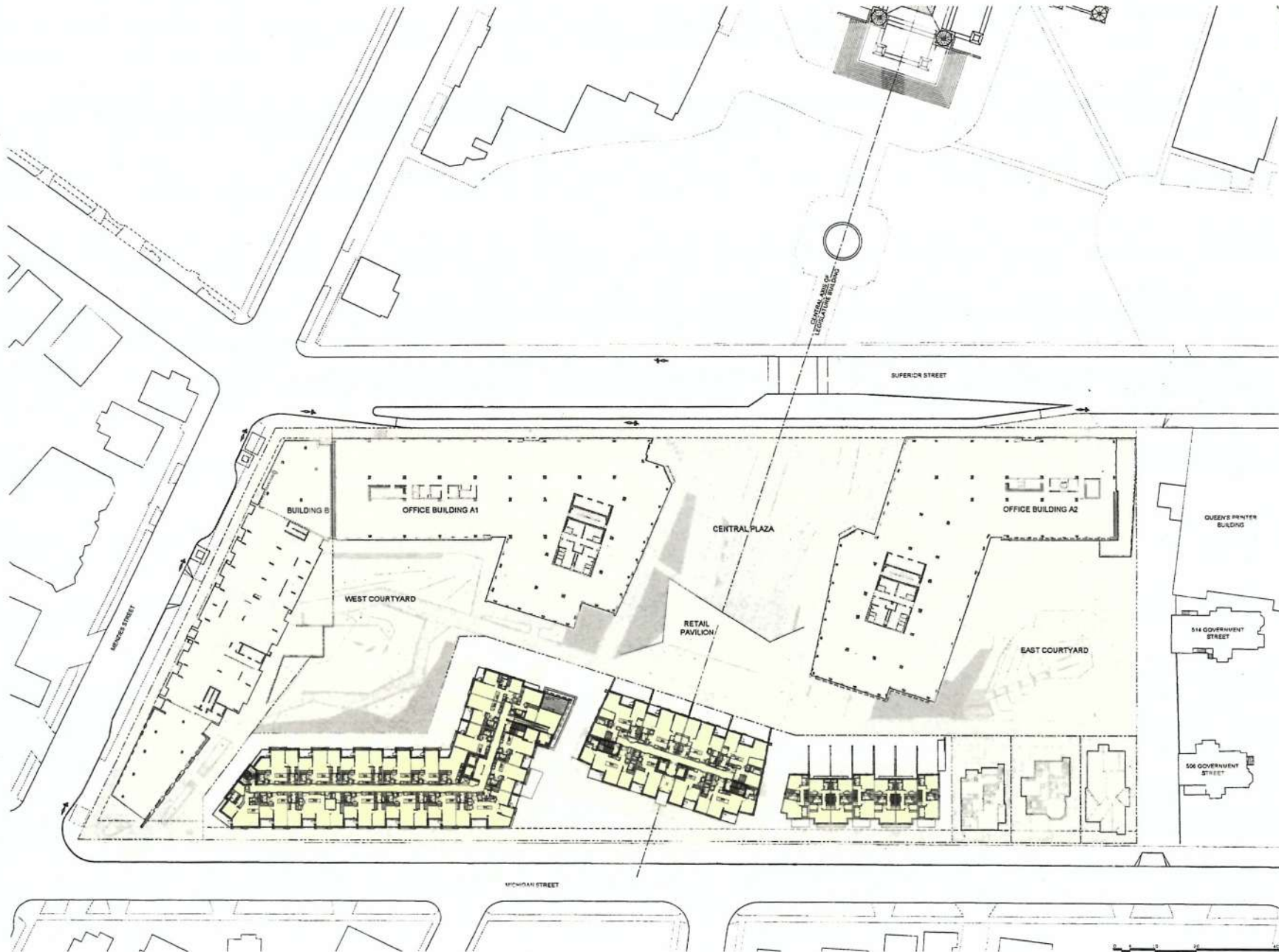
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PROJECT
CAPITAL PARK
 LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP-2C
 330-360 MICHIGAN ST. VICTORIA B.C.
 LOT 3, VICTORIA CITY. PLAN EPPS1040

TITLE
OVERALL
LEVEL 1 PLAN

PROJECT No: 3303 C
 DATE: 12 October 2017
 SCALE: 1:400
 DRAWN BY:
 CHECKED BY:
 REV No:
 SHEET No:

A0.07



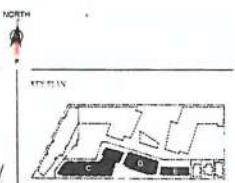
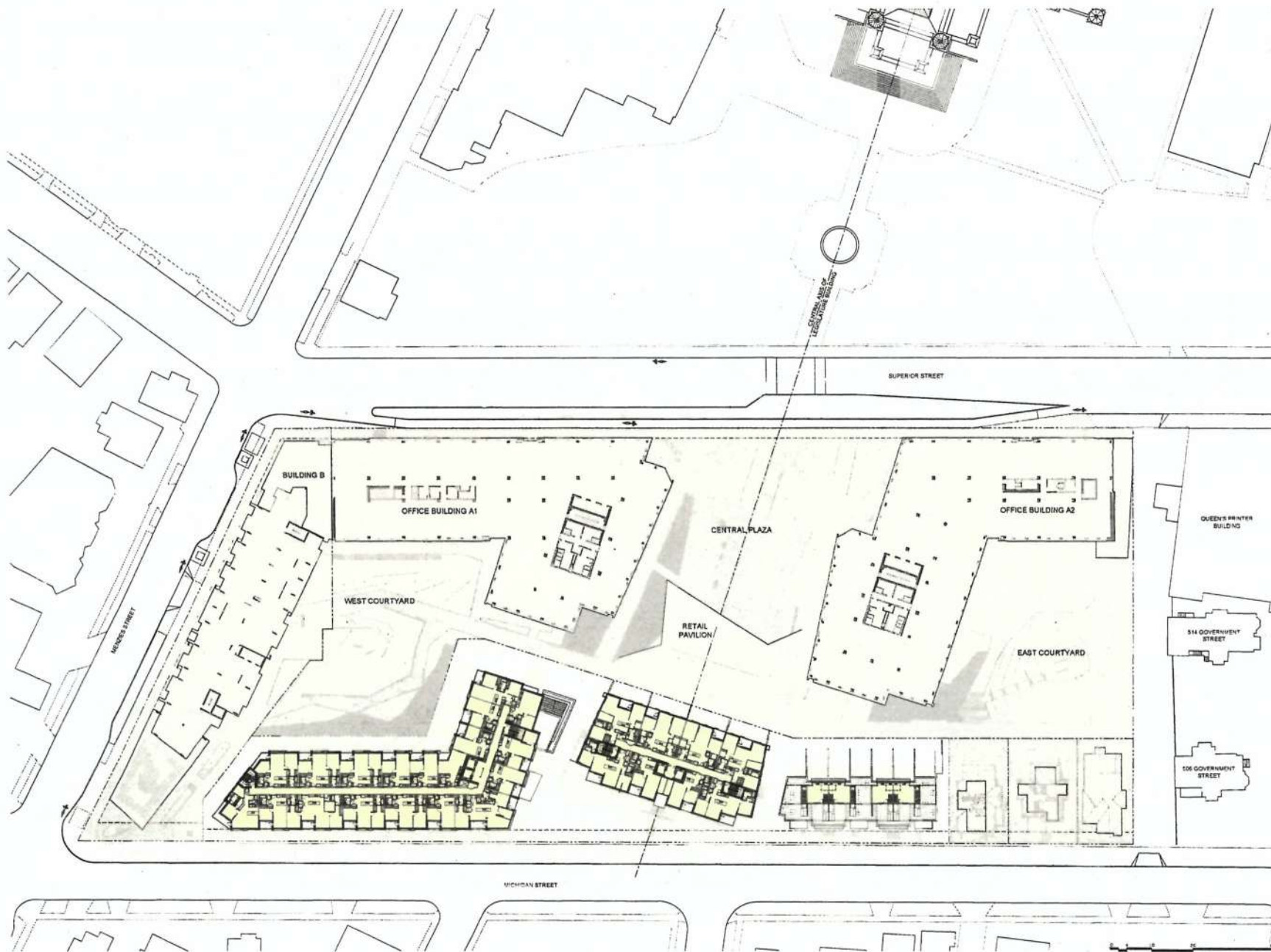
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100: 2014.07.22

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PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPPS 0150
TITLE
OVERALL
LEVEL 2 PLAN

PROJECT No. 10000
DATE 17 August 2012
SCALE 1:400
DRAWN BY
CHECKED BY
REV. No.
SHEET No.

A0.08



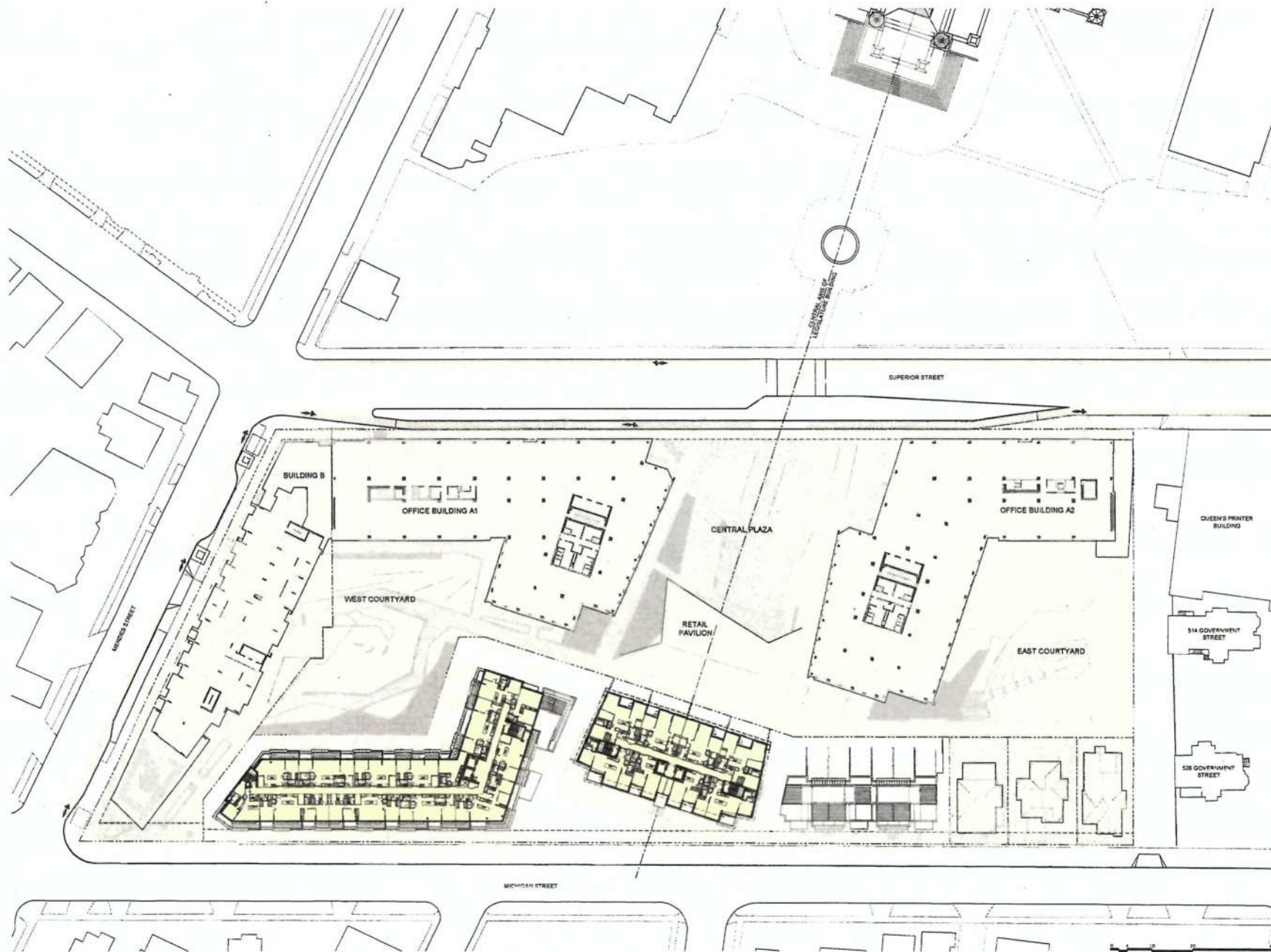
01 SITE PLAN
02 LEGISLATION APPLICATION
03 LEGISLATION APPLICATION
04 LEGISLATION APPLICATION
05 LEGISLATION APPLICATION
06 LEGISLATION APPLICATION
07 LEGISLATION APPLICATION
08 LEGISLATION APPLICATION
09 LEGISLATION APPLICATION
10 LEGISLATION APPLICATION

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PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 2C
530 560 MICHIGAN ST. VICTORIA B.C.
LOT 3 VICTORIA CITY, PLAN EPP94040
TITLE
OVERALL
LEVEL 3 PLAN

PROJECT No. 1000-4
DATE 17 August 2017
SCALE 1:400
DRAWN BY
CHECKED BY
REV. No.

SHEET No. **A0.09**



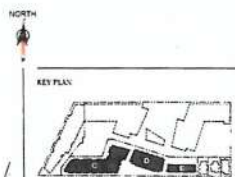
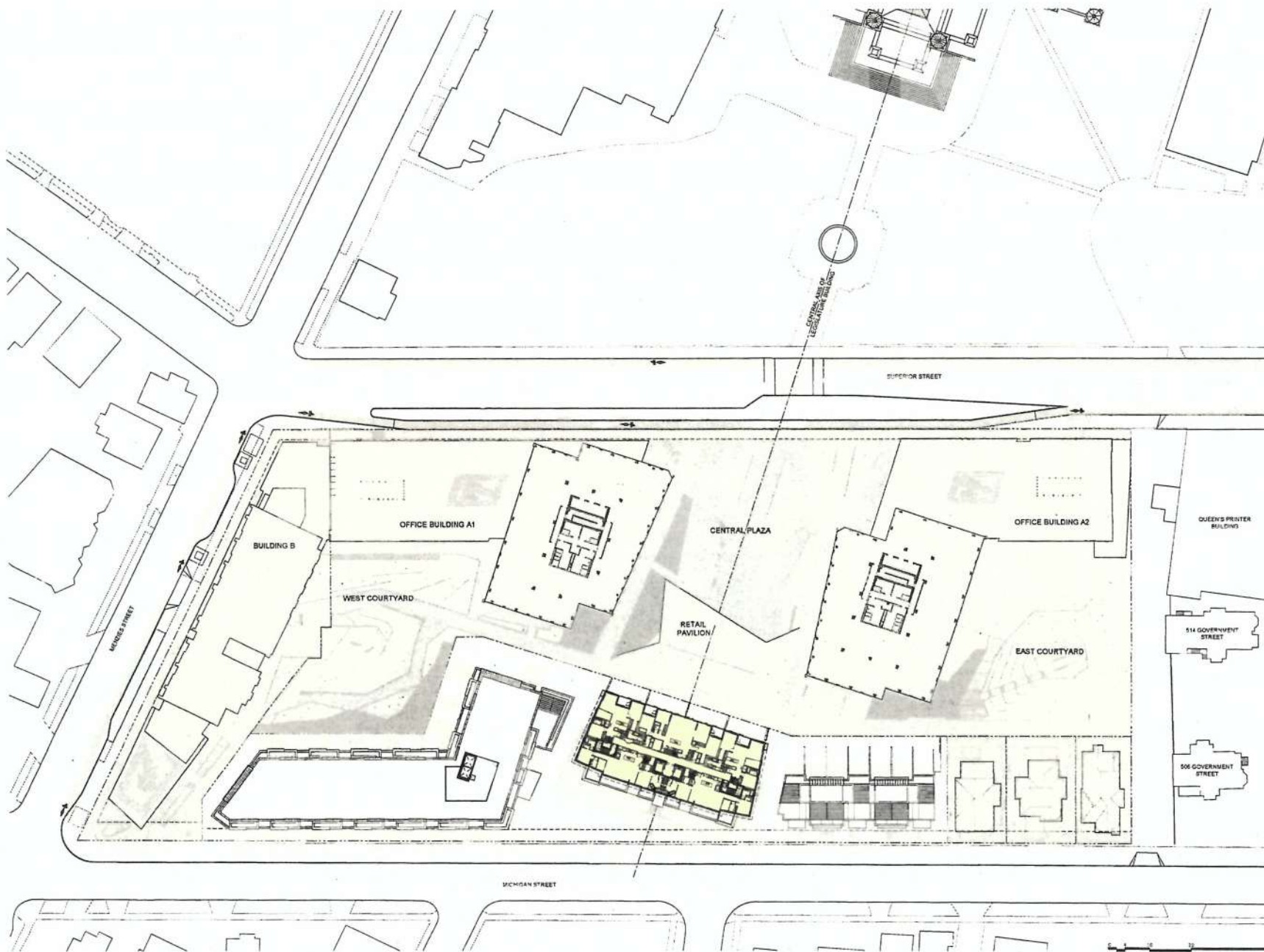
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PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 2C
330 560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY. PLAN EPPM 0101

TITLE
**OVERALL
LEVEL 4 PLAN**

PROJECT No 1000 0
DATE 17 August 2017
SCALE 1:400
DRAWN BY
CHECKED BY
REV No
SHEET No

A0.10



31 ENDALL ELLIOT ASSOCIATES 2014.07.27
 02 ARCHITECTURE DESIGN (LVL 5) 2017.08.21
 02 ARCHITECTURE DESIGN (LVL 5) 2017.08.21

SCALE

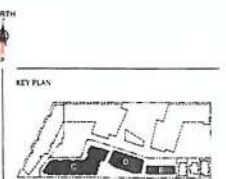
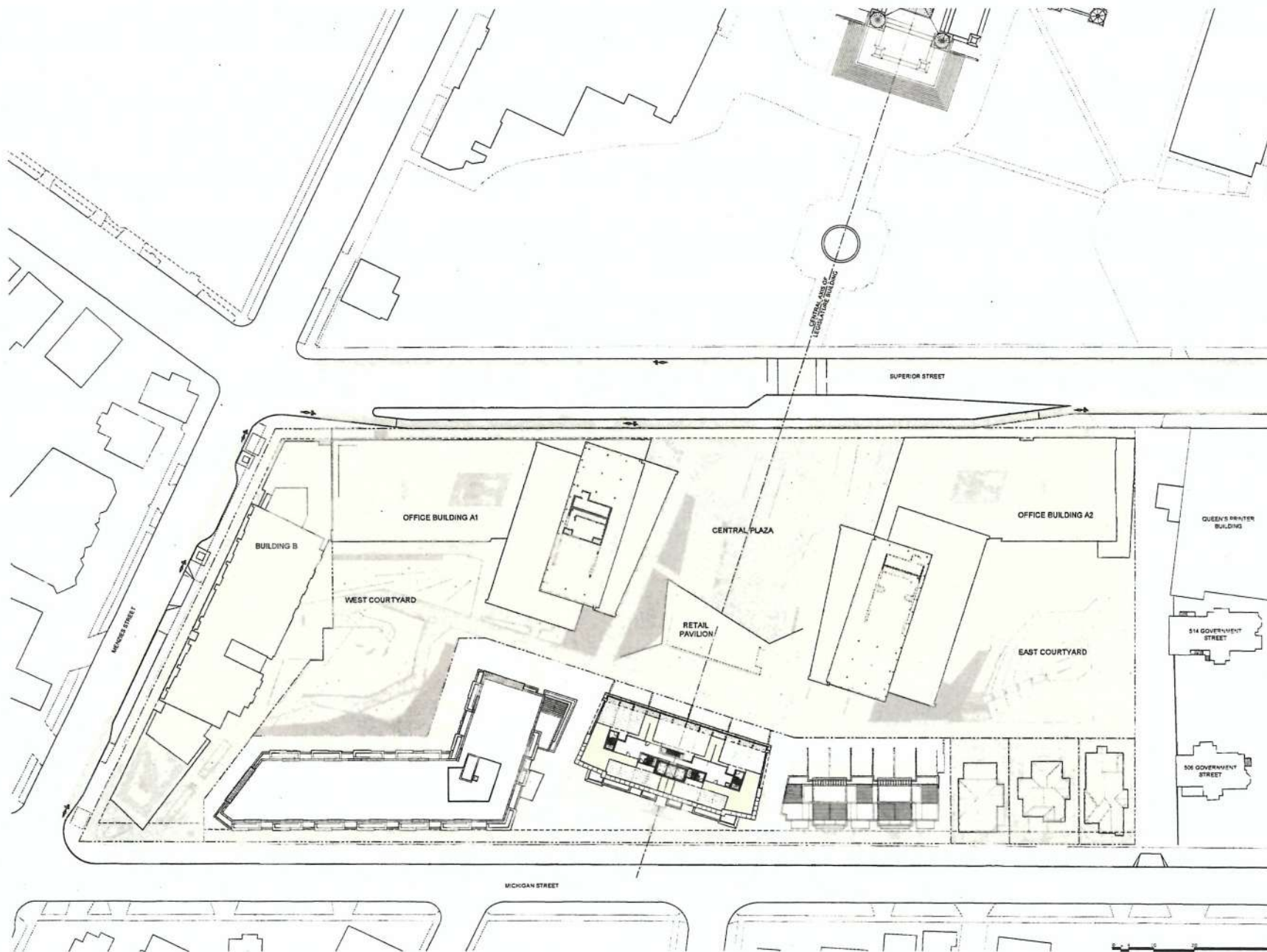
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 9100 richards street, vancouver, bc, canada v6b 3c1
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PROJECT
CAPITAL PARK
 LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP 2C
 530 560 MICHIGAN ST. VICTORIA, B.C.
 LOT 3, VICTORIA CITY, PLAN EPPH0001
 TITLE
**OVERALL
 LEVEL 5 PLAN**

PROJECT No 3384.9
 DATE 17 August 2017
 SCALE 1:400
 DRAWN BY
 CHECKED BY
 REV No

SHEET No

A0.11



01 EXISTING CONDITIONS 2016.02.21
02 DEVELOPMENT PERMIT APPLICATION 2017.09.21
ED-001

SEAL

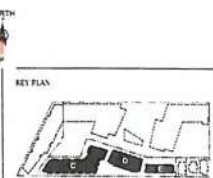
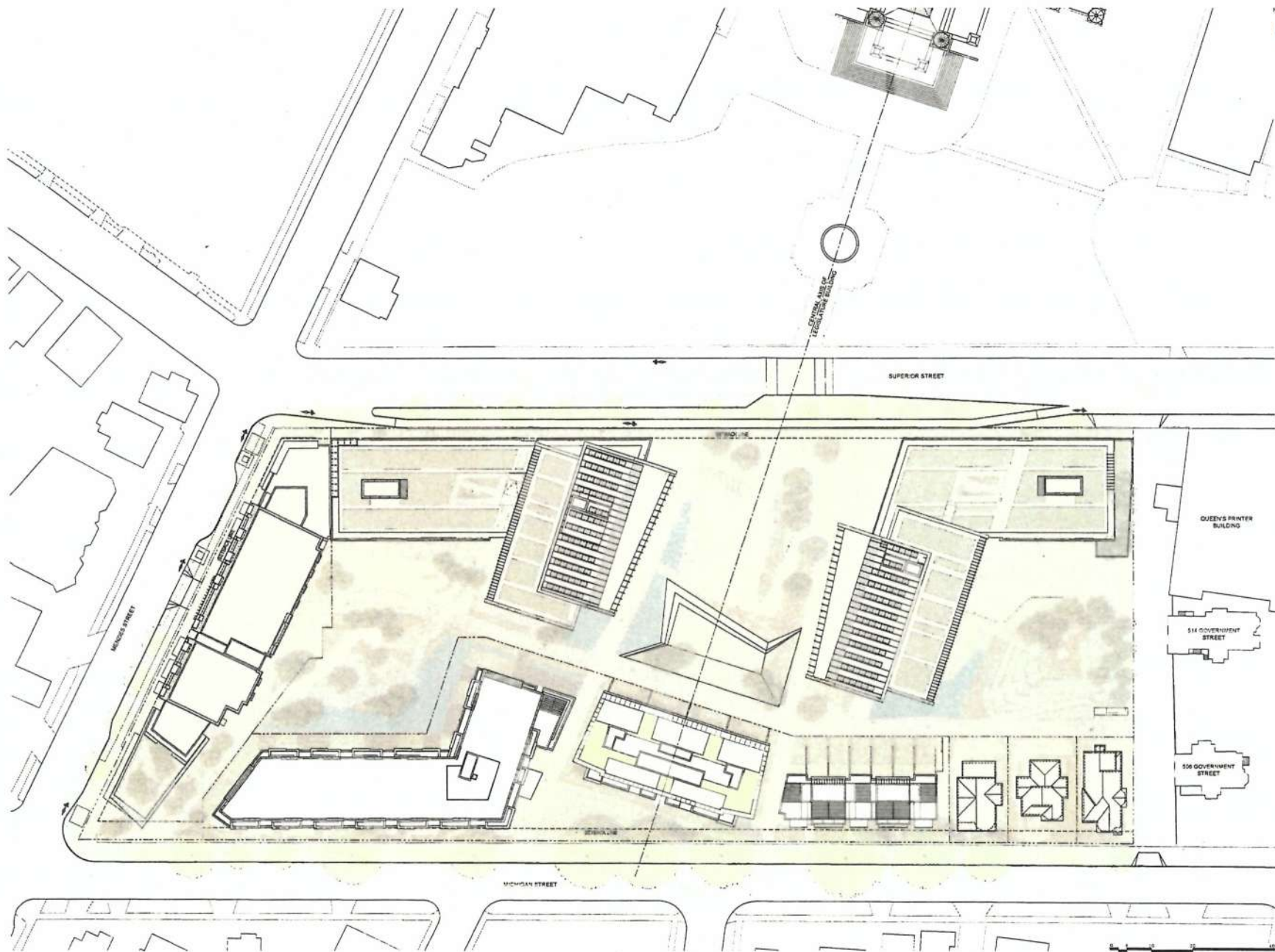
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PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530 560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP-1-0140
TMS
**OVERALL
PENTHOUSE LEVEL PLAN**

PROJECT No. 17-0000
DATE 17 August 2017
SCALE 1:400
PROJECT BY
DRAWN BY
REV No.
SHEET No.

A0.12



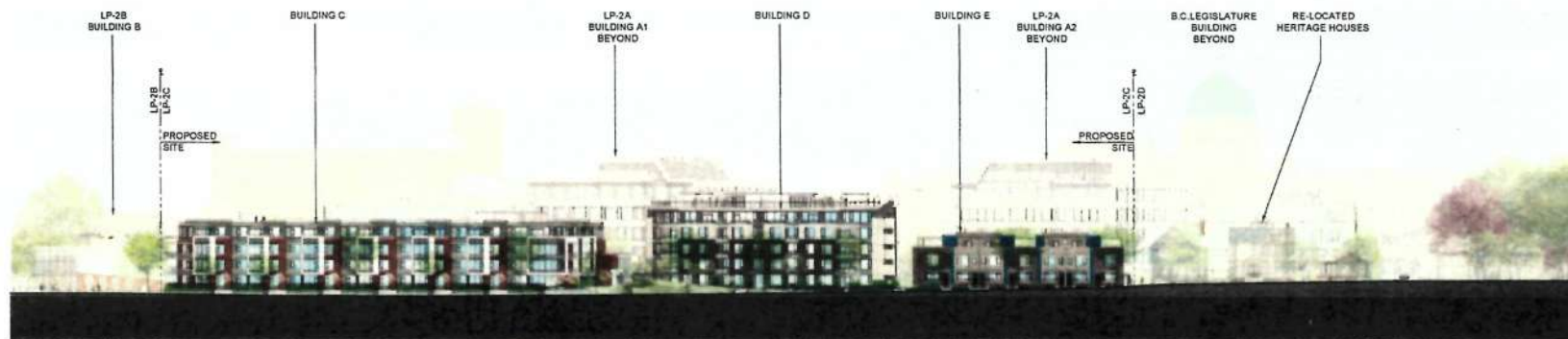
BY: JENNIFER L. LEE
 DATE: 25.10.10
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 9106 Richmond Street, Vancouver, BC, Canada V6P 3C1
 1-800-687-3006 www.endall-elliott.com

PROJECT
CAPITAL PARK
 LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP 2C
 530-560 MICHIGAN ST. VICTORIA, B.C.
 LOT 3, VICTORIA CITY, PLAN EPP14100
 TITLE
**OVERALL
 ROOF PLAN**

PROJECT No: 2008-0
 DATE: 17 August 2011
 SCALE: 1:400
 DRAWN BY:
 CHECKED BY:
 REV: No
 SHEET No:

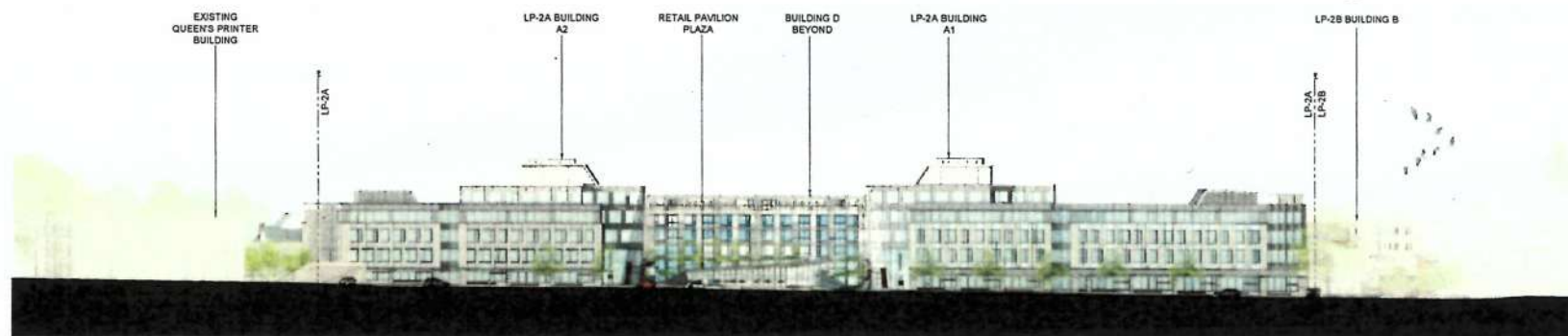
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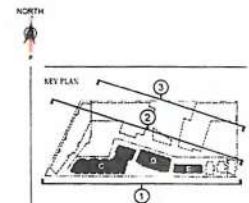
MICHIGAN STREET - SOUTH ELEVATION ①
1:400



CENTRAL PLAZA - NORTH ELEVATION (BUILDINGS C, D & E) ②
1:400



SUPERIOR STREET - NORTH ELEVATION ③
1:400



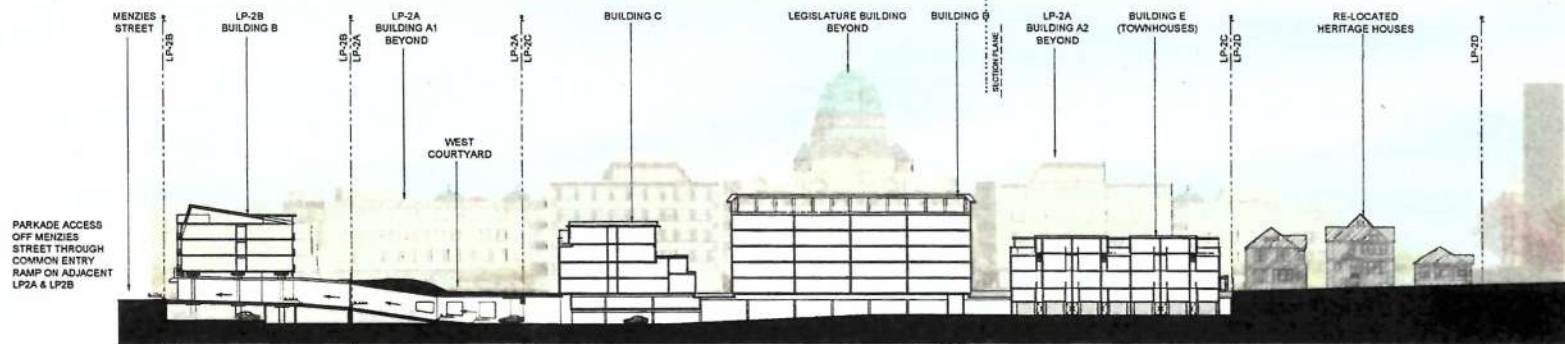
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DATE: [Date]
SCALE: [Scale]

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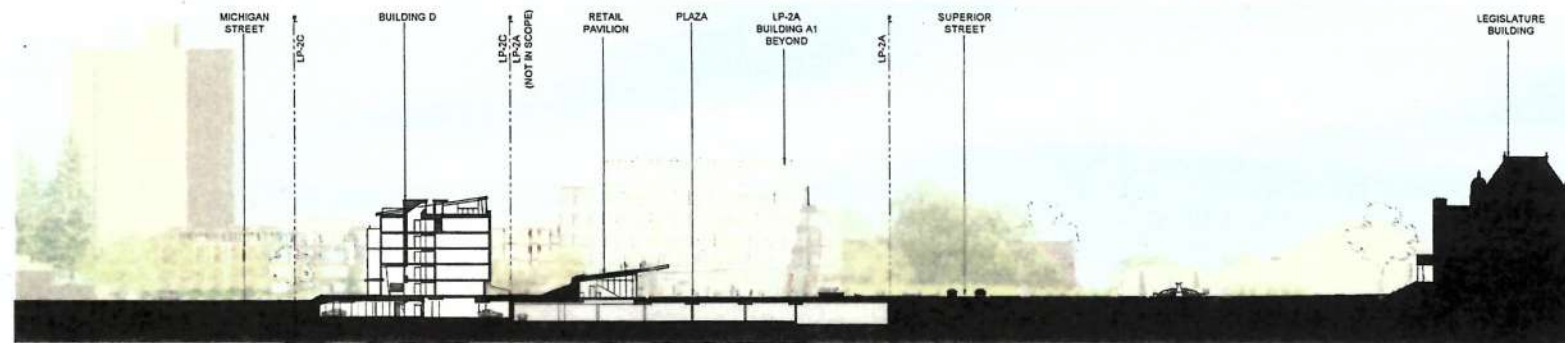
PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP54040
TITLE
**OVERALL SITE
ELEVATIONS**

PROJECT No: 2284-6
DATE: 17 August 2017
SCALE: 1/4" = 1'-0"
DRAWN BY: [Name]
CHECKED BY: [Name]
REV. No: [Number]
SHEET No:

A0.14



SITE SECTION LOOKING NORTH ①
1:400



SITE SECTION LOOKING WEST ②
1:400



BY: ARCHITECTURAL DESIGN
 DATE: DEVELOPMENT PERMIT APPLICATION 2207 04 21
 FOR: ED FOR

SCALE

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PROJECT
 CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP-2C
 530 560 MICHIGAN ST. VICTORIA B.C.
 LOT 3, VICTORIA CITY, PLAN EPP540-10

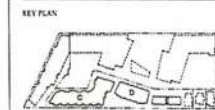
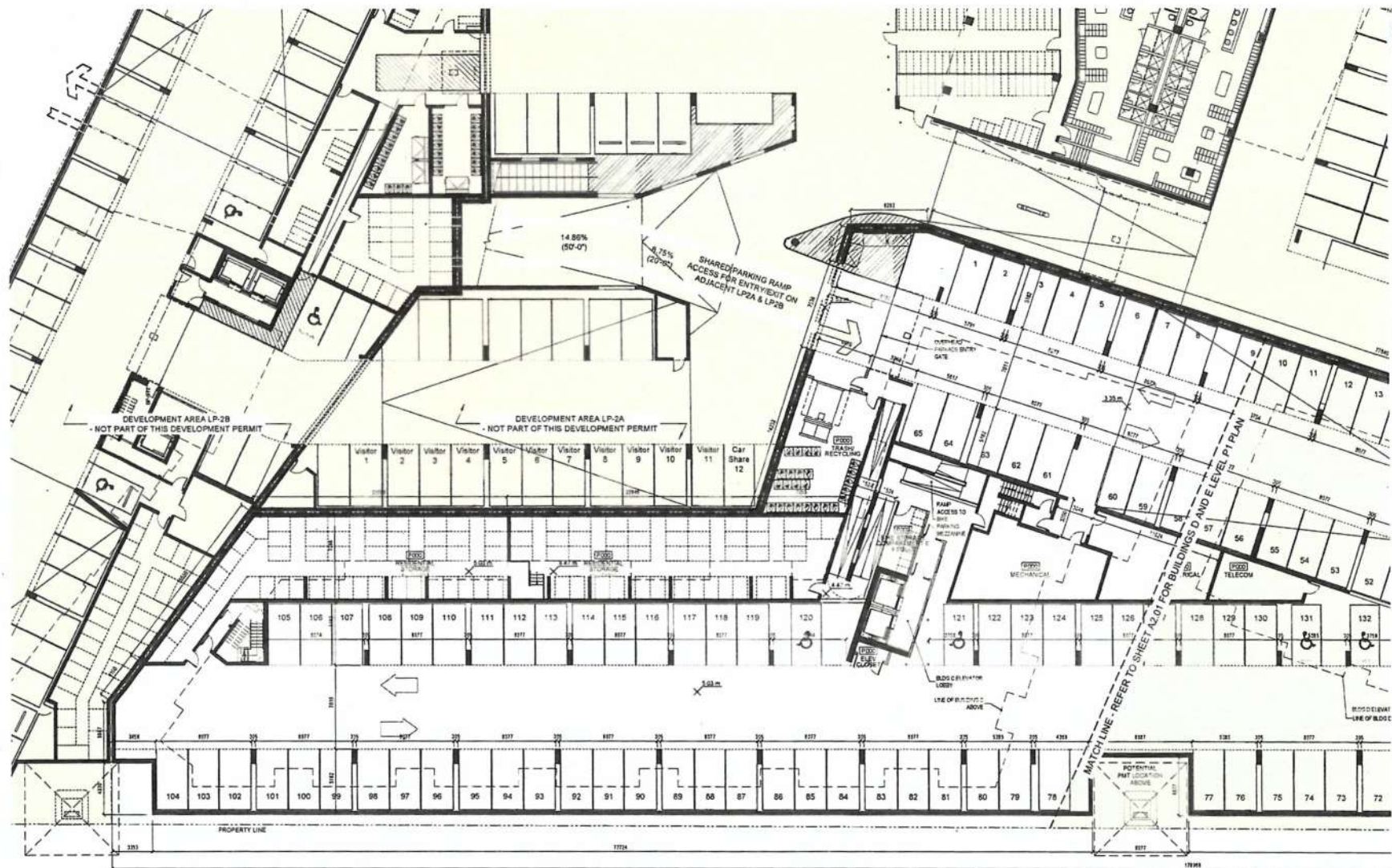
TITLE
 OVERALL SITE SECTIONS

PROJECT No: 11113
 DATE: 17 August 2017
 SCALE: 1:400
 DRAWN BY:
 CHECKED BY:
 REV: 00

SHEET No

A0.15





1 2014 07 22
2 2017 04 21
3 2017 03 13

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architecture urban design

9110. elements street, vancouver, bc, canada v6b 3c1
1804.627.3008 www.endall-elliott.com

PROJECT
CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 2C

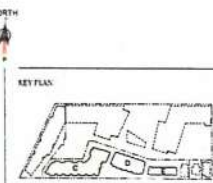
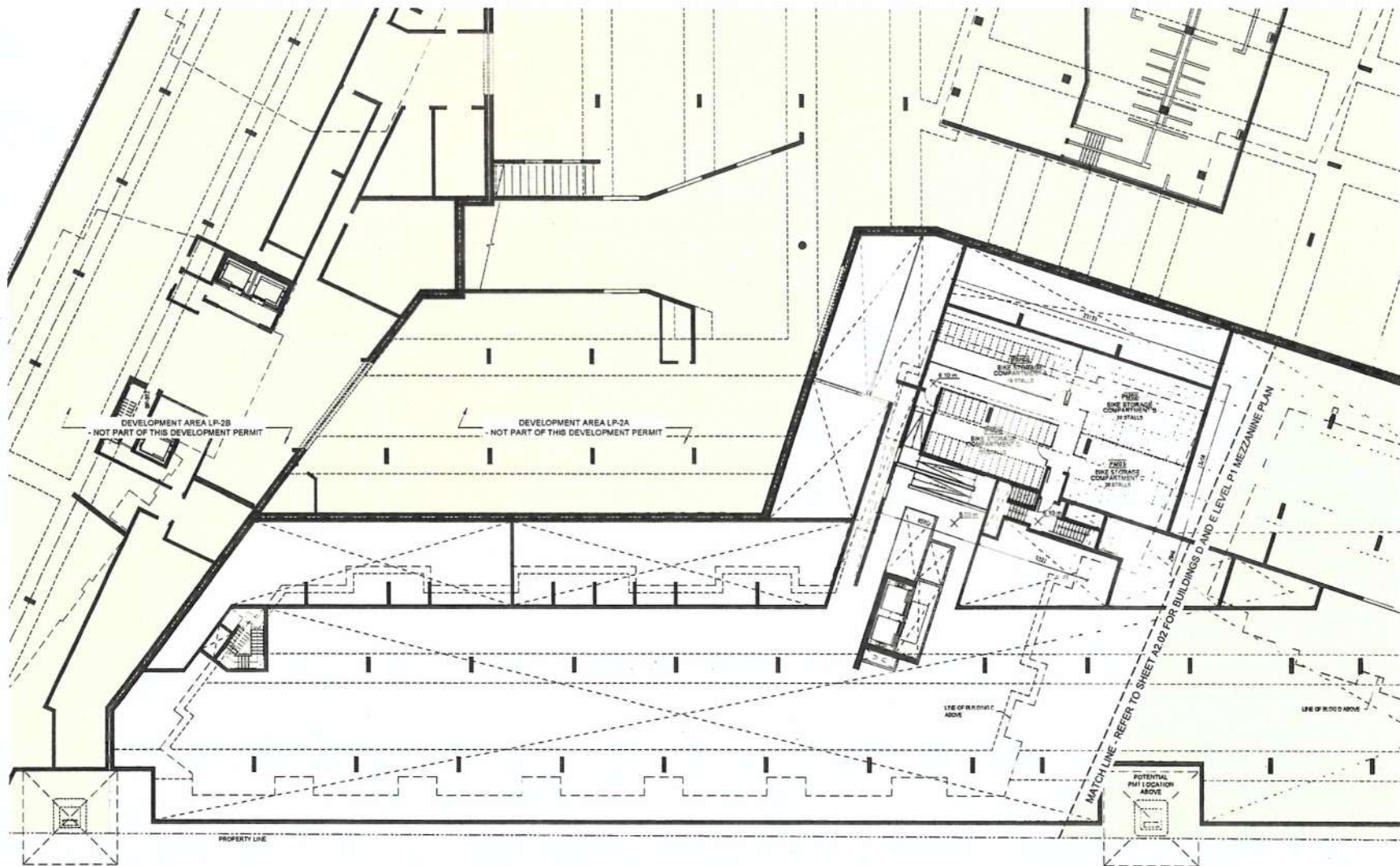
530 560 MICHIGAN ST. VICTORIA B.C.
LOT 3. VICTORIA CITY. PLAN EPP54040

TITLE
**BUILDING C
530 MICHIGAN ST.
LEVEL P1 PLAN**

PROJECT No 2084-0
DATE 11 October 2017
SCALE 1:250
DRAWN BY CHRYSTOPHER DY
REV No
SHEET No

A1.01





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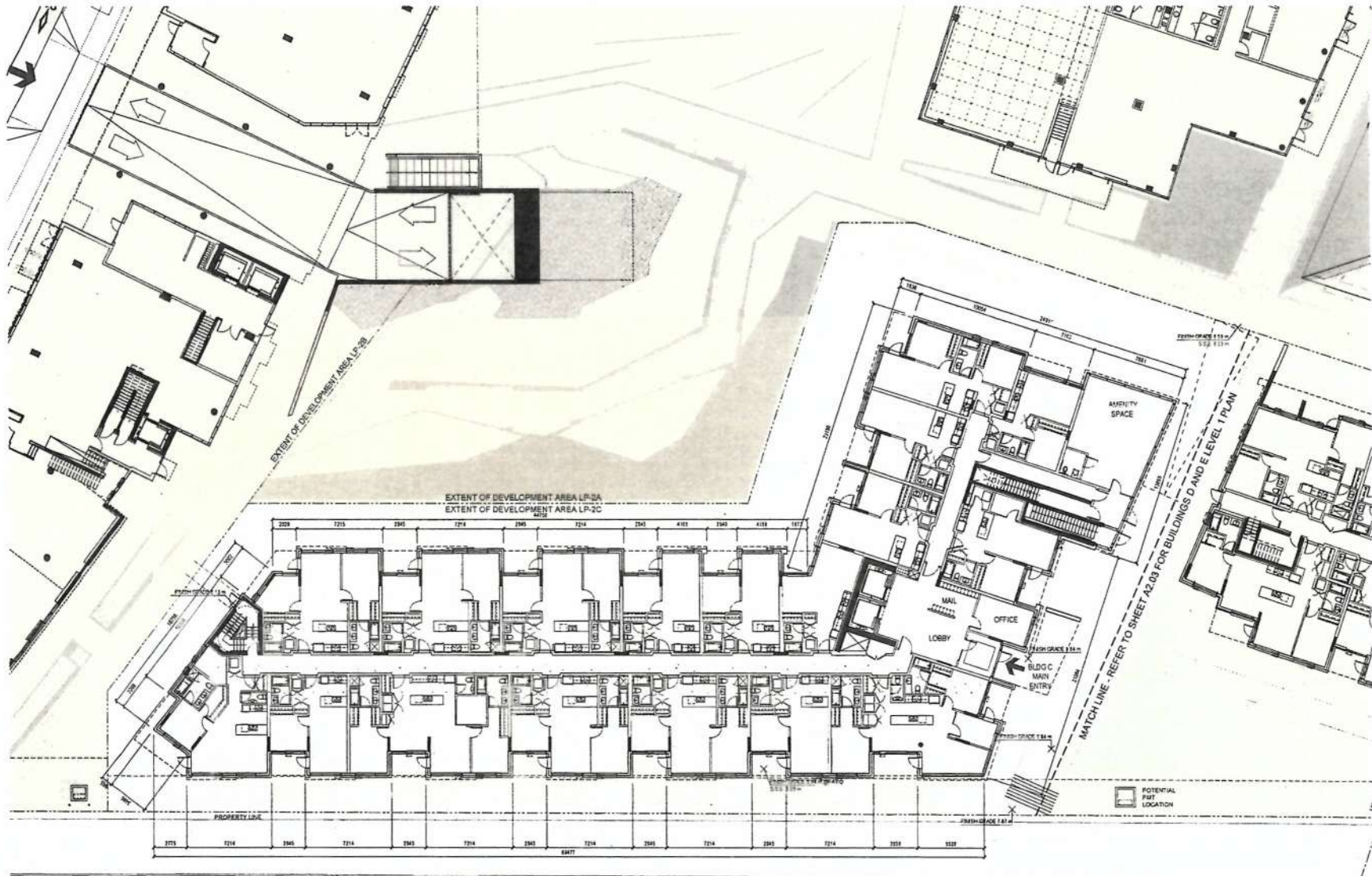
endall elliot
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architecture urban design
6100 richards street, vancouver, bc, canada v6t 3c1
604.687.3708 www.endall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 2C
530-569 MICHIGAN ST. VICTORIA B.C.
LOT 3 VICTORIA CITY, PLAN F101410111
TITLE
**BUILDING C
530 MICHIGAN ST.
LEVEL P1 MEZZANINE
PLAN**

PROJECT No 1108 H
DATE 11/20/2013
SCALE 1/32
DRAWN BY
CHECKED BY
REV No
SHEET No

A1.02





KEY PLAN



01 SITE PLAN 2014 07 22
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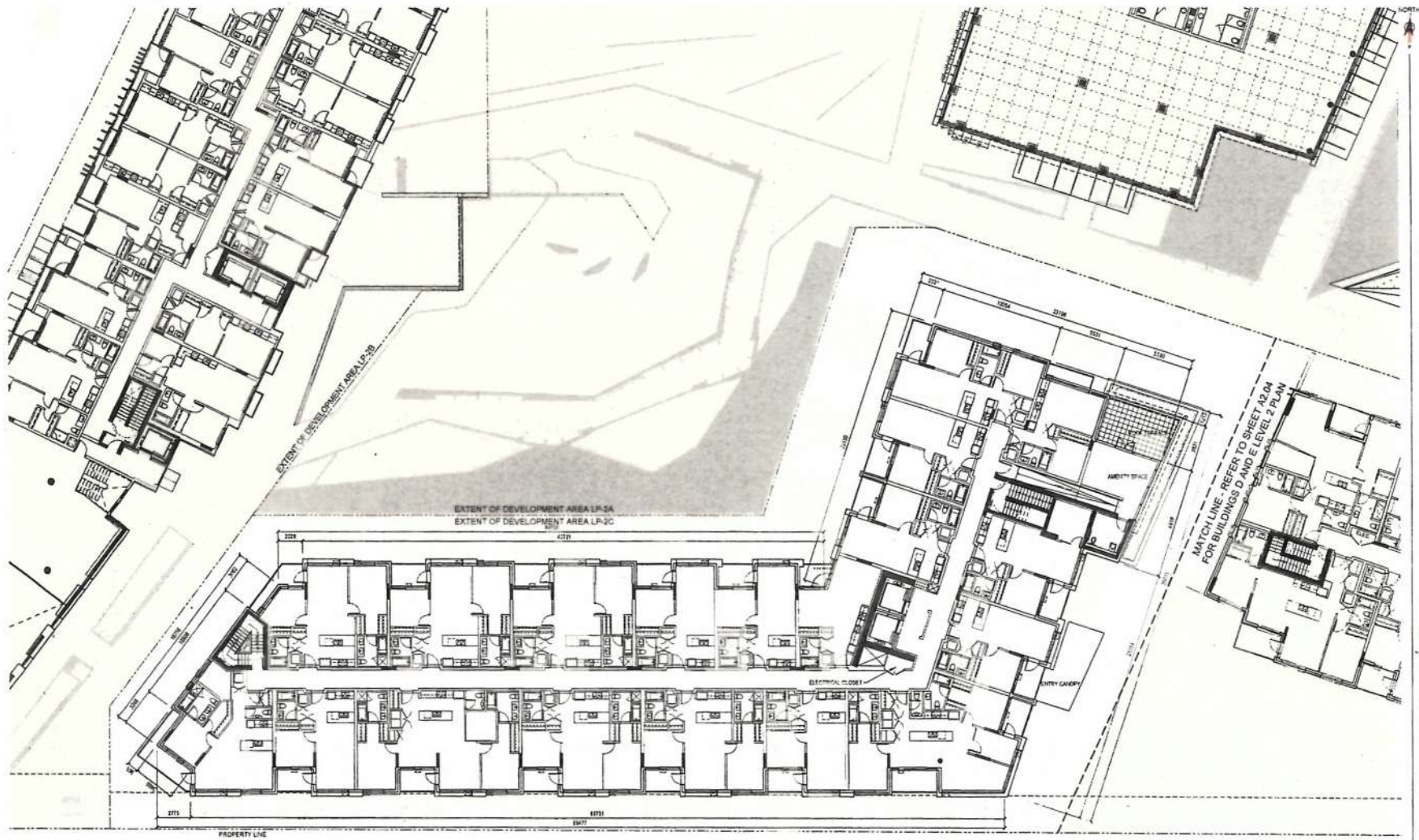
endall elliot
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architecture urban design

8100 Kennedy Street, Vancouver, BC, Canada V6A 3K1
604-687-2000 www.endall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530-560 MICHIGAN ST., VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP540/10
TITLE
BUILDING C
530 MICHIGAN ST.
LEVEL 1 PLAN

REVISIONS No. 1000-1
DATE 17 August 2012
SCALE 1:200
DRAWN BY
CHECKED BY
REV No.
SHEET No.

A1.03



BY: ARCHITECTURAL DESIGN
 DATE: 2014.07.22
 FOR: 530 MICHIGAN ST. VICTORIA B.C.
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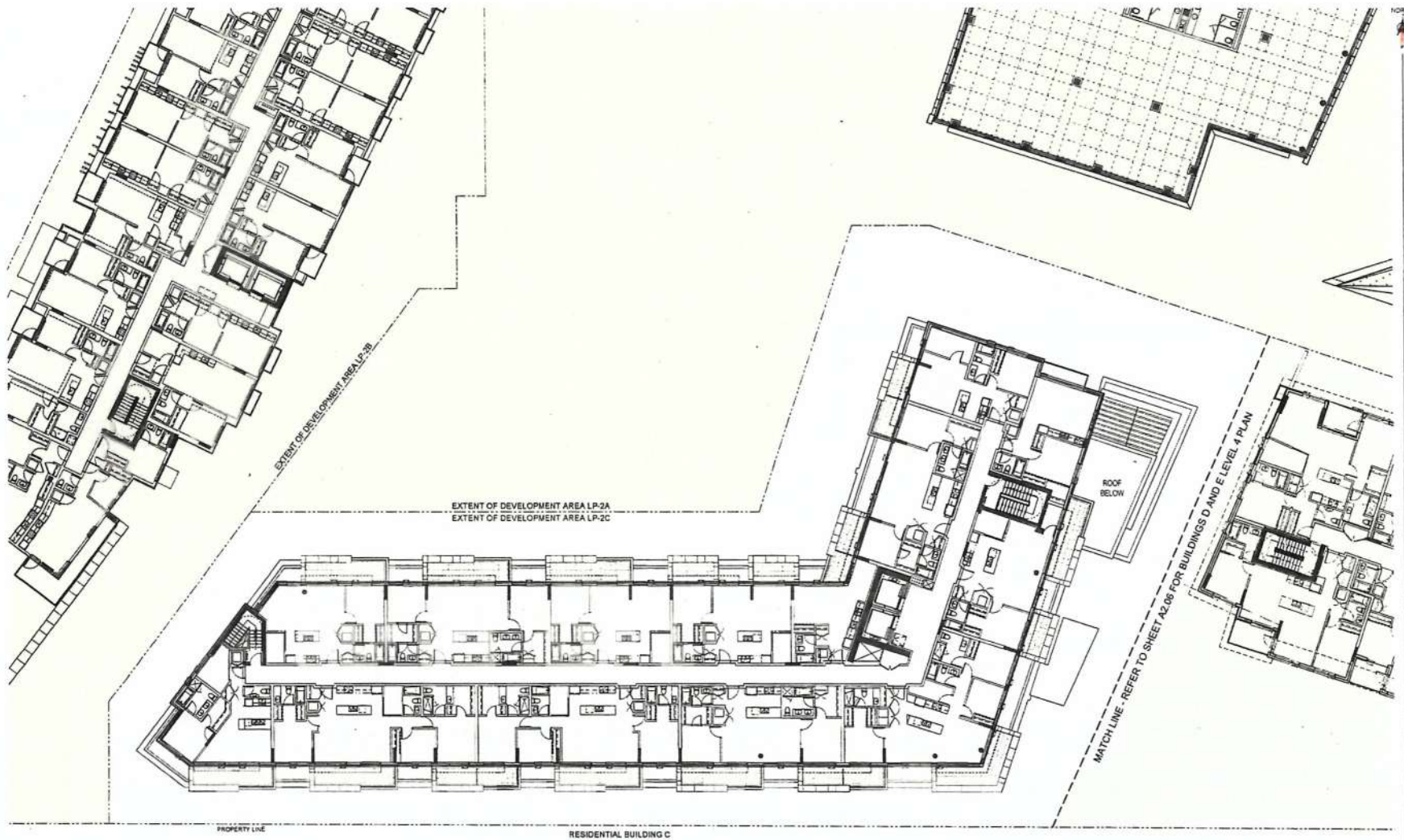
endall elliot
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 architecture urban design
 9400 Arbutus Street, Vancouver, BC, Canada V6P 3C1
 604.687.3038 www.endall-elliott.com

PROJECT
 CAPITAL PARK
 LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP-2C
 530 560 MICHIGAN ST. VICTORIA B.C.
 LOT 3, VICTORIA CITY, PLAN EPP54040
 TITLE
 BUILDING C
 530 MICHIGAN ST.
 LEVEL 2 PLAN

PROJECT No: 3289.6
 DATE: 17 August 2017
 SCALE: 1/250
 DRAWN BY: [signature]
 REV No: [signature]
 SHEET No:

A1.04





01 REVISED (CONSTRUCTION) 2016/07/22
 02 DEVELOPMENT PRELIMINARY APPROVAL 2017/04/21
 03 530/550 P&A
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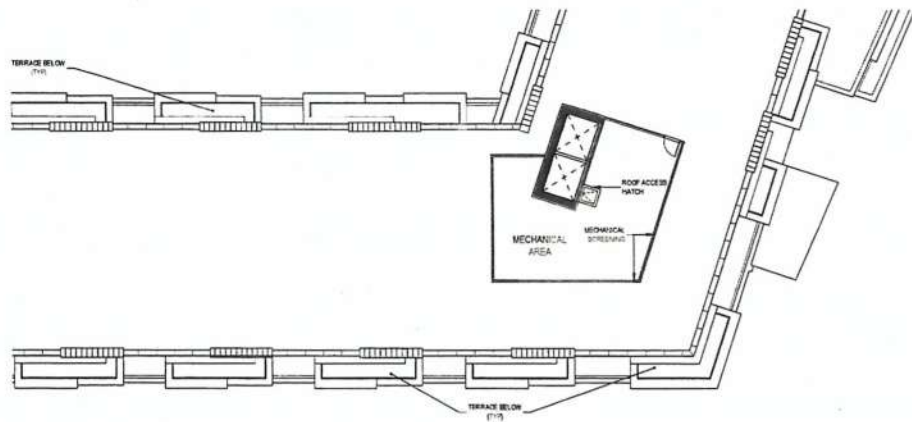
endall elliot
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 9120 Richards Street, Vancouver, BC Canada V6V 3G1
 604.687.2003 www.endall-elliott.com

PROJECT
 CAPITAL PARK
 LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP-2C
 530-560 MICHIGAN ST. VICTORIA B.C.
 LOT 3, VICTORIA CITY. PLAN EPP54010
 TITLE
 BUILDING C
 530 MICHIGAN ST.
 LEVEL 4 PLAN

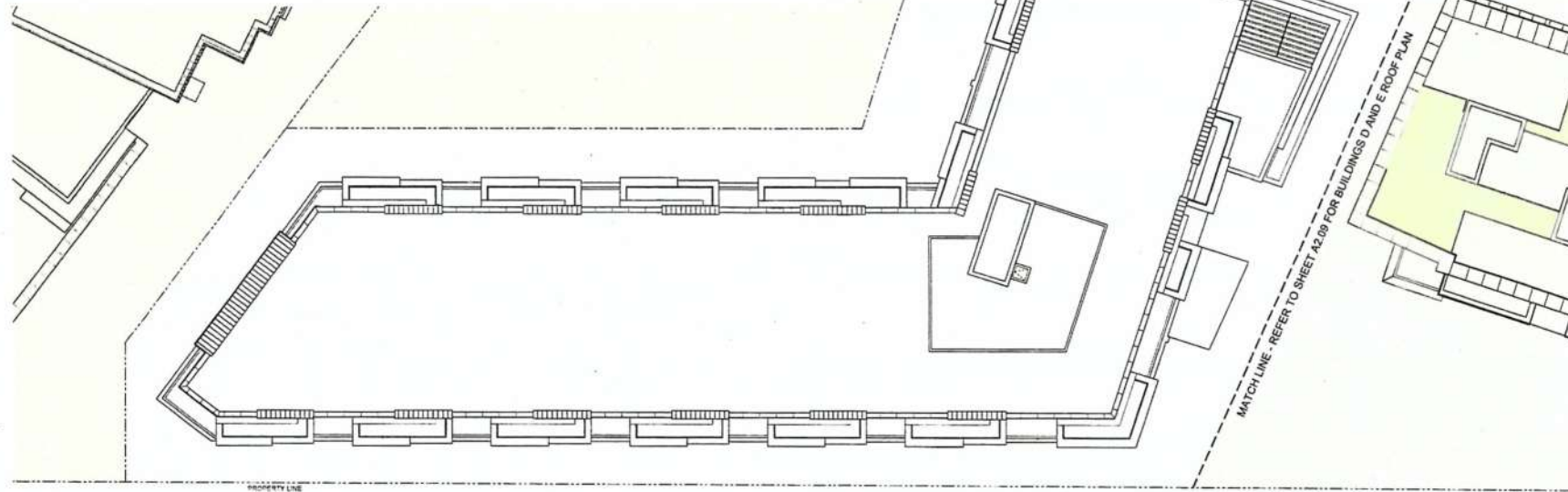
PROJECT No. 3588-0
 DATE 17 April 2017
 SCALE 1:250
 DRAWN BY
 REV 3/0
 SHEET No.

A1.06





BUILDING C, 530 MICHIGAN ST. - PENTHOUSE LEVEL PARTIAL PLAN 1:150 ②



BUILDING C, 530 MICHIGAN ST. - ROOF PLAN 1:150 ①



REVISIONS
 NO. DESCRIPTION
 01 01/08/2017
 02 02/08/2017
 03 03/08/2017
 04 04/08/2017
 05 05/08/2017
 06 06/08/2017
 07 07/08/2017
 08 08/08/2017
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PROJECT
 CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP-2C
 530-550 MICHIGAN ST. VICTORIA, B.C.
 LOT 3, VICTORIA CITY, PLAN EPP94010

TITLE
 BUILDING C
 530 MICHIGAN ST.
 PENTHOUSE LEVEL
 PARTIAL PLAN AND
 ROOF PLAN

PROJECT No. 1001.5
 DATE 17 August 2017
 SCALE 1:150
 DRAWN BY
 CHECKED BY
 REV. No.
 SHEET No.

A1.07

NORTH

KEY PLAN



BUILDING C - PARTIAL NORTHEAST ELEVATION ③
1:150

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SEAL

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architectural urban design
9100 Midway Street, Suite 200, Minneapolis, MN 55425
(612) 687-3000 www.endall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 2C
530 560 MICHIGAN ST. VICTORIA B.C.
LOT 3 VICTORIA CITY. PLAN EPP54040
TITLE
BUILDING C -
530 MICHIGAN ST.
PARTIAL NORTHWEST &
EAST ELEVATIONS

PROJECT No 3388 C
DATE 12/1/2010
SCALE 1:150
DRAWN BY
CHECKED BY
REV No

SHEET No

A1.11



BUILDING C - EAST ELEVATION ④
1:150

MATERIAL KEY

- ① BRICK - RUNNING BOND
- ② BRICK - STACKED BOND
- ③ PRECAST CONCRETE
- ④ CONCRETE PLANTER WALL (SEE LANDSCAPE DRAWINGS)
- ⑤ PREFINISHED METAL FLASHING
- ⑥ ALUMINUM WINDOW FRAME
- ⑦ VISION GLASS

- ⑧ INSULATED GLASS SPANDREL
- ⑨ ALUMINUM FRAMED GLASS QUADRANT
- ⑩ ALUMINUM FRAMED GLASS QUADRANT W/ SCREENED PATTERN
- ⑪ FENCING AND GATE - SEE LANDSCAPE
- ⑫ PREFINISHED METAL PANEL CLADDING
- ⑬ PREFINISHED VERTICAL METAL CLADDING
- ⑭ METAL SCREEN

- ⑮ METAL TRELLIS
- ⑯ ARCHITECTURAL CONCRETE FINISH
- ⑰ DECORATIVE WOOD PATTERN METAL SOFFIT WALL
- ⑱ ACCENT CLADDING





BUILDING C - SOUTH ELEVATION ⑤
1:150



BUILDING C - WEST ELEVATION ⑥
1:150

MATERIAL KEY

- ① BRICK - RUNNING BOND
- ② BRICK - STACKED BOND
- ③ PRECAST CONCRETE
- ④ CONCRETE PLANTER WALL (SEE LANDSCAPE DRAWINGS)
- ⑤ PREFINISHED METAL FLASHING
- ⑥ ALUMINUM WINDOW FRAME
- ⑦ VISION GLASS

- ⑧ INSULATED GLASS SPANDREL
- ⑨ ALUMINUM FRAMED GLASS CURTAIN
- ⑩ ALUMINUM FRAMED GLASS CURTAIN WITH SCREENED PATTERN
- ⑪ FENCING AND GATE - SEE LANDSCAPE
- ⑫ PREFINISHED METAL PANEL CLADDING
- ⑬ PREFINISHED VERTICAL METAL CLADDING
- ⑭ METAL SCREEN

- ⑮ METAL TRELLIS
- ⑯ ARCHITECTURAL CONCRETE FINISH
- ⑰ DECORATIVE WOOD PATTERN METAL SOFFIT WALL
- ⑱ ACCENT CLADDING



KEY PLAN



BY: ARCHITECT: LARRY L. ELLIOT	DATE: 03/14/2012
BY: ARCHITECT: LARRY L. ELLIOT	DATE: 03/14/2012
BY: ARCHITECT: LARRY L. ELLIOT	DATE: 03/14/2012

SEAL

endall elliot
associates

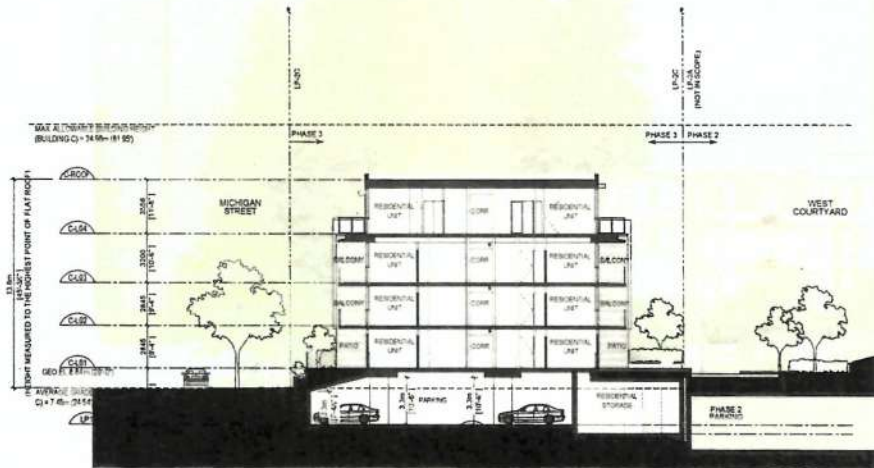
architecture urban design
8100 denison street, victoria, bc, canada v8n 3c1
1-800-687-3008 www.endall-elliott.com

PROJECT
CAPITAL PARK

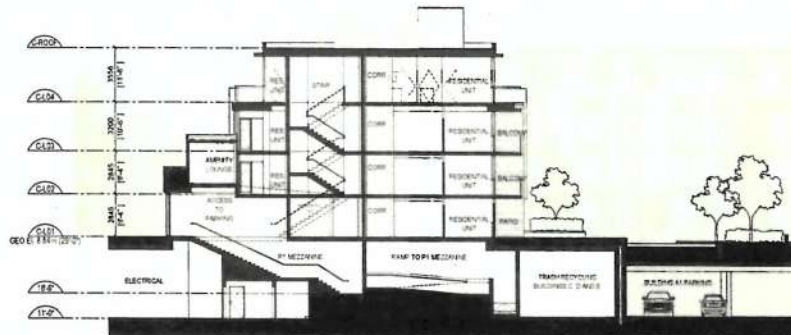
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DEVELOPMENT AREA LP 2C
330-560 MICHIGAN ST. VICTORIA, B.C.
LOT 3, VICTORIA CITY. PLAN EPP54640
TITLE
**BUILDING C -
530 MICHIGAN ST.
SOUTH & WEST
ELEVATIONS**

PROJECT No: 13046
DATE: 03/14/2012
SCALE: 1:150
DRAWN BY: [signature]
REV: No
SHEET No

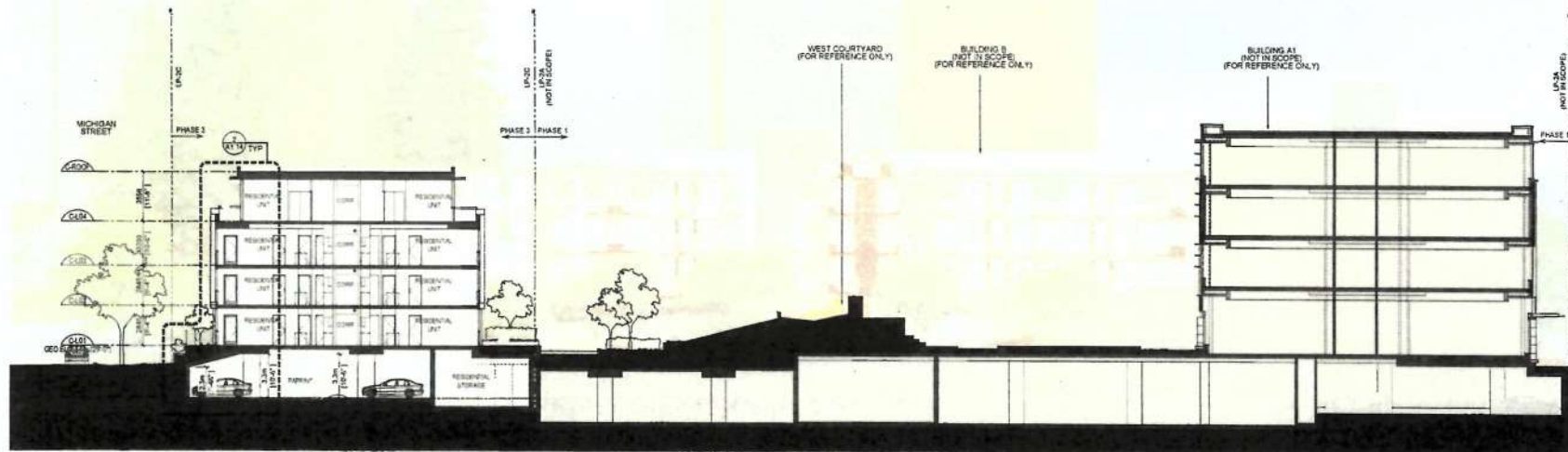
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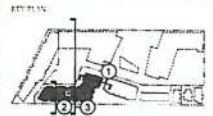
BUILDING C - SECTION LOOKING WEST ②
1:150



BUILDING C - SECTION LOOKING SOUTHWEST ①
1:150



BUILDING C - SECTION LOOKING WEST ③
1:150



1. PREPARED BY: 2014.07.22
2. DEVELOPMENT REVIEW: 2014.08.23
3. DEVELOPMENT REVIEW: 2014.08.23
4. 2014.08.23

564

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PROJECT
CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C

530-560 MICHIGAN ST. VICTORIA B.C.

LOT 3, VICTORIA CITY, PLAN EP946401

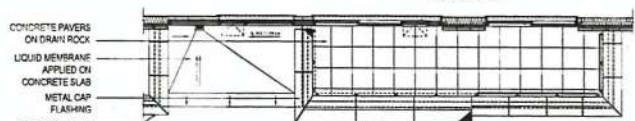
TITLE
BUILDING C -
530 MICHIGAN ST.
SECTIONS

PROJECT No: 2008 B
DATE: 11 October 2017
SCALE: 1:150
DRAWN BY: J. H. H. H.
REV No:
SHEET No:

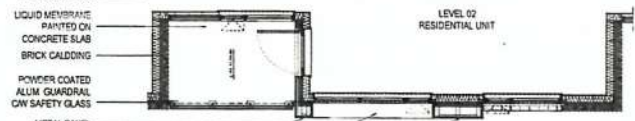
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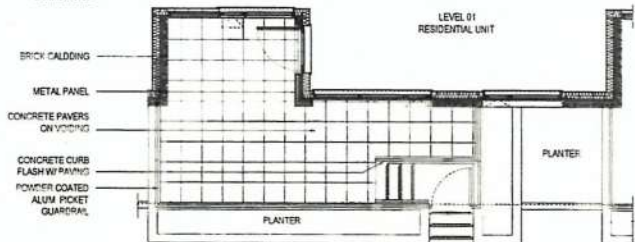
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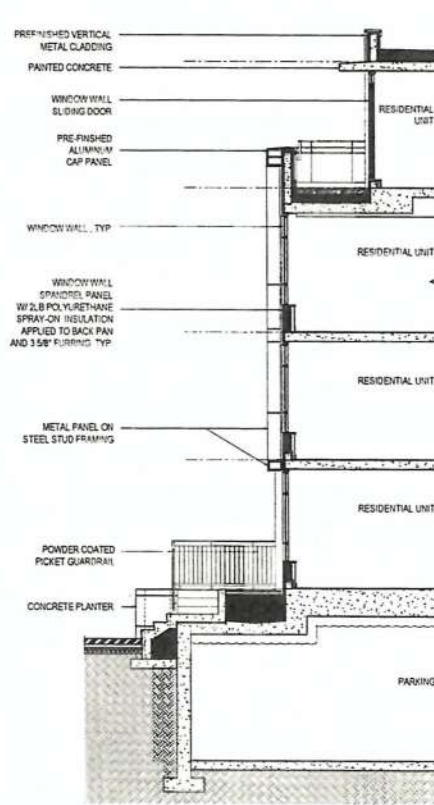
LEVEL 03 RESIDENTIAL UNIT



LEVEL 02 RESIDENTIAL UNIT



TYPICAL PARTIAL PLANS 1:50 ④



TYPICAL WALL SECTION 1:50 ②

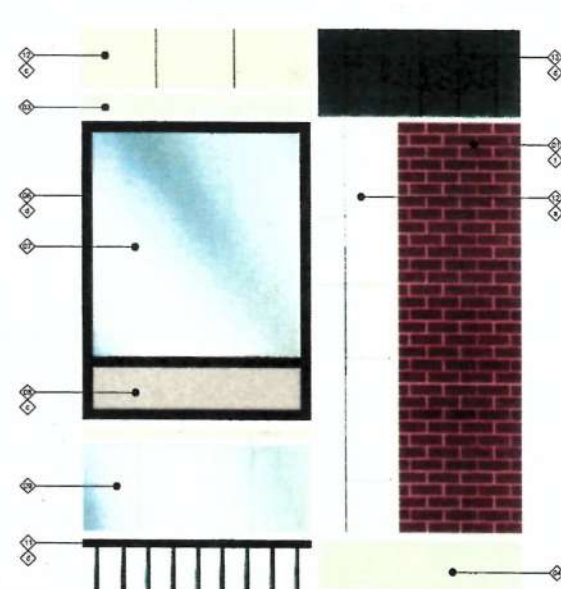
MATERIAL KEY

- ① BRICK - RUNNING BOND
- ② BRICK - STACKED BOND
- ③ PRECAST CONCRETE
- ④ CONCRETE PLANTER WALL (SEE LANDSCAPE DRAWINGS)
- ⑤ PREFINISHED METAL FLASHING
- ⑥ ALUMINUM WINDOW FRAME
- ⑦ VISION GLASS
- ⑧ INSULATED GLASS SPANDREL
- ⑨ ALUMINUM FRAMED GLASS GUARDRAIL
- ⑩ ALUMINUM FRAMED GLASS GUARDRAIL W/ SCREENED PATTERN

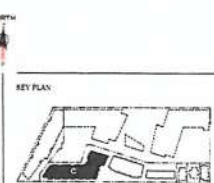
- ⑪ FENCING AND GATE - SEE LANDSCAPE
- ⑫ PREFINISHED METAL PANEL CLADDING
- ⑬ PREFINISHED VERTICAL METAL CLADDING
- ⑭ METAL SCREEN
- ⑮ METAL TRELLIS
- ⑯ ARCHITECTURAL CONCRETE FINISH
- ⑰ DECORATIVE WOOD PATTERN METAL COFFIT WALL
- ⑱ ACCENT CLADDING

COLOUR KEY

- ① WHITE
- ② LIGHT GREY
- ③ MID GREY
- ④ DARK GREY
- ⑤ DARK BROWN
- ⑥ BRICK RED
- ⑦ DARK BLUE



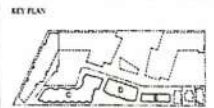
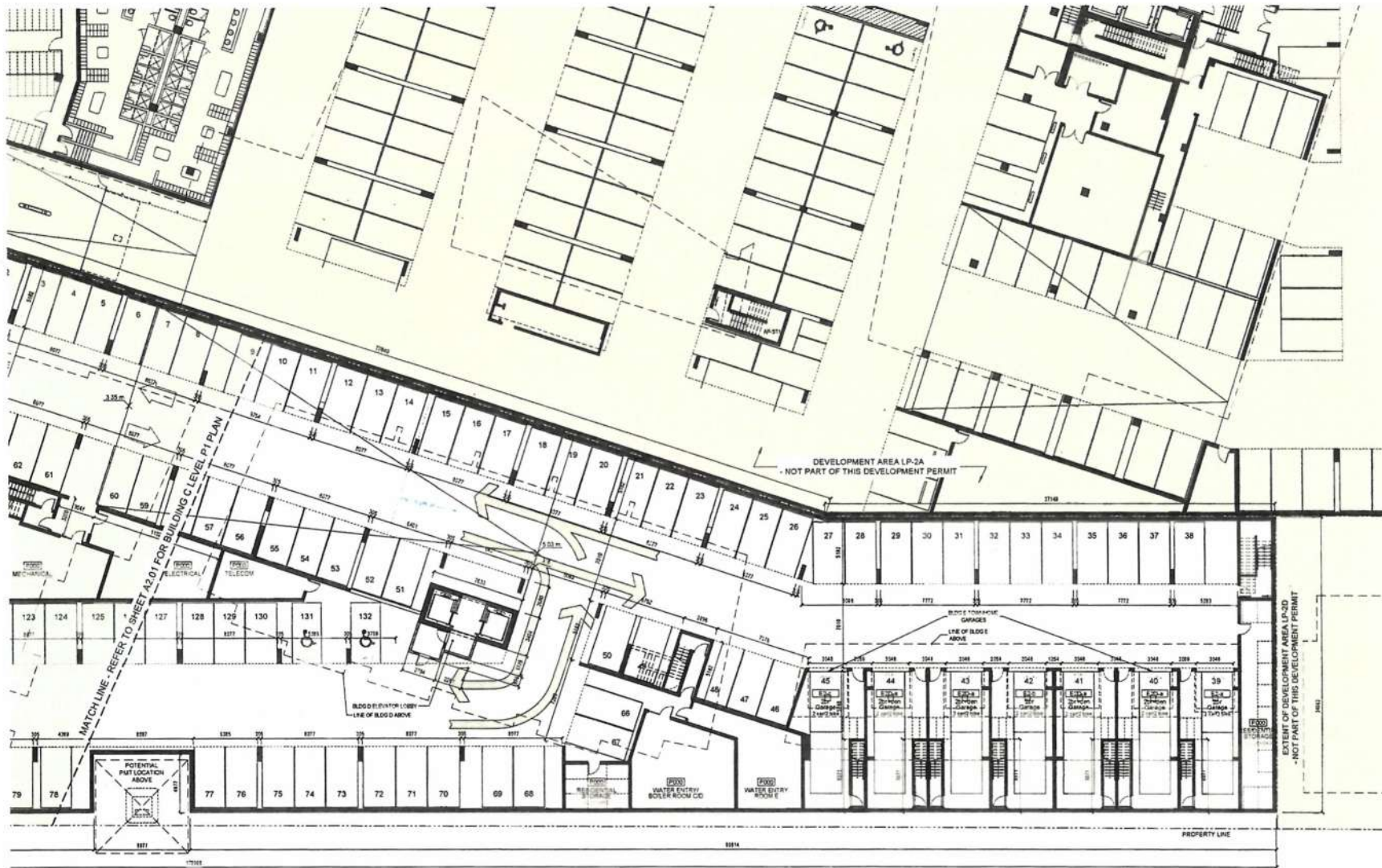
MATERIAL PALETTE 1:50 ①



01	ENDALL ELLIOT ASSOCIATES	2014.08.22
02	DEVELOPMENT AREA LP 2C	2017.08.21
03	PLAN EPP34010	2017
04	SEAL	

endall elliot
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architecture urban design
1810 UNIVERSITY STREET, VANCOUVER, BC, CANADA V6T 1S1
TEL: 604.687.5338

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 2C
530 560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY. PLAN EPP34010
TITLE
**BUILDING C
530 MICHIGAN ST.
PARTIAL PLANS,
ELEVATION, MATERIALS
& WALL SECTION**
PROJECT No: 3200-6
DATE: 28 October 2017
SCALE: 1:50
DRAWN BY:
CHECKED BY:
REV No:
SHEET No:



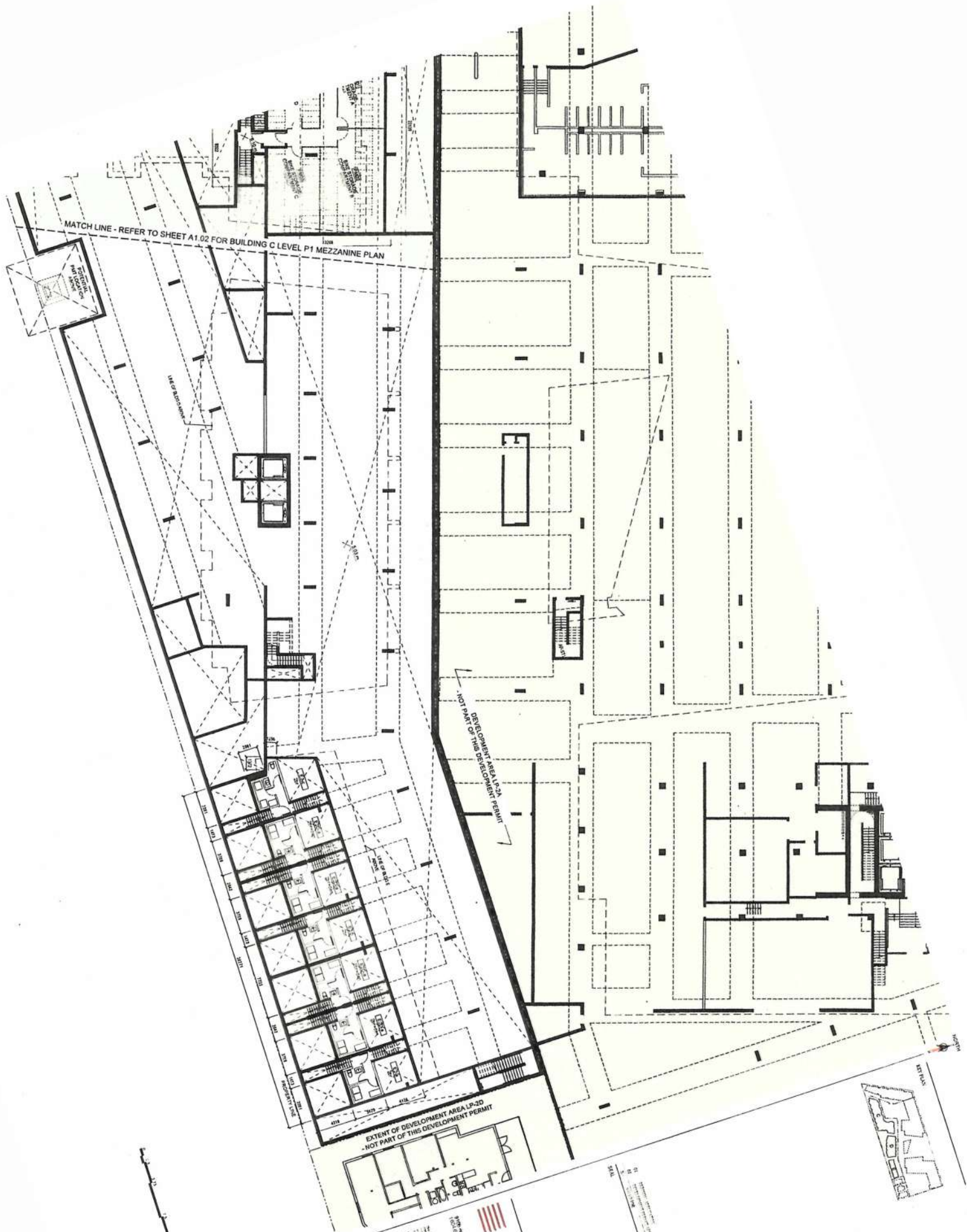
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2. DEVELOPMENT AREA LP-2B
3. DEVELOPMENT AREA LP-2C
4. DEVELOPMENT AREA LP-2D

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9100 Richards Street, Vancouver, BC, Canada V6A 3C1
604.687.3008 www.endall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP-110-10
TITLE
**BUILDING D AND E
550 & 560 MICHIGAN ST.
LEVEL P1 PLAN**

PROJECT No. 2014-0
DATE 23 February 2017
SCALE 1:150
DRAWN BY
CHECKED BY
REV. No.
SHEET No.

A2.01



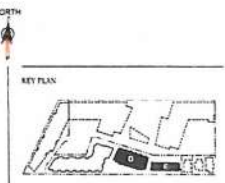
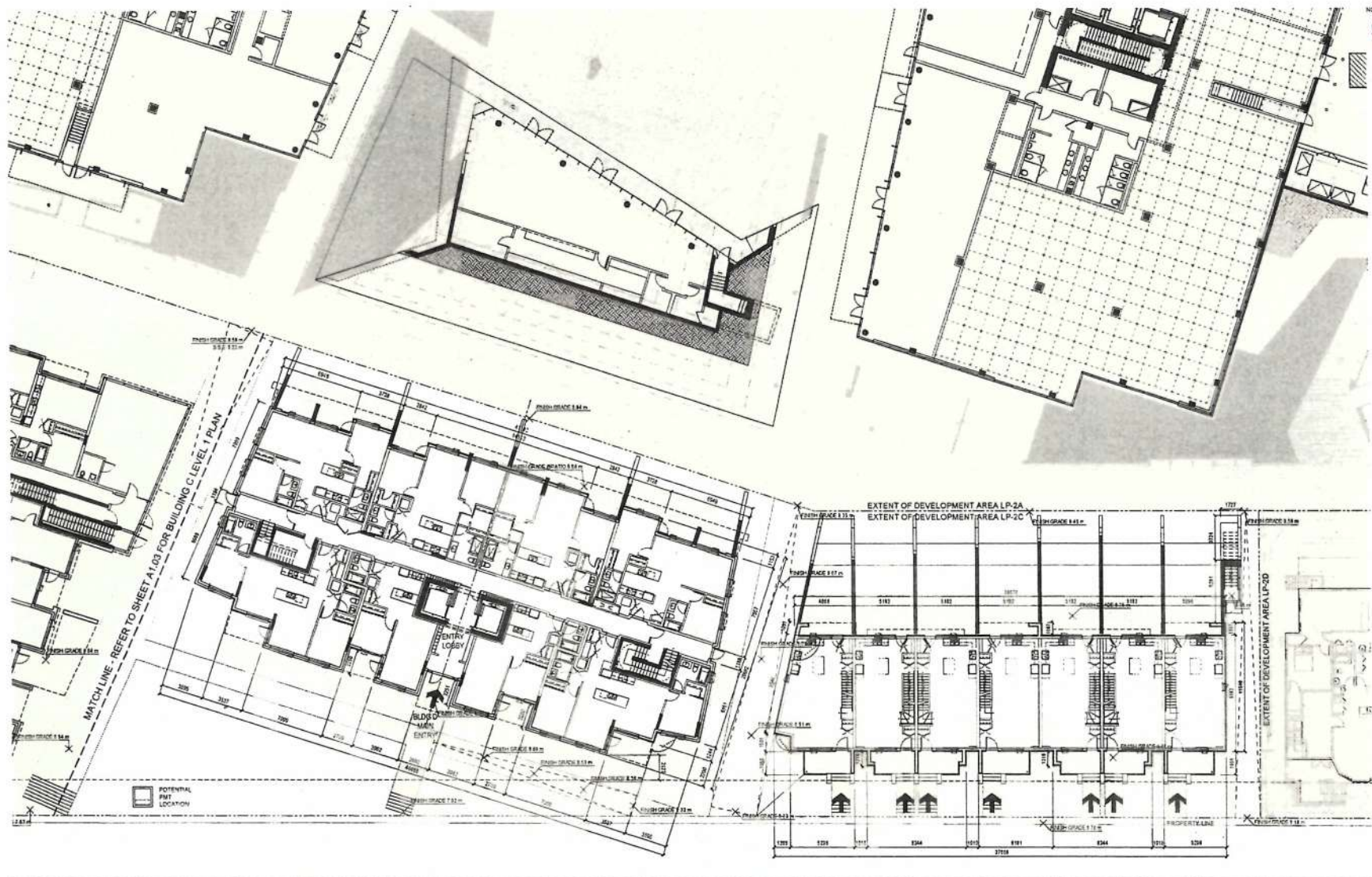
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PROJECT No. 14-1000000-001
DATE 1-1-20
SCALE 1:100
SHEET No. 14-1000000-001

PROJECT
CAPITAL PARK
LEONARD ATREB COMPREHENSIVE PROJECT
DESIGN DEVELOPMENT AREA LP-20 CORN. B.
500 & 560 NICHICANNE ST. VICTORIA B.C.
500 & 560 NICHICANNE ST. VICTORIA B.C.
LEVEL P1 MEZZANINE
PLAN

enqtel | elliot
architects
architectural design
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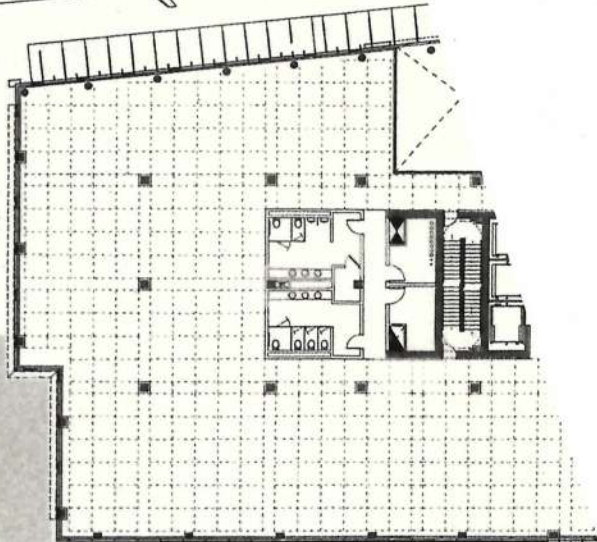
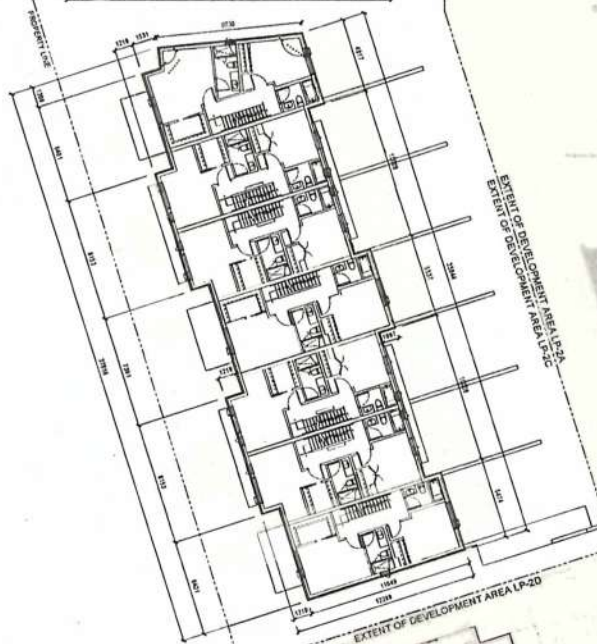
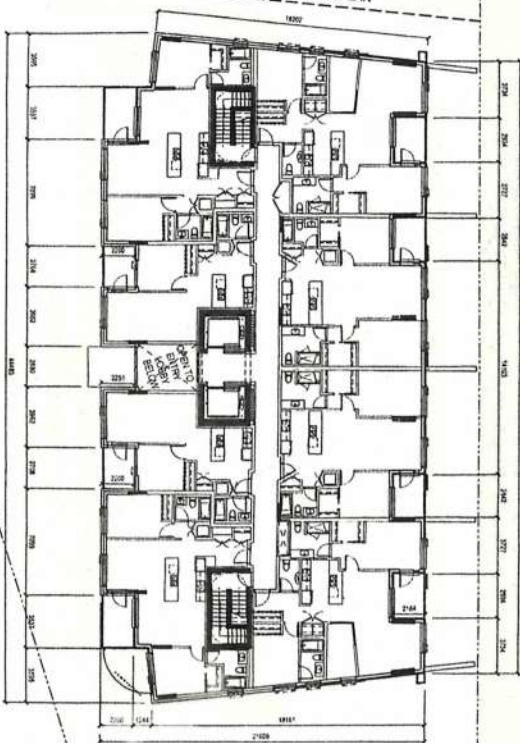
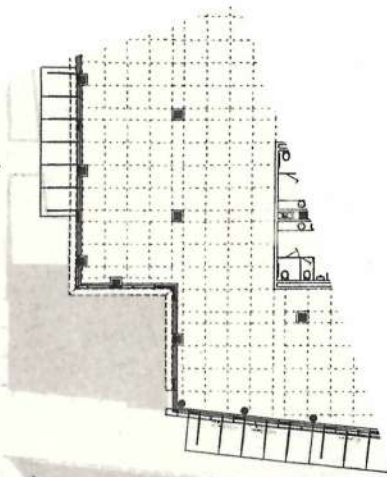
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 100 SITE PLAN

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 associates
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 8100 Richards Street, Vancouver, BC, Canada V6N 3C1
 604.687.3000 www.endall-elliott.com

PROJECT
CAPITAL PARK
 LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP-2C
 530-560 MICHIGAN ST. VICTORIA B.C.
 LOT 3, VICTORIA CITY, PLAN EPP54040
 TITLE
BUILDING D & E
550 & 560 MICHIGAN ST.
LEVEL 1 PLAN

PROJECT No. 7777
 DATE: 18 June 2017
 SCALE: 1:250
 DRAWN BY:
 CHECKED BY:
 REV. No.
 SHEET No.

A2.03

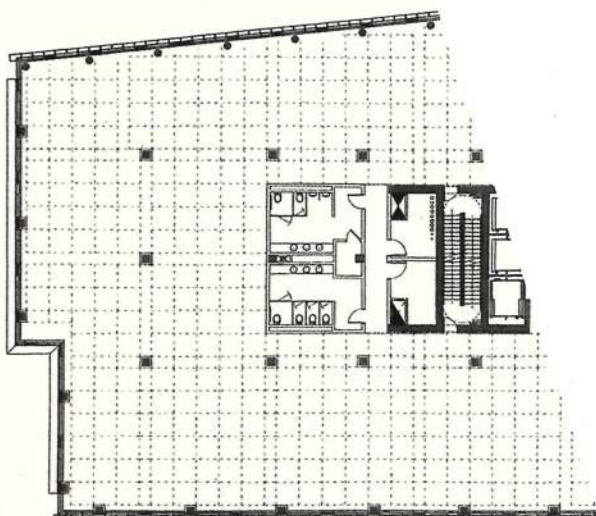
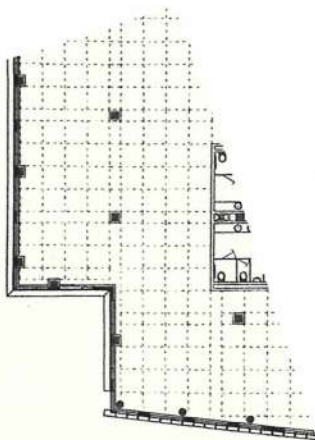
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interior design

[illegible]

PROJECT No. 2018-0
DATE 28 August 2013
SCALE 1:50
DRAWN BY
CHECKED BY
REV No
SHEET No

A2.04



EXTENT OF DEVELOPMENT AREA 11.23
EXTENT OF DEVELOPMENT AREA 11.20

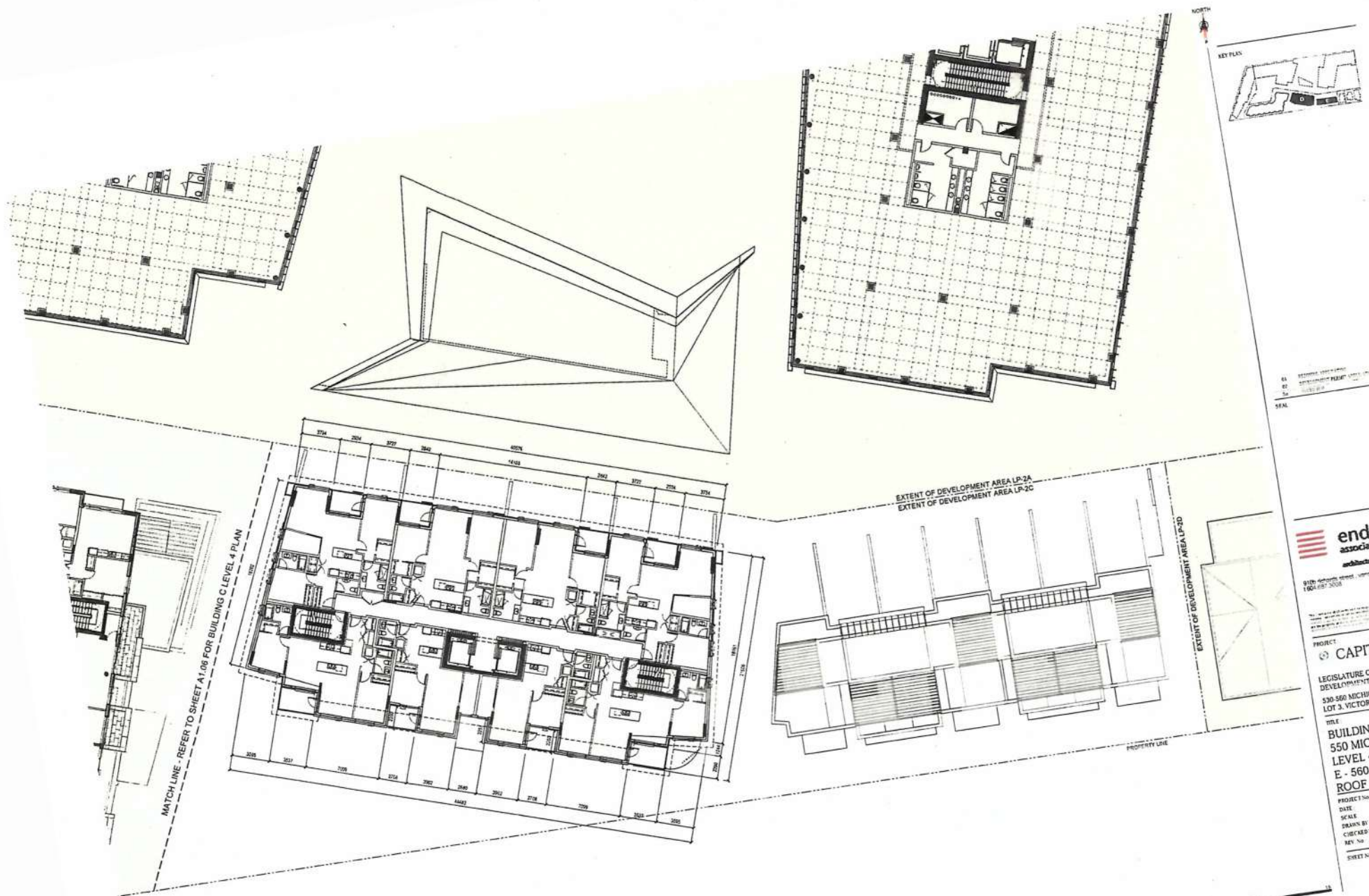
EXTENT OF DEVELOPMENT AREA LP-2D

endall elliot
associates
architectural design
300 West 10th Street, Suite 200
Chicago, IL 60607
312.467.1234
www.endall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATIVE COMPREHENSIVE DEVELOPMENT
LEGISLATIVE CENTER ST. VICTORIA BC
DEVELOPMENT CITY PLAN 175100
500 560 MIDCHIAN ST
LEVEL 3 PLAN

DRAWN BY _____
 CHECKED BY _____
 REV No _____
 SUFF No _____
A2.05

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U.S. DEPT. OF JUSTICE
FEDERAL BUREAU OF INVESTIGATION
WASHINGTON, D.C. 20535



61 DESIGN: 10/10/2017
 62 DEVELOPMENT PLAN: 10/10/2017
 63 10/10/2017
 SEAL

 **endall elliot**
 associates
 architecture urban design
 9101 delaware street, victoria bc v8v 1k6
 1-800-687-2008

PROJECT: **CAPITAL PARK**
 LEGISLATURE COMPREHENSIVE DISTRICT
 DEVELOPMENT AREA LP-2C
 530-560 MICHIGAN ST. VICTORIA B.C.
 LOT 3, VICTORIA CITY, PLAN EPP94040

TITLE:
BUILDING D -
550 MICHIGAN ST.
LEVEL 4 PLAN, BUILDING
E - 560 MICHIGAN ST.
ROOF PLAN

PROJECT No: 3388-9
 DATE: 28 August 2017
 SCALE: 1:150
 DRAWN BY:
 CHECKED BY:
 REV No:

SHEET No: **A2.06**

KEY PLAN



DATE: 2014.07.27
PROJECT: 550 MICHIGAN ST.
SHEET: 5/14

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architects
1000 10th Avenue West, Suite 100
Calgary, Alberta T2C 1P4
403.243.8888
www.endall-elliott.com

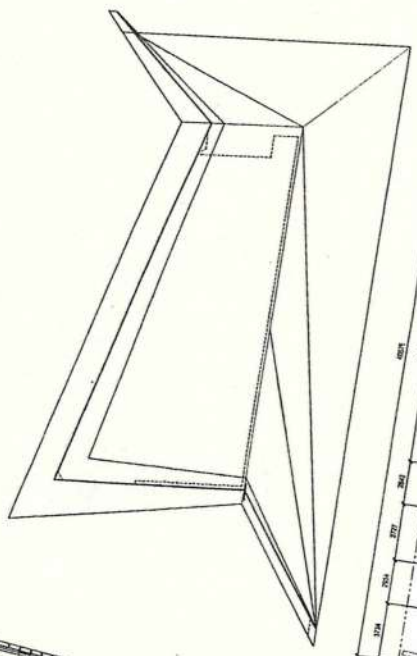
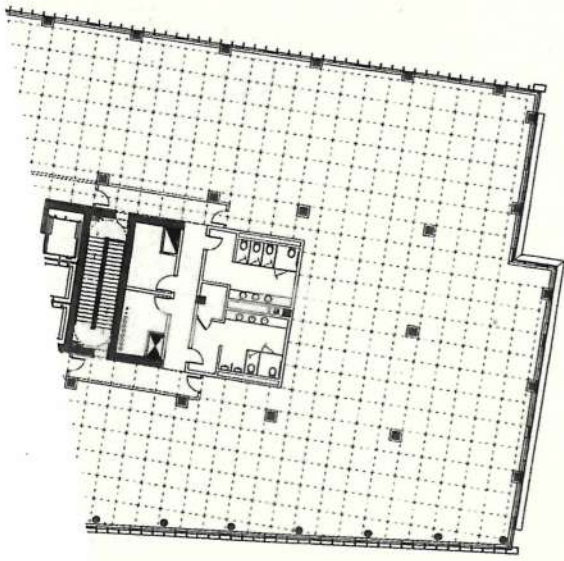
CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
500-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY PLAN EPR-0101

BUILDING D
550 MICHIGAN ST.
LEVEL 5 PLAN

PROJECT NO: 2014.0
DATE: 28 AUGUST 2014
SCALE: 1/8" = 1'-0"
DRAWN BY: [signature]
CHECKED BY: [signature]
DATE: 28 AUG 2014

A2.07



MATCH LINE - REFER TO SHEET A1.07 FOR BUILDING C PENTHOUSE LEVEL PLAN

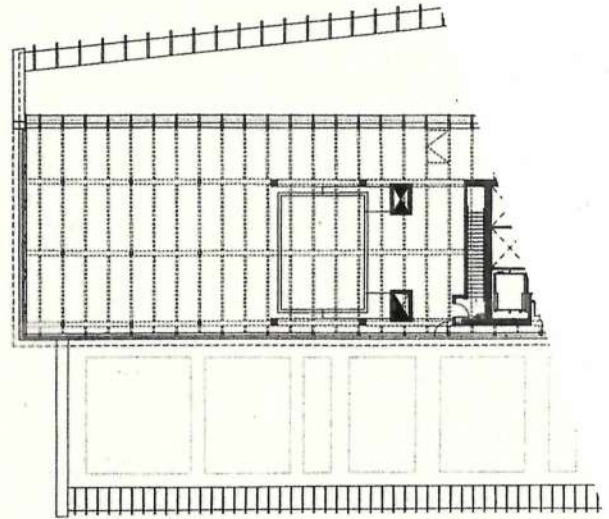
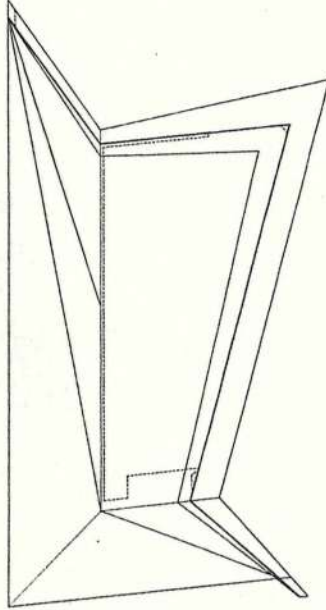
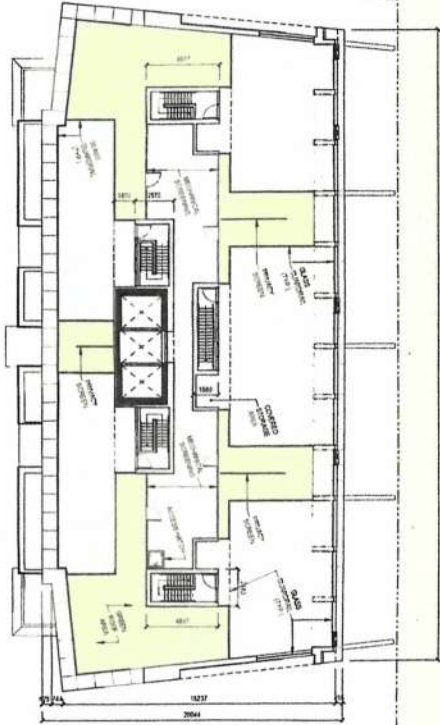
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EXTENT OF DEVELOPMENT AREA LP-2A
EXTENT OF DEVELOPMENT AREA LP-2C

PROPERTY LINE



MATCH LINE - REFER TO SHEET A1.07 FOR BUILDING C ROOF PLAN



EXTENT OF DEVELOPMENT AREA LP-20
EXTENT OF DEVELOPMENT AREA LP-20

EXTENT OF DEVELOPMENT AREA LP-20

A2.08

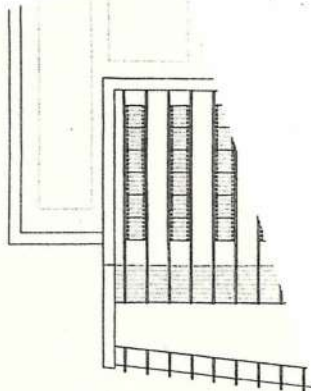
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CHECKED BY: [illegible]
DATE: 1/10/13

BUILDING D
550 MICHIGAN ST.
PENTHOUSE LEVEL PLAN

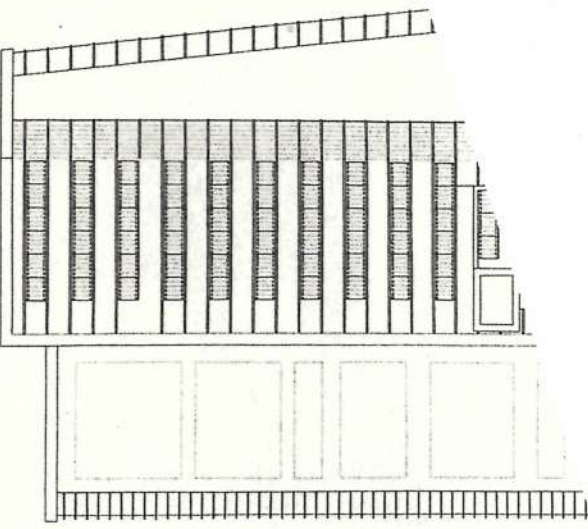
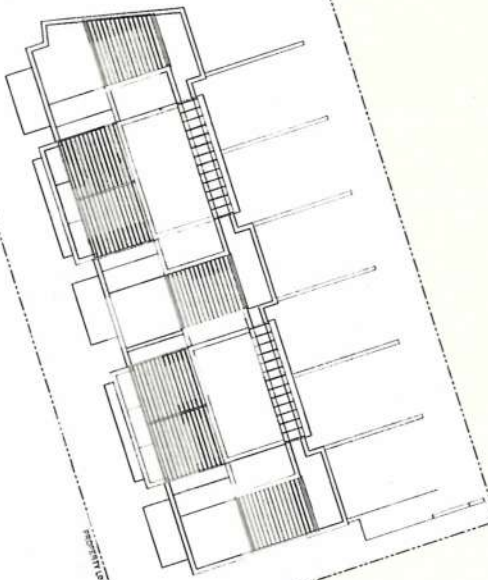
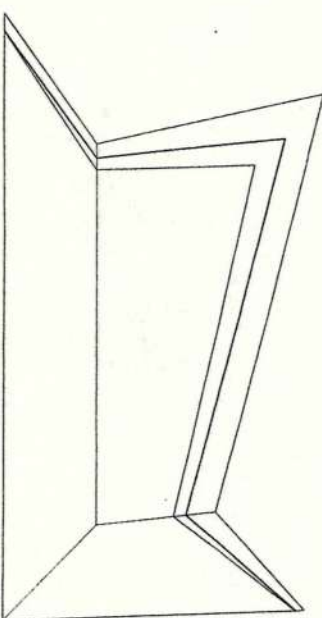
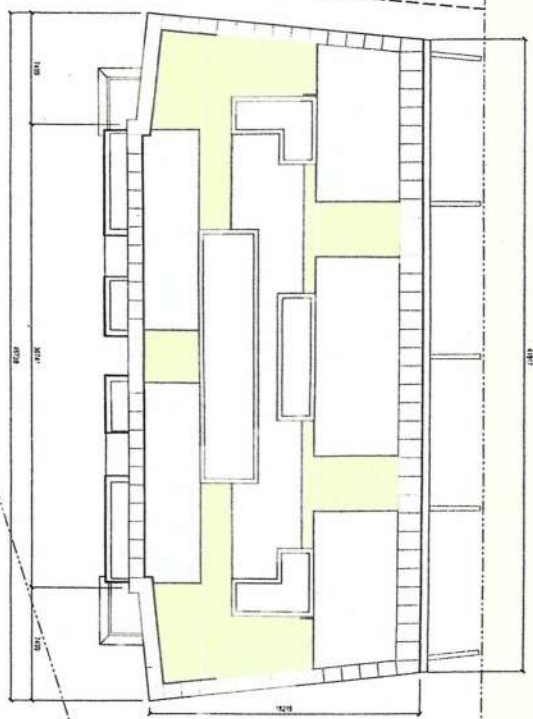
CAPITAL PARK
LEGISLATIVE COMMERCE DISTRICT
LEGISLATIVE COMMERCE DISTRICT
DEVELOPMENT AREA LP-20
550 MICHIGAN ST. PENTHOUSE
LOT 2, MICHIGAN ST. PLAN

endall elliot
ARCHITECTS
100 N. LAKE ST.
SUITE 200
CHICAGO, IL 60601
TEL: 312.555.1100
WWW.ENDALL-ELLIOT.COM

DATE: 1/10/13
BY: [illegible]
CHECKED BY: [illegible]
SCALE: 1/8" = 1'-0"
PROJECT: 24 March 2013



MATCH LINE - REFER TO SHEET A1.07 FOR BUILDING C ROOF PLAN

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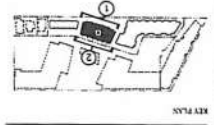
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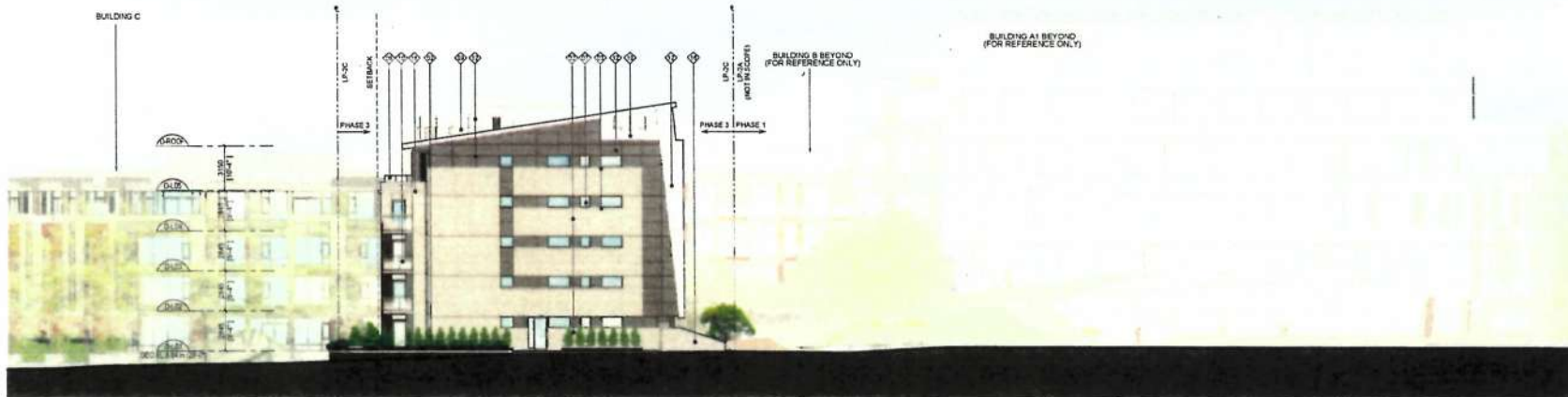
PROJECT 154
DATE 18 APRIL 2017
SCALE 1:150
DRAWN BY
CHECKED BY
REV. 04
SHEET NO.

BUILDING D - NORTH & SOUTH ELEVATIONS
550 MICHIGAN ST.
LOT 3, VICTORIA CITY, PLAN EPP31010
LEGISLATURE COMPREHENSIVE DISTRICT
CAPITAL PARK

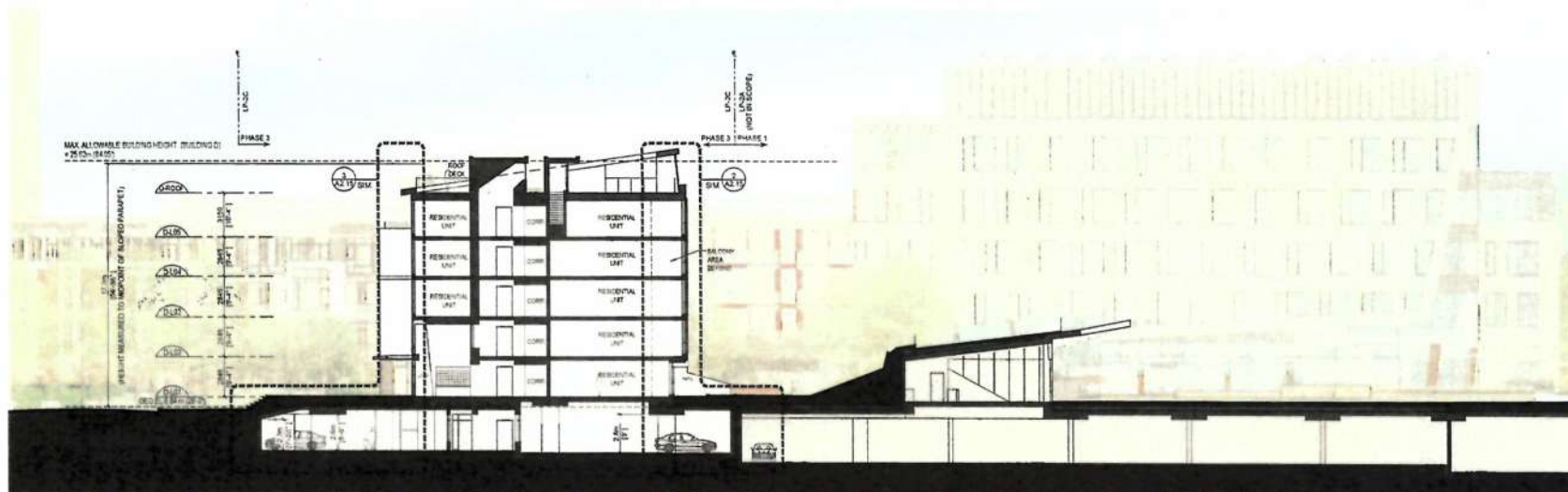
endall elliot
associated
architects urban design
8500 KENNEDY ROAD, VICTORIA, BC, CANADA V8N 2G1
TEL: 250.687.2000
WWW.ENDALLELLIOT.COM

SCALE
1:150
DATE 18 APRIL 2017
PROJECT 154





BUILDING D - EAST ELEVATION 1:150 3



BUILDING D - TYPICAL NORTH/SOUTH SECTION LOOKING WEST 1:150 4

MATERIAL KEY

- BRICK - RUNNING BOND
- BRICK - STACKED BOND
- PRECAST CONCRETE
- CONCRETE PLANTER WALL (SEE LANDSCAPE DRAWINGS)
- PREFINISHED METAL FLASHING
- ALUMINUM WINDOW FRAME
- VISION GLASS

- INSULATED GLASS SPANDREL
- ALUMINUM FRAMED GLASS GUARDRAIL
- ALUMINUM FRAMED GLASS GUARDRAIL W/ SCREENED PATTERN
- FENCING AND GATE - SEE LANDSCAPE
- PREFINISHED METAL PANEL CLADDING
- PREFINISHED VERTICAL METAL CLADDING
- METAL SCREEN

- METAL TRELLIS
- ARCHITECTURAL CONCRETE FINISH
- DECORATIVE WOOD PATTERN METAL SOFFIT WALL
- ACCENT C/ ADDING



KEY PLAN



1	ENDALL ELLIOT ASSOCIATES	2014.07.22
2	DEVELOPMENT PROJECT CONSULTING	2017.10.11
3	DATE	

SEAL

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associates

architecture urban design

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1.604.687.2000 www.endall-elliott.com

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PROJECT

CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 2C

530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP610101

TITLE

BUILDING D -
550 MICHIGAN ST.
EAST ELEVATION &
SECTION

PROJECT No. 2014.07.22

DATE 11 October 2017

SCALE 1:150

DRAWN BY

PROJECT NO.

REV. No.

SHEET No.

A2.11



BUILDING E - SOUTH ELEVATION

1:150

1



BUILDING E - NORTH ELEVATION

1:150

2

MATERIAL KEY

- BRICK - RUNNING BOND
- BRICK - STACKED BOND
- PRECAST CONCRETE
- CONCRETE PLANTER WALL (SEE LANDSCAPE DRAWINGS)
- PREFINISHED METAL FLASHING
- ALUMINUM WINDOW FRAME
- VISION GLASS

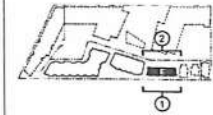
- INSULATED GLASS SPANDREL
- ALUMINUM FRAMED GLASS GUARDRAIL
- ALUMINUM FRAMED GLASS GUARDRAIL W/ SCREENED PATTERN
- FENCING AND GATE - SEE LANDSCAPE
- PREFINISHED METAL PANEL CLADDING
- PREFINISHED VERTICAL METAL CLADDING
- METAL SCREEN

- METAL TRELLIS
- ARCHITECTURAL CONCRETE FINISH
- DECORATIVE WOOD PATTERN METAL SOFFITWALL
- ACCENT CLADDING



NORTH

KEY PLAN



01 DESIGN CONCEPT 2011.03.22
02 DESIGN DEVELOPMENT 2011.04.21
03 PERMITTING 2011.05.21
04 CONSTRUCTION 2011.06.21
05

SCALE

endall elliot
associates

architecture urban design

9100-10th Avenue, Vancouver, BC, Canada V6P 3C1
604-687-3000 www.endall-elliott.com

The Client and the Architect warrant that the information contained herein is true and correct.

PROJECT

CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT DEVELOPMENT AREA LP-2C

530-560 MICHIGAN ST. VICTORIA, B.C.

LOT 3 VICTORIA CITY PLAN EPPS1040

TITLE

BUILDING E

560 MICHIGAN ST.

NORTH & SOUTH ELEVATIONS

PROJECT No

DATE

SCALE

DRAWN BY

CHECKED BY

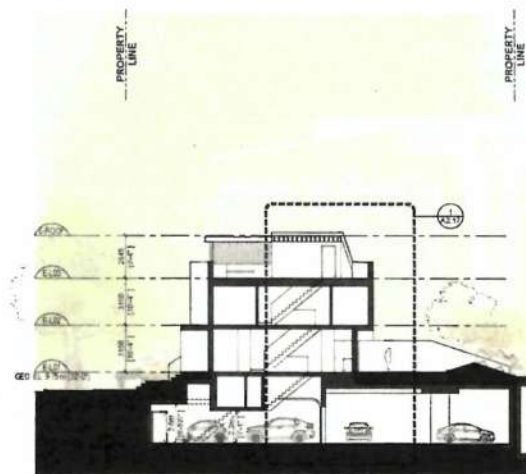
REV No

SHEET No

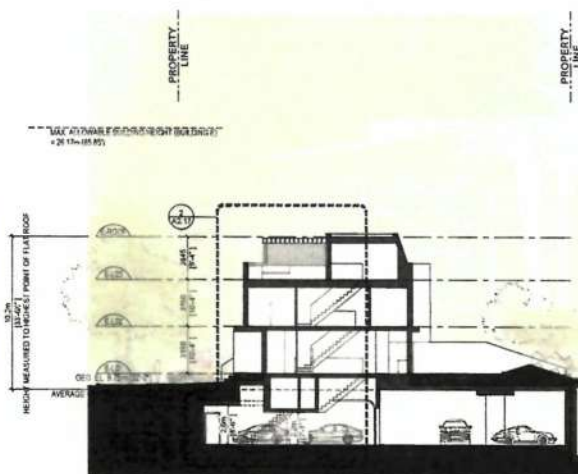
A2.12



BUILDING E - EAST ELEVATION 1:150 ③



BUILDING E - TYPICAL NORTH/SOUTH SECTION LOOKING WEST 1:150 ⑥



BUILDING E - TYPICAL NORTH/SOUTH SECTION LOOKING WEST 1:150 ⑤



BUILDING E - WEST ELEVATION 1:150 ④

MATERIAL KEY

- ⬢ BRICK - RUNNING BOND
- ⬢ BRICK - STACKED BOND
- ⬢ PRECAST CONCRETE
- ⬢ CONCRETE PLANTER WALL (SEE LANDSCAPE DRAWINGS)
- ⬢ PREFINISHED METAL FLASHING
- ⬢ ALUMINUM WINDOW FRAME
- ⬢ VISION GLASS

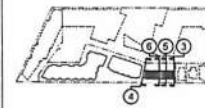
- ⬢ INSULATED GLASS TRANSPARE
- ⬢ ALUMINUM FRAMED GLASS GUARDRA
- ⬢ ALUMINUM FRAMED GLASS GUARDRA (W/SCREENED PATTERN)
- ⬢ FENCING AND GATE - SEE LANDSCAPE
- ⬢ PREFINISHED METAL PANEL CLADDING
- ⬢ PREFINISHED VERTICAL METAL CLADDING
- ⬢ METAL SCREEN

- ⬢ METAL TRELLIS
- ⬢ ARCHITECTURAL CONCRETE FINISH
- ⬢ DECORATIVE WOOD PATTERN METAL SOFFITWALL
- ⬢ ACCENT CLADDING



NORTH

KEY PLAN:



1. END ELEVATION
2. DEVELOPMENT PERMIT APPLICATION
3. DEVELOPMENT PERMIT APPLICATION
4. DEVELOPMENT PERMIT APPLICATION
5. DEVELOPMENT PERMIT APPLICATION
6. DEVELOPMENT PERMIT APPLICATION

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associates
architectural urban design
9100 Kennedy Street, Vancouver, BC, Canada V6N 3C1
604.687.3000 www.endall-elliott.com

PROJECT
CAPITAL PARK

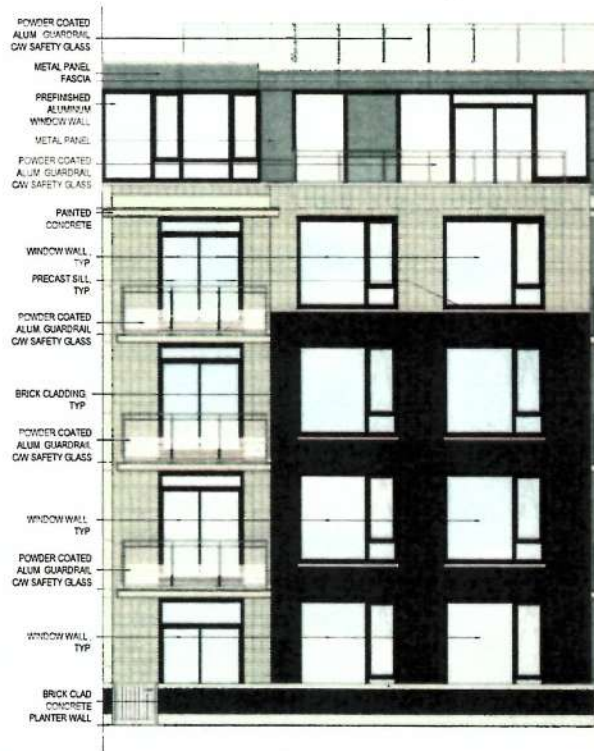
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP-4-10-10

TITLE
BUILDING E
560 MICHIGAN ST.
EAST ELEVATION &
SECTIONS

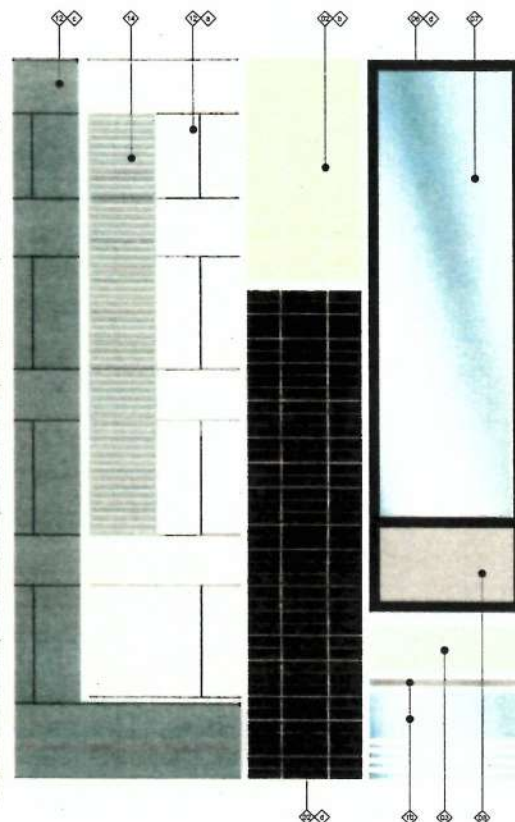
PROJECT No. 2299-0
DATE 11 October 2017
SCALE 1:150
DRAWN BY
CHECKED BY
REV. No.

SHEET No.

A2.13



TYPICAL PARTIAL ELEVATION - SOUTH
1:50 ③



MATERIAL PALETTE
1:50 ②



TYPICAL PARTIAL ELEVATION - NORTH
1:50 ①

MATERIAL KEY

- BRICK - RUNNING BOND
- BRICK - STACKED BOND
- PRECAST CONCRETE
- CONCRETE PLANTER WALL (SEE LANDSCAPE DRAWINGS)
- PREFINISHED METAL FLASHING
- ALUMINUM WINDOW FRAME
- VISION GLASS

- INSULATED GLASS SPANDREL
- ALUMINUM FRAMED GLASS GUARDRAIL
- ALUMINUM FRAMED GLASS GUARDRAIL W/ SCREENED PATTERN
- FENCING AND GATE - SEE LANDSCAPE
- PREFINISHED METAL PANEL CLADDING
- PREFINISHED VERTICAL METAL CLADDING
- METAL SCREEN

- METAL TRELLIS
- ARCHITECTURAL CONCRETE FINISH
- DECORATIVE WOOD PATTERN METAL SOFFIT WALL
- ACCENT CLAD NG.

COLOUR KEY

- WHITE
- LIGHT GREY
- MID GREY
- DARK GREY
- DARK BROWN
- BRICK RED
- DARK BLUE



01 PRELIMINARY DESIGN
02 DETERMINATION PROJECT AFFILIATION
03 DESIGN DEVELOPMENT
04 DESIGN DEVELOPMENT
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SEAL

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architecture urban design

9110 UNIVERSITY AVENUE, VANCOUVER, BC, CANADA V6P 3C1
604.687.3079 www.endall-elliott.com

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PROJECT
CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY. PLAN EPP54040

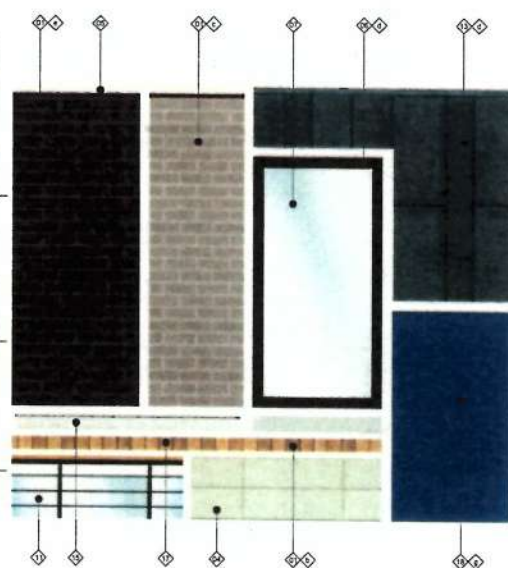
TITLE
BUILDING D
550 MICHIGAN ST.
PARTIAL ELEVATIONS &
MATERIALS

PROJECT No. 3289-0
DATE 14 November 2019
SCALE 1:50
DRAWN BY
CHECKED BY
REV. No.
SHEET No.

A2.14



TYPICAL PARTIAL ELEVATION - SOUTH 1:50 ③



MATERIAL PALETTE 1:50 ②



TYPICAL PARTIAL ELEVATION - NORTH 1:50 ①

MATERIAL KEY

- ◆ BRICK - RUNNING BOND
- ◆ BRICK - STACKED BOND
- ◆ PRECAST CONCRETE
- ◆ CONCRETE PLANTER WALL (SEE LANDSCAPE DRAWINGS)
- ◆ PREFINISHED METAL FLASHING
- ◆ ALUMINUM WINDOW FRAME
- ◆ VISION GLASS

- ◆ INSULATED GLASS SPANDREL
- ◆ ALUMINUM FRAMED GLASS GUARDRAIL
- ◆ ALUMINUM FRAMED GLASS GUARDRAIL W/ SCREENED PATTERN
- ◆ FENCING AND GATE - SEE LANDSCAPE
- ◆ PREFINISHED METAL PANEL CLADDING
- ◆ PREFINISHED VERTICAL METAL CLADDING
- ◆ METAL SCREEN

- ◆ METAL TRELLIS
- ◆ ARCHITECTURAL CONCRETE FINISH
- ◆ DECORATIVE WOOD PATTERN METAL SCOFF/WALL
- ◆ ACCENT CLADDING

COLOUR KEY

- ◆ WHITE
- ◆ LIGHT GREY
- ◆ MID GREY
- ◆ DARK GREY
- ◆ DARK BROWN
- ◆ BRICK RED
- ◆ DARK BLUE



KEY PLAN



01 SITE PLAN
02 DEVELOPMENT PERMIT APPLICATION
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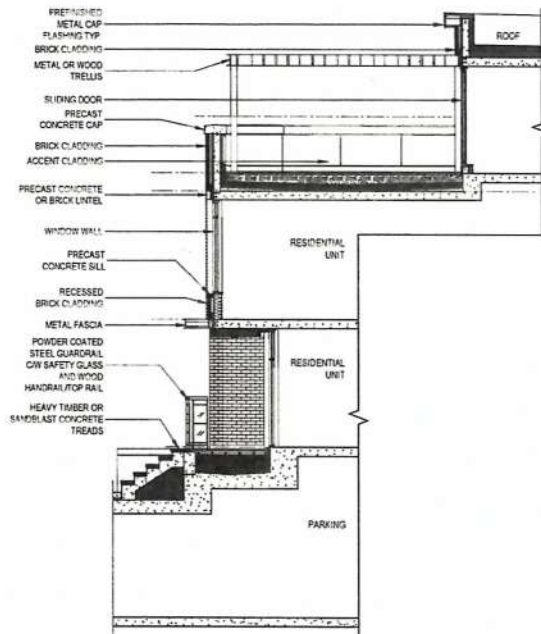
endall elliot
associates
architectural urban design
9120 richmond street, victoria bc v8c 1c1
1.800.667.3310 www.endall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 2C
530 560 MICHIGAN ST. VICTORIA, B.C.
LOT 3, VICTORIA CITY, PLAN EPP46100
TITLE
**BUILDING E
560 MICHIGAN ST.
PARTIAL ELEVATIONS &
MATERIALS**

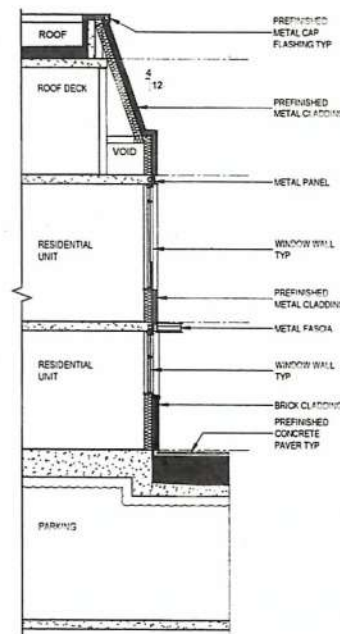
PROJECT No 2289 D
DATE 18 August 2022
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DRAWN BY
CHECKED BY
REV No

SHEET No

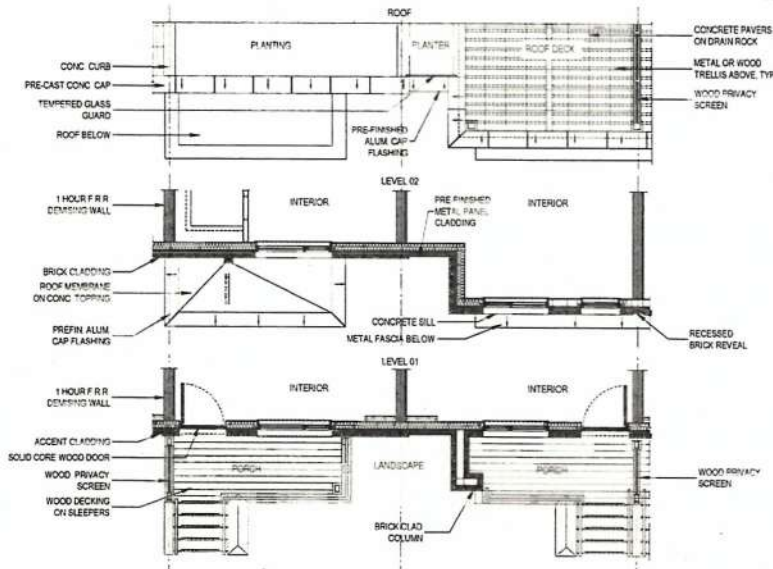
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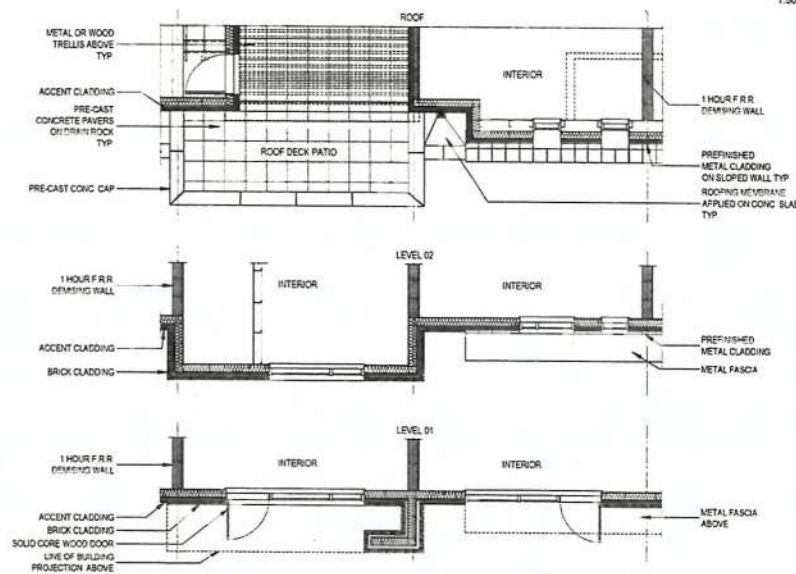
TYPICAL WALL SECTION - SOUTH 1:50 ②



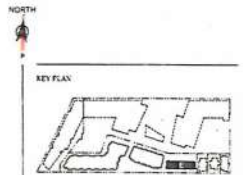
TYPICAL WALL SECTION - NORTH 1:50 ①



TYPICAL PARTIAL PLANS - SOUTH 1:50 ④



TYPICAL PARTIAL PLANS - NORTH 1:50 ③



01	REVISION: LAYOUT CHANGE	2024-07-22
02	REVISION: LAYOUT CHANGE	2024-07-22
03	REVISION: LAYOUT CHANGE	2024-07-22
04	REVISION: LAYOUT CHANGE	2024-07-22

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architecture urban design

530 560 MICHIGAN ST. VICTORIA B.C. V8V 1A1
1-800-451-3018

PROJECT
CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530 560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP54040

TITLE
BUILDING E
560 MICHIGAN ST.
PARTIAL PLANS &
WALL SECTIONS

PROJECT No. 2284-0
DATE 18 August 2022
SCALE 1:50
DRAWN BY
REV No
SHEET No

A2.17



3D MODEL - OVERALL VIEW LOOKING NORTH
N.T.S. ①



3D MODEL - OVERALL VIEW LOOKING NORTHEAST
N.T.S. ②

KEY PLAN



BY: ENDALL ELLIOT ASSOCIATES
DATE: 2018-05-14
SCALE: 1:1000

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architecture urban design

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1-800-887-2008 www.endall-elliott.com

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PROJECT:
CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530-560 KICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP34040

TITLE
3D MODEL
OVERALL PERSPECTIVE
VIEWS

PROJECT No: 2269 D
DATE: 14 November 2018
SCALE: N.T.S.
DRAWN BY:
CHECKED BY:
REV. No:
SHEET No:

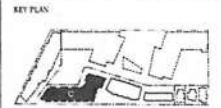
A3.01



3D MODEL - BUILDING C VIEW LOOKING NORTHWEST
N.T.S. ①



3D MODEL - BUILDING C VIEW LOOKING SOUTHEAST
N.T.S. ②



01	GENERAL INFORMATION	2014 01 21
02	DEVELOPMENT APPLICATION	2014 05 21
03	REVISED	2014 05 21

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PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530 560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP34040

TITLE
3D MODEL
BUILDING C
PERSPECTIVE VIEWS

PROJECT No 3500.0
DATE 14 August 2017
SCALE N.T.S.
DRAWN BY
CHECKED BY
REV 001
SHEET No

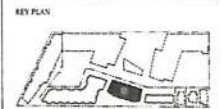
A3.02



3D MODEL - BUILDING D VIEW LOOKING NORTH
N.T.S. ①



3D MODEL - BUILDING D VIEW LOOKING SOUTH
N.T.S. ②



BY	ENDALL ELLIOT ASSOCIATES	2014 03 27
BY	LEGISLATURE COMPREHENSIVE DISTRICT DEVELOPMENT AREA LP-2C	2014 03 27
BY	3000 000	DATE
SEAL		

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associates
architecture urban design
9100 westhamp street, vancouver, bc, canada v6p 3c1
604.687.3010 www.endall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
300 000 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPPS 0040
TITLE
3D MODEL
BUILDING D
PERSPECTIVE VIEWS

PROJECT No. 3389 0
DATE 18 August 2017
SCALE N.T.S.
DRAWN BY
CHECKED BY
REV. No
SHEET No

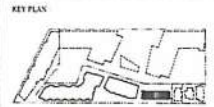
A3.03



3D MODEL - BUILDING E VIEW LOOKING NORTH
N.T.S. 2



3D MODEL - BUILDING E VIEW LOOKING SOUTHWEST



01	DETAILED CONSTRUCTION	2007-08-01
02	DEVELOPMENT PHASE	2007-09-01
Su	SUPPLY OF	2007-10-01

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associates
architecture urban design

915b richards street, vancouver, bc, canada v6b 3c1
t 604.687.3008 www.endall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP5117-001

TITLE
3D MODEL
BUILDING E
PERSPECTIVE VIEWS

PROJECT No.	4444
DATE	18 August 2017
SCALE	N.T.S.
DRAWN BY	
PREPARED BY	
REV. No.	
SHEET No.	



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4:00 PM

MARCH/SEPTEMBER EQUINOX
N.T.S.

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JUNE SOLSTICE
N.T.S.

2



BY: ENDALL ELLIOT ASSOCIATES
DATE: 2018.07.22
REVISION: 2018.08.21
SCALE: 1:1000

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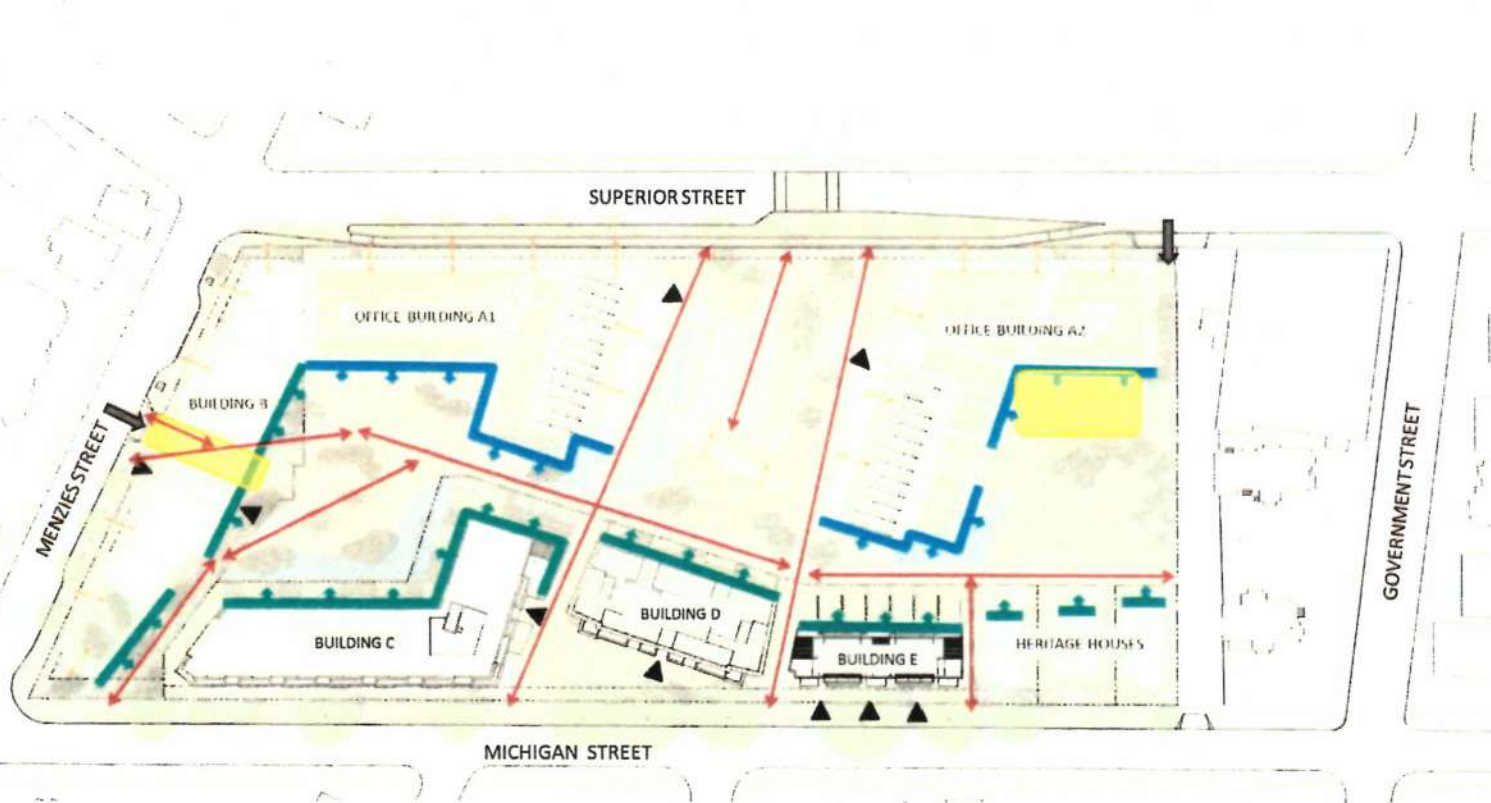
8120-10000 RD, VICTORIA, BC, CANADA, V8P 3C1
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PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 2C
530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY. PLAN EPP 4481(1)
TITLE
SHADOW ANALYSIS

PROJECT No: 18-0001
DATE: 18 August 2018
SCALE: N.T.S.
DRAWN BY: [Name]
CHECKED BY: [Name]
REV No

SHEET No
A4.01



01 SITE PLAN
02 DEVELOPMENT PLAN (PLOT 20)
03 SITE PLAN
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endall elliot
associates
architecture urban design
9120 Richards Street, Vancouver, BC, Canada V6B 3C1
604.687.3003 www.endall-elliott.com

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP 20
530-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP540141
TITLE
CPTD / SAFETY & SECURITY PROVISIONS

PROJECT No. 1000-0
DATE 14 August 2017
SCALE N.T.S.
DRAWN BY
CHECKED BY
REV. No.
SHEET No.

A4.02

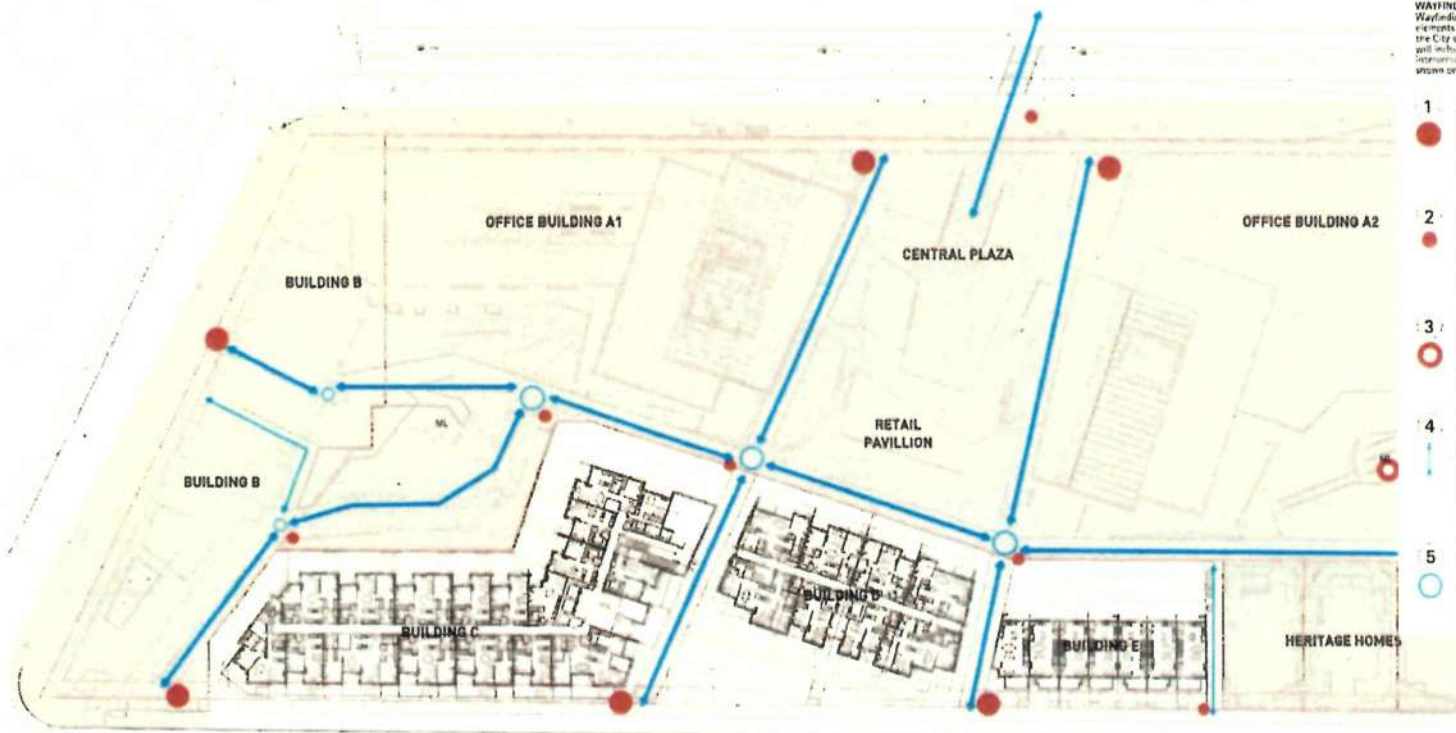
CPTD / SAFETY & SECURITY PROVISIONS KEY PLAN

LEGEND

- RETAIL & OTHER ACTIVE USES AT GRADE ALONG MENZIES AND SUPERIOR STREET FRONTAGES, AS WELL AS AT CENTRAL PUBLIC PLAZA
- CLEAR & OBVIOUS SIGHT LINES AND MULTIPLE ACCESS POINTS TO/AND THROUGH THE SITE
- DAYTIME OVERLOOK & SURVEILLANCE OF COURTYARD SPACE BY OFFICE OCCUPANTS
- EVENING OVERLOOK & SURVEILLANCE OF COURTYARD SPACES BY RESIDENTIAL OCCUPANTS

- INCREASED LIGHTING LEVELS AND POTENTIAL INCORPORATION OF ON-SITE SECURITY SURVEILLANCE AT PARKING ENTRANCES AND SERVICE COURTYARD AREAS
- PARKING ENTRIES WITH ACCESS CONTROL AND SURVEILLANCE AS APPROPRIATE
- CLEAR IDENTIFICATION AND LIGHTING AT BUILDING ENTRIES

* BELOW GRADE PARKING AREAS TO PRIORITIZE SECURITY, LEGIBILITY, ACCESSIBILITY AND EASE OF CIRCULATION



WAYFINDING LEGEND

Wayfinding will be encouraged through various signage elements throughout the site and will give consideration to the City of Victoria Sign System. These wayfinding elements will include entry signage, wayfinding signage as well as interpretative signage. Potentially suitable locations are shown on the plan to the left.

- 1 **ENTRY SIGNAGE**
Entry signs will be located at the entry points of the site. The intent for the entry signs is to identify the project within the neighbourhood context, potentially include the project name, site map and supporting user information. Signage may either be the form of vertical markers and/or integrated into the ground plane.
- 2 **WAYFINDING SIGNAGE**
Potentially suitable locations for pedestrian wayfinding elements will be identified at key nodes within the site and will be used to provide further site orientation. These may be in the form of vertical markers, fin signage affixed to light poles and/or signage integrated into the ground plane.
- 3 **INTERPRETATIVE SIGNAGE**
Interpretative signage will be encouraged at prominent locations and designed to amplify the main attributes of the site. Avoid free standing signage in favour of elements that are integrated in the ground plane, landscape walls and other landscape structures.
- 4 **PEDESTRIAN CIRCULATION ROUTE**
A network of circulation routes provide universal access through the site and connections to the surrounding neighbourhood. The materiality of the ground plane will be consistent with all pathways in order to provide clear and identifiable routes. Long grain paving modules are designed to follow the direction of flow - offering both a desirable aesthetic treatment as well as a means for tactile wayfinding for the visually impaired.
- 5 **PEDESTRIAN CIRCULATION NODES**
Pedestrian circulation nodes are indicated at the intersections of pedestrian circulation routes within the site. They become logical places for secondary wayfinding signage and seating. The directional grain of the paving treatment will shift at these locations to include the orientation of intersections pathways.



KEY PLAN



01	PRELIMINARY APPROVAL	2014-01-27
02	DEVELOPMENT PERMIT APPLICATION	2014-01-27
03	2014-01-27	2014-01-27

SEAL

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associates
architecture urban design

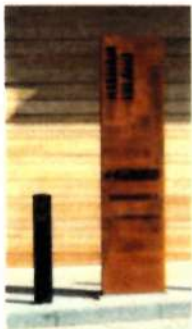
9120 APPOINTMENT STREET, VANCOUVER, BC, CANADA V6B 3C1
1-604-687-3030 www.endall-elliott.com

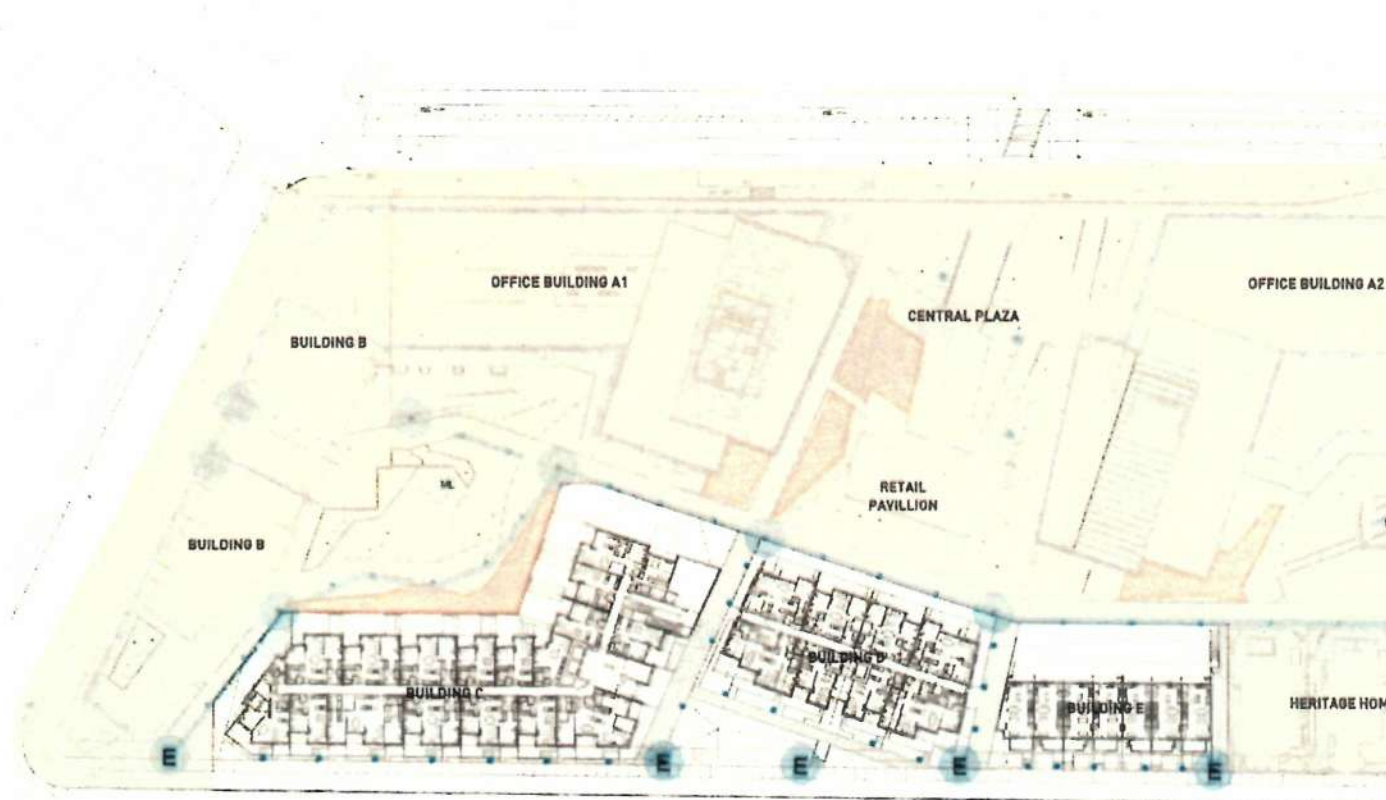
This plan is not to be used for any other project without the written consent of Endall Elliott Associates. It is the property of Endall Elliott Associates and shall remain their property. It is to be used only for the project and site identified on this plan.

PROJECT
CAPITAL PARK
LEGISLATURE COMPREHENSIVE DISTRICT DEVELOPMENT AREA LP 2C
570-560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP51040
TITLE
WAYFINDING
CONCEPT PLAN

PROJECT No 2080-0
DATE 18 August 2017
SCALE N.T.S.
DRAWN BY
CHECKED BY
REV No
SHEET No

A4.03





SITE LIGHTING CONCEPT PLAN

The lighting of the public realm looks to enhance the surrounding, to support safety and security, CPTED, and highlight featured design elements within the site. This is achieved through architectural accent lighting, feature way finding lighting, water feature lighting as well as accent lighting.

Information shown is conceptual and subject to design development in collaboration with building owner and future tenants. LEED Certification requirements, and the Capital Park Urban Design Guidelines.

- 1 ARCHITECTURAL ACCENT LIGHTING**
Building exterior lighting to be low level and minimalist, generally consisting of up and / or down lighting integrated with building facade, including canopies and/or soffit areas along the Super or, Mezzies and Central Plaza facades. Potential "in ground" lighting, installed flush to paving surface, will also be considered along the office building frontages as to the Central Plaza.

Soffit lighting at the parking entry area off of Menzies Street and building lighting at the A2 Office Building reserve area will provide higher light levels to ensure the increased security in these areas.

- TYPE 1 - BUILDING CANOPY AND/OR SOFFIT LIGHTS

- 2 WAY-RETURN LIGHTING**
Upward facing and typical light standards, pathways within the site are illuminated with standard light levels to improve upon nighttime navigation.

PROGRAMME LOCATIONS FOR LIGHTING TO BE ADAPTED

- TYPE 1 - PEDESTRIAN STREET LIGHT
- TYPE 2 - LANDSCAPE POST
- TYPE 3 - LANDSCAPE LANTERN
- TYPE 4 - ENTRY LANTERN

- 3 WATER FEATURE LIGHTING**
The lighting concept within the water features look to highlight the water display elements.

- TYPE 5 - UNDERWATER LED STRIP LIGHT
- TYPE 6 - SUBMERSIBLE ACCENT LIGHT

- 4 ACCENT LIGHTING**
Lighting at a low light level, integrated into featured design elements within the landscape such as benches and featured walls. The intent of the lighting design will be to highlight these featured design elements.

- TYPE 7 - UP LIGHT AT FEATURE MATERIAL
- TYPE 8 - LED TAPE LIGHT
- TYPE 9 - FLUSH MOUNT ACCENT LIGHT

NORTH

KEY PLAN



01 REVISED CONCEPT PLAN 2014 02 22
02 SITE LIGHTING CONCEPT PLAN 2017 08 25
03 100% PLAN 2017

SCALE

endall elliot
associates
architectural urban design

9100 Richmond Street, Vancouver, BC, Canada V6V 3C1
1.604.687.3005 www.endall-elliott.com

The Corporation and its officers and employees are not responsible for the accuracy of the information provided in this plan.

PROJECT
CAPITAL PARK

LEGISLATURE COMPREHENSIVE DISTRICT
DEVELOPMENT AREA LP-2C
530 560 MICHIGAN ST. VICTORIA B.C.
LOT 3, VICTORIA CITY, PLAN EPP540 10

TITLE
**SITE LIGHTING
CONCEPT PLAN**

PROJECT No. 3288 B
DATE 14 August 2017
SCALE N.T.S.
DRAWN BY
CHECKED BY
REV No.
SHEET No.

A4.04



SOUTH BRICK

Cuts 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838

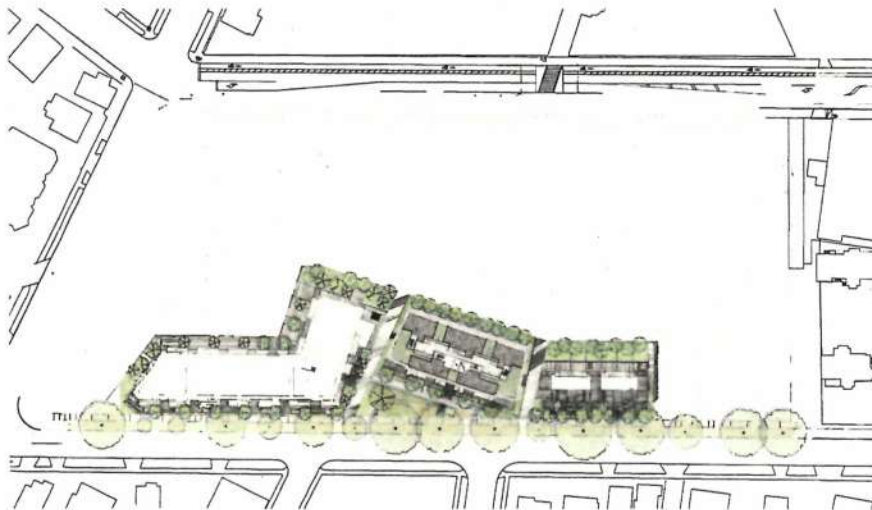


CAPITAL PARK MIXED USE DEVELOPMENT - PHASE 3

530, 550, & 560 MICHIGAN STREET, VICTORIA B.C., CANADA
LOT 3, DISTRICT LOTS 1732-1741 INCLUSIVE, VICTORIA CITY, PLAN EPP54040.



12-0000-1000-000
REV. DATE
1. 00-0000 00-0000
2. 00-0000 00-0000



PROJECT NAME
Capital Park Mixed Use Development Phase 3
LEGISLATURE COMPREHENSIVE DISTRICT DEVELOPMENT AREA LP-3C, VICTORIA, B.C.

CIVIC ADDRESS
530, 550, & 560 MICHIGAN STREET, VICTORIA B.C., CANADA

LEGAL ADDRESS
530 MICHIGAN STREET VICTORIA B.C. PID: 029-737-524
LOT 3, DISTRICT LOTS 1732-1741 INCLUSIVE, VICTORIA CITY, PLAN EPP54040.

DRAWING CONTENTS

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LDP 00.2	TREE MANAGEMENT PLAN		
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LDP 1.01	MATERIALS AND GRADING	BUILDING C	LEVEL 2
LDP 1.02	MATERIALS AND GRADING	BUILDING C & E	LEVEL 1
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LDP 2.03	PLANTING PLAN	BUILDING C & E	LEVEL ROOF
LDP 3.00	SECTIONS	BUILDING C, D & E	

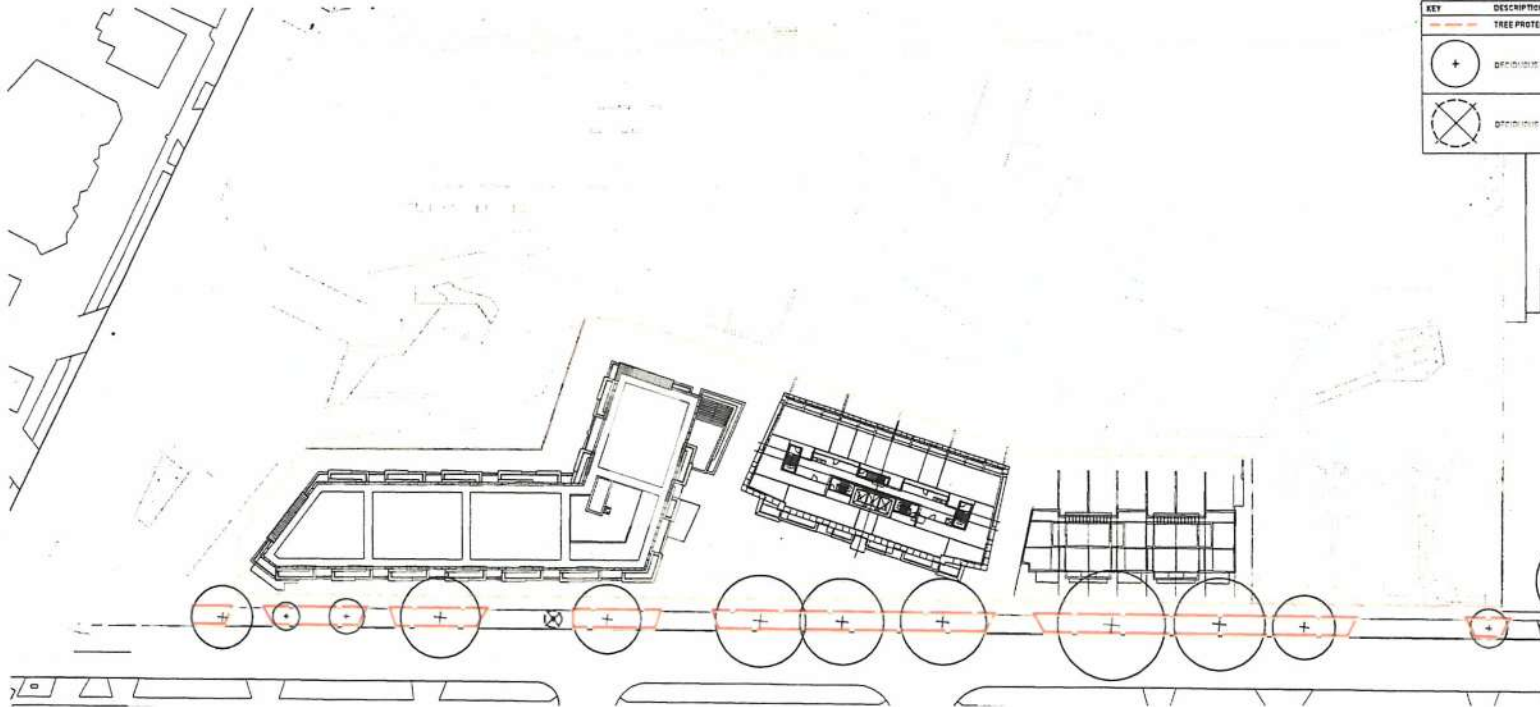
Capital Park Mixed Use
Development Phase 3

530, 540, & 550 Michigan Street,
Victoria B.C.
Legislature Amendment Lot 3, Victoria City
Plan EPP54040

COVER PAGE

DATE	12-0000	SCALE	1:750
DESIGNER	12044		
DATE	21 AUGUST 2017		
REVISION	12044 Plan 000		
DATE	17-10-6		
DATE	12/07		

LDP 0.00



TREE MANAGEMENT LEGEND:

KEY	DESCRIPTION
	TREE PROTECTION BARRIER FENCE
	EXISTING TREE TO BE RETAINED
	EXISTING TREE TO BE REMOVED

TREE PROTECTION NOTES

- DO NOT REMOVE OR RELOCATE A RETAINED TREE OR REPLACEMENT TREE EXCEPT IN COMPLIANCE WITH A TREE PLAN.
- DO NOT REMOVE A TREE WITHOUT FIRST OBTAINING A TREE PERMIT.
- DO NOT LIGHT A FIRE WITHIN THE ORIGIN OF A TREE, A RETAINED TREE OR A REPLACEMENT TREE.
- DO NOT REMOVE BARK FROM A TREE, A RETAINED TREE OR A REPLACEMENT TREE.
- DO NOT CAUSE ANY OTHER DAMAGE TO A TREE, A RETAINED TREE OR A REPLACEMENT TREE.
- NO PERSON SHALL ALTER THE EXISTING GRADE AROUND A RETAINED TREE EXCEPT THAT A PERSON MAY RAISE THE GRADE BY NO MORE THAN 100 MM (4 IN) WITHIN 1.5 M (5 FT) OF THE TRUNK AND BY NO MORE THAN 100 MM (4 IN) FROM THAT POINT TO THE ORIGIN OF THE TREE.

TREE PROTECTION

- ALL RETAINED TREES AND ALL REPLACEMENT TREES MUST BE PROTECTED BY A TREE PROTECTION BARRIER CONSTRUCTED, LOCATED AND MAINTAINED IN ACCORDANCE WITH THE TREE MANAGEMENT PLAN.
- NO PERSON SHALL COMMENCE CONSTRUCTION UNLESS AND UNTIL THE TREE PROTECTION BARRIER HAS BEEN INSTALLED.
- DO NOT STORE ANY MATERIALS OR EQUIPMENT WITHIN OR AGAINST THE TREE PROTECTION BARRIER.

TREE PROTECTION BARRIER

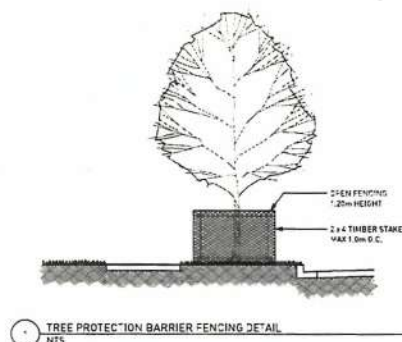
- TREE PROTECTION BARRIERS MUST BE AT LEAST 1.2M (4 FT) HIGH AND CONSTRUCTED OF EITHER KNOWN FENCING SECURELY FASTENED TO 2 x 4 THIMBER STAKES OR METAL STAKES SPACED NO FURTHER THAN 1.8M (6 FT) AND FASTENED FIRMLY TO THE GROUND OR PLYWOOD NAILLED TO 2 x 4 THIMBER STAKES.
- AFTER TREE PROTECTION BARRIERS HAVE BEEN INSTALLED, THEY MUST BE REVIEWED BY THE PROJECT ARCHITECT.
- INFORM THE PROJECT ARCHITECT WHEN TREE PROTECTION BARRIER FENCING CAN BE REMOVED AND PRIOR TO ANY CONSTRUCTION ON SITE.

BOULEVARD TREES

- ALL BOULEVARD OR STREET TREES ADJACENT TO A CONSTRUCTION SITE ARE TO BE PROTECTED, INCLUDING THOSE THAT ARE LESS THAN 250 MM (10 IN) DIAMETER.
- ALLOW FOR FREE AND CLEAR PASSAGE OF PEDESTRIANS ON THE SIDEWALK AND ADJACENT PORTION OF BOULEVARD.
- PROVIDE FOR CLEAR VISIBILITY OF FIRE HYDRANTS, DRIVEWAY ACCESS AND CROSSWALKS. USE SEE-THROUGH FENCING SUCH AS PLASTIC "SNOW FENCING".
- TREE PROTECTION BARRIER SHALL BE 1000 MM (40 IN) FROM THE CURB AND 300 MM (12 IN) FROM AN ADJACENT SIDEWALK.
- BOULEVARD OR STREET TREES MUST NOT BE PRUNED WITHOUT THE PRIOR APPROVAL OF THE PROJECT ARCHITECT.

TREE RETENTION CARE DURING CONSTRUCTION

- TREES WITHIN THE TREE PROTECTION BARRIER MUST BE ADEQUATELY CARED FOR THROUGHOUT THE CONSTRUCTION PROCESS. THEY MUST BE WATERED FREQUENTLY TO ENSURE THAT THE FULL ROOT AREAS DO NOT DRY OUT.
- ROOTS EXPOSED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 150 MM (6 IN) BACK FROM NEW CONSTRUCTION. USE CLEAN, SHARP TREE PRUNING SAWS AND TOOLS.
- CONTRACTOR TO ADD A 4" LAYER OF MULCH WITHIN PROTECTED TREE ZONE FROM COMPLETION OF THE TREE PROTECTION FENCING UNTIL TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR TO WATER EXISTING AND RELOCATED TREES ACCORDING TO THE WATERING SCHEDULE NOTED ON TABLE 1.
- ANY DAMAGE TO OR LOSS OF A TREE DURING THE CONSTRUCTION PROCESS AS A RESULT OF IMPROPER CARE OR A FAILURE TO FOLLOW THE PROCEDURES OUTLINED HEREIN WILL BE SUBJECT TO REVIEW. THE VALUE OF DAMAGE WILL BE EVALUATED BASED ON THE MOST RECENT EDITION OF THE MANUAL OF TREE AND LANDSCAPE ARCHITECTS' GUIDE FOR PLANT APPRAISAL.



TREE PROTECTION BARRIER FENCING DETAIL
NOTES



530, 540 & 560 Michigan Street,
Victoria B.C.
Legislative Project, Lot 3, Victoria City,
Plan 00000000

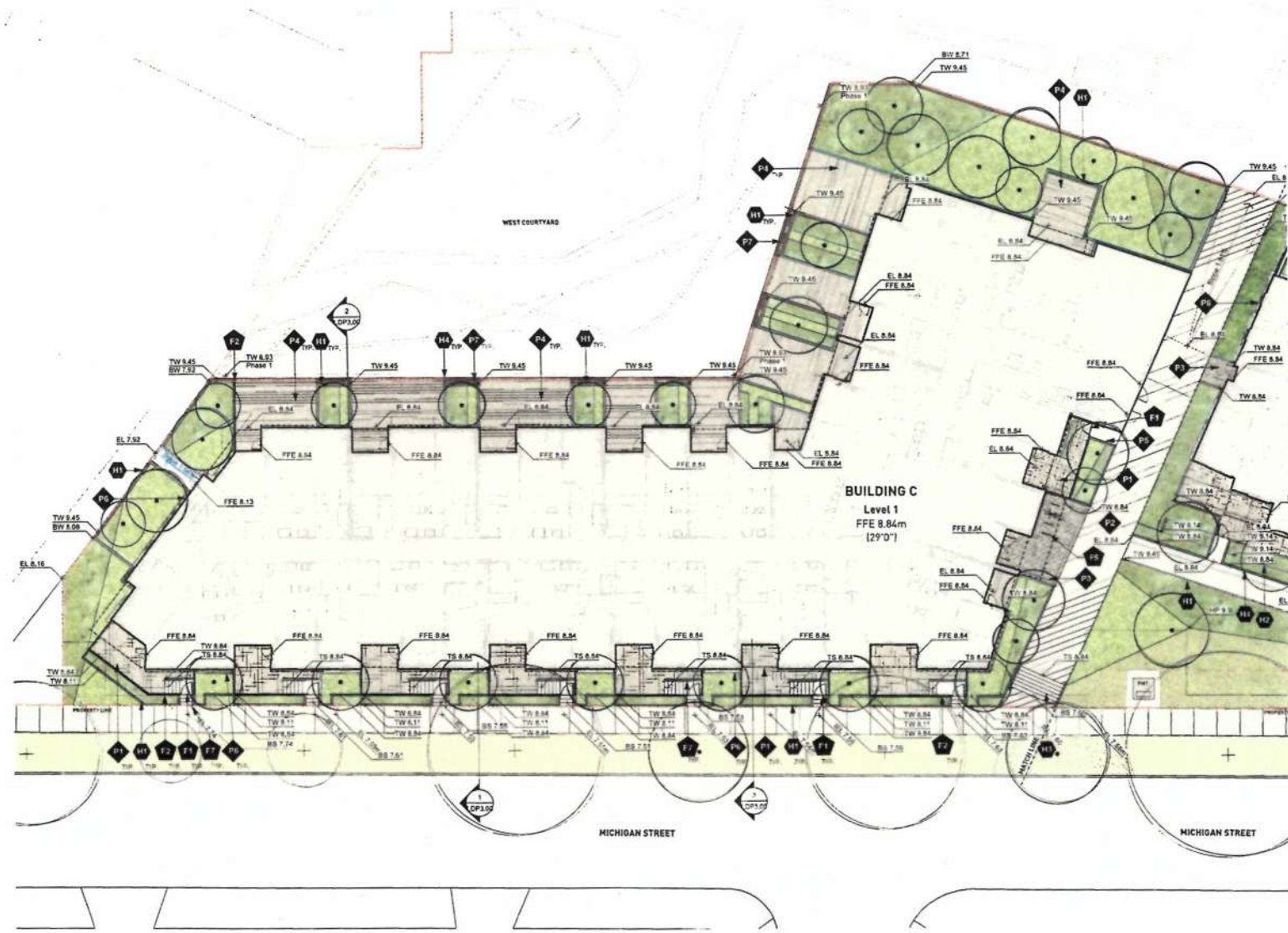
Capital Park Mixed Use Development Phase 3

530, 540 & 560 Michigan Street,
Victoria B.C.
Legislative Project, Lot 3, Victoria City,
Plan 00000000

TREE MANAGEMENT PLAN

DATE	SCALE
21 AUGUST 2013	1:400
PROJECT	530, 540 & 560 Michigan Street
CLIENT	CONCORRT
DESIGNER	CONCORRT
DATE	21 AUGUST 2013

LDP 00.2



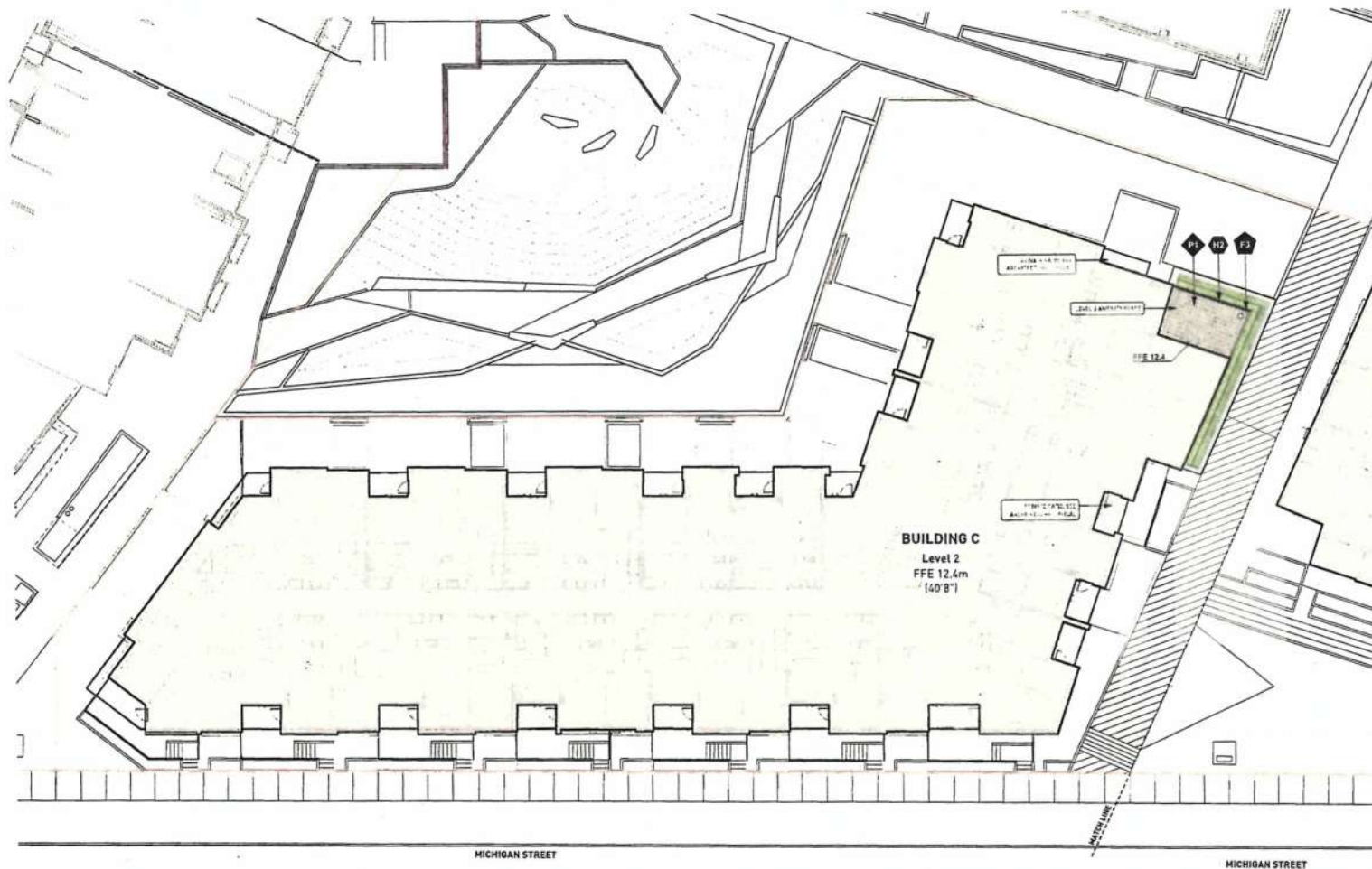
Capital Park Mixed Use Development Phase 3

530, 540 to 560 Michigan Street,
Victoria B.C.
Legislative Precinct (Lot 3) Victoria City,
V8W 1P1 (40742)

**MATERIALS AND GRADING
BUILDING C
LEVEL 1**

	
SCALE	1:150
PROJECT NO.	17044
DATE	21 AUGUST 2015
FILE NAME	17044 Plan.mxd
PLANT	13-15-6
DESIGNER	JAWOLL
REVISIONS	

LDP 1.00



Capital Park Mixed Use Development Phase 3

530, 540 to 560 Michigan Street,
Victoria B.C.
Legislative Precinct Lot 3 Victoria City,
Plan 17044

MATERIALS AND GRADING BUILDING C LEVEL 2

PROJECT	17044
DATE	21 AUGUST 2013
REVISION	17044 Plan 17044
SCALE	1/150
DRAWN	BNP
CHECKED	

LDP 1.01

121
25



PWL partner

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 1000 West 10th Avenue
 Suite 100
 Vancouver, BC V6H 2G6
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Javel Properties Ltd.

CONCART

1000 West 10th Avenue
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 Vancouver, BC V6H 2G6
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 Email: info@pwl.ca

Capital Park Mixed Use Development Phase 3

320, 540 to 545 Michigan Street,
Vancouver, B.C.
Legislative Assembly, East 3rd Avenue, City,
Vancouver, B.C.

MATERIALS AND GRADING BUILDING D & E LEVEL 1

PROJECT NO.	17044
DATE	21 AUGUST 2017
REVISION	17044 Rev. 001
PROJECT	17-10-6
DATE	28/08/17
DESIGNED BY	28/08/17

LDP 1.02



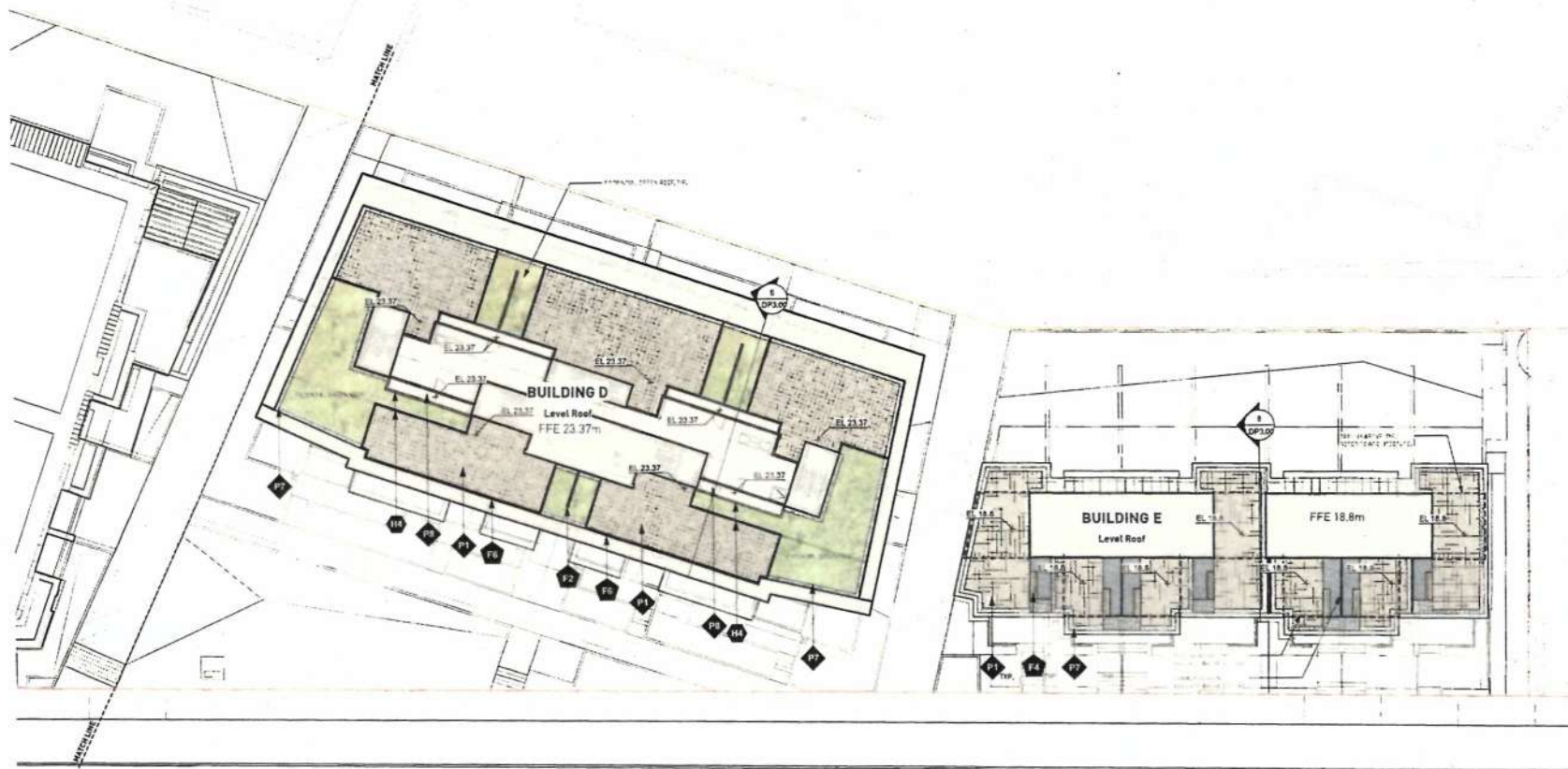
Paul Thompson & Associates Ltd.
100 Main Street, Suite 100
Victoria, BC V8V 1A1
Tel: 250-383-1111
Fax: 250-383-1112

audal architect

Javi Properties Ltd.

CONC=RT

REVISIONS	
NO.	DATE
1	2017-08-01
2	2017-08-01



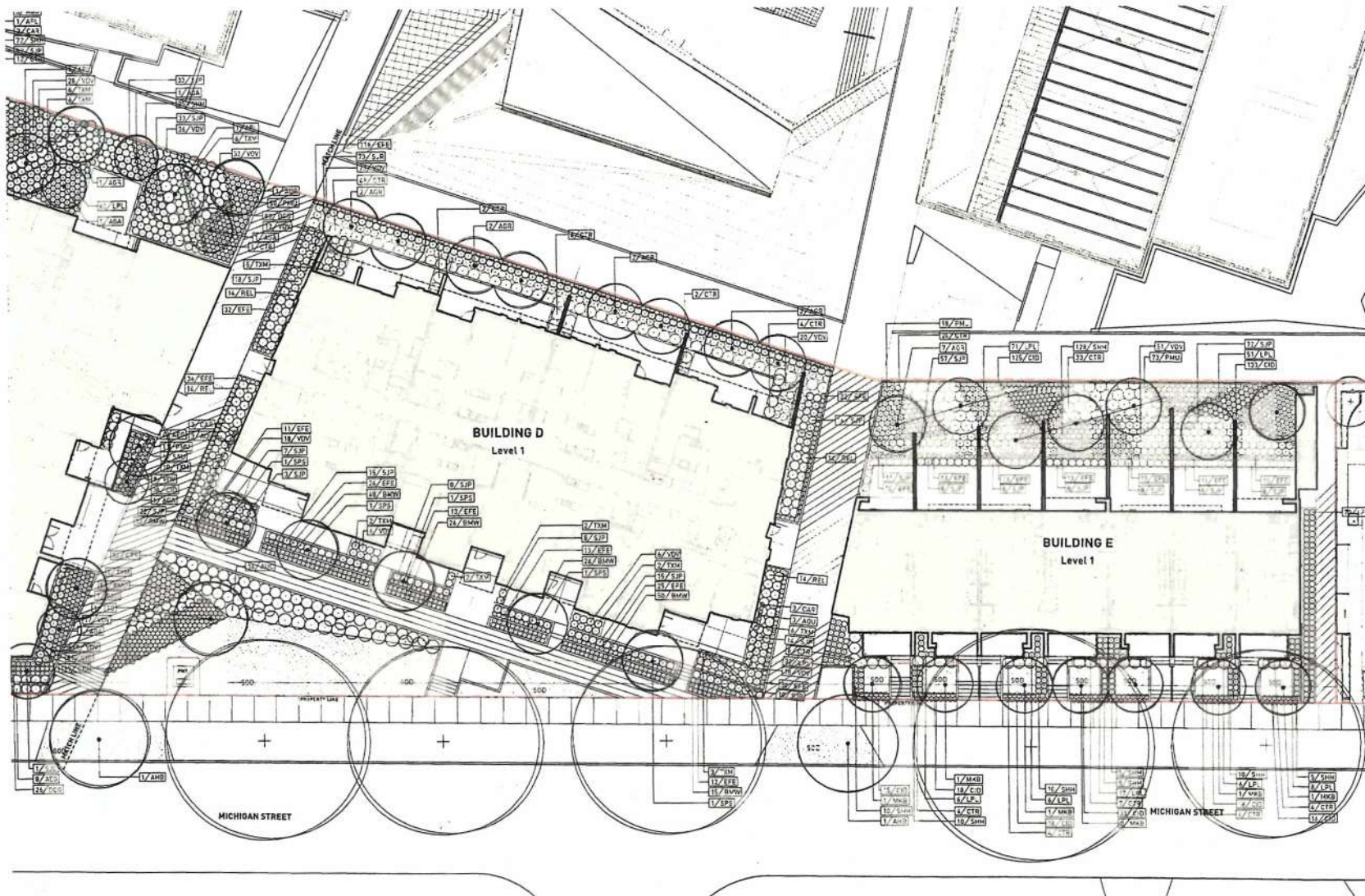
Capital Park Mixed Use Development Phase 3

530, 540 & 550 Main Street,
Victoria B.C.
Legislative Assembly, East 3 Victoria City,
Plan EPP-147-10

MATERIALS AND GRADING BUILDING D & E LEVEL ROOF

REVISIONS	
NO.	DATE
1	2017-08-01
2	2017-08-01

LDP 1.03



CONC-RT

ML DATE	2017/01/01
2	2017/01/01

Capital Park Mixed Use Development Phase 3

520, 540 & 560 Michigan Street,
Victoria B.C.
Legislative Proposal, Lot 3 Victoria City,
Plan E0114-00

PLANTING PLAN BUILDING D & E LEVEL 1

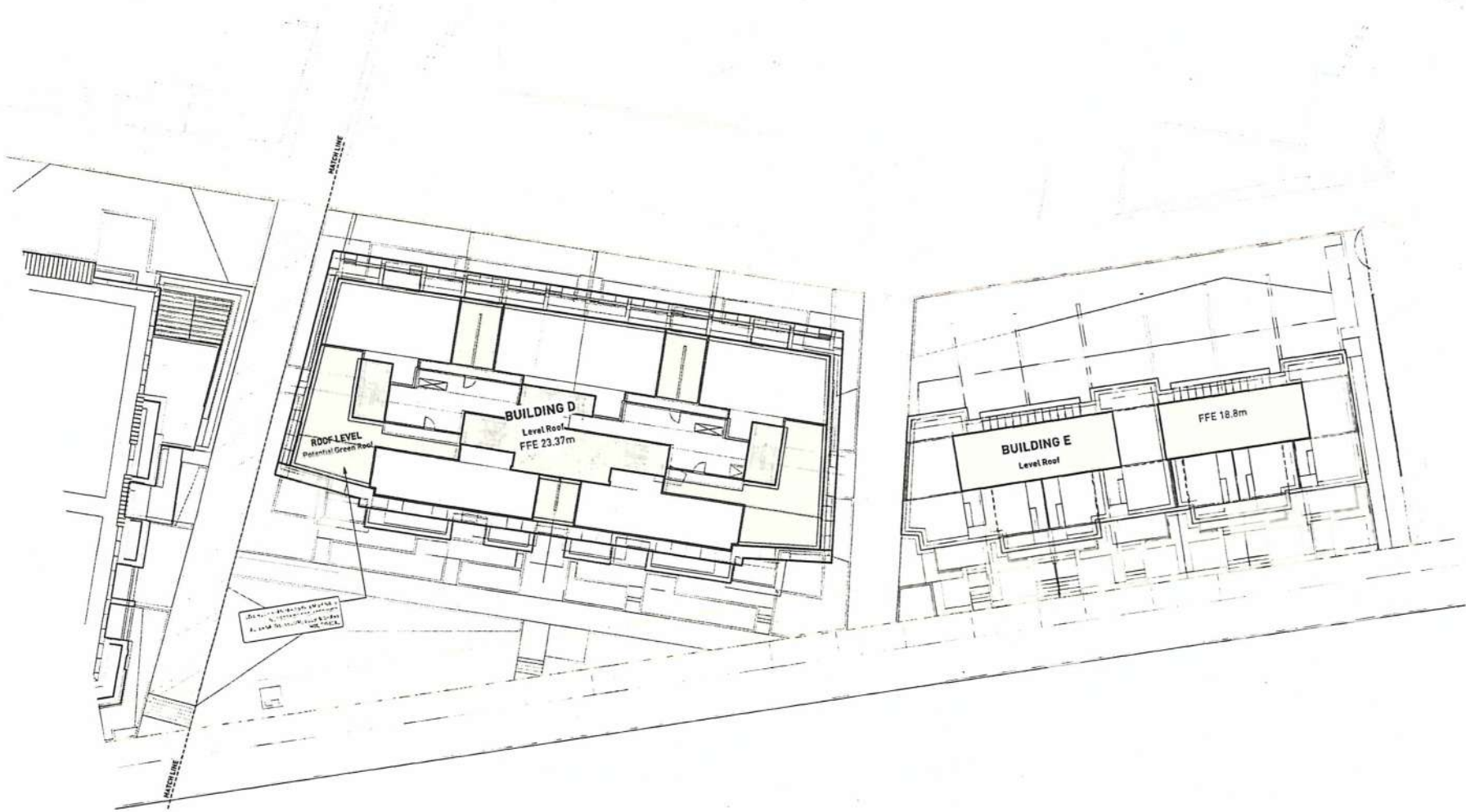
SCALE	1:150
PROJECT NO.	17044
DATE	21 AUGUST 2017
PROJECT NAME	17044 Plan JWS
PROJECT	17-10-0
DATE	2017
PROJECT	2017

LDP 2.02

PWL partnership
 P.W.L. Partnership is a registered company in British Columbia.
 10-1101 West Broadway
 Vancouver, BC V6H 1G6
 Tel: 604-681-1101
 Fax: 604-681-1102
 Email: info@pwl.ca
 Website: www.pwl.ca

Javal Properties Ltd.
CONCERT

10-1101 West Broadway
 Vancouver, BC V6H 1G6
 Tel: 604-681-1101
 Fax: 604-681-1102
 Email: info@pwl.ca
 Website: www.pwl.ca



**Capital Park Mixed Use
 Development Phase 3**

0350, 040 to 560 Kingston Street,
 Victoria B.C.
 Legislative Precinct, Lot 3 Victoria City,
 Plan E2004000

**PLANTING PLAN
 BUILDING D & E
 LEVEL ROOF**

DATE	21 AUGUST 2017
BY	170444 Plan JMS
CHECKED	17-10-16
DESIGNED	17-10-16
APPROVED	17-10-16

LDP 2.03

